

Date Received \_\_\_\_\_

Payment \_\_\_\_\_

**PETITION FOR VARIANCE**  
**La Vernia Zoning Board of Adjustment**

Date 7-22-24

I (we) the undersigned, having an interest in property located at \_\_\_\_\_

120 Woodbridge Court Zoning \_\_\_\_\_

Subdivision Woodbridge Farms Lot 6 Block Z Prop ID No. \_\_\_\_\_

Property Owner Name Adrian + Amy Blythe

Phone 210-422-1865 Cell same

Mailing Address 9000 Kirkner Rd State TX Zip 78263

respectfully request that I (we) be granted the following variance(s) to the regulations established by the Zoning Ordinance of the City of La Vernia, Texas (Mark "X" where applicable):

- ( ) Permit a change of occupancy from one non-conforming use to another non-conforming use permitted in the same or higher (more restricted) zoning classification as the original non-conforming use. NOTE: Prior to application or relief by the Board, there shall be in force a valid "Certificate of Occupancy and Compliance."
- ( ) Permit the reconstruction, extension, or enlargement of a building occupied by a non-conforming use on the lot or tract occupied by such building, subject to such building modification not preventing the return of the subject property to a conforming use. Refer to above "NOTE".
- () Permit the modification of the ( ) height, () yard, ( ) area, ( ) coverage and/or ( ) parking regulations as are necessary to secure appropriate development of the subject parcel.

The variance requested being more particularly the Board's consideration for relief from

Ordinance No. \_\_\_\_\_, Article \_\_\_\_\_, Section \_\_\_\_\_, \_\_\_\_\_; to permit

**The petitioner will provide a building plan, sketch, plat and/or survey for the purpose of clearly and accurately depicting the type and extent of relief being sought.**

Explain how the hardship is not contrary to the public interest and due to special conditions, a literal enforcement of the ordinance would result in unnecessary hardship, and that the spirit of the ordinance is observed and substantial justice is done: Asking for permission for

Partial Pool + Pool sidewalk to be in the Back set Back.

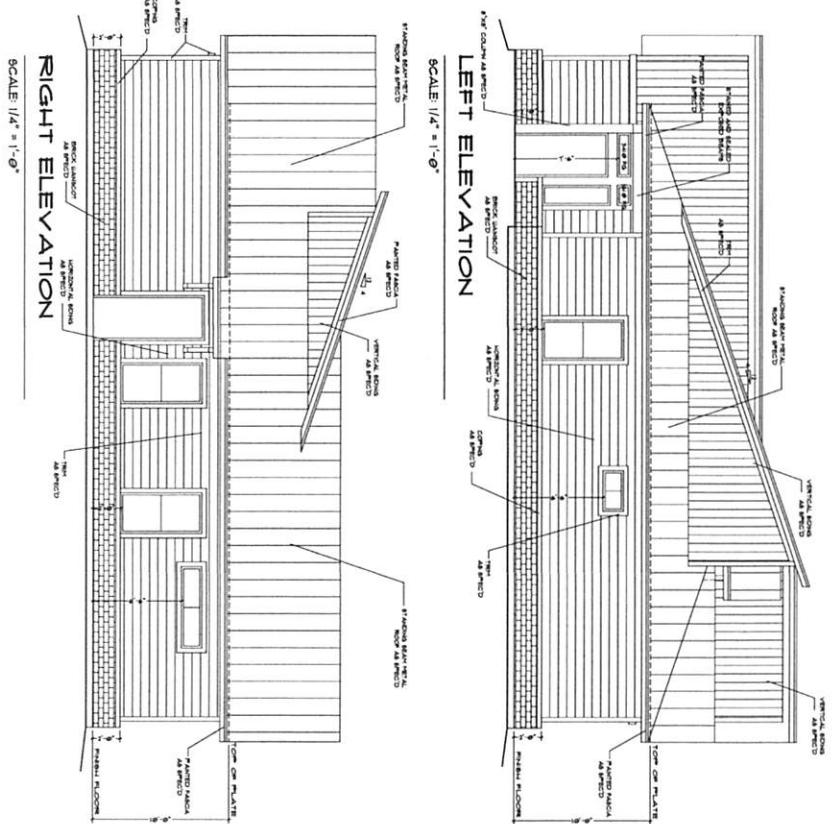
5' Back setback encroachment to be 3' → No Back Neighbors

