



CITY OF LOGANVILLE
Department of Planning & Development
P.O. Box 39 • 4303 Lawrenceville Road
Loganville, GA 30052
770.466.2633 • 770.466.3240 • Fax 770.554.5556

Date: 1/3/2025

Application # R 25-001

REQUEST FOR ZONING MAP AMENDMENT
A PETITION TO AMMEND THE OFFICIAL ZONING MAP OF THE CITY OF LOGANVILLE, GEORGIA

Form with sections: APPLICANT INFORMATION, PROPERTY OWNER INFORMATION, APPLICANT IS (Property Owner, Contract Purchaser, Agent, Attorney), CONTACT PERSON, PROPERTY INFORMATION (MAP & PARCEL #, PRESENT ZONING, REQUESTED ZONING, ADDRESS, COUNTY, ACREAGE, PROPOSED DEVELOPMENT).

You must attach: Application Fee, Legal Description, Plat of Property, Campaign Contribution Disclosure, Letter of Intent, Site Plan, Names/Addresses of Abutting Property Owners, Impact Analysis

Pre-Application Conference Date:

Accepted by Planning & Development: [Signature]

DATE: 1-3-25

FEE PAID: \$500.00

CHECK # 1005 RECEIPT # R00224623 TAKEN BY: SB DATE OF LEGAL NOTICE: 2/3/2025 NEWSPAPER: THE WALTON TRIBUNE

PLANNING COMMISSION RECOMMENDATION: Approve, Approve w/conditions, Deny, No Recommendation

Commission Chairman: [Signature]

DATE: 2/27/25

CITY COUNCIL ACTION: Approved, Approved w/conditions, Denied, Tabled to, Referred Back to Planning Commission, Withdrawn

Mayor

City Clerk

Date

**Applicant's Certification**

The undersigned hereby certifies that they are authorized by the property owner(s) to make this application and that all information contained herein is complete and accurate, to the best of their knowledge.

*[Handwritten Signature]*

Applicant's Signature

*1/3/2025*

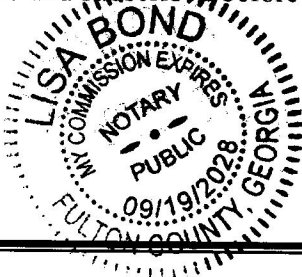
Date

*BERNIE SMITH Manager*

Print Name and Title

Sworn to and subscribed before me this 3 day of Jan, 2025

(Seal)



*Lisa Bond*  
Signature of Notary Public

**Property Owner's Certification**  
(complete a separate form for each owner)

The undersigned hereby certifies that they are: (check all that apply)

- a) \_\_\_\_\_ the owner of record of property contained in this application, and/or
- b) \_\_\_\_\_ the Chief Executive of a corporation or other business entity with ownership interest in the property and is duly authorized to make this application, and

that all information contained in this application is complete and accurate to the best of their knowledge.

Owner's Signature

Date

Print Name and Title


Sworn to and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

(Seal)

Signature of Notary Public

**DISCLOSURE OF CAMPAIGN CONTRIBUTIONS**

The undersigned, making application for rezoning with the City of Loganville, Georgia, have complied with the Official Code of Georgia, Section 36-67A-1, et. seq., Conflict of Interest in Zoning Actions, and has submitted or attached the required information as requested below.

                      1/3/2025                      BERNIE SMITH  
Applicant's Signature                      Date                      Print Name

\_\_\_\_\_  
Signature of Applicant's Attorney or Agent                      Date                      Print Name

**Has the Applicant, attorney for applicant, or other agent, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to the Mayor, Member of the City Council or member of the Planning Commission of the City of Loganville, Georgia?**

\_\_\_\_\_ YES                      ✓ \_\_\_\_\_ NO

**If YES, complete the following:**

NAME OF INDIVIDUAL MAKING CONTRIBUTION \_\_\_\_\_

NAME & OFFICIAL POSITION OF GOVERNMENT OFFICIAL	CONTRIBUTIONS (List all aggregating to \$250 or more)	DATE OF CONTRIBUTION
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

