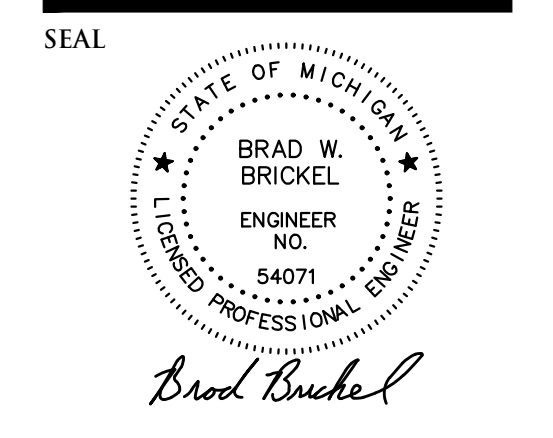




CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257
WWW.NOWAKFRAUS.COM



PROJECT
27700 Southfield Road
Lathrup Village, MI 48076

CLIENT
The Surnow Company

Contact: Sam Surnow
Phone: 248.865.3000 x 102
Email: sam@surnow.com

PROJECT LOCATION
Part of the SW 1/4
of Section 13
T.1N., R.10E.,
City of Lathrup Village,
Oakland County, Michigan

SHEET
Site Plan
What is the use
classification for the non-res
components & how much
parking do they require?
Only 4 barrier free
spaces provided.

Know what's below
2'-6" provided
(see south wing)

