

5-27-2025 PRELIMINARY SITE PLAN SUBMISSION

164 AUBURN ROAD

PROPOSED OFFICE BUILDING

S.E.E. ASSOCIATES HOLDINGS, LLC
2415 N. Triphammer Road Suite 9 Ithaca, New York 14850

SC

ARABBA

engineering+design

SC

ARABBA

ENGINEERING, PLLC

9004 Kingtown Road
Trumansburg, NY 14886
607-327-0076
www.asciarabbaengineeringplus.com

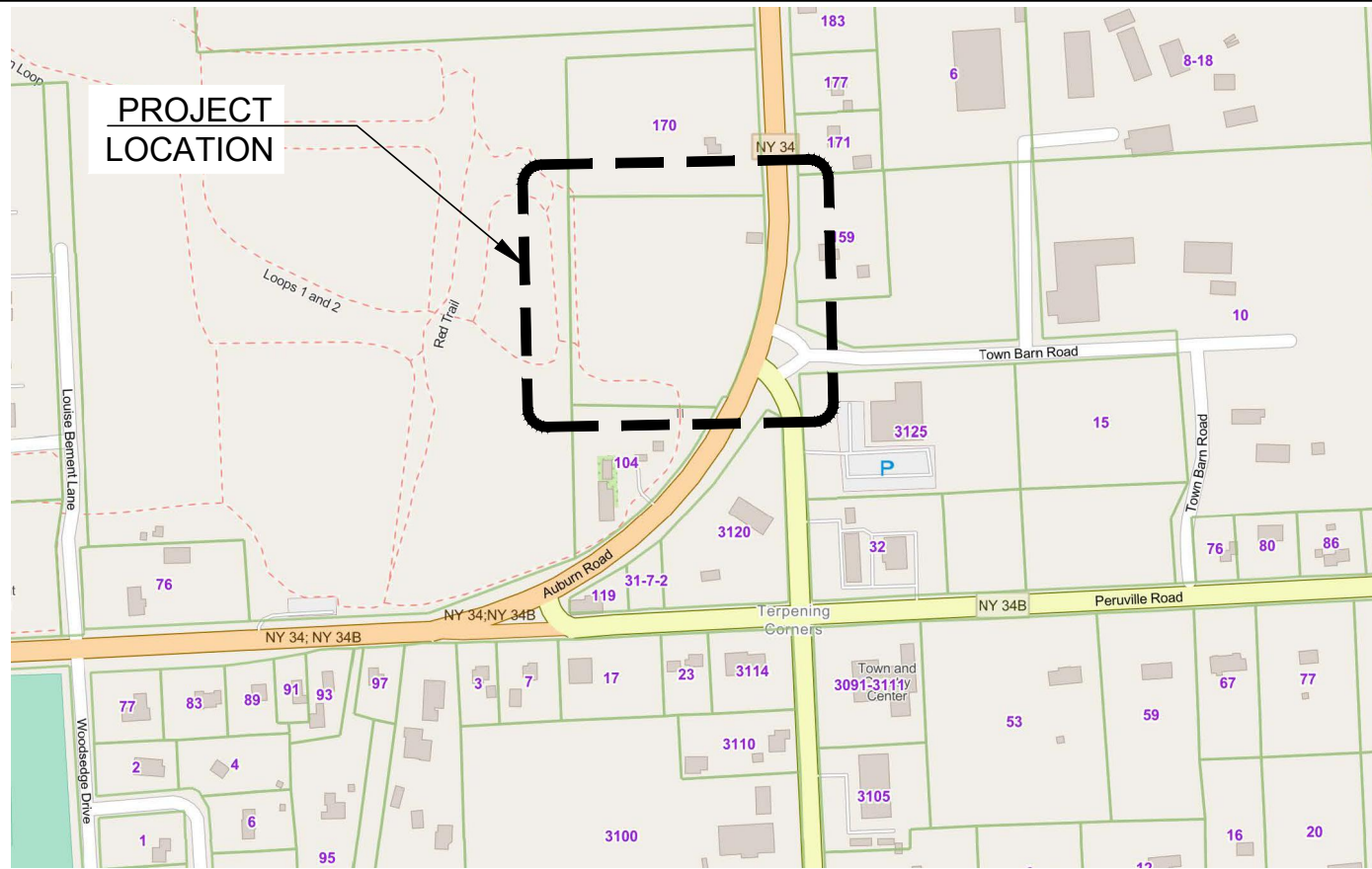
GEORGE W. BREUHAUS, ARCHITECT
950 DANBY ROAD SUITE 220
ITHACA, NEW YORK 14850

164 AUBURN ROAD
PROPOSED OFFICE BUILDING
LANSING NY, 14882

DRAWING LIST

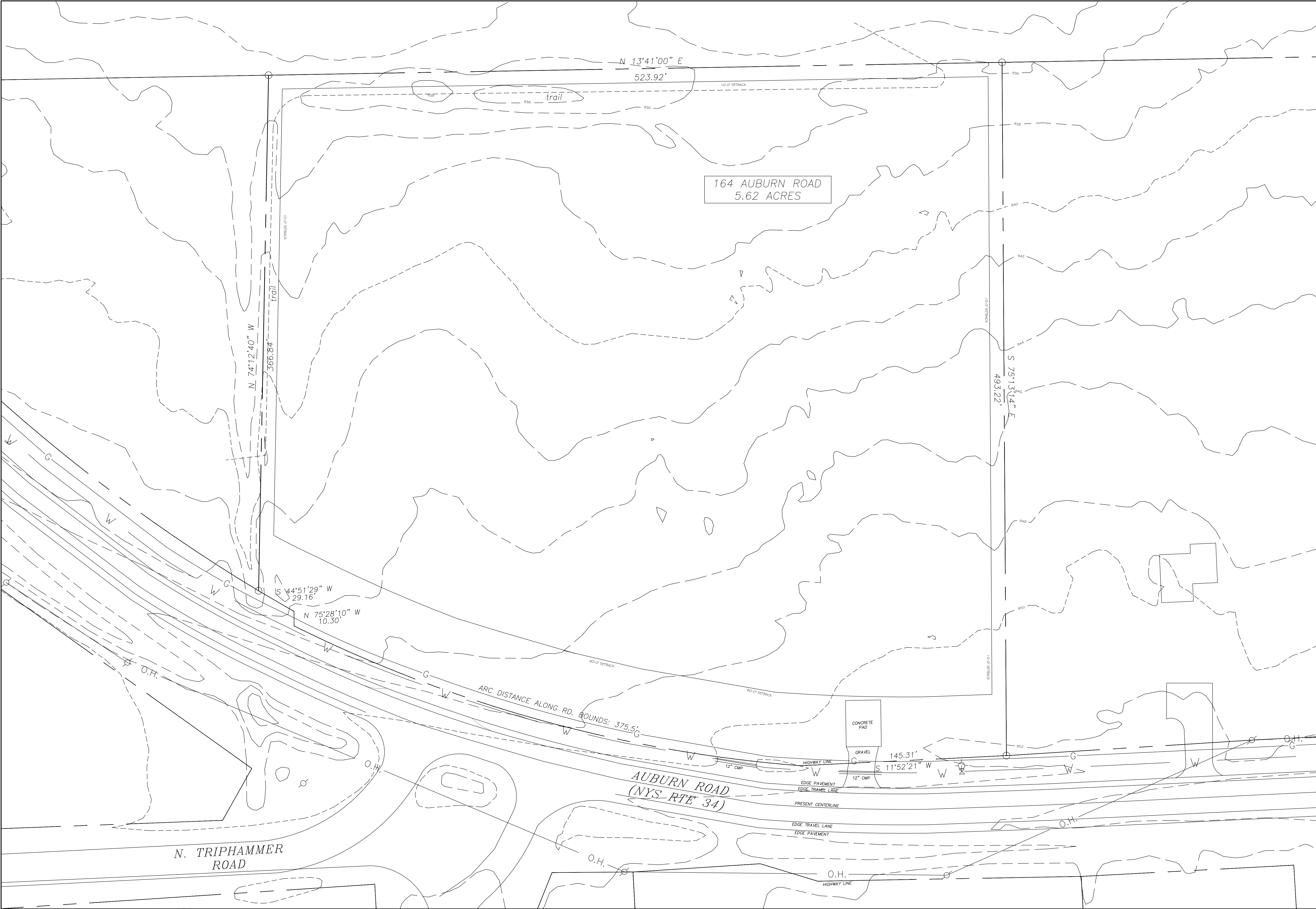
| | |
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| GENERAL | |
| G-001 | COVER SHEET |
| CIVIL | |
| C-101 | EXISTING CONDITIONS PLAN |
| C-102 | CONCEPTUAL SITE PLAN FULL BUILD-OUT |
| C-103 | SITE PLAN AND DETAILS |
| C-104 | DEMOLITION AND EROSION AND SEDIMENT CONTROL PLAN AND DETAILS |
| C-105 | GRADING DRAINAGE AND UTILITY PLAN AND DETAILS |
| C-106 | DETAILS |
| ARCHITECTURAL | |
| A-1 | PROPOSED FLOOR PLAN |
| A-3 | BUILDING ELEVATIONS |
| E-1 | ELECTRICAL POWER & LIGHTING PLAN |

PROJECT LOCATION PLAN



PROJECT INFORMATION

| | |
|---------------------|--|
| DATE: | 5/27/2025 |
| JOB NUMBER: | PB-SEE-164 |
| APPLICANT: | S.E.E. ASSOCIATES HOLDINGS, LLC |
| APPLICANT ADDRESS: | 2415 N. TRIPHAMMER ROAD SUITE 9, ITHACA,NY 14850 |
| APPLICANT PHONE: | 607-533-3635 |
| APPLICANT EMAIL: | ASCIARABBA@SWCLLP.COM |
| PROJECT ADDRESS: | 164 AUBURN ROAD, LANSING, NY 14882 |
| PARCEL INFORMATION: | TAX MAP NO. 31.-1-15.21 5.62 ACRES TO HIGHWAY BOUNDS |



SCLARABBA ENGINEERING, PLLC
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WARNING:
It is a violation of Section 7209, Subdivision 2 of the New York State Education Law for any person, unless he or she is working under the direction of a licensed engineer, to alter an item in any way. If an item bearing the seal of an engineer is altered, the altering engineer shall affix to the item his or her seal and the notation "altered by" followed by his or her signature, the date of such alteration, and a specific description of the alteration.

164 AUBURN ROAD PHASE 1 PROPOSED OFFICE BUILDING

LANSING NY, 14882

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| REVISION 5 | |
| REVISION 4 | |
| REVISION 3 | |
| REVISION 2 | |
| REVISION 1 | |

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| PROJECT NUMBER | PB-SEE-164 |
| DATE | 5/27/2025 |
| SCALE | 1"=30' |

DRAWING TITLE

EXISTING
CONDITIONS
PLAN

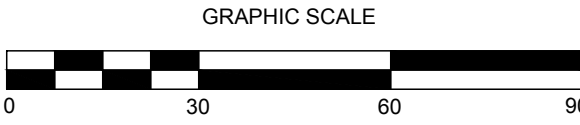
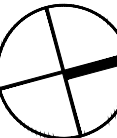
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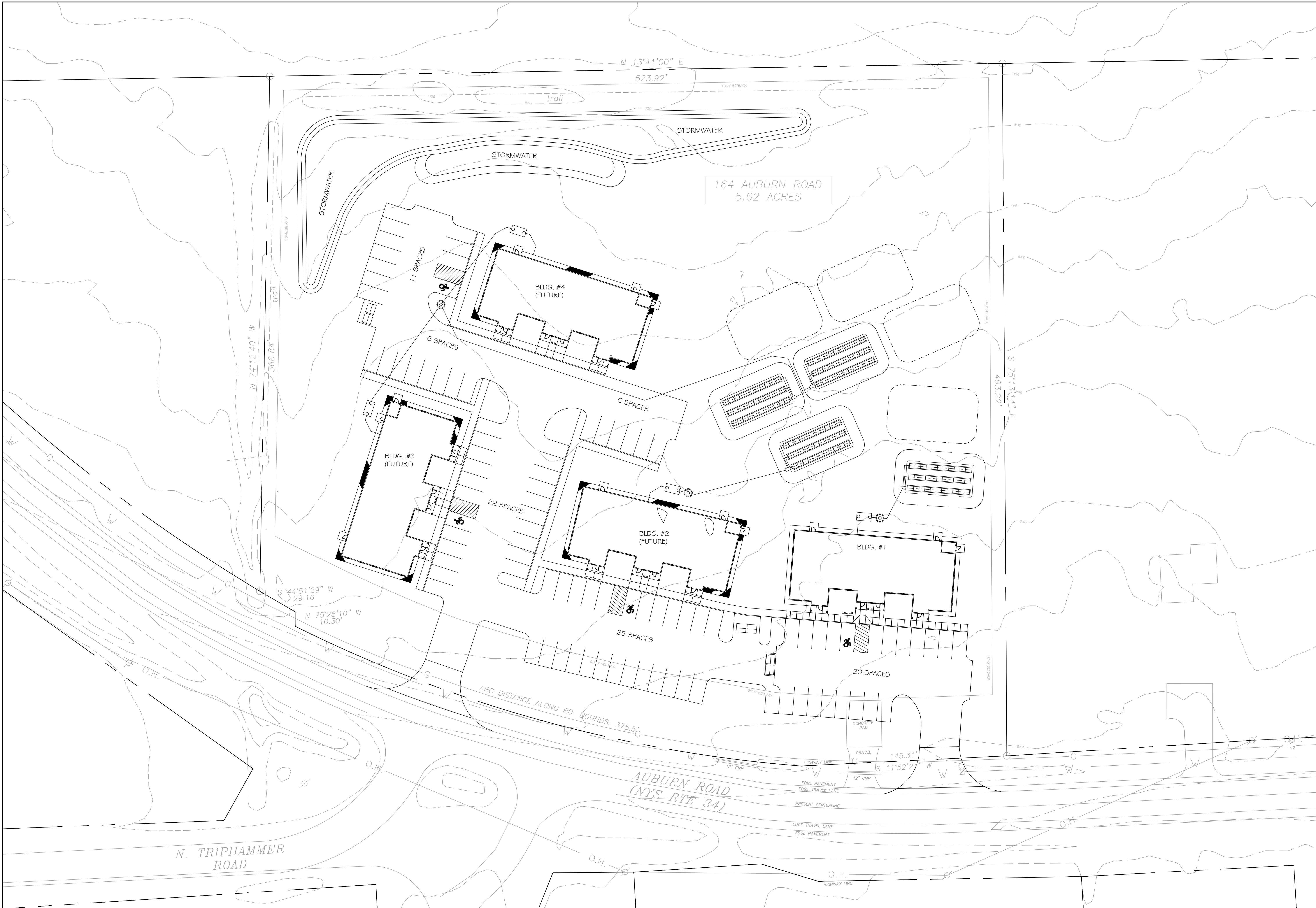
C-101

