

9-24-2025 REVISED SITE PLAN SUBMISSION

164 AUBURN ROAD

PROPOSED OFFICE BUILDING

S.E.E. ASSOCIATES HOLDINGS, LLC
2415 N. Triphammer Road Suite 9 Ithaca, New York 14850

SCARABBA
engineering+design

SCARABBA ENGINEERING, PLLC
9004 Kingtown Road
Trumansburg, NY 14886
607-567-0078
www.sciarabbaengplus.com



GEORGE W. BREUHAUS, ARCHITECT
950 DANBY ROAD SUITE 220
ITHACA, NEW YORK 14850

DRAWING LIST

GENERAL

G-001 COVER SHEET

CIVIL

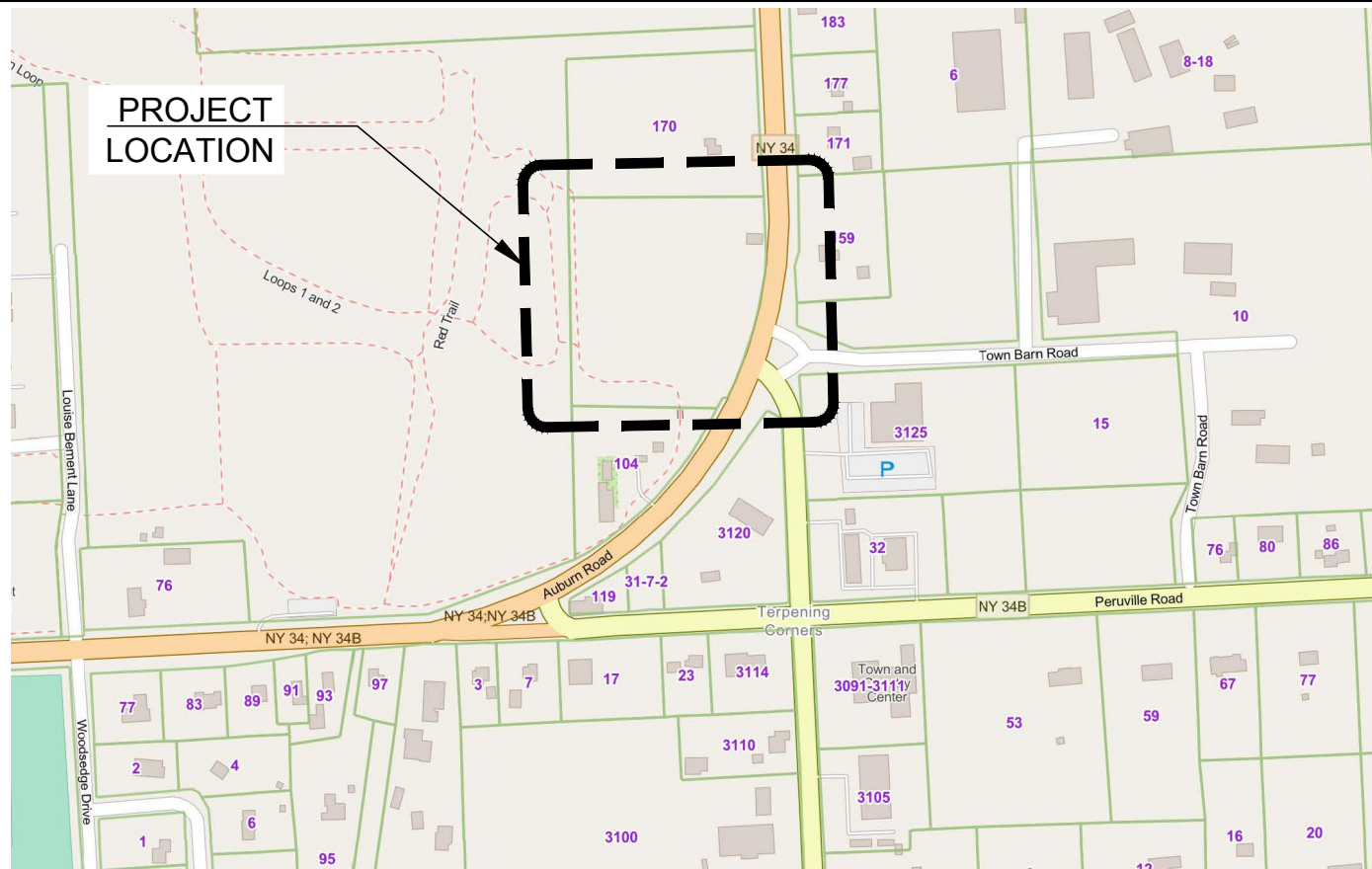
C-101 EXISTING CONDITIONS PLAN
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C-104 DEMOLITION AND EROSION AND SEDIMENT CONTROL PLAN AND DETAILS
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PHOTOMETRIC PLAN

164 AUBURN ROAD
PROPOSED OFFICE BUILDING
LANSING NY, 14882

PROJECT LOCATION PLAN

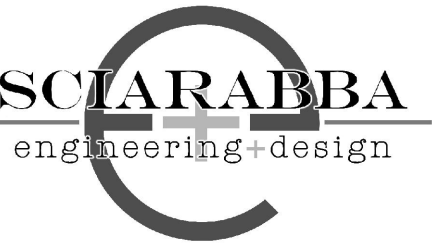


PROJECT INFORMATION

DATE: 9/24/2025
JOB NUMBER: PB-SEE-164
APPLICANT: S.E.E. ASSOCIATES HOLDINGS, LLC
APPLICANT ADDRESS: 2415 N. TRIPHAMMER ROAD SUITE 9, ITHACA,NY 14850
APPLICANT PHONE: 607-227-8695
APPLICANT EMAIL: EEISENHUT20@GMAIL.COM
PROJECT ADDRESS: 164 AUBURN ROAD, LANSING, NY 14882
PARCEL INFORMATION: TAX MAP NO. 31.-1-15.21 5.62 ACRES TO HIGHWAY BOUNDS

