

Date Received 9-5-24
Permit/Receipt No. _____
Fee Paid \$300 check

City of La Vernia
Zoning Change Application
102 E. Chihuahua Street
P.O. Box 225, La Vernia, TX 78121
(830) 779-4541 • Metro/Fax (830) 253-1198



Land ownership must be verified with a notarized statement. If the applicant is acting as the agent for the property owner, the property owner must provide a signed and notarized letter authorizing the agent to act on their behalf, and the letter must accompany the application.

Name KEITH JOHANSON

Mailing Address _____

Telephone _____ Fax _____ Mobile _____ Email johansonrentals@gmail.com

Property Address/Location 376 Dry Hollow

Legal Description _____
Name of Subdivision _____

Lot(s) _____ Block(s) _____ Acreage 4.34

Existing Use of Property Res. Ag

Proposed Use of Property (attach additional or supporting information if necessary) _____

Zoning Change Request: Current Zoning R-A Proposed Zoning C-1

If "PDD Planned Development District", check if: Concept Plan _____ or Detail Plan _____

Reason for request (please explain in detail and attach additional pages if needed) _____

Attachments:

- Accurate metes and bounds description of the subject property (or other suitable legal description) Survey exhibit and other appropriate exhibits as deemed necessary by the city including, but not limited to, site plans, maps, architectural elevations, and information about proposed uses.
- Notarized statement verifying land ownership and if applicable, authorization of land owner's agent to file the zoning change request.

A denied application is ineligible for reconsideration for one year.

The undersigned hereby requests rezoning of the above described property as indicated:

Keith Johanson
Signature of Owner(s)/Agent

9-5-24
Date

Date of Publication <u>9-12-24</u>	For Office Use Only	Date of P&Z Public Hearing <u>10-8-24</u>
Date of 200 Ft Notices <u>9-12-24</u>		Date of Council Public Hearing <u>10-10-24</u>
Ordinance No. _____		Approved _____ Denied _____

I, Keith Johanson, am the land owner at 376 Dry Hollow Rd in La Vernia, TX 78121 (4.34 acers). Please accept this as my notarized statement.

Signed this 5th day of September, 2024.

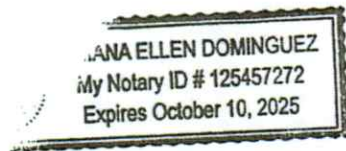
Keith Johanson

Keith Johanson

State of Texas

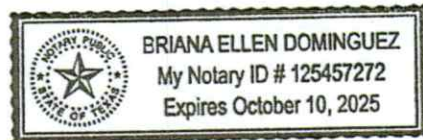
County of Wilson

This instrument was acknowledged before me on this 5th day of September, 2024, by KEITH JOHANSON.



Briana Ellen Dominguez

Notary Public, State of Texas



JUAN DELGADO GRANT
SURVEY No. 8
ABSTRACT No. 8



- LEGEND**
- STEEL ROD FOUND
 - 1/2" IRON SET
 - CORNER POST
 - 100' W/3" DIST. - FIELD
 - 100' W/3" DIST. - RECORD
 - BARBED WIRE FENCE
 - POWER/UTILITY POLE
 - WATER WELL/WATER METER (AS NOTED)
 - SEPTIC TANK
 - CHAIN LINK FENCE
 - WOOD PRIVACY FENCE

DANIEL C. ALLEN AND
KAREN M. ALLEN
VOL. 977, PG. 887

JAMES T. WATSON & WIFE,
ELEANOR E. WATSON
VOL. 807, PG. 879

TRACT 1
4.60 ACRES

TRACT 2
4.34 ACRES

DRY HOLLOW ROAD
(R.O.W. WIDTH NOT TO SCALE)

SURVEY PLAT AND PARTITION OF 8.94 ACRES OF LAND IN THE CITY OF LA VERNIA OUT OF THE JUAN DELGADO GRANT, SURVEY NO. 8, ABSTRACT NO. 8, WILSON COUNTY, TEXAS AND BEING A PART OR PORTION OF THE SAME LAND DESCRIBED AS FIRST TRACT IN A CONVEYANCE TO MARGUERITE PIERDOLLA RUSCH IN THE DEED OF RECORD IN VOLUME 381, PAGE 312 OF THE DEED RECORDS OF WILSON COUNTY, TEXAS.