EXISTING CONDITIONS PLAN

SCALE: 1"=30'

NORTH





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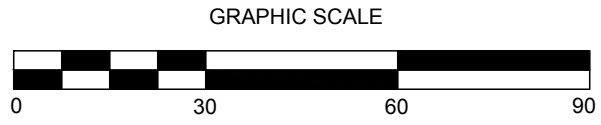
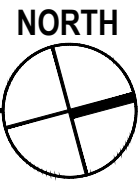
CONCEPTUAL
SITE PLAN
FULL BUILD-OUT

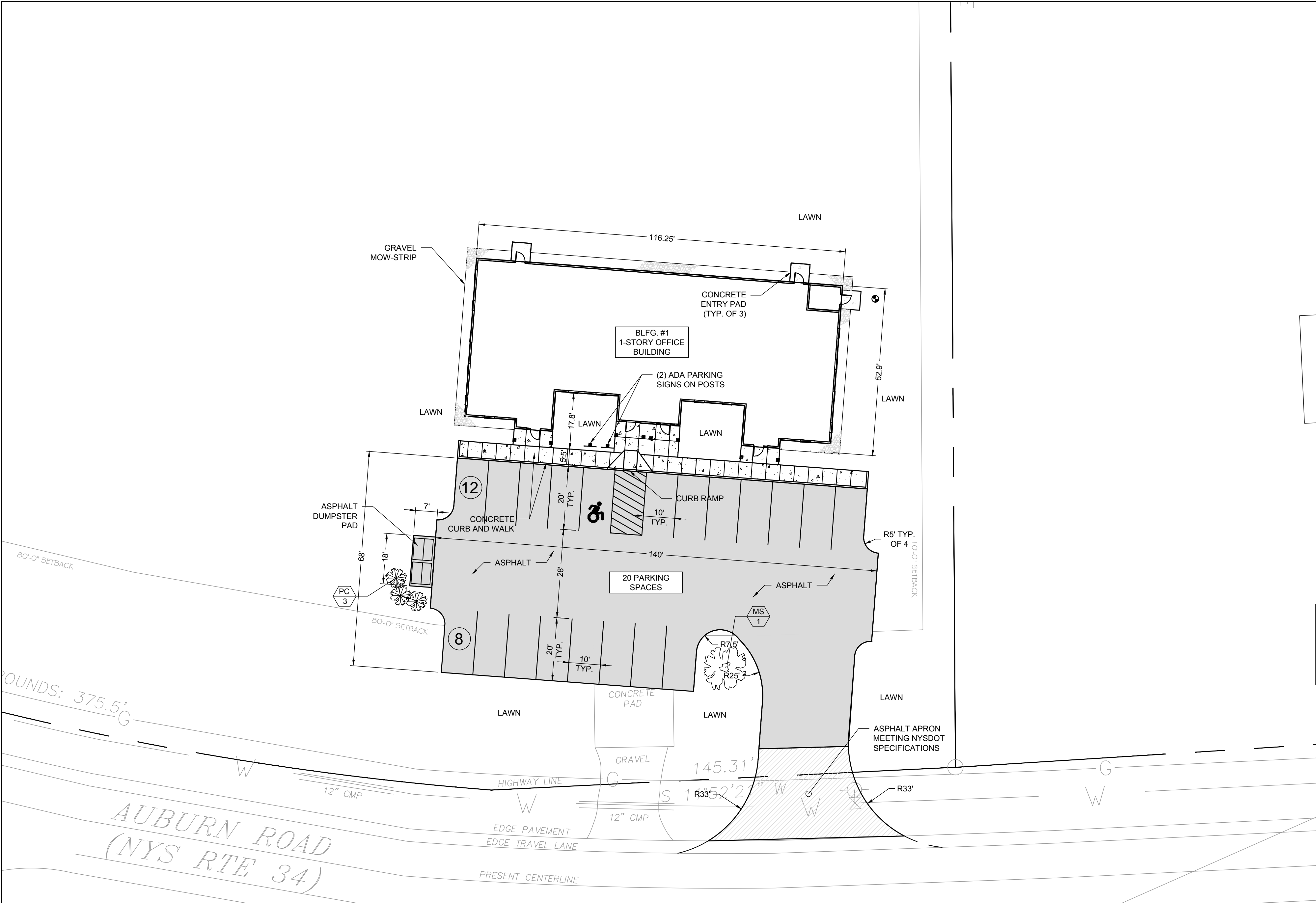
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CONCEPTUAL SITE PLAN FULL BUILD OUT

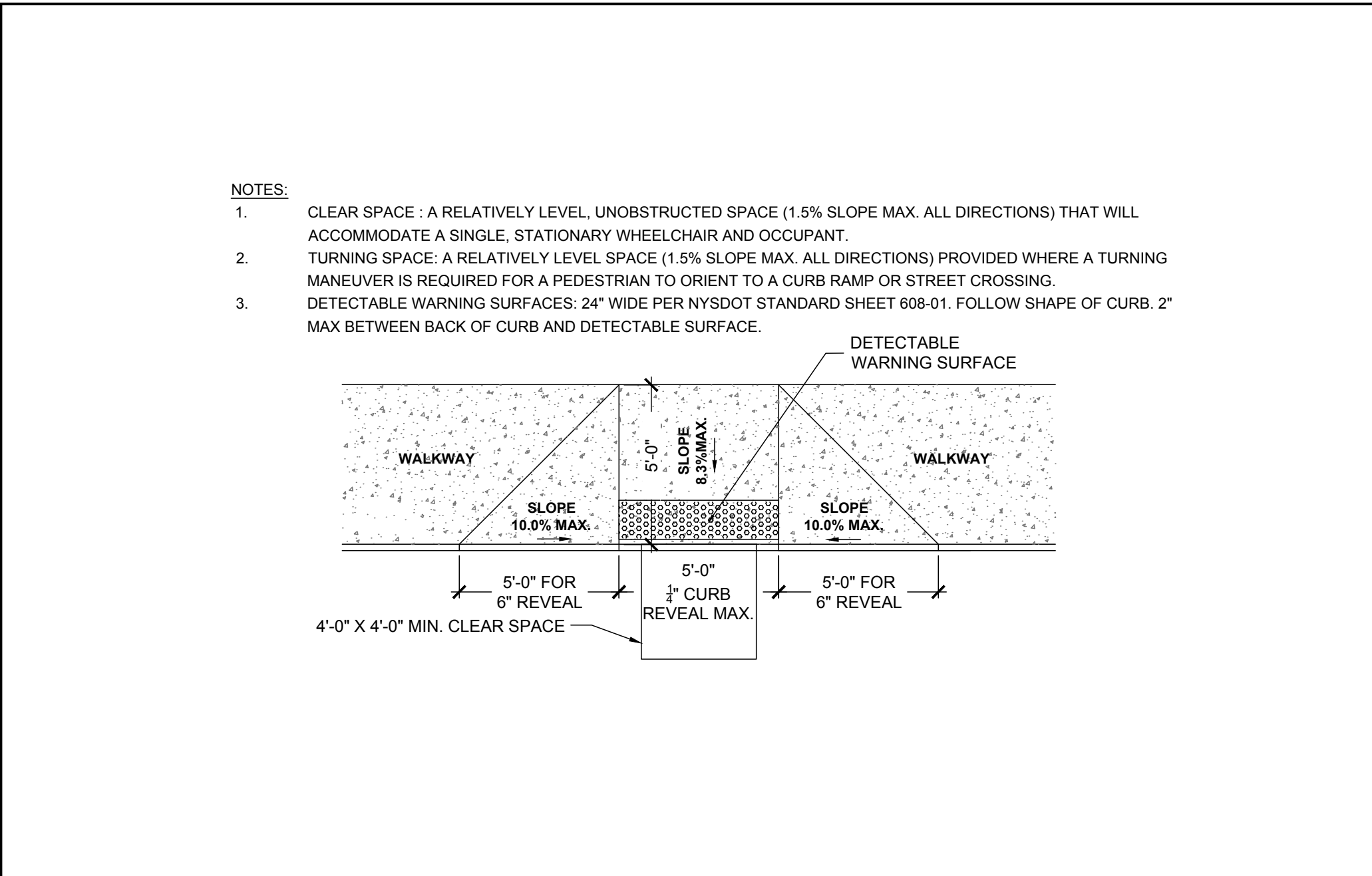
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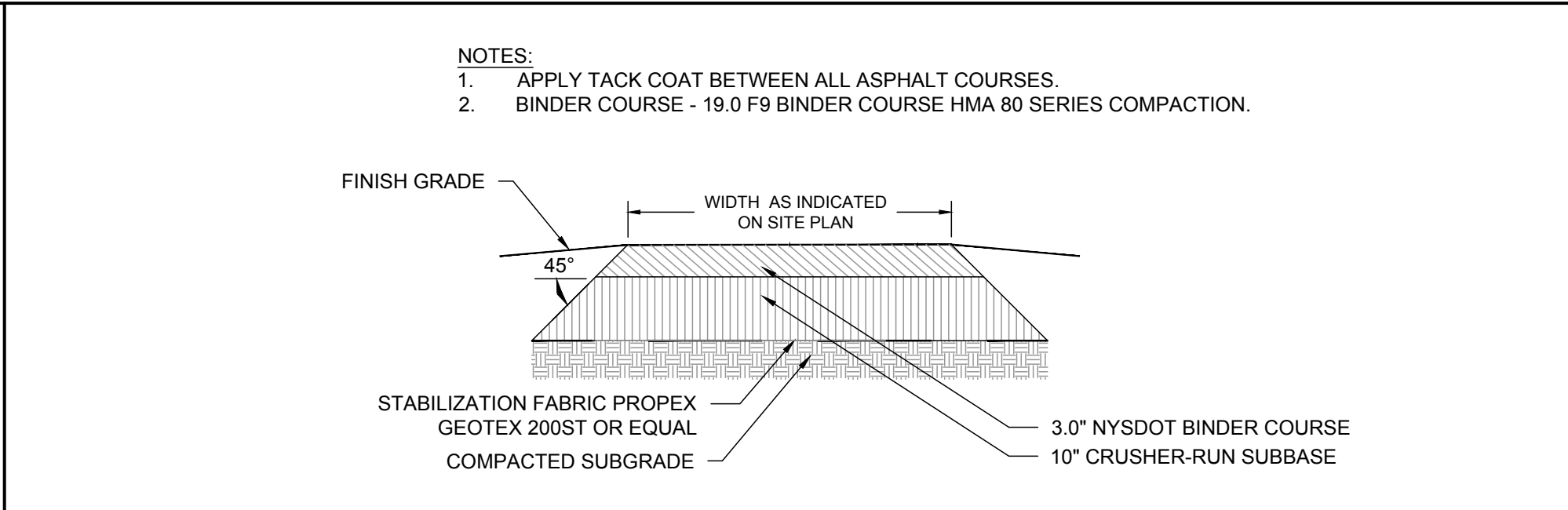


| PER TOWN OF LANSING ZONING CHAPTER 270 | ALLOWED | PROPOSED |
|--|--|--|
| IR - INDUSTRIAL/RESEARCH | | |
| LAND USE PERMITTED | PROFESSIONAL OR BUSINESS OFFICE (NOT IN A HOME)* | PROFESSIONAL OR BUSINESS OFFICE (NOT IN A HOME)* |
| BUILDING TYPE | ALL | NON-RESIDENTIAL |
| MINIMUM LOT AREA | NONE | 244,807 SF (5.62 ACRES) |
| MINIMUM ROAD FRONTAGE | 50 FEET | 560.27 FEET |
| MINIMUM YARD SETBACK - CENTERLINE ROAD | 80 FEET | 80 FEET |
| MINIMUM YARD SETBACK - SIDE | 10 FEET** | 10 FEET EACH |
| MINIMUM YARD SETBACK - REAR | 10 FEET** | 10 FEET |
| MAXIMUM BUILDING HEIGHT | 35 FEET | 21 FEET |
| MINIMUM OPEN SPACE (EXCL BLDGS, PKG. SERVICE) | 20% | 227,076 SF = 92.7% |
| PARKING REQUIREMENTS | NO MINIMUM | 20 SPACES |
| * ALLOWED WITH SITE PLAN APPROVAL | | |
| ** SMALLER SETBACKS ALLOWED WITH SITE PLAN APROVAL | | |

