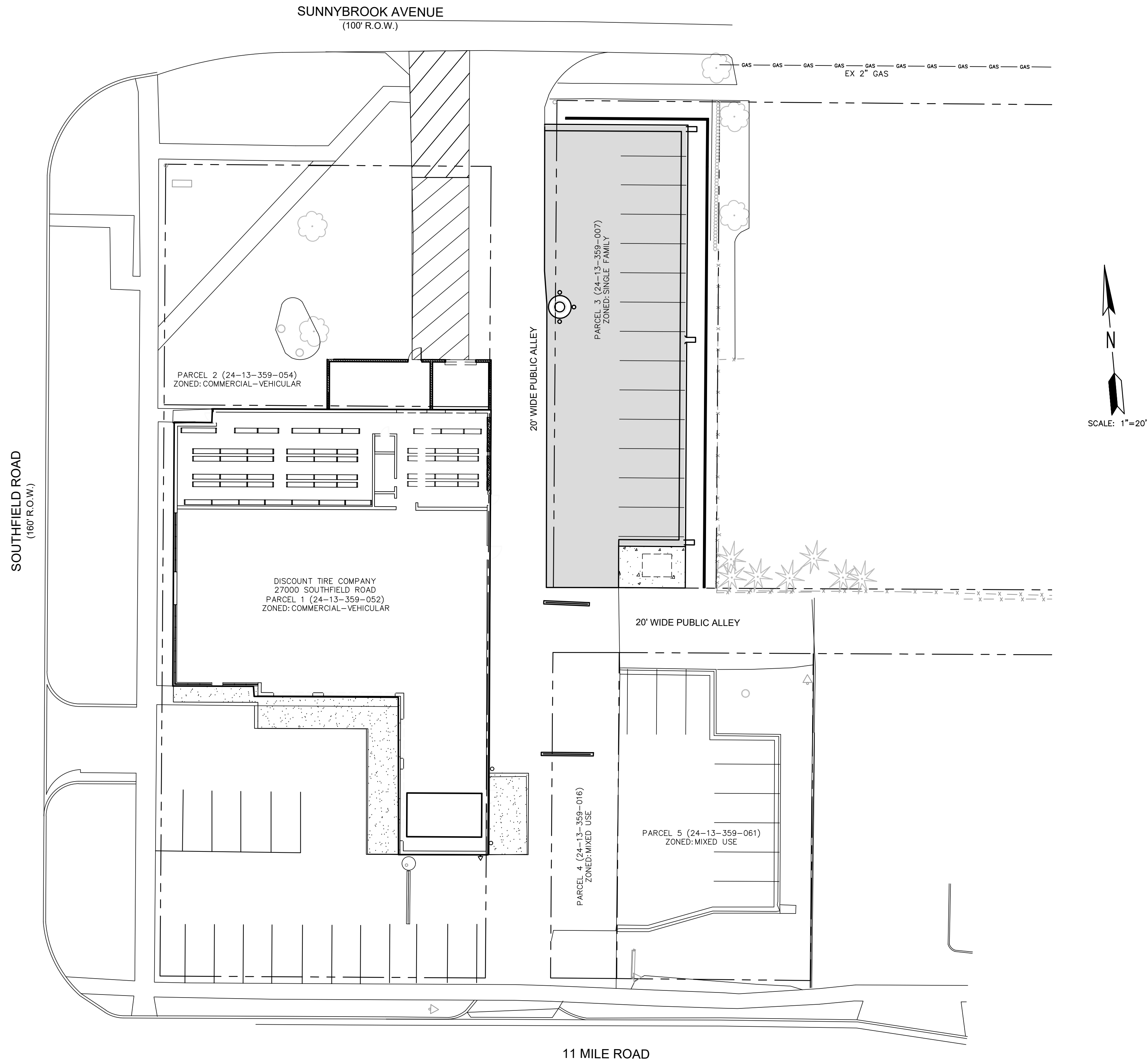


DISCOUNT TIRE - MID 24 LATHRUP VILLAGE

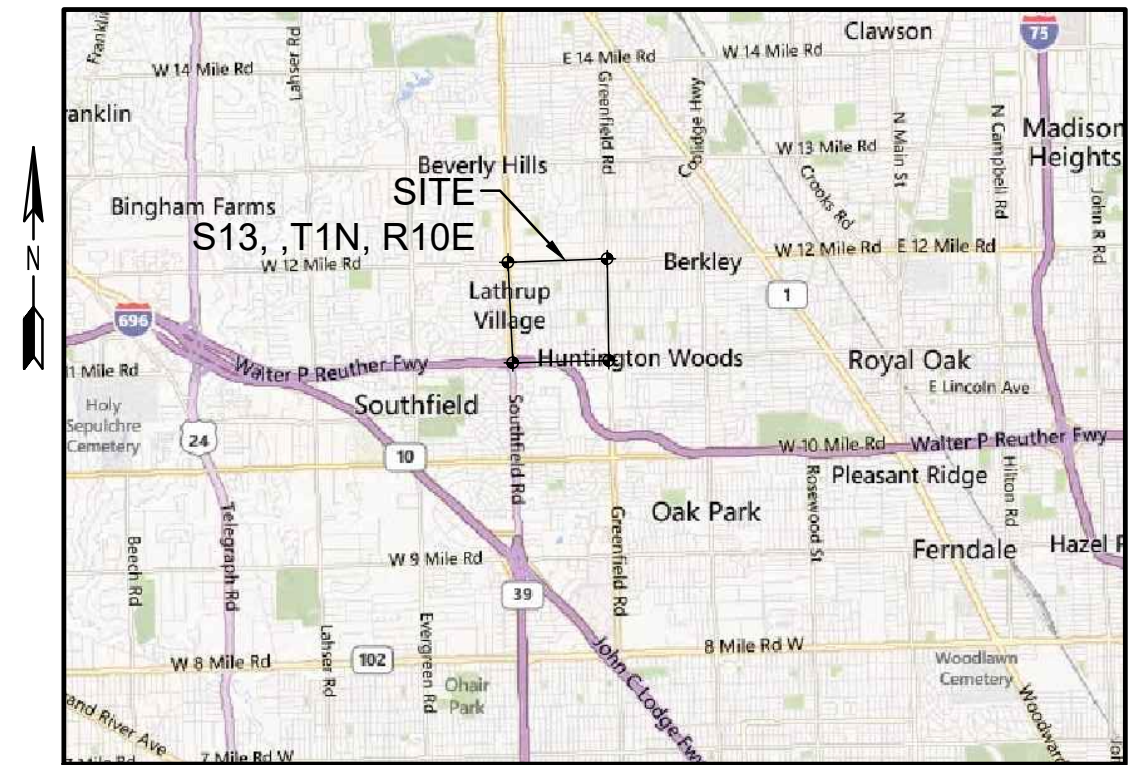


BENCHMARK #1 ELEV = 696.07
SAN MH LID 40' SSE OF SE BLDG
CORNER

BENCHMARK #2 ELEV = 697.80
SE ANCHOR BOLT ON TRAFFIC SIGNAL
POLE AT SW COR OF SITE

811 Know what's below.
Call before you dig.

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APPLICANT
HALLE PROPERTIES, LLC
20225 N SCOTTSDALE ROAD
SCOTTSDALE, AZ 85255
(480)606-6193

ENGINEER
ENG., INC
4063 GRAND OAK DRIVE STE A109
LANSING, MI 48911
(517)887-1100

LANDSCAPE ARCHITECT
WADE TRIM
500 GRISWOLD AVENUE STE 2500
DETROIT, MICHIGAN 48226
(313)961-3650

ARCHITECT
KINETIC DESIGN
20381 LAKE FOREST DRIVE STE B16
LAKE FOREST, CA 92630
(951)710-6334

- LIST OF DRAWINGS**
1. COVER SHEET
 2. TOPOGRAPHIC SURVEY & REMOVAL PLAN
 3. SITE LAYOUT
 4. UTILITY & GRADING PLAN
 5. SOIL EROSION & SEDIMENTATION CONTROL PLAN
 6. LANDSCAPE PLAN
 7. LANDSCAPE PLAN NOTES & DETAILS
 8. DETAILS & NOTES
 - A.1 CONCEPTUAL FLOOR PLAN
 - A.2 CONCEPTUAL ELEVATIONS

- LIST OF SUBMITTALS**
- | DATE | TYPE |
|---------|--|
| 3/19/21 | CITY OF LATHRUP VILLAGE ZBA |
| 4/23/21 | CITY OF LATHRUP VILLAGE SITE PLAN REVIEW |
| 4/23/21 | CITY OF LATHRUP VILLAGE SPECIAL LAND USE REQUEST |



Ryan C. McEnhill
RYAN C. McENHILL, P.E. #56096 3-29-21

COVER SHEET

NO.	REVISIONS	DATE	BY

4063 Grand Oak Drive Suite A109
Lansing, MI 48911
517.887.1100

16930 Robbins Road Suite 105
Grand Haven, MI 49417
616.743.7070
engdot.com



DISCOUNT TIRE

27000 SOUTHFIELD ROAD
LATHRUP VILLAGE, OAKLAND COUNTY, MICHIGAN

PROJECT NO.
21001

SHEET NO.
1 OF 8

SOIL TYPES AND ABBREVIATIONS	
56A	Urban land-Blount-Lenawee complex, 0 to 3 percent slopes
Pf1abB	Udorthents and Udipsamments, nearly level to hilly

PROPERTY DESCRIPTION

PARCEL 1: SOUTH 1/2 OF LOT 1765 AND ALL OF LOTS 1766 THROUGH 1773, LOUISE LATHRUP'S CALIFORNIA BUNGALOW SUBDIVISION NO. 3, ACCORDING TO THE RECORDED PLAT THEREOF AS RECORDED IN LIBER 32 ON PAGE 26 OF PLATS, OAKLAND COUNTY RECORDS, CONTAINING 17,499.96 SF OR 0.402 AC

PARCEL 2: LOTS 1762, 1763, 1764 AND THE NORTH 1/2 OF LOT 1765, LOUISE LATHRUP'S CALIFORNIA BUNGALOW SUBDIVISION NO. 3, ACCORDING TO THE RECORDED PLAT THEREOF AS RECORDED IN LIBER 32 ON PAGE 26 OF PLATS, OAKLAND COUNTY RECORDS, CONTAINING 7,399.98 SF OR 0.170 AC

PARCEL 3: LOT 2236, LOUISE LATHRUP'S CALIFORNIA BUNGALOW SUBDIVISION NO. 3, ACCORDING TO THE RECORDED PLAT THEREOF AS RECORDED IN LIBER 32 ON PAGE 26 OF PLATS, OAKLAND COUNTY RECORDS, CONTAINING 7,475.76 SF OR 0.172 AC

PARCEL 4: LOT 1774, LOUISE LATHRUP'S CALIFORNIA BUNGALOW SUBDIVISION NO. 3, ACCORDING TO THE RECORDED PLAT THEREOF AS RECORDED IN LIBER 32 ON PAGE 26 OF PLATS, OAKLAND COUNTY RECORDS, CONTAINING 2,000 SF OR 0.046 AC

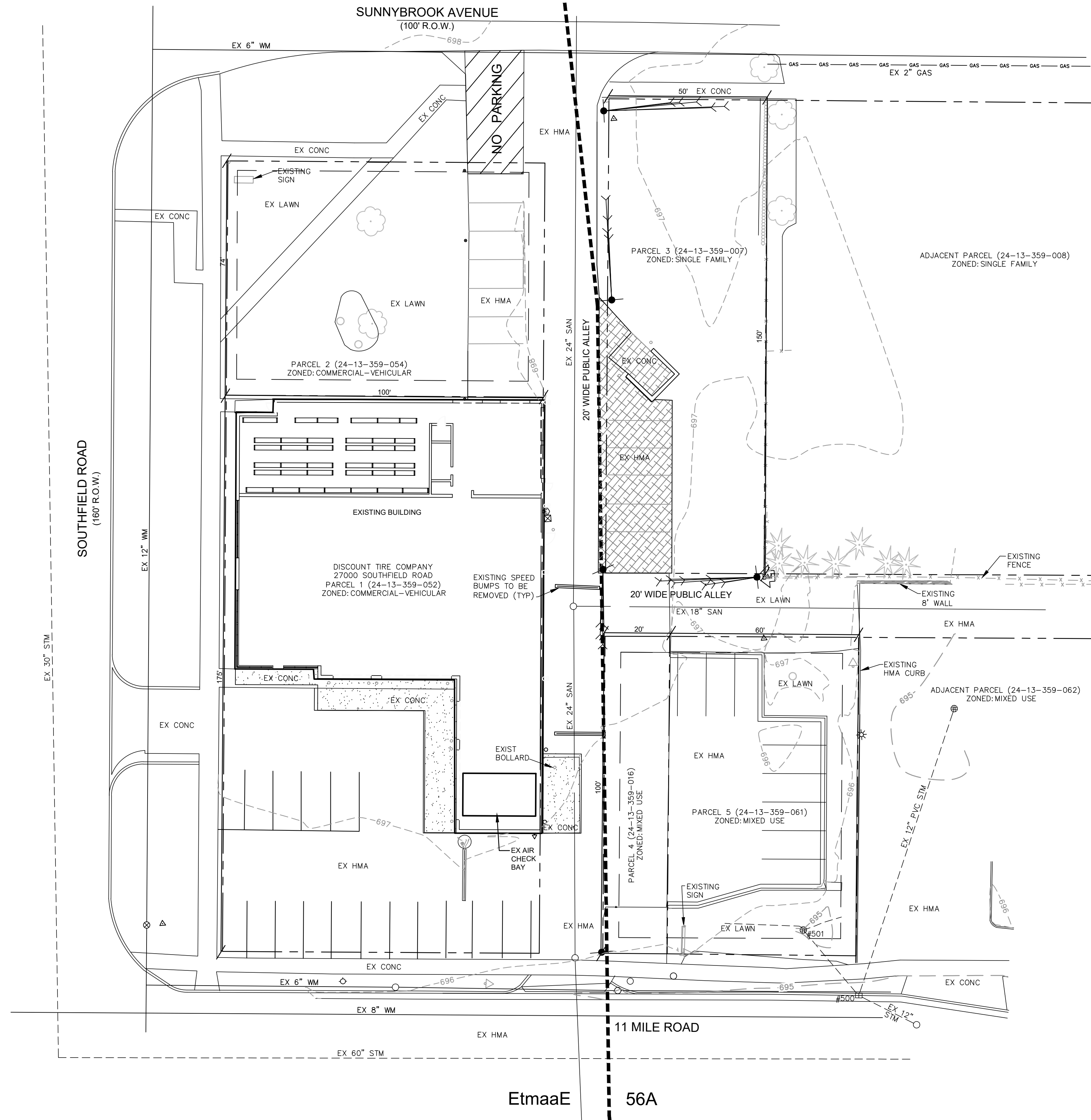
PARCEL 5: LOTS 1775, 1776 AND 1777, LOUISE LATHRUP'S CALIFORNIA BUNGALOW SUBDIVISION NO. 3, ACCORDING TO THE RECORDED PLAT THEREOF AS RECORDED IN LIBER 32 ON PAGE 26 OF PLATS, OAKLAND COUNTY RECORDS, CONTAINING 6,000 SF OR 0.138 AC

SITE NOTES:

- THE SUBJECT PARCEL LIES WITHIN THE ZONE X FLOOD ZONE DESIGNATION. AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- THIS PARCEL HAS NO EXISTING WETLANDS.