Adrian Blythe

Amy Blythe  
Signature of Petitioner

Jane Schoenert

Property Owner(s) of Record or Authorized Agent

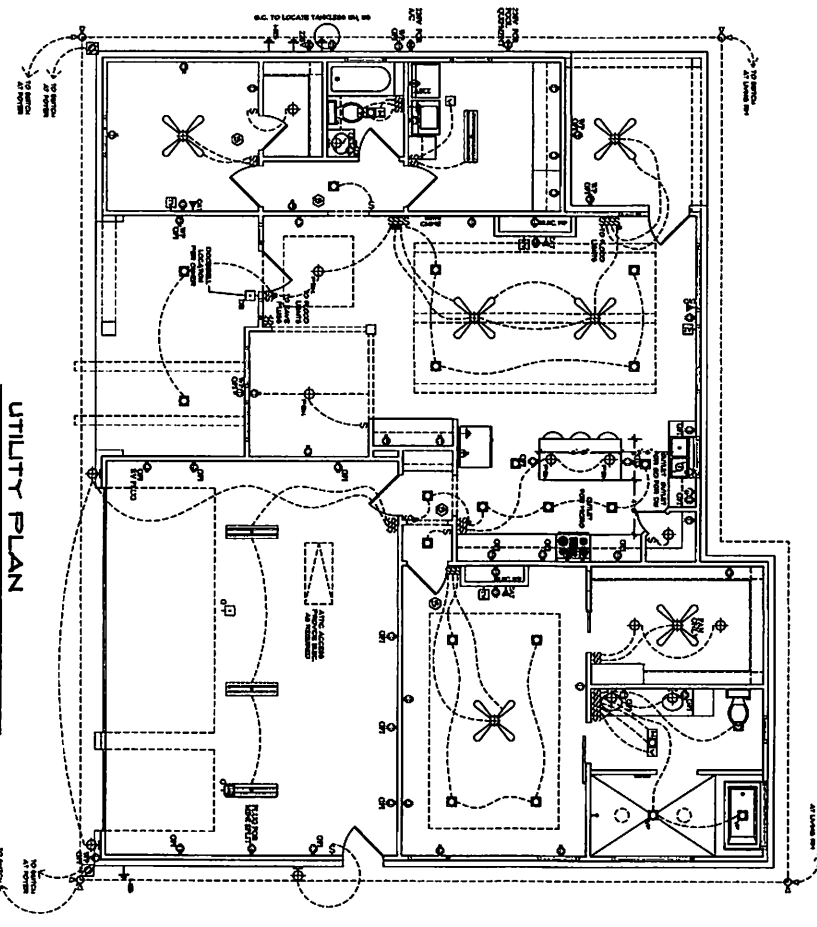


NOTES:  
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
2. FINISHES ARE TO BE AS SHOWN ON THE FINISH SCHEDULE.  
3. ALL WORK IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.  
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.  
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.  
6. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.  
7. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A SAFE AND SOUND CONDITION AT ALL TIMES.  
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF ALL DEBRIS AND WASTE.  
9. THE CONTRACTOR SHALL MAINTAIN THE SITE AT ALL TIMES.  
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19. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A SAFE AND SOUND CONDITION AT ALL TIMES.  
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF ALL DEBRIS AND WASTE.

<p>DATE: 1/1/24 DRAWN BY: [Name] CHECKED BY: [Name]</p>		<p><b>BLYTHE RESIDENCE</b></p>	<p>SQUARE FOOTAGE CALCULATIONS</p>	<p>ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. FINISHES ARE TO BE AS SHOWN ON THE FINISH SCHEDULE. ALL WORK IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A SAFE AND SOUND CONDITION AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF ALL DEBRIS AND WASTE. THE CONTRACTOR SHALL MAINTAIN THE SITE AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A SAFE AND SOUND CONDITION AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF ALL DEBRIS AND WASTE.</p>
			<p>TOTAL LIVING S.F. - 1,600 S.F. Porch - 200 S.F. Garage - 800 S.F. TOTAL LAB - 2,600 S.F.</p>	

