



Lake Forest Park Lakefront Improvements

Presentation of Concept Alternatives

Parks & Recreation Advisory Board (PRAB) Meeting
January 23, 2024

D|C|G WATERSHED

Meeting Purpose & Objectives

Purpose

- Review concepts and supporting information
- Opportunity for PRAB members to ask detailed questions to help engage with the community

Objectives

- Prepare for Community Workshop 2/21
- PRAB recommendations for preferred alternatives

Schedule Review

Today: PRAB meeting

- Feb 8: Cory to provide update to City Council

Feb 21: Community Workshop #2

- Feb 27: PRAB meeting, *deliberate on preferred alternative*

Mar 14: City Council working session

- Mar 25: Committee of the Whole
- Mar 26: PRAB meeting, *recommendation of preferred alternative*
- Mar 28: City Council Meeting, *target for adoption of resolution selecting preferred concept*

Mar 31: Preferred concept confirmed by 3/31

Next steps:

- Update materials to describe preferred concept
- May 1: Deadline for applications to RCO
- June: Presentation of schematic design package for preferred alternative

Approach to Concept Alternatives

Approach to concept design

- Multi-layered input
- Strategy of concept options
 - Site plan options vs. design options

Permitting overview

- Multiple layers of permitting required—local, state, federal
- Majority local approvals, requires early coordination with city

Site plan and design areas

- Planning level design—lots of opportunity for cost management through design
- Detailed cost breakdown, rounded assumptions and estimates

LAKE FOREST PARK

LAKEFRONT PARK

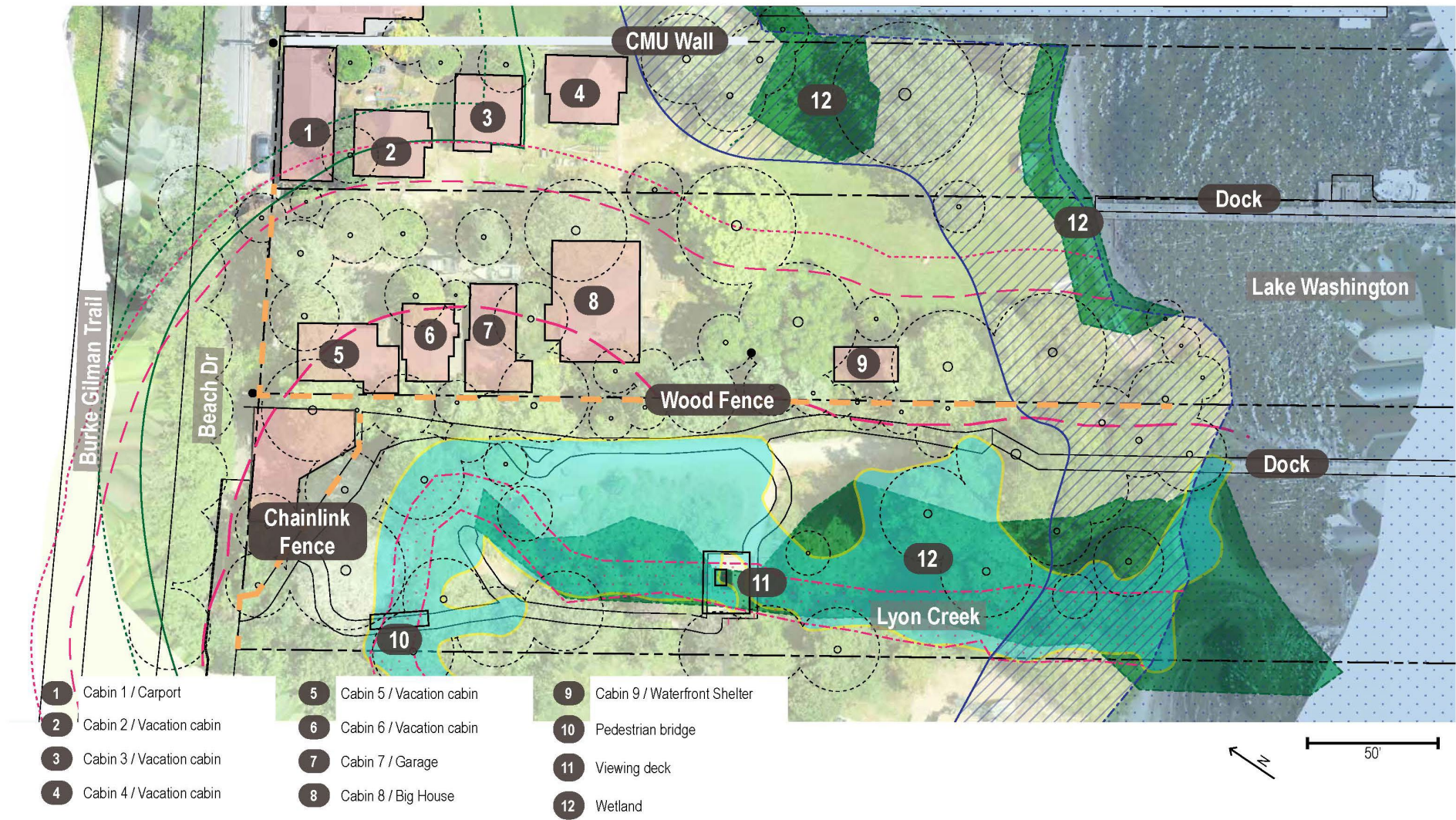
Waterfront Park Cost Comparison

Relative Costs

- Construction + burdened
- 20% cost contingency assumed
- Owner costs not shown in poster



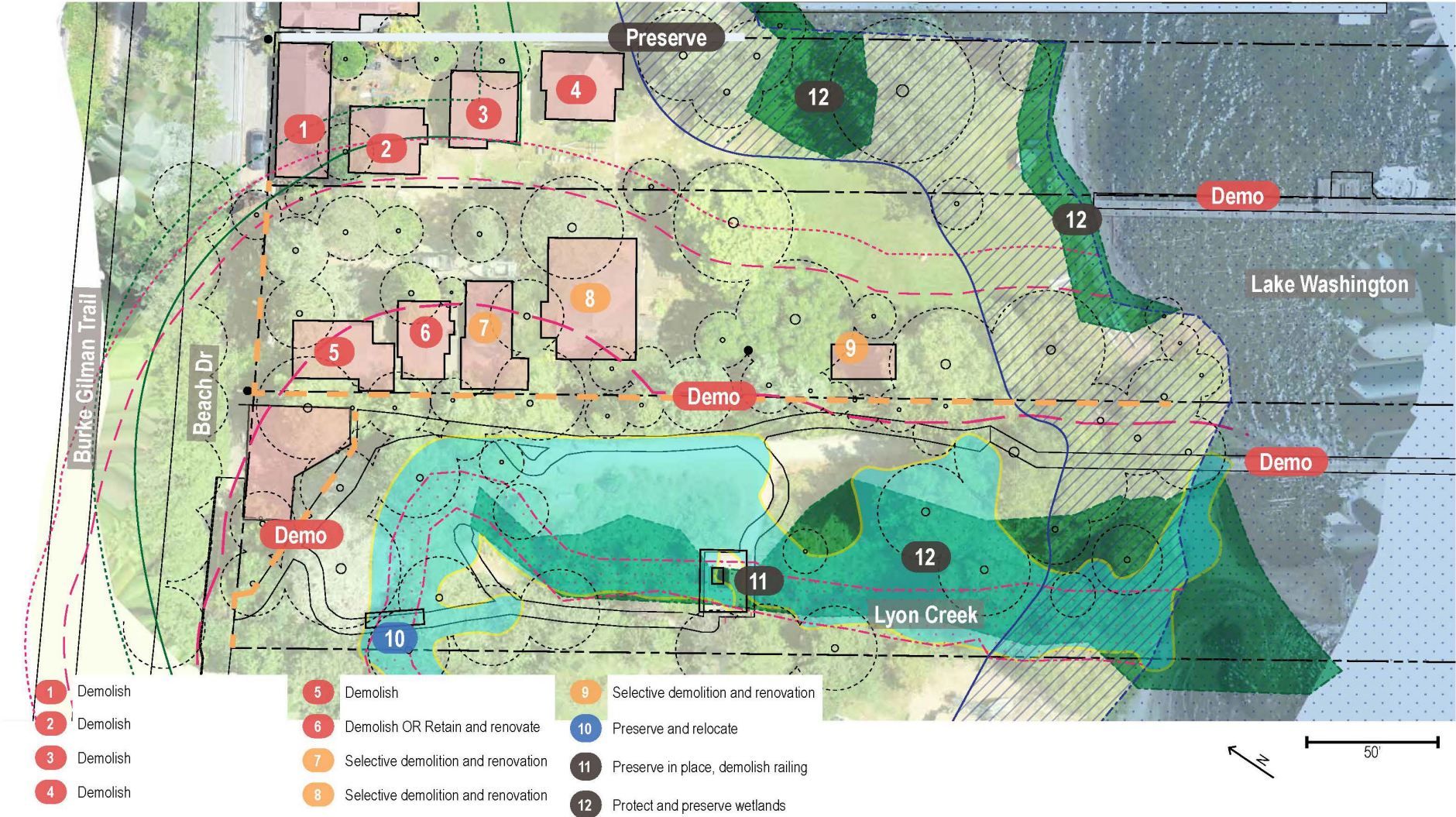
Site Overview



EXISTING

The project comprises three parcels, including an existing public preserve (plan south, above) and two parcels previously programmed as a single residential property with multiple outbuildings (plan north, above). The residential property and the preserve each have an existing wood plank dock. The project is encumbered by shoreline and critical area regulations, including the shoreline management area of Lake Washington and encumbrances from onsite wetlands and Lyon Creek, a natural salmon-bearing stream.

Planned Demo



Demolition and Site Preparation
Estimated Cost:
\$950k - \$1M

DEMOLITION

LAKEFRONT IMPROVEMENT PROJECT | CONCEPT ALTERNATIVES

Demolition for all potential cost alternates is the same, with exception of Cabin 6, which may or may not remain depending on alternatives chosen. Complete demolition of Buildings 1-5 and selective demolition of buildings 6, 7, and 9 will be conducted through salvage and dismantling in order to salvage and reclaim as much of the material as is feasible, including but not limited to old growth timber, brick, metal work and fixtures, appliances, furnishings, and other materials. Preserve CMU wall at the north boundary. Demolish docks and fencing.

DESIGN NARRATIVES 2

Concept Design Strategy

Kit of parts

9 design areas

- 6 areas have site plan or programmatic options
- 3 areas have design options for a single site plan concept



OVERVIEW

The concept alternatives are designed as a kit of parts that can be combined into multiple potential scenarios. The park is divided into nine areas.

