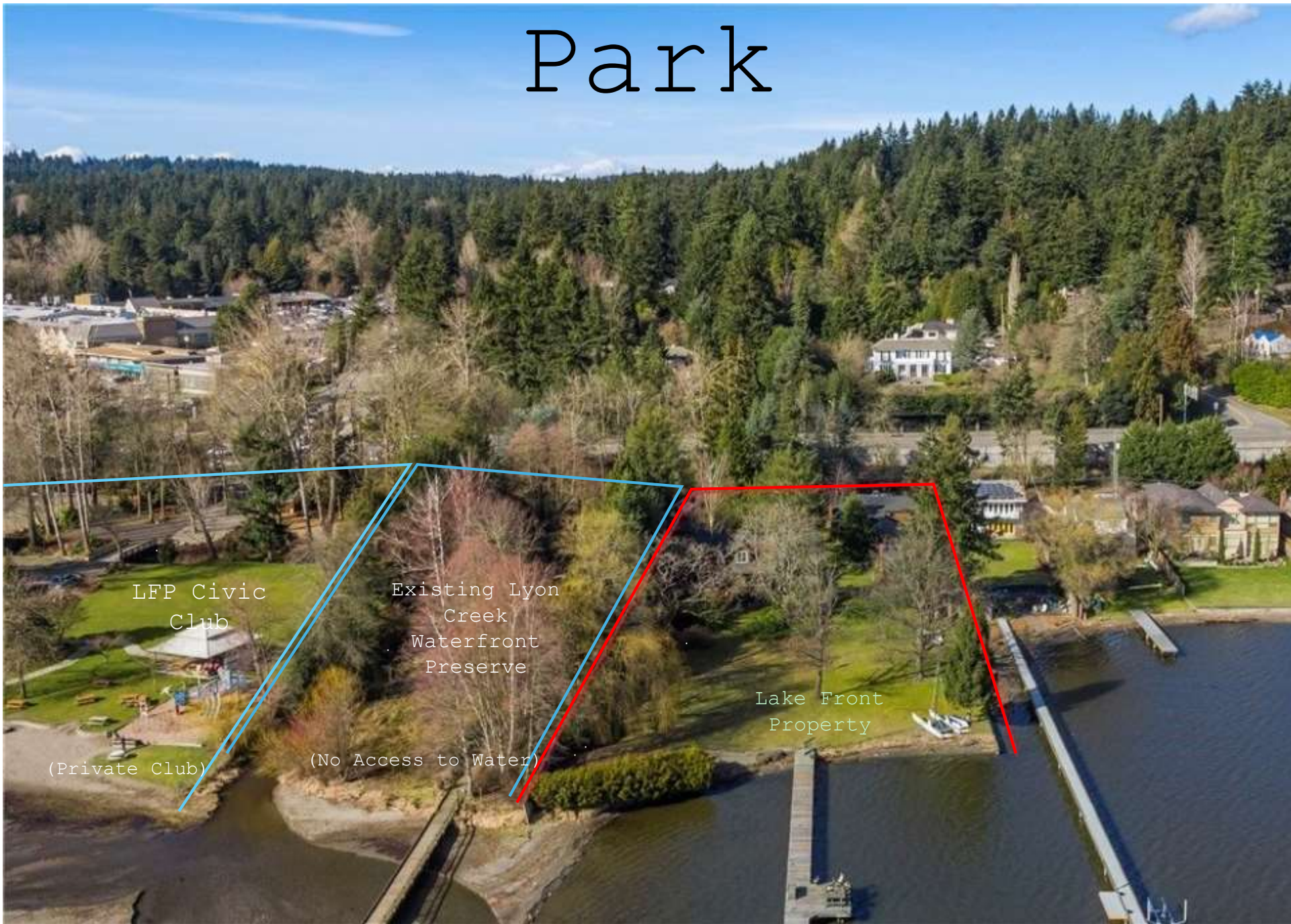


# Park



LFP Civic  
Club

(Private Club)