DRAWING NUMBER

G-001



SCLARABBA ENGINEERING, PLLC
6664 Kingstons Road
Trumansburg, NY 14886
607-387-0078
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164 AUBURN ROAD PROPOSED OFFICE BUILDING

LANSING NY, 14882

REVISION 6	
REVISION 5	
REVISION 4	
REVISION 3	
REVISION 2	
REVISION 1	9/24/2025

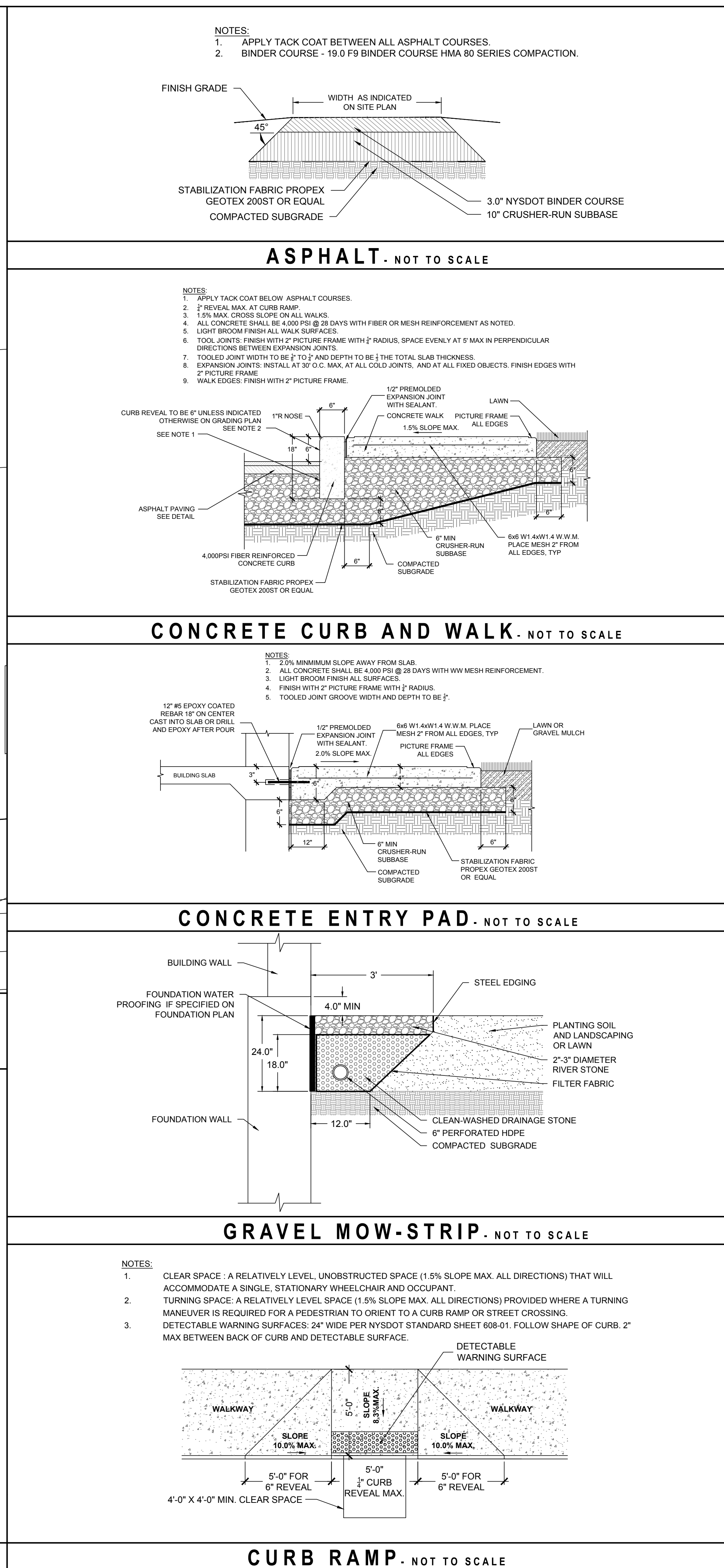
PROJECT NUMBER	PB-SEE-164
DATE	5/27/2025
SCALE	1"=30'