Building Options

Main structure (the 'Big House')

- Current enclosed garage renovated into park bathroom
- Bathroom design follow main structure program

Deck

- Deck options can work with any of the Big House options

Cabin 6

- Programmed as flexible office space
- Retention of structure depends on parking lot design

Lakefront shelter

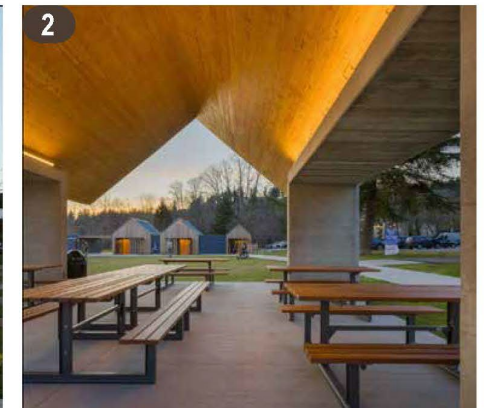
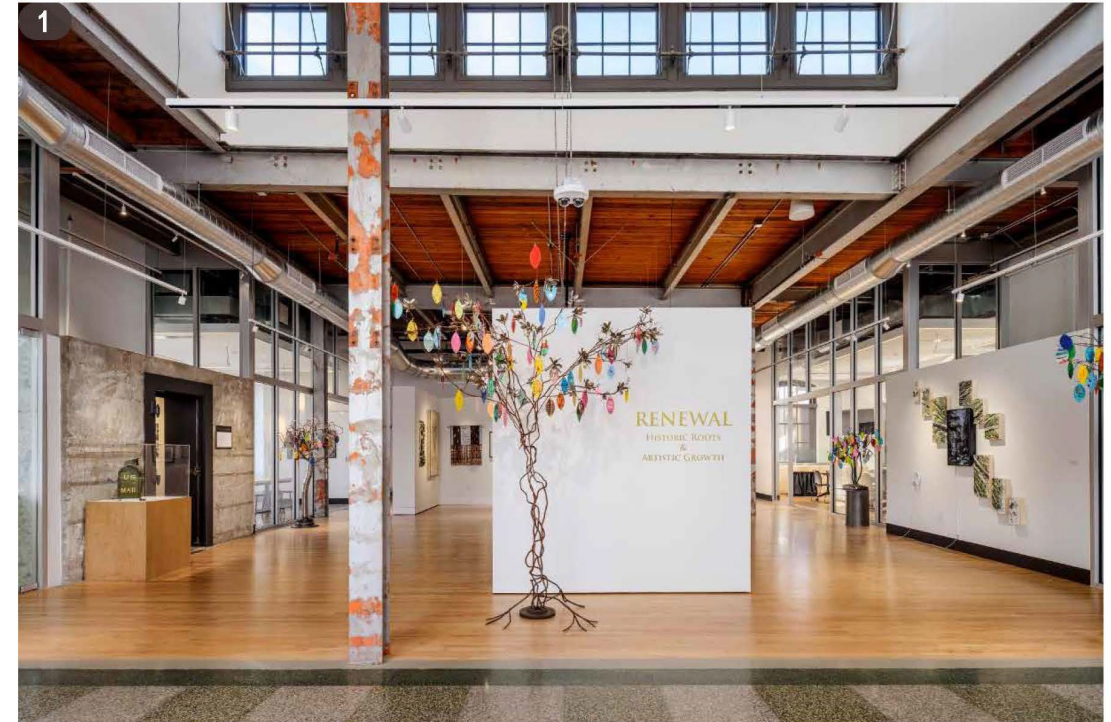
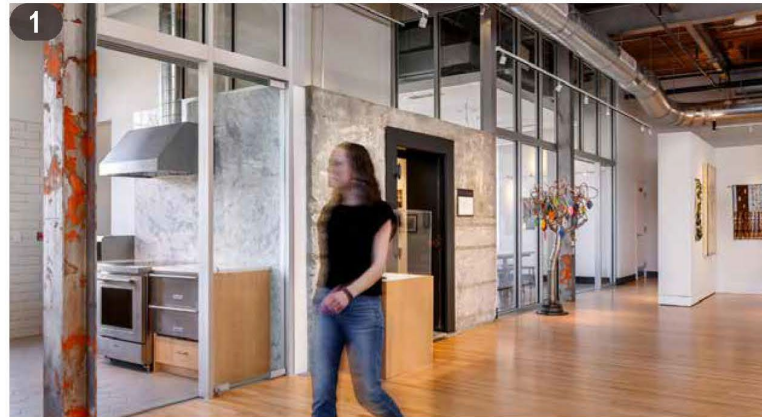
- Programmed as picnic shelter
- Options for structure design and construction

ARCHITECTURE

See attached concept drawing plan sheets for the following architecture options:

- 1 BIG HOUSE AND BATHROOM OPTIONS
CABIN 6
- 2 LAKEFRONT SHELTER OPTIONS

Building Options



LAKEFRONT IMPROVEMENT PROJECT | CONCEPT ALTERNATIVES

DESIGN NARRATIVES 15

Estimated Cost:
\$1.1M - \$1.9M

Estimated Cost:
\$830k - \$840k

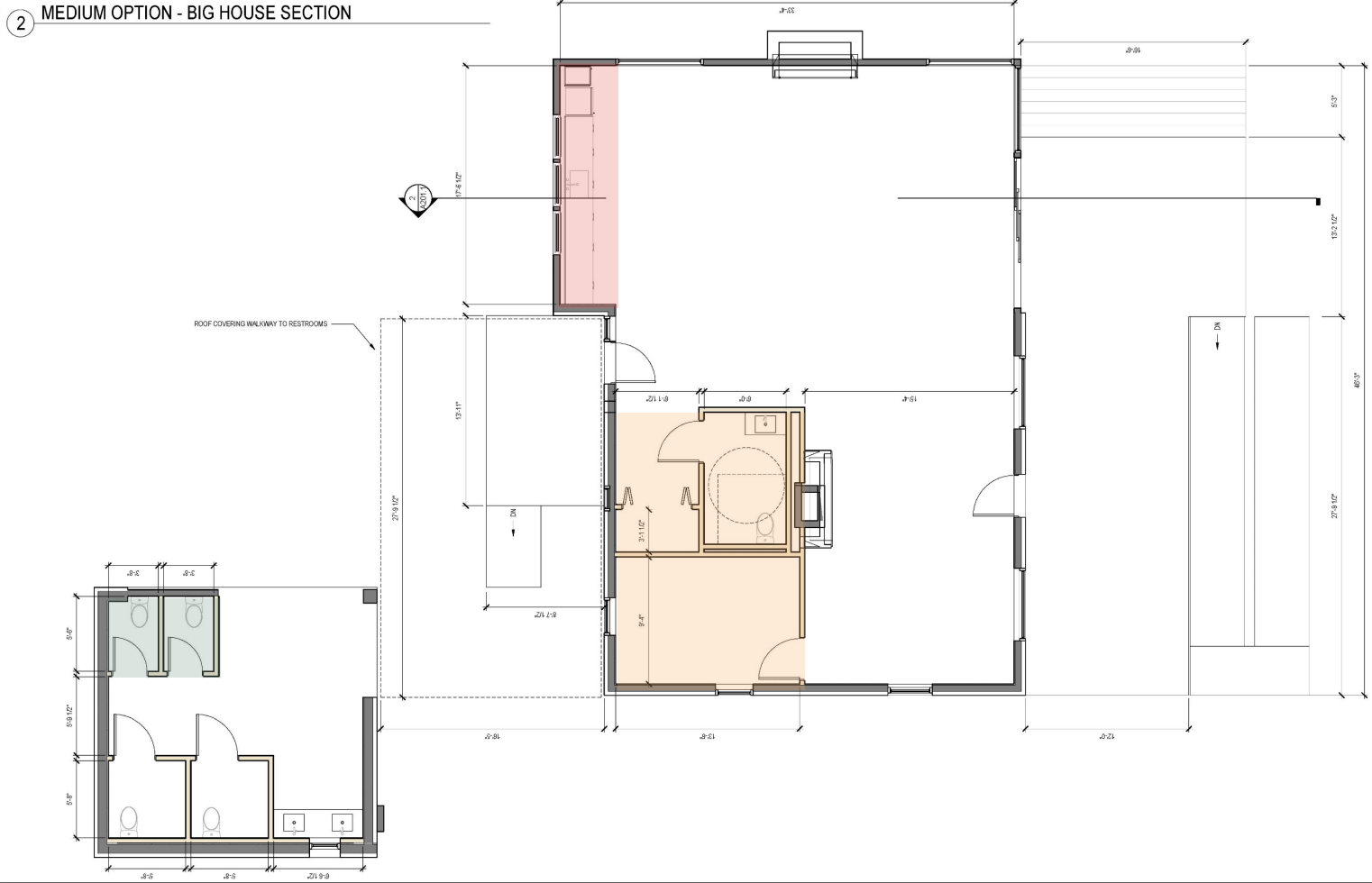
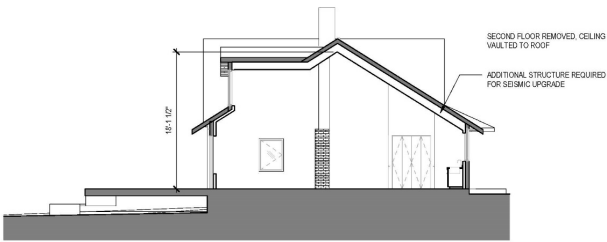


BIG HOUSE:
Medium

Estimated Cost:
\$950k - \$970k

Nominal cost change from Large

2 MEDIUM OPTION - BIG HOUSE SECTION



1 BIG HOUSE AND GARAGE - MEDIUM OPTION



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Seattle, WA 98121
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f 206 523 9382

LAKE FOREST PARK
LAKEFRONT PARK
PROJECT ADDRESS

DRAWING ISSUE
| DATE | DESCRIPTION

SHEET TITLE
BIG HOUSE -
MEDIUM OPTION

SHEET NO.
A201.1

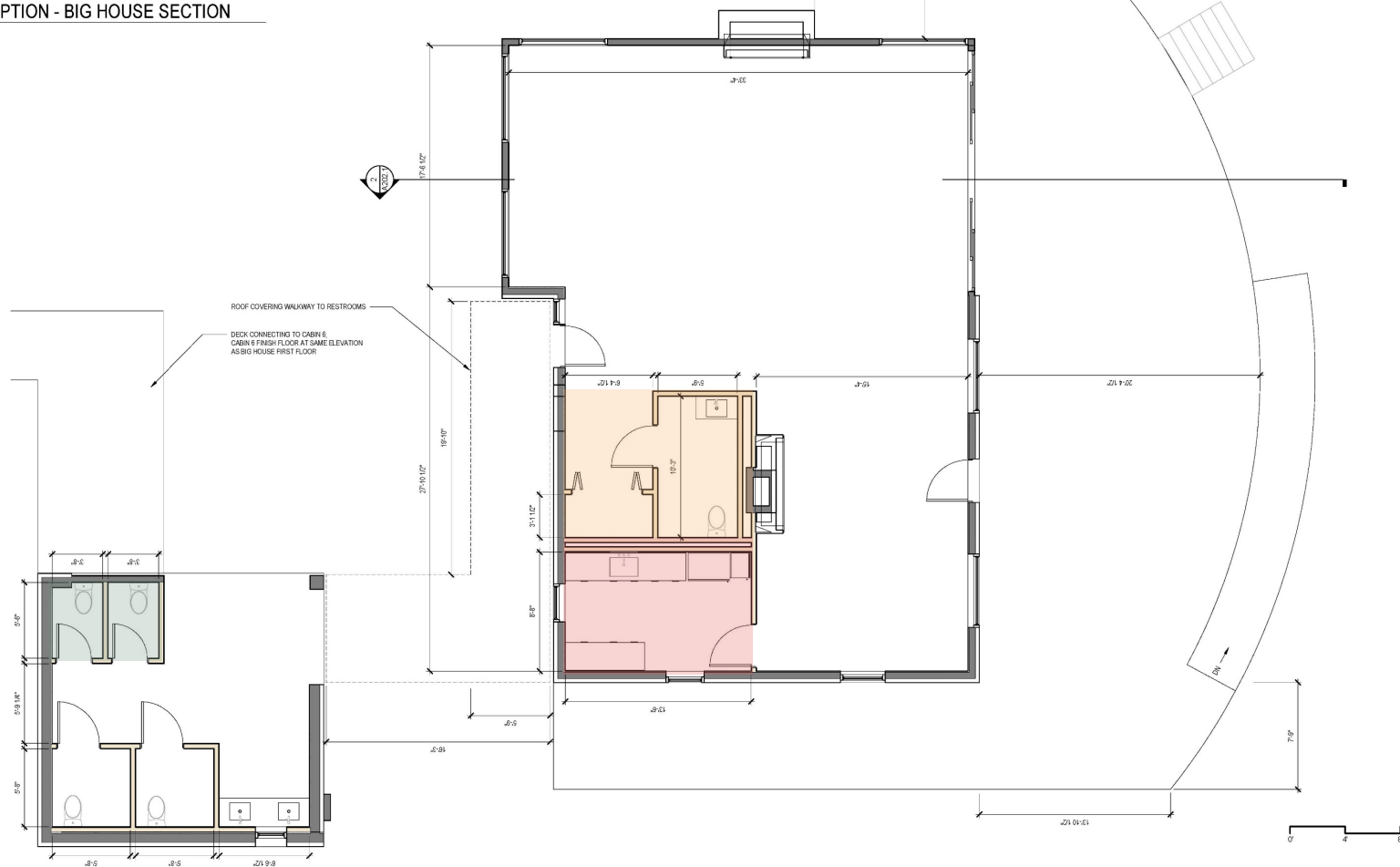
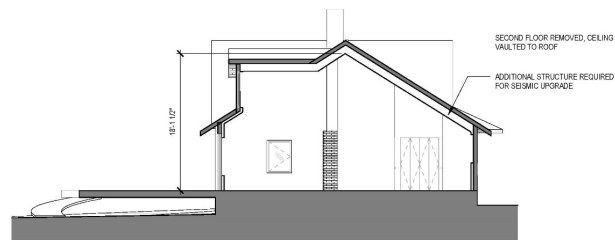
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Author
Checker
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BIG HOUSE: Large

Estimated Cost:
\$950k - \$970k

Nominal cost change from Medium

2 LARGE OPTION - BIG HOUSE SECTION



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LAKE FOREST PARK
LAKEFRONT PARK

PROJECT ADDRESS

DRAWING ISSUE
DATE DESCRIPTION

1 BIG HOUSE AND GARAGE - LARGE OPTION
SCALE: 1/8"=1'-0"

SHEET TITLE
BIG HOUSE -
LARGE OPTION

SHEET NO.
A202.1

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Deck Options

DECK

Install new deck attached to Big House structure. High-end wood decking for deck surface. Below decking, outer face of decking supports shall be perforated brick wall using reclaimed brick. Either decking option works with all options for Big House and bathroom.

