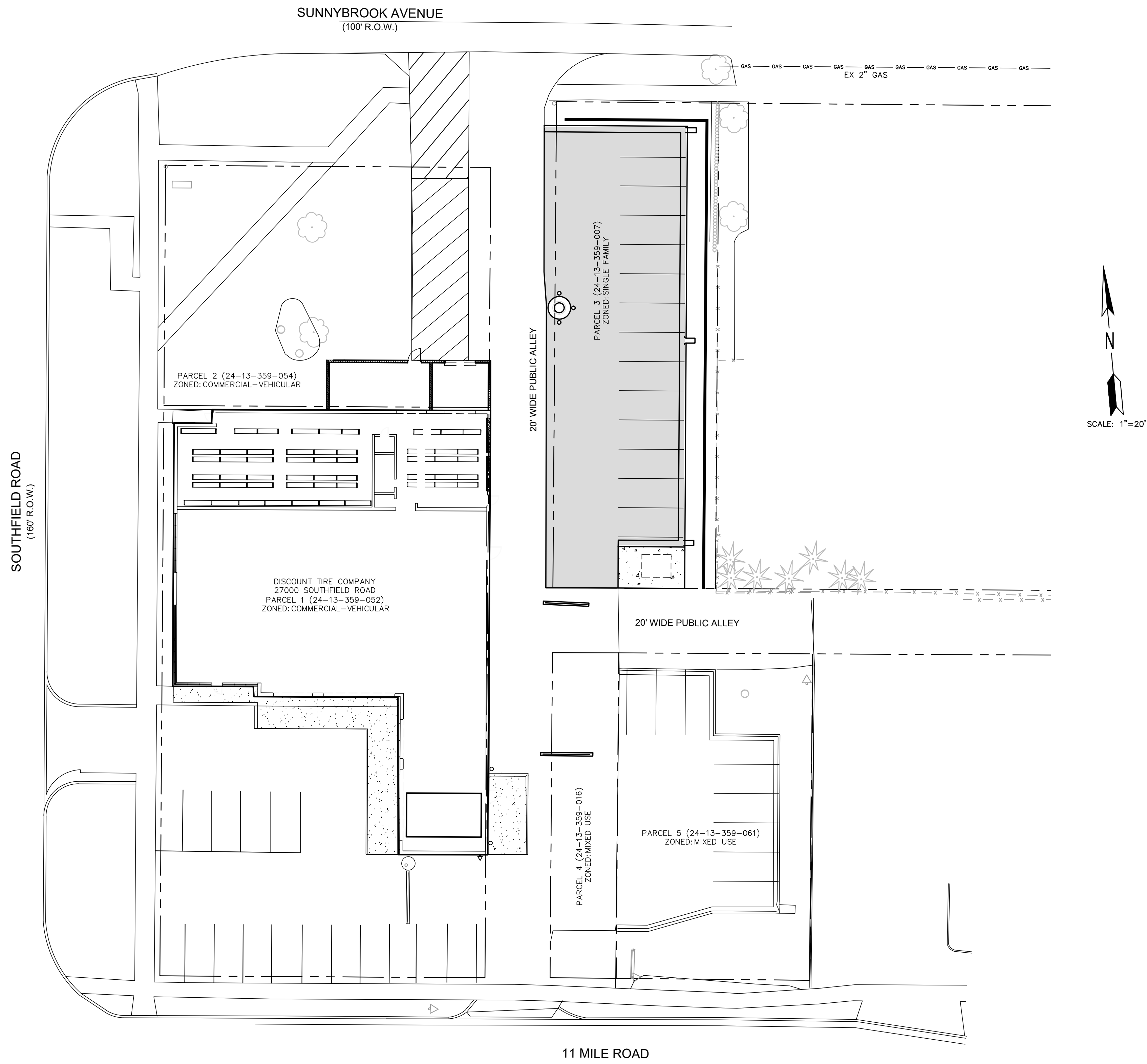


# DISCOUNT TIRE - MID 24 LATHRUP VILLAGE



BENCHMARK #1 ELEV = 696.07  
SAN MH LID 40' SSE OF SE BLDG  
CORNER

BENCHMARK #2 ELEV = 697.80  
SE ANCHOR BOLT ON TRAFFIC SIGNAL  
POLE AT SW COR OF SITE

**811** Know what's below.  
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESENT ANY AND ALL UNDERGROUND UTILITIES.



**APPLICANT**  
HALLE PROPERTIES, LLC  
20225 N SCOTTSDALE ROAD  
SCOTTSDALE, AZ 85255  
(480)606-6193

**ENGINEER**  
ENG., INC  
4063 GRAND OAK DRIVE STE A109  
LANSING, MI 48911  
(517)887-1100

**LANDSCAPE ARCHITECT**  
WADE TRIM  
500 GRISWOLD AVENUE STE 2500  
DETROIT, MICHIGAN 48226  
(313)961-3650

**ARCHITECT**  
KINETIC DESIGN  
20381 LAKE FOREST DRIVE STE B16  
LAKE FOREST, CA 92630  
(951)710-6334

- LIST OF DRAWINGS**
1. COVER SHEET
  2. TOPOGRAPHIC SURVEY & REMOVAL PLAN
  3. SITE LAYOUT
  4. UTILITY & GRADING PLAN
  5. SOIL EROSION & SEDIMENTATION CONTROL PLAN
  6. LANDSCAPE PLAN
  7. LANDSCAPE PLAN NOTES & DETAILS
  8. DETAILS & NOTES
  - A.1 CONCEPTUAL FLOOR PLAN
  - A.2 CONCEPTUAL ELEVATIONS

**LIST OF SUBMITTALS**

DATE	TYPE
3/19/21	CITY OF LATHRUP VILLAGE ZBA
4/23/21	CITY OF LATHRUP VILLAGE SITE PLAN REVIEW
4/23/21	CITY OF LATHRUP VILLAGE SPECIAL LAND USE REQUEST

RECOMMEND APPROVAL AS NOTED  
FOR SITE PLAN

*Scott A. Ringler*  
SCOTT A. RINGLER, PE  
04/27/2021



*Ryan C. McEnhill*  
RYAN C. McENHILL, P.E. #56096 3-29-21

COVER SHEET

NO.	REVISIONS	DATE	BY

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**DISCOUNT TIRE**

27000 SOUTHFIELD ROAD  
LATHRUP VILLAGE, OAKLAND COUNTY, MICHIGAN

PROJECT NO.  
21001

SHEET NO.  
1 OF 8



**SITE DATA:**

TOTAL AREA= 1.07 ACRES  
 NET PARCEL AREA= 0.93 ACRES  
 PUBLIC ALLEY AREA= 0.14 ACRES  
 EXISTING ZONING: PARCEL 1: COMMERCIAL - VEHICULAR  
 PARCEL 2: COMMERCIAL - VEHICULAR  
 PARCEL 3: SINGLE FAMILY  
 PARCEL 4: MIXED USE  
 EXISTING LAND USE= PASSENGER CAR & LIGHT TRUCK TIRE SALES  
 BUILDING HEIGHT= 15' (1-STORY)  
 EXISTING BUILDING FLOOR AREA= 9,744 SF  
 EXISTING TOTAL USABLE FLOOR AREA= 2,164 SF  
 PROPOSED BUILDING EXPANSION AREA= 722 SF  
 NUMBER OF EMPLOYEES DURING PEAK PERIODS= 17 EMPLOYEES  
 NUMBER OF EXISTING PARKING SPACES = 39 SPACES  
 NUMBER OF PROPOSED PARKING SPACES = 39 SPACES

**SETBACKS:**

COMMERCIAL - VEHICULAR DISTRICT:  
 FRONT YARD: 3'  
 SIDE YARD: 5' ONE SIDE, 15' TOTAL  
 REAR YARD: 20'  
 MIXED USE DISTRICT  
 PARKING: 5'

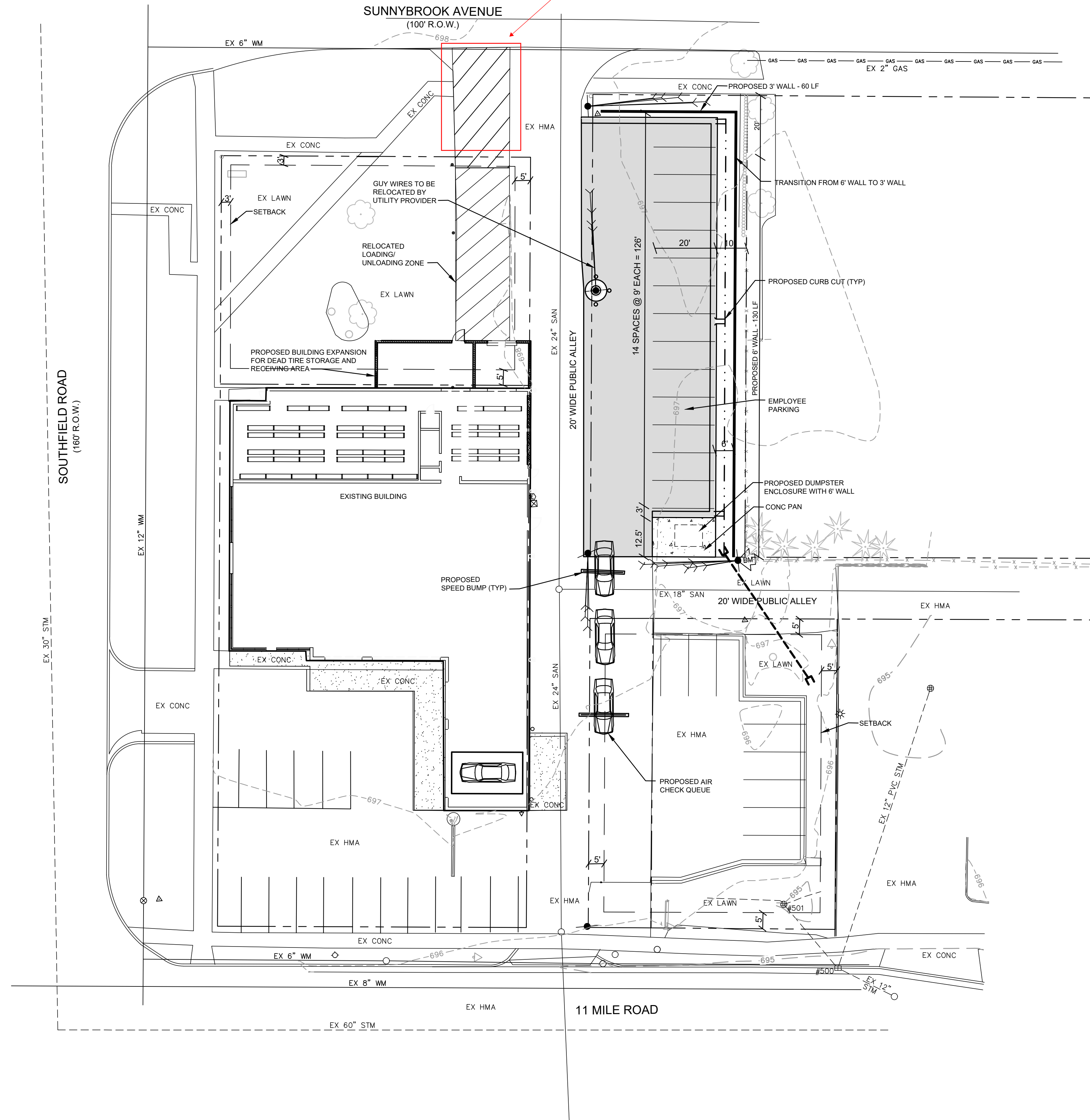
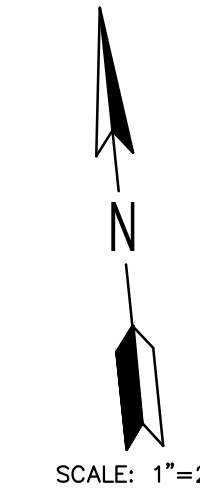
BENCHMARK #1 ELEV = 696.07  
 SAN MH LID 40' SSE OF SE BLDG  
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BENCHMARK #2 ELEV = 697.80  
 SE ANCHOR BOLT ON TRAFFIC SIGNAL  
 POLE AT SW COR OF SITE