DRAWING TITLE

EXISTING
CONDITIONS
PLAN

DRAWING NUMBER

C-101

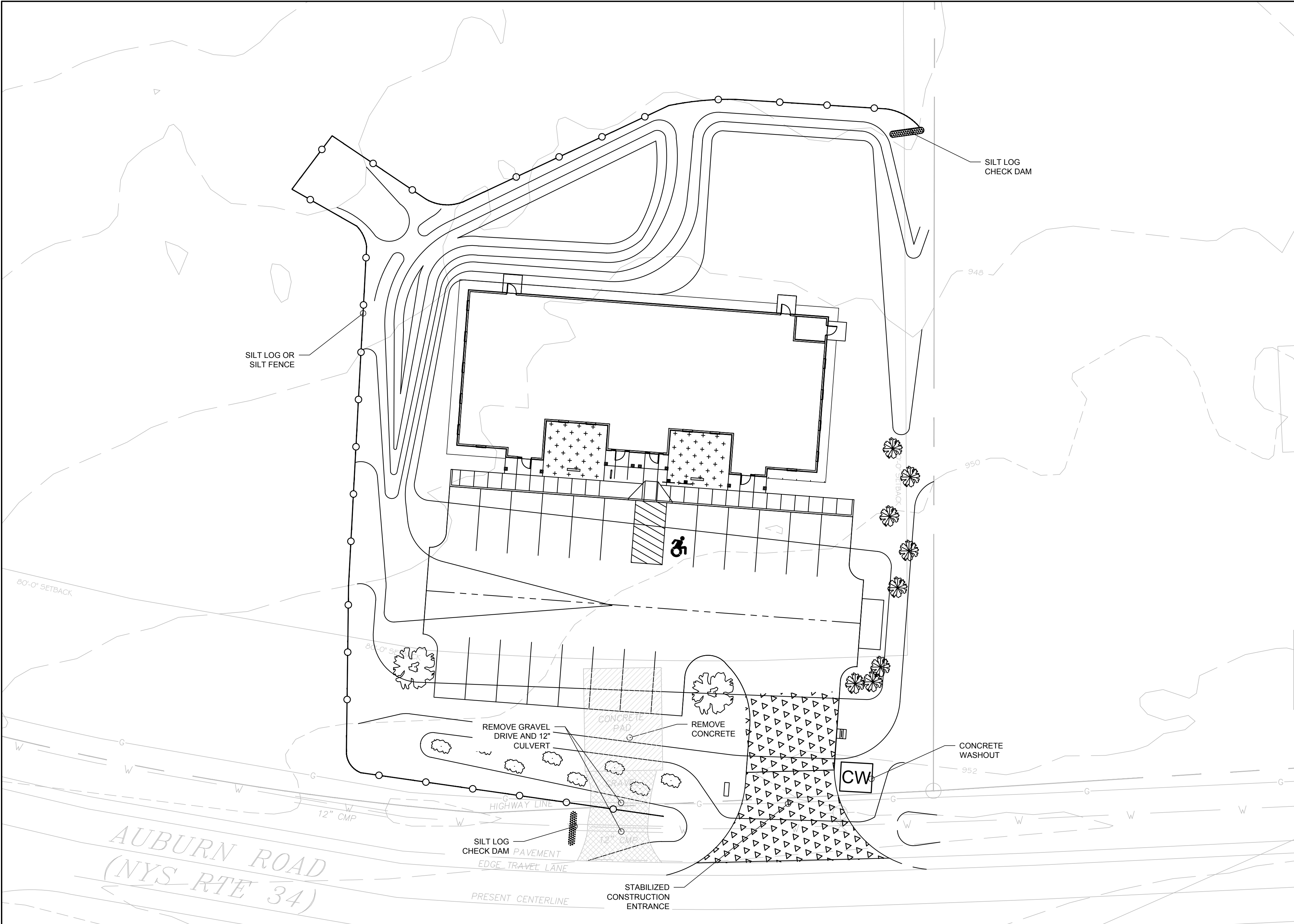


SITE PLAN SCALE: 1"=20'		
PER TOWN OF LANSING ZONING CHAPTER 270	ALLOWED	PROPOSED
IR - INDUSTRIAL/RESEARCH		
LAND USE PERMITTED	PROFESSIONAL OR BUSINESS OFFICE (NOT IN A HOME)*	PROFESSIONAL OR BUSINESS OFFICE (NOT IN A HOME)*
BUILDING TYPE	ALL	NON-RESIDENTIAL
MINIMUM LOT AREA	NONE	244,807 SF (5.62 ACRES)
MINIMUM ROAD FRONTAGE	50 FEET	560.27 FEET
MINIMUM YARD SETBACK - CENTERLINE ROAD	80 FEET	80 FEET
MINIMUM YARD SETBACK - SIDE	10 FEET**	10 FEET EACH
MINIMUM YARD SETBACK - REAR	10 FEET**	10 FEET
MAXIMUM BUILDING HEIGHT	35 FEET	21 FEET
MINIMUM OPEN SPACE (EXCL BLDGS, PKG, SERVICE)	20%	227,076 SF = 92.7%.
PARKING REQUIREMENTS	NO MINIMUM	20 SPACES
* ALLOWED WITH SITE PLAN APPROVAL		
** SMALLER SETBACKS ALLOWED WITH SITE PLAN APROVAL		

Diagram Labels:

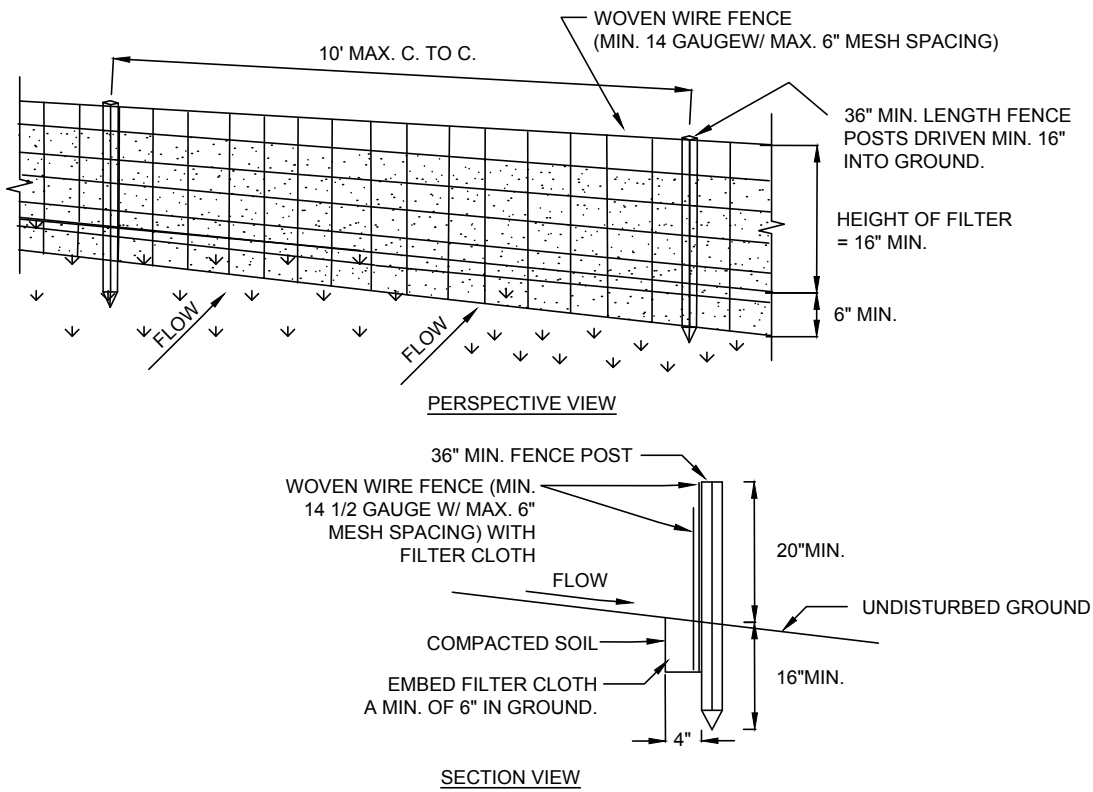
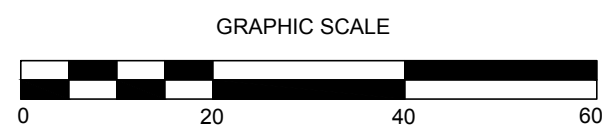
- NO PARKING SIGN AT ACCESS AISLES
- ADA PARKING SIGN - PLACED PER MUTCD
- PARKING LOT EDGE OR CURB
- TRAFFIC WHITE 4" WIDE PAINTED LINES (TYP)
- WHITE UPDATED INTERNATIONAL ADA SYMBOL ON BLUE BACKGROUND CENTERED IN PARKING SPACE