**Attach additional sheets as necessary to disclose and describe all contributions.**

## APPLICANT'S RESPONSES TO EVALUATION CRITERIA

In the space provided or in a separate attachment, provide responses to the following questions:

1. How does the proposed use impact the overall appearance of the City and aesthetic conditions of adjacent parcels?  
It will greatly improve the site with these attractive HOMES and Landscaping. We are also adding a Dog Park, TOT LOT AND Park next to the church.
2. How does the proposed use impact thoroughfare congestion and traffic safety?  
It will not impact the traffic as it will be minimal traffic
3. How does the proposed use impact population density and the potential for overcrowding and urban sprawl?  
It will not impact it with 44 units
4. How does the proposed use impact the provision of water, sewerage, transportation and other urban infrastructure services;  
It will not impact it with 44 units
5. How does the proposed zoning provide protection of property against blight and depreciation?  
THE HOA WILL TAKE CARE OF The Landscaping & common Areas keeping it maintained and up to date.
6. How is the proposed use and zoning consistent with the adopted Comprehensive Plan?  
It fits the comprehensive plan by providing housing to local residents that can walk to Loganville and provide the "missing middle" HOUSING MIX.
7. In what way does the proposed zoning affect adjacent property owners if the request is approved?  
It will increase their property value and allow their neighbours ~~to be~~ the opportunity to live in downtown Loganville. The Church will have more families in walking distance.
8. What is the impact upon adjacent property owners if the request zoning is not approved?  
The next use could be a higher density with less Open space. we kept less units and more parks in this plan.
9. Describe any other factors affecting the health, safety, morals, aesthetics, convenience, order, prosperity, or the general welfare of the present and future inhabitants of the City of Loganville.  
Being able to house local service providers in the town they work in is a big missing component in Loganville as is the "missing middle" housing mix. The Comprehensive Plan calls this out as a need.

DRAWING PATH/NAME: E:\2024\2024-154 BERNE LINE STREET PROJECT\154\_official\office and c3d - rev\2024-154 BERNE LINE STREET PROJECT 241231.dwg  
 DRAWING LAST SAVED: Tuesday, December 31, 2024 9:08:48 AM  
 PLOT DATE: Friday, January 3, 2025 10:54:36 AM  
 CLIENT NAME: MANOR RESTORATION  
 PROJECT NAME: LINE STREET & PECAN STREET TOWNHOMES



**PROPOSED ZONING "RM6"**  
**CURRENT ZONING "R44"**  
 PROPOSED (44) FRONT LOAD TOWNHOMES ON 9.80 ACRE TRACT.

PARENT TRACT STATISTICS (PARCEL LG040014A00)		
CURRENT ZONING: RESIDENTIAL LOW DENSITY "R44"	TOTAL TRACT AREA: 9.80 ACRES	SEWER AVAILABILITY: AS SHOWN TO THE SOUTHWEST IN PUBLIC RIGHT OF WAY OF PECAN STREET (40-FT R/W)
PUBLIC ACCESS: 2808 FEET ALONG PECAN STREET & 40084 FEET ALONG LINE STREET.	AVAILABLE SIGHT DISTANCE: ENHANCE 30 FT. DISTANCE (LINE 3) TO THE N.E. (LEFT) = 5004 FEET TO THE S.E. (RIGHT) = 5004 FEET	WATER AVAILABILITY: N.E. SIDE OF LINE STREET