EXISTING STRUCTURE INVENTORY

- #500 EX CB (2' DIA)
RIM ELEV = 694.12
12" INV (ESE) = 690.60
10" INV (NNE) = 690.65
12" INV (NW) = 690.60
- #501 EX OVERFLOW STRUCTURE (2' DIA)
RIM ELEV = 695.00
12" INV (SE) = 691.60
6" INV (NE) = 692.00
6" INV (NW) = 692.00



BENCHMARK #1 ELEV = 696.07
SAN MH LID 40' SSE OF SE BLDG CORNER

BENCHMARK #2 ELEV = 697.80
SE ANCHOR BOLT ON TRAFFIC SIGNAL POLE AT SW COR OF SITE



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LEGEND	
	= EXISTING TREE
	= EXISTING DECIDUOUS TREE
	= EXISTING SHRUB
	= EXISTING LIGHT POLE
	= EXISTING ELECTRIC
	= EXISTING GAS MAIN
	= EXISTING FIRE HYDRANT
	= EXISTING WATER VALVE/WATER MAIN
	= EXISTING SANITARY MANHOLE/SEWER
	= EXISTING STORM MANHOLE/SEWER
	= EXISTING SUBJECT PROPERTY BOUNDARY
	= EXISTING UTILITY POLE
	= EXISTING TELEPHONE PEDESTAL
	= EXISTING EASEMENT
	= EXISTING CONTOUR (SHOWN AT 1 FOOT INTERVALS)
	= BENCH MARK
	= EXISTING CURB AND GUTTER
	= EXISTING HMA PAVEMENT
	= EXISTING CONCRETE PAVEMENT
	= FOUND IRON PIPE, ROD OR CONCRETE MONUMENT
	= SET IRON ROD AND CAP NO 45499
	= EXISTING
	= RIGHT OF WAY
	= LINE BREAK
	= SECTION CORNER
	= MEASURED
	= RECORDED
	= REMOVE EXISTING CURB AND GUTTER
	= REMOVE EXISTING CONCRETE & HMA PAVEMENT
	= REMOVE BUILDING
	= REMOVE EX TREE
	= SAVE & PROTECT EX TREE
	= PARCEL LINE
	= EXISTING ROOF DRAIN
	= SOIL TYPE

NO.	DATE	BY	REVISIONS

4063 Grand Oak Drive Suite A109
Lansing, MI 48911
517.887.1100

16930 Robbins Road Suite 105
Grand Haven, MI 49417
616.743.7070
engdot.com

27000 SOUTHFIELD ROAD
LATHRUP VILLAGE, OAKLAND COUNTY, MICHIGAN

PROJECT NO.	21001
SHEET NO.	2 OF 8

TOPOGRAPHIC SURVEY & REMOVAL PLAN

SITE DATA:

TOTAL AREA= 1.07 ACRES
NET PARCEL AREA= 0.93 ACRES
PUBLIC ALLEY AREA= 0.14 ACRES
EXISTING ZONING: PARCEL 1: COMMERCIAL - VEHICULAR
PARCEL 2: COMMERCIAL - VEHICULAR
PARCEL 3: SINGLE FAMILY
PARCEL 4: MIXED USE
EXISTING LAND USE= PASSENGER CAR & LIGHT TRUCK TIRE SALES
BUILDING HEIGHT= 15' (1-STORY)
EXISTING BUILDING FLOOR AREA= 9,744 SF
EXISTING TOTAL USABLE FLOOR AREA= 2,164 SF
PROPOSED BUILDING EXPANSION AREA= 722 SF
NUMBER OF EMPLOYEES DURING PEAK PERIODS= 17 EMPLOYEES
NUMBER OF EXISTING PARKING SPACES = 39 SPACES
NUMBER OF PROPOSED PARKING SPACES = 39 SPACES

SETBACKS:

COMMERCIAL - VEHICULAR DISTRICT:
FRONT YARD: 3'
SIDE YARD: 5' ONE SIDE, 15' TOTAL
REAR YARD: 20'
MIXED USE DISTRICT
PARKING: 5'

BENCHMARK #1 ELEV = 696.07
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CORNER

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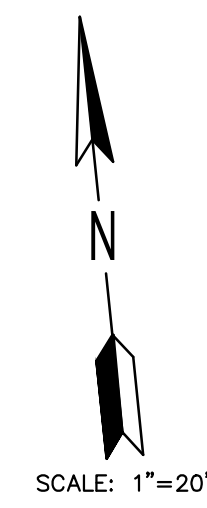
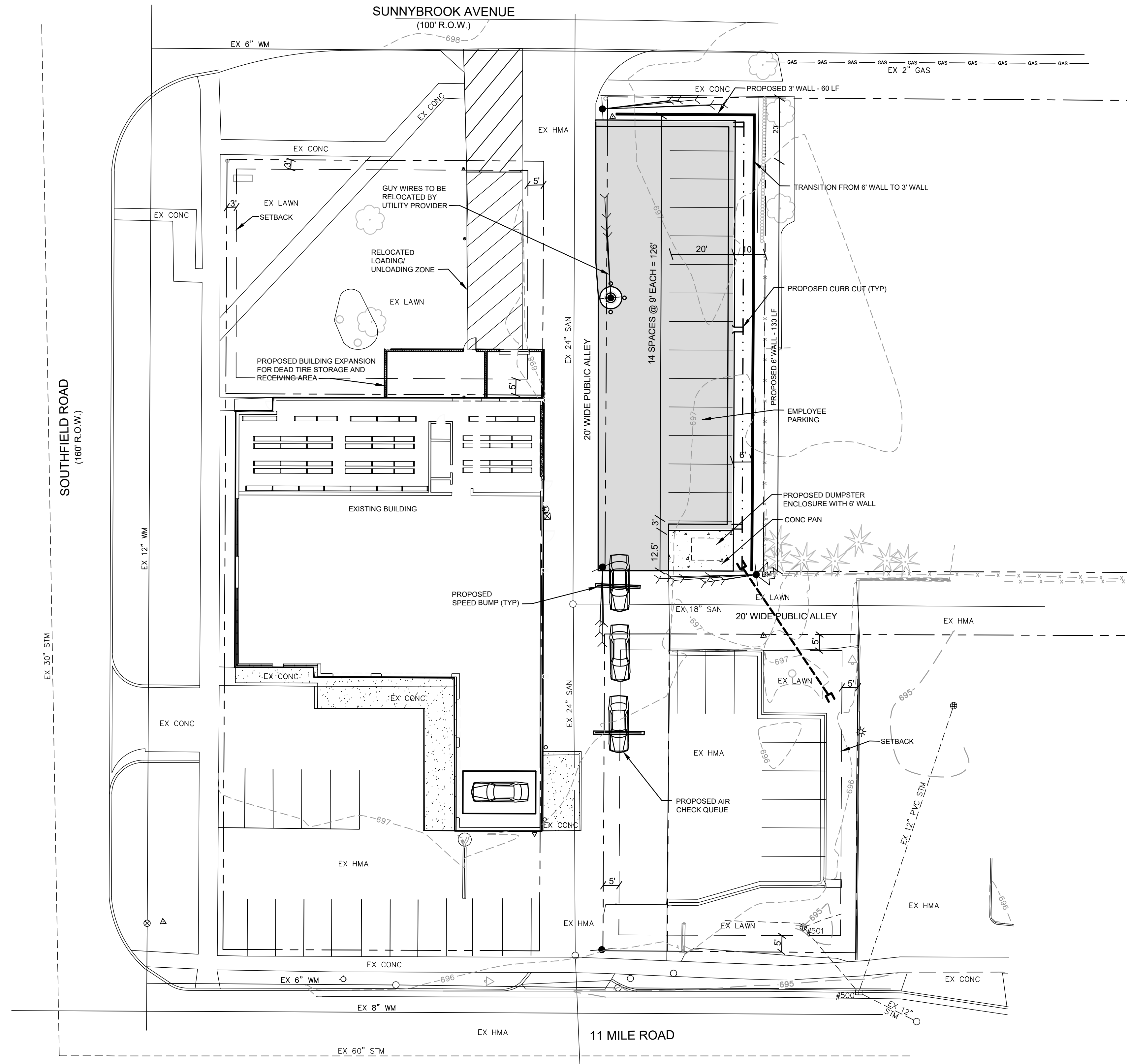
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DISCOUNT TIRE
27000 SOUTHFIELD ROAD
LATHRUP VILLAGE, OAKLAND COUNTY, MICHIGAN

PROJECT NO.
21001

SHEET NO.
3 OF 8



- LEGEND**
- = EXISTING TREE
 - = EXISTING DECIDUOUS TREE
 - = EXISTING SHRUB
 - = EXISTING LIGHT POLE
 - = EXISTING ELECTRIC
 - = EXISTING GAS MAIN
 - = EXISTING TELEPHONE PEDESTAL
 - = EXISTING FIRE HYDRANT
 - = EXISTING WATER VALVE/WATER MAIN
 - = EXISTING SANITARY MANHOLE/SEWER
 - = EXISTING STORM MANHOLE/SEWER
 - = EXISTING STORM CURB INLET
 - = EXISTING YARD DRAIN
 - = EXISTING ADJOINING PROPERTY LINE
 - = EXISTING ROAD RIGHT-OF-WAY
 - = EXISTING EASEMENT
 - = EXISTING CURB
 - = BENCH MARK
 - = EXISTING CONCRETE PAVEMENT
 - = EXISTING ASPHALT PAVEMENT
 - = EXISTING CONTOUR
 - = BUILDING SETBACK
 - = PROPOSED HMA PAVEMENT
 - = PROPOSED CONCRETE
 - = PROPOSED CURB AND GUTTER - (DETAIL F-4)
 - = PROPOSED TRAFFIC FLOW ARROW
 - = PROPOSED INVERTED PAN CURB AND GUTTER
 - = PROPOSED BOLLARD
 - = PROPOSED WALL

SITE LAYOUT

GRADING NOTES

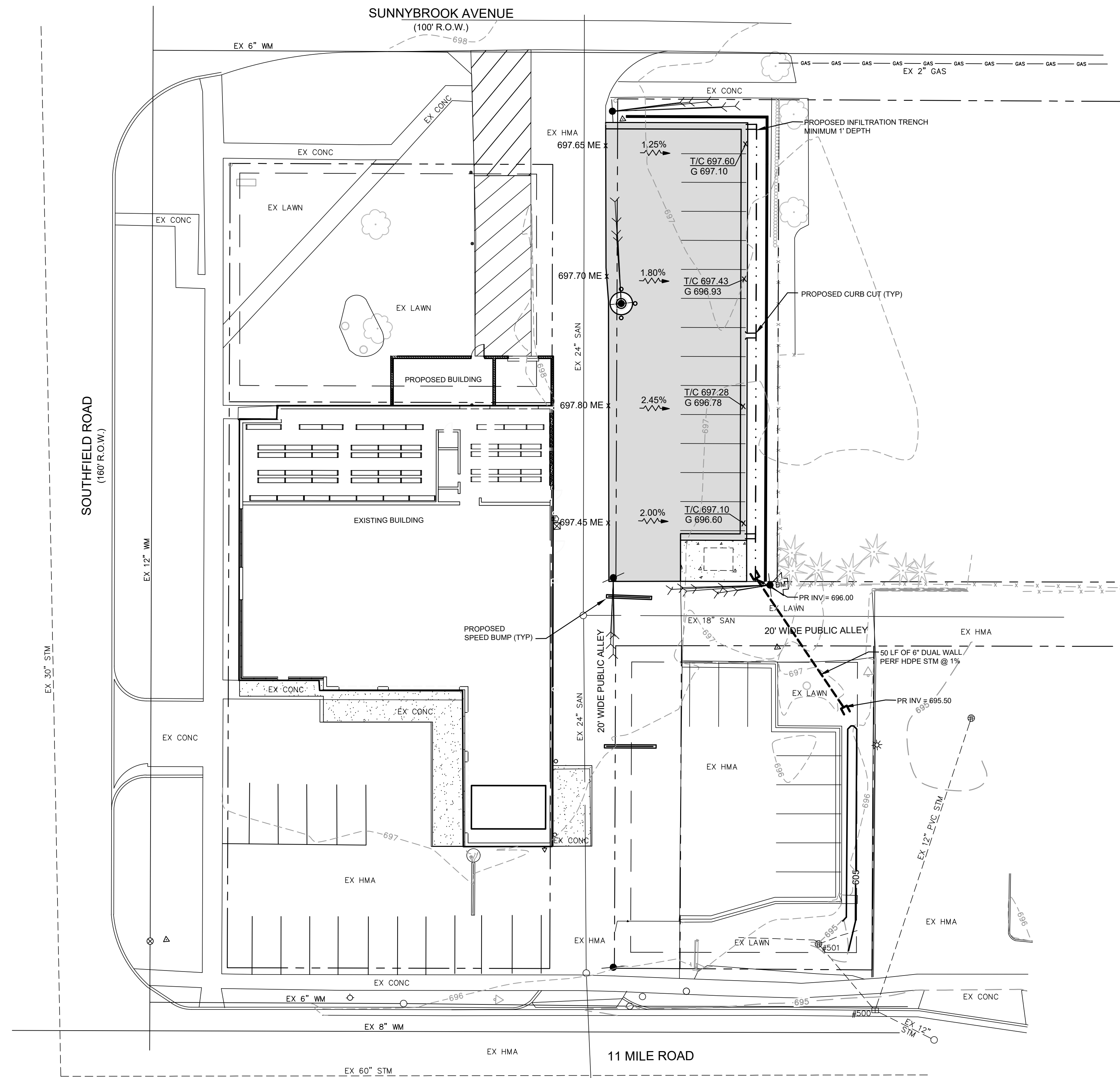
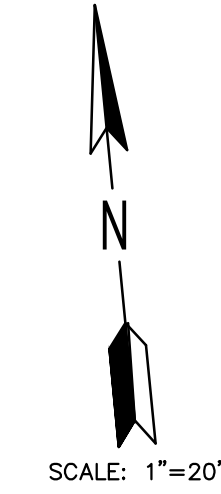
- EXISTING UTILITY LOCATIONS ARE APPROXIMATE AND NOT EXACT. CALL 811 OR 1-800-362-2764.
- ALL EXISTING UTILITIES SHALL BE PROTECTED FROM EXCAVATION. EXISTING UTILITIES DAMAGED BY CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- FINISHED SURFACES TO BE SMOOTH AND EVEN WITH NO ABRUPT OR AWKWARD CHANGES IN GRADE.
- ALL NEW SIDEWALKS AND PAVEMENTS SHALL BE PLACED AT AN ELEVATION THAT PROVIDES POSITIVE DRAINAGE AND CONSISTENT SLOPES. ENSURE NO LOW SPOTS ARE CREATED. NEW WALKS SHALL MEET EXISTING WALKS FLUSH AT EXISTING GRADE. NOTIFY ENGINEER IF GRADES ON PLAN CANNOT BE MET TO ENSURE POSITIVE DRAINAGE.
- ALL PROPOSED GRADES SHALL BE STAKED BY A LICENSED SURVEYOR AND FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- MATCH ADJACENT PAVEMENT GRADES WHERE NEW PAVEMENT ABUTS EXISTING PAVING.