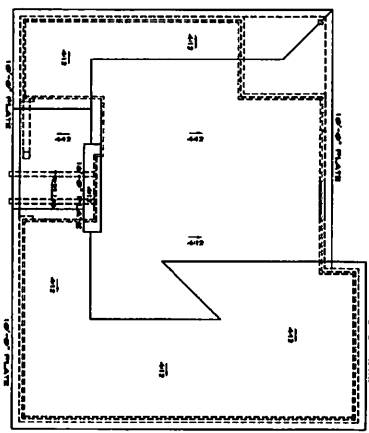


SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
1	ROOF LINE	1	ROOF LINE	1	ROOF LINE	1	ROOF LINE
2	WALL CENTERLINE	2	WALL CENTERLINE	2	WALL CENTERLINE	2	WALL CENTERLINE
3	WALL FINISH LINE	3	WALL FINISH LINE	3	WALL FINISH LINE	3	WALL FINISH LINE
4	DOOR CENTERLINE	4	DOOR CENTERLINE	4	DOOR CENTERLINE	4	DOOR CENTERLINE
5	DOOR FINISH LINE	5	DOOR FINISH LINE	5	DOOR FINISH LINE	5	DOOR FINISH LINE
6	WINDOW CENTERLINE	6	WINDOW CENTERLINE	6	WINDOW CENTERLINE	6	WINDOW CENTERLINE
7	WINDOW FINISH LINE	7	WINDOW FINISH LINE	7	WINDOW FINISH LINE	7	WINDOW FINISH LINE
8	CEILING CENTERLINE	8	CEILING CENTERLINE	8	CEILING CENTERLINE	8	CEILING CENTERLINE
9	CEILING FINISH LINE	9	CEILING FINISH LINE	9	CEILING FINISH LINE	9	CEILING FINISH LINE
10	FLOOR CENTERLINE	10	FLOOR CENTERLINE	10	FLOOR CENTERLINE	10	FLOOR CENTERLINE
11	FLOOR FINISH LINE	11	FLOOR FINISH LINE	11	FLOOR FINISH LINE	11	FLOOR FINISH LINE
12	STAIR CENTERLINE	12	STAIR CENTERLINE	12	STAIR CENTERLINE	12	STAIR CENTERLINE
13	STAIR FINISH LINE	13	STAIR FINISH LINE	13	STAIR FINISH LINE	13	STAIR FINISH LINE
14	MECHANICAL EQUIPMENT	14	MECHANICAL EQUIPMENT	14	MECHANICAL EQUIPMENT	14	MECHANICAL EQUIPMENT
15	ELECTRICAL EQUIPMENT	15	ELECTRICAL EQUIPMENT	15	ELECTRICAL EQUIPMENT	15	ELECTRICAL EQUIPMENT
16	PLUMBING EQUIPMENT	16	PLUMBING EQUIPMENT	16	PLUMBING EQUIPMENT	16	PLUMBING EQUIPMENT
17	PAINT SYMBOLS	17	PAINT SYMBOLS	17	PAINT SYMBOLS	17	PAINT SYMBOLS
18	CEILING SYMBOLS	18	CEILING SYMBOLS	18	CEILING SYMBOLS	18	CEILING SYMBOLS
19	FLOOR SYMBOLS	19	FLOOR SYMBOLS	19	FLOOR SYMBOLS	19	FLOOR SYMBOLS
20	STAIR SYMBOLS	20	STAIR SYMBOLS	20	STAIR SYMBOLS	20	STAIR SYMBOLS
21	MECHANICAL SYMBOLS	21	MECHANICAL SYMBOLS	21	MECHANICAL SYMBOLS	21	MECHANICAL SYMBOLS
22	ELECTRICAL SYMBOLS	22	ELECTRICAL SYMBOLS	22	ELECTRICAL SYMBOLS	22	ELECTRICAL SYMBOLS
23	PLUMBING SYMBOLS	23	PLUMBING SYMBOLS	23	PLUMBING SYMBOLS	23	PLUMBING SYMBOLS
24	PAINT SYMBOLS	24	PAINT SYMBOLS	24	PAINT SYMBOLS	24	PAINT SYMBOLS
25	CEILING SYMBOLS	25	CEILING SYMBOLS	25	CEILING SYMBOLS	25	CEILING SYMBOLS
26	FLOOR SYMBOLS	26	FLOOR SYMBOLS	26	FLOOR SYMBOLS	26	FLOOR SYMBOLS
27	STAIR SYMBOLS	27	STAIR SYMBOLS	27	STAIR SYMBOLS	27	STAIR SYMBOLS
28	MECHANICAL SYMBOLS	28	MECHANICAL SYMBOLS	28	MECHANICAL SYMBOLS	28	MECHANICAL SYMBOLS
29	ELECTRICAL SYMBOLS	29	ELECTRICAL SYMBOLS	29	ELECTRICAL SYMBOLS	29	ELECTRICAL SYMBOLS
30	PLUMBING SYMBOLS	30	PLUMBING SYMBOLS	30	PLUMBING SYMBOLS	30	PLUMBING SYMBOLS