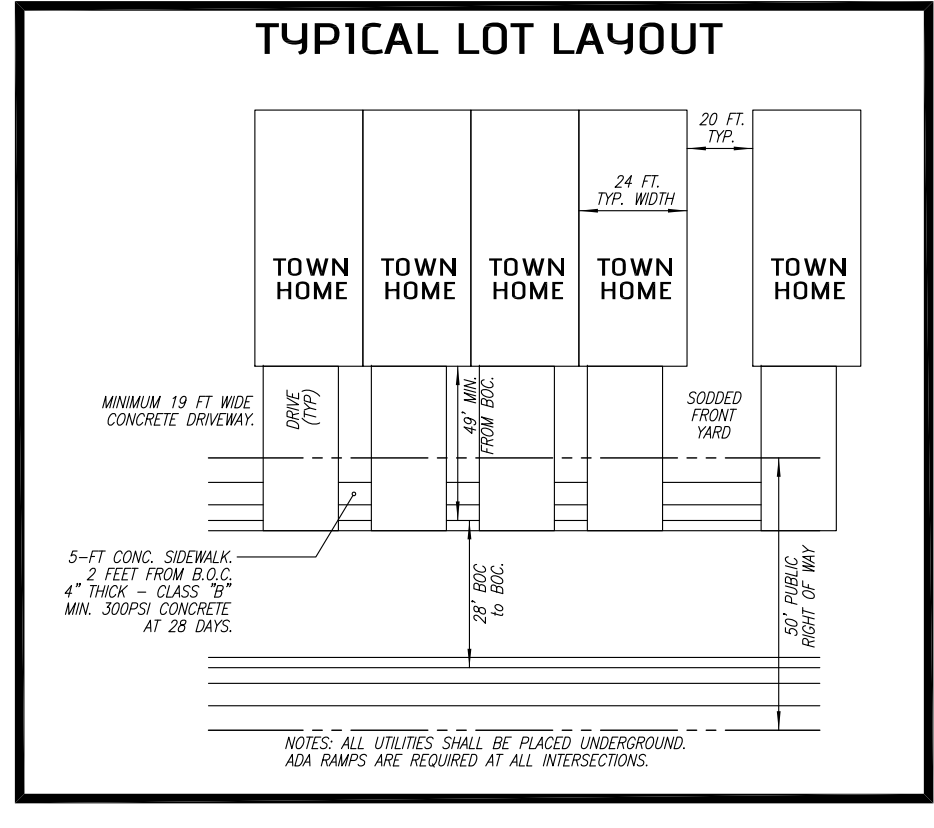
PROPOSED DEVELOPMENT STATISTICS		
TOTAL UNITS/DENSITY: 44 UNITS PER ACRE	TOTAL AREA IN R/W: 133,750 SQ. FT.	TOTAL OPEN SPACE/BUFFERS: 13,500 SQ. FT.
4.49 UNITS PER ACRE	TOTAL AREA IN OPEN SPACE: 13,500 ACRES @ 18.72'	TOTAL AREA IN BUFFERS: 13,500 ACRES @ 21.02'
4.50 PARKING UNITS PER ACRE	TOTAL AREA IN SANITARY EASEMENT: 13,500 ACRES @ 17.00'	TOTAL AREA IN SANITARY EASEMENT: 13,500 ACRES @ 17.00'
TOTAL AREA PARKING SPACES = 2	TOTAL AREA IN PARKS: 13,500 ACRES @ 11.00'	IMPERVIOUS AREA: 3.51 ACRES @ 11.00'
TOTAL LENGTHS: PUBLIC STREETS = 915 L.F., DRAINAGE SYSTEM = 880 L.F., SANITARY SYSTEM = 869 L.F., WATER DISTRIBUTION = 850 L.F.	AREA IN DRAINAGE EASEMENT: 13,500 ACRES @ 11.00'	AREA IN SANITARY EASEMENT: 13,500 ACRES @ 11.00'

PROPOSED SETBACKS		
FRONT = 10 FT.	REAR = 10 FT.	SIDE = 20 FT. DISTANCE BETWEEN BLOSS = 20 FT.

PROPOSED TOWNHOME STATISTICS		
PROPOSED FLOOR AREA: 1,200 SQ. FT.	MINIMUM HEATED FLOOR AREA: 1,200 SQ. FT.	