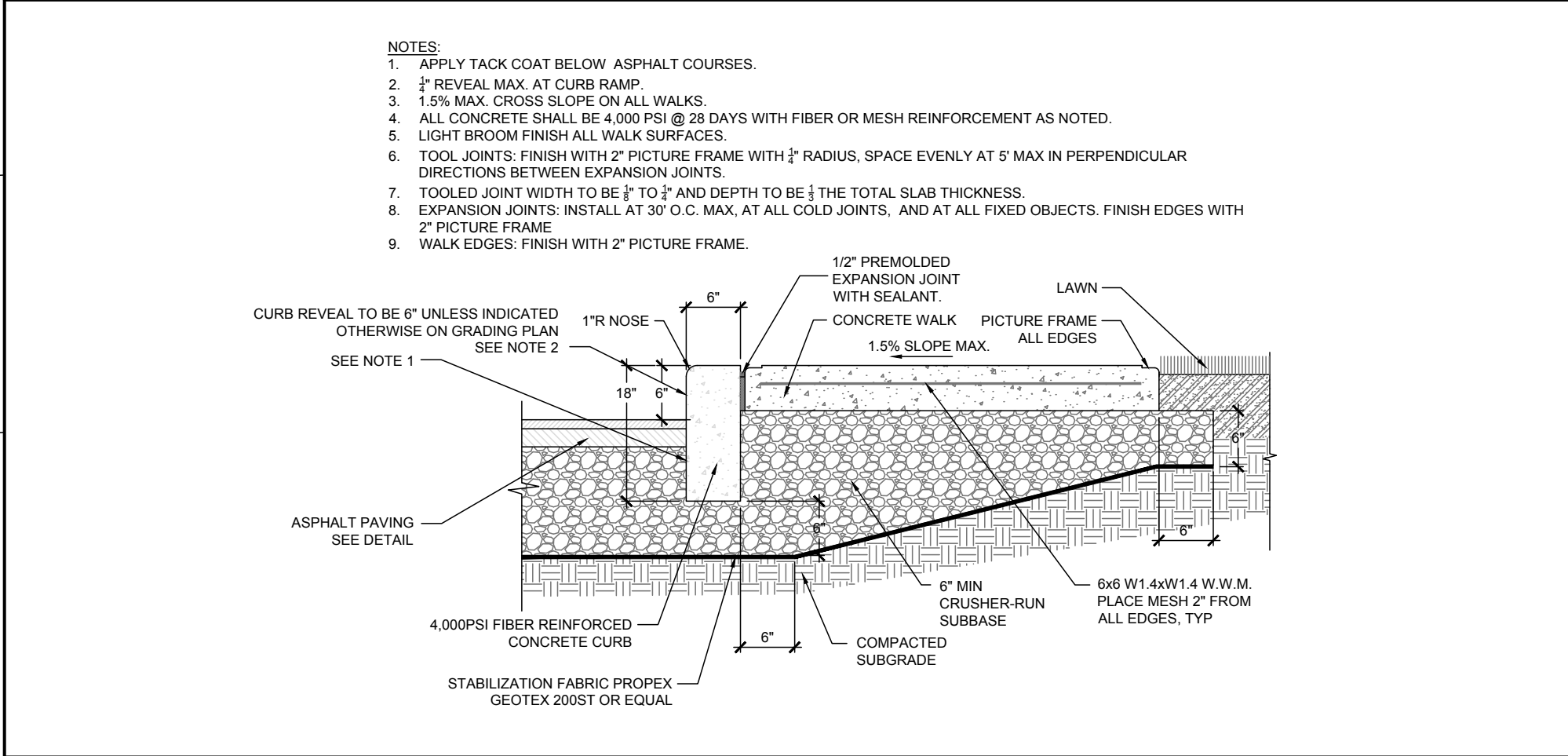
ZONING ANALYSIS



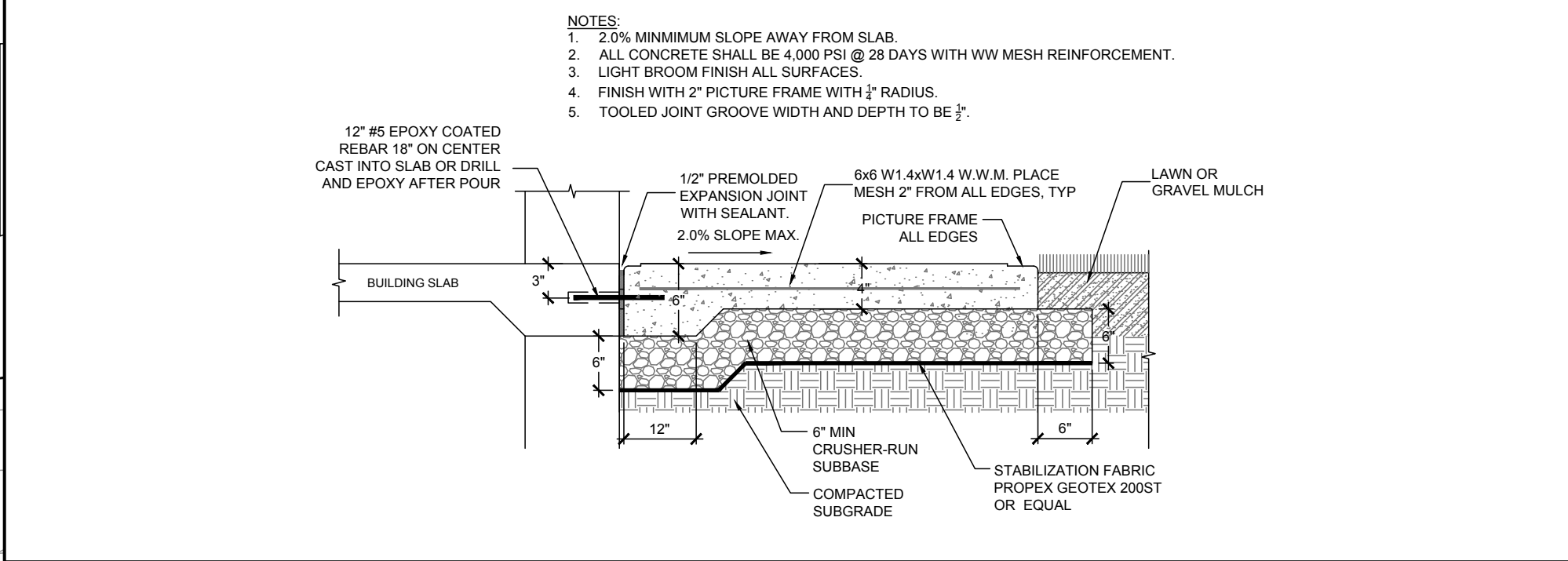
CURB RAMP - NOT TO SCALE



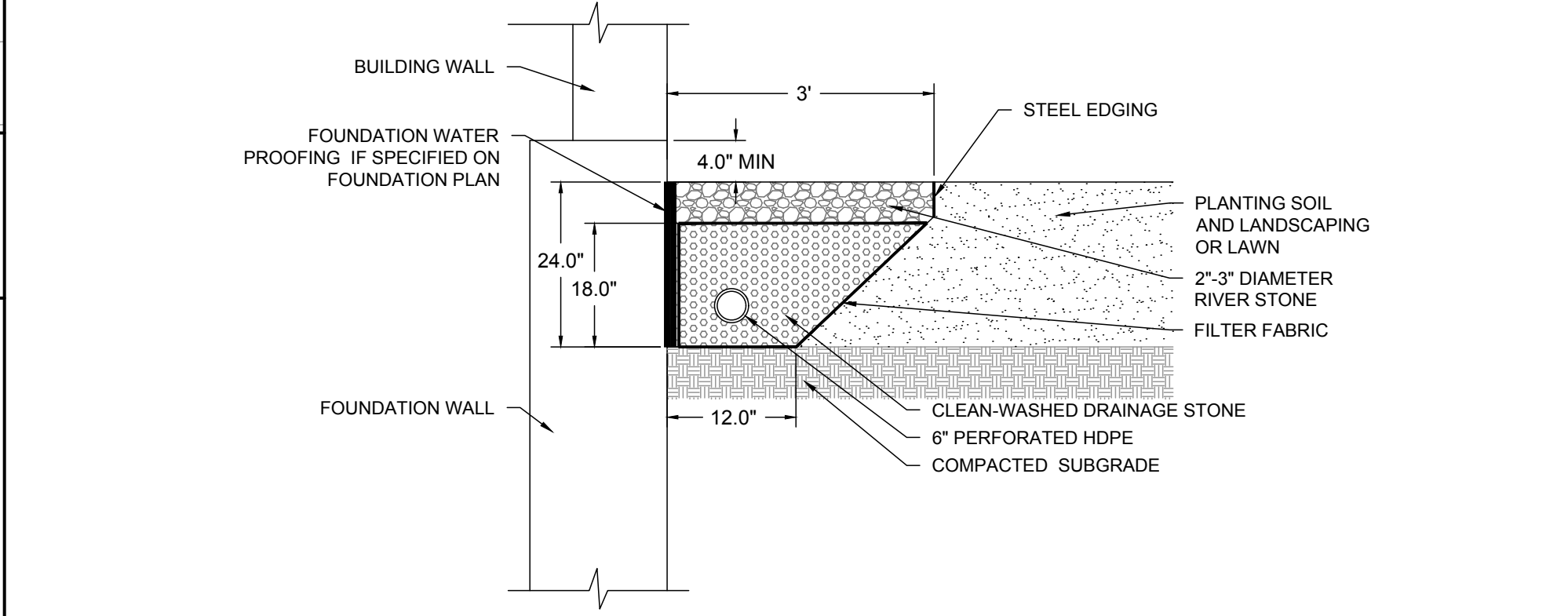
ASPHALT - NOT TO SCALE



CONCRETE CURB AND WALK - NOT TO SCALE



CONCRETE ENTRY PAD - NOT TO SCALE



GRAVEL MOW-STRIP - NOT TO SCALE

| PLANT SCHEDULE | | | |
|------------------------|-----|---------------------|----------------------|
| KEY | NO. | BOTANICAL NAME | COMMON NAME/CULTIVAR |
| SMALL CONIFEROUS TREES | | | |
| PC | 3 | PICEA GLAUCA CONICA | DWARF ALBERTA SPRUCE |
| SMALL DECIDUOUS TREES | | | |
| MS | 1 | MALUS SYLVESTRIS | FLOWERING CRAB APPLE |

PLANT SCHEDULE - NOT TO SCALE

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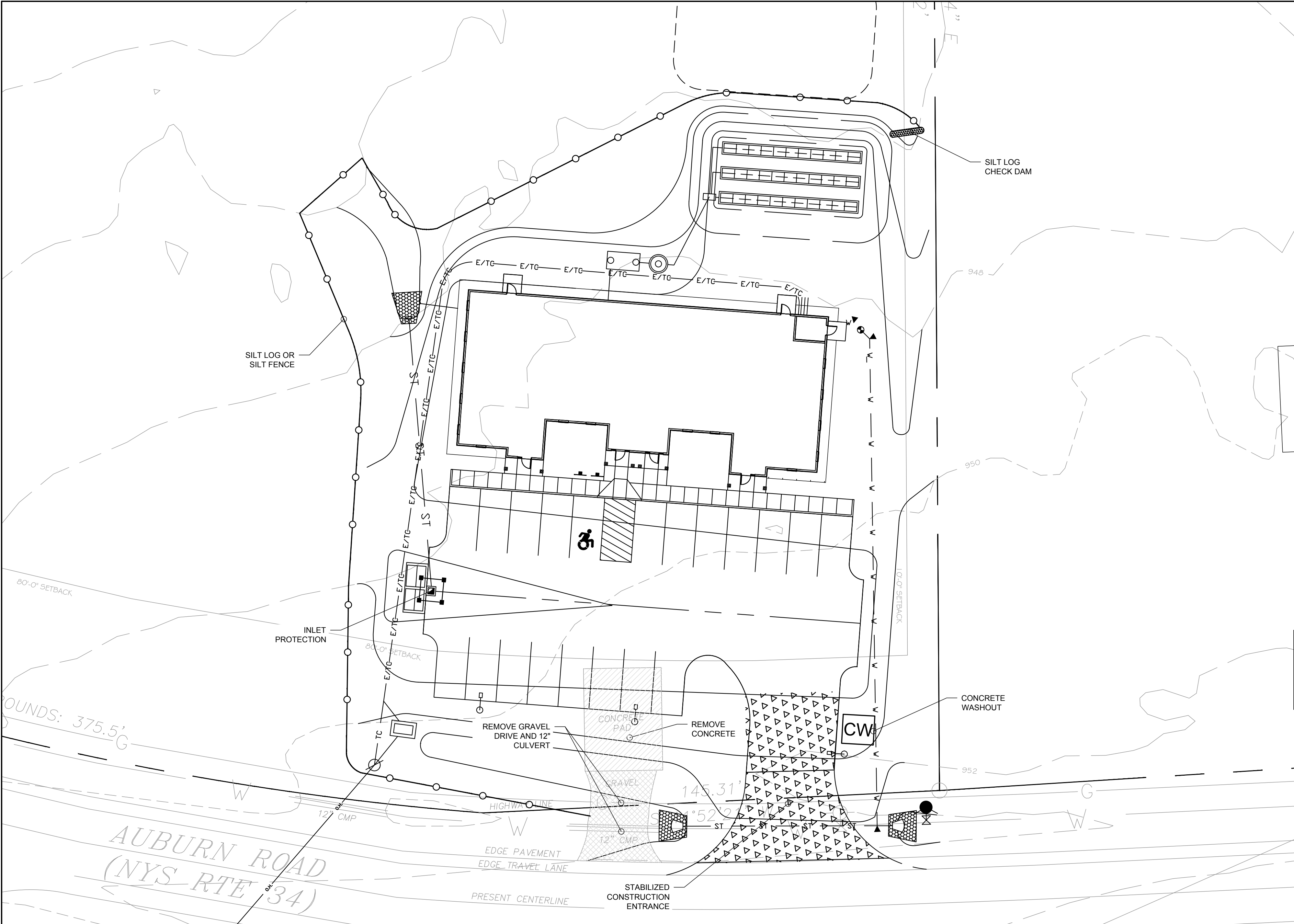
164 AUBURN ROAD PHASE 1
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REVISION 6
REVISION 5
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REVISION 2
REVISION 1

PROJECT NUMBERPB-SEE-164
DATE5/27/2025
SCALEAS NOTED

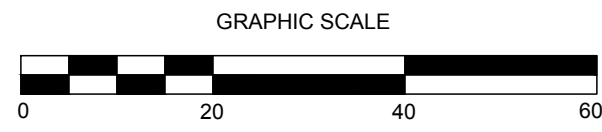
DRAWING TITLESITE PLAN AND DETAILS

DRAWING NUMBERC-103



DEMOLITION AND EROSION AND SEDIMENT CONTROL PLAN

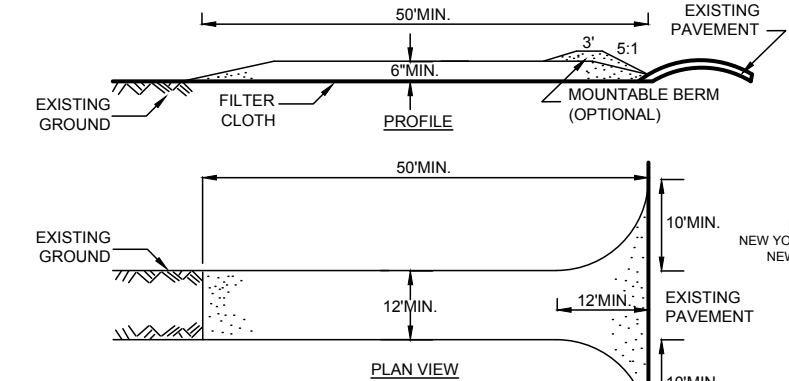
SCALE: 1"=20'