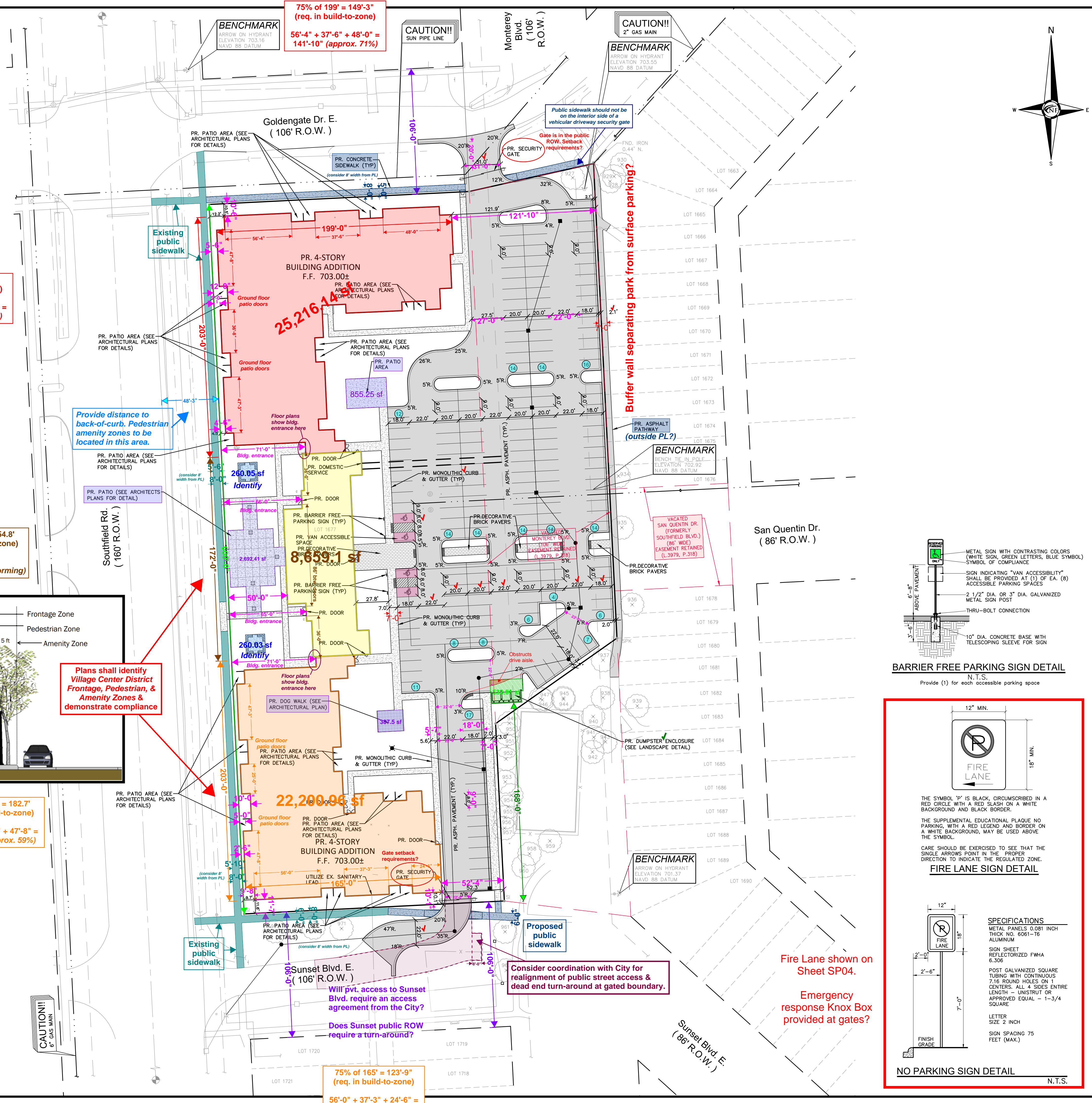
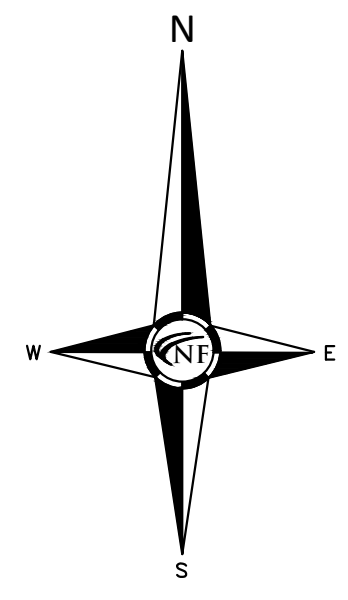
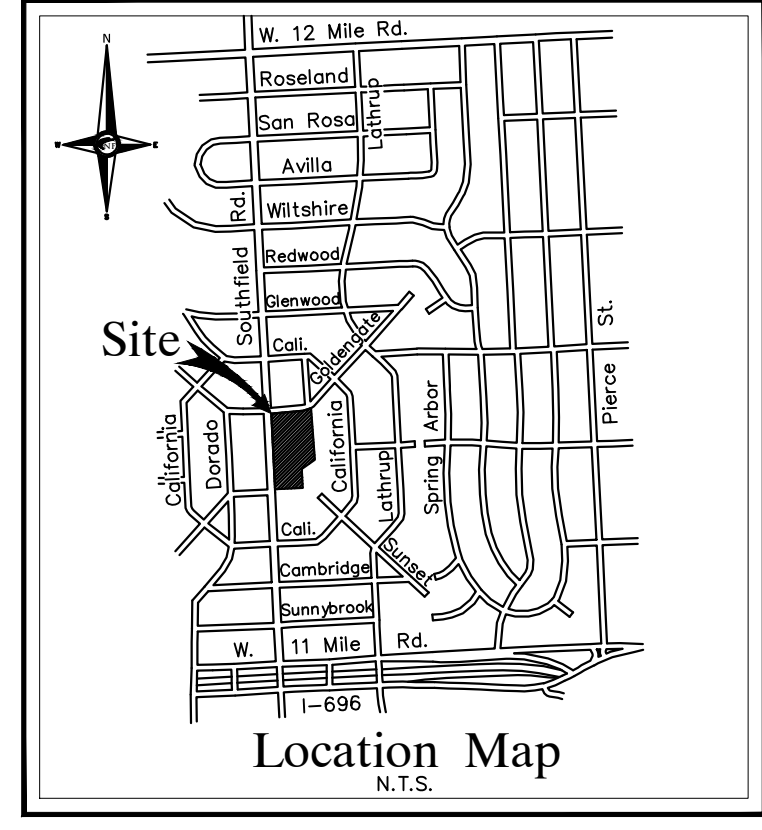
Location of 10'x40'
loading berth?
Include required
bicycle parking in
site data table.
3.1.8.F.5.