AREA =  
**9.80 ACRES**  
 426,782 sq. ft.

NUM	BEARING	DISTANCE
L1	S57°53'50"W	14.41'
L2	N28°08'10"W	49.30'
L3	N27°23'37"W	65.71'
L4	N29°04'04"W	105.04'
L5	N29°41'37"W	80.59'
L6	N30°10'25"W	63.18'
L7	N30°10'25"W	45.94'

**LEWIS DEVELOPMENT CONCEPTS LLC**  
 2885 Tom Reeves Drive  
 Carrollton, GA 30117  
 770-280-5738  
 Robert S. Lewis  
 Ga. Reg. LS #2789  
 Level II Cert.  
 Dsgn. #000029563

**PROJECT CLIENT: MANOR RESTORATION**  
**LINE STREET & PECAN STREET**  
**TOWNHOMES**

ZONING PLAN FOR:  
 Land Lot 186, Dist. 4TH.,  
 WALTON County, Georgia  
 within the City of LOGANVILLE  
 Being within the City of LOGANVILLE  
 SITE ADDRESS: 0 LINE STREET

Robert S. Lewis  
 Ga. Reg. LS #2789  
 Level II Cert.  
 Dsgn. #000029563

REFERENCED NORTH

DATE OF ORIGINAL: 01/02/2025  
 DATE LAST REVISED: NA

REVISION 001
REVISION 002
REVISION 003
REVISION 004
REVISION 005
REVISION 006

GRAPHIC SCALE  
 25' 0' 25' 50'  
 Scale: 1" = 50'

**SHEET**  
**P001**

## LINE STREET TOWNHOME PROJECT

### TRACT#1 LEGAL DESCRIPTION

All that tract or parcel of land lying and being in Land Lot 186 of the 4<sup>th</sup>. District, Walton County, Georgia and being more particularly described as follows:

Commencing at a point, located at the apparent intersection of the right of ways common to the apparent southerly right of way of Line Street (said right of way having a 40 foot right of way width) and the apparent westerly right of way of Pecan Street (said right of way having a 40 foot right of way width); said point being the **TRUE POINT OF BEGINNING** for said **TRACT#1**.