EROSION AND SEDIMENT CONTROL NOTES

1. PRIOR TO THE START OF CONSTRUCTION AND UNTIL ALL DISTURBED AREAS ARE STABILIZED, ALL EROSION AND SEDIMENT CONTROL MEASURES, AS SHOWN ON THE SITE PLAN AND AS OTHERWISE REQUIRED, SHALL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR, AND SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENTATION CONTROL.
 2. DISTURBED AREAS SHALL BE SEEDED AND MULCHED WITH CLEAN STRAW AS OUTLINED IN THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENTATION CONTROL.
 3. BARE SOILS SHALL BE MULCHED WITH STRAW AT A RATE OF TWO TONS PER ACRE WITHIN 14 DAYS OF EXPOSURE. IF CONSTRUCTION ON AN AREA IS SUSPENDED, THE AREA SHALL BE SEEDED IMMEDIATELY.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE STREET PAVEMENT AREAS CLEAN OF DIRT AND DEBRIS.
 5. AS SEDIMENT ACCUMULATES TO THE DEPTH OF THE SILT FENCES LOGS AND CHECK DAMS, SEDIMENT SHALL BE REMOVED AS OUTLINED IN THE NYSGUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL.
 6. THE CONTRACTOR & ITS SUBCONTRACTORS ARE RESPONSIBLE FOR MEANS & METHODS OF EROSION CONTROL FACILITIES DURING CONSTRUCTION. IT SHOULD BE NOTED THAT FACILITIES ON THIS DRAWING ARE CONSIDERED MINIMUM & ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS CONSTRUCTION PROGRESSES. THE CONTRACTOR & ITS SUBCONTRACTORS ARE RESPONSIBLE FOR ANY ADDITIONAL MEASURES DEEMED NECESSARY BY THE ENGINEER, TOWN, OR NYSDOT.
 7. PROVIDE EROSION CONTROL MEASURES AS NOTED ON THE PLANS AND AS OTHERWISE REQUIRED TO PREVENT EROSION AND SEDIMENTATION ONTO ADJOINING PROPERTIES, STREETS, WATERWAYS, AND ON SITE IMPROVEMENTS BEYOND THE LIMITS OF WORK. COMPLY WITH THE LATEST ISSUE OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL" AND THE NYSDOT'S "REDUCING THE IMPACTS OF STORMWATER RUNOFF FROM NEW DEVELOPMENT".
 8. MAINTENANCE - THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROLS ON A WEEKLY BASIS AND AFTER ALL STORMS (2" RAINFALL OR GREATER) INCLUDING BUT NOT LIMITED TO THE FOLLOWING: ADDING CLEAN STONE TO THE STABILIZED CONSTRUCTION ENTRANCE, REPLACING DAMAGED OR SiltED IN SILT FENCE LOGS, OR CHECK DAMS AND STABILIZING ERODED OR WASHED OUT SLOPED AREAS.
 9. CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES UNTIL CONSTRUCTION IS COMPLETE, LAWNS HAVE BECOME ESTABLISHED TO 80% VEGETATIVE COVER AND ALL SOURCES OF EROSION HAVE BEEN PERMANENTLY STABILIZED.
 10. CONTRACTOR SHALL PROVIDE DUST CONTROL IN ACCORDANCE WITH THE LATEST ISSUE OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL."
- SEQUENCE OF CONSTRUCTION:
1. INSTALL STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE, SILT LOGS, AND CHECK DAMS, AS SHOWN ON PLAN PRIOR TO BEGINNING EARTHWORK OPERATIONS.
 2. REMOVE ALL TREES, STUMPS, AND BRUSH PRIOR TO BEGINNING EARTHWORK OPERATIONS.
 3. STRIP AND STOCKPILE TOPSOIL.
 4. SURROUND ALL STOCKPILE AREAS WITH SILT FENCE.
 5. INSTALL CONCRETE WASHOUT.
 6. COMPLETE SITE AND UTILITY IMPROVEMENTS.
 7. FINE GRADE, SEED, AND MULCH ALL DISTURBED LAWN AREAS WITHIN FOURTEEN (14) DAYS OF DISTURBANCE.
 8. REMOVE STABILIZED CONSTRUCTION ENTRANCE, TEMPORARY SILT FENCE, SILT LOGS AND CHECK DAMS ONLY AFTER SITE IS COMPLETELY STABILIZED AND ALL DISTURBED LAWN AREAS HAVE ACHIEVED 80% VEGETATIVE GROWTH.

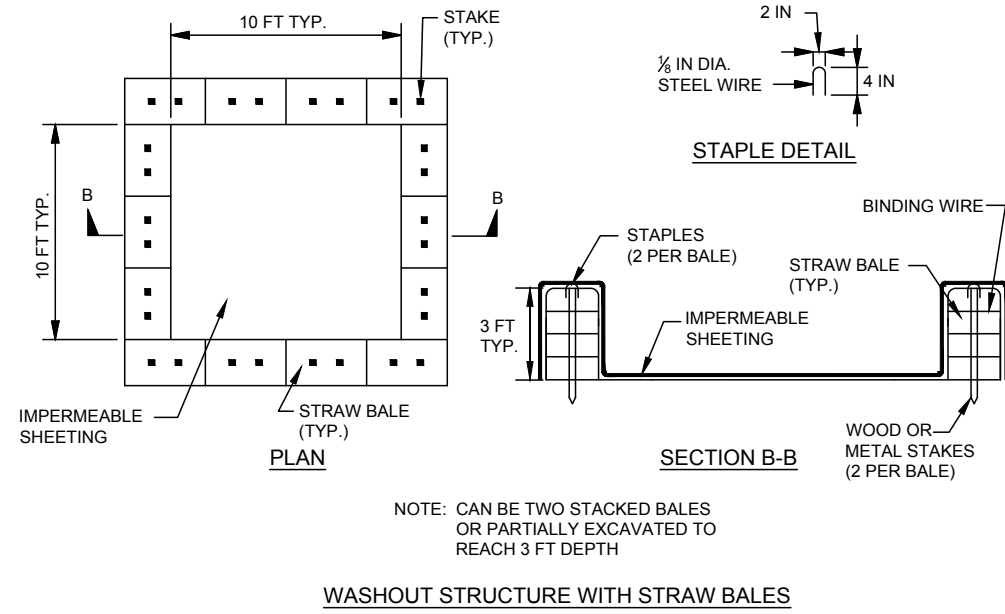
EROSION AND SEDIMENT CONTROL NOTES - NOT TO SCALE



NOTES

1. STONE SIZE - USE 1.4 INCH CRUSHED ANGULAR STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

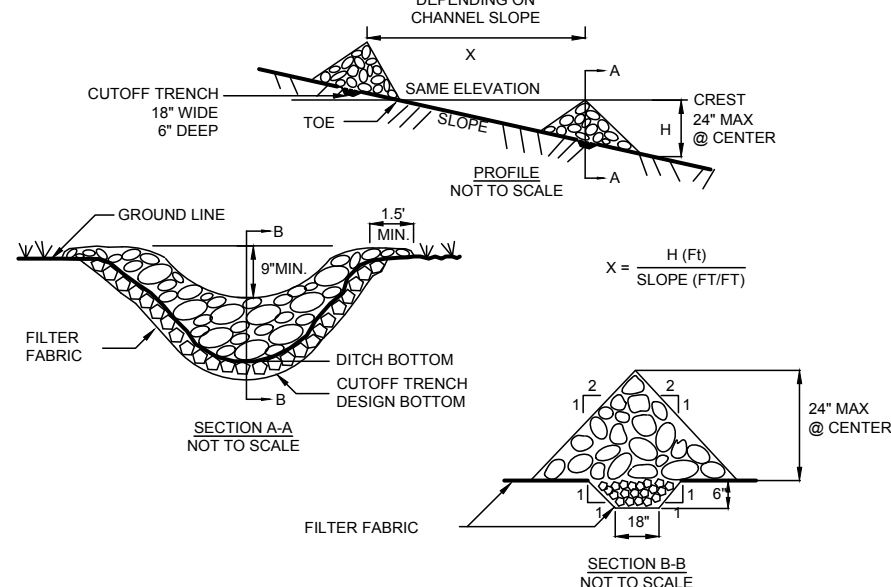
STABILIZED CONSTRUCTION ENTRANCE - NOT TO SCALE



CONSTRUCTION NOTES

1. LOCATE WASHOUT STRUCTURE A MINIMUM OF 100 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, OUTLETS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
2. SIZE WASHOUT STRUCTURE FOR VOLUME NECESSARY TO CONTAIN WASH WATER, SOLIDS AND RAINFALL AND MAINTAIN AT LEAST 4 INCHES OF FREEBOARD. TYPICAL DIMENSIONS ARE 10 FEET X 10 FEET X 3 FEET DEEP.
3. PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
4. PROVIDE A SIGN FOR THE WASHOUT IN CLOSE PROXIMITY TO THE FACILITY.
5. KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED), EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. PRIOR TO FORECASTED RAINSTORMS, REMOVE LIQUIDS OR COVER STRUCTURE TO PREVENT OVERFLOWS. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.
6. DURABLE PORTABLE CONCRETE WASHOUT BASINS OR TUBS MAY BE USED WITH THE APPROVAL OF THE EROSION CONTROL INSPECTOR.

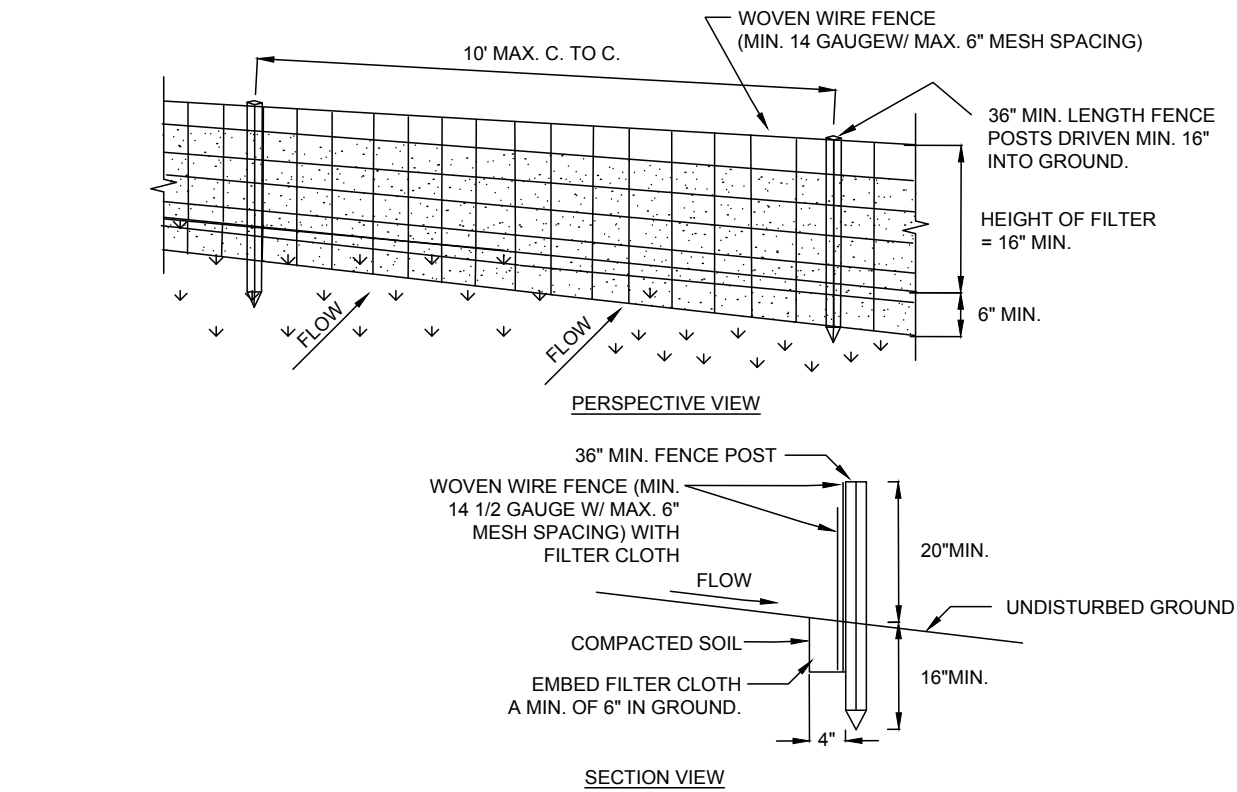
CONCRETE WASHOUT - NOT TO SCALE



NOTES

1. STONE SHALL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADIES AND LOCATIONS SHOWN IN THE PLAN.
2. SET SPACING OF CHECK DAMS TO ASSURE THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
3. SET THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANS TO PREVENT CUTTING AROUND THE DAM.
4. PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
5. ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONE. MAXIMUM DRAINAGE AREA 2 ACRES.

ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE.