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SAN MH LID 40' SSE OF SE BLDG CORNER

BENCHMARK #2 ELEV = 697.80
SE ANCHOR BOLT ON TRAFFIC SIGNAL POLE AT SW COR OF SITE



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- = EXISTING CONTOUR
- = BUILDING SETBACK
- = PROPOSED HMA PAVEMENT
- = PROPOSED CONCRETE
- = PROPOSED CURB AND GUTTER - (DETAIL F-4)
- = PROPOSED INVERTED PAN CURB AND GUTTER
- = PROPOSED STORM SEWER
- = PROPOSED SANITARY SEWER
- = PROPOSED WATER MAIN
- = PROPOSED ELECTRIC
- = PROPOSED GAS
- = PROPOSED WATER VALVE
- = PROPOSED CURB INLET
- = PROPOSED MANHOLE
- = PROPOSED END SECTION
- = PROPOSED CLEAN-OUT
- = PROPOSED SPOT ELEVATION
- = TOP OF CURB
- = GUTTER
- = MEET EXISTING GRADE
- = FINISHED FLOOR ELEVATION
- = EXISTING SPOT ELEVATION
- = EXISTING CONTOUR
- = PROPOSED CONTOUR
- = PROPOSED SURFACE DRAINAGE ARROW
- = EXISTING SURFACE DRAINAGE ARROW
- = SIGHT DISTANCE EVALUATION PROPOSED ELEVATION
- = MOUNTABLE CURB AND GUTTER
- = PROPOSED WALL

NO.	REVISIONS	DATE	BY

4063 Grand Oak Drive Suite A109
Lansing, MI 48911
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DISCOUNT TIRE

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LATHRUP VILLAGE, OKLAND COUNTY, MICHIGAN

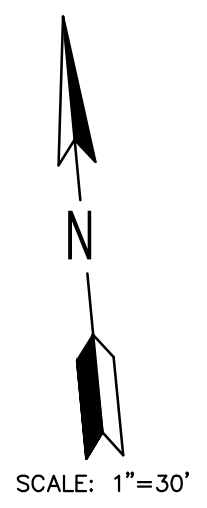
PROJECT NO.
21001

SHEET NO.
4 OF 8

GRADING & UTILITY PLAN

SOIL EROSION CONTROL NOTES

1. COMPLY WITH CURRENT OAKLAND COUNTY STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. ALL CONTRACT DOCUMENTS, APPROVED SESC PLANS, PERMIT CONDITIONS AND WITH PARTS 31 AND 91 OF PUBLIC ACT 451 OF 1994. THE CONTRACTOR SHALL OBTAIN A SOIL EROSION AND SEDIMENTATION CONTROL (SESC) PERMIT FROM THE APPROPRIATE MUNICIPAL ENFORCING AGENCY (MEA) OR COUNTY ENFORCING AGENCY (CEA). PERMIT FEES AND ROUTINE INSPECTIONS CHARGED BY THE MEA/CEA WILL BE PAID FOR BY THE CONTRACTOR.
2. PRIOR TO BEGINNING ANY EARTH CHANGE, RETAIN A DEQ CERTIFIED STORM WATER OPERATOR (CSWO) TO PROVIDE THE REQUIRED SESC REPORTS (WHICH INCLUDE THE WEEKLY AND STORM EVENT REPORTS AS WELL AS ALL FOLLOW UP REPORTS FOR BOTH VIOLATIONS AND STORM EVENT CORRECTIONS ON THE STANDARD DEQ FORM. PROVIDE THE REPORTS TO THE OWNER ON A WEEKLY BASIS, AND RETAIN THOSE REPORTS FOR THREE YEARS.
3. PRIOR TO BEGINNING ANY EARTH CHANGE, INSTALL AND MAINTAIN ALL SESC MEASURES AS SHOWN ON THE CONTRACT DOCUMENTS AND AS DIRECTED BY THE OWNER, CSWO, MEA/CEA OR DEQ AT ANYTIME DURING THE LIFE OF THE CONTRACT OR UNTIL THE OWNER OFFICIALLY TAKES OVER RESPONSIBILITY FOR THE SITE. IMMEDIATELY PRIOR TO THE OWNER TAKING RESPONSIBILITY FOR THE SITE, CLEAN ALL CATCH BASINS AFFECTED BY THE CONSTRUCTION, BOTH WITHIN THE CONTRACT LIMITS AND ALL SURROUNDING ROADS AND LAWN AREAS WHERE SOIL MAY HAVE SPREAD AS THE RESULT OF CONSTRUCTION ACTIVITIES.
4. CONDUCT ALL EXCAVATION, FILLING, GRADING, AND CLEANUP OPERATIONS IN A MANNER SUCH THAT SEDIMENT, GENERATED BY WIND OR WATER IS NOT DISCHARGED INTO ANY STORM SEWER, DRAINAGE DITCH, RIVER, LAKE, AIR, OR UNDERGROUND UTILITY SYSTEM. STAGE WORK TO MINIMIZE THE AREA OF EXPOSED SOIL, THEREBY REDUCING THE OPPORTUNITY FOR SOIL EROSION.
5. WATER FROM TRENCHES AND OTHER EXCAVATION SHALL BE PUMPED INTO A FILTRATION BAG TO REMOVE SEDIMENTS FROM THE WATER.
6. IF SEDIMENT EXTENDS BEYOND THE PROJECT LIMITS, CLEANUP AND RESTORE ALL SURFACES AND UTILITY SYSTEMS TO THE CONDITION THAT EXISTED PRIOR TO THE CONTRACT AWARD.
7. ALL SESC MEASURES SHALL BE MAINTAINED DAILY. MEASURES ARE THE RESPONSIBILITY OF THE CONTRACTOR DURING CONSTRUCTION AND UNTIL FINAL STABILIZATION OF ENTIRE PROJECT AREA.
8. SHOULD VIOLATIONS BE IDENTIFIED BY THE OWNER, CSWO, MEA/CEA OR DEQ, THEY SHALL BE CORRECTED WITHIN 24 HOURS OF NOTIFICATION. THE CORRECTION(S) SHALL BE APPROVED BY THE OWNER, CSWO, MEA/CEA OR DEQ. ALL SUBSEQUENT INSPECTIONS PERFORMED BY THE OWNER, CSWO, MEA/CEA OR DEQ AS A RESULT OF THE VIOLATION (AND ANY OTHER ASSOCIATED COSTS) WILL BE PAID BY THE CONTRACTOR.
9. FINES ASSESSED AS A RESULT OF THE VIOLATION FOR NONCOMPLIANCE OF THE SESC PROVISIONS, WILL BE PAID BY THE CONTRACTOR. SHOULD A "STOP WORK" ORDER FOR NONCOMPLIANCE BE ISSUED, A TIME EXTENSION REQUEST FOR THAT TIME PERIOD WILL NOT BE GRANTED.
10. ALL DISTURBED AREAS WILL RECEIVE PERMANENT EROSION CONTROL WITHIN 5 DAYS OF FINAL GRADING.
11. TEMPORARY AGGREGATE APPROACH SHALL BE INSTALLED AND MAINTAINED FOR SOIL EROSION CONTROL (SEE DETAIL).
12. SITE IS MORE THAN 1000 FEET FROM ANY WATER OF THE STATE.
13. **CATCH BASIN FILTER BAGS:**
 - INSPECT DAILY AND IMMEDIATELY FOLLOWING EACH RAINFALL
 - REMOVE ALL SILT COLLECTED IN FILTER ON A WEEKLY BASIS
 - REPLACE FILTER IF TORN
 - INSTALL FLOOD LOGS WHERE FILTERS ARE INADEQUATE
14. DUST CONTROL SHALL BE EXERCISED AT ALL TIMES DURING THE PROJECT. WATERING WILL TAKE PLACE ONCE A DAY OR MORE OFTEN AS NEEDED AND WILL BE DIRECTED BY THE STORM WATER OPERATOR.
15. LIMITS OF DISTURBANCE = PROPERTY LINES
16. PERMANENT AND TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES WITHIN THE LIMITS OF DISTURBANCE IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL SUCH TIME WHEN THE SITE IS DEEMED PERMANENTLY STABILIZED. AFTER WHICH MAINTENANCE OF THE PERMANENT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
17. REMOVAL OF TEMPORARY MEASURES FOLLOWING ACCEPTANCE OF THE PROJECT IS THE RESPONSIBILITY OF THE CONTRACTOR.
18. ADJOINING STREETS AND PARKING LOTS SHALL BE SWEEP DAILY, OR MORE OFTEN AS NEEDED.
19. THIS PARCEL IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN AS DEFINED BY FEMA
20. COORDINATE WITH THE OWNER TO DESIGNATE AN AREA TO STOCKPILE SOIL. SURROUND LIMITS OF PILE WITH SILT FENCE. APPLY WATER TO CONTROL DUST AS NECESSARY.



SOIL EROSION AND CONTROL MEASURES

Michigan Unified Keying System

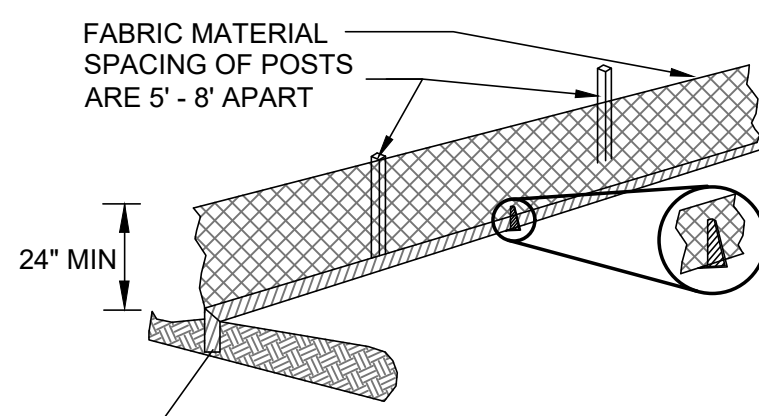
TEMPORARY MEASURES

14	Aggregate Cover	Stabilizes soil surface, thus minimizing erosion. Permits construction traffic in adverse weather. May be used as part of permanent base construction of paved areas.
32	Interceptor Swole	Runoff needs to be intercepted and/or diverted around sensitive areas, unstable or easily eroded soils, bare soils, away from steep banks, or around earth change activities.
54	Geotextile Silt Fence	Use geotextile and posts or poles. May be constructed or prepackaged. Easy to construct and locate as necessary.
56	Street Sweeping	Remove sediment from pavement minimizing non-point source pollution.
60	Inlet Protection Fabric Drop	Use at stormwater inlets, especially at construction sites.

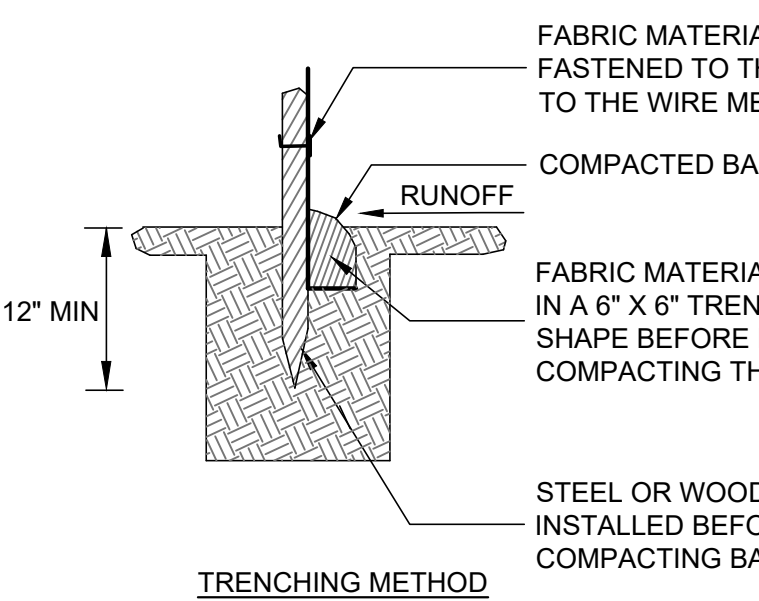
TEMPORARY MEASURE PERMANENT MEASURE

PERMANENT MEASURES

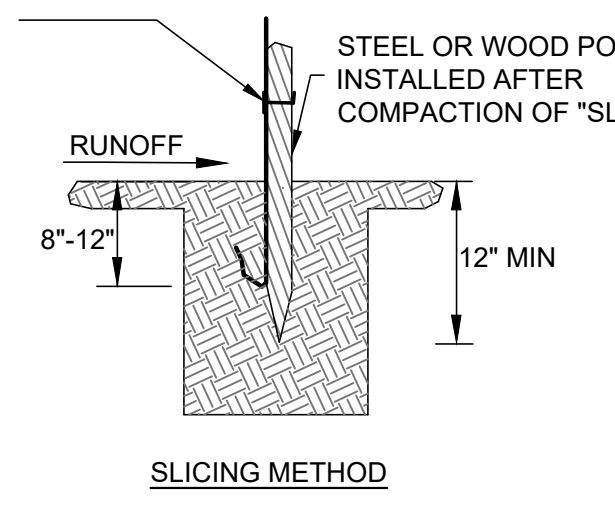
2	Mulch	On flat areas, mild slopes, grassed waterways and spillways, diversion ditches and dikes, borrow and stockpile areas, and spoil piles when areas are subject to erosion. Protects against erosion from wind or water.
3	Mulch Blankets	On exposed slopes, newly seeded areas, new ditch bottoms, or areas subject to erosion. Required on slopes greater than 3:1 V.
5	Seeding	Inexpensive & very effective. Stabilizes soil, thus minimizing erosion. Permits runoff to infiltrate soil, reducing runoff volume. Should include prepared topsoil bed.
15	Paving	Protects areas which cannot otherwise be protected, but increases runoff volume and velocity. Irregular surface will help slow velocity.
35	Storm Sewer	System removes collected runoff from site, particularly from paved areas. Can accept large concentrations of runoff. Conducts runoff to municipal sewer system or stabilized outfall location. Use catch basins to collect sediment.
36	Catch Basin, Drain Inlet	Collects high velocity concentrated runoff. Use filter bag under inlet for duration of construction.