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

**NO PARKING OR LOADING / UNLOADING  
 WILL BE ALLOWED WITHIN THE PUBLIC RIGHT-OF-WAY.**



**LEGEND**

- = EXISTING TREE
- = EXISTING DECIDUOUS TREE
- = EXISTING SHRUB
- = EXISTING LIGHT POLE
- = EXISTING ELECTRIC
- = EXISTING GAS MAIN
- = EXISTING TELEPHONE PEDESTAL
- = EXISTING FIRE HYDRANT
- = EXISTING WATER VALVE/WATER MAIN
- = EXISTING SANITARY MANHOLE/SEWER
- = EXISTING STORM MANHOLE/SEWER
- = EXISTING STORM CURB INLET
- = EXISTING YARD DRAIN
- = EXISTING ADJOINING PROPERTY LINE
- = EXISTING ROAD RIGHT-OF-WAY
- = EXISTING EASEMENT
- = EXISTING CURB
- = BENCH MARK
- = EXISTING CONCRETE PAVEMENT
- = EXISTING ASPHALT PAVEMENT
- = EXISTING CONTOUR
- = BUILDING SETBACK
- = PROPOSED HMA PAVEMENT
- = PROPOSED CONCRETE
- = PROPOSED CURB AND GUTTER - (DETAIL F-4)
- = PROPOSED TRAFFIC FLOW ARROW
- = PROPOSED INVERTED PAN CURB AND GUTTER
- = PROPOSED BOLLARD
- = PROPOSED WALL

NO.	REVISIONS	DATE	BY

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 517.887.1100  
 16930 Robbins Road Suite 105  
 Grand Haven, MI 49417  
 616.743.7070  
 engdol.com



**DISCOUNT TIRE**  
 27000 SOUTHFIELD ROAD  
 LATHRUP VILLAGE, OAKLAND COUNTY, MICHIGAN

PROJECT NO.  
**21001**  
 SHEET NO.  
**3 OF 8**

**SITE LAYOUT**

**GRADING NOTES**

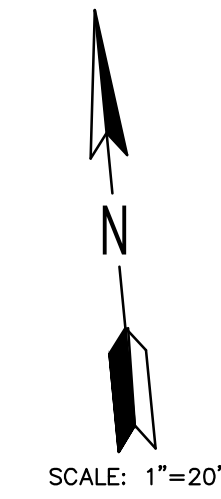
1. EXISTING UTILITY LOCATIONS ARE APPROXIMATE AND NOT EXACT. CALL 811 OR 1-800-362-2764.
2. ALL EXISTING UTILITIES SHALL BE PROTECTED FROM EXCAVATION. EXISTING UTILITIES DAMAGED BY CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
3. FINISHED SURFACES TO BE SMOOTH AND EVEN WITH NO ABRUPT OR AWKWARD CHANGES IN GRADE.
4. ALL NEW SIDEWALKS AND PAVEMENTS SHALL BE PLACED AT AN ELEVATION THAT PROVIDES POSITIVE DRAINAGE AND CONSISTENT SLOPES. ENSURE NO LOW SPOTS ARE CREATED. NEW WALKS SHALL MEET EXISTING WALKS FLUSH AT EXISTING GRADE. NOTIFY ENGINEER IF GRADES ON PLAN CANNOT BE MET TO ENSURE POSITIVE DRAINAGE.
5. ALL PROPOSED GRADES SHALL BE STAKED BY A LICENSED SURVEYOR AND FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
6. MATCH ADJACENT PAVEMENT GRADES WHERE NEW PAVEMENT ABUTS EXISTING PAVING.

BENCHMARK #1 ELEV = 696.07  
SAN MH LID 40' SSE OF SE BLDG CORNER

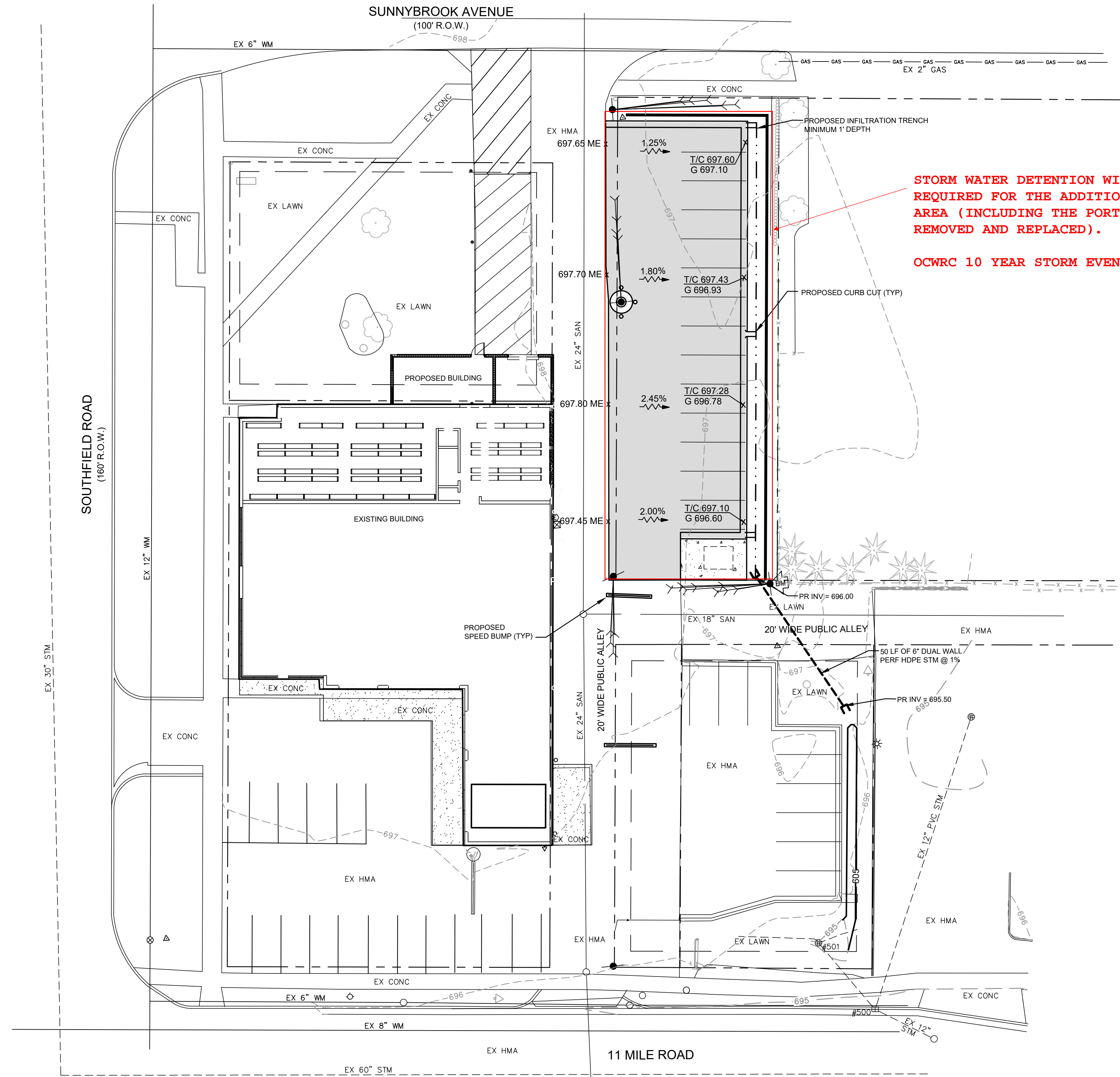
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SCALE: 1"=20'



**STORM WATER DETENTION WILL BE REQUIRED FOR THE ADDITIONAL PARKING AREA (INCLUDING THE PORTION BEING REMOVED AND REPLACED).**

**OCWRC 10 YEAR STORM EVENT**

- LEGEND**
- (Star symbol) = EXISTING TREE
  - (Cloud symbol) = EXISTING DECIDUOUS TREE
  - (Circle with dot) = EXISTING SHRUB
  - (Star with dot) = EXISTING LIGHT POLE
  - (Line with cross) = EXISTING ELECTRIC
  - (Line with cross) = EXISTING GAS MAIN
  - (Square with dot) = EXISTING TELEPHONE PEDESTAL
  - (Circle with dot) = EXISTING FIRE HYDRANT
  - (Circle with dot) = EXISTING WATER VALVE/WATER MAIN
  - (Circle with dot) = EXISTING SANITARY MANHOLE/SEWER
  - (Circle with dot) = EXISTING STORM MANHOLE/SEWER
  - (Square with dot) = EXISTING STORM CURB INLET
  - (Square with dot) = EXISTING YARD DRAIN
  - (Dashed line) = EXISTING ADJOINING PROPERTY LINE
  - (Solid line) = EXISTING SUBJECT PROPERTY BOUNDARY
  - (Dashed line) = EXISTING ROAD RIGHT-OF-WAY
  - (Dashed line) = EXISTING EASEMENT
  - (Triangle with dot) = BENCH MARK
  - (Line with cross) = EXISTING CURB
  - (Line with cross) = EXISTING CONCRETE PAVEMENT
  - (Line with cross) = EXISTING ASPHALT PAVEMENT
  - (Dashed line) = EXISTING CONTOUR
  - (Dashed line) = BUILDING SETBACK
  - (Shaded area) = PROPOSED HMA PAVEMENT
  - (Stippled area) = PROPOSED CONCRETE
  - (Line with cross) = PROPOSED CURB AND GUTTER - (DETAIL F-4)
  - (Line with cross) = PROPOSED INVERTED PAN CURB AND GUTTER
  - (Line with cross) = PROPOSED STORM SEWER
  - (Line with cross) = PROPOSED SANITARY SEWER
  - (Line with cross) = PROPOSED WATER MAIN
  - (Line with cross) = PROPOSED ELECTRIC
  - (Line with cross) = PROPOSED GAS
  - (Circle with dot) = PROPOSED WATER VALVE
  - (Circle with dot) = PROPOSED CURB INLET
  - (Circle with dot) = PROPOSED MANHOLE
  - (Circle with dot) = PROPOSED END SECTION
  - (Circle with dot) = PROPOSED CLEAN-OUT
  - (x 706.48) = PROPOSED SPOT ELEVATION
  - (T/C) = TOP OF CURB
  - (G) = GUTTER
  - (ME) = MEET EXISTING GRADE
  - (FF ELEV) = FINISHED FLOOR ELEVATION
  - (x) = EXISTING SPOT ELEVATION
  - (Dashed line) = EXISTING CONTOUR
  - (Solid line) = PROPOSED CONTOUR
  - (Arrow) = PROPOSED SURFACE DRAINAGE ARROW
  - (Arrow) = EXISTING SURFACE DRAINAGE ARROW
  - (706.48) = SIGHT DISTANCE EVALUATION PROPOSED ELEVATION
  - (Cross-hatched area) = MOUNTABLE CURB AND GUTTER
  - (Line with cross) = PROPOSED WALL