ZONING ANALYSIS	ADA PARKING AND SIGNAGE - NOT TO SCALE
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DEMOLITION AND EROSION AND SEDIMENT CONTROL PLAN

SCALE: 1"=20'

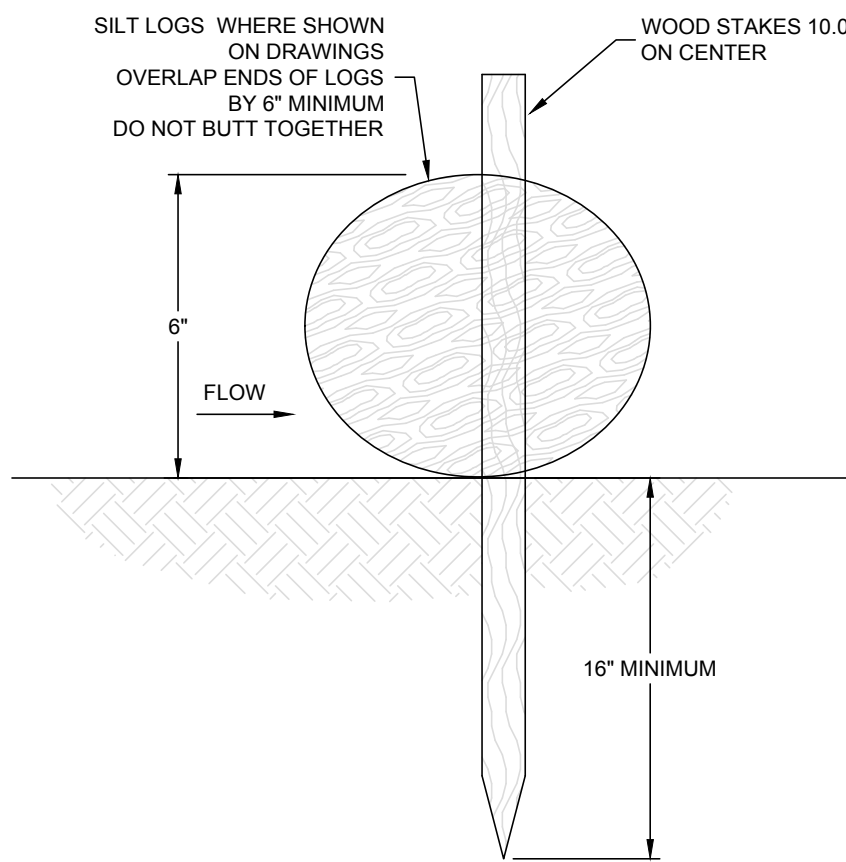


NOTES

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "1" OR "1/2" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING. CLOTH SHALL BE EITHER MIRA1 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
- PREFABRICATED UNITS SHALL BE GEOPAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS,
NEW YORK STATE DEPARTMENT OF TRANSPORTATION,
NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION,
NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

SILT FENCE - NOT TO SCALE



SILT LOG - NOT TO SCALE

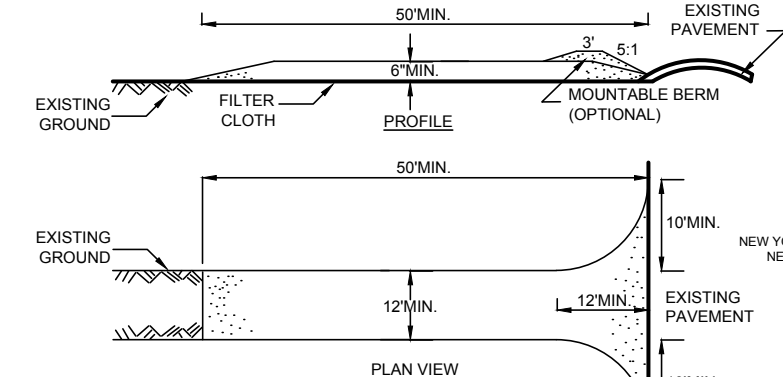
EROSION AND SEDIMENT CONTROL NOTES:

- PRIOR TO THE START OF CONSTRUCTION AND UNTIL ALL DISTURBED AREAS ARE STABILIZED, ALL EROSION AND SEDIMENT CONTROL MEASURES, AS SHOWN ON THE SITE PLAN AND AS OTHERWISE REQUIRED, SHALL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR, AND SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENTATION CONTROL.
- DISTURBED AREAS SHALL BE SEEDED AND MULCHED WITH CLEAN STRAW AS OUTLINED IN THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENTATION CONTROL.
- BARE SOILS SHALL BE MULCHED WITH STRAW AT A RATE OF TWO TONS PER ACRE WITHIN 14 DAYS OF EXPOSURE. IF CONSTRUCTION ON AN AREA IS SUSPENDED, THE AREA SHALL BE SEEDED IMMEDIATELY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE STREET PAVEMENT AREAS CLEAN OF DIRT AND DEBRIS.
- AS SEDIMENT ACCUMULATES TO THE DEPTH OF THE SILT FENCE LOGS AND CHECK DAMS, SEDIMENT SHALL BE REMOVED AS OUTLINED IN THE NYS GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL.
- THE CONTRACTOR & ITS SUBCONTRACTORS ARE RESPONSIBLE FOR MEANS & METHODS OF EROSION CONTROL FACILITIES DURING CONSTRUCTION. IT SHOULD BE NOTED THAT FACILITIES ON THIS DRAWING ARE CONSIDERED MINIMUM & ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS CONSTRUCTION PROGRESSES. THE CONTRACTOR & ITS SUBCONTRACTORS ARE RESPONSIBLE FOR ANY ADDITIONAL MEASURES DEEMED NECESSARY BY THE ENGINEER, TOWN, OR NYSDOT.
- PROVIDE EROSION CONTROL MEASURES AS NOTED ON THE PLANS AND AS OTHERWISE REQUIRED TO PREVENT EROSION AND SEDIMENTATION ONTO ADJOINING PROPERTIES, STREETS, WATERWAYS, AND ON SITE IMPROVEMENTS BEYOND THE LIMITS OF WORK. COMPLY WITH THE LATEST ISSUE OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL" AND THE NYSDOT'S "REDUCING THE IMPACTS OF STORMWATER RUNOFF FROM NEW DEVELOPMENT".
- MAINTENANCE - THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROLS ON A WEEKLY BASIS AND AFTER ALL STORMS (2" RAINFALL OR GREATER) INCLUDING BUT NOT LIMITED TO THE FOLLOWING: ADDING CLEAN STONE TO THE STABILIZED CONSTRUCTION ENTRANCE, REPLACING DAMAGED OR SILTED IN SILT FENCE LOGS, OR CHECK DAMS AND STABILIZING ERODED OR WASHED OUT SLOPED AREAS.
- CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES UNTIL CONSTRUCTION IS COMPLETE, LAWNS HAVE BECOME ESTABLISHED TO 80% VEGETATIVE COVER AND ALL SOURCES OF EROSION HAVE BEEN PERMANENTLY STABILIZED.
- CONTRACTOR SHALL PROVIDE DUST CONTROL IN ACCORDANCE WITH THE LATEST ISSUE OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL."

SEQUENCE OF CONSTRUCTION:

- INSTALL STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE, SILT LOGS, AND CHECK DAMS, AS SHOWN ON PLAN PRIOR TO BEGINNING EARTHWORK OPERATIONS.
- REMOVE ALL TREES, STUMPS, AND BRUSH PRIOR TO BEGINNING EARTHWORK OPERATIONS.
- STRIP AND STOCKPILE TOPSOIL.
- SURROUND ALL STOCKPILE AREAS WITH SILT FENCE.
- INSTALL CONCRETE WASHOUT.
- COMPLETE SITE AND UTILITY IMPROVEMENTS.
- FINE GRADE, SEED, AND MULCH ALL DISTURBED LAWN AREAS WITHIN FOURTEEN (14) DAYS OF DISTURBANCE.
- REMOVE STABILIZED CONSTRUCTION ENTRANCE, TEMPORARY SILT FENCE, SILT LOGS AND CHECK DAMS ONLY AFTER SITE IS COMPLETELY STABILIZED AND ALL DISTURBED LAWN AREAS HAVE ACHIEVED 80% VEGETATIVE GROWTH.

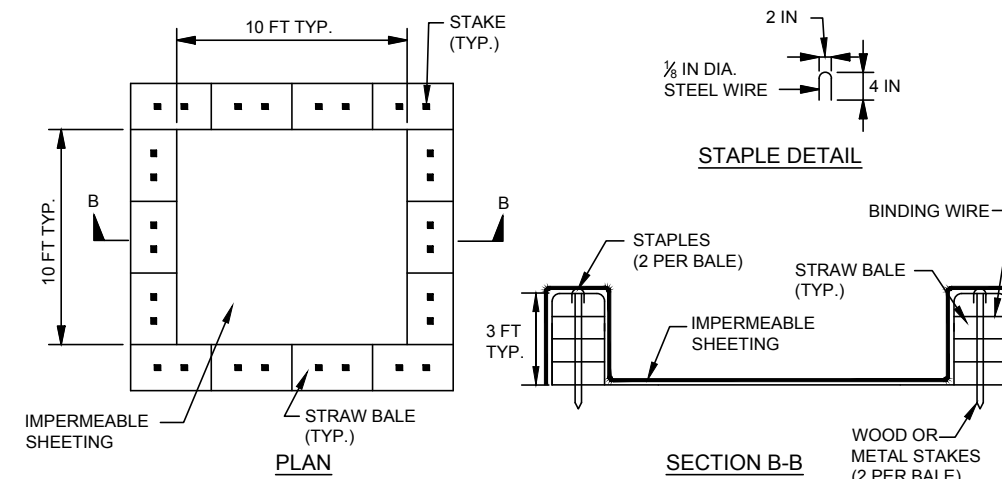
EROSION AND SEDIMENT CONTROL NOTES - NOT TO SCALE