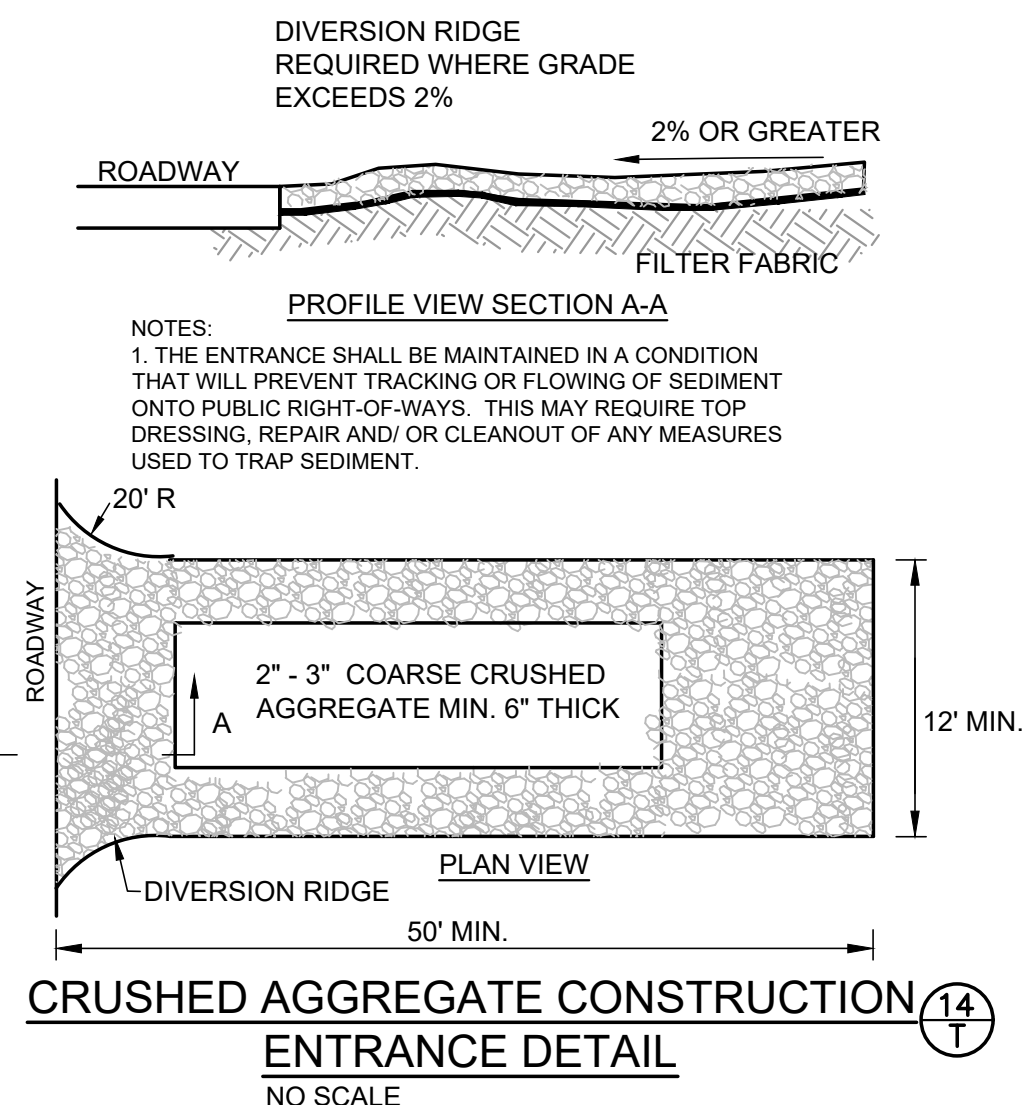
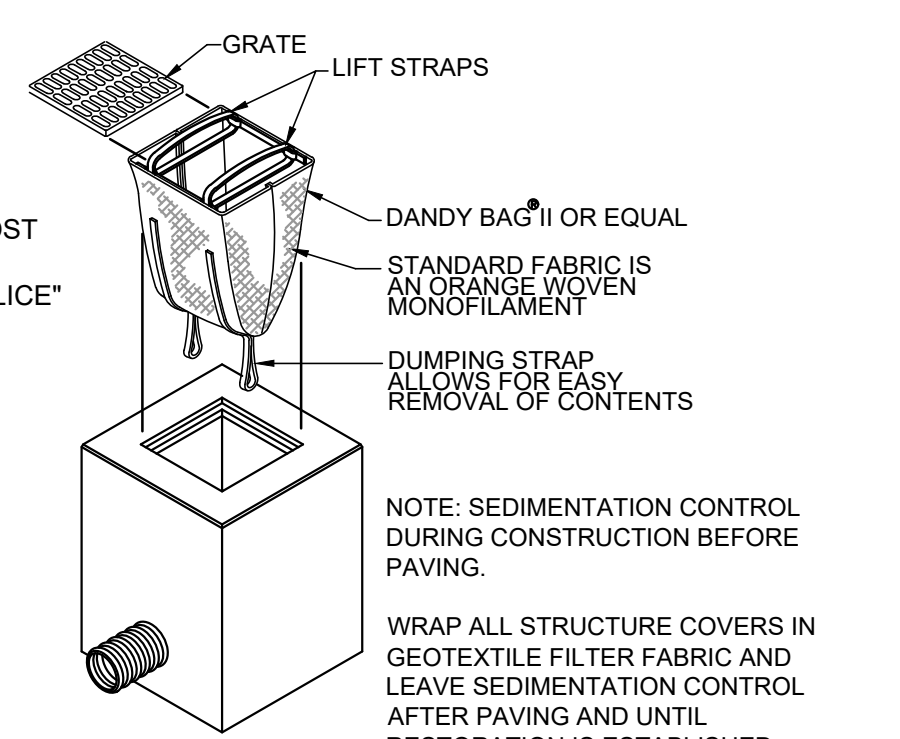
WHEN FABRIC IS INSTALLED IN A TRENCH WITH COMPACTED SOIL, ANCHORS CAN BE ATTACHED TO REDUCE THE POTENTIAL OF "BLOWOUTS" (NOT NEEDED IF "SLICING" METHOD IS USED)



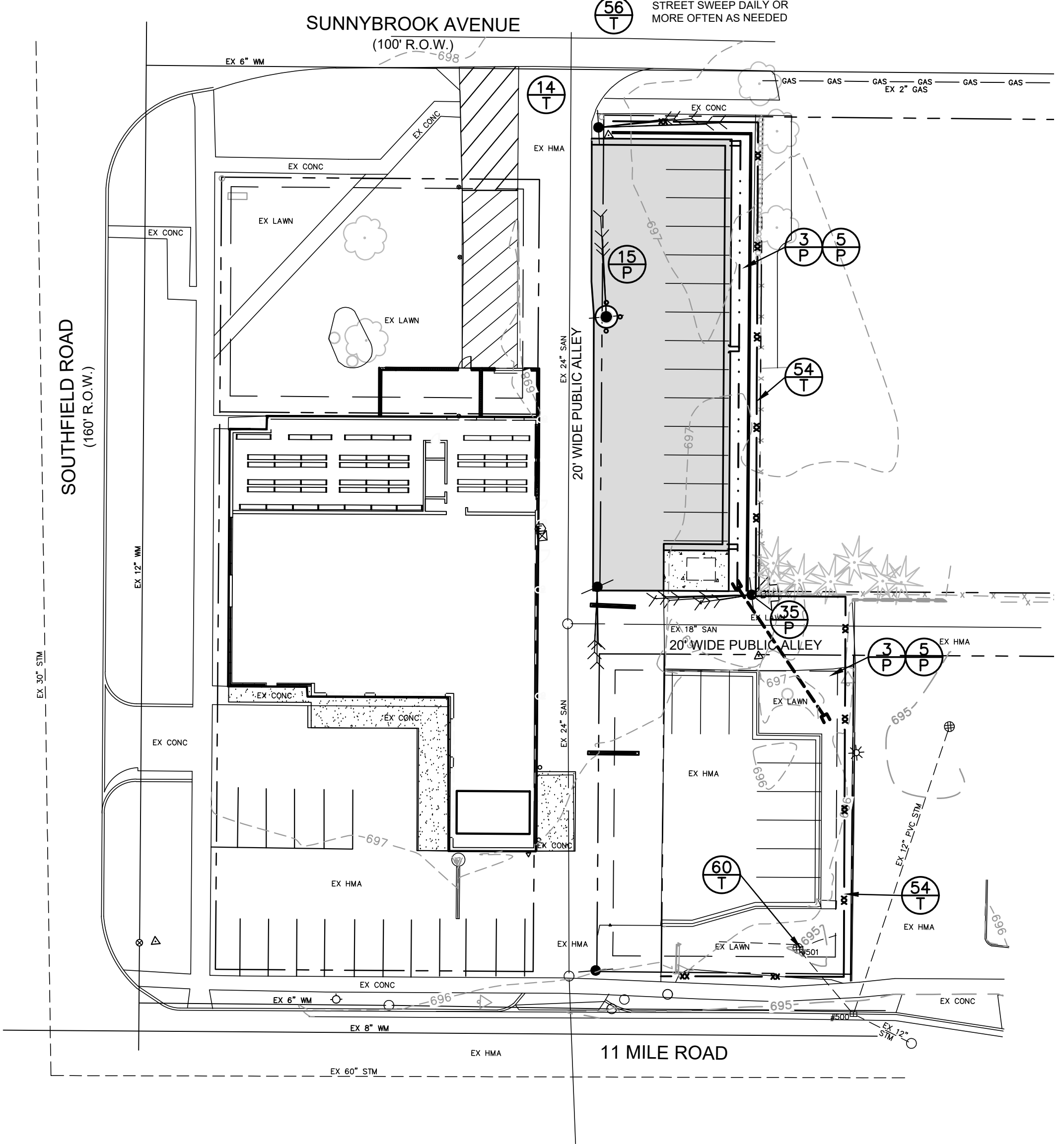
SILT FENCE DETAIL (54) NO SCALE



CATCH BASIN FILTER BAG DETAIL (60) NO SCALE



CRUSHED AGGREGATE CONSTRUCTION ENTRANCE DETAIL (14) NO SCALE



BENCHMARK #1 ELEV = 696.07
SAN MH LID 40' SSE OF SE BLDG CORNER

BENCHMARK #2 ELEV = 697.80
SE ANCHOR BOLT ON TRAFFIC SIGNAL POLE AT SW COR OF SITE

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- EXISTING LIGHT POLE
- EXISTING ELECTRIC
- EXISTING GAS MAIN
- EXISTING TELEPHONE PEDESTAL
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE/WATER MAIN
- EXISTING SANITARY MANHOLE/SEWER
- EXISTING STORM MANHOLE/SEWER
- EXISTING STORM CURB INLET
- EXISTING YARD DRAIN
- EXISTING ADJOINING PROPERTY LINE
- EXISTING SUBJECT PROPERTY BOUNDARY
- EXISTING ROAD RIGHT-OF-WAY
- EXISTING EASEMENT
- BENCH MARK
- EXISTING CURB
- EXISTING CONCRETE PAVEMENT
- EXISTING ASPHALT PAVEMENT
- EXISTING CONTOUR
- BUILDING SETBACK
- PROPOSED HMA PAVEMENT
- PROPOSED CONCRETE
- PROPOSED CURB AND GUTTER - (DETAIL F-4)
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED WATER MAIN
- PROPOSED ELECTRIC
- PROPOSED GAS
- PROPOSED WATER VALVE
- PROPOSED CURB INLET
- PROPOSED MANHOLE
- PROPOSED CLEAN-OUT
- PROPOSED SPOT ELEVATION
- TOP OF CURB
- GUTTER
- MEET EXISTING GRADE
- FINISHED FLOOR ELEVATION
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SURFACE DRAINAGE ARROW
- EXISTING SURFACE DRAINAGE ARROW

CONSTRUCTION SEQUENCE SCHEDULE (2020)

Sequence of Construction Activities	April	May	June	July	Aug	Sept	Oct	Nov	Dec
Install Temporary SESC Measures:									
A. Stabilized Construction Access									
B. Silt Fence									
C. Catch basin Protection									
D. Dust Control									
E. Catch Basin									
F. Storm Drain Inlet Protection									
Maintain Temporary SESC Measures:									
Remove and Stockpile Topsoil									
Site Grading									
Utility Installation									
Building Construction									
Pavement Construction									
Final Grade									
Final Site Stabilization and Landscaping (to be completed within 5 days of final grading or activity within that area)									
Remove Temporary SESC Measures									
Permanent SESC Measures									

SOIL EROSION & SEDIMENTATION CONTROL PLAN

Drawn By: DCD
Date: 5/12/17
Approved By: [Signature]
Date: [Blank]

NO. [Blank]

REVISIONS [Blank]

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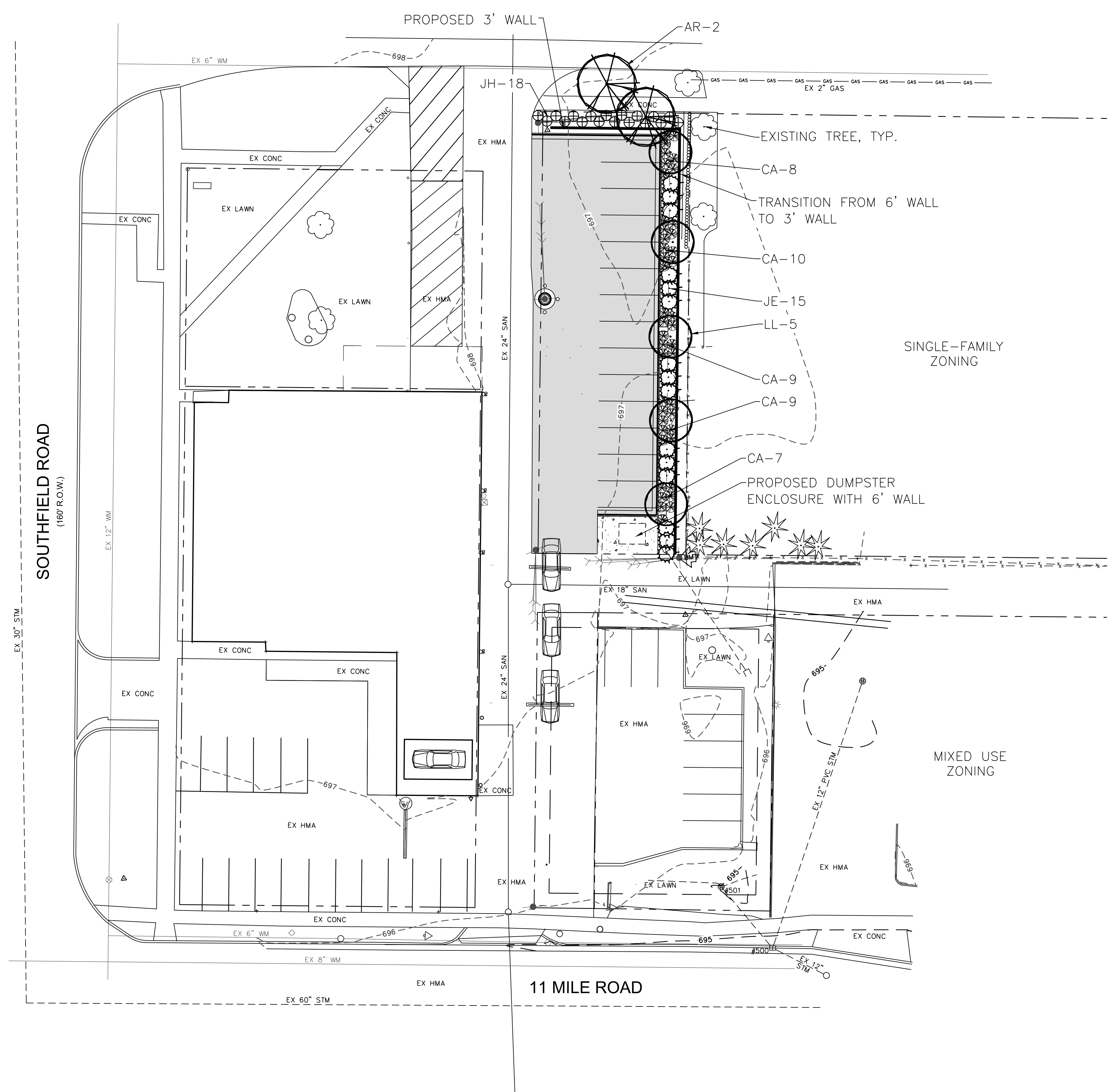
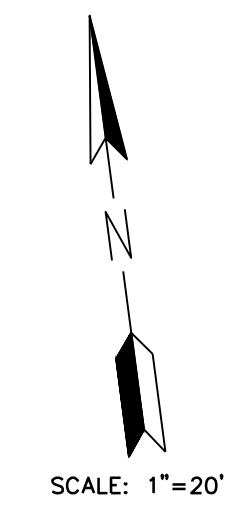
27000 SOUTHFIELD ROAD
LATHRUP VILLAGE, OAKLAND COUNTY, MICHIGAN