NO.	REVISIONS	DATE	BY	DATE	BY

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**DISCOUNT TIRE**

27000 SOUTHFIELD ROAD  
LATHRUP VILLAGE, OKLAND COUNTY, MICHIGAN

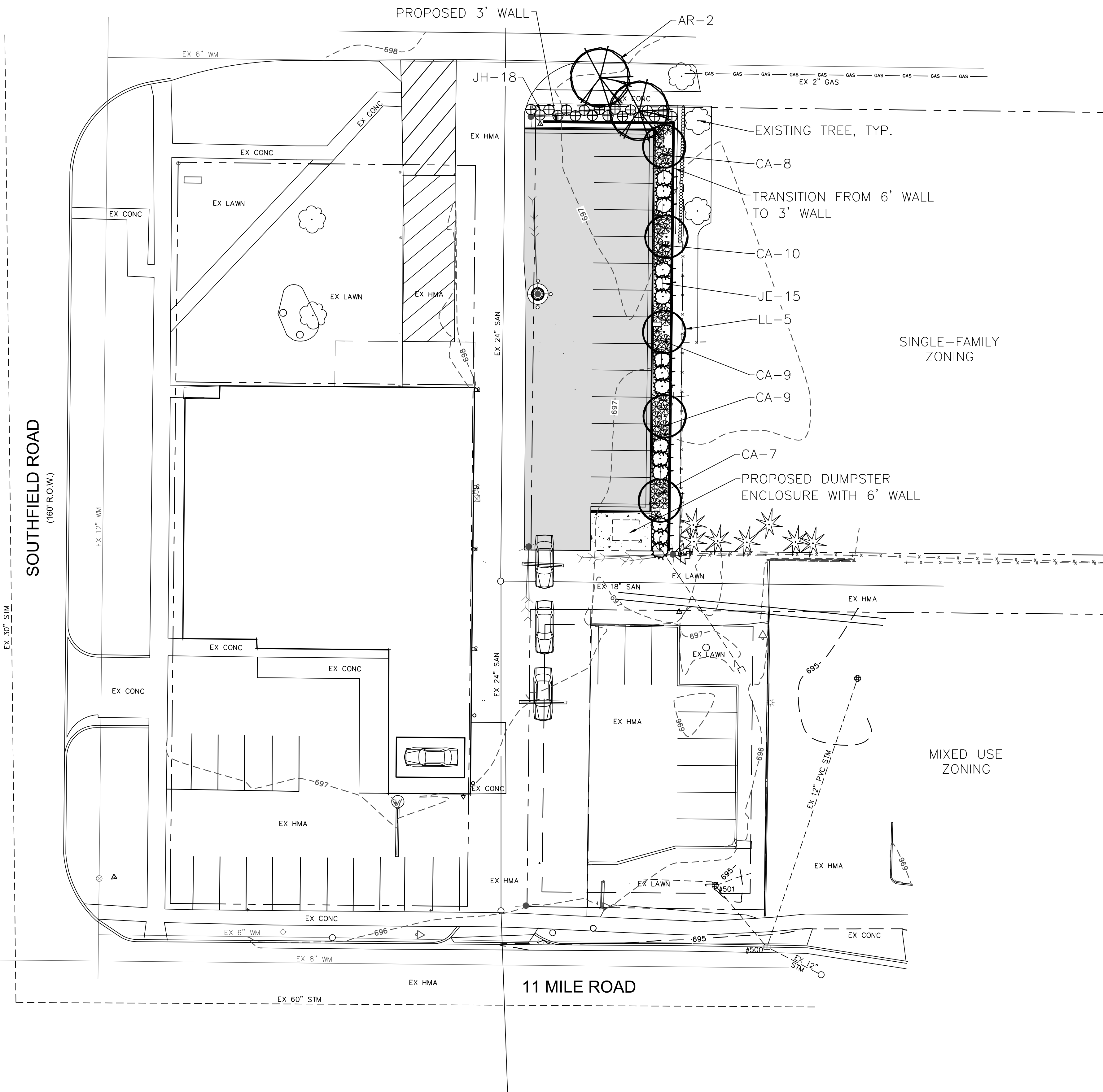
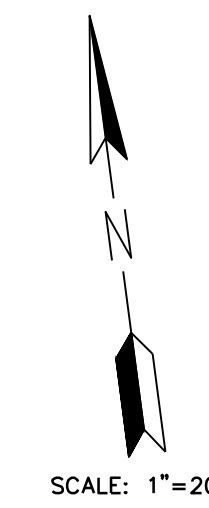
PROJECT NO.  
**21001**

SHEET NO.  
**4 OF 8**

**GRADING & UTILITY PLAN**



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**DECIDUOUS TREES**

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	SPACING	QTY
LL	Liriodendron t. 'Little Volunteer'	Little Volunteer Tulip Tree	2"	B&B	As Shown	5
AR	Acer rubrum r. Redpointe	Redpointe Maple	2 1/2"	B&B	As Shown	2

**EVERGREEN TREES**

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	SPACING	QTY
JE	Juniperus v. Emerald Sentinel	Emerald Sentinel Juniper	6'	B&B	As Shown	15

**SHRUBS**

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	SPACING	QTY
CA	Clethra alnifolia 'Hummingbird'	Hummingbird Summersweet	#5 Gal.	15"	As Shown	43
JH	Juniperus sq. 'Holger'	Holger Juniper	#3 Gal.	12"	As Shown	18

**SEED MIX**

HYDROSEED FOR LAWN AREAS IS TO CONSIST OF A SEED MIXTURE AS FOLLOWS:  
 40% PERENNIAL RYEGRASS  
 20% KENTUCKY BLUEGRASS  
 10% NEW PORT KENTUCKY BLUEGRASS  
 30% PENN LAWN RED FESCUE  
 THE GRASS SEED MIXTURE SHALL BE SOWN UNIFORMLY AT A RATE OF 220-250 POUNDS PER ACRE.

Location	Regulation	Total Footages	Required	Provided
Parking Facility or Lot	15 SF landscape area per each parking space. Minimum of 1 deciduous or large evergreen tree for each 400 square feet.	416 SF 50 LF	210 SF landscape area (for 14 parking spaces). 1 deciduous or evergreen tree.	416 SF landscape area with 15 shrubs. 1 deciduous tree.
Buffer Strip*	Minimum of 1 deciduous tree per every 30 LF. Minimum 1 evergreen tree per every 10 LF. Minimum 3 shrubs per every 10 LF. No less than 5' in width and 2' from property line.	150 LF	5 deciduous trees. 15 evergreen trees. 45 shrubs.	5 deciduous trees. 15 evergreen trees. 46 shrubs.
Right-Of-Way	1 deciduous tree each 50 LF of street frontage.*	52 LF	1 deciduous tree.	1 deciduous tree.

All plant materials should either conform to the requirements of Section 5.16.7 or be the functional equivalent.  
 \* Buffer strip landscaping and landscaping in the right-of-way shall not be counted in meeting parking facility/lot requirements.

Drawn By	DATE	Checked By	DATE	Approved By	DATE
MOH					
DWS	04/21/21				

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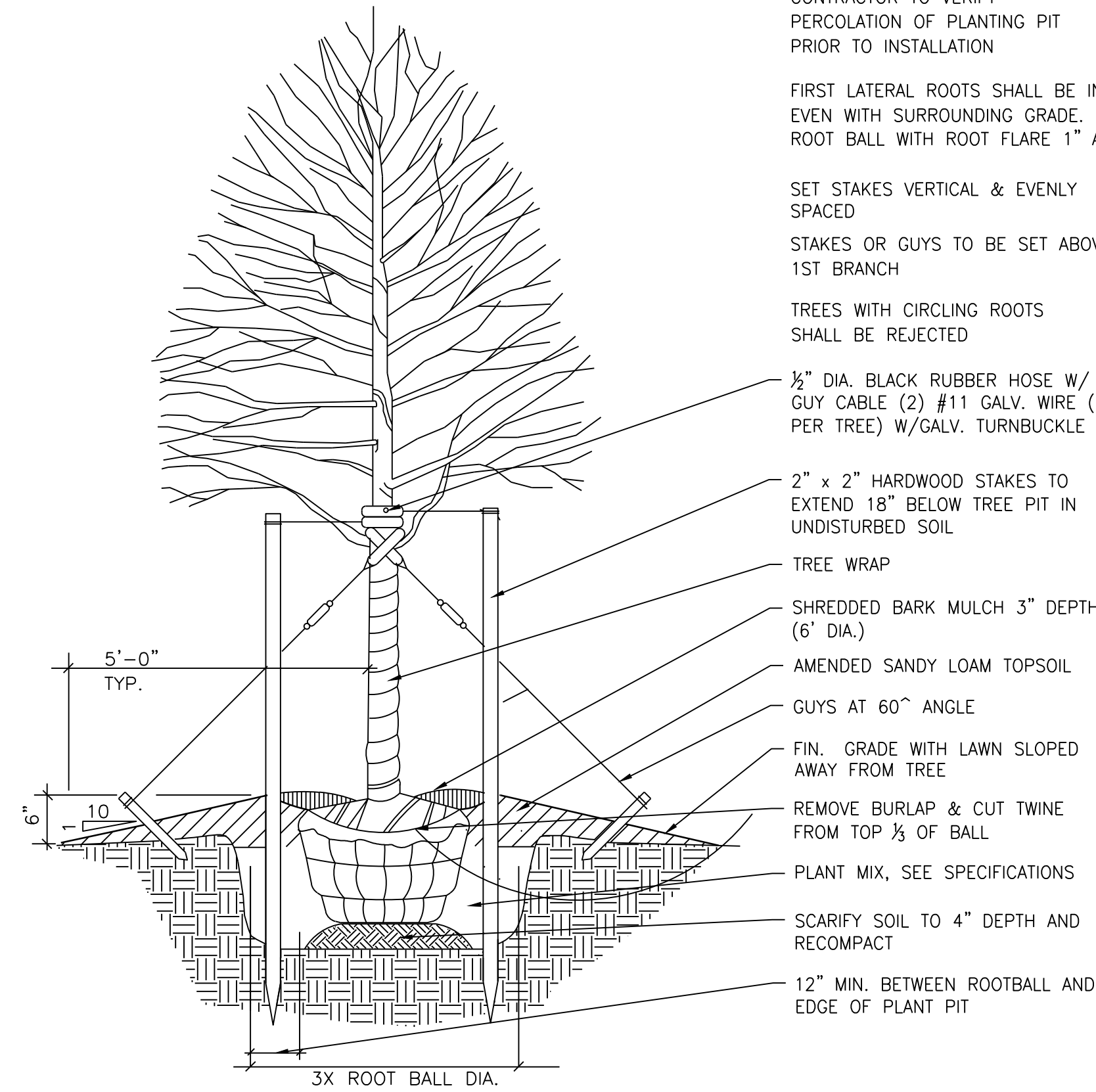