DRAWN BY:
J. Lawrey
DESIGNED BY:
A. Eizember
APPROVED BY:
B. Brickel

DATE:
October 17, 2024

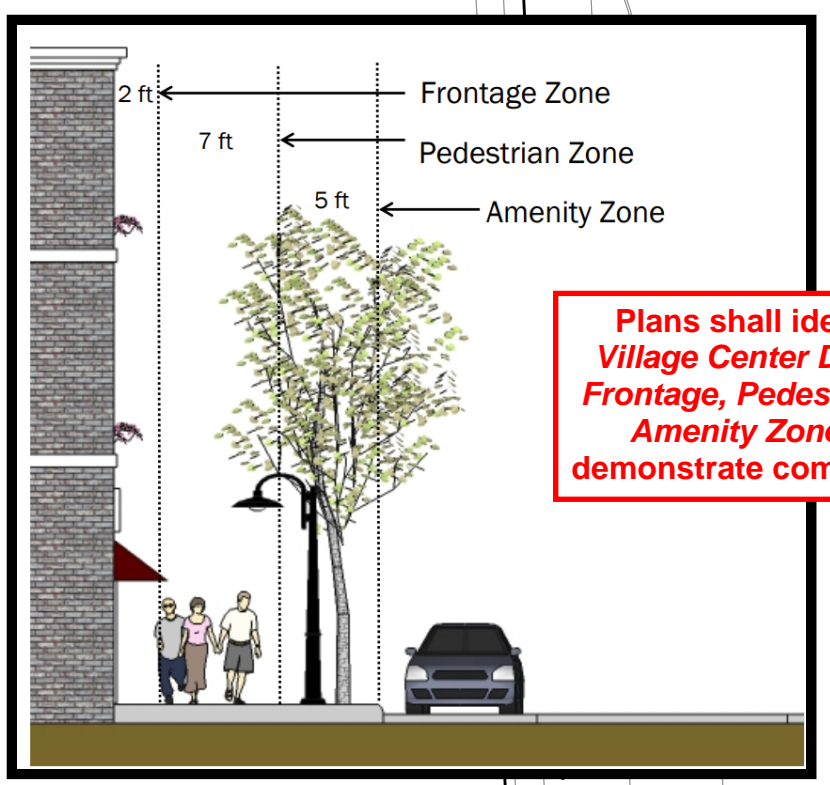
SCALE: 1" = 40'

NFE JOB NO. SHEET NO.
O129 SP03



90% of 203' = 182.7'
(req. in build-to-zone)
47'-8" + 36'-8" + 47'-3" =
131'-8" (approx. 65%)

90% of 172' = 154.8'
(req. in build-to-zone)
0'-0" (0%)
(existing nonconforming)

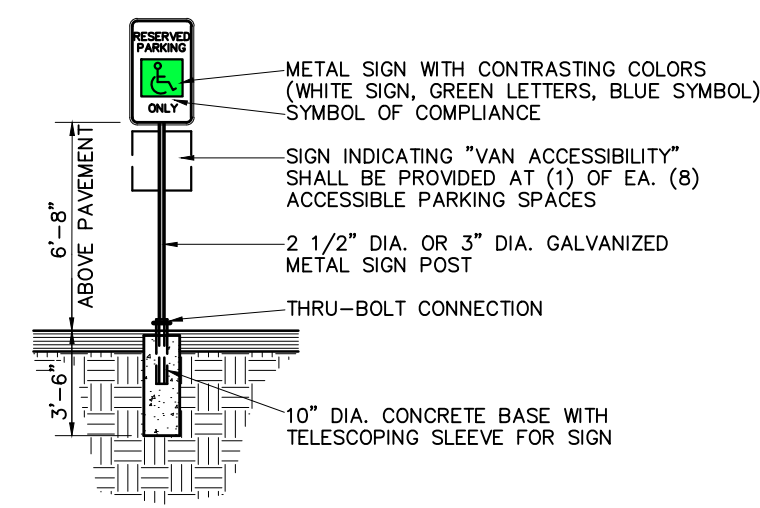


Plans shall identify
Village Center District
Frontage, Pedestrian, &
Amenity Zones &
demonstrate compliance