PROJECT NO. 21001

SHEET NO. 5 OF 8

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THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



DECIDUOUS TREES

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	SPACING	QTY
LL	Liriodendron t. 'Little Volunteer'	Little Volunteer Tulip Tree	2"	B&B	As Shown	5
AR	Acer rubrum r. Redpointe	Redpointe Maple	2 1/2"	B&B	As Shown	2

EVERGREEN TREES

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	SPACING	QTY
JE	Juniperus v. Emerald Sentinel	Emerald Sentinel Juniper	6'	B&B	As Shown	15

SHRUBS

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	SPACING	QTY
CA	Clethra alnifolia 'Hummingbird'	Hummingbird Summersweet	#5 Gal.	15"	As Shown	43
JH	Juniperus sq. 'Holger'	Holger Juniper	#3 Gal.	12"	As Shown	18

SEED MIX

HYDROSEED FOR LAWN AREAS IS TO CONSIST OF A SEED MIXTURE AS FOLLOWS:
 40% PERENNIAL RYEGRASS
 20% KENTUCKY BLUEGRASS
 10% NEW PORT KENTUCKY BLUEGRASS
 30% PENN LAWN RED FESCUE
 THE GRASS SEED MIXTURE SHALL BE SOWN UNIFORMLY AT A RATE OF 220-250 POUNDS PER ACRE.

Location	Regulation	Total Footages	Required	Provided
Parking Facility or Lot	15 SF landscape area per each parking space. Minimum of 1 deciduous or large evergreen tree for each 400 square feet.	416 SF 50 LF	210 SF landscape area (for 14 parking spaces). 1 deciduous or evergreen tree.	416 SF landscape area with 15 shrubs. 1 deciduous tree.
Buffer Strip*	Minimum of 1 deciduous tree per every 30 LF. Minimum 1 evergreen tree per every 10 LF. Minimum 3 shrubs per every 10 LF. No less than 5' in width and 2' from property line.	150 LF	5 deciduous trees. 15 evergreen trees. 45 shrubs.	5 deciduous trees. 15 evergreen trees. 46 shrubs.
Right-Of-Way	1 deciduous tree each 50 LF of street frontage.*	52 LF	1 deciduous tree.	1 deciduous tree.

All plant materials should either conform to the requirements of Section 5.16.7 or be the functional equivalent.
 * Buffer strip landscaping and landscaping in the right-of-way shall not be counted in meeting parking facility/lot requirements.

Drawn By	DATE	Checked By	DATE	Approved By	DATE
MOH					
DWS	04/21/21				

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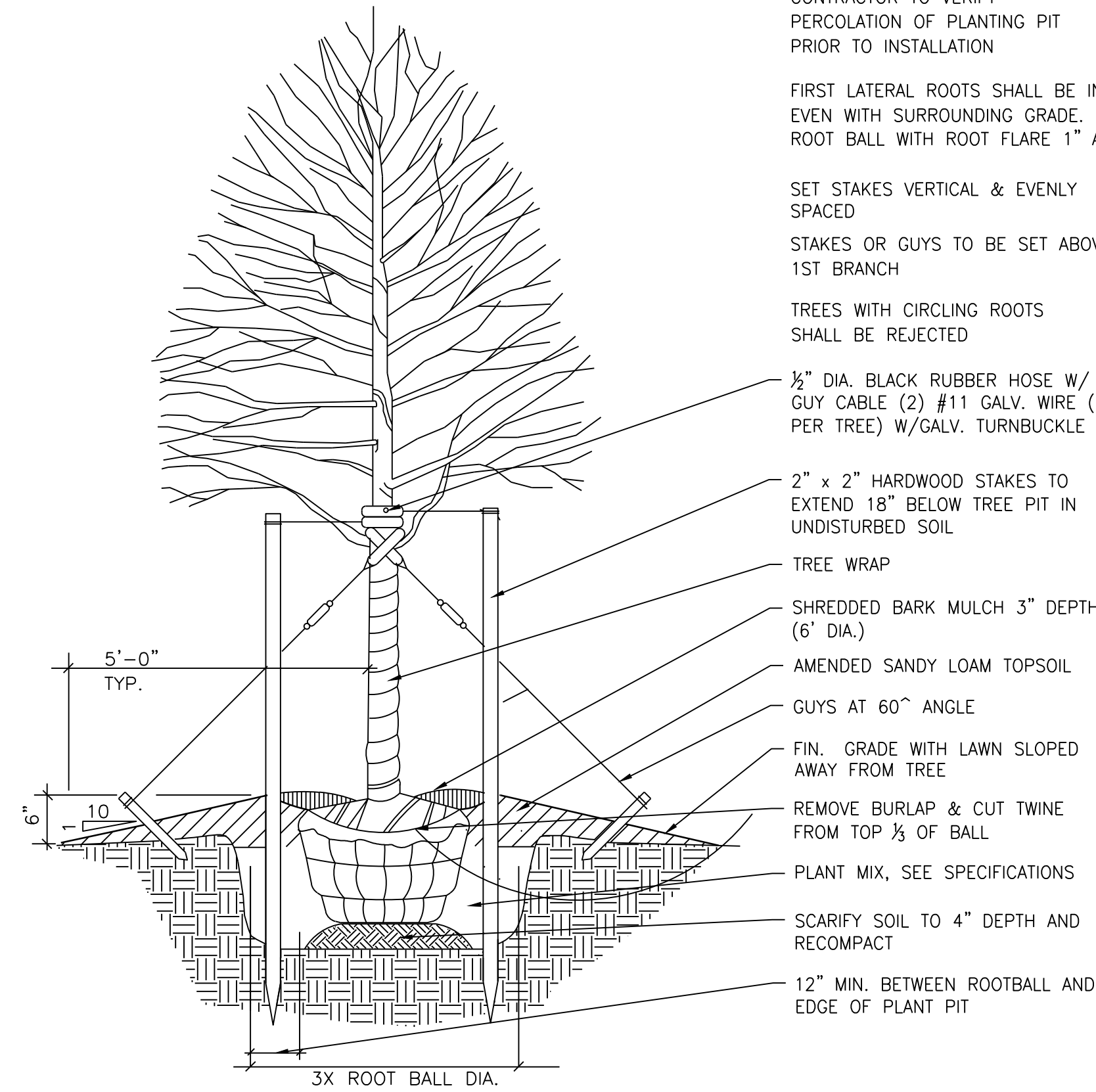
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LATHRUP VILLAGE, OAKLAND COUNTY, MICHIGAN

PROJECT NO.
21001

SHEET NO.
6 OF 8

LANDSCAPE NOTES

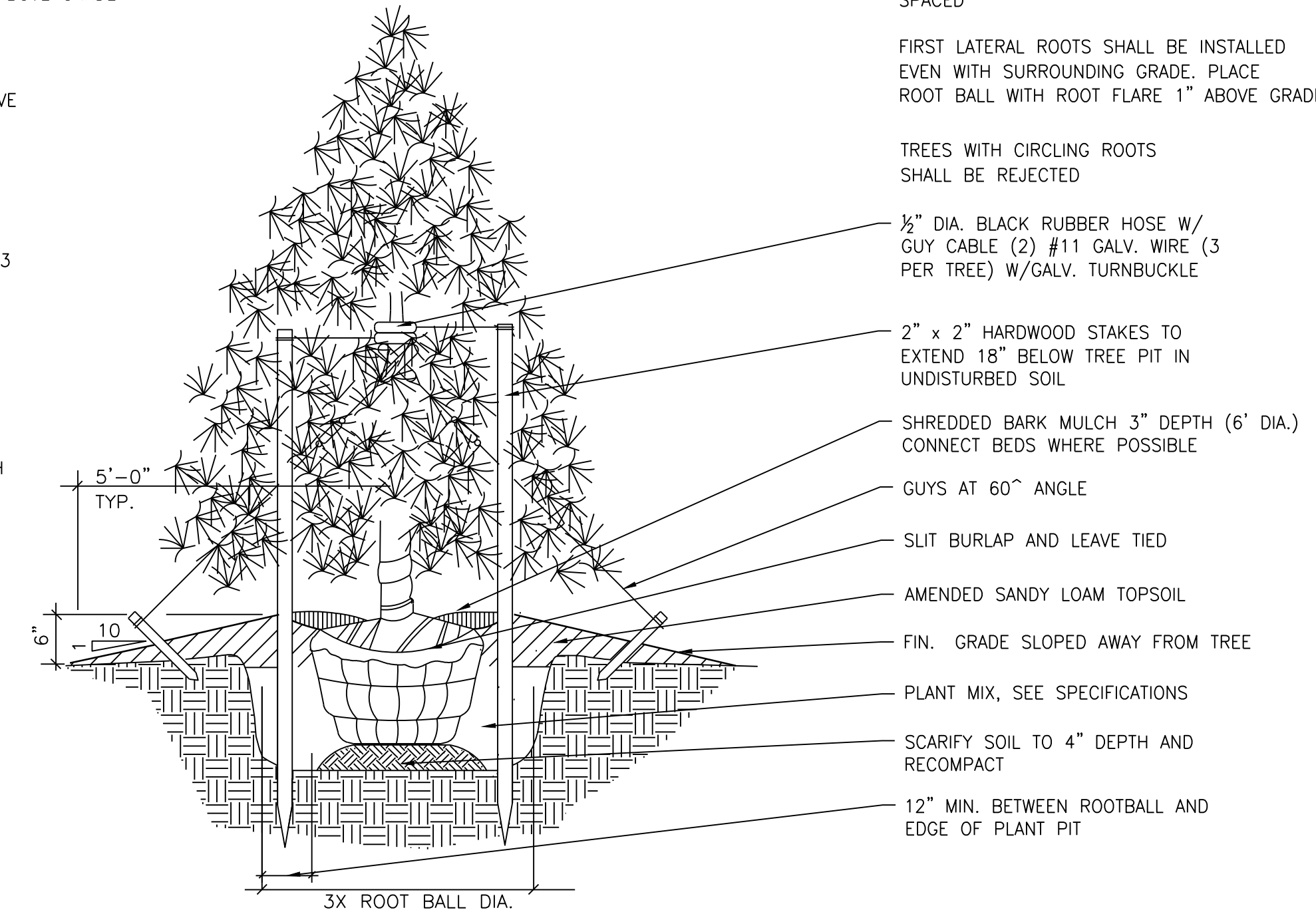
- ALL PLANTS TO BE INSTALLED IN ACCORDANCE WITH AMERICAN ASSOCIATION OF NURSERYMEN LANDSCAPE STANDARDS.
- CONTRACTOR SHALL PROVIDE A PLANTING MIXTURE MEETING THE FOLLOWING REQUIREMENTS. IF THE ENGINEER HAS ANY CONCERNS WITH THE QUALITY OF THE PLANTING MIXTURE, THE ENGINEER SHALL BE ALLOWED TWO WEEKS TO OBTAIN SOIL TEST TO DETERMINE SPECIFICATION COMPLIANCE. NO PLANT MATERIAL SHALL BE PLANTED PRIOR TO ENGINEER APPROVAL OF PLANTING MIXTURE. ALL PLANT MATERIAL SHALL BE MAINTAINED BY THE CONTRACTOR IN A VIGOROUS GROWING CONDITION DURING THIS TIME AT NO ADDITIONAL COST.
- SPACING OF PLANT MATERIALS SHALL BE AS SHOWN ON DRAWING OR ON PLANT LIST. THE ENGINEER SHALL REVIEW THE PLACEMENT OF PLANT MATERIAL PRIOR TO AND AFTER INSTALLATION, AND RESERVES THE RIGHT TO ADJUST LAYOUT TO ACCOMMODATE SITE CONDITIONS AND DESIGN INTENT.
- ALL PLANT MATERIALS SHALL CONFORM TO PLANT SCHEDULES. SIZES SHALL BE THE MINIMUM STATED ON THE PLANT LIST OR LARGER. ALL MEASUREMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "A.A.N. STANDARDS FOR NURSERY STOCK."
- NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND REVIEWED BY THE ENGINEER.
- FINAL PLANT LOCATIONS SHALL BE MARKED BY CONTRACTOR THREE WORKING DAYS PRIOR TO PLANTING FOR ENGINEER REVIEW.
- ALL PLANTED PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANTS ORIGINAL GRADE BEFORE DIGGING.
- PLANT MATERIAL, ESPECIALLY EVERGREENS, TO BE PLANTED HIGHER THAN NORMAL WHEN HEAVY SOIL CONDITIONS (CLAY, ETC.) PREVAIL.
- IF FOR ANY REASON ANY BALLED AND BURLAPED PLANT MATERIALS NEED TO BE STORED ON SITE LONGER THAN A 24-HOUR PERIOD, THEIR ROOT BALLS SHALL BE PROTECTED. ALL PLANTS SHALL BE THOROUGHLY WATERED EACH DAY THEY ARE STORED ON SITE. PLANTS MAY BE STORED ON SITE FOR A MAXIMUM OF TWO (2) WEEKS, OR 14 DAYS. ANY PLANTS ALLOWED TO DRY OUT AS DETERMINED BY THE ENGINEER WILL BE REJECTED.
- NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL WRAPPING MATERIALS MADE OF SYNTHETIC OR PLASTICS SHALL BE COMPLETELY REMOVED AT TIME OF PLANTING.
- THE CONTRACTOR SHALL FILL PLANT PIT WITH PREPARED PLANT MIX TO 1/2 DEPTH OF ROOT BALL OR ROOT MASS. PACK FIRMLY, PUDDLE WITH WATER; THEN FOR BALLED AND BURLAPED MATERIAL, THE BURLAP AND ALL LACING (INCLUDING WIRE BASKET IF NECESSARY) SHALL BE REMOVED FROM THE UPPER 1/3 OF ROOTBALL, THEN FINISH BACKFILLING ADDING SOLID FERTILIZER TO THE PLANT MIX, PACK FIRMLY AND WATER. A SAUCER SHALL BE PLACED AROUND EVERY PLANT AND SHALL BE APPROVED PRIOR TO PLACEMENT OF ANY MULCH.
- ALL DISTURBED LAWN AREAS SHALL BE RESTORED WITH 4-INCHES OF TOPSOIL, SPREAD, FINE GRADED, AND SODDED AS SPECIFIED. PRIOR TO INSTALLATION OF TOPSOIL, LOOSEN SUBGRADE TO A DEPTH OF 2 INCHES. THIS WORK SHALL BE INCIDENTAL TO THE PROJECT.
- TOPSOIL SHALL CONSIST OF FRIABLE, SHREDDED, AND SCREENED SOIL REASONABLY FREE OF GRASS, ROOTS, WEEDS, STICKS, STONES OR OTHER FOREIGN MATERIALS. THE TOPSOIL MATERIAL SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. SOIL COMPOSITION SHOULD CONTAIN AN ORGANIC CONTENT OF 2 TO 6 PERCENT AND BE CLASSIFIED AS A LOAM OR SANDY LOAM AS SPECIFIED IN THE "GUIDE FOR U.S.D.A. SOIL TEXTURAL CLASSIFICATION".
- ALL TREES AND SHRUBS ARE TO BE FERTILIZED ONCE ROOTS SYSTEM IS ESTABLISHED WITH AGRIFORM 21-GRAM FERTILIZER TABLETS AT RATES RECOMMENDED BY MANUFACTURER.
- TREES SHALL ONLY BE STAKED UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT. IF APPROVED, THE STAKING SHALL BE ADJUSTED AND REPAIRED AS NECESSARY AND REMOVED AT THE END OF THE ESTABLISHMENT PERIOD.
- ALL PLANTS AND STAKES SHALL BE SET PLUMB UNLESS OTHERWISE SPECIFIED. ALL GUYS AND STAKES MUST BE LOCATED WITHIN EACH TREES MULCHED AREA TO ELIMINATE THE POSSIBILITY OF MOWER CONTACT AND TO REDUCE MAINTENANCE.
- AT PLANTING TIME, ALL DEAD AND BROKEN BRANCHES SHALL BE PRUNED ON ALL DECIDUOUS TREES.
- CONTRACTOR SHALL APPLY ENGINEER APPROVED PRE-EMERGENT HERBICIDE TO SHRUB AND GROUND COVER PLANTING AREAS AT THE TIME OF PLANTING (IF SPRING PLANTED) OR THE FOLLOWING SPRING. CONTRACTOR SHALL ENSURE THE PLANT MATERIALS ARE RESISTANT TO THE HERBICIDES PROPERTIES. HERBICIDE SHALL BE APPLIED ACCORDING TO MANUFACTURERS SPECIFICATIONS AND IN ACCORDANCE WITH SOUND HORTICULTURAL PRACTICES.
- PLANTING MIXTURE SHALL BE A MIXTURE OF 5/8 TOPSOIL, 2/8 SAND, AND 1/8 PEAT. PLANTING MIXTURE SHALL BE FREE FROM STICKS, STONES, SOD CLOTS OR OTHER MATERIAL WHICH MIGHT LEAVE POCKETS AROUND THE ROOTS.
- ALL EVERGREEN PLANTS SHALL BE SPRAYED ACCORDING TO MANUFACTURES INSTRUCTIONS WITH AN ANTI-DESICCANT THE FIRST WINTER. THE ENGINEER SHALL BE NOTIFIED THREE DAYS PRIOR TO THIS WORK.
- ALL TREES, SHRUBS AND PERENNIAL GROUND COVER SHALL RECEIVE A MINIMUM DEPTH OF THREE INCHES DOUBLE SHREDDED HARDWOOD BARK MULCH. WHERE PLANT BEDS MEET PAVEMENTS, LAWN, OR STEEL EDGING CUT THE GRADE TO ALLOW FOR MULCH AND THREE-INCH DROP FROM ADJOINING FINISH GRADE.
- ALL PLANT BEDS SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 8-INCHES AND BACKFILLED WITH SPECIFIED PLANT MIX AS PER PLANTING BED DETAILS. BEDS SHALL BE EDGED WITH METAL EDGING AROUND PERIMETER AS SHOWN IN TYPICAL PERENNIAL PLANTING DETAIL. ALL EDGING SHALL BE 4" WIDE - 12 GAUGE STEEL, COLOR BLACK. CONTRACTOR SHALL LAYOUT EDGING FOR APPROVAL AND INSTALL PER PERENNIAL PLANTING BED DETAIL.
- SNOW SHALL NOT BE PUSHED ONTO INTERIOR LANDSCAPE ISLANDS UNLESS DESIGNATED FOR SNOW STORAGE.
- ALL PLANTINGS SHALL BE GUARANTEED FOR A PERIOD OF ONE GROWING SEASON. ALL DISEASED, DAMAGED, OR DEAD MATERIAL SHOWN ON THE SITE PLAN SHALL BE REPLACED AT THE GROWING PERIOD.
- APPLICATIONS OF FERTILIZER BEYOND THE INITIAL TOPSOIL AND SEEDING SHALL BE A FERTILIZER WITH NO PHOSPHOROUS.
- CONTRACTOR SHALL NOTIFY MISS DIG (800) 482-7171 A MINIMUM OF THREE WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION IN THE AREA OF THE WORK.
- LANDSCAPING SHALL BE INSTALLED WITHIN ONE HUNDRED EIGHTY (180) DAYS FROM THE DATE OF OCCUPANCY OF THE BUILDING.
- IRRIGATION SHALL BE PROVIDED FOR ALL LANDSCAPE AREAS