NOTES

- STONE SIZE - USE 1.4 INCH CRUSHED ANGULAR STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

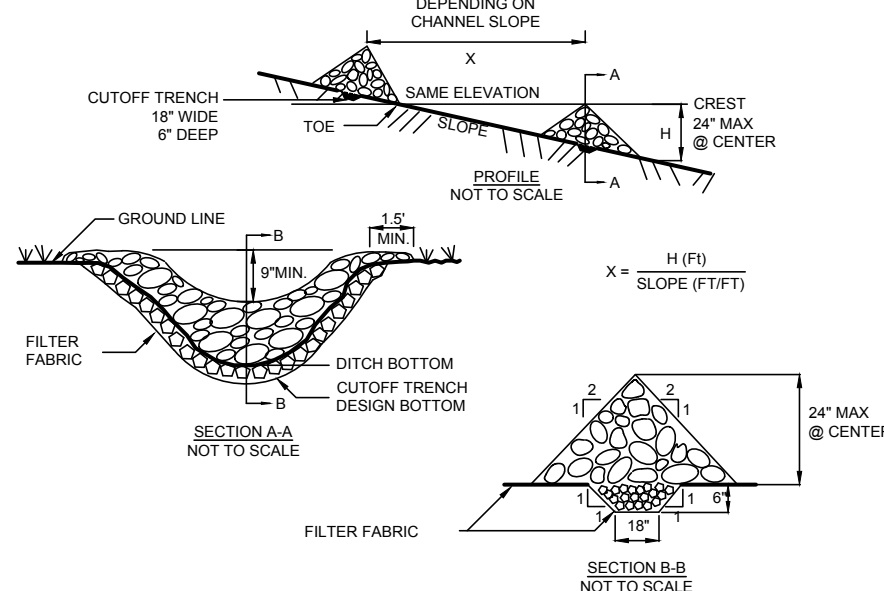
STABILIZED CONSTRUCTION ENTRANCE - NOT TO SCALE



CONSTRUCTION NOTES

- LOCATE WASHOUT STRUCTURE A MINIMUM OF 100 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERES AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
- SIZE WASHOUT STRUCTURE FOR VOLUME NECESSARY TO CONTAIN WASH WATER, SOLIDS AND RAINFALL AND MAINTAIN AT LEAST 4 INCHES OF FREEBOARD. TYPICAL DIMENSIONS ARE 10 FEET X 10 FEET X 3 FEET DEEP.
- PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
- PROVIDE A SIGN FOR THE WASHOUT IN CLOSE PROXIMITY TO THE FACILITY.
- KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED), EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. PRIOR TO FORECASTED RAINSTORMS, REMOVE LIQUIDS OR COVER STRUCTURE TO PREVENT OVERFLOWS. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL, OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.
- DURABLE PORTABLE CONCRETE WASHOUT BASINS OR TUBS MAY BE USED WITH THE APPROVAL OF THE EROSION CONTROL INSPECTOR.

CONCRETE WASHOUT - NOT TO SCALE



NOTES

- STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES. GRADES AND LOCATIONS SHOWN IN THE PLAN.
- SET SPACING OF CHECK DAMS TO ASSURE THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
- EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
- PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
- ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONE. MAXIMUM DRAINAGE AREA 2 ACRES.

ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS,
NEW YORK STATE DEPARTMENT OF TRANSPORTATION,
NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION,
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STONE CHECK DAM - NOT TO SCALE

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164 AUBURN ROAD PROPOSED OFFICE BUILDING LANSING NY, 14882

REVISION 6	
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REVISION 3	
REVISION 2	
REVISION 1	9/24/2025