Existing Lyon  
Creek  
Waterfront  
Preserve

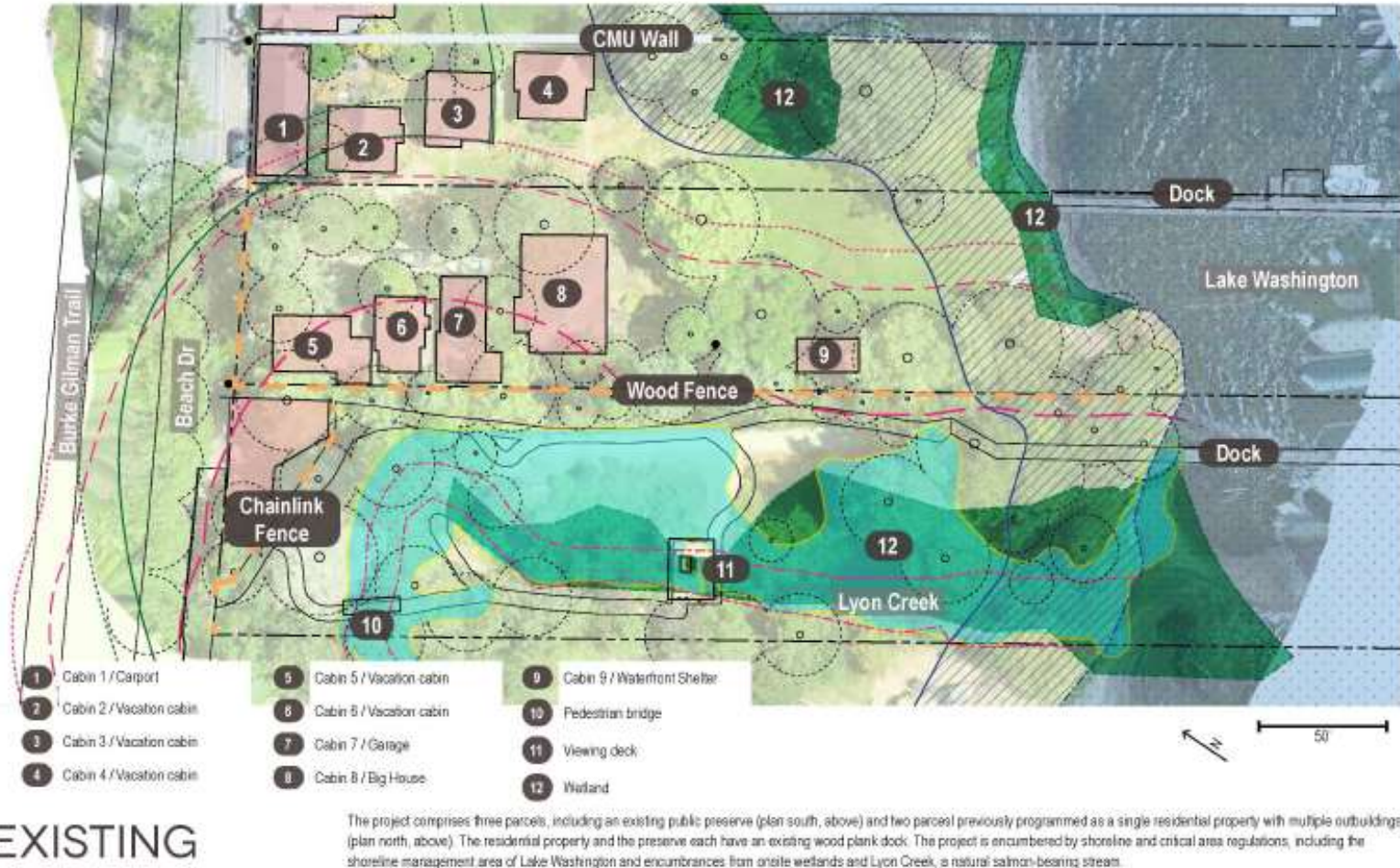
(No Access to Water)