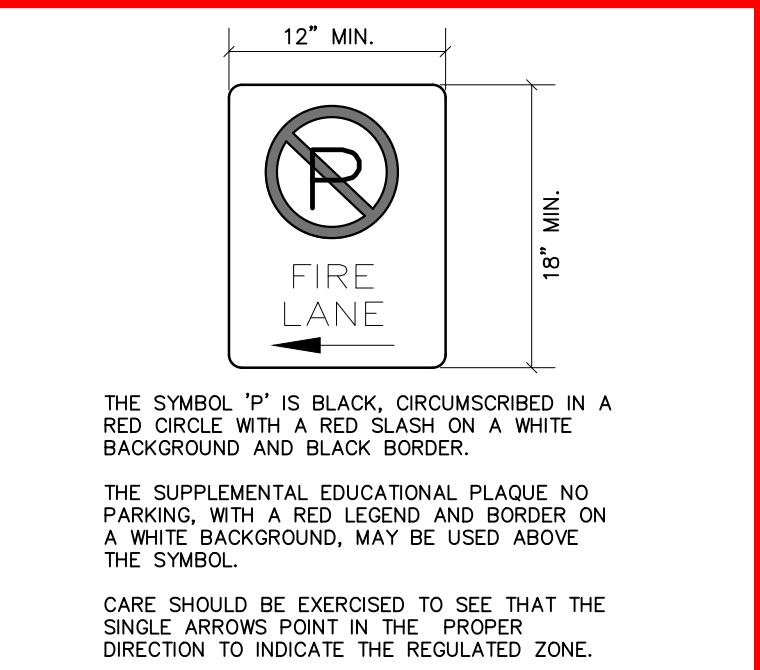
90% of 203' = 182.7'
(req. in build-to-zone)
47'-3" + 25'-0" + 47'-8" =
119'-11" (approx. 59%)

75% of 199' = 149'-3"
(req. in build-to-zone)
56'-4" + 37'-6" + 48'-0" =
141'-10" (approx. 71%)

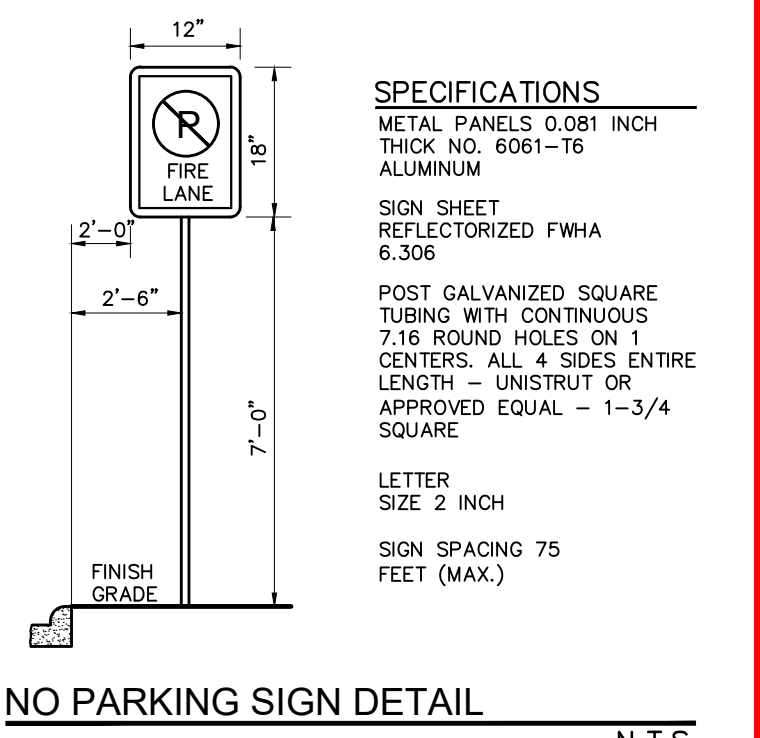
75% of 165' = 123'-9"
(req. in build-to-zone)
56'-0" + 37'-3" + 24'-6" =
117'-9" (approx. 71%)



BARRIER FREE PARKING SIGN DETAIL
N.T.S.
Provide (1) for each accessible parking space



FIRE LANE SIGN DETAIL
N.T.S.