**\*\* NOTE: NO GAS \*\***

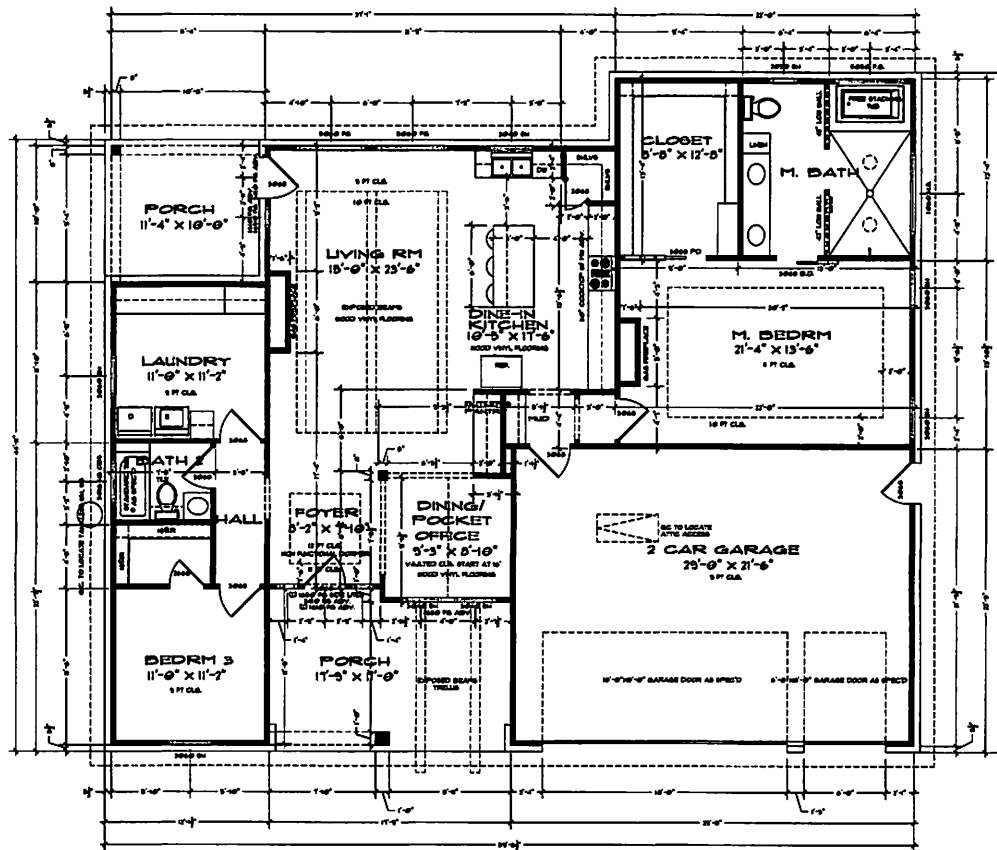
UTILITY PLAN  
SCALE: 1/4" = 1'-0"



ROOF PLAN  
SCALE: 1/8" = 1'-0"

ROOF PLAN NOTES:  
1. REFER TO ROOF PLAN FOR ROOF SLOPE.  
2. ALL ROOF SLOPES SHALL BE TOWARD THE EXTERIOR.  
3. CONTRACTOR TO VERIFY ALL CONDITIONS FROM FINISHED GRADE.  
4. CONTRACTOR TO VERIFY ALL CONDITIONS FROM FINISHED GRADE.  
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28. CONTRACTOR TO VERIFY ALL CONDITIONS FROM FINISHED GRADE.  
29. CONTRACTOR TO VERIFY ALL CONDITIONS FROM FINISHED GRADE.  
30. CONTRACTOR TO VERIFY ALL CONDITIONS FROM FINISHED GRADE.