OPTION 1: GRAND GATHERING DECK

Provide large statement deck with associated ramps, stairs, and rails. Estimated quantities:

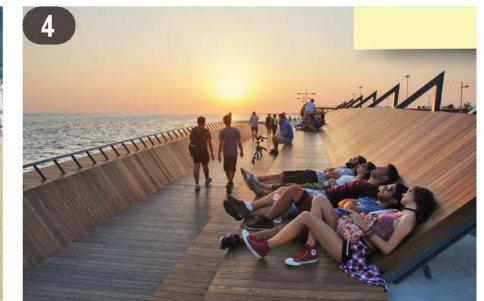
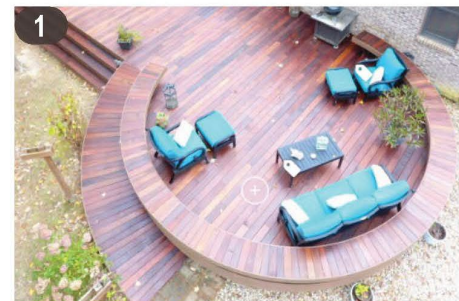
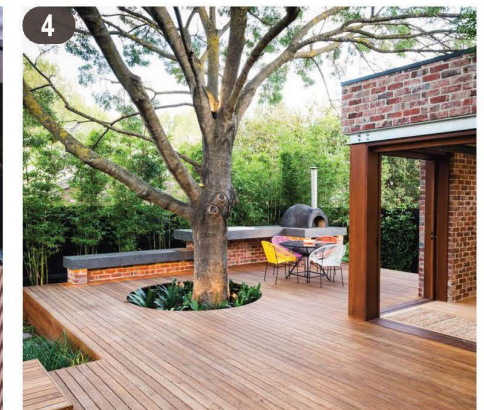
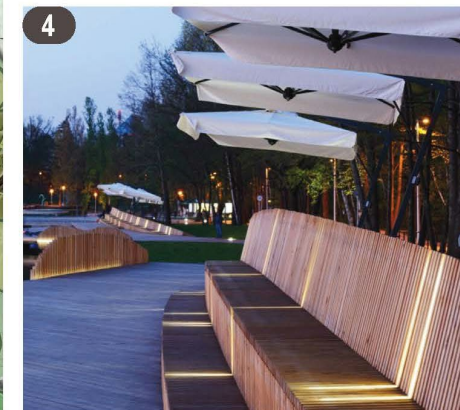
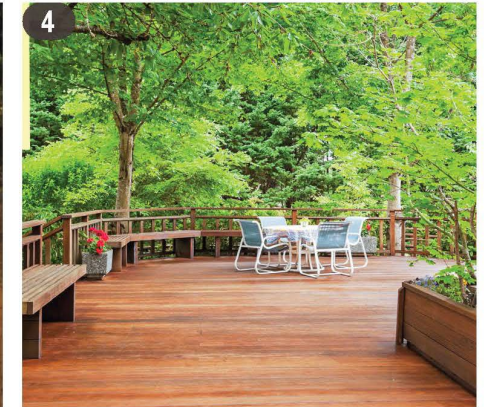
- New deck: 1,600 SF

OPTION 2: GATHERING DECK

Provide replacement deck with associated ramps, stairs, and rails. Estimated quantities:

- New deck: 800 SF

- 1 Statement deck ramp
- 2 Outer face of wall supporting deck
- 3 Statement deck stair
- 4 Gathering area



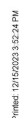
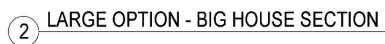
LAKEFRONT IMPROVEMENT PROJECT | CONCEPT ALTERNATIVES

DESIGN NARRATIVES 13

Estimated Cost:
\$190k - \$355k

Main cost driver is SF deck area

Estimated Cost:
\$335k - 355k



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LAKE FOREST PARK
LAKEFRONT PARK

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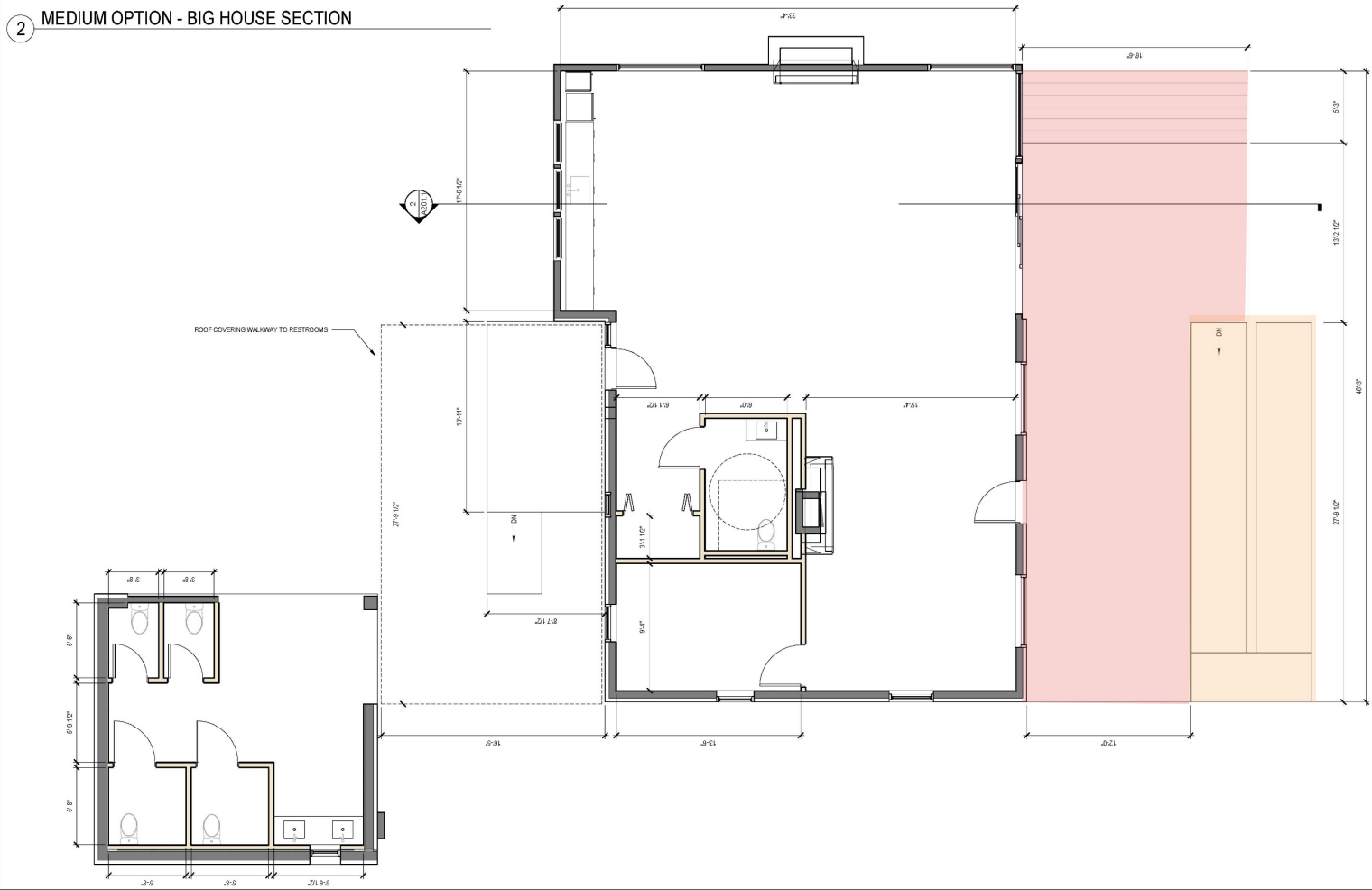
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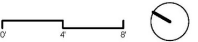
DECK:
Modest

Estimated Cost:
\$190k - \$210k

2 MEDIUM OPTION - BIG HOUSE SECTION



1 BIG HOUSE AND GARAGE - MEDIUM OPTION



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LAKEFRONT PARK

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DATE DESCRIPTION

SHEET TITLE
BIG HOUSE -
MEDIUM OPTION

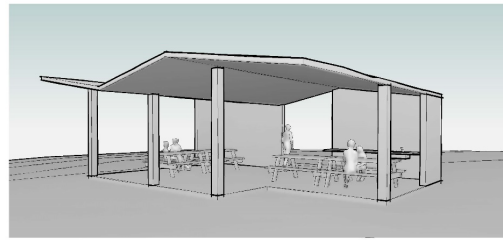
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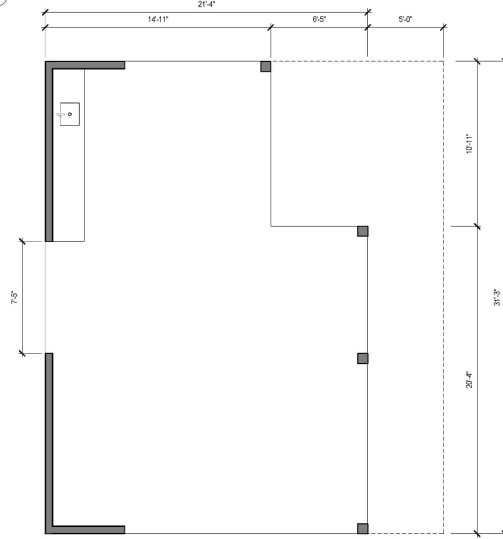
Estimated Cost:
\$275k - \$285k



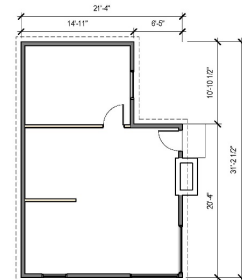
LAKEFRONT SHELTER: Picnic Pavilion



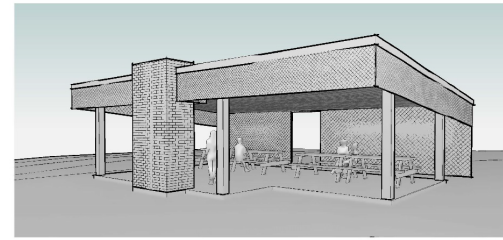
3 PICNIC SHELTER OPTION 3 - FOLD



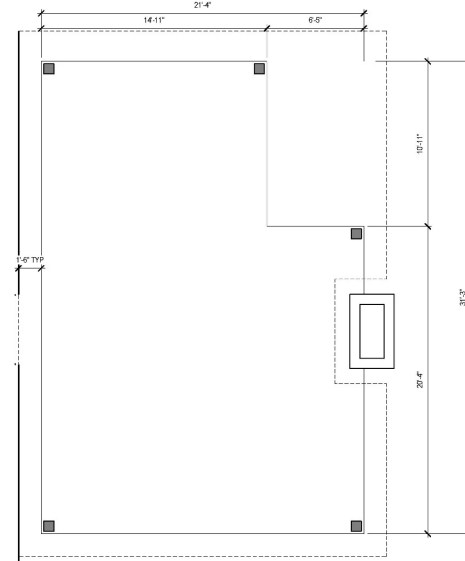
6 PICNIC SHELTER OPTION 3 - FOLD
SCALE: 1/4" = 1'-0"