DECIDUOUS TREE DETAIL

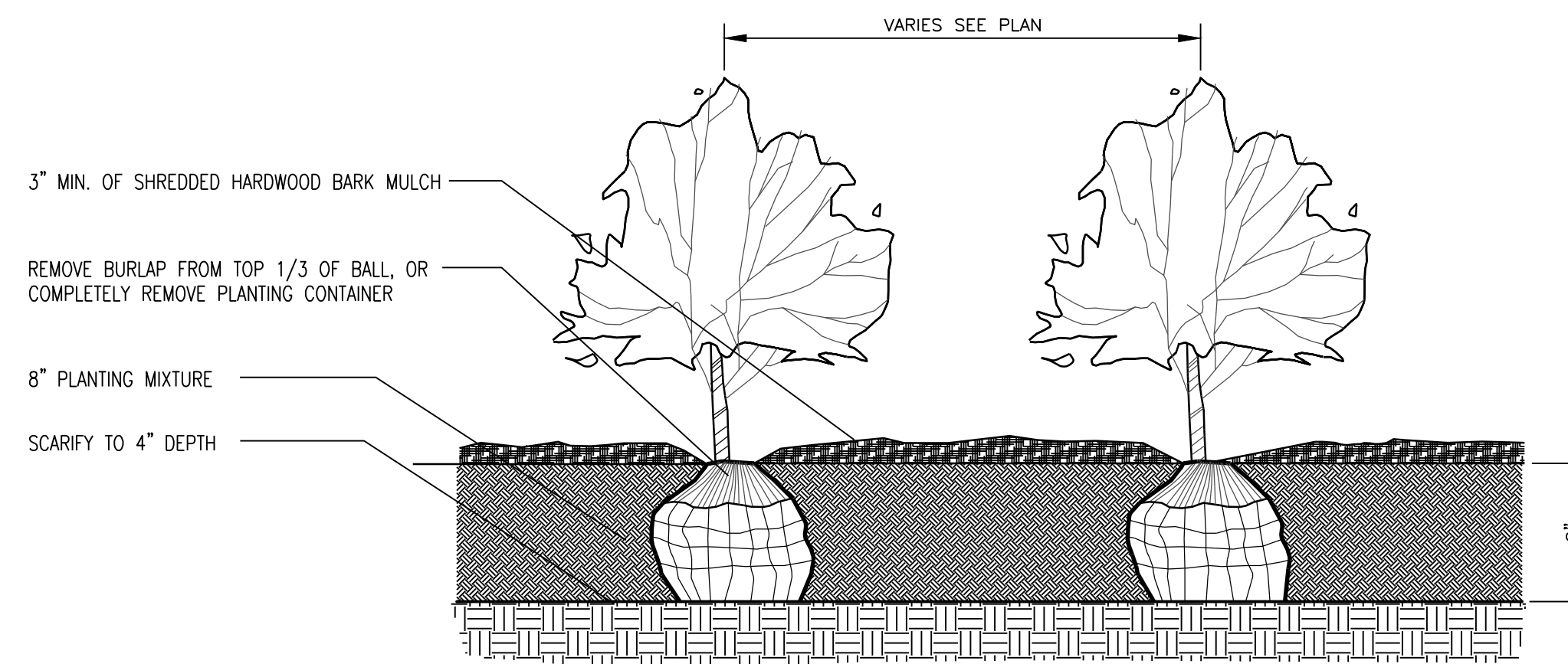
NO SCALE

- NOTES:**
- STAKE TREES UNDER 4" CALIPER
 - GUY TREES 4" CALIPER & OVER
 - CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION
 - FIRST LATERAL ROOTS SHALL BE INSTALLED EVEN WITH SURROUNDING GRADE, PLACE ROOT BALL WITH ROOT FLARE 1" ABOVE GRADE
 - SET STAKES VERTICAL & EVENLY SPACED
 - STAKES OR GUYS TO BE SET ABOVE 1ST BRANCH
 - TREES WITH CIRCLING ROOTS SHALL BE REJECTED



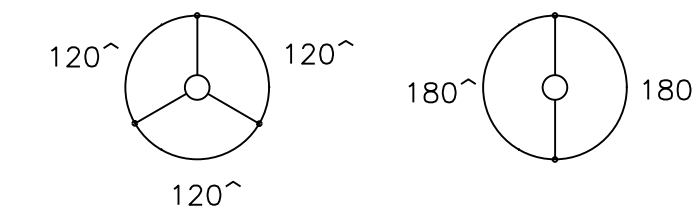
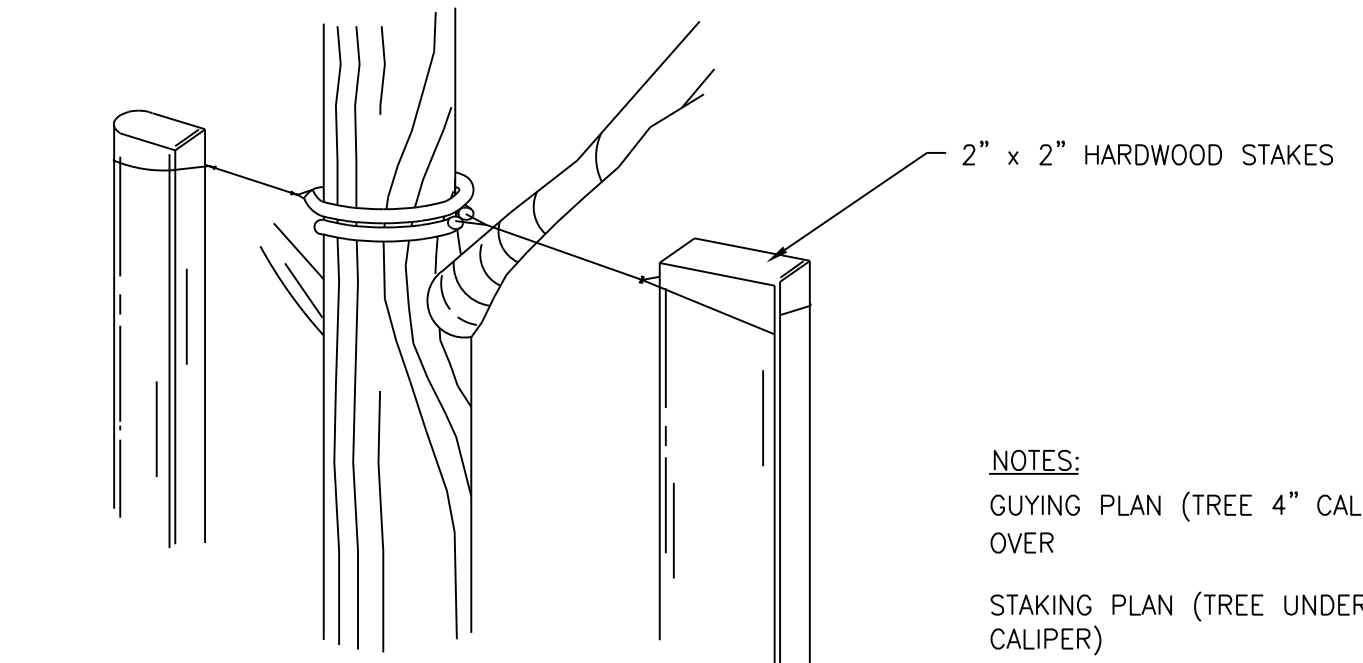
EVERGREEN TREE DETAIL

NO SCALE



SHRUB PLANTING BED DETAIL

NO SCALE



- NOTES:**
- GUYING PLAN (TREE 4" CALIPER AND OVER)
 - STAKING PLAN (TREE UNDER 4" CALIPER)
 - FOR ALL TREES, ALIGN STAKES UNIFORMLY IN THE SAME DIRECTION, SET PLUMB
 - SEE SHADE AND EVERGREEN TREE PLANTING DETAILS
 - NEW BLACK RUBBER HOSE PROTECTOR GUY OR STAKE ABOVE FIRST BRANCH 2 PLY
 - DOUBLE STRAND # 11 GAUGE GALV. WIRE TWISTED
 - GUYING CABLE SECURED W/ CLAMPS
 - GALVANIZED TURNBUCKLE

STAKING AND GUYING DETAIL

NO SCALE

- NOTES:**
- STAKE ALL EVERGREEN TREES UNDER 12" HIGH
 - GUY ALL EVERGREEN TREES 12" HIGH AND OVER
 - NEVER CUT CENTRAL LEADER
 - PRUNE ONLY TO REMOVE DEAD OR BROKEN BRANCHES
 - SET STAKES VERTICAL AND EVENLY SPACED
 - FIRST LATERAL ROOTS SHALL BE INSTALLED EVEN WITH SURROUNDING GRADE, PLACE ROOT BALL WITH ROOT FLARE 1" ABOVE GRADE
 - TREES WITH CIRCLING ROOTS SHALL BE REJECTED