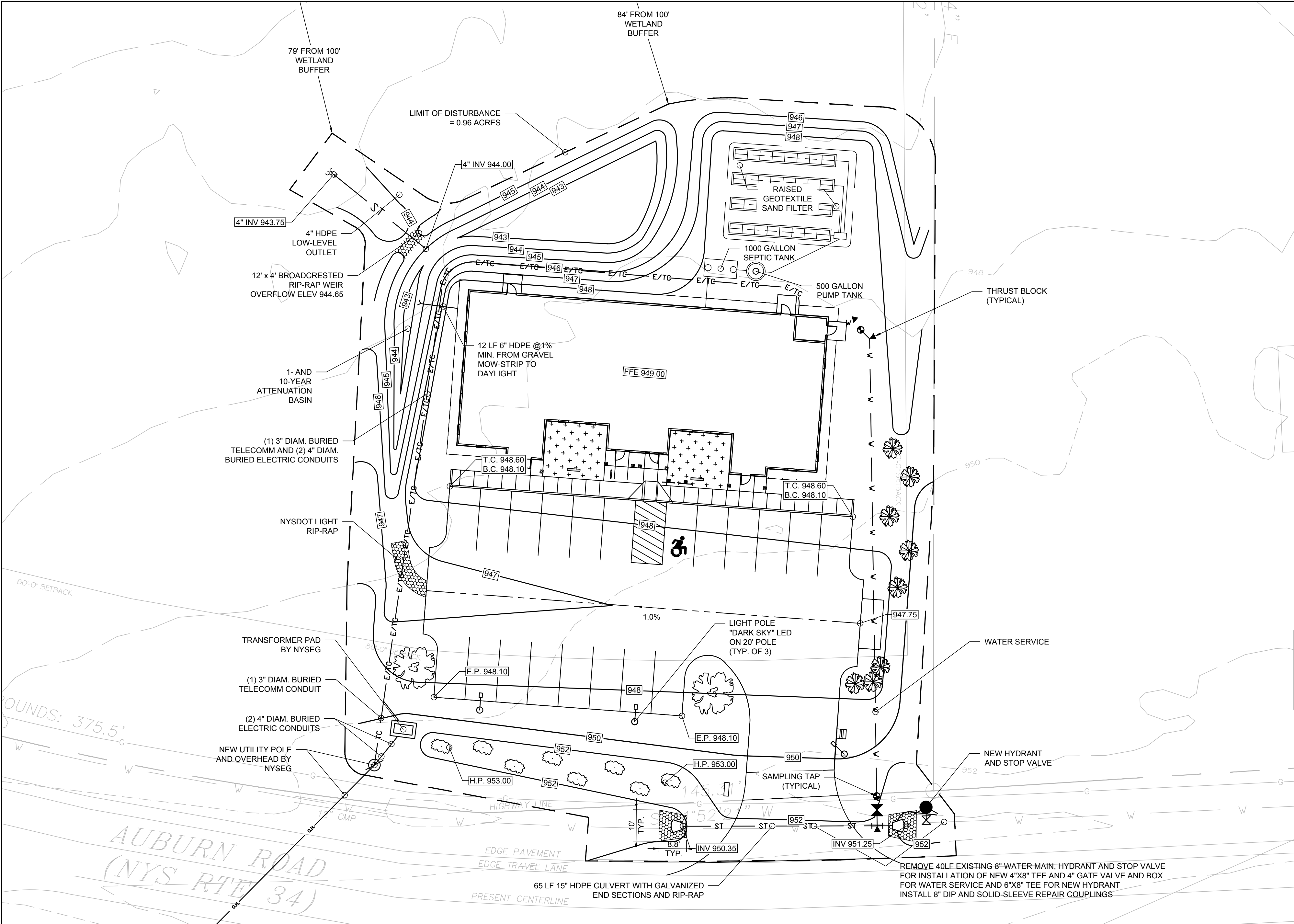
PROJECT NUMBER	PB-SEE-164
DATE	5/27/2025
SCALE	AS NOTED

DRAWING TITLE

DEMOLITION AND EROSION AND SEDIMENT CONTROL PLAN AND DETAILS

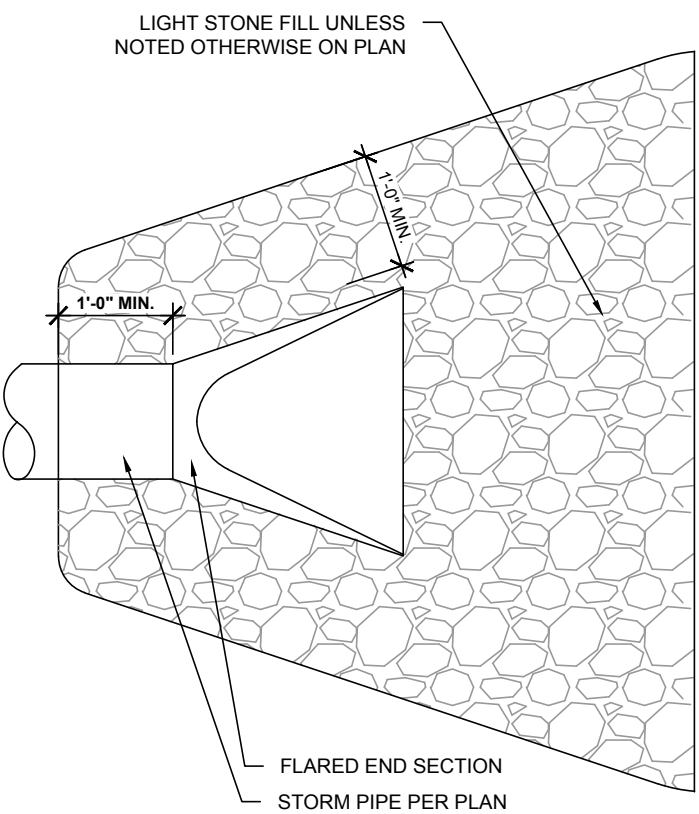
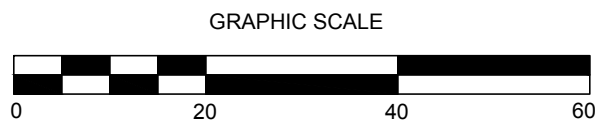
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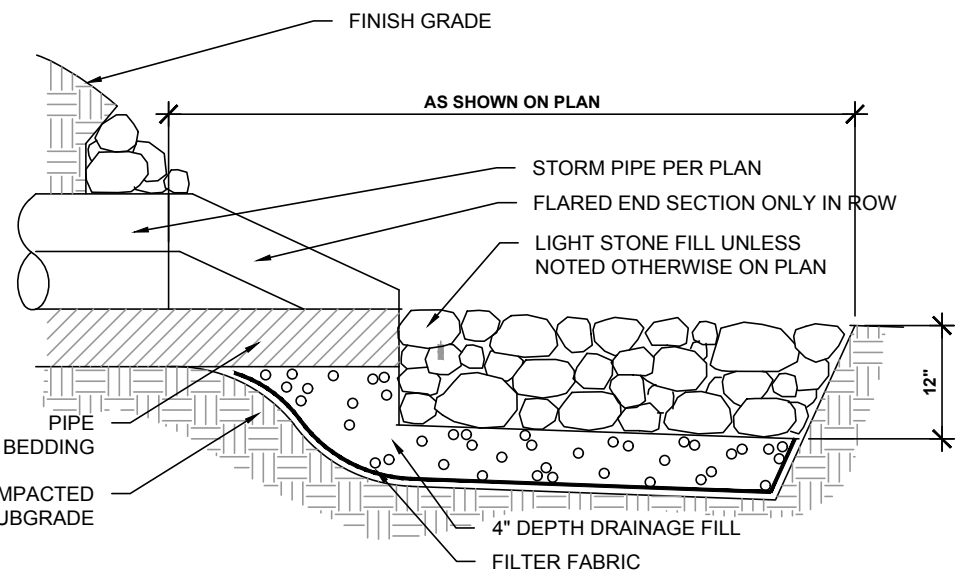