With the **TRUE POINT OF BEGINNING** being established for **TRACT#1**; thence along the aforementioned apparent southerly right of way of Line Street in a northeasterly direction, **North 60 Degrees 01 minutes 35 seconds East a distance of 99.97 feet** to a point; thence continuing along the aforementioned apparent southerly right of way of Line Street, **North 59 Degrees 55 minutes 55 seconds East a distance of 101.02 feet** to a 1" OPEN TOP PIPE FOUND; thence leaving the aforementioned apparent southerly right of way of Line Street and in a southeasterly direction, **South 30 Degrees 04 minutes 05 seconds East a distance of 179.37 feet** to an IRON PIN SET; thence **North 59 Degrees 36 minutes 14 seconds East a distance of 200.00 feet** to an IRON PIN SET; thence **North 30 Degrees 04 minutes 05 seconds West a distance of 179.37 feet** to an IRON PIN SET at the aforementioned apparent southerly right of way of Line Street; thence along the aforementioned apparent southerly right of way of Line Street in a northeasterly direction, **North 59 Degrees 52 minutes 58 seconds East a distance of 249.85 feet** to a corner referenced by a ½" REBAR FOUND (said ½" REBAR FOUND 2.64 feet inside right of way); thence leaving the aforementioned apparent southerly right of way of Line Street and in a southeasterly direction, **South 30 Degrees 37 minutes 47 seconds East a distance of 193.18 feet** to a ½" REBAR FOUND; thence **South 63 Degrees 57 minutes 37 seconds West a distance of 63.98 feet** to a ANGLE IRON FOUND; thence **South 29 Degrees 00 minutes 25 seconds East a distance of 214.04 feet** to a SCRAPE BLADE FOUND; thence **North 54 Degrees 03 minutes 49 seconds East a distance of 106.70 feet** to a 1" OPEN TOP PIPE FOUND; thence **South 29 Degrees 26 minutes 28 seconds East a distance of 241.90 feet** to a ½" OPEN TOP PIPE FOUND; thence **North 62 Degrees 00 minutes 15 seconds East a distance of 82.88 feet** to a ½" OPEN TOP PIPE FOUND; thence **South 27 Degrees 56 minutes 53 seconds East a distance of 211.23 feet** to a AXLE FOUND; thence **South 28 Degrees 41 minutes 13 seconds East a distance of 100.84 feet** to a 2" OPEN TOP PIPE FOUND; thence **South 30 Degrees 23 minutes 21 seconds West a distance of 358.85 feet** to a AXLE FOUND; thence **North 36 Degrees 10 minutes 41 seconds West a distance of 124.19 feet** to a ½" REBAR FOUND; thence **North 32 Degrees 02 minutes 01 seconds West a distance of 200.17 feet** to a ½" OPEN TOP PIPE FOUND; thence **South 57 Degrees 53 minutes 50 seconds West a distance of 14.41 feet** to an IRON PIN SET; thence **North 32 Degrees 02 minutes 04 seconds West a distance of 336.46 feet** to an IRON PIN SET; thence **South 63 Degrees 55 minutes 05 seconds West a distance of 258.45 feet** to an IRON PIN SET at the aforementioned apparent westerly right of way of Pecan Street; thence along the aforementioned apparent westerly right of way of Pecan Street in a northwesterly direction, **North 30 Degrees 10 minutes 25 seconds West a distance of 45.94 feet** to point; thence continuing along the aforementioned apparent westerly right of way of Pecan Street, **North 30 Degrees 03 minutes 56 seconds West a distance of 235.05 feet** to point; said point being the **TRUE POINT OF BEGINNING** for said **TRACT#1**.

Said **TRACT#1** contains **9.798 acres** (426,782 sq. ft.).

**PROJECT DATA**  
 -SETBACKS (R44):  
 FRONT: 30'  
 SIDE: 30'  
 REAR: 30'  
 -SETBACKS (R16):  
 FRONT: 30'  
 SIDE: 20'  
 REAR: 40'

-TRACT#2 & TRACT#3 TO BE COMBINED FOR A TOTAL AREA OF 1.107 ACRES.  
 -TRACT#4 & TRACT#5 TO BE COMBINED FOR A TOTAL AREA OF 1.025 ACRES.

**SURVEY NOTES:**

THE FIELD DATA UPON WHICH THIS PLAT IS BASED UPON HAS A CLOSURE PRECISION OF ONE FOOT IN 37,254 FEET, AND AN ANGULAR ERROR OF 2" PER ANGLE POINT, AND WAS ADJUSTED USING COMBINE RULE. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 183,685 FEET BY MAP CHECK.

FIELD INFORMATION FOR THIS SURVEY WAS OBTAINED WITH A 1S-SECOND LEICA DISTO 1518 TOTAL STATION INSTRUMENT.

HORIZONTAL DATUM IS GRID NORTH, GEORGIA STATE PLANE, WEST ZONE AND VERTICAL DATUM IS NAVD83, ESTABLISHED ON-SITE NETWORK GPS OBSERVATIONS WITH A LEICA DISTO GSS3 RTK RECEIVER.

SUBJECT PROPERTY IS LOCATED WITHIN AREAS HAVING ZONE DESIGNATIONS OF "ZONE X", DETERMINED TO BE OUTSIDE THE SPECIAL FLOODPLAIN BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 13297C0005E WITH AN EFFECTIVE DATE OF 12/16/2016, FOR COMMUNITY NUMBER 33038, CITY OF LOGANVILLE, WALTON COUNTY, GEORGIA.