SURVEYOR NOTES:

- 1.) A 1" IRON ROD WITH A BRASS CAP LABELED POLLOCK & SONS WAS SET AT EACH PROPERTY CORNER UNLESS OTHERWISE NOTED.
- 2.) RECORDS WERE NOT RESEARCHED FOR CLAIMANTS ON THIS TRACT OF LAND.
- 3.) THE BASIS OF THE BEARING SYSTEM IS THE DEED.
- 4.) THIS PLAT WAS PREPARED FOR JAMES T. WATSON, ELEANOR E. WATSON AND MARJORIE RUSCH. NO LEDGEE HAS BEEN CREATED. COPIES, OR SOILED OR COPY, THIS SURVEY EXCEPT AS IS NECESSARY IN CONNECTION WITH THE ORIGINAL TRANSACTION.
- 5.) THIS SURVEY IS ONLY VALID WITH THE SURVEYOR'S ORIGINAL SIGNATURE IN GREEN INK.

ADDRESS: 412 DRY HOLLOW ROAD
LA VERNIA, TEXAS 78121
REFERENCE: VOL. 381, PG. 312 - DEED



POLLOCK & SONS
SURVEYING, INC.
FLORESVILLE, TEXAS
(830) 383-4770



STATE OF TEXAS
COUNTY OF WILSON

I HEREBY CERTIFY THAT THE ABOVE PLAT REPRESENTS AN ACTUAL SURVEY MADE ON THE GROUND BY PEOPLE WORKING UNDER MY DIRECT SUPERVISION

THIS 1ST DAY OF JUNE 2004 A.D.

LARRY J. POLLOCK

R.P.L.S. NO. 5188

© 2004 ALL RIGHTS RESERVED

JOB NO. 021KED004

Keith Ophanson

MARTINEZ
SURVEYING & MAPPING CO.
Firm # 101822-00
P.O. Box 17971
San Antonio, Texas 78217
(210) 829-4244

STATE OF TEXAS
COUNTY OF WILSON

4.34 ACRE TRACT

All that certain tract or parcel of land containing 4.34 acres in the City of La Vernia, Wilson County, Texas, out of the Juan Delgado Grant, Survey No. 8, Abstract 8, being a portion out of that certain tract described as First Tract in a conveyance to Marguerite Pierdolla, of record in Volume 381, Page 312, Deed Records of Wilson County, Texas and being the same tract described in conveyance from Marjorie A. Rusch to Janice Fay Brietzke, of record in Volume 1238, Page 185, Official Public Records of Bexar County, Texas.

BEGINNING: at a ½" iron pin found with cap on the Northeast line of Dry Hollow Road at the South corner of Marjorie A. Rusch, remaining portion of 4.60 acre tract, of record in Volume 1238, Page 189, Official Public Records of Wilson County, Texas, for the Northwest corner of this tract;

THENCE: along with the South line of said Marjorie A. Rusch, remaining portion of a 4.60 acre tract, the following courses and distances:
North 75 deg. 51 min. 40 sec. East, 83.81 feet to a ½" iron pin found with cap;
North 22 deg. 38 min. 23 sec. East, 21.47 feet to a ½" iron pin found with cap;
North 63 deg. 55 min. 31 sec. East, 126.62 feet to a ½" iron pin found with cap;
North 53 deg. 24 min. 47 sec. East, 406.48 feet to a ½" iron pin found with cap on the Southwest line of 101 Cienega Ltd., 16.985 acre tract, of record in Document # 141948, Official Public Records of Wilson County, Texas, at the East corner of said Marjorie A. Rusch, remaining portion of 4.60 acre tract, for the North corner of this tract;

THENCE: South 34 deg. 21 min. 00 sec. East, 298.49 feet to a ½" iron pin found at a corner of said 101 Cienega Ltd., 16.985 acre tract, for the East corner of this tract;

THENCE: South 58 deg. 46 min. 50 sec. West, 741.93 feet to a 5/8" iron pin found on the Northeast line of Dry Hollow Road at the West corner of said 101 Cienega Ltd., 16.985 acre tract, for the South corner of this tract;

THENCE: North 12 deg. 15 min. 11 sec. West, 299.59 feet along with the Northeast line of Dry Hollow Road to the POINT OF BEGINNING.

Bearing Basis – North 12 deg. 15 min. 11 sec. West, 299.59 feet – along the Southwest line of this tract, of record in Volume 1238, Page 185, Official Public Records of Bexar County, Texas.

Field notes prepared from survey performed by Pollok & Sons Surveying, Inc., dated 1st of June, 2004 and from current appraisal office records. No field survey was performed.



A handwritten signature in black ink that reads "Reynaldo Martinez Jr." with a stylized flourish at the end.