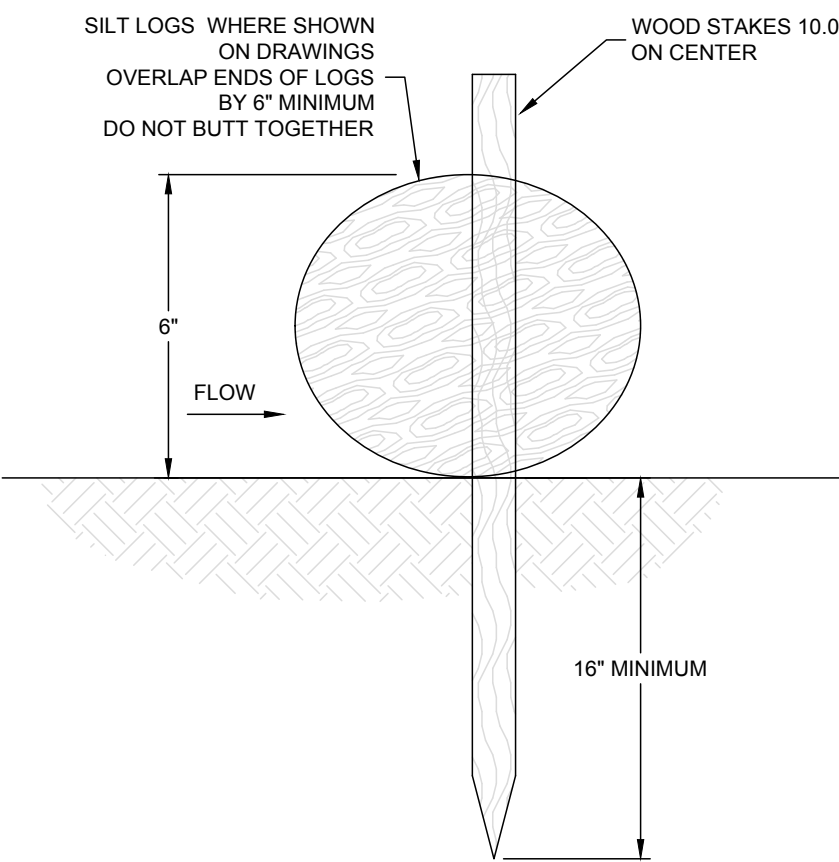


NOTES

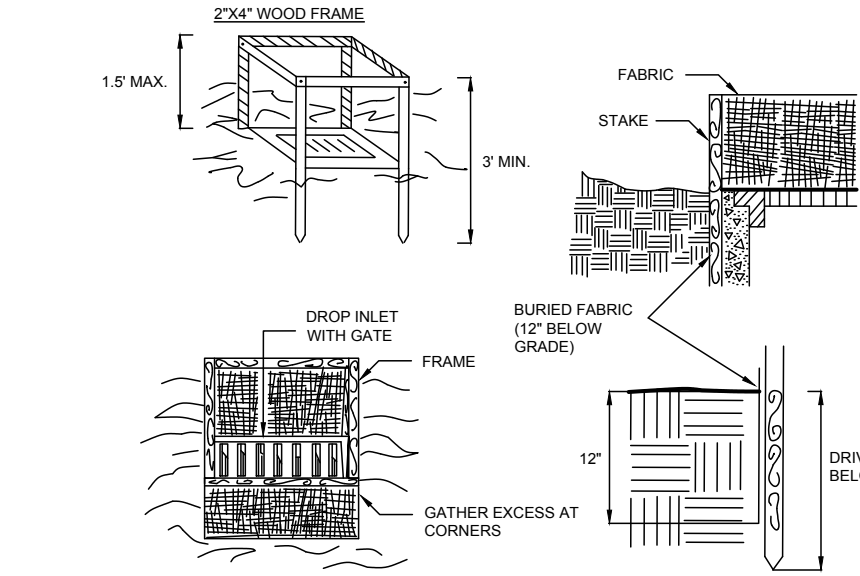
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "1" OR "1/2" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING. CLOTH SHALL BE EITHER MIRAFL 100X, STABILINKA T460N, OR APPROVED EQUIVALENT.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
4. PREFABRICATED UNITS SHALL BE GEOTEX, ENVIOFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE.

SILT FENCE - NOT TO SCALE



SILT LOG - NOT TO SCALE



NOTES

1. FABRIC SHALL HAVE AN EGS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
3. STAKE MATERIALS WILL BE STANDARD 2" X 4" WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
6. A 2" X 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.
7. MAXIMUM DRAINAGE AREA 1 ACRE.

ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE.

INLET PROTECTION - NOT TO SCALE

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LANSING NY, 14882

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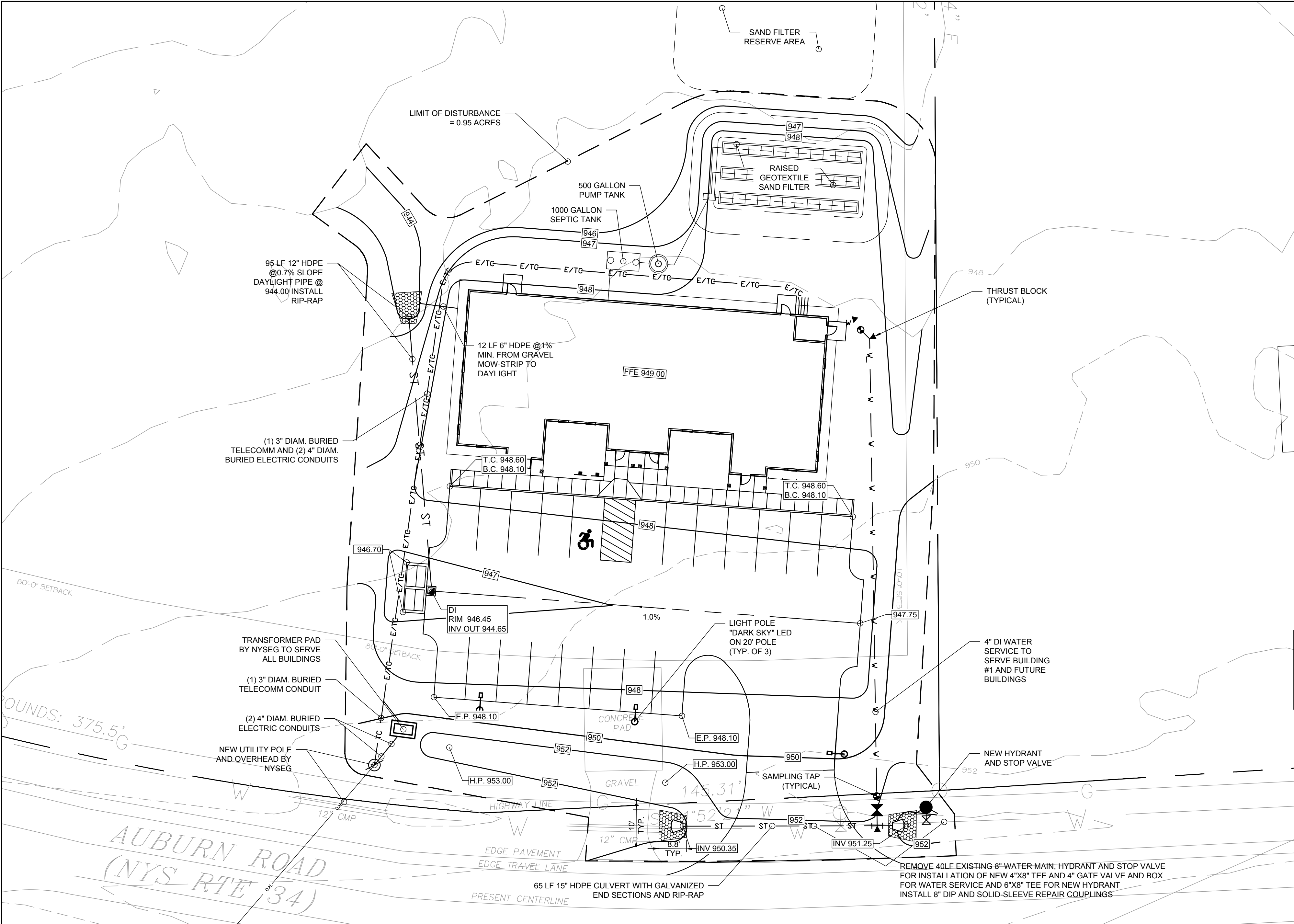
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| PROJECT NUMBER | PB-SEE-164 |
| DATE | 5/27/2025 |
| SCALE | AS NOTED |

DRAWING TITLE

DEMOLITION AND
EROSION AND
SEDIMENT CONTROL
PLAN
AND DETAILS

DRAWING NUMBER

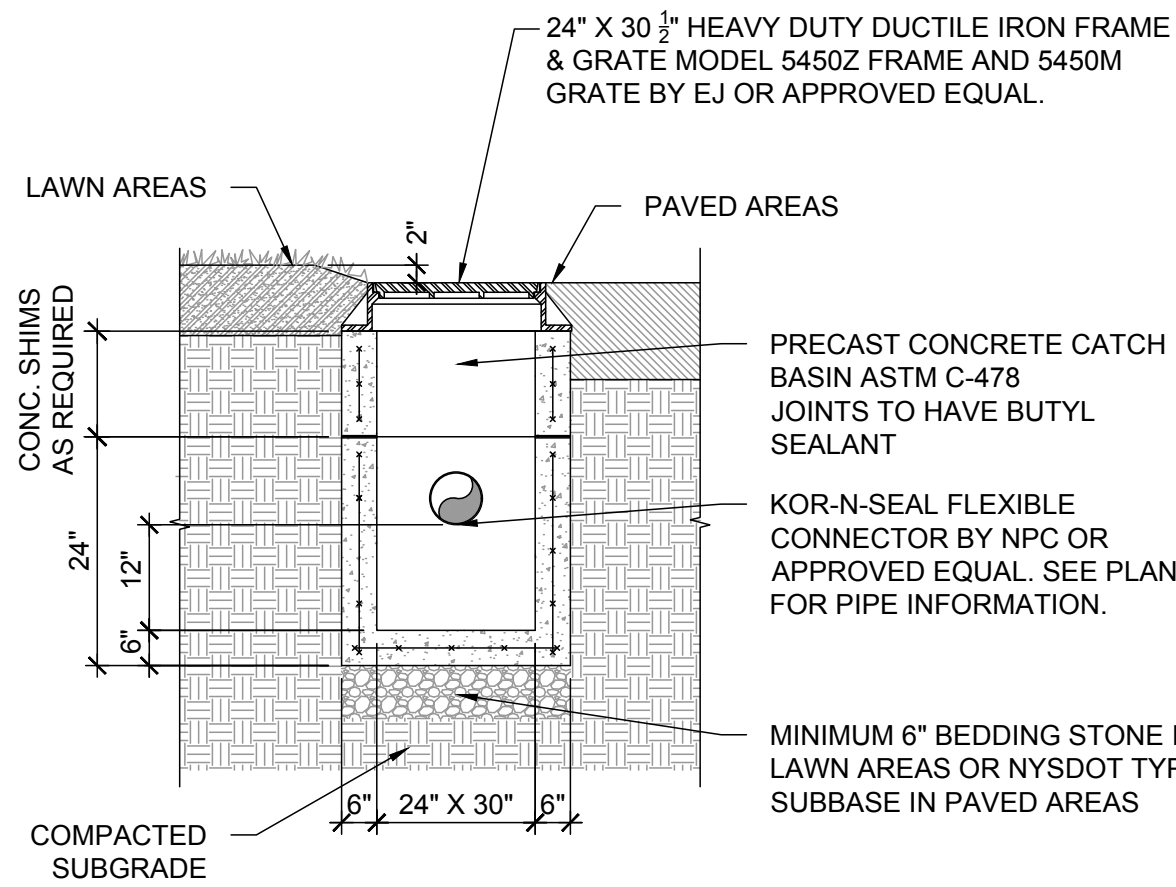
C-104



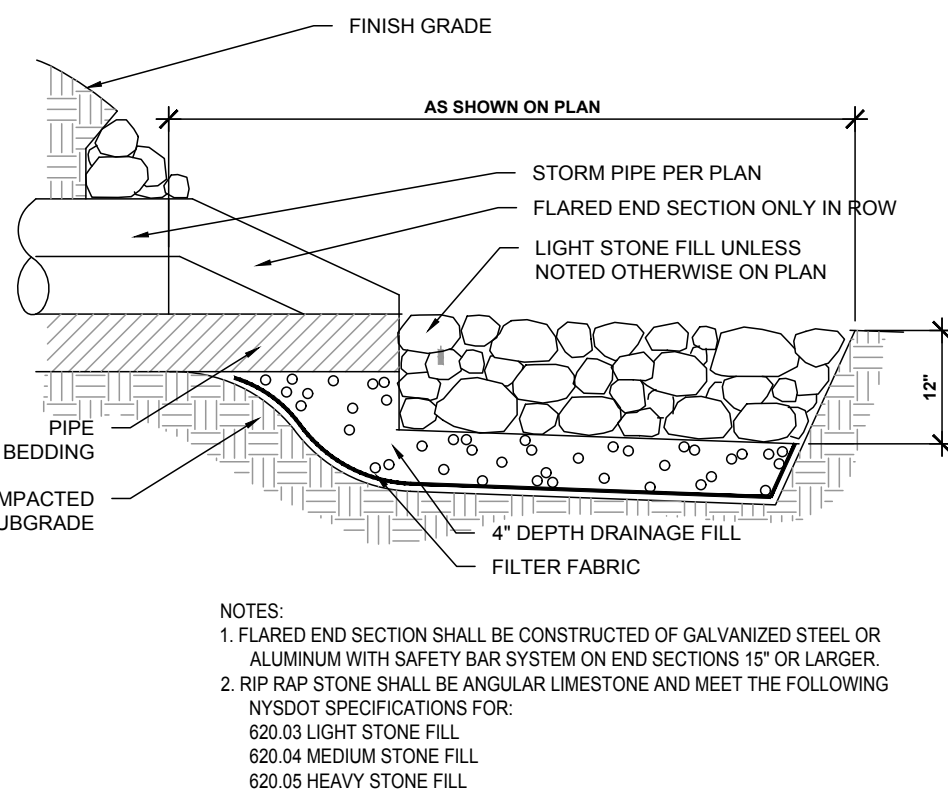
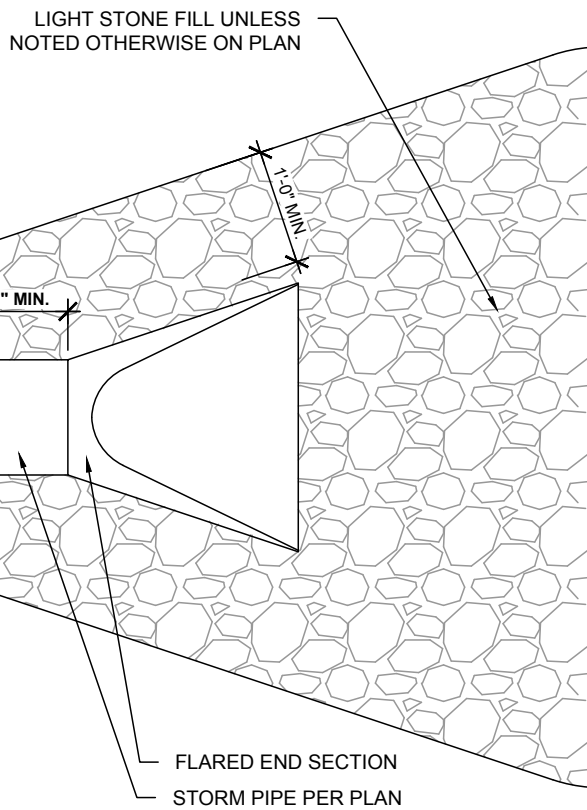
GRADING DRAINAGE AND UTILITY PLAN