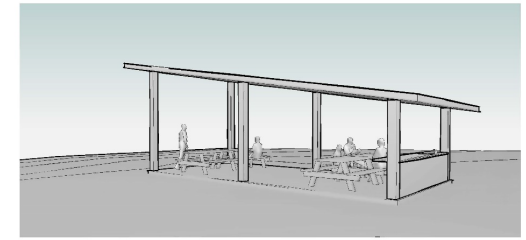
8 PICNIC SHELTER SITE - EXISTING CABIN
SCALE: 1/8" = 1'-0"



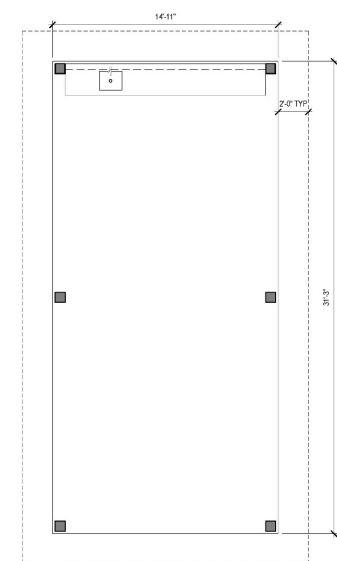
2 PICNIC SHELTER OPTION 2 - CHIMNEY



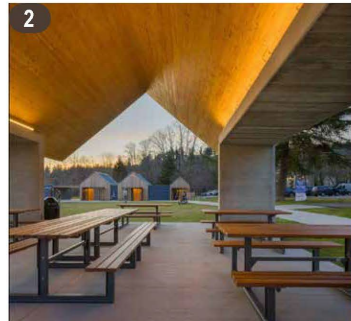
5 PICNIC SHELTER OPTION 2 - CHIMNEY
SCALE: 1/4" = 1'-0"



1 PICNIC SHELTER OPTION 1 - SIMPLE



4 PICNIC SHELTER OPTION 1 - SIMPLE
SCALE: 1/4" = 1'-0"



LAKE FOREST PARK
LAKEFRONT PARK
PROJECT ADDRESS

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Estimated Cost:
\$130k - \$350k

Design Areas with Single Site Plan Concept

City Hall to Burke Gilman

- Design team recommendations provided to LFP
- LFP coordination with stakeholders is underway (Sound Transit, WSDOT)

Right-of-Way: Ballinger Way and Beach Drive

- Designated pedestrian connections from intersection to park entrance
- Required to improve to current standards, provide opportunities for retrofit later if needed

Lyon Creek Waterfront Preserve

- Maintains restrictions on water access
- Aims to reduce potential for degradation from increased visitation
- Options for planting scheme and experience (view preservation vs. forested)

Central Area

- Options for play structures and finishes

Not in project budget



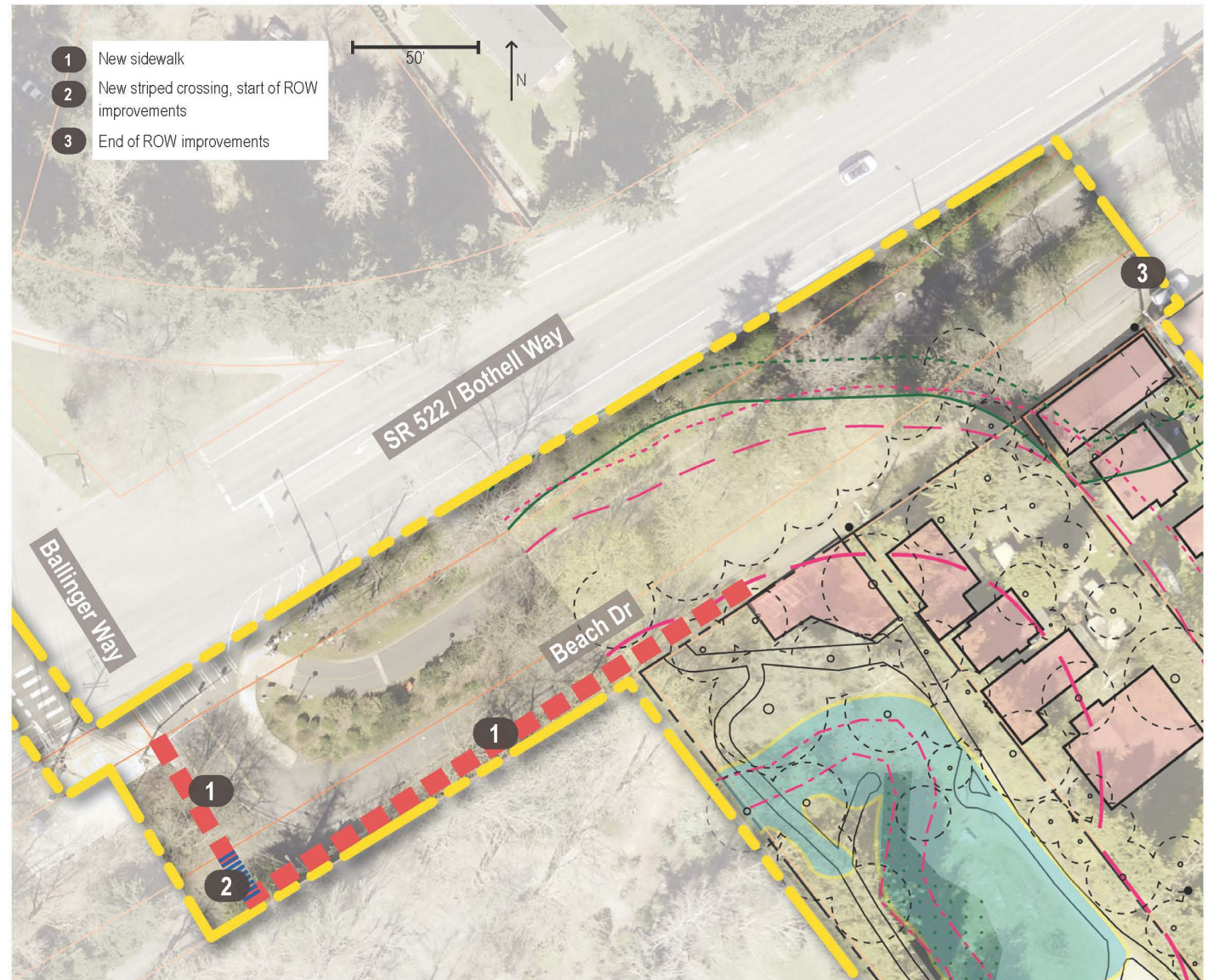
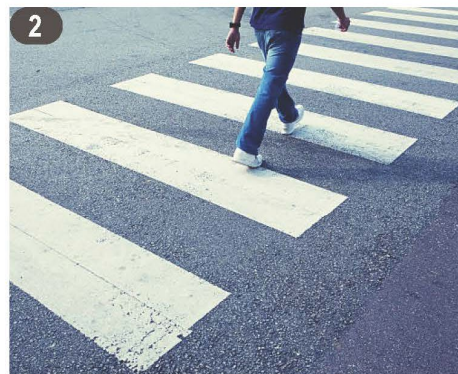
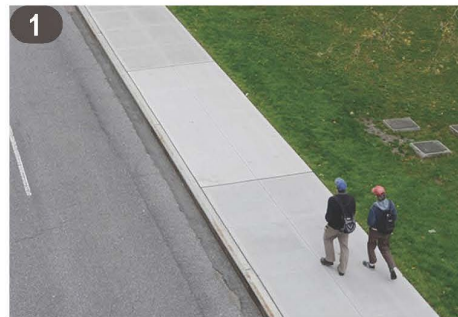
RIGHT-OF-WAY: Safety & LFP Code Compliance

Estimated Cost:
\$140k - 150k

SIDEWALK & ROW UPDATES

Install new sidewalk along end of Ballinger Way, new striped crossing at Beach Drive, and install new sidewalk along south side of Beach Drive from new crossing to park entrance. Improve Beach Drive right-of-way from Ballinger Way to edge of project boundary. Estimated quantities:

- New sidewalk: 300 LF
- New striped crossing: 30 LF
- Improved ROW: 400 LF



LAKEFRONT IMPROVEMENT PROJECT | CONCEPT ALTERNATIVES

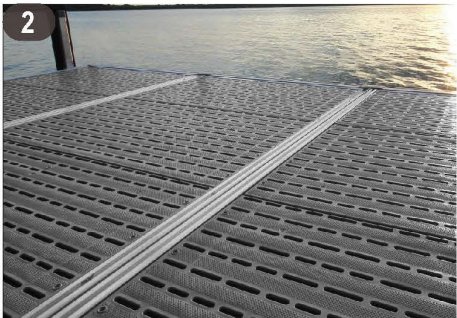
DESIGN NARRATIVES 7

PRESERVE: Design Options

PRESERVE AREA

Remove existing gravel trails. Relocate pedestrian bridge. Salvage existing benches and boulders. Preserve overlook platform, demolish and replace railing. Install new concrete paths and new overlook platforms with seating. Restore trails south of creek to planting. Remove invasive plants throughout and replant with native species. Estimated quantities:

- New overlook platforms with seating: 4 @ 225 SF ea.
- New concrete path: 6' wide, typ.
- Salvage existing boulders: 6 ea.
- Salvage existing benches: 3 ea.



- 1 New concrete paths
- 2 New overlook platforms
- 3 Demolish and restore trails
- 10 Preserve and relocate bridge
- 11 Preserve overlook, in place



LAKEFRONT IMPROVEMENT PROJECT | CONCEPT ALTERNATIVES

DESIGN NARRATIVES 9

Estimated Cost:
\$900k - 920k

Key mitigation opportunities, cost
manage through finish and SF

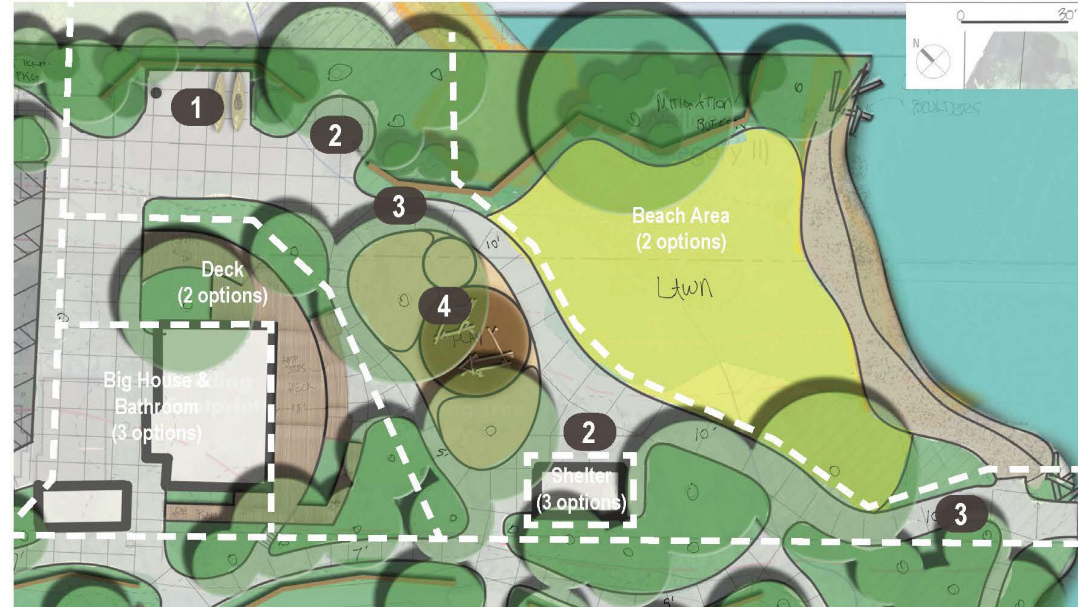
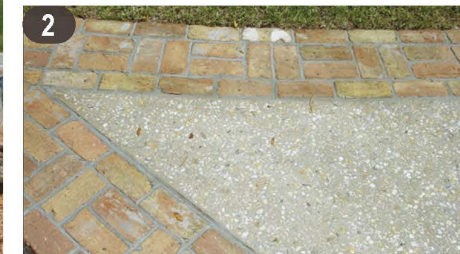
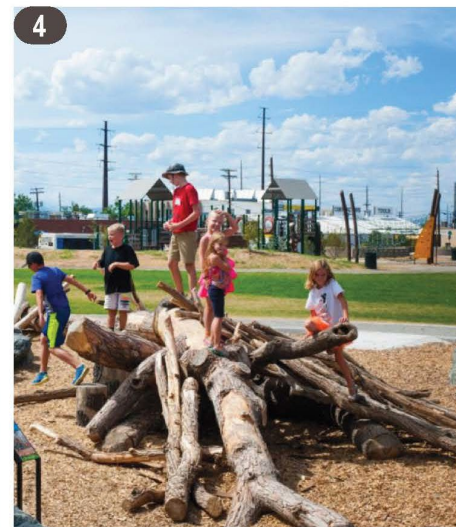
CENTRAL AREA: Design Options