Lake Front  
Property



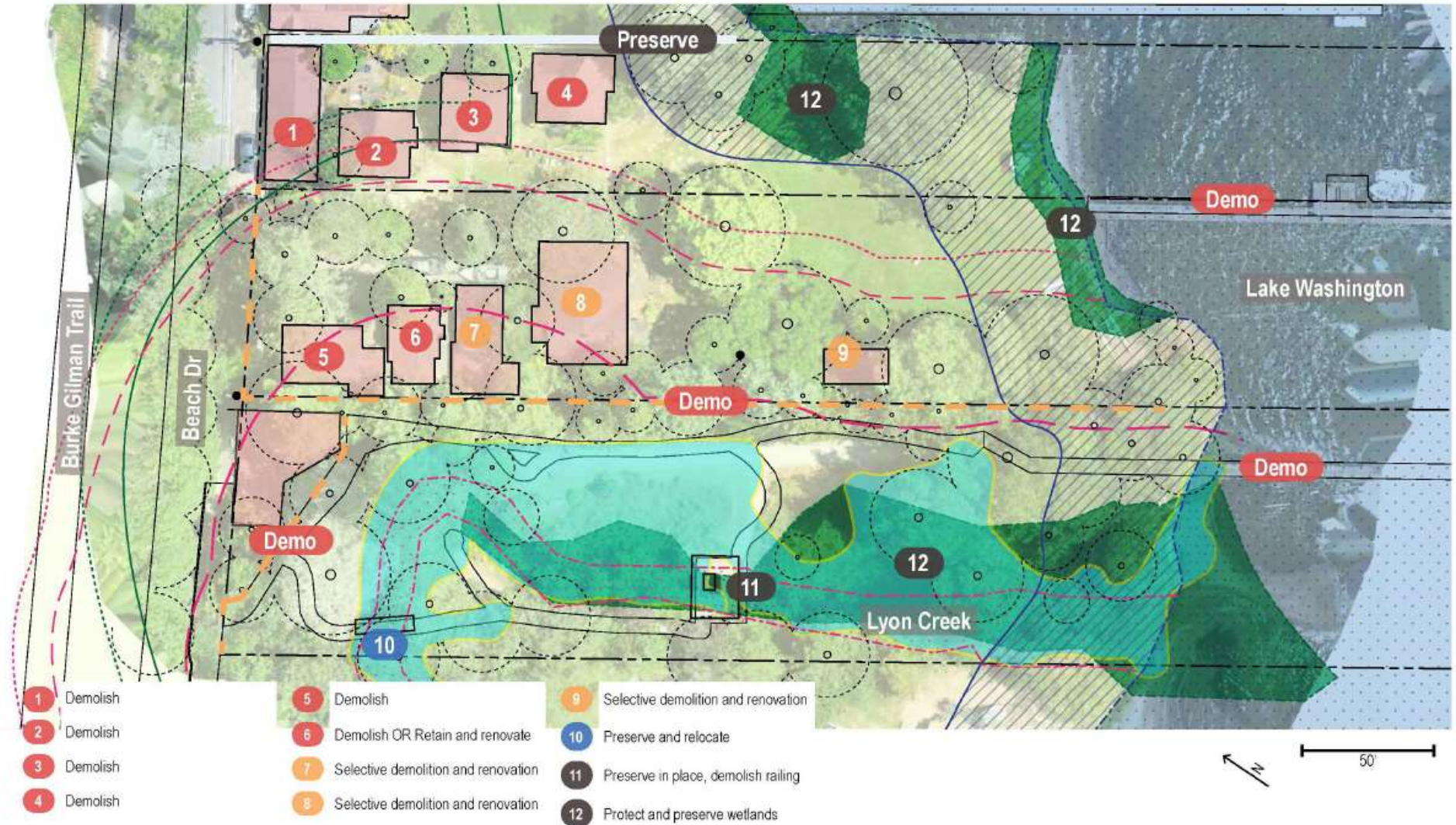
# Schedule Overview

- **February 21:** Community Workshop #2
- **February 27-29:** Parks and Recreation Advisory Board will deliberate on preferred alternative recommendation to City Council
- **March 7:** Special City Council Meeting - view and deliberate preferred design
- **March 25:** Committee of the Whole - view and deliberate preferred design
- **March 28:** City Council Meeting - Adoption of Preferred Design
- **May 1:** RCO Grant Application Deadline
- **April** will begin Schematic