SCALE: 1"=20'

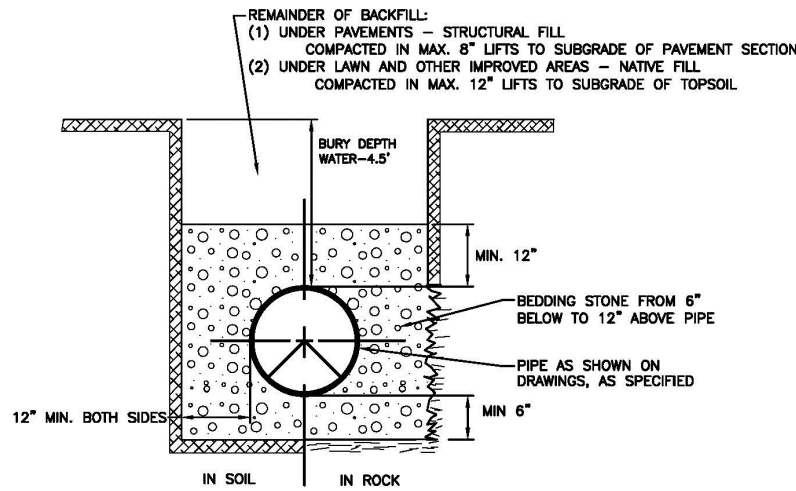
HEAVY DUTY CAST IRON FRAME AND GRATED COVER
LAWN AREAS: SET RIMS 2" BELOW FINISH ADJACENT GRADE
PAVED AREAS: SET RIMS FLUSH WITH FINISH GRADES



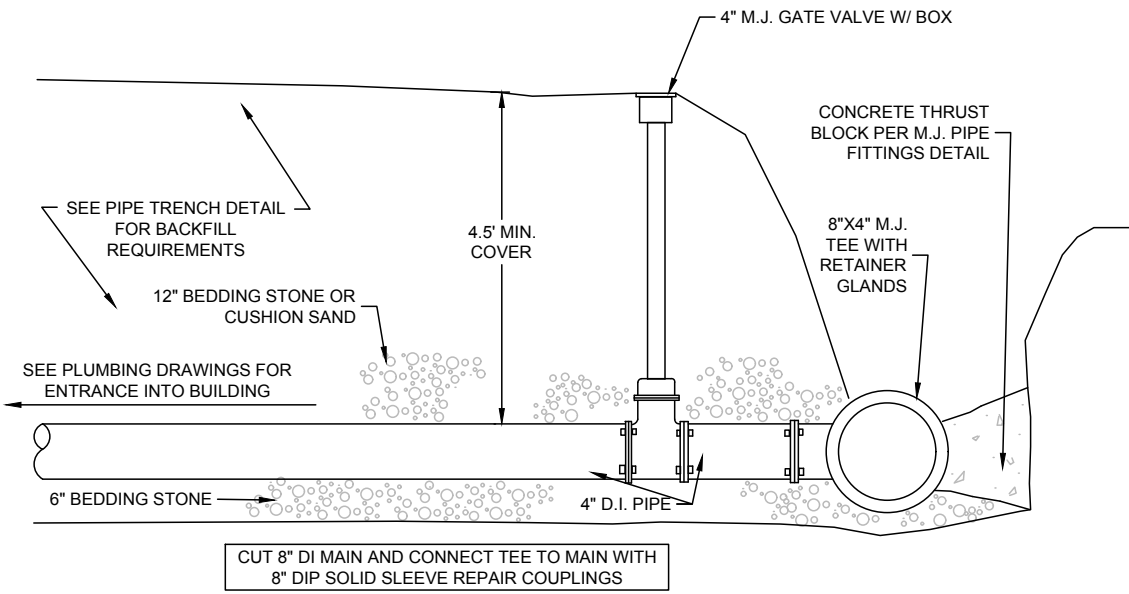
DROP INLET - NOT TO SCALE



RIP-RAP OUTLET PROTECTION - NOT TO SCALE



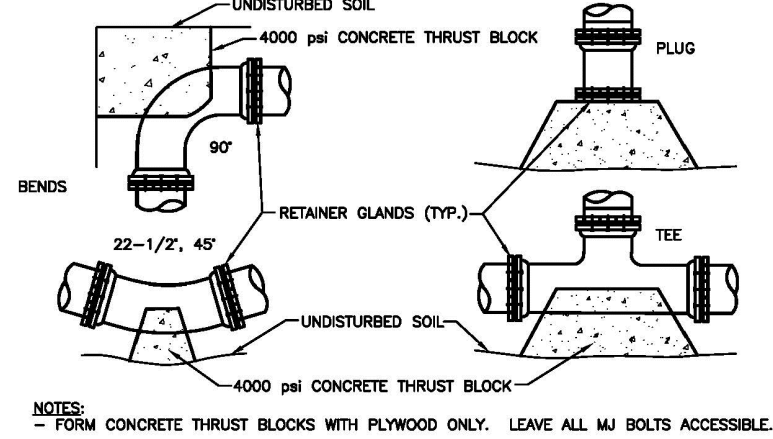
TRENCH - NOT TO SCALE



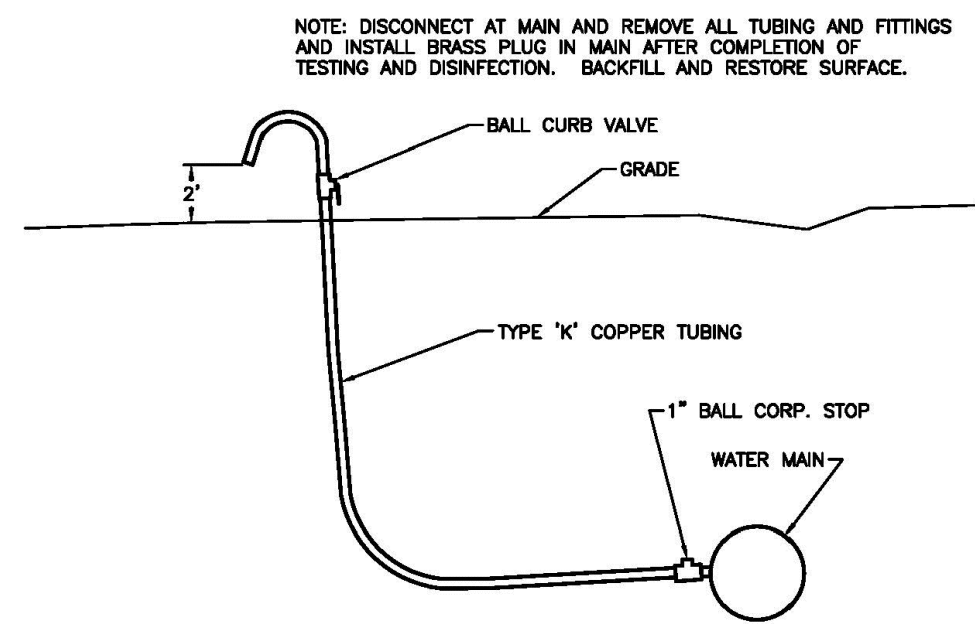
CUT-IN TEE - NOT TO SCALE

| TABLE NO. 1 MINIMUM THRUST BLOCK AREAS REQUIRED AT PIPE FITTINGS IN GRAVEL-BELT-CLAY MIXTURE, SOIL TYPES* | | | | | | | | | |
|--|-------------|----------|----------|--------------|--------------|--------------------------|----------------------|---------------|--------|
| PIPE DIAMETER - INCHES | TEE OR PLUG | 90° BEND | 45° BEND | 22-1/2° BEND | 11-1/4° BEND | THRUST BLOCK AREA - S.F. | SOIL TYPE | SOIL TYPE | FACTOR |
| 4 - 6 | 2 | 2 | 2 | 2 | 2 | 1 | MUCK, PEAT | SOFT CLAY | 4.00 |
| 8 | 3 | 3 | 3 | 3 | 3 | 1 | SAND | SAND & GRAVEL | 2.00 |
| 10 | 4.5 | 4.5 | 4.5 | 4.5 | 4.5 | 1 | GRAVEL-BELT-CLAY MIX | SHALE | 1.00 |
| 12 | 6 | 6 | 6 | 6 | 6 | 1 | | | 0.40 |

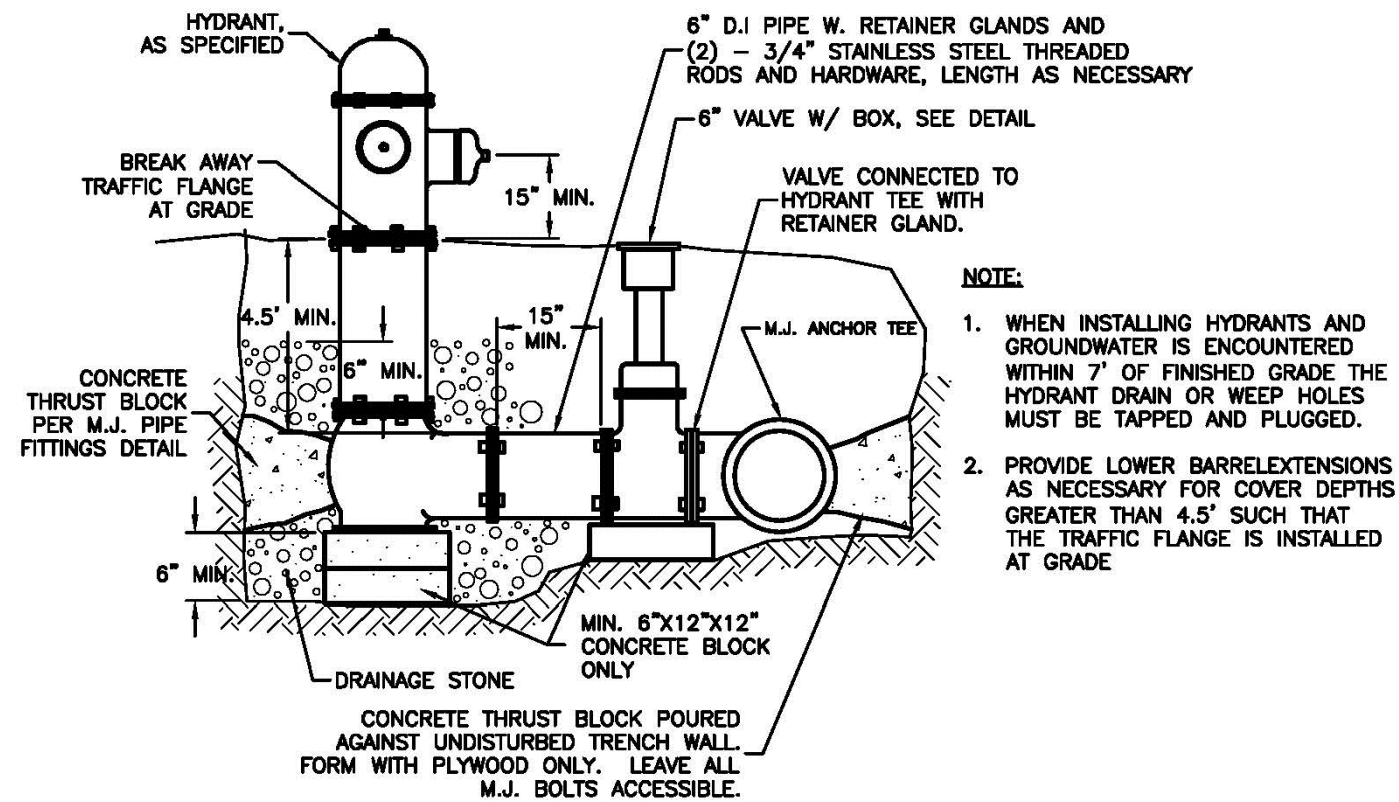
* SEE TABLE NO. 2 - MULTIPLY BY MODIFICATION FACTORS FOR OTHER SOIL TYPES.



THRUST BLOCK - NOT TO SCALE



SAMPLING TAP - NOT TO SCALE



HYDRANT - NOT TO SCALE

WARNING:
It is a violation of Section 7209, Subdivision 2 of the New York State Education Law for any person, unless he or she is working under the direction of a licensed engineer, to alter an item in any way. If an item bearing the seal of an engineer is altered, the altering engineer shall affix to the item his or her seal and the notation "altered by" followed by his or her signature, the date of such alteration, and a specific description of the alteration.