	<b>BLYTHE RESIDENCE</b>	SQUARE FOOTAGE CALCULATIONS TOTAL FLOOR AREA - 1,200 SQ. FT. TOTAL ROOF AREA - 1,200 SQ. FT. TOTAL GARAGE AREA - 1,200 SQ. FT. TOTAL G.P. AREA - 1,200 SQ. FT.	
		DATE: 10/15/2024 DRAWN BY: J. SMITH CHECKED BY: M. JONES PROJECT NO: 2024-001 SHEET NO: A-2	



NOTES:  
 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
 2. FINISHES TO BE DETERMINED BY OWNER.  
 3. SEE SPECIFICATIONS FOR MATERIALS AND METHODS.  
 4. ALL WORK TO BE IN ACCORDANCE WITH LOCAL AND NATIONAL CODES.  
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.  
 6. THE OWNER SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES.  
 7. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.  
 8. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES.  
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL NEIGHBORHOODS.  
 10. THE CONTRACTOR SHALL MAINTAIN THE SITE AT ALL TIMES.  
 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL DEBRIS.  
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 19. THE CONTRACTOR SHALL MAINTAIN THE SITE AT ALL TIMES.  
 20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL DEBRIS.



BLATNER ARCHITECTS  
 1000 W. 10TH ST. SUITE 100  
 DENVER, CO 80202  
 PHONE: 303.733.1111  
 FAX: 303.733.1112  
 WWW.BLATNERARCHITECTS.COM

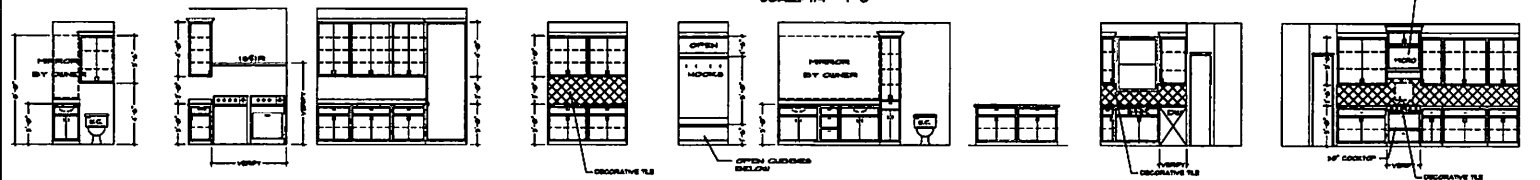
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DATE: 1/23/24  
 DRAWN BY: KAY  
 ISSUED:  
 INTERIOR ELEVATIONS  
 FLOOR PLAN  
 A-1