STAGING & PLAY AREA

Staging area for recreational equipment including automated air pump station, kayak and bike racks. Installed new concrete paths and plazas, using reclaimed brick. Main path will serve as emergency vehicle access route to dock. Plazas will have seating and interpretive elements. Remove invasive species and renovate existing planting beds. Install new nature-based play area among existing mature trees. Estimated quantities:

- Staging area with amenities: 1 ea @ 750 SF
- New concrete path: 10' wide, typ.
- New plazas with seating: 3 picnic tables, 2 benches
- New play area with wood chips surface: 750 SF

- 1 New staging area with amenities
- 2 New interpretive/seating plaza
- 3 New paved path
- 4 New play area



LAKEFRONT IMPROVEMENT PROJECT | CONCEPT ALTERNATIVES

DESIGN NARRATIVES 10

Estimated Cost:
\$400k - \$475k

Design Areas with Site Plan Options

Parking and Entrance

- More and minimum scenarios for onsite parking
- Majority of parking will be offsite at City Hall
- Onsite parking may have operational limitations through signage and enforcement, such as load/unload only, time limited, permit-only

Beach Area

- SMP limits launching in swimming areas
- Swimming area buoy line extending along north property line
- No swimming south of dock

Dock

- Removes condemned and aging structures
- Divides water access areas, protects preserve
- Retreats from wetland and moves off of preserve parcel, gives space to creek mouth

PARKING AREA: More & Minimum Parking Options

PARKING & ENTRY AREA

Create new asphalt entrance and parking area. Focus development over footprints of existing pavements and structures. Preserve existing large trees. Preserve overhead utilities and utility poles in current locations. Minimize excavation, build over existing grade.

OPTION 1: MORE PARKING

Larger parking area required demolition of Cabin 6. Estimated quantities:

- Universally-accessible/ADA-compliant spaces: 3 ea.
- Standard parking spaces: 9 ea.

OPTION 2: MINIMUM PARKING

Smaller parking area allows for preservation of Cabin 6. Estimated quantities:

- Universally-accessible/ADA-compliant spaces: 5 ea.
- Standard parking spaces: 0 ea.

- 1 New entry sign monument
- 6 Cabin 6 / Demolished
- 6 Cabin 6 / Preserved



Estimated Cost:
\$190K - \$220K

Nominal cost change between options

BEACH AREA: Biggest Beach & Separate Soft Launch Options

Estimated Cost:
\$155K - \$175K

Key mitigation opportunities, nominal
change between options

BEACH AREA

Preserve existing lawn in place. Remove obstructions and armoring from beach; soften and natural shoreline. Place rocks and logs and install native plantings. Install permanent irrigation. Install wildlife-friendly fencing in wetland buffer.

OPTION 1: MAXIMUM BEACH

Provide large contiguous beach and large gathering lawn. Estimated quantities:

- Restored beach: 125 LF

OPTION 2: DESIGNATED SOFT LAUNCH

Provide sizable beach and large gathering lawn, includes separate soft launching area for paddlecraft. Estimated quantities:

- Restored beach: 85 LF

- 1 Preserve existing lawn
- 2 Restore and soften beach
- 3 Provide separate soft launch for paddlecraft
- 4 Native plantings
- 9 Cabin 9 / Lakefront shelter



LAKEFRONT IMPROVEMENT PROJECT | CONCEPT ALTERNATIVES



DESIGN NARRATIVES 11

DOCK AREA: All-activity Dock & Separate Swim Float Options

DOCK

Install new fixed-pier construction multipurpose dock. Dock to be constructed using best practices for protection of shoreline ecology (i.e., grated decking, steel supports, wildlife-friendly lighting). South side of dock will feature viewing platforms with seating (est. 2 ea.). Terminal end of dock will feature access for watercraft and accessible paddlecraft launch.

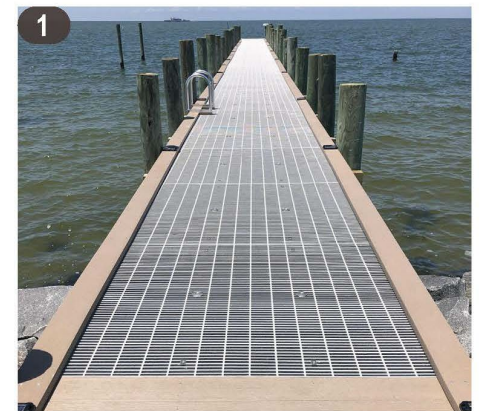
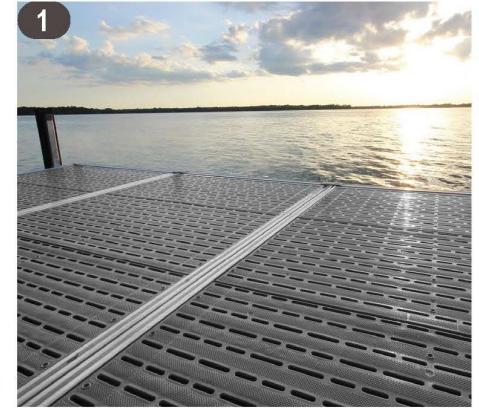
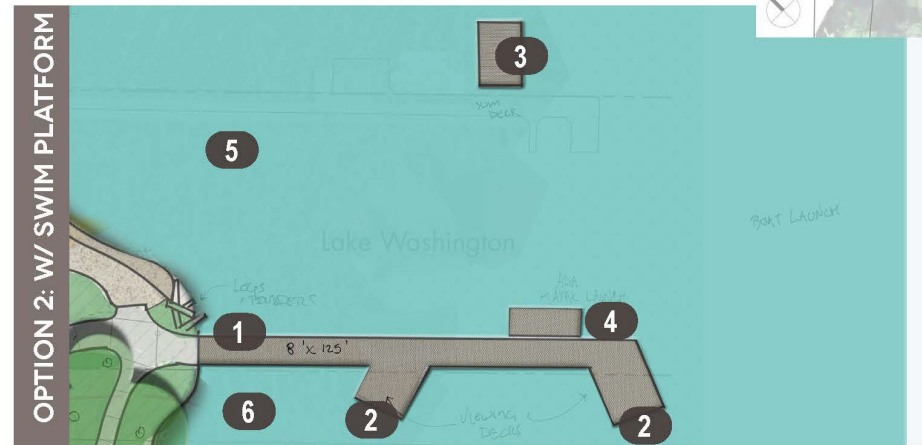
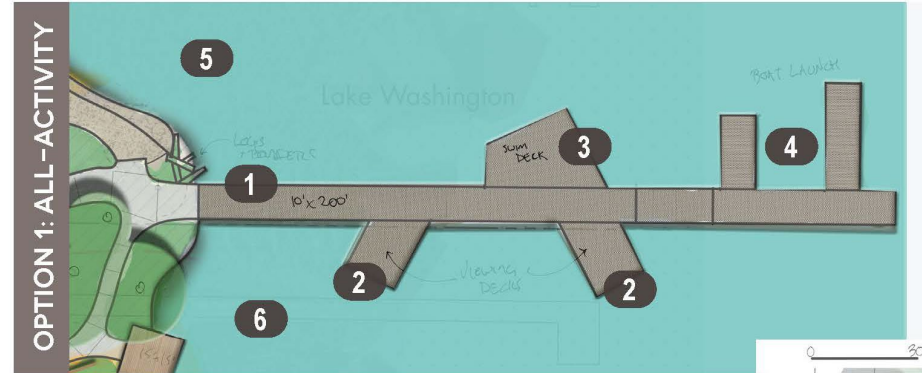
OPTION 1: ALL-ACTIVITY

Provide large multipurpose dock with integrated swimming platform on north side.

OPTION 2: MULTIPURPOSE WITH SEPARATE SWIM PLATFORM

Provide modest multipurpose dock with separate swimming platform.

- 1 New multipurpose dock
- 2 Viewing platform with seating
- 3 Swim platform
- 4 Watercraft access and accessible launch
- 5 Designated swimming and water access area
- 6 Preserve area (no water access)



LAKEFRONT IMPROVEMENT PROJECT | CONCEPT ALTERNATIVES

DESIGN NARRATIVES 12

Estimated Cost:
\$900K - \$1.6M

Main cost driver is SF dock area

Additional Design Items & Concept Ideas

Stormwater

- More than minimum required

Utilities

- Assume total replacement

Placemaking Details

- Railing, fences, edging, walls, etc.
- Reuse salvaged materials as feasible

Examples Concepts

- Two potential iterations of design. Not *the* concept.

Stormwater

Stormwater & Utilities
Estimated Cost:
\$1.2M - \$1.4M



STORMWATER

LAKEFRONT IMPROVEMENT PROJECT | CONCEPT ALTERNATIVES

A diagrammatic sketch of proposed stormwater management. Generally, stormwater will be directed to planted areas, treated with underground (or under deck) detention, then directed to surface flow into the vegetated buffer of Lyon Creek. Detention vaults may be concrete, pre-manufactured modular units, corrugated metal pipe, or other material.

DESIGN NARRATIVES 6

Utilities

Stormwater & Utilities
Estimated Cost:
\$1.2M - \$1.4M



UTILITIES

LAKEFRONT IMPROVEMENT PROJECT | CONCEPT ALTERNATIVES

Existing power, water, and sewer systems to be replaced (i.e., four or five locations depending on whether Cabin 6 is retained). It is assumed that the existing sewer lake line connection can be reused. Permanent in-ground irrigation will be installed to all planting areas outside of the preserve; and, selective low-voltage outdoor lighting will be provided. If required by local regulations, fire main may be required on dock.

DESIGN NARRATIVES 5

Legend:

- 1 Wildlife-friendly fencing
- 2 New railing
- 3 Retaining/seat wall
- 4 Planter bed edging

Site Labels: Lake Washington, Lyon Creek, Bike Lane, Bike Drive NE, Bike Deck, RECREATED BRIDGE.



A diagrammatic sketch of proposed new railings and fencing. Fencing shall be wildlife-friendly, such as split-rail. Railings may be decorative, may include top cap and/or handrail, and shall provide fall protection where required. Retaining walls, seat walls, and edging for planter beds and lawn will feature reclaimed brick.