**DISCOUNT TIRE**

2700 SOUTHFIELD ROAD  
LATHRUP VILLAGE, OAKLAND COUNTY, MICHIGAN

**LANDSCAPE NOTES**

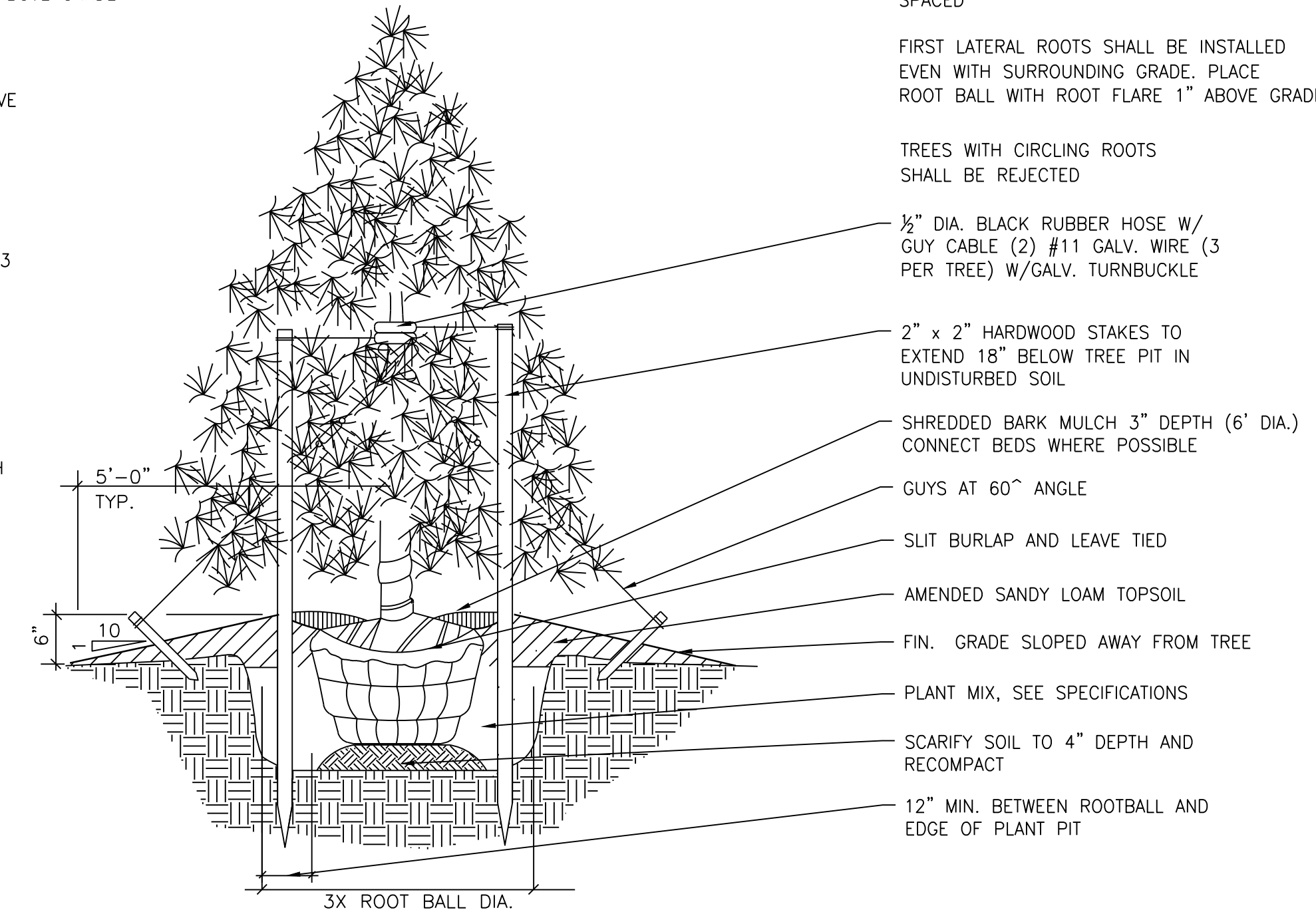
- ALL PLANTS TO BE INSTALLED IN ACCORDANCE WITH AMERICAN ASSOCIATION OF NURSERYMEN LANDSCAPE STANDARDS.
- CONTRACTOR SHALL PROVIDE A PLANTING MIXTURE MEETING THE FOLLOWING REQUIREMENTS. IF THE ENGINEER HAS ANY CONCERNS WITH THE QUALITY OF THE PLANTING MIXTURE, THE ENGINEER SHALL BE ALLOWED TWO WEEKS TO OBTAIN SOIL TEST TO DETERMINE SPECIFICATION COMPLIANCE. NO PLANT MATERIAL SHALL BE PLANTED PRIOR TO ENGINEER APPROVAL OF PLANTING MIXTURE. ALL PLANT MATERIAL SHALL BE MAINTAINED BY THE CONTRACTOR IN A VIGOROUS GROWING CONDITION DURING THIS TIME AT NO ADDITIONAL COST.
- SPACING OF PLANT MATERIALS SHALL BE AS SHOWN ON DRAWING OR ON PLANT LIST. THE ENGINEER SHALL REVIEW THE PLACEMENT OF PLANT MATERIAL PRIOR TO AND AFTER INSTALLATION, AND RESERVES THE RIGHT TO ADJUST LAYOUT TO ACCOMMODATE SITE CONDITIONS AND DESIGN INTENT.
- ALL PLANT MATERIALS SHALL CONFORM TO PLANT SCHEDULES. SIZES SHALL BE THE MINIMUM STATED ON THE PLANT LIST OR LARGER. ALL MEASUREMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "A.A.N. STANDARDS FOR NURSERY STOCK."
- NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND REVIEWED BY THE ENGINEER.
- FINAL PLANT LOCATIONS SHALL BE MARKED BY CONTRACTOR THREE WORKING DAYS PRIOR TO PLANTING FOR ENGINEER REVIEW.
- ALL PLANTED PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANTS ORIGINAL GRADE BEFORE DIGGING.
- PLANT MATERIAL, ESPECIALLY EVERGREENS, TO BE PLANTED HIGHER THAN NORMAL WHEN HEAVY SOIL CONDITIONS (CLAY, ETC.) PREVAIL.
- IF FOR ANY REASON ANY BALLED AND BURLAPED PLANT MATERIALS NEED TO BE STORED ON SITE LONGER THAN A 24-HOUR PERIOD, THEIR ROOT BALLS SHALL BE PROTECTED. ALL PLANTS SHALL BE THOROUGHLY WATERED EACH DAY THEY ARE STORED ON SITE. PLANTS MAY BE STORED ON SITE FOR A MAXIMUM OF TWO (2) WEEKS, OR 14 DAYS. ANY PLANTS ALLOWED TO DRY OUT AS DETERMINED BY THE ENGINEER WILL BE REJECTED.
- NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL WRAPPING MATERIALS MADE OF SYNTHETIC OR PLASTICS SHALL BE COMPLETELY REMOVED AT TIME OF PLANTING.
- THE CONTRACTOR SHALL FILL PLANT PIT WITH PREPARED PLANT MIX TO 1/2 DEPTH OF ROOT BALL OR ROOT MASS. PACK FIRMLY, PUDDLE WITH WATER; THEN FOR BALLED AND BURLAPED MATERIAL, THE BURLAP AND ALL LACING (INCLUDING WIRE BASKET IF NECESSARY) SHALL BE REMOVED FROM THE UPPER 1/3 OF ROOTBALL, THEN FINISH BACKFILLING ADDING SOLID FERTILIZER TO THE PLANT MIX, PACK FIRMLY AND WATER. A SAUCER SHALL BE PLACED AROUND EVERY PLANT AND SHALL BE APPROVED PRIOR TO PLACEMENT OF ANY MULCH.
- ALL DISTURBED LAWN AREAS SHALL BE RESTORED WITH 4-INCHES OF TOPSOIL, SPREAD, FINE GRADED, AND SODDED AS SPECIFIED. PRIOR TO INSTALLATION OF TOPSOIL, LOOSEN SUBGRADE TO A DEPTH OF 2 INCHES. THIS WORK SHALL BE INCIDENTAL TO THE PROJECT.
- TOPSOIL SHALL CONSIST OF FRIABLE, SHREDDED, AND SCREENED SOIL REASONABLY FREE OF GRASS, ROOTS, WEEDS, STICKS, STONES OR OTHER FOREIGN MATERIALS. THE TOPSOIL MATERIAL SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. SOIL COMPOSITION SHOULD CONTAIN AN ORGANIC CONTENT OF 2 TO 6 PERCENT AND BE CLASSIFIED AS A LOAM OR SANDY LOAM AS SPECIFIED IN THE "GUIDE FOR U.S.D.A. SOIL TEXTURAL CLASSIFICATION".
- ALL TREES AND SHRUBS ARE TO BE FERTILIZED ONCE ROOTS SYSTEM IS ESTABLISHED WITH AGRIFORM 21-GRAM FERTILIZER TABLETS AT RATES RECOMMENDED BY MANUFACTURER.
- TREES SHALL ONLY BE STAKED UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT. IF APPROVED, THE STAKING SHALL BE ADJUSTED AND REPAIRED AS NECESSARY AND REMOVED AT THE END OF THE ESTABLISHMENT PERIOD.
- ALL PLANTS AND STAKES SHALL BE SET PLUMB UNLESS OTHERWISE SPECIFIED. ALL GUYS AND STAKES MUST BE LOCATED WITHIN EACH TREES MULCHED AREA TO ELIMINATE THE POSSIBILITY OF MOWER CONTACT AND TO REDUCE MAINTENANCE.
- AT PLANTING TIME, ALL DEAD AND BROKEN BRANCHES SHALL BE PRUNED ON ALL DECIDUOUS TREES.
- CONTRACTOR SHALL APPLY ENGINEER APPROVED PRE-EMERGENT HERBICIDE TO SHRUB AND GROUND COVER PLANTING AREAS AT THE TIME OF PLANTING (IF SPRING PLANTED) OR THE FOLLOWING SPRING. CONTRACTOR SHALL ENSURE THE PLANT MATERIALS ARE RESISTANT TO THE HERBICIDES PROPERTIES. HERBICIDE SHALL BE APPLIED ACCORDING TO MANUFACTURERS SPECIFICATIONS AND IN ACCORDANCE WITH SOUND HORTICULTURAL PRACTICES.
- PLANTING MIXTURE SHALL BE A MIXTURE OF 5/8 TOPSOIL, 2/8 SAND, AND 1/8 PEAT. PLANTING MIXTURE SHALL BE FREE FROM STICKS, STONES, SOD CLOTS OR OTHER MATERIAL WHICH MIGHT LEAVE POCKETS AROUND THE ROOTS.
- ALL EVERGREEN PLANTS SHALL BE SPRAYED ACCORDING TO MANUFACTURES INSTRUCTIONS WITH AN ANTI-DESICCANT THE FIRST WINTER. THE ENGINEER SHALL BE NOTIFIED THREE DAYS PRIOR TO THIS WORK.
- ALL TREES, SHRUBS AND PERENNIAL GROUND COVER SHALL RECEIVE A MINIMUM DEPTH OF THREE INCHES DOUBLE SHREDDED HARDWOOD BARK MULCH. WHERE PLANT BEDS MEET PAVEMENTS, LAWN, OR STEEL EDGING CUT THE GRADE TO ALLOW FOR MULCH AND THREE-INCH DROP FROM ADJOINING FINISH GRADE.
- ALL PLANT BEDS SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 8-INCHES AND BACKFILLED WITH SPECIFIED PLANT MIX AS PER PLANTING BED DETAILS. BEDS SHALL BE EDGED WITH METAL EDGING AROUND PERIMETER AS SHOWN IN TYPICAL PERENNIAL PLANTING DETAIL. ALL EDGING SHALL BE 4" WIDE - 12 GAUGE STEEL, COLOR BLACK. CONTRACTOR SHALL LAYOUT EDGING FOR APPROVAL AND INSTALL PER PERENNIAL PLANTING BED DETAIL.
- SNOW SHALL NOT BE PUSHED ONTO INTERIOR LANDSCAPE ISLANDS UNLESS DESIGNATED FOR SNOW STORAGE.
- ALL PLANTINGS SHALL BE GUARANTEED FOR A PERIOD OF ONE GROWING SEASON. ALL DISEASED, DAMAGED, OR DEAD MATERIAL SHOWN ON THE SITE PLAN SHALL BE REPLACED AT THE GROWING PERIOD.
- APPLICATIONS OF FERTILIZER BEYOND THE INITIAL TOPSOIL AND SEEDING SHALL BE A FERTILIZER WITH NO PHOSPHOROUS.
- CONTRACTOR SHALL NOTIFY MISS DIG (800) 482-7171 A MINIMUM OF THREE WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION IN THE AREA OF THE WORK.
- LANDSCAPING SHALL BE INSTALLED WITHIN ONE HUNDRED EIGHTY (180) DAYS FROM THE DATE OF OCCUPANCY OF THE BUILDING.
- IRRIGATION SHALL BE PROVIDED FOR ALL LANDSCAPE AREAS