# Planned Demo



## DEMOLITION

LAKEFRONT IMPROVEMENT PROJECT | CONCEPT ALTERNATIVES

Demolition for all potential cost alternates is the same, with exception of Cabin 6, which may or may not remain depending on alternatives chosen. Complete demolition of Buildings 1-5 and selective demolition of buildings 6, 7, and 9 will be conducted through salvage and dismantling in order to salvage and reclaim as much of the material as is feasible, including but not limited to old growth timber, brick, metal work and fixtures, appliances, furnishings, and other materials. Preserve CMU wall at the north boundary. Demolish docks and fencing.

DESIGN NARRATIVES | 2

Demolition and Site Preparation  
Estimated Cost:  
\$950k - \$1M



# Concept Design Strategy

Kit of parts

9 design areas

- 6 areas have site plan or programmatic options
- 3 areas have design options for a single site plan concept



## OVERVIEW

The concept alternatives are designed as a kit of parts that can be combined into multiple potential scenarios. The park is divided into nine areas.

# Building Options

## Main structure (the 'Big House')

- Current enclosed garage renovated into park bathroom
- Bathroom design follow main structure program

## Deck

- Deck options can work with any of the Big House options

## Cabin 6

- Programmed as flexible office space
- Retention of structure depends on parking lot design

## Lakefront shelter

- Programmed as picnic shelter
- Options for structure design and construction

## ARCHITECTURE

See attached concept drawing plan sheets for the following architecture options:

- 1 BIG HOUSE AND BATHROOM OPTIONS  
CABIN 6
- 2 LAKEFRONT SHELTER OPTIONS



Building Options

Estimated Cost:  
\$1.1M - \$1.9M



# PARKING & ENTRY AREA

Create new asphalt entrance and parking area. Focus development over footprints of existing pavements and structures. Preserve existing large trees. Preserve overhead utilities and utility poles in current locations. Minimize excavation, build over existing grade.

## OPTION 1: MORE PARKING

Larger parking area required demolition of Cabin 6. Estimated quantities:

- Universally-accessible/ADA-compliant spaces: 3 ea.
- Standard parking spaces: 9 ea.

## OPTION 2: MINIMUM PARKING

Smaller parking area allows for preservation of Cabin 6. Estimated quantities:

- Universally-accessible/ADA-compliant spaces: 5 ea.
- Standard parking spaces: 0 ea.

# PARKING AREA: More & Minimum Parking Options





# Deck Options

## DECK

Install new deck attached to Big House structure. High-end wood decking for deck surface. Below decking, outer face of decking supports shall be perforated brick wall using reclaimed brick. Either decking option works with all options for Big House and bathroom.

### OPTION 1: GRAND GATHERING DECK

Provide large statement deck with associated ramps, stairs, and rails. Estimated quantities:

- New deck: 1,600 SF

### OPTION 2: GATHERING DECK

Provide replacement deck with associated ramps, stairs, and rails. Estimated quantities:

- New deck: 800 SF

- 1 Statement deck ramp
- 2 Outer face of wall supporting deck
- 3 Statement deck stair
- 4 Gathering area