164 AUBURN ROAD PHASE 1
PROPOSED OFFICE BUILDING
LANSING NY, 14882

| | |
|------------|--|
| REVISION 6 | |
| REVISION 5 | |
| REVISION 4 | |
| REVISION 3 | |
| REVISION 2 | |
| REVISION 1 | |

| | |
|----------------|------------|
| PROJECT NUMBER | PB-SEE-164 |
| DATE | 5/27/2025 |
| SCALE | AS NOTED |

DRAWING TITLE
GRADING DRAINAGE AND UTILITY PLAN AND DETAILS

DRAWING NUMBER

C-105



CIARABBA ENGINEERING, PLLC
9864 Kingtown Road
Trumansburg, NY 14886
607-327-0578
www.sciarabbaengplus.com

WARNING:

It is a violation of Section 7209, Subdivision 2 of the New York State Education Law for any person, unless he or she is working under the direction of a licensed engineer, to alter an item in any way. If an item bearing the seal of an engineer is altered, the altering engineer shall affix to the item his or her seal and the notation "altered by" followed by his or her signature, the date of such alteration, and a specific description of the alteration.

164 AUBURN ROAD PHASE 1
PROPOSED OFFICE BUILDING
LANSING NY, 14882

REVISION 6 _____
REVISION 5 _____
REVISION 4 _____
REVISION 3 _____
REVISION 2 _____
REVISION 1 _____

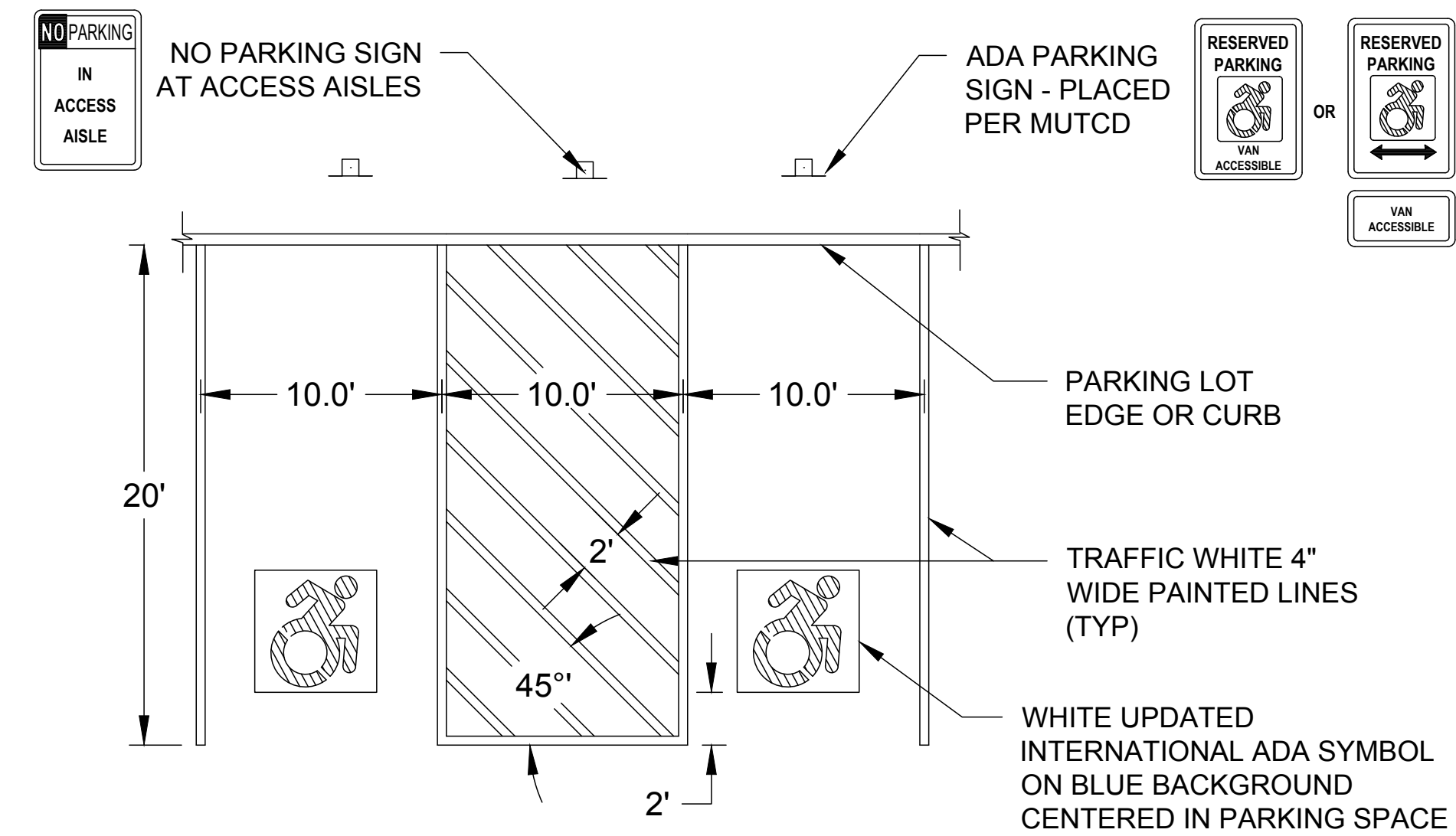
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| PROJECT NUMBER | PB-SEE-164 |
| DATE | 5/27/2025 |
| SCALE | AS NOTED |