**DECIDUOUS TREE DETAIL**

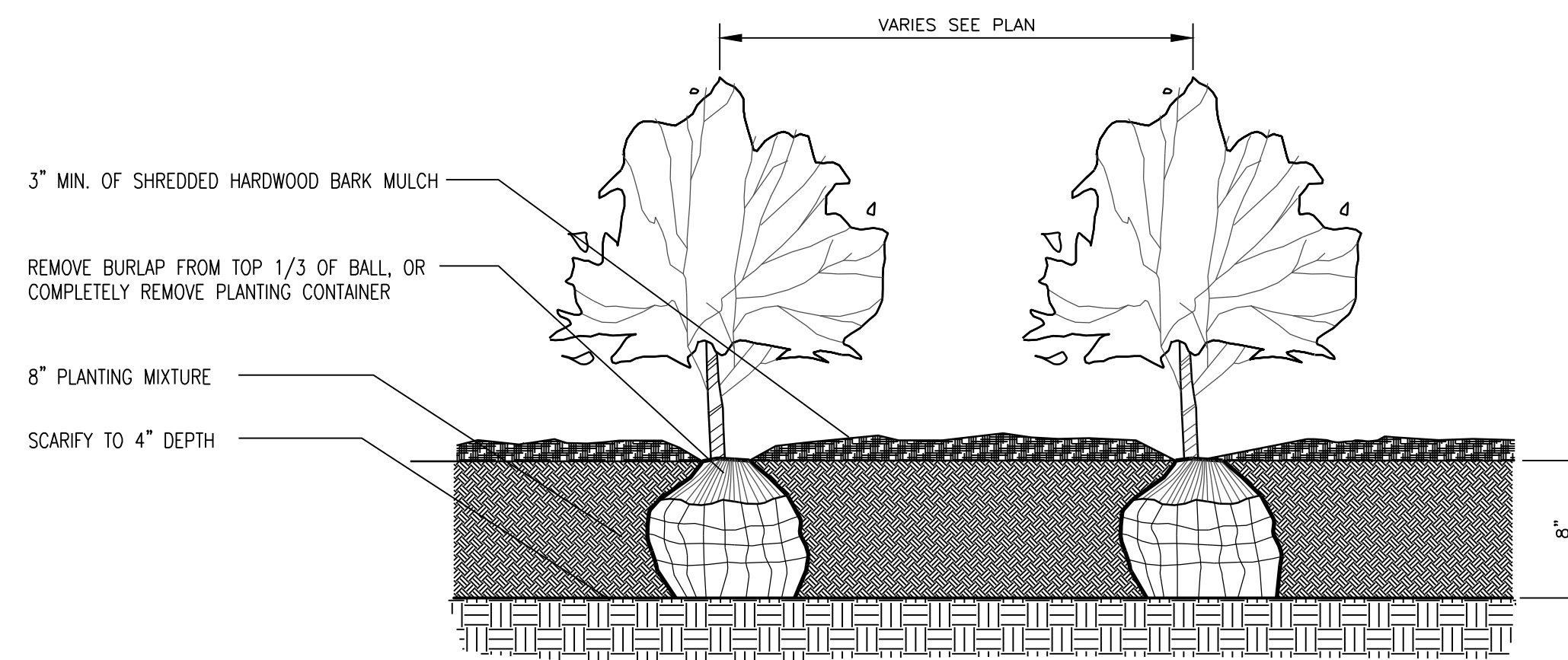
NO SCALE

- NOTES:**
- STAKE TREES UNDER 4" CALIPER
  - GUY TREES 4" CALIPER & OVER
  - CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION
  - FIRST LATERAL ROOTS SHALL BE INSTALLED EVEN WITH SURROUNDING GRADE, PLACE ROOT BALL WITH ROOT FLARE 1" ABOVE GRADE
  - SET STAKES VERTICAL & EVENLY SPACED
  - STAKES OR GUYS TO BE SET ABOVE 1ST BRANCH
  - TREES WITH CIRCLING ROOTS SHALL BE REJECTED



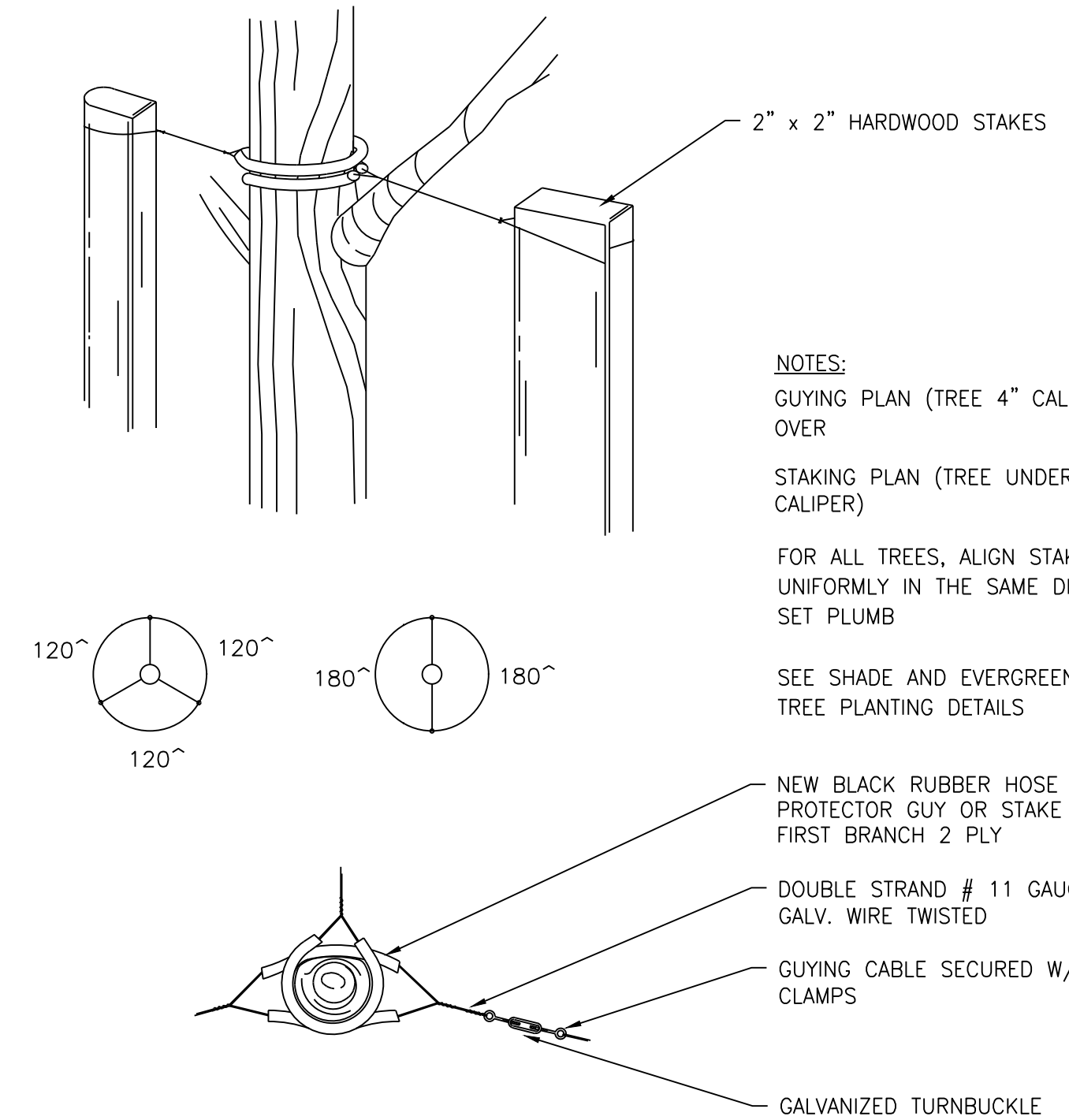
**EVERGREEN TREE DETAIL**

NO SCALE



**SHRUB PLANTING BED DETAIL**

NO SCALE



**STAKING AND GUYING DETAIL**

NO SCALE

- NOTES:**
- STAKE ALL EVERGREEN TREES UNDER 12" HIGH
  - GUY ALL EVERGREEN TREES 12" HIGH AND OVER
  - NEVER CUT CENTRAL LEADER
  - PRUNE ONLY TO REMOVE DEAD OR BROKEN BRANCHES
  - SET STAKES VERTICAL AND EVENLY SPACED
  - FIRST LATERAL ROOTS SHALL BE INSTALLED EVEN WITH SURROUNDING GRADE, PLACE ROOT BALL WITH ROOT FLARE 1" ABOVE GRADE
  - TREES WITH CIRCLING ROOTS SHALL BE REJECTED

Drawn By	MOH	Date	04/21/21	Approved By	Date
BY					
DATE					
REVISIONS					
NO.					