DESIGN NARRATIVES 14

31

EXAMPLE 1:

- More parking
- Grand deck
- Biggest beach
- All-activity dock



Estimated Cost:
\$6.8M - \$8.2M

EXAMPLE 2:

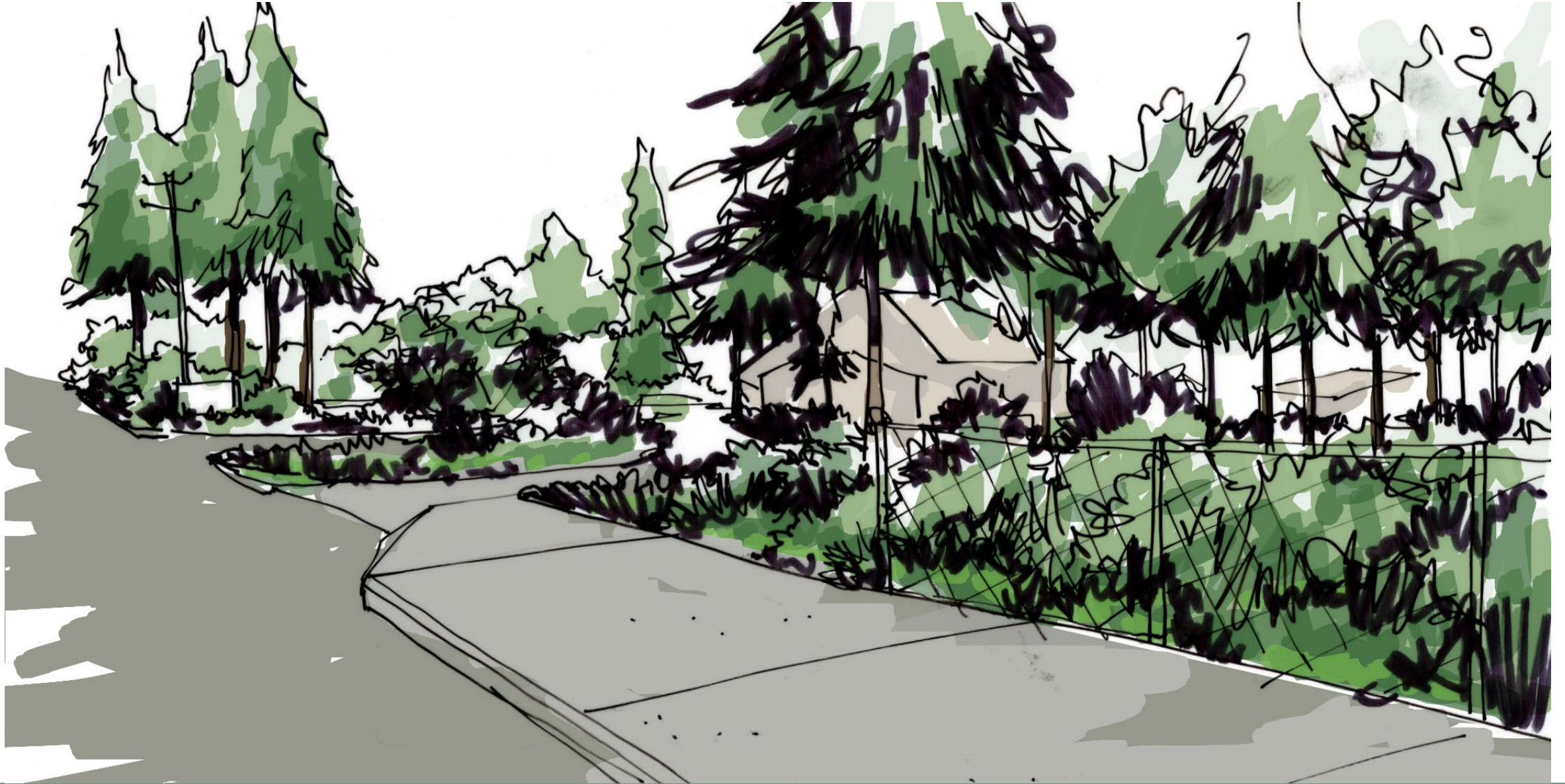
- Minimum parking
- Modest deck
- Separate soft launch
- Smaller dock with swim float