THIS SURVEY WAS PERFORMED WITHOUT A TITLE COMMITMENT AND MAY BE SUBJECT TO LEASES, EASEMENTS AND RESTRICTIONS OF RECORD NOT REFLECTED UPON THIS SURVEY.

FIELDWORK COMPLETED: 12/6/2022.

TOTAL AREA = 11.930 ACRES.

NO EXISTING NATIONAL GEODETIC SURVEY MONUMENT WAS FOUND TO BE WITHIN 500' OF SUBJECT PROPERTY.

THIS SURVEY COMPLIES WITH BOTH THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE OFFICIAL CODE OF GEORGIA ANNOTATED (O.C.G.A. 13-6-47) AS AMENDED BY HOUSE BILL (HB) 874, IN THAT WHERE A CONFLICT EXISTS BETWEEN THOSE TWO SETS OF SPECIFICATIONS, THE REQUIREMENTS OF LAW PREVAIL.

THE CERTIFICATION, AS SHOWN HEREON, IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, AND BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. THE CERTIFICATION IS NOT AN EXPRESSED OR IMPLIED WARRANTY OR GUARANTEE.

**REFERENCES:**  
 DEED BOOK 300 PAGE 283  
 DEED BOOK 800 PAGE 108  
 PLAT BOOK 28 PAGE 24  
 PLAT BOOK 60 PAGE 169

**OWNER OF RECORD:**  
 MARIE G. WOMBLE  
 4200 PECAN STREET  
 LOGANVILLE, GA 30052  
 TAX PARCEL LG040013

**DAN D. GARRETT ESTATE**  
 4204 PECAN STREET  
 LOGANVILLE, GA 30052  
 TAX PARCEL LG040013

**SURVEY LEGEND**

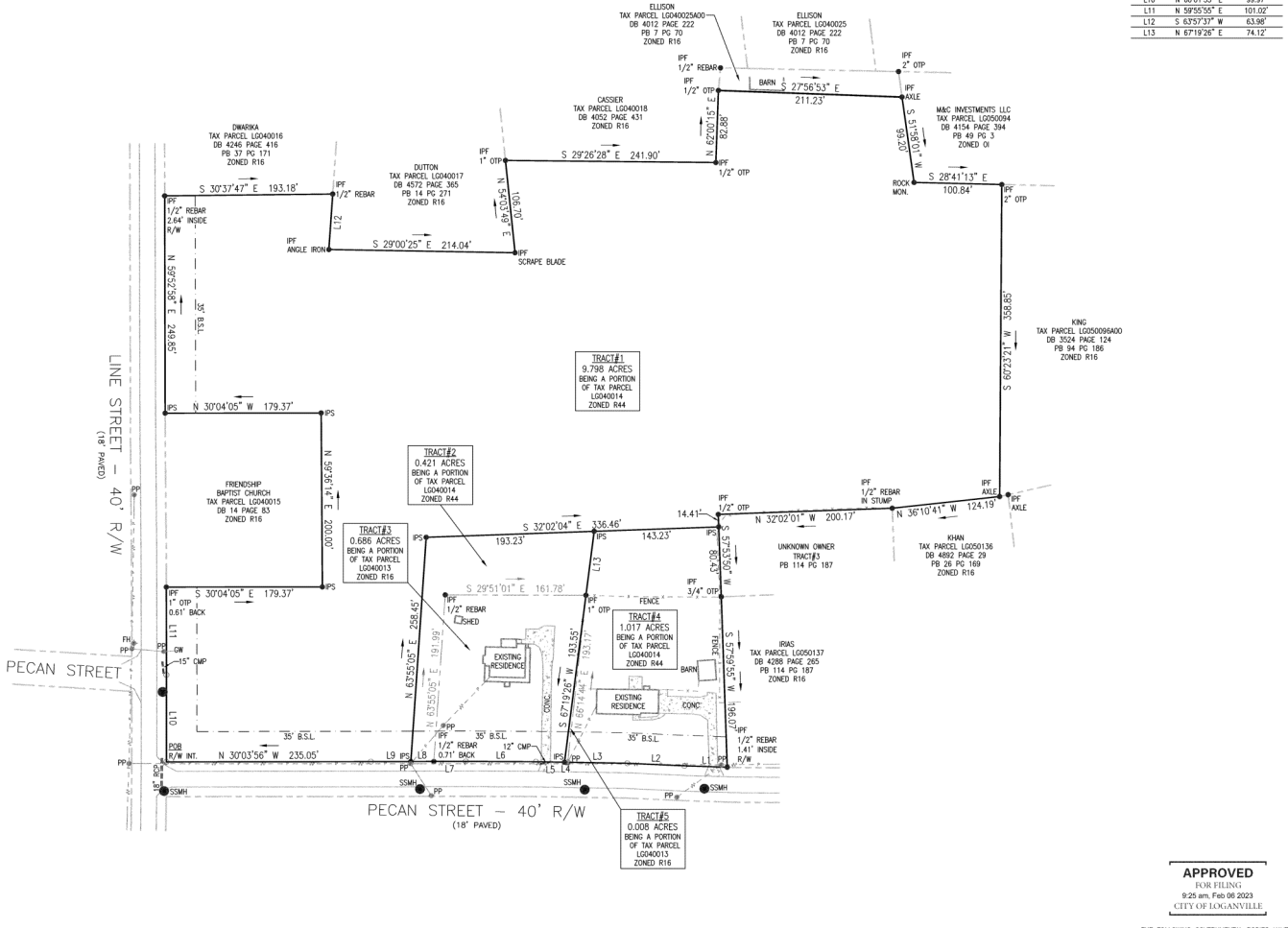
BSL - BUILDING SETBACK LINE  
 C - CONCRETE  
 F - FENCE  
 G - GRASS  
 I - IRON  
 L - LEAD  
 L1 - 1" LEAD  
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 L3 - 3" LEAD  
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 L99 - 99" LEAD  
 L100 - 100" LEAD