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Lansing, MI 48911  
517.887.1100

16930 Robbins Road Suite 105  
Grand Haven, MI 49424  
616.743.7070

engdot.com



**DISCOUNT TIRE**

2700 SOUTHFIELD ROAD  
LATHRUP VILLAGE, OAKLAND COUNTY, MICHIGAN

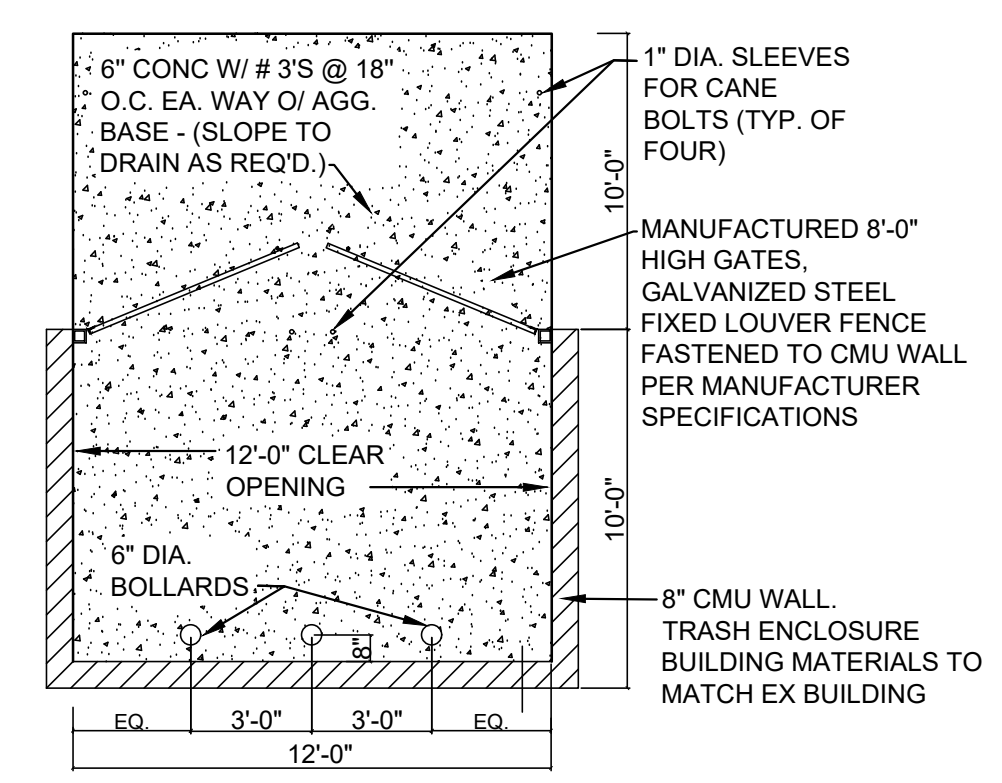