Estimated Cost:
\$5.8M - \$7M

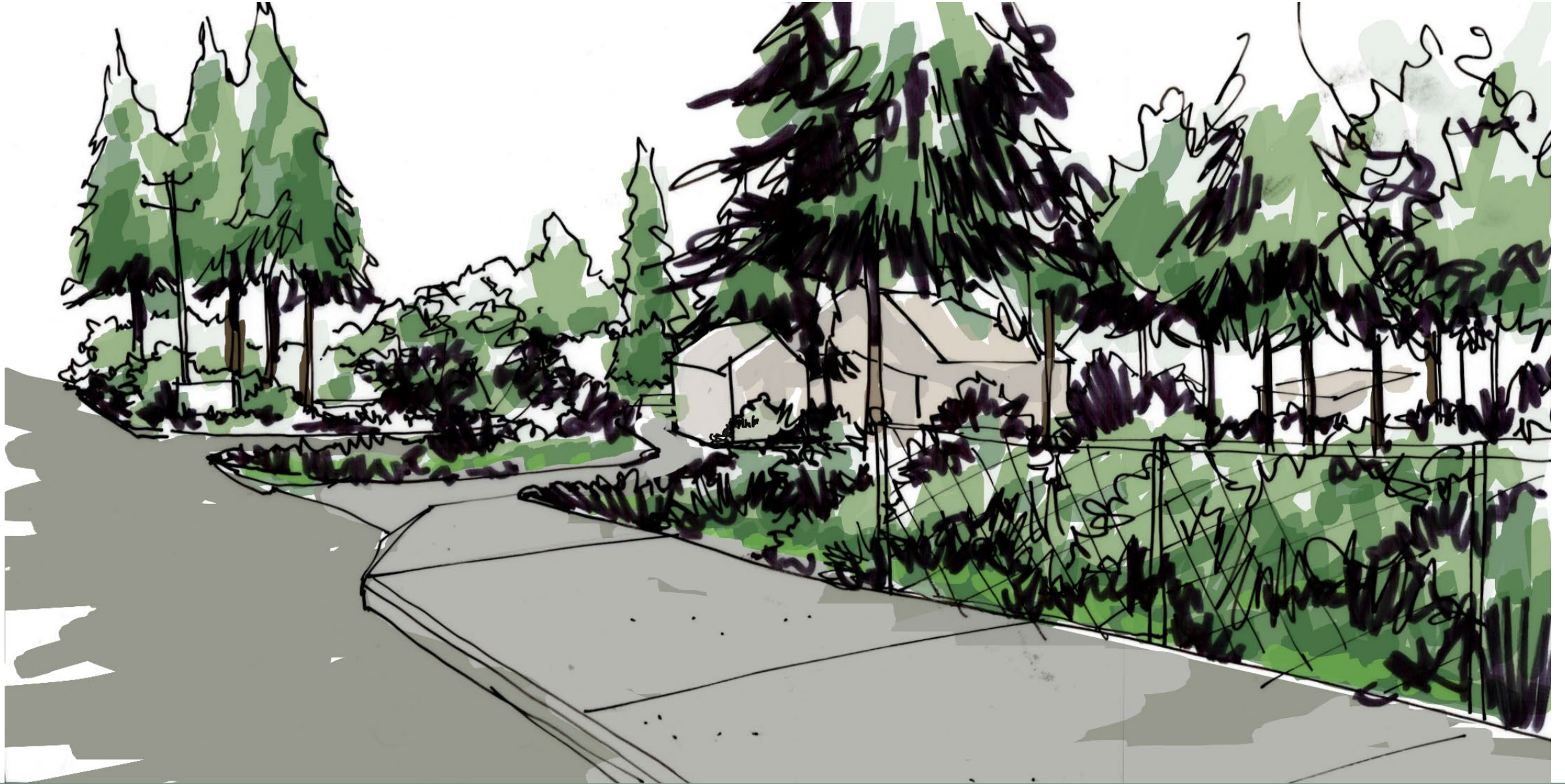
Vision: Entry Sequence

Design Elements: Either parking option, no Cabin 6



Vision: Entry Sequence

Design Elements: Minimum parking, retain Cabin 6



Vision: Parking Area

Design Elements: Minimum parking, retains Cabin 6



Vision: Parking Area

Design Elements: More parking, no Cabin 6



Vision: Preserve & Entrance

Design Elements: No Cabin 6



Vision: Preserve & Entrance

Design Elements: Retain Cabin 6



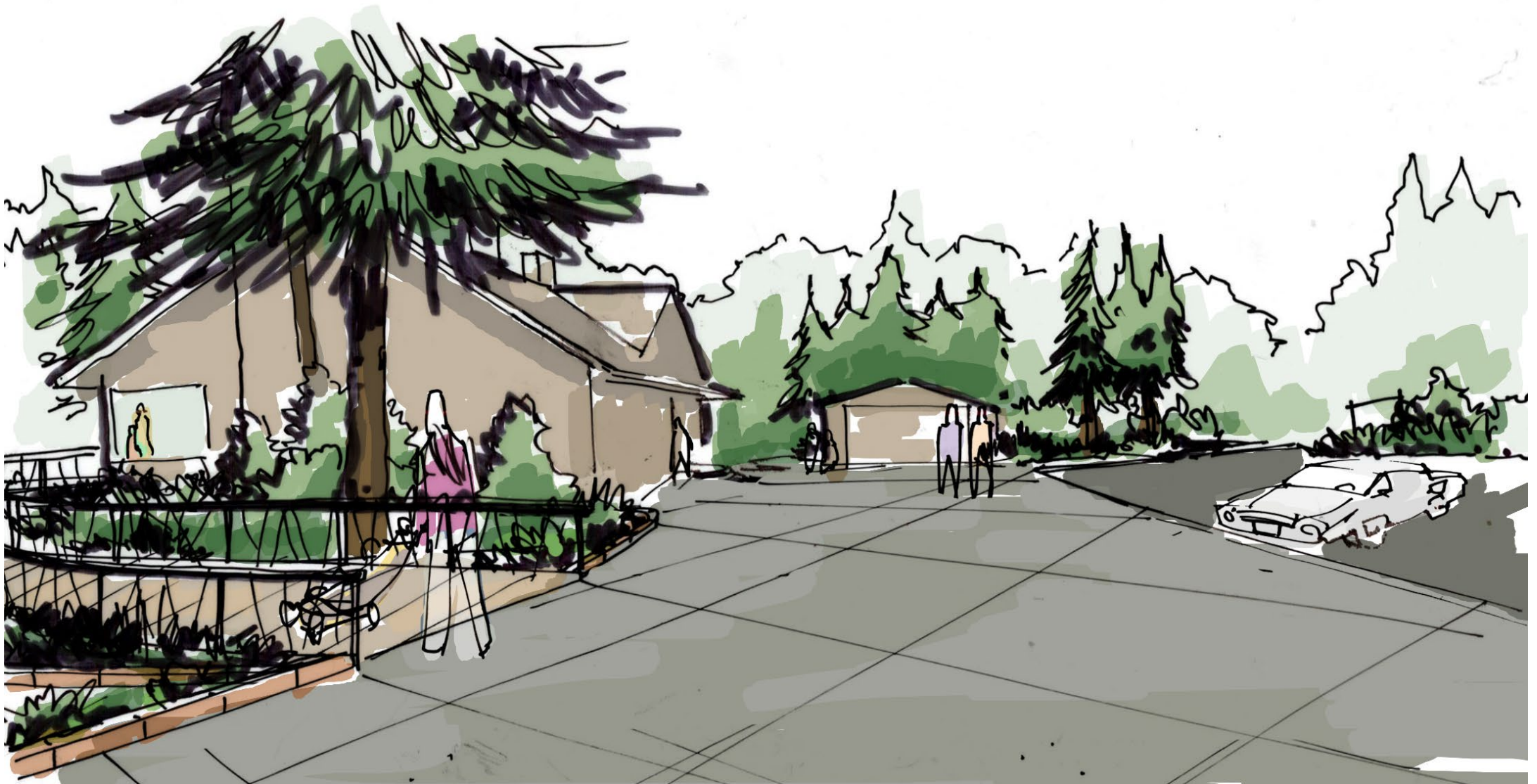
Vision: Entry Plaza

Design Elements: Modest deck, retain Cabin 6, minimum parking



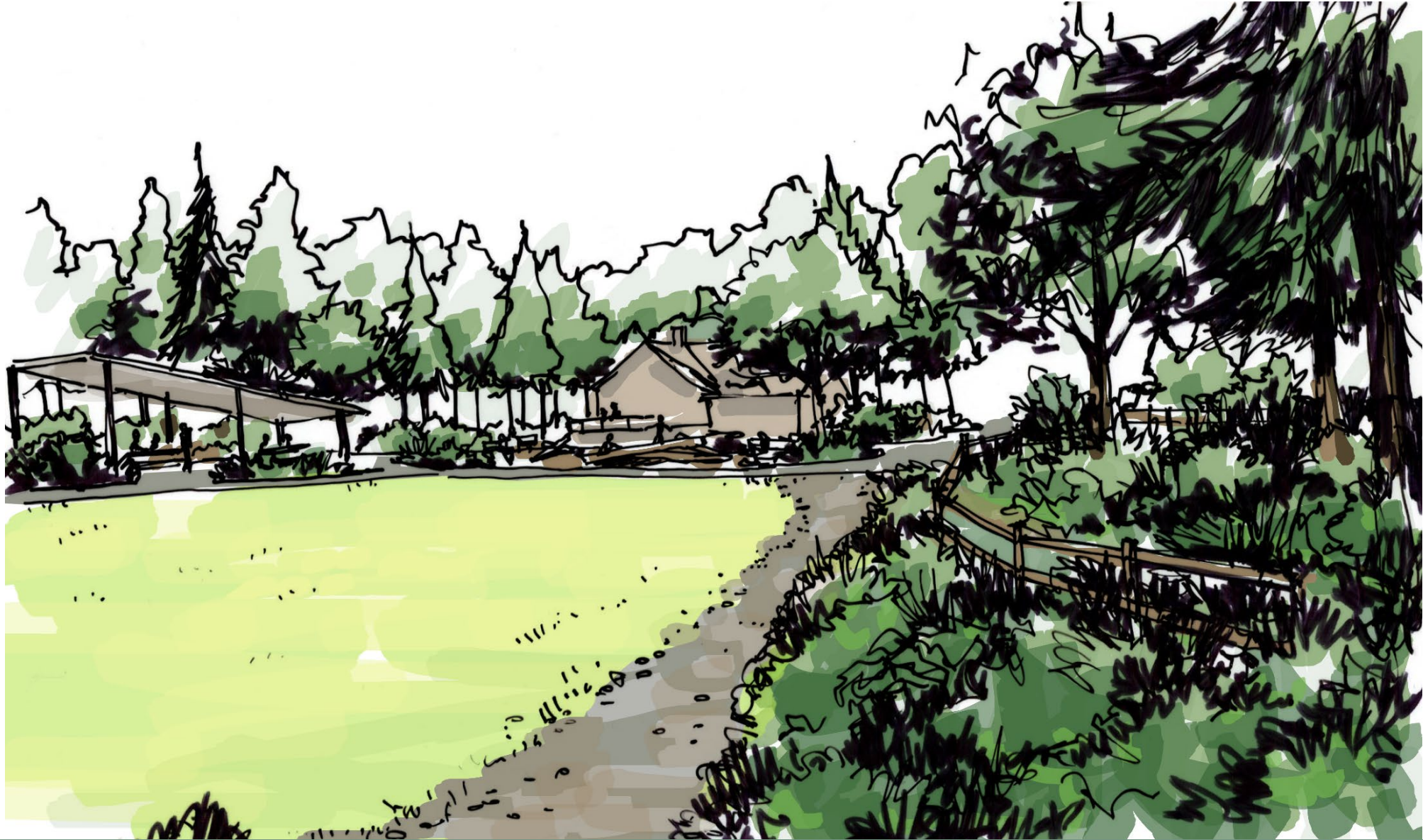
Vision: Entry Plaza

Design Elements: Grand deck, more parking, no Cabin 6



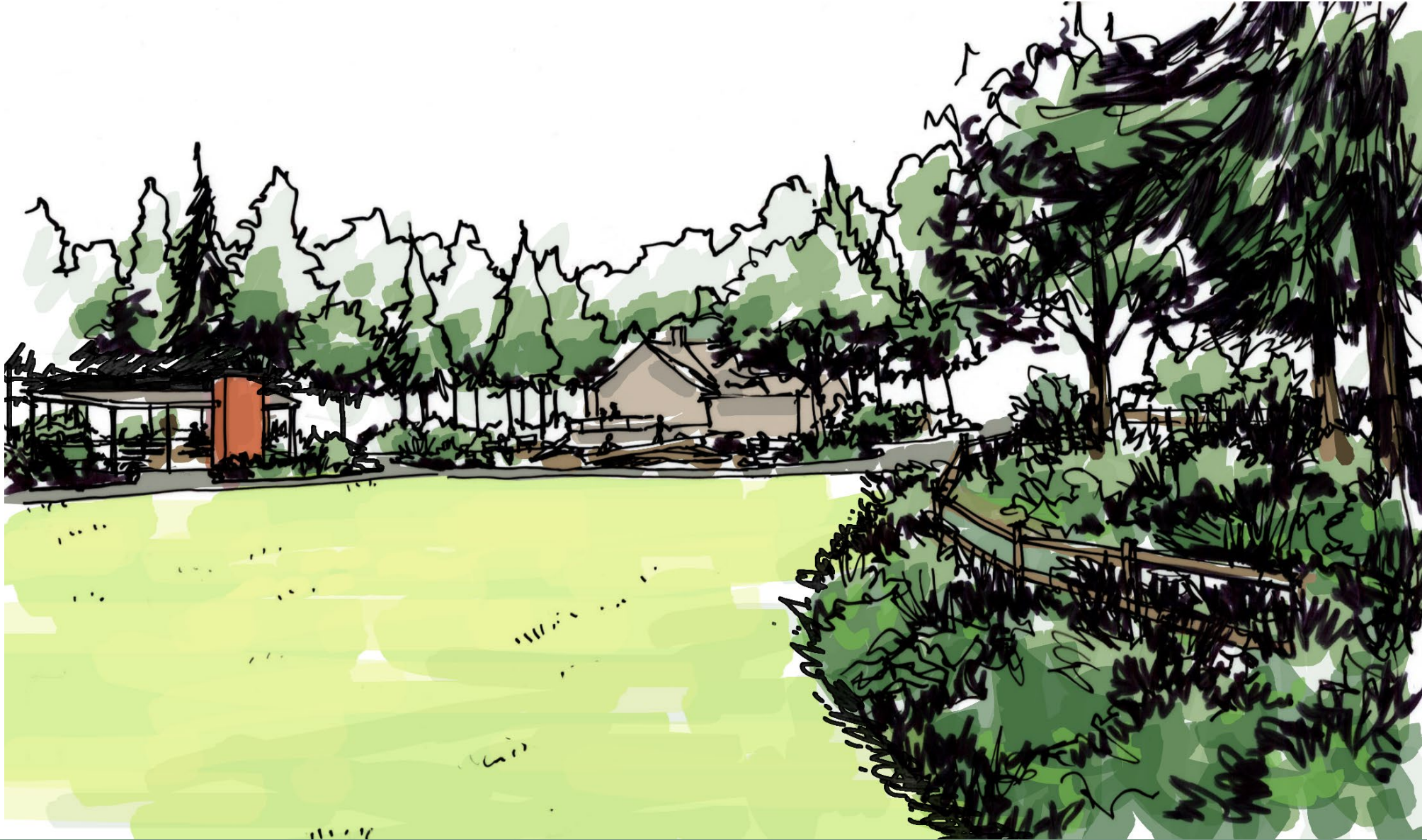
Vision: Central Area

Design Elements: Simple lakefront shelter, separate soft launch



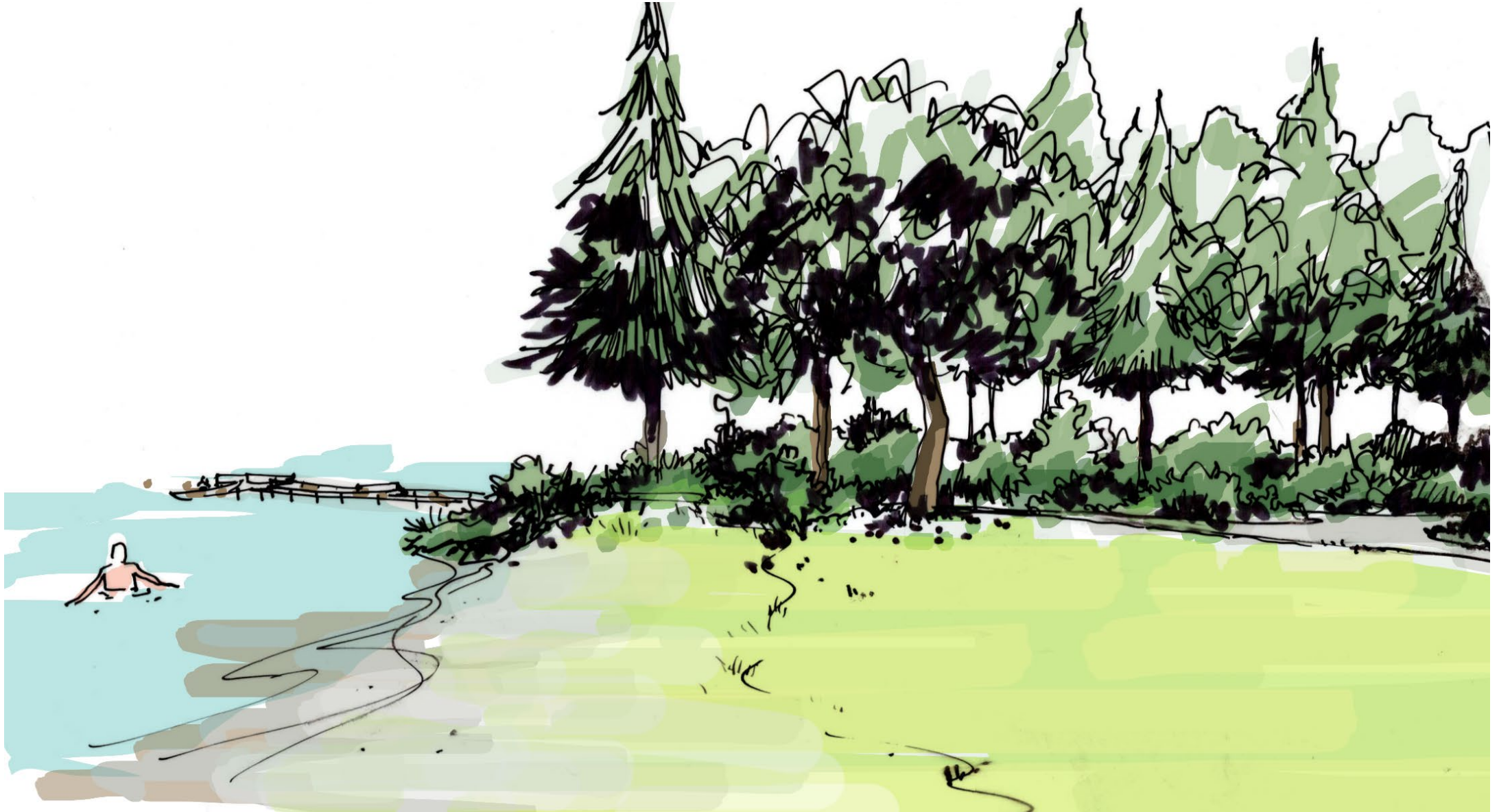
Vision: Central Area

Design Elements: Chimney lakefront shelter, biggest beach (and lawn)