REYNALDO MARTINEZ JR.
REGISTERED PROFESSIONAL
LAND SURVEYOR No. 5482
W. O. # 24-8-40
August 30th, 2024

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

GENERAL WARRANTY DEED

THE STATE OF TEXAS §
 § **KNOW ALL MEN BY THESE PRESENTS:**
COUNTY OF WILSON §

THAT, ISABELLA GRACE BRIETZKE, a single woman, hereinafter called Grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) cash and other good and valuable consideration in hand paid by KEITH JOHANSON, whose address is P. O. Box 460, LaVerne, Texas 78121, hereinafter called Grantee, the receipt and sufficiency of which is hereby acknowledged;

HAS GRANTED, SOLD and CONVEYED, and by these presents does GRANT, SELL and CONVEY unto the said Grantee the following described property situated in Wilson County, Texas, to-wit:

Being 4.34 acres of land, more or less, in Wilson County, Texas, as a part of the Juan Delgado Grant, Survey No. 8. (A-8), and being the land described in deed wherein an undivided interest in said land is conveyed dated August 20, 2004 from Marjorie A. Rusch to Janice Fay Brietzke, of record in Volume 1238, Page 188, Official Public Records of Wilson County, Texas.

This conveyance is made subject to, all and singular, the restrictions, conditions, easements and covenants, if any, applicable to and enforceable against the above described property as reflected by the records of the County Clerk of Wilson County, Texas.

Taxes for the current year have been prorated and are thereafter assumed by Grantee.

TO HAVE AND TO HOLD the above described premises, together with, all and singular, the rights and appurtenances thereto in anywise belonging unto the said Grantee, Grantee's heirs, executors, administrators, successors, or assigns forever.

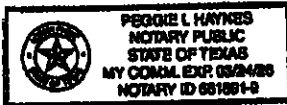
Grantor does hereby bind Grantor, Grantor's heirs, executors, administrators, and successors to warrant and forever defend, all and singular, the said premises unto the said Grantee, Grantee's heirs, executors, administrators, successors, and assigns against any person whomsoever claiming or to claim the same or any part thereof.

DATED this the 22 day of March, 2024.

Isabella Grace Brietzke
ISABELLA GRACE BRIETZKE, a
single woman

STATE OF TEXAS
COUNTY OF

This instrument was acknowledged before me on this the 22 day of March, 2024, by ISABELLA GRACE BRIETZKE, a single woman.



Peggie L. Haynes
Notary Public, State of Texas

982.Dead2
Según Título (P+)
GFR0394608TC

**Wilson County
Genevieve
Martinez
Wilson County Clerk**

Instrument Number: 141069

eRecording - Real Property

GENERAL W/D

Recorded On: March 25, 2024 08:29 AM

Number of Pages: 3

" Examined and Charged as Follows: "

Total Recording: \$29.00

******* THIS PAGE IS PART OF THE INSTRUMENT *******

Any provision herein which restricts the Sale, Rental or use of the described REAL PROPERTY because of color or race is invalid and unenforceable under federal law.

File Information:

Document Number: 141089
Receipt Number: 20240322000041
Recorded Date/Time: March 25, 2024 08:29 AM
User: Loretta R
Station: CC-2210

Record and Return To:

Corporation Service Company



**STATE OF TEXAS
COUNTY OF WILSON**

I hereby certify that this Instrument was FILED in the File Number sequence on the date/time printed hereon, and was duly RECORDED in the Official Records of Wilson County, Texas.

Genevieve Martinez

**Genevieve Martinez
Wilson County Clerk
Floresville, TX**

035450 STC / PH

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

GENERAL WARRANTY DEED

THE STATE OF TEXAS

§

KNOW ALL MEN BY THESE PRESENTS:

COUNTY OF WILSON

§

THAT, ISABELLA GRACE BRIETZKE, a single woman, hereinafter called Grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) cash and other good and valuable consideration in hand paid by KEITH JOHANSON, whose address is P. O. Box 460, LaVernia, Texas 78121, hereinafter called Grantee, the receipt and sufficiency of which is hereby acknowledged;

HAS GRANTED, SOLD and CONVEYED, and by these presents does GRANT, SELL and CONVEY unto the said Grantee the following described property situated in Wilson County, Texas, to-wit:

Being 4.34 acres of land, more or less, in Wilson County, Texas, as a part of the Juan Delgado Grant, Survey No. 8. (A-8), and being the land described in deed wherein an undivided interest in said land is conveyed dated August 20, 2004 from Marjorie A. Rusch to Janice Fay Brietzke, of record in Volume 1238, Page 185, Official Public Records of Wilson County, Texas.

This conveyance is made subject to, all and singular, the restrictions, conditions, easements and covenants, if any, applicable to and enforceable against the above described property as reflected by the records of the County Clerk of Wilson County, Texas.