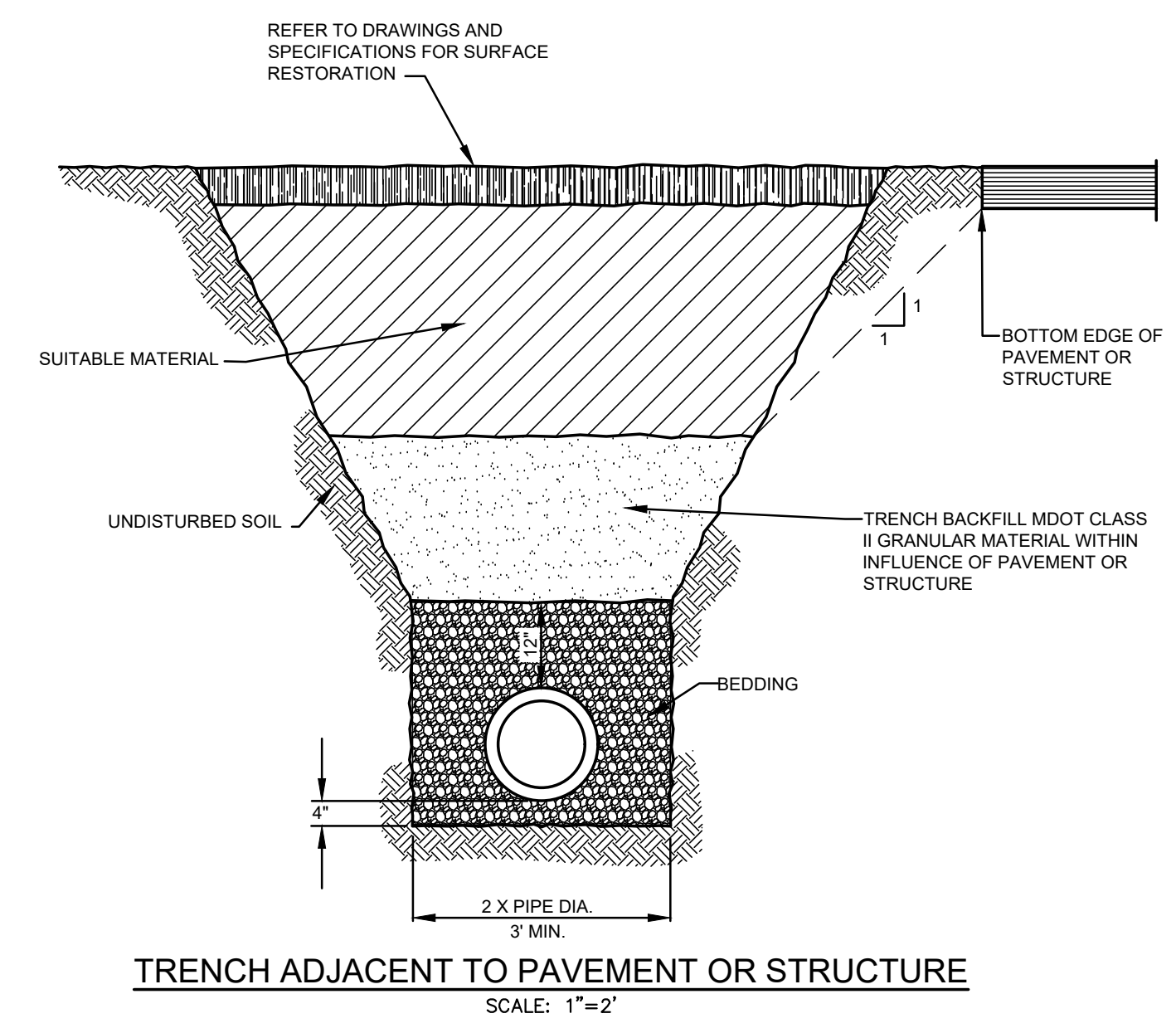
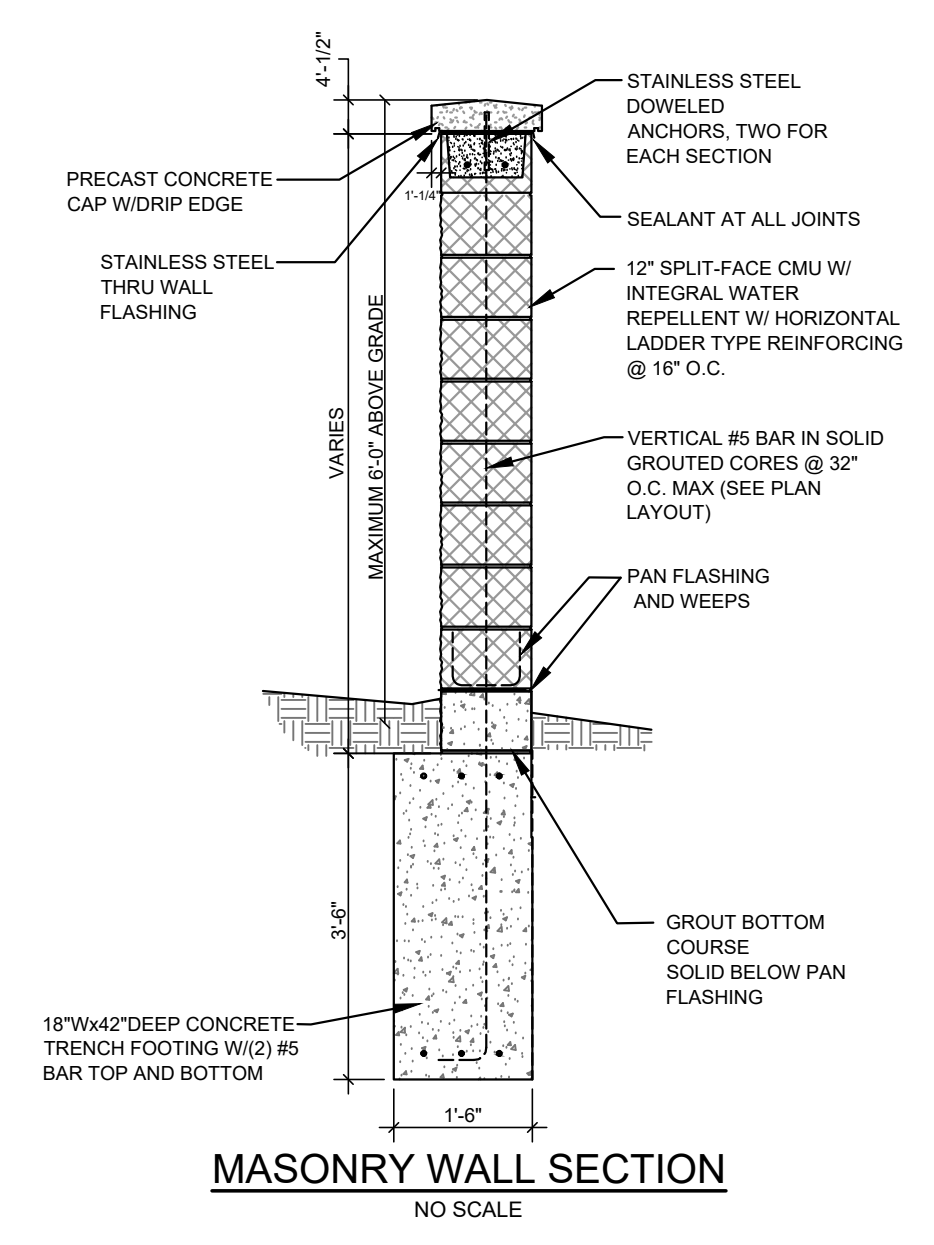
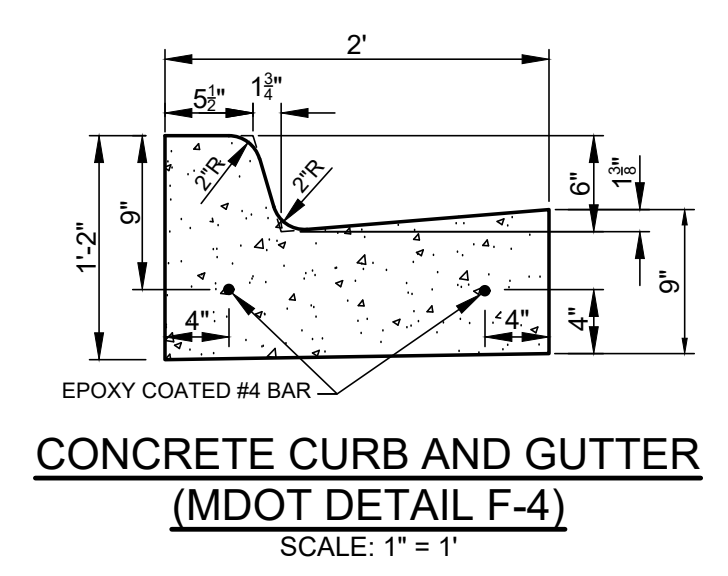
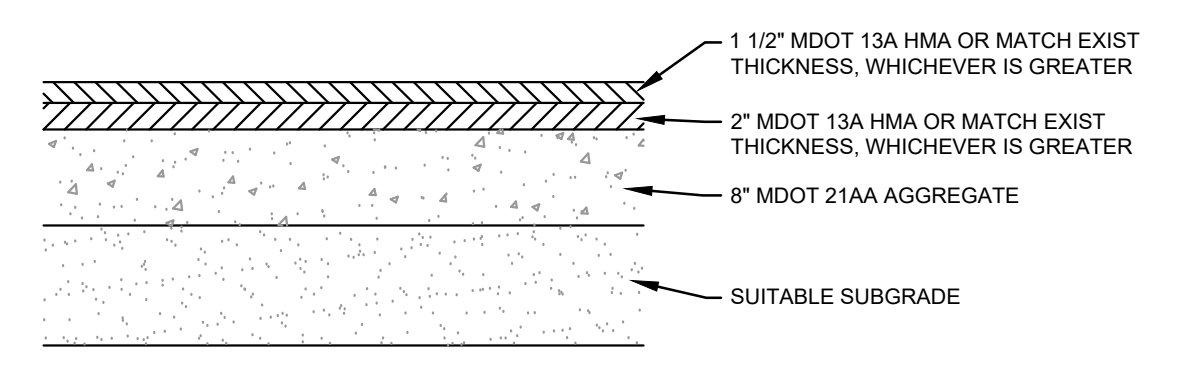
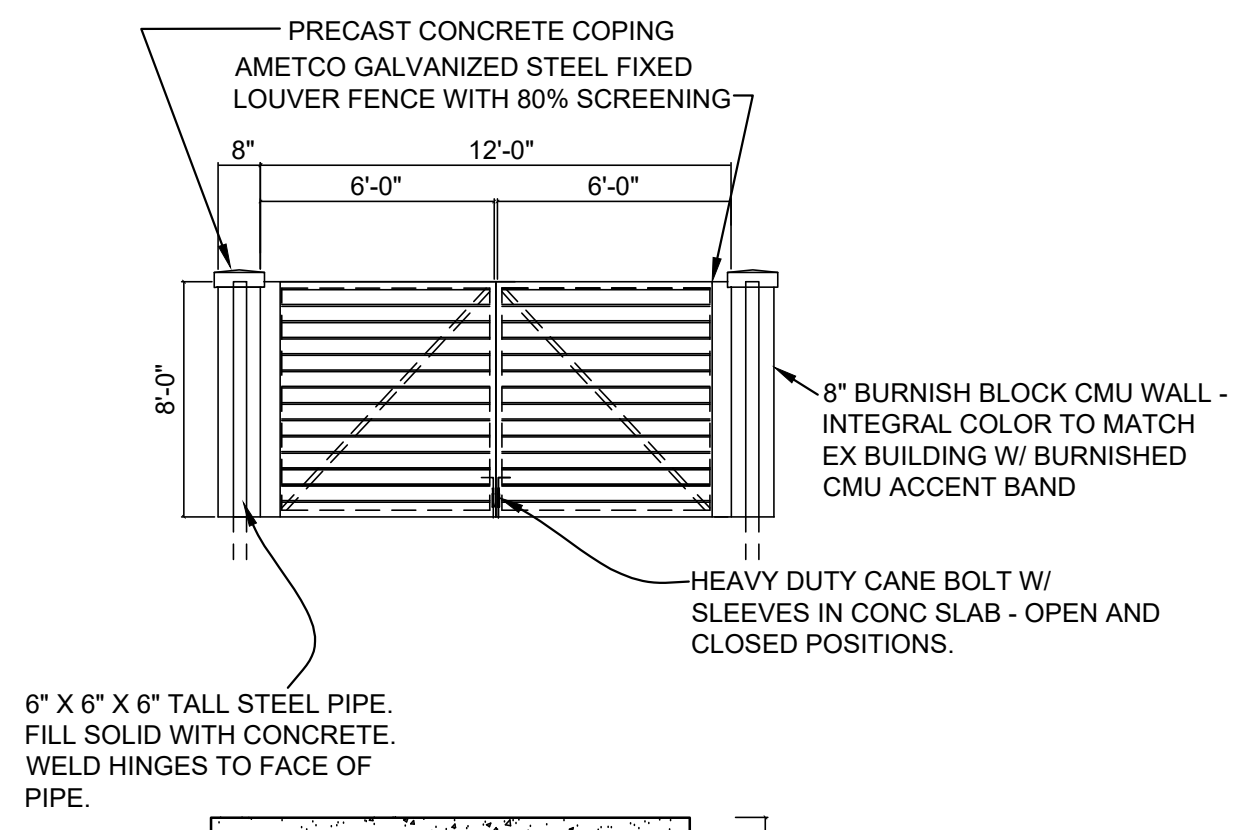
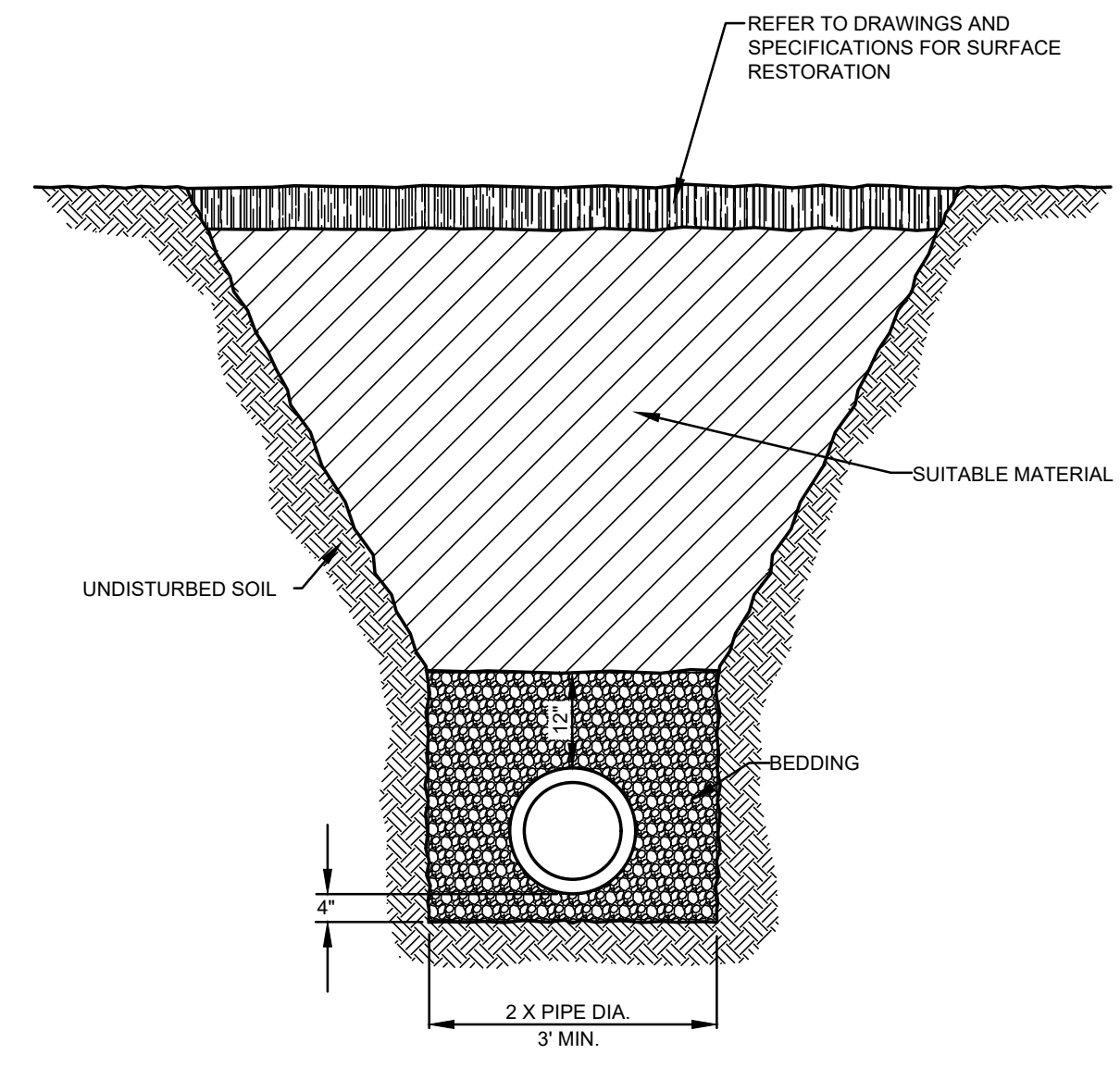
PROJECT NO.  
**21001**