LAKEFRONT IMPROVEMENT PROJECT | CONCEPT ALTERNATIVES

DESIGN NARRATIVES | 13

Estimated Cost:  
\$190k - \$355k

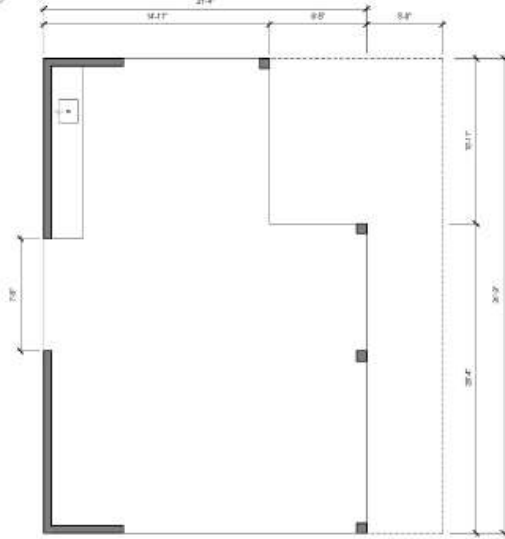
Main cost driver is SF deck area



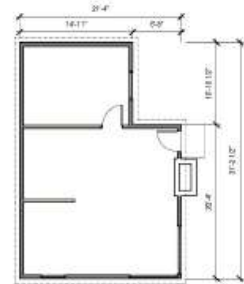
# LAKEFRONT SHELTER: Picnic Pavilion



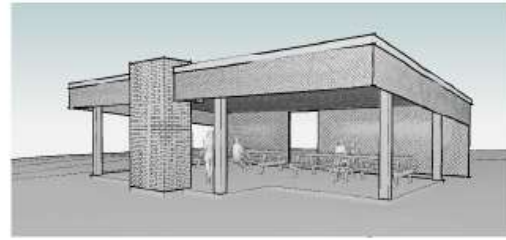
3 PICNIC SHELTER OPTION 3 - FOLD



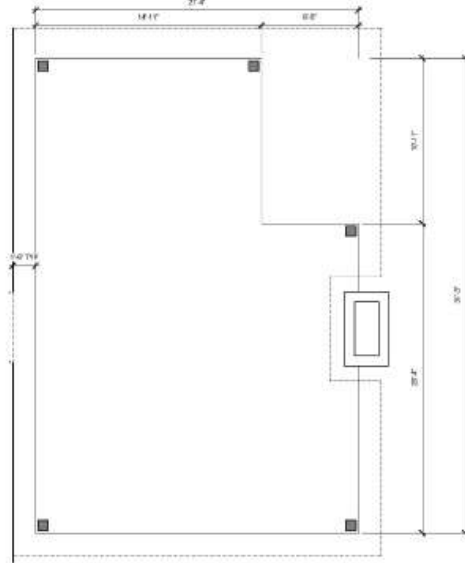
6 PICNIC SHELTER OPTION 3 - FOLD  
SCALE: 1/8" = 1'-0"



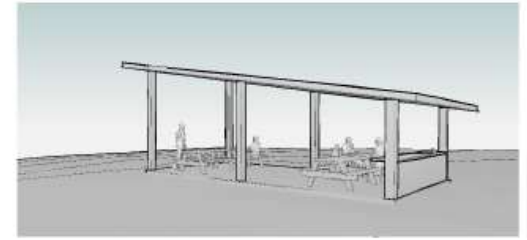
8 PICNIC SHELTER SITE - EXISTING CABIN  
SCALE: 1/8" = 1'-0"



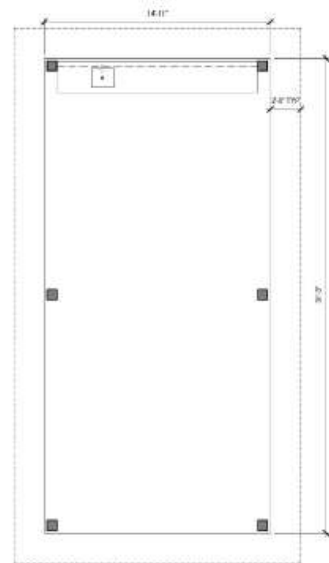
2 PICNIC SHELTER OPTION 2 - CHIMNEY



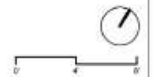
5 PICNIC SHELTER OPTION 2 - CHIMNEY  
SCALE: 1/8" = 1'-0"