Taxes for the current year have been prorated and are thereafter assumed by Grantee.

TO HAVE AND TO HOLD the above described premises, together with, all and singular, the rights and appurtenances thereto in anywise belonging unto the said Grantee, Grantee's heirs, executors, administrators, successors, or assigns forever.

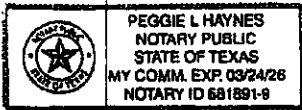
Grantor does hereby bind Grantor, Grantor's heirs, executors, administrators, and successors to warrant and forever defend, all and singular, the said premises unto the said Grantee, Grantee's heirs, executors, administrators, successors, and assigns against any person whomsoever claiming or to claim the same or any part thereof.

DATED this the 22 day of March, 2024.

Isabella Grace Brietzke
ISABELLA GRACE BRIETZKE, a
single woman

STATE OF TEXAS
COUNTY OF

This instrument was acknowledged before me on this the 22 day of March, 2024, by ISABELLA GRACE BRIETZKE, a single woman.



Peggie L Haynes
Notary Public, State of Texas

982 Deeds2
Seguin Title (PH)
GF4035450STC

Legal Public Notice
NOTICE OF PUBLIC HEARINGS

PROPOSED CHANGE OF ZONING DISTRICT CLASSIFICATION

LA VERNIA PLANNING AND ZONING COMMISSION & CITY COUNCIL

The La Vernia Planning and Zoning Commission will hold a public hearing on Tuesday, Oct 8th, 2024, at 6:30 PM & La Vernia City Council on Thursday, Oct 10th, 2024, at 6:30 PM in the City Council Chambers located at 102 E. Chihuahua Street, La Vernia, Texas 78121 to receive public comment and testimony on the application to rezone 376 DRY HOLLOW RD LA VERNIA, TX 78121 LOT 163A, ACRES 4.34

All property subject to the rezoning is located in Wilson County, Texas.

**From present classification of R-A Residential Agriculture to
C-1 Commercial Retail**



NOTICE OF PUBLIC HEARING

The City of La Vernia Planning & Zoning Commission & City Council will hold a public hearing at the request of the land owner: **JOHANSON, KEITH**

Property: Current Legal Description: **376 DRY HOLLOW RD LA VERNIA, TX 78121 CITY OF LA VERNIA, LOT 163A, ACRES 4.34** proposed as a commercial development.

Request: to change from current zoning R-A Residential Agriculture to C-1 Commercial Retail.

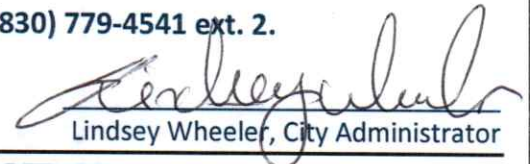
Because your property is located within 200 feet of the request, State Law requires that we notify you of the public hearing. **However, the zoning of your property will not be affected.** The public hearing process lets you provide your written opinion of the request. This will aid the Planning Commission in making a recommendation to the City Council.

A public hearing for this request is scheduled before the Planning & Zoning Commission on Tuesday, Oct 8th, 2024, at 6:30 pm & City Council on Thursday, Oct 10th, 2024, at 6:30 pm. The meeting will be held in the City Hall Council Chambers, 102 E. Chihuahua St., open to the public. To submit written comments, please complete the information below, including your signature, and return (before the meeting) to:

Mail: City of La Vernia
Madison Farrow
P.O. Box 225
La Vernia, Texas 78121

Email: MFarrow@lavernia-tx.gov

If you have questions, please call Madison Farrow at (830) 779-4541 ext. 2.


Lindsey Wheeler, City Administrator

YOUR OPINION MATTERS – DETACH AND RETURN

Circle one

I am **(in favor)** **(opposed to)** the proposed re-zone for the property- Current Legal Description: Current Legal Description: **376 DRY HOLLOW RD LA VERNIA, TX 78121 CITY OF LA VERNIA, LOT 163A, ACRES 4.34** proposed to be a commercial development.