DRAWING TITLE

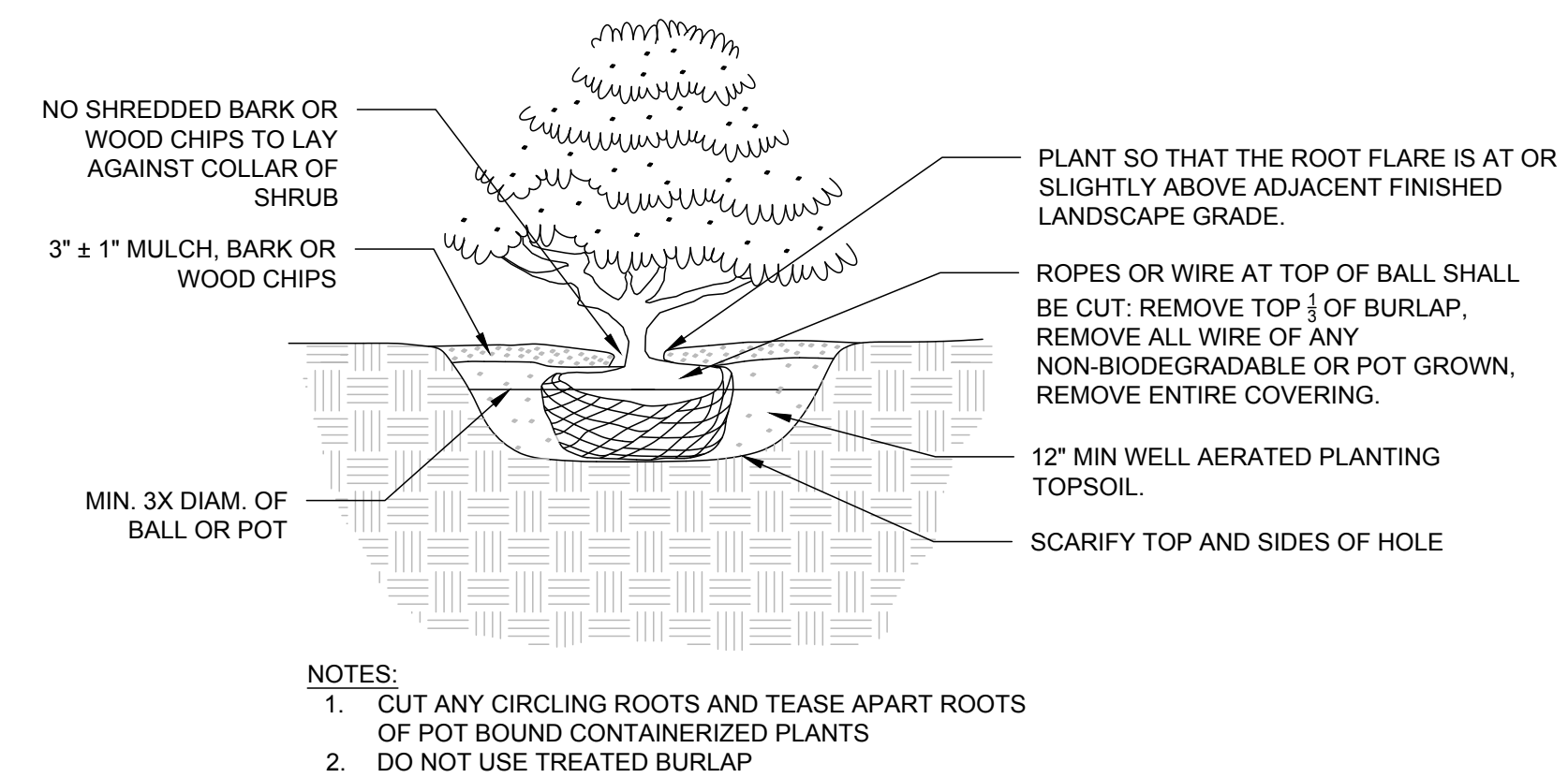
DETAILS

DRAWING NUMBER

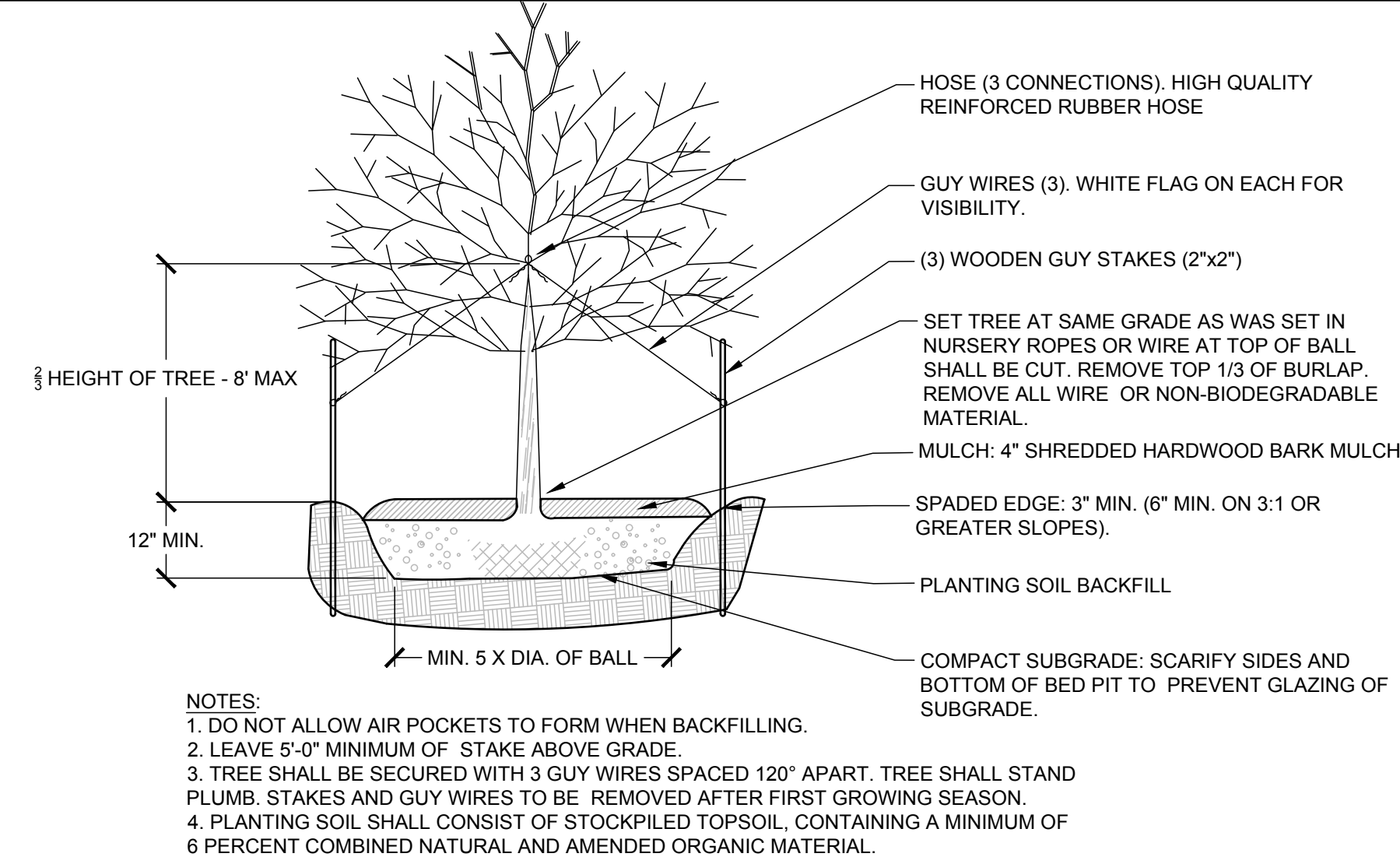
C-106



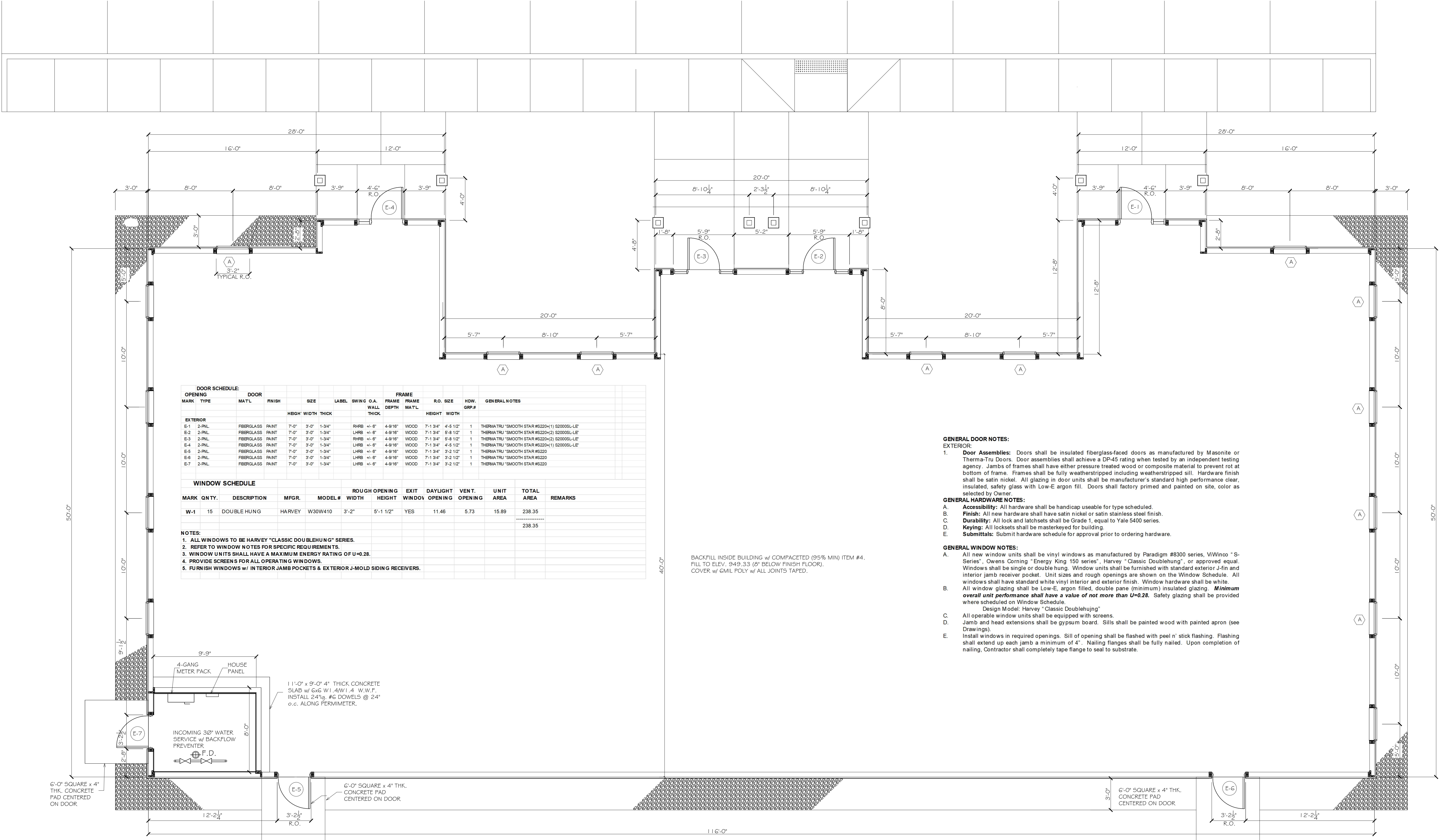
ADA PARKING AND SIGNAGE - NOT TO SCALE



SHRUB PLANTING - NOT TO SCALE



TREE PLANTING - NOT TO SCALE



- GENERAL DOOR NOTES:**
- EXTERIOR:
- Door Assemblies:** Doors shall be insulated fiberglass-faced doors as manufactured by Masonite or Thermo-Tru Doors. Door assemblies shall achieve a DP-45 rating when tested by an independent testing agency. Jambs of frames shall have either pressure treated wood or composite material to prevent rot at bottom of frame. Frames shall be fully weatherstripped including weatherstripped sill. Hardware finish shall be satin nickel. All glazing in door units shall be manufacturer's standard high performance clear, insulated, safety glass with Low-E argon fill. Doors shall factory primed and painted on site, color as selected by Owner.
- GENERAL HARDWARE NOTES:**
- Accessibility:** All hardware shall be handicap useable for type scheduled.
 - Finish:** All new hardware shall have satin nickel or satin stainless steel finish.
 - Durability:** All lock and latchesets shall be Grade 1, equal to Yale 5400 series.
 - Keying:** All locksets shall be masterkeyed for building.
 - Submittals:** Submit hardware schedule for approval prior to ordering hardware.
- GENERAL WINDOW NOTES:**
- All new window units shall be vinyl windows as manufactured by Paradigm #8300 series, ViWinco "S-Series", Owens Corning "Energy King 150 series", Harvey "Classic Doublehung", or approved equal. Windows shall be single or double hung. Window units shall be furnished with standard exterior J-in and interior jamb receiver pocket. Unit sizes and rough openings are shown on the Window Schedule. All windows shall have standard white vinyl interior and exterior finish. Window hardware shall be white.
 - All window glazing shall be Low-E, argon filled, double pane (minimum) insulated glazing. **Minimum overall unit performance shall have a value of not more than U=0.28.** Safety glazing shall be provided where scheduled on Window Schedule.
Design Model: Harvey "Classic Doublehung"
 - All operable window units shall be equipped with screens.
 - Jamb and head extensions shall be gypsum board. Sills shall be painted wood with painted apron (see Drawings).
 - Install windows in required openings. Sill of opening shall be flashed with peel n' stick flashing. Flashing shall extend up each jamb a minimum of 4". Nailing flanges shall be fully nailed. Upon completion of nailing, Contractor shall completely tape flange to seal to substrate.

FLOOR PLAN
1/4"= 1'-0"



5,472 S.F. PARKING FOR 20 CARS

PROPOSED OFFICE BUILDING
S.E.E. ASSOCIATES
164 AUBURN ROAD LANSING, NEW YORK 14882

GEORGE W. BREUHAUS, ARCHITECT
950 DANBY ROAD SUITE 220
ITHACA, NEW YORK 14850

TEL: 607-257-8348

PROJ.NO: 25 - 01

SCALE: AS NOTED

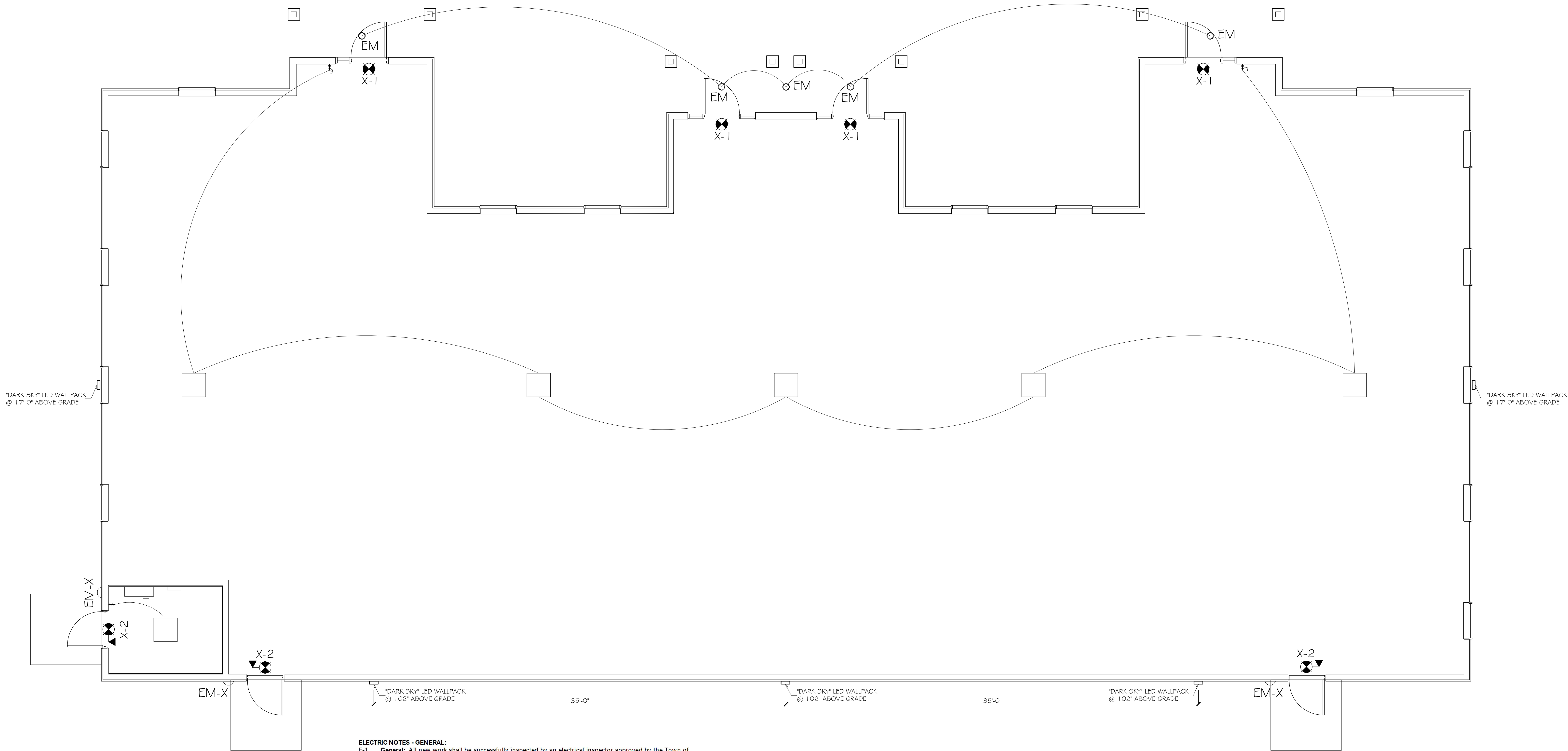
DRAWN: BREUHAUS

DATE: 27 MAY 2025

| NO. | REVISIONS | DATE |
|-----|-----------|------|
| 1 | | |

PROPOSED
FLOOR PLAN

A-1



- ELECTRIC NOTES - GENERAL:**
- E-1. **General:** All new work shall be successfully inspected by an electrical inspector approved by the Town of Lansing. Contact the Town for a list of approved inspectors. Contractor shall pay all necessary permit and inspection fees as part of this Project.
- E-2. **Service:** Incoming service shall be run underground from new power pole along street. Service shall be rated at 120/240V/1P/400A. Connect incoming conduits to a four -pole meter pack (600 amp capacity) with each pole capable of supplying 200 amperes to each load center. Provide each pole with 2-pole circuit breaker. House panel shall be rated for 100 amps. All other poles shall be supplied with 150 amp breaker. Meter pack shall be equal to Square D #MP64200. Provide 120/240V, 1P, 125A, 24 space main lug panel (Square D #QO124L125G) for "house" panel. Provide three (3) 120/240V, 1P, 150A, 30 space main circuit breaker (Square D #QO130M150) panels for use by Tenants. ALL panels shall have a typed directory, identifying all circuits installed, mounted on the interior of the panel access door.
- E-3. **Wiring Methods:** All service feed wiring be run underground in PVC conduit. Service feed wiring, above the floor level, shall be run in painted galvanized EMT or metal wireway. Wiring sizes shown on Drawings, or Schedules, are based on copper. Contractor may elect to use aluminum wire, for service feeds only, if wire size is properly upsized per NEC requirements. All branch wiring run in partitions or above suspended ceiling shall be run in MC-cable. All work boxes shall be metal.
- E-4. **Wiring Devices:** All wiring devices shall be commercial grade, equal to Pass and Seymour. Duplex receptacles shall be rated for 20 amps, minimum. Switches shall be commercial grade, type as shown on Drawings. GFI-type receptacles shall be installed where shown on Drawings. Color of devices and cover plates shall be as chosen by Owner. Generally, color shall match color of wall. Exterior cover plates shall be stainless steel.
- E-5. **Fire-proofing:** ALL PENETRATIONS IN FIRE-RATED WALLS SHALL BE SEALED WITH INTUMESCENT FIRE CAULK. FIRE CAULK SHALL BE THE PROPER TYPE FOR THE INTENDED USE AND SHALL HAVE BEEN SUCCESSFULLY TESTED BY AN INDEPENDENT TESTING AGENCY.
- E-6. **Interior Light Fixtures:** Supply and install light fixtures shown on Electric drawing. ALL SUBSTITUTIONS MUST BE APPROVED BY ARCHITECT PRIOR TO FINAL AGREEMENT OF CONTRACT PRICE. Refer to Drawings for switching requirements
- E-7. **Exterior Light Fixtures:** Supply and install light fixtures shown on Electric drawing. All exterior light fixtures shall be controlled by a 7-day programmable time clock. Time clock shall automatically compensate for time changes, and allow for different time patterns per day.
- E-8. **Incoming Data/Phone Service:** Incoming service shall be run underground from existing power pole along street. Provide two (2) 2" diameter (verify size with phone and data supplier) PVC conduit from pole to Mechanical Room in southwest corner of building.
- E-9. **Equipment Hook-ups:** Refer to Drawings and Specific Electric Notes for all equipment requirements. Generally, provide power connections for the following:
- a. Electric Baseboard: Provide 120V Q-mark 2513W series unit (3'-0" lg.) where shown on Drawings. Provide thermostat and dedicated circuit for baseboard.

LIGHT SYMBOL LEGEND

- NEW 24" x 24" FLAT PANEL LAY-IN L.E.D. LIGHT FIXTURE w/ ADJUST. WATTAGE & COLOR
- NEW RECESSED L.E.D. LIGHT w/ LENSE & EMERGENCY BACK-UP.
- NEW SURFACE MOUNT L.E.D. EMERGENCY WALL-PACK.
- DARK SKY L.E.D. WALL-PACK
- NEW EXIT LIGHT w/ EMERG. LT. WHERE SHOWN, w/ 90 MIN. BATTERY BACKUP
- EMERGENCY LIGHT w/ 90 MIN. BATTERY BACKUP

ELECTRICAL SYMBOL LEGEND

- DUPLEX RECEPTACLE w/ HEIGHT IF NOTED
- QUAD. RECEPTACLE w/ HEIGHT IF NOTED
- 240 VOLT RECEPTACLE
- GFI GROUND FAULT RECEPTACLE
- SINGLE POLE SWITCH
- THREE WAY SWITCH
- COMBINATION TELEPHONE & DATA BOX w/ # of PORTS SHOWN.

ELECTRICAL - POWER & LIGHTING PLAN

1/4" = 1'-0"

| | | | | | |
|--|-------------------|---|-----|-----------|---|
| PROPOSED OFFICE BUILDING S.E.E. ASSOCIATES 164 AUBURN ROAD LANSING, NEW YORK 14882 | PROJ.NO: 25 - 01 | | | | ELECTRICAL POWER & LIGHTING PLAN E-1 |
| | SCALE: AS NOTED | | | | |
| | DRAWN: BREUHAUS | | | | |
| | DATE: 27 MAY 2025 | | | | |
| GEORGE W. BREUHAUS, ARCHITECT 950 DANBY ROAD SUITE 220 ITHACA, NEW YORK 14850 | TEL: 607-257-8348 | 1 | NO. | REVISIONS | DATE |