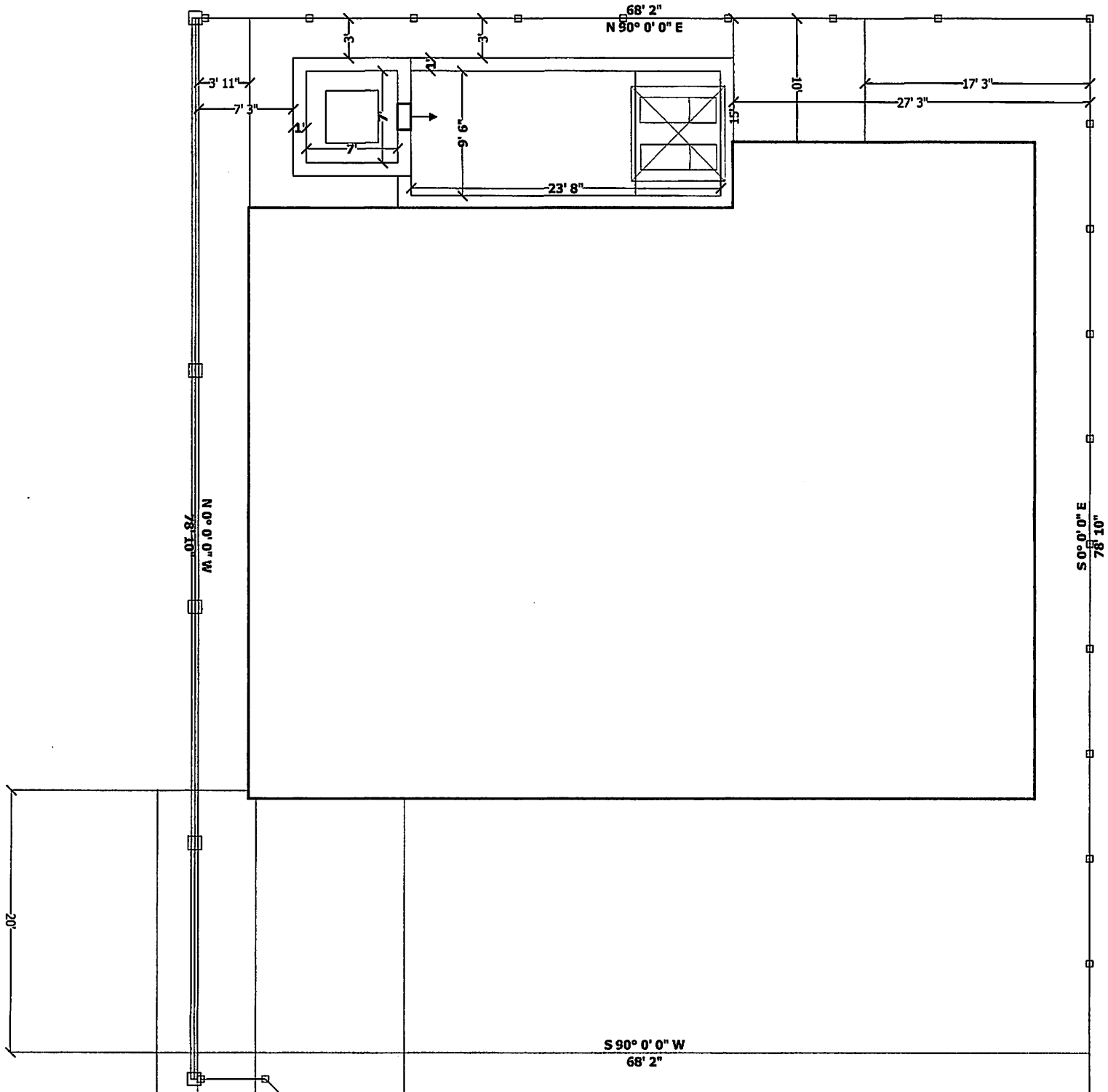
FLOOR PLAN

SCALE: 1/4" = 1'-0"




BATH 2      LAUNDRY      BUTLER'S PANTRY MUD      MASTER BATH      KITCHEN





Scale: 3/32" = 1 ft.

**From:** JEANINE SCHOENERT jschoe1047@aol.com   
**Subject:** Fwd: Blythe Pool Located  
**Date:** July 24, 2024 at 1:00 PM  
**To:** Lauren Oatman ddcustomhomes1@gmail.com



Please print this and put in my desk. Thank you  
Sent from my iPhone

Begin forwarded message:

**From:** Casey Danahey <casey.danahey@bodepools.com>  
**Date:** July 24, 2024 at 12:38:38PM CDT  
**To:** jschoe1047@aol.com  
**Cc:** Jason Bode <jason.bode@bodepools.com>, Amy Blythe <Amy.Blythe@cowboyharley.com>  
**Subject:** Blythe Pool Located

Here is the proposed location of the Blythe pool located in regards to the property lines to the rear and the sides. I am attaching two different pdf's. The first is zoomed out so it shows the entire property. The second is zoomed in to concentrate on the rear set back. Let me know if you need anything else from me on this.

Thank you,

Casey Danahey  
Designer  
Bode Pools  
210-262-5410