Drawn By	MOH	Date	04/21/21	Approved By	Date
BY					
DATE					
NO.					
REVISIONS					

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2700 SOUTHFIELD ROAD
LATHRUP VILLAGE, OAKLAND COUNTY, MICHIGAN

PROJECT NO.
21001

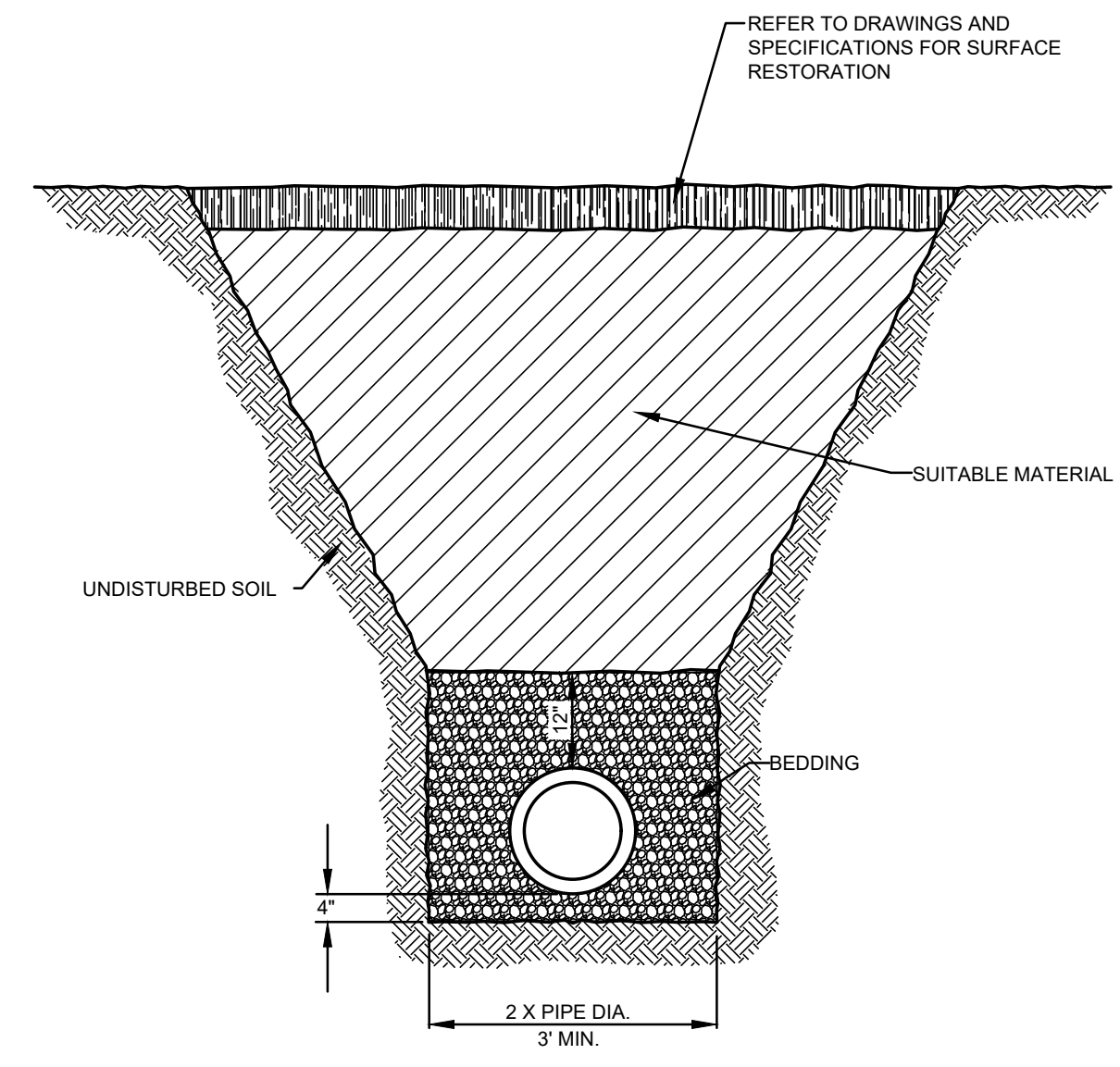
SHEET NO.
7 OF 8

LANDSCAPE DETAILS

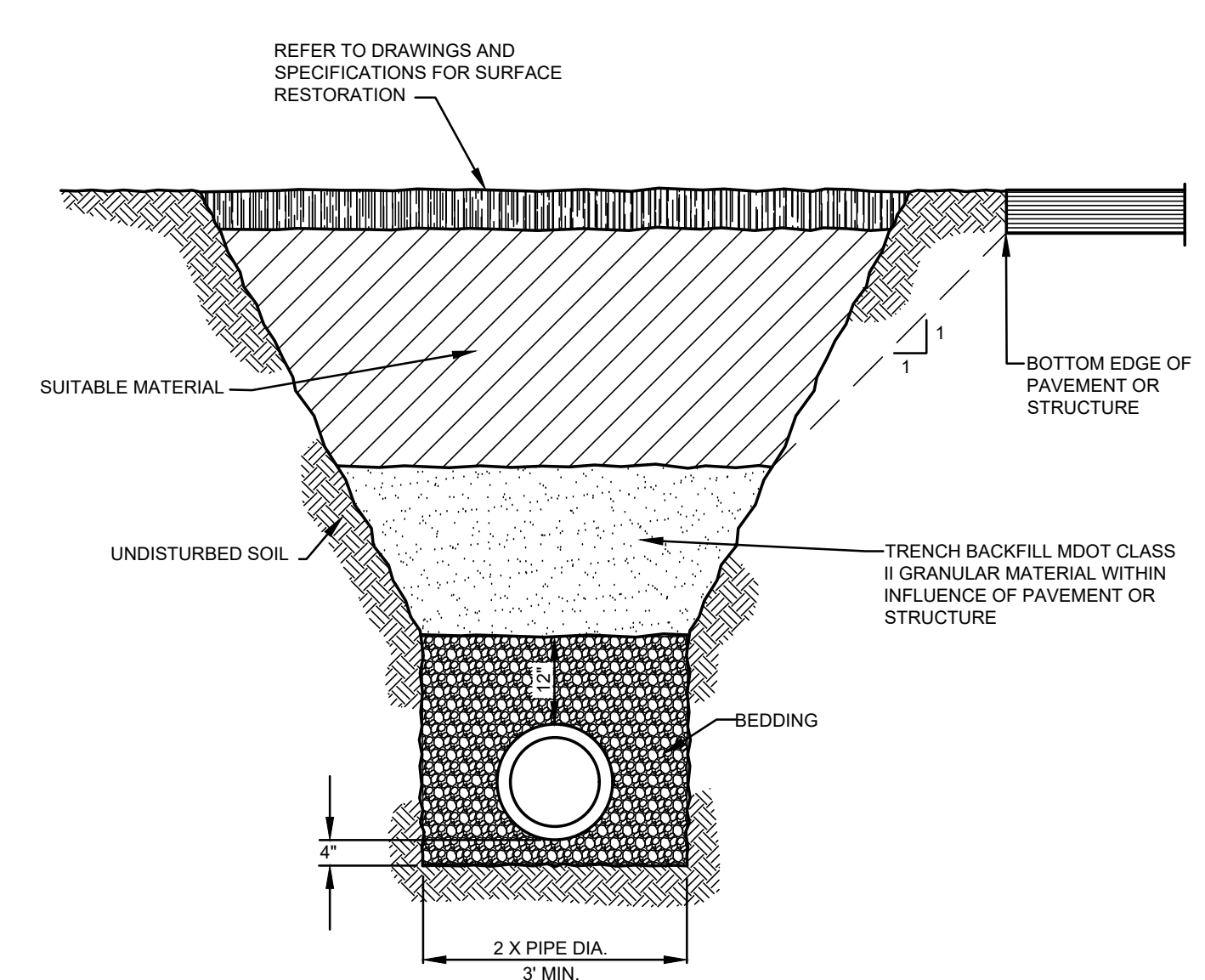
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THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

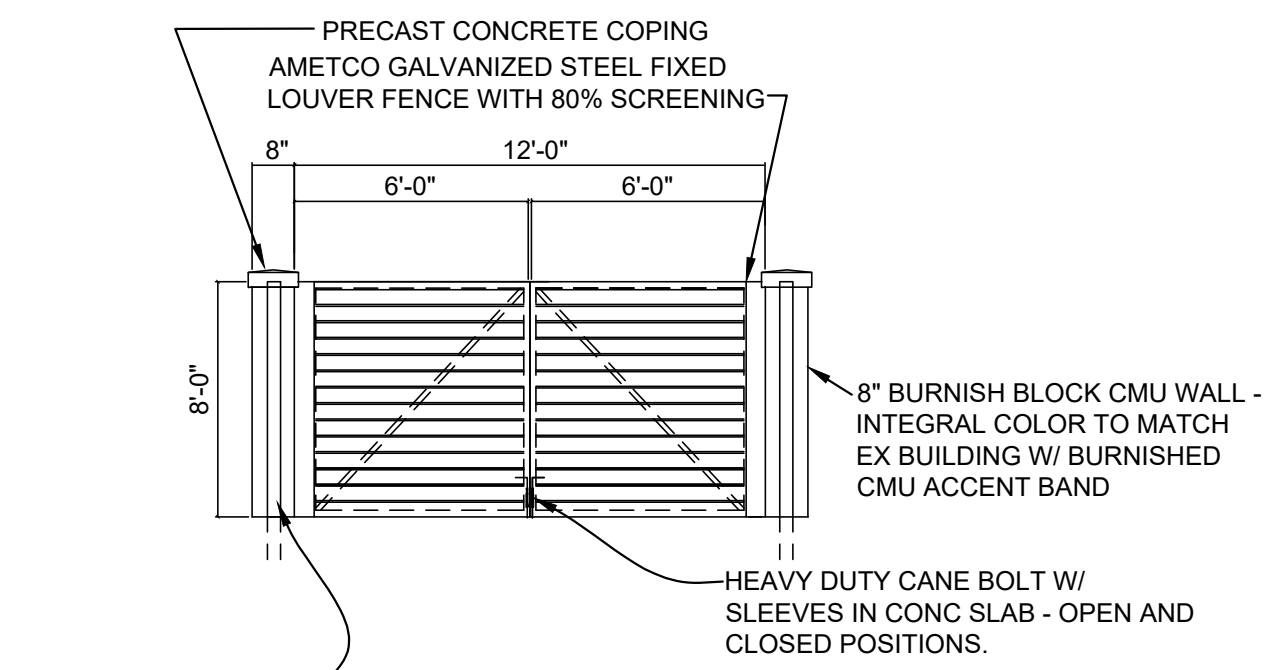
NO.	REVISIONS	DATE	BY	DATE	BY



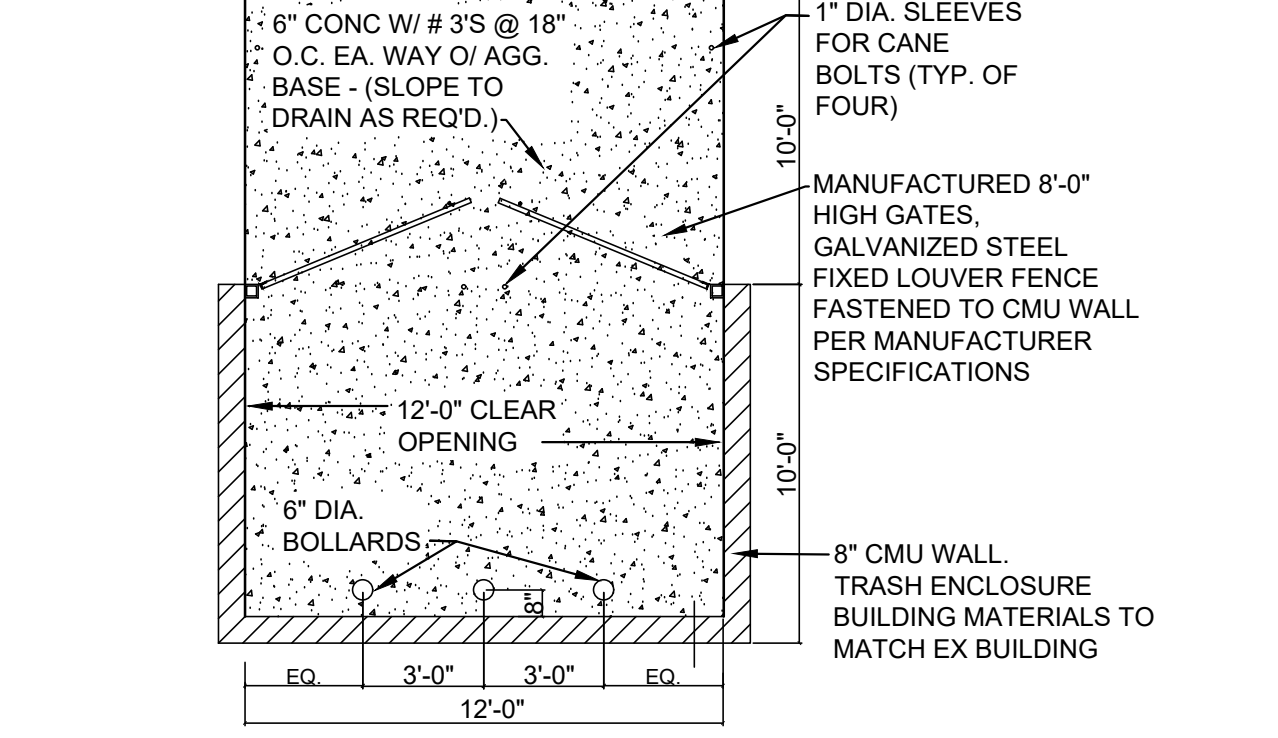
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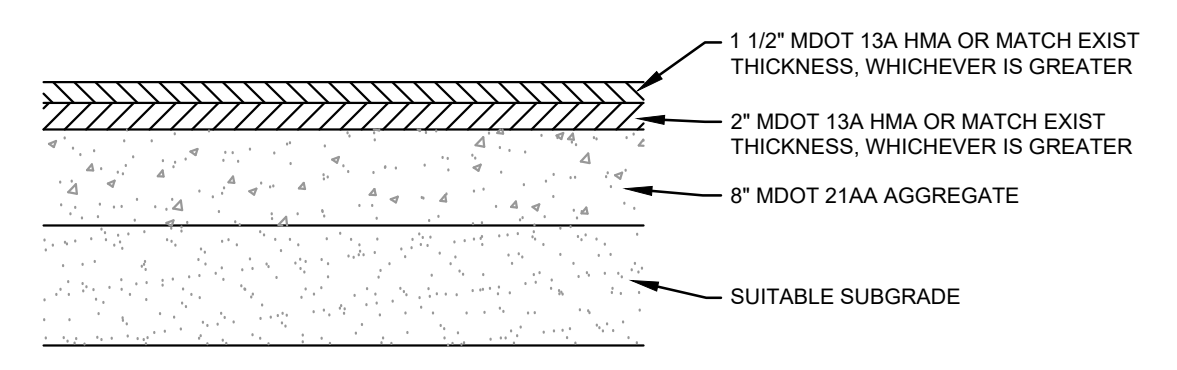
TRENCH ADJACENT TO PAVEMENT OR STRUCTURE
SCALE: 1"=2'



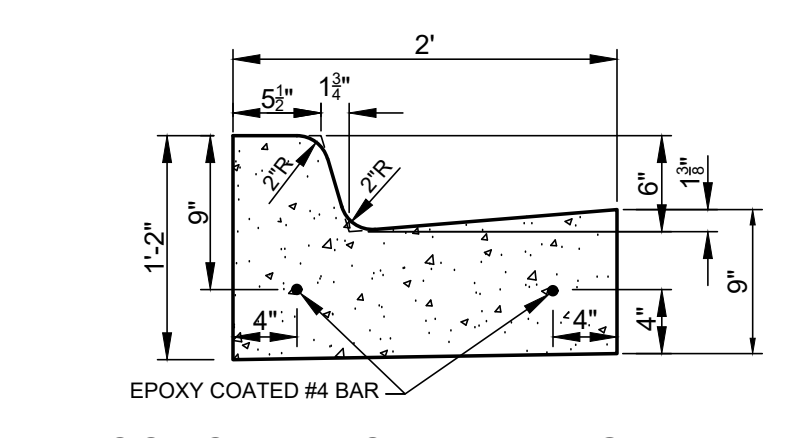
6" X 6" X 6" TALL STEEL PIPE. FILL SOLID WITH CONCRETE. WELD HINGES TO FACE OF PIPE.