1 PICNIC SHELTER OPTION 1 - SIMPLE



4 PICNIC SHELTER OPTION 1 - SIMPLE  
SCALE: 1/8" = 1'-0"



Revised: 10/20/2023 1:52:07 PM

Estimated Cost:  
**\$130k - \$350k**

**JA**

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LAKE FOREST PARK  
LAKEFRONT PARK  
\*PROJECT ADDRESS\*

DRAWING ISSUE  
DATE DESCRIPTION

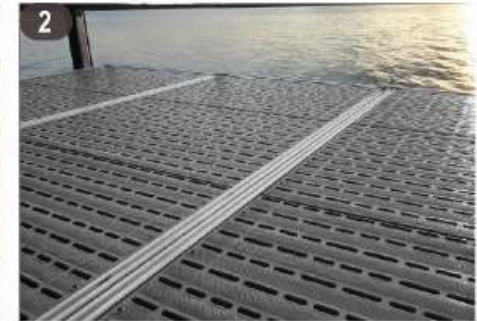


# PRESERVE: Design Options

## PRESERVE AREA

Remove existing gravel trails. Relocate pedestrian bridge. Salvage existing benches and boulders. Preserve overlook platform, demolish and replace railing. Install new concrete paths and new overlook platforms with seating. Restore trails south of creek to planting. Remove invasive plants throughout and replant with native species. Estimated quantities:

- New overlook platforms with seating: 4 @ 225 SF ea.
- New concrete path: 6' wide, typ.
- Salvage existing boulders: 6 ea.
- Salvage existing benches: 3 ea.



- 1 New concrete paths
- 2 New overlook platforms
- 3 Demolish and restore trails
- 10 Preserve and relocate bridge
- 11 Preserve overlook, in place



LAKEFRONT IMPROVEMENT PROJECT | CONCEPT ALTERNATIVES

DESIGN NARRATIVES 9

Estimated Cost:  
**\$900k - 920k**

Key mitigation opportunities, cost  
manage through finish and SF



# STAGING & PLAY AREA

Staging area for recreational equipment including automated air pump station, kayak and bike racks. Installed new concrete paths and plazas, using reclaimed brick. Main path will serve as emergency vehicle access route to dock. Plazas will have seating and interpretive elements. Remove invasive species and renovate existing planting beds. Install new nature-based play area among existing mature trees. Estimated quantities:

- Staging area with amenities: 1 ea @ 750 SF
- New concrete path: 10' wide, typ.
- New plazas with seating: 3 picnic tables, 2 benches
- New play area with wood chips surface: 750 SF

- 1 New staging area with amenities
- 2 New interpretive/seating plaza
- 3 New paved path
- 4 New play area



LAKEFRONT IMPROVEMENT PROJECT | CONCEPT ALTERNATIVES

DESIGN NARRATIVES 10

## CENTRAL AREA: Design Options

Estimated Cost:  
\$400k - \$475k



# BEACH AREA: Biggest Beach & Separate Soft Launch Options

## BEACH AREA

Preserve existing lawn in place. Remove obstructions and armoring from beach; soften and natural shoreline. Place rocks and logs and install native plantings. Install permanent irrigation. Install wildlife-friendly fencing in wetland buffer.

### OPTION 1: MAXIMUM BEACH

Provide large contiguous beach and large gathering lawn. Estimated quantities:

- Restored beach: 125 LF

### OPTION 2: DESIGNATED SOFT LAUNCH

Provide sizable beach and large gathering lawn, includes separate soft launching area for paddlecraft. Estimated quantities:

- Restored beach: 85 LF

- 1 Preserve existing lawn
- 2 Restore and soften beach
- 3 Provide separate soft launch for paddlecraft
- 4 Native plantings
- 9 Cabin 9 / Lakefront shelter



Estimated Cost:

**\$155K - \$175K**

Key mitigation opportunities, nominal change between options



# DOCK AREA: All-activity Dock & Separate Swim Float Options

## DOCK

Install new fixed-pier construction multipurpose dock. Dock to be constructed using best practices for protection of shoreline ecology (i.e., grated decking, steel supports, wildlife-friendly lighting). South side of dock will feature viewing platforms with seating (est. 2 ea.). Terminal end of dock will feature access for watercraft and accessible paddlecraft launch.