NO PARKING SIGN DETAIL
N.T.S.

NOTES
REFER TO SHEETS SP05-SP05.1 FOR PAVING & GRADING PLANS
REFER TO SHEETS SP07 FOR PRELIMINARY UTILITY PLANS
REFER TO SHEETS SP08 FOR ADDITIONAL PROJECT NOTES AND DETAILS (TYP)

NOTE
AN EULE PERMIT IS REQUIRED FOR WETLAND & FLOOD PLAIN IMPACTS.

UTILITY NOTE
CONTRACTOR TO EXPOSE FIBER/ ELECTRIC/ TELEPHONE CONDUIT PRIOR TO COMMENCING CONSTRUCTION. UTILITY OWNER TO BE PRESENT. CONTRACTOR SHALL NOTIFY CIVIL ENGINEER OR RECORD FOLLOWING EXPOSURE TO COORDINATE.

DETENTION NOTE
ON-SITE STORMWATER MANAGEMENT WILL BE PROVIDED TO MEET THE REQUIREMENT OF THE CITY OF LATHRUP VILLAGE ENGINEERING STANDARDS AND OAKLAND COUNTY WATER RESOURCES COMMISSIONER.

SITE DATA table with columns for SITE AREA, ZONING, PARKING, PROVIDED, and SITE AREA/BUILDING FOOTPRINT.

PAVING LEGEND table with columns for PAVING TYPE and DESCRIPTION.

LEGEND table with columns for SYMBOL, DESCRIPTION, and EXISTING/PROPOSED.

Fire Lane shown on
Sheet SP04.
Emergency
response Knox Box
provided at gates?

Consider coordination with City for
realignment of public street access &
dead end turn-around at gated boundary.

Will pvt. access to Sunset
Blvd. require an access
agreement from the City?
Does Sunset public ROW
require a turn-around?

Public sidewalk should not be
on the interior side of a
vehicular driveway security gate

Gate is in the public
ROW. Setback
requirements?

Buffer wall separating park from surface parking?

Provide distance to
back-of-curb. Pedestrian
amenity zones to be
located in this area.

PR. PATIO AREA (SEE
ARCHITECTURAL PLANS
FOR DETAILS)

PR. PATIO AREA (SEE
ARCHITECTS
PLANS FOR DETAIL)

PR. PATIO AREA (SEE
ARCHITECTURAL PLANS
FOR DETAILS)

PR. PATIO AREA (SEE
ARCHITECTURAL PLANS
FOR DETAILS)

PR. PATIO AREA (SEE
ARCHITECTURAL PLANS
FOR DETAILS)

PR. PATIO AREA (SEE
ARCHITECTURAL PLANS
FOR DETAILS)

PR. PATIO AREA (SEE
ARCHITECTURAL PLANS
FOR DETAILS)

PR. PATIO AREA (SEE
ARCHITECTURAL PLANS
FOR DETAILS)

PR. PATIO AREA (SEE
ARCHITECTURAL PLANS
FOR DETAILS)

PR. PATIO AREA (SEE
ARCHITECTURAL PLANS
FOR DETAILS)

PR. PATIO AREA (SEE
ARCHITECTURAL PLANS
FOR DETAILS)

PR. PATIO AREA (SEE
ARCHITECTURAL PLANS
FOR DETAILS)

PR. PATIO AREA (SEE
ARCHITECTURAL PLANS
FOR DETAILS)

PR. PATIO AREA (SEE
ARCHITECTURAL PLANS
FOR DETAILS)

PR. PATIO AREA (SEE
ARCHITECTURAL PLANS
FOR DETAILS)

PR. PATIO AREA (SEE
ARCHITECTURAL PLANS
FOR DETAILS)

PR. PATIO AREA (SEE
ARCHITECTURAL PLANS
FOR DETAILS)