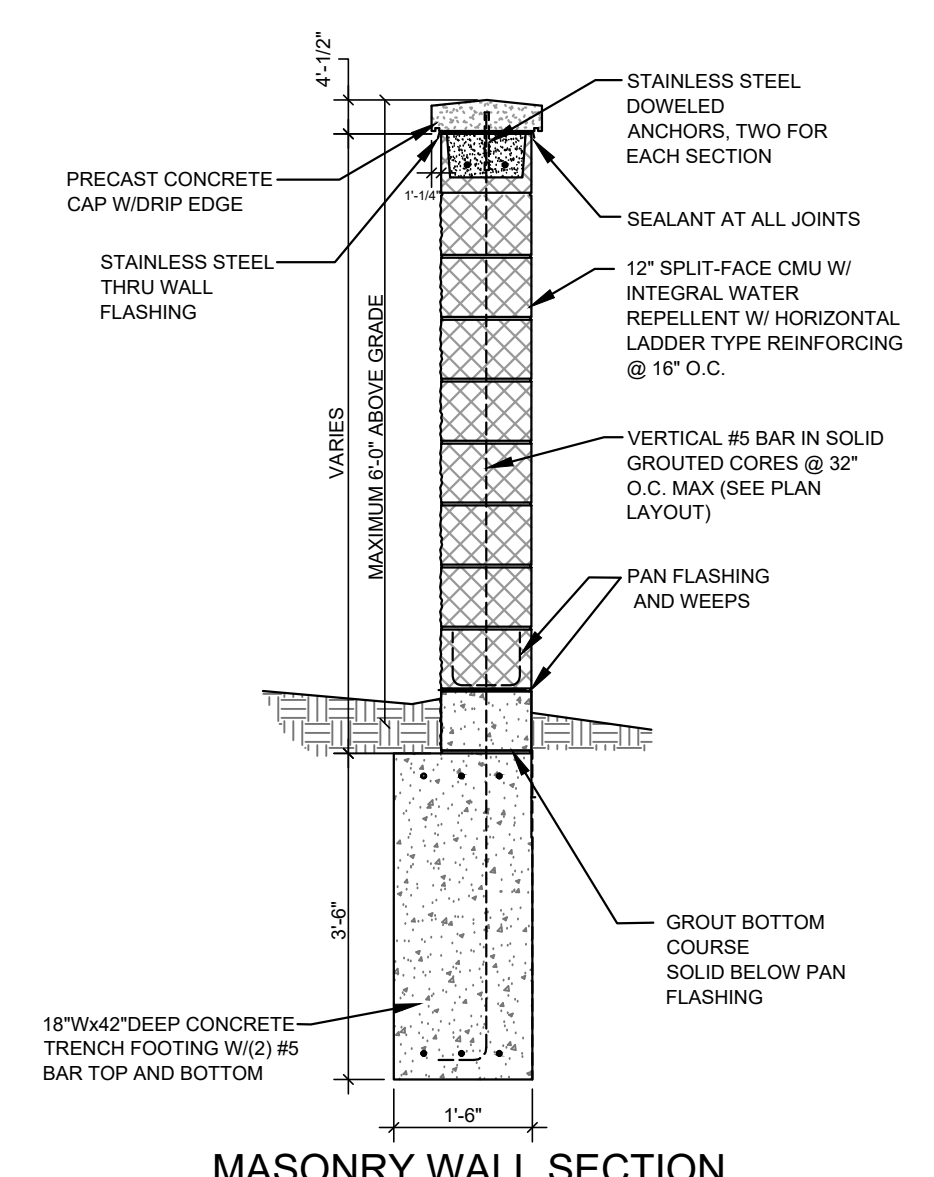
TRASH ENCLOSURE DETAIL
NO SCALE



HMA PAVEMENT SECTION
NO SCALE



CONCRETE CURB AND GUTTER (MDOT DETAIL F-4)
SCALE: 1" = 1'



MASONRY WALL SECTION
NO SCALE

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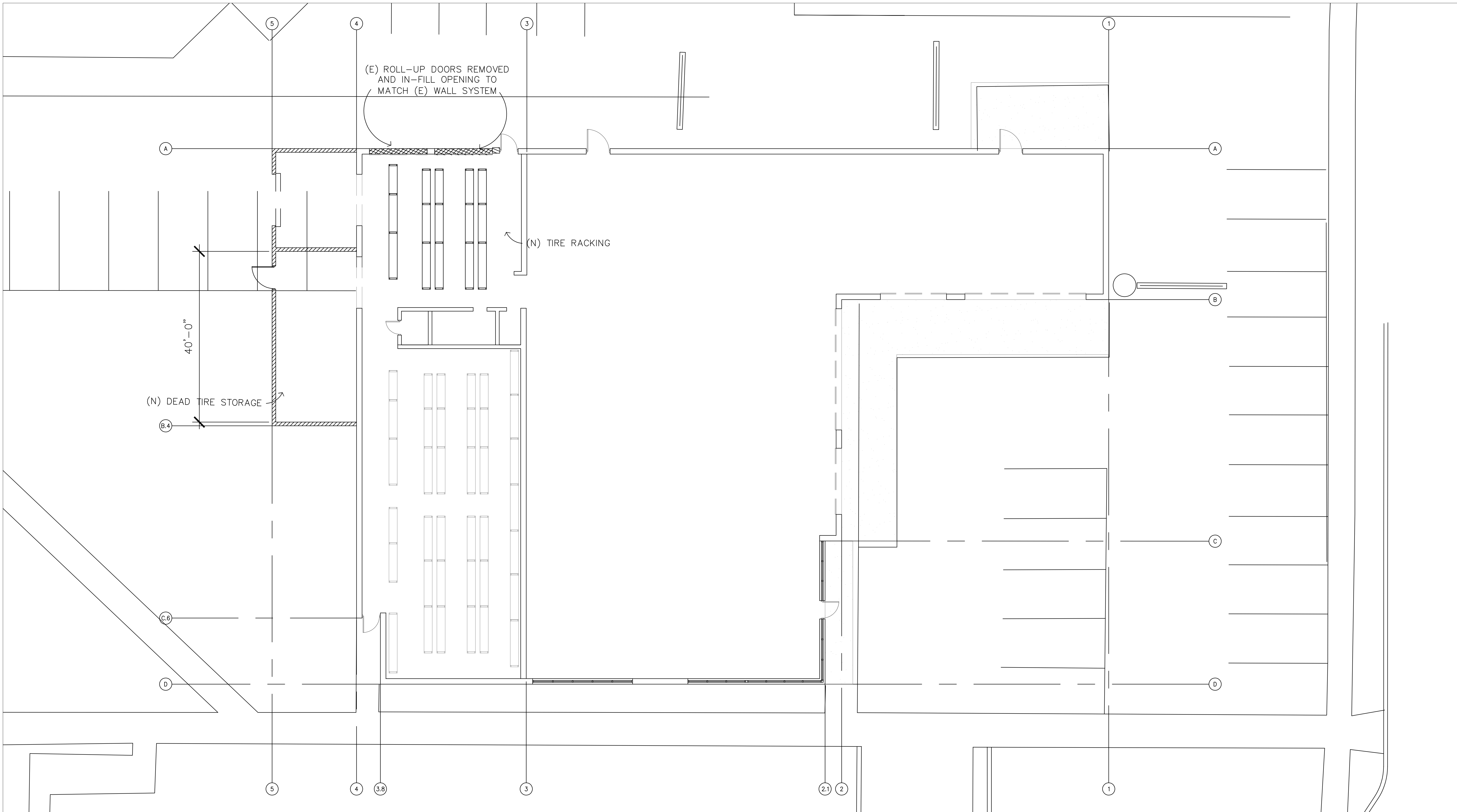
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8 OF 8

DETAILS



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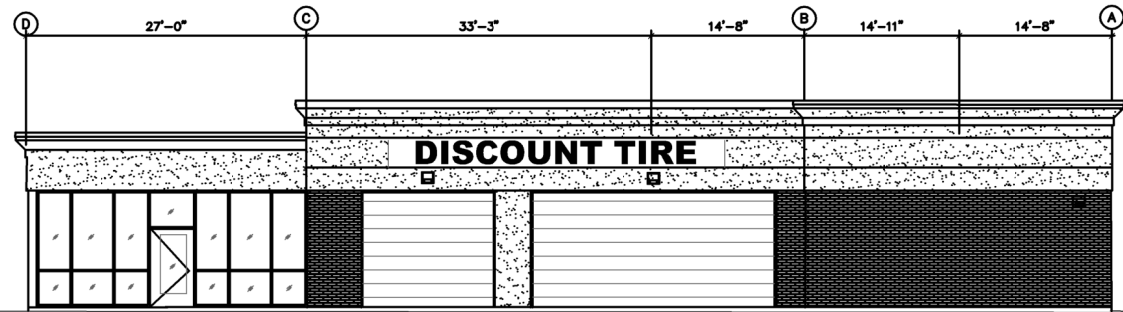


Kinetic Design
20381 Lake Forest Dr.,
Suite B16
Lake Forest, CA 92630
951-710-6334 (T)

BUILDING MODEL	Building Expansions
REVISION	
DATE	
SCALE	AS NOTED
PROJECT NUMBER	

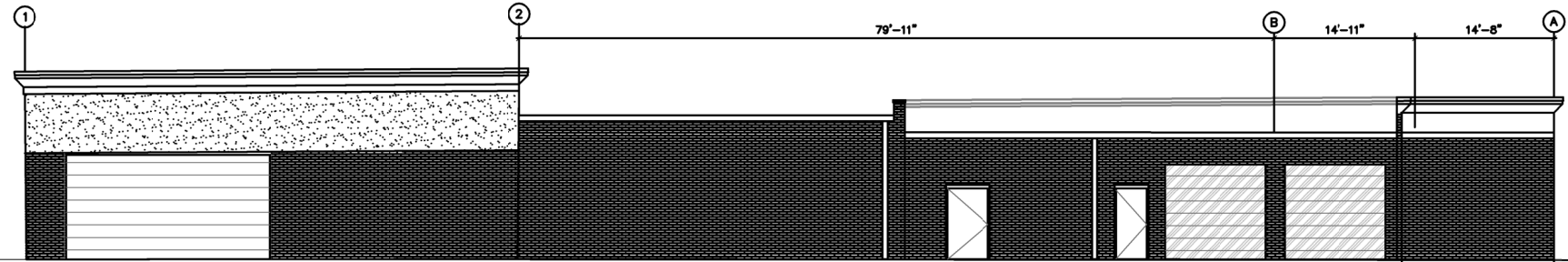
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A.1



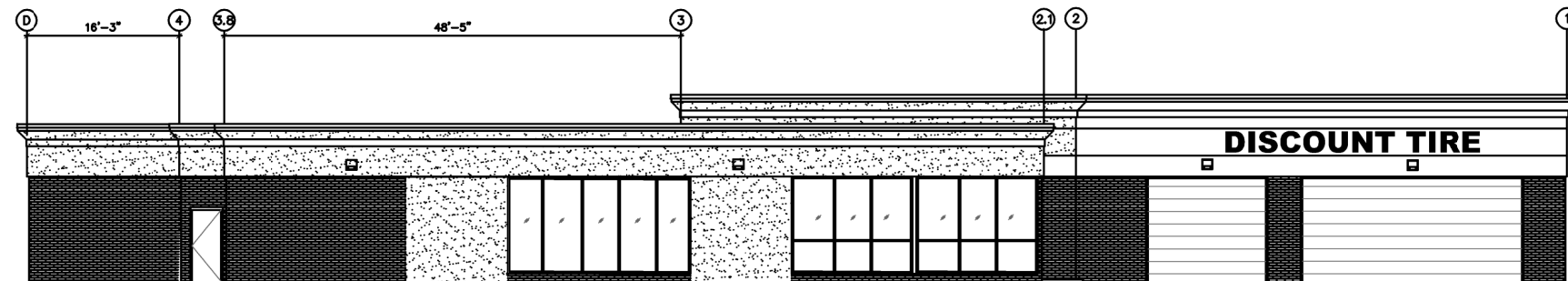
① SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



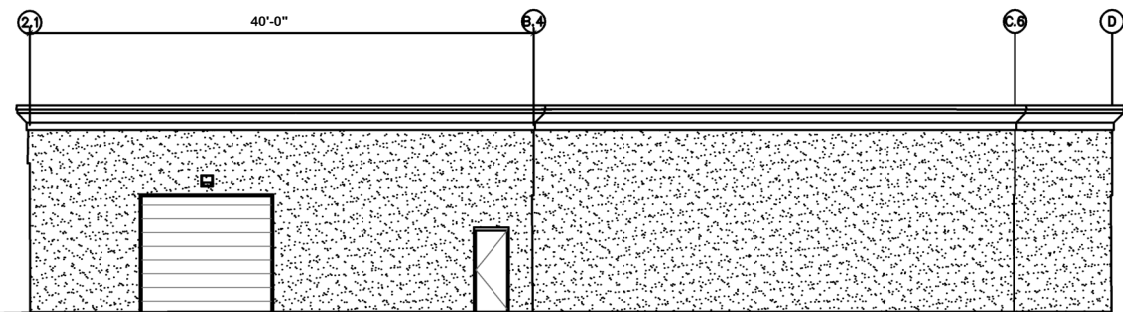
② EAST ELEVATION

SCALE: 1/8" = 1'-0"



③ WEST ELEVATION

SCALE: 1/8" = 1'-0"



④ NORTH ELEVATION

SCALE: 1/8" = 1'-0"



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A.2