Name: _____

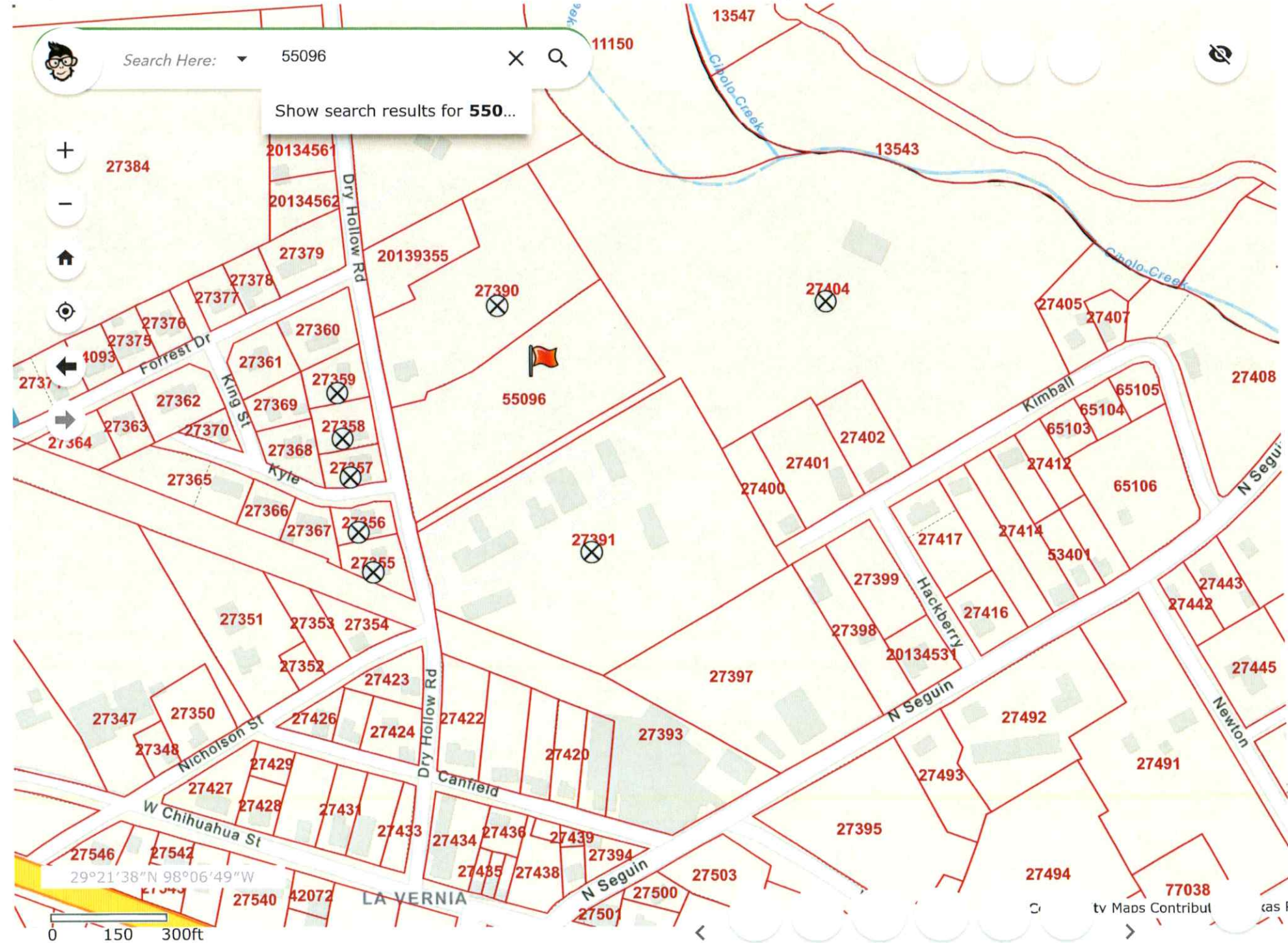
Address: _____

Signature: _____

Date: _____

Comments: _____

By State Law – Unsigned submission cannot be counted as an official comment.



MOEHRIG JEREMY

Agent:

Mailing Address:

409 DRY HOLLOW RD
LA VERNIA, TX 78121-4041

Name:

HERRINGTON ALISA

Agent:

Mailing Address:

405 DRY HOLLOW RD
LA VERNIA, TX 78121

Name:

MARTINEZ RAYMUNDO

Agent:

Mailing Address:

401 DRY HOLLOW RD
LA VERNIA, TX 78121

Name:

TANNEHILL HELENE MICHELE

Agent:

Mailing Address:

209 FORREST
LA VERNIA, TX 78121

Name:

STRICKLAND LINDSEY

Agent:

Mailing Address:

PO BOX 1074
LA VERNIA, TX 78121

Name:

RUSCH MARJORIE A

Agent:

Mailing Address:

412 DRY HOLLOW RD
LA VERNIA, TX 78121

Name:

ZENNER HELEN L & ELZABETH K SANDERS & CLARA JO DUELM

Agent:

Mailing Address:

13690 US HWY 87 W
LA VERNIA, TX 78121

Name:

101 CIENEGA LTD

Agent:

Mailing Address:

615 BELKNAP PLACE
SAN ANTONIO, TX 78212