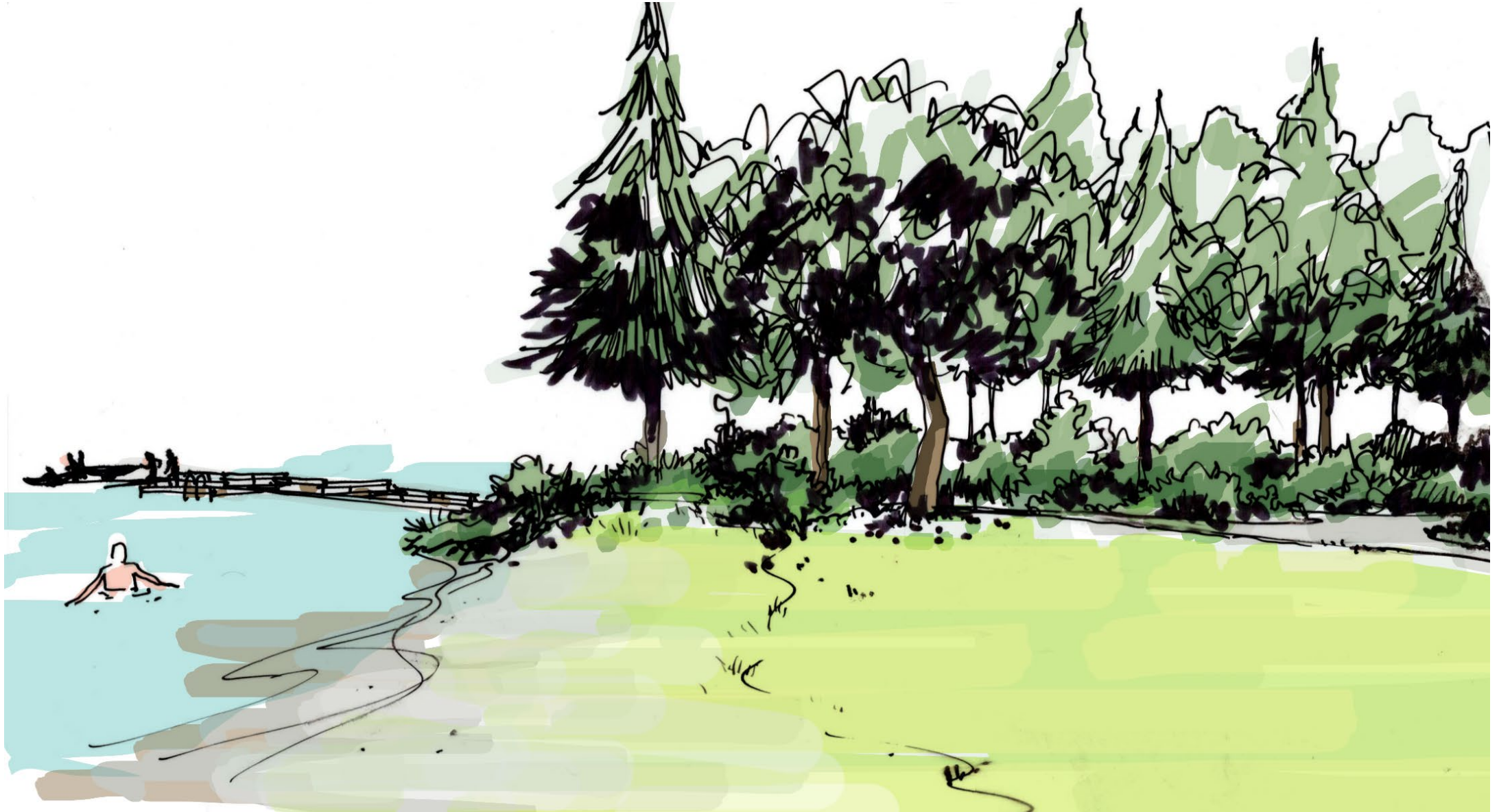
Vision: Beach

Design Elements: Modest dock



Vision: Beach

Design Elements: All-activity dock



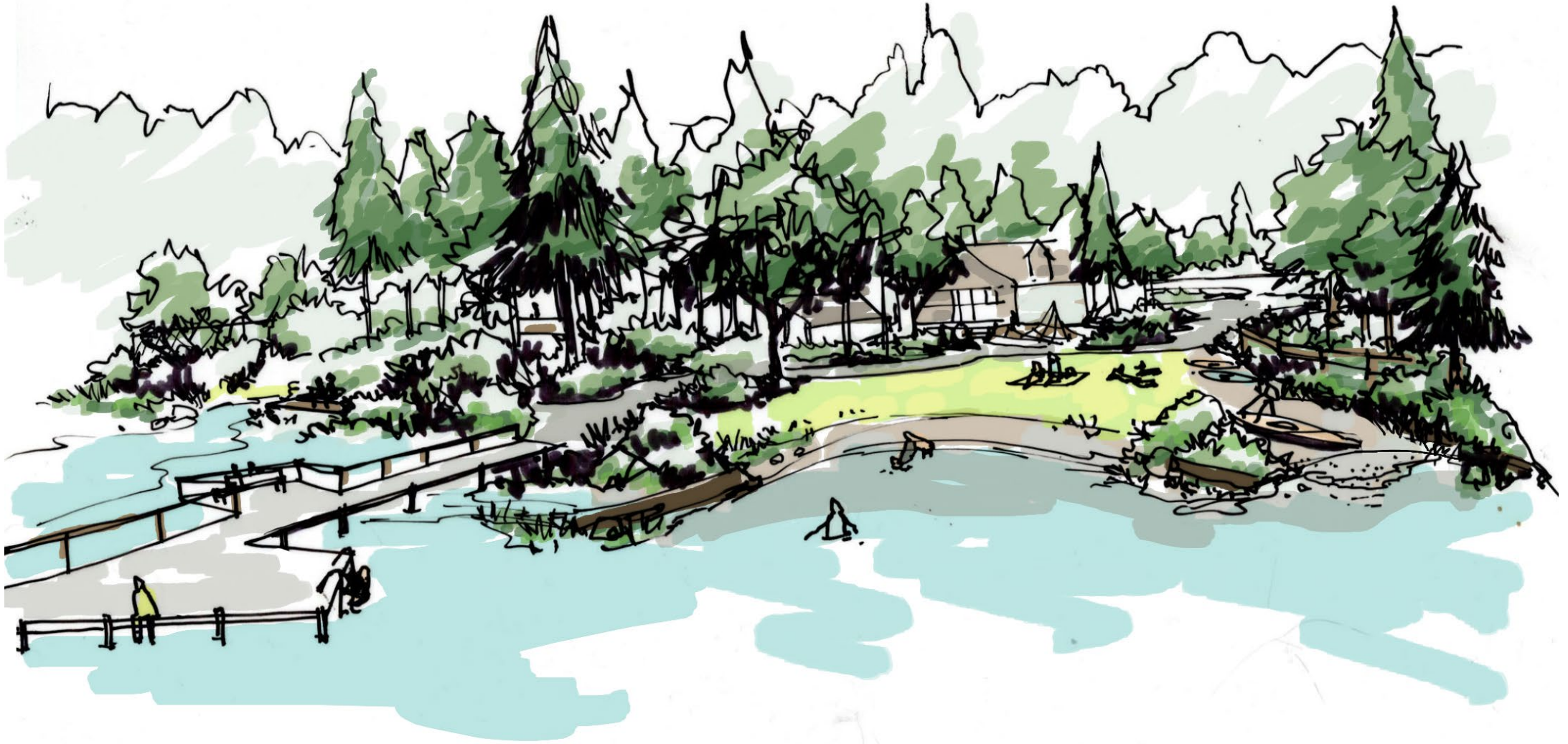
Vision: Waterfront

Design Elements: Smaller dock with swim float, biggest beach



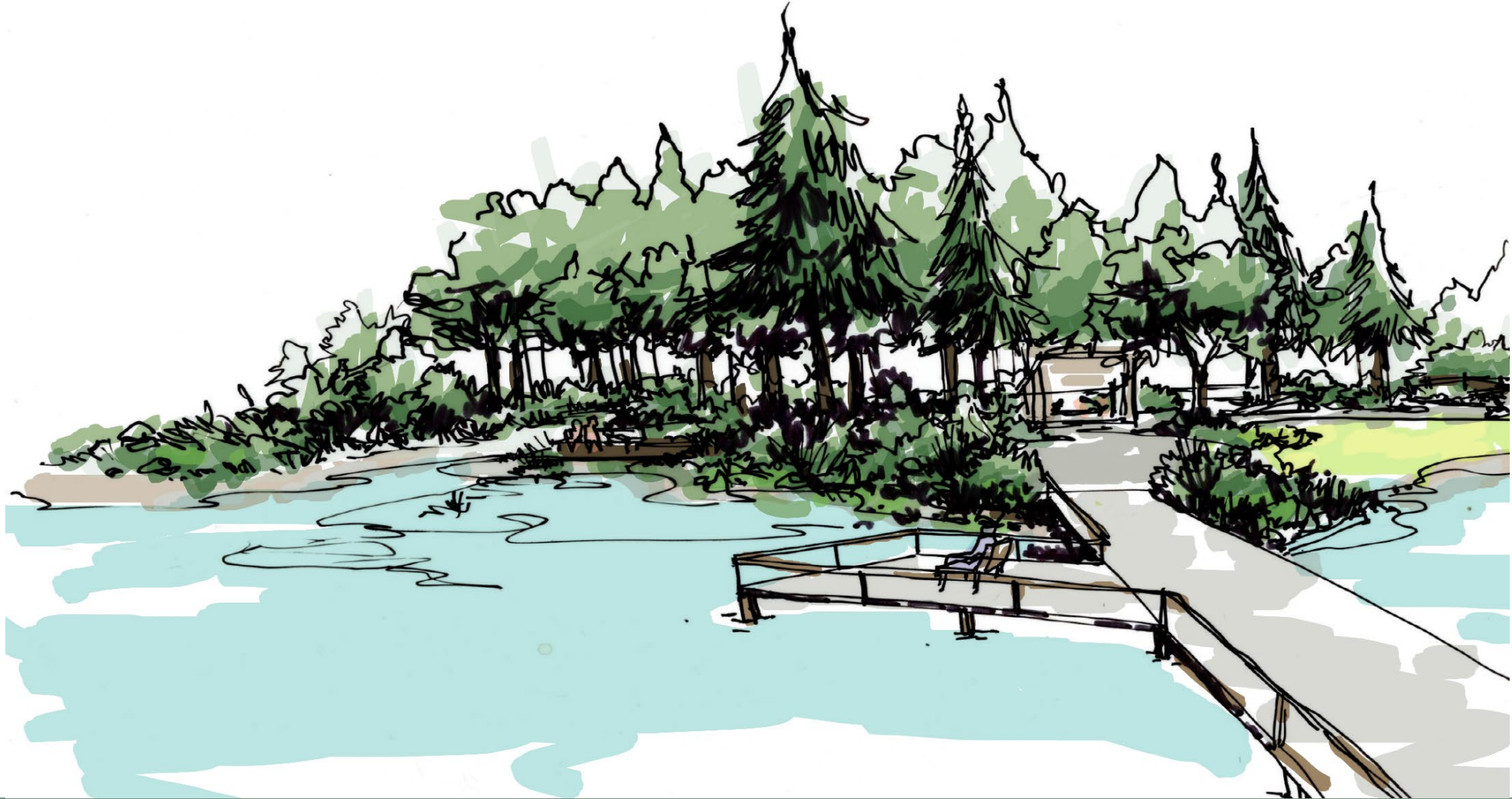
Vision: Waterfront

Design Elements: All-activity dock, separate soft launch



Vision: Waterfront

Design Elements: Either dock option, either beach option



An aerial photograph of a park area. On the left, there is a sandy beach with a playground featuring a blue slide and other equipment. A white, pyramid-shaped building is situated near the beach. The park is filled with lush green trees and grass. To the right, a dark body of water (likely a lake) is visible, with several wooden docks extending into it. A few boats are moored at the docks. The text "Questions and Discussion" is overlaid in white on the bottom left of the image.

Questions and Discussion