**SURVEYOR'S CERTIFICATE**

AS REQUIRED BY SUBSECTION (D) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONSIDERED WITH THE APPROPRIATE GOVERNMENTAL BOOKS BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

1/3/2023

DATE



LINE #	BEARING	DISTANCE
L1	N 28'08"10" W	49.30
L2	N 27'23"37" W	69.71
L3	N 29'04"04" W	68.49
L4	N 29'04"04" W	3.66
L5	N 29'04"04" W	32.89
L6	N 29'41"37" W	60.59
L7	N 30'10'25" W	36.75
L8	N 30'10'25" W	26.43
L9	N 30'10'25" W	45.94
L10	N 67'01'35" E	99.97
L11	N 59'55'53" E	101.02
L12	S 63'57'37" W	63.98
L13	N 67'19'26" E	74.12



**W&A ENGINEERING**  
 A Walter Communities Collaboration Company

ATHENS • ATLANTA • AUGUSTA  
 BIRMINGHAM • NASHVILLE

1002 South Broad Street  
 Marietta, GA 30055

770.267.4703  
 WWW.WAENGINEERING.COM  
 WWW.WAENGINEERING.COM

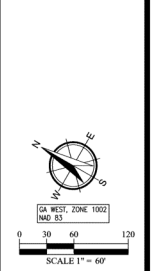
ALL INFORMATION SHOWN ON THIS PLAT IS THE PROPERTY OF W&A ENGINEERING. IT IS TO BE USED ONLY FOR THE PROJECT AND PARCEL IDENTIFIED HEREON. NO PART OF THIS PLAT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF W&A ENGINEERING.