SHEET NO.  
**7 OF 8**

**LANDSCAPE DETAILS**

**811** Know what's below.  
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



NO.	REVISIONS	DATE	BY	DATE	BY

4063 Grand Oak Drive Suite A109  
Lansing, MI 48911  
517.887.1100

16930 Robbins Road Suite 105  
Grand Haven, MI 49417  
616.743.7070  
engdot.com

**Eng.**  
Engineering & Surveying

**DISCOUNT TIRE**

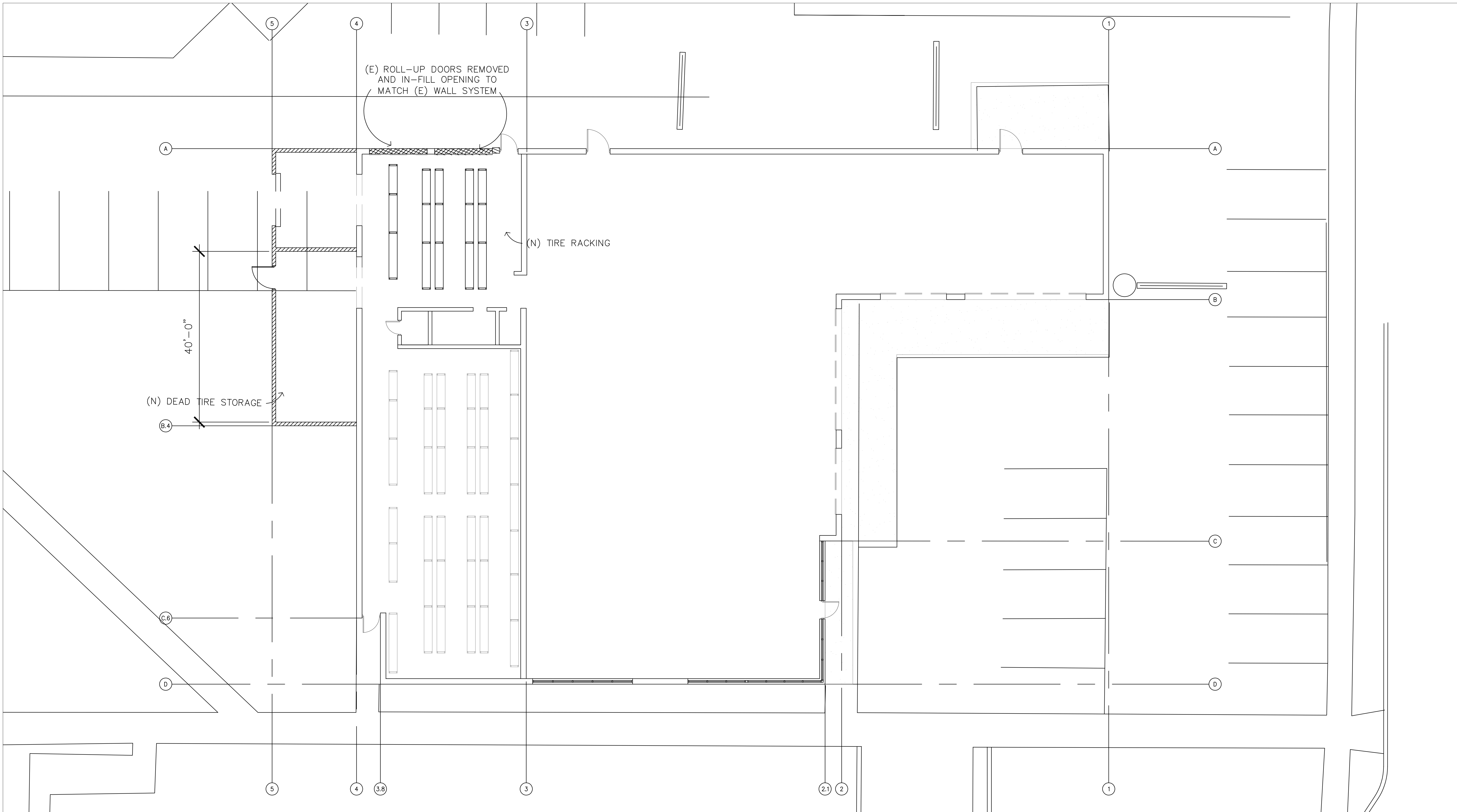
27000 SOUTHFIELD ROAD  
LATHRUP VILLAGE, OAKLAND COUNTY, MICHIGAN

PROJECT NO.  
**21001**

SHEET NO.  
**8 OF 8**

**DETAILS**





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**27000 Southfield Road  
LATHRUP VILLAGE, MI 48076**

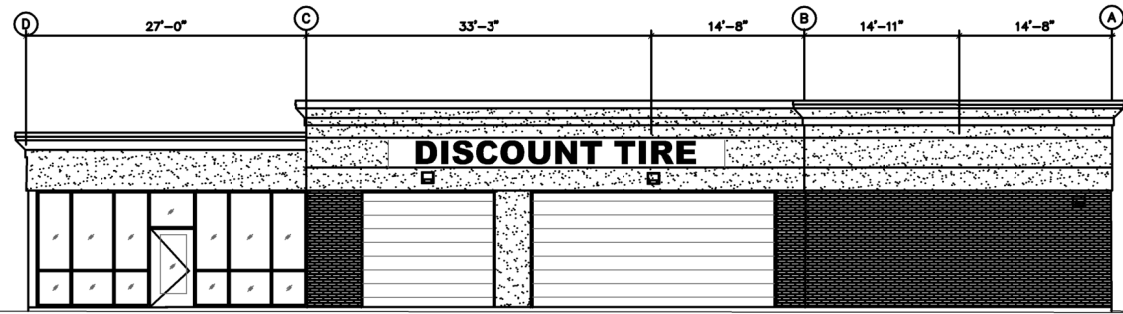


**Kinetic Design**  
20381 Lake Forest Dr.,  
Suite B16  
Lake Forest, CA 92630  
951-710-6334 (T)

BUILDING MODEL	Building Expansions
REVISION	
DATE	
SCALE	AS NOTED
PROJECT NUMBER	

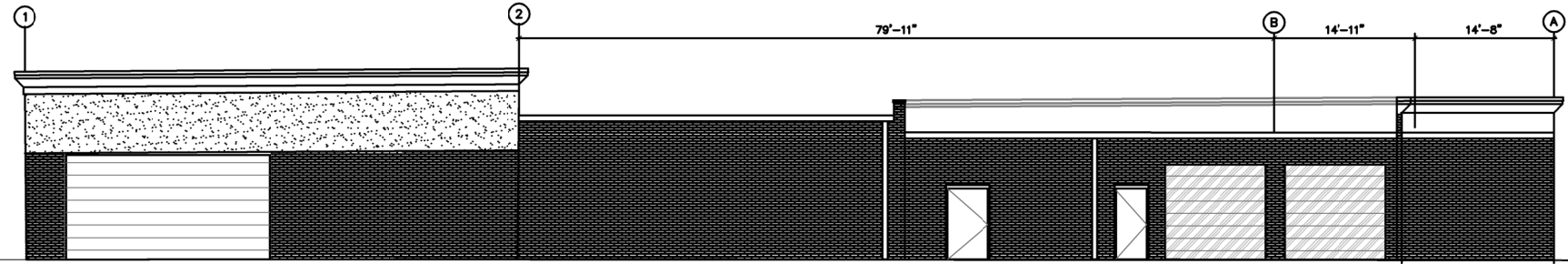
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**A.1**



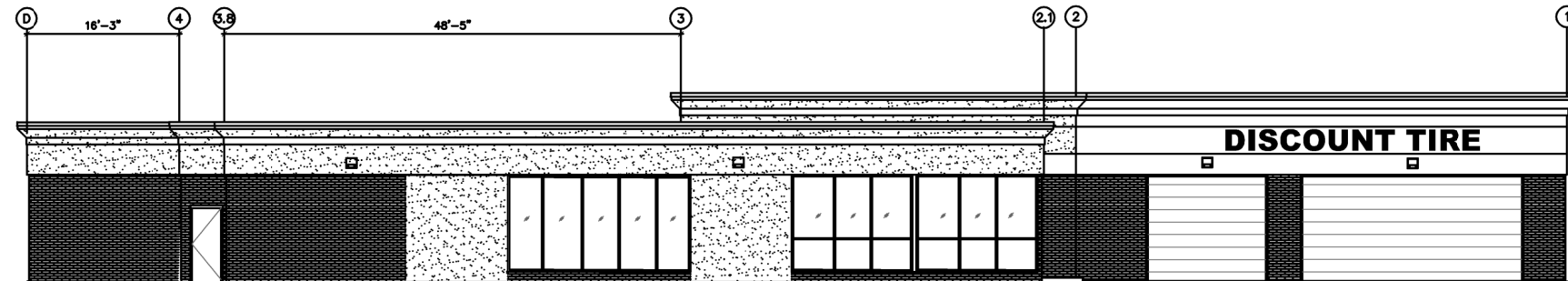
① SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



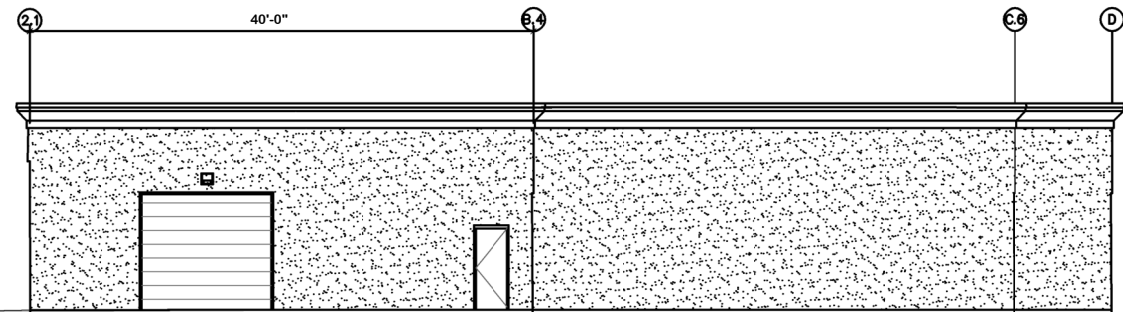
② EAST ELEVATION

SCALE: 1/8" = 1'-0"



③ WEST ELEVATION

SCALE: 1/8" = 1'-0"



④ NORTH ELEVATION

SCALE: 1/8" = 1'-0"



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BUILDING MODEL  
**KD** Kinetic Design  
 20381 Lake Forest Dr.,  
 Suite B16  
 Lake Forest, CA 92630  
 951-710-6334 (T)

Building Expansions	
REVISION	
DATE	
SCALE	AS NOTED
PROJECT NUMBER	

Sheet No.  
**A.2**