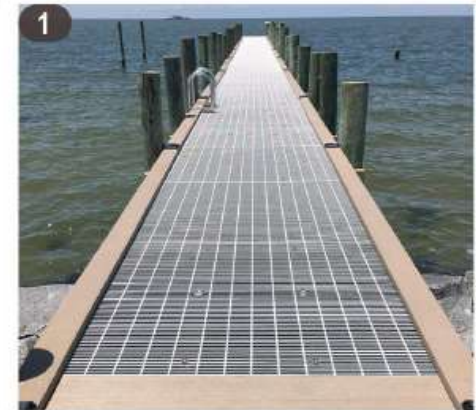
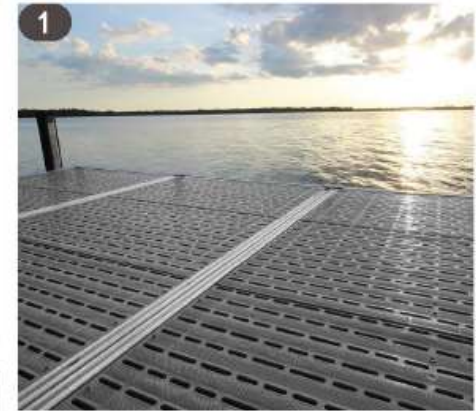
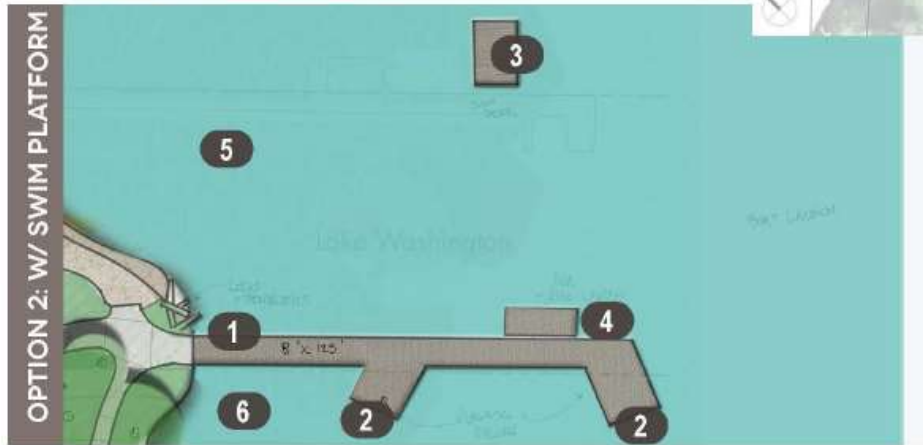
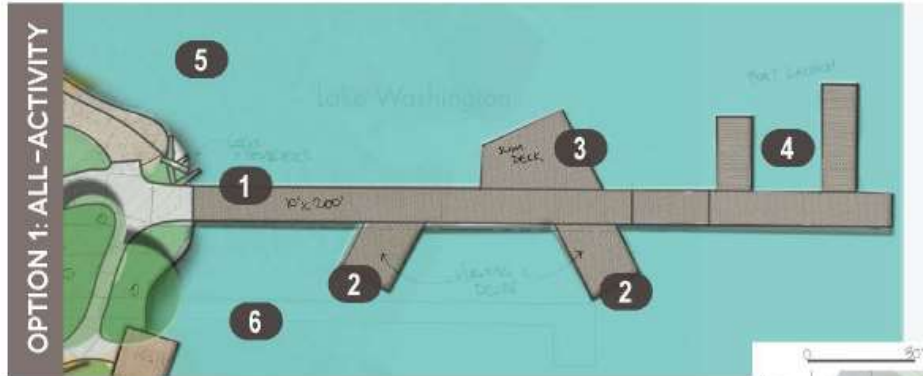
### OPTION 1: ALL-ACTIVITY

Provide large multipurpose dock with integrated swimming platform on north side.

### OPTION 2: MULTIPURPOSE WITH SEPARATE SWIM PLATFORM

Provide modest multipurpose dock with separate swimming platform.

- 1 New multipurpose dock
- 2 Viewing platform with seating
- 3 Swim platform
- 4 Watercraft access and accessible launch
- 5 Designated swimming and water access area
- 6 Preserve area (no water access)



LAKEFRONT IMPROVEMENT PROJECT | CONCEPT ALTERNATIVES

DESIGN NARRATIVES | 12

Estimated Cost:  
**\$900K - \$1.6M**  
Main cost driver is SF dock area



# Thank you, Questions?