MONITOR SUBMISSIONS RECOMBINATION PLAT FILE

**MARIE G. WOMBLE**

LAND LOT 10A, WITH DISTRICT  
 WALTON COUNTY, GEORGIA

DATE: 1/3/2023



**APPROVED**  
 FOR FILING  
 9:28 am, Feb 08 2023  
 CITY OF LOGANVILLE

THE FOLLOWING GOVERNMENTAL BODIES HAVE APPROVED THIS MAP, PLAT, OR PLAN FOR FILING:

CITY OF LOGANVILLE, GA

PLANNING & DEVELOPMENT

SIGNED: **Loganville** DIRECTOR OF THE PLAT  
 DATE: 9:28 am, Feb 08 2023

THE APPROVAL SIGNATURES ABOVE WERE NOT IN PLACE WHEN THIS SURVEY WAS ISSUED, AND ARE TO BE PROPERLY OBTAINED PRIOR TO RECORDING.



22-1539

9:28 am, Feb 08 2023

SHEET 1 OF 1

January 3<sup>rd</sup>, 2025

**City of Loganville Zoning Department**

**RE: Line Street and Pecan Street Project**

Dear City of Loganville,

I am writing to you on behalf of Manor Restorations regarding an exciting new project located within the City Limits at the corner of Line St. and Pecan St. We are seeking a rezoning from R44 to RM6 for this project.

After reviewing the Comprehensive Plan for Loganville, we identified that the plan highlights several key strategies to address community challenges, including the need for a broader variety of housing types, the creation of walkable neighborhoods, and the development of attractive spaces where people can gather.

Additionally, the plan emphasizes the importance of a more diverse housing mix, pointing out that multi-family housing—particularly townhomes—is a missing component. Many local residents would greatly benefit from the affordability that multi-family housing can offer.

In line with the Comprehensive Plan, our goal is to provide a greater variety of housing options, including townhomes, which are referred to as the "Missing Middle" in the plan. The location of the project is within walking distance to shopping and dining, making it an ideal setting for a walkable neighborhood. We have also included a dog park and a tot lot within the development. Furthermore, we have a large parcel of land that we would like to donate to the city to create a community gathering space for all the neighbors to enjoy.

We believe that this plan directly addresses the needs outlined in the Comprehensive Plan and respectfully request approval for our zoning request.

Thank you for your time and consideration. We look forward to your response.

Sincerely,

Bernie Smith



**JAMES R MCKINNEY  
157 LINE ST  
LOGANVILLE, GA 30052**

**ALLAN H & ALEXANDER ARIE & BARBARA A WILLIAMS  
4235 PECAN ST  
LOGANVILLE, GA 30052**

**MARIE G WOMBLE  
4280 PECAN STREET  
LOGANVILLE, GA 30052**

**TERRI LYNN & GREGORY SCOTT ROSENBLATT  
4284 PECAN ST  
LOGANVILLE, GA 30052**

**ZOLEKHA P & MOSALI KHAN  
3700 MCCULLERS RD  
LOGANVILLE, GA 30052**

**LARRY D KING  
1112 LORIMER ROAD  
RALEIGH, NC 27606**

**M & C INVESTMENTS LLC  
P O BOX 3375  
LOGANVILLE, GA 30052**

**ELLISON KAREN & WILLIAM RICHARD HENDERSON  
505 WOODBROOK WAY  
LAWRENCEVILLE, GA 30043**

**CHRISTOPHER P & DEANN M CASSIER  
200 N MIDLAND AVE  
MONROE, GA 30655**

**MICHAEL R DUTTON  
288 FAIR ST  
LOGANVILLE, GA 30052**

**SHELDON & SUSAN DWARIKA  
1313 PARK AVE  
LOGANVILLE, GA 30052**

**LOUIE E JR & MARY CARLA CROWE  
212 FOX TROT LN  
HARTWELL, GA 30643**

**FRIENDSHIP BAPTIST CHURCH  
167 LINE STREET  
LOGANVILLE, GA 30052**

**RONALD D & NANCY E SMITH  
3660 OLD BRASWELL ROAD  
MONROE, GA 30656**

**PHENOMENAL AUTO CENTER LLC  
449 THOMAS DR  
LOGANVILLE, GA 30052**