GRADING DRAINAGE AND UTILITY PLAN

SCALE: 1"=20'



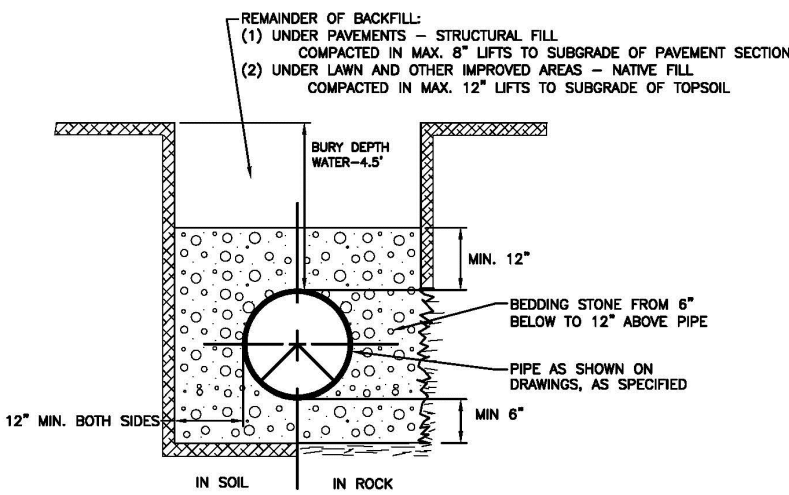
PLAN



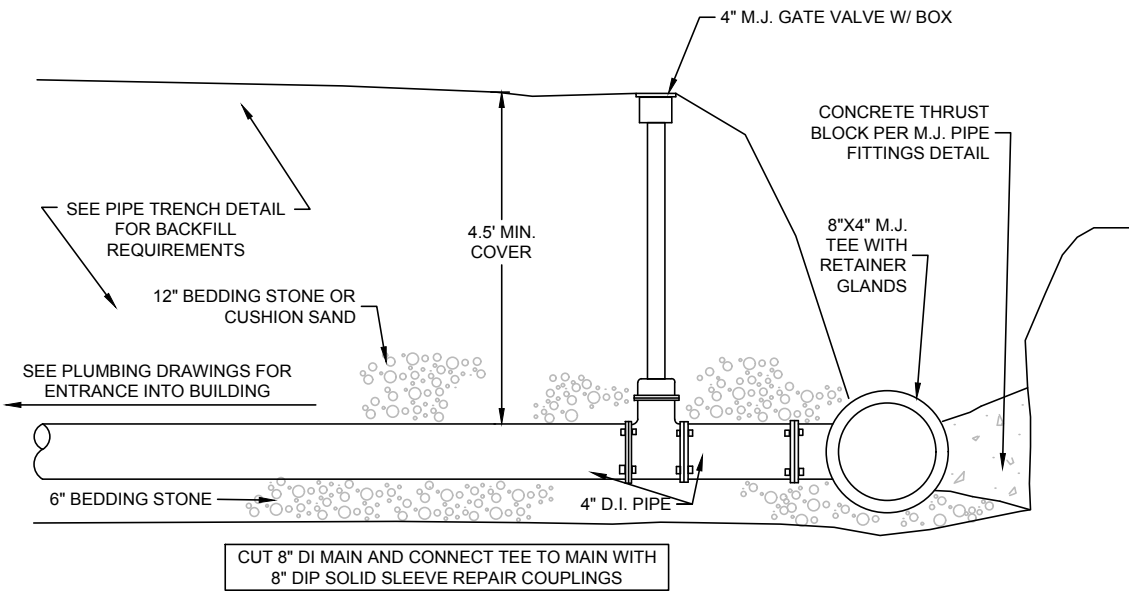
SECTION

- NOTES:
1. FLARED END SECTION SHALL BE CONSTRUCTED OF GALVANIZED STEEL OR ALUMINUM WITH SAFETY BAR SYSTEM ON END SECTIONS 15' OR LARGER.
 2. RIP RAP STONE SHALL BE ANGULAR LIMESTONE AND MEET THE FOLLOWING NYSDOT SPECIFICATIONS FOR:
620.03 LIGHT STONE FILL
620.04 MEDIUM STONE FILL
620.05 HEAVY STONE FILL

RIP-RAP OUTLET PROTECTION - NOT TO SCALE



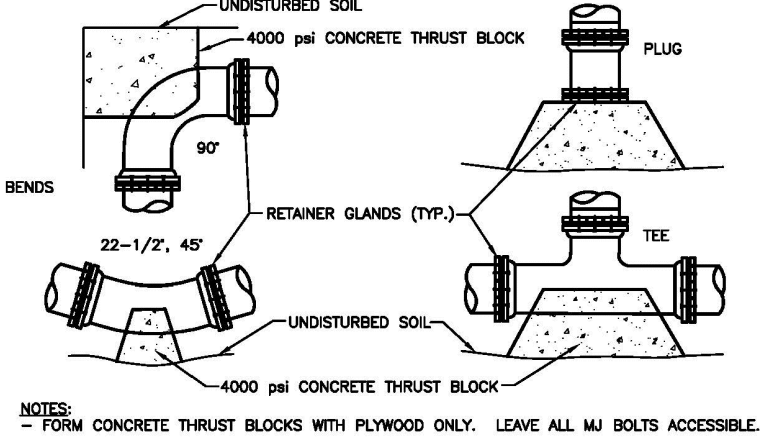
TRENCH - NOT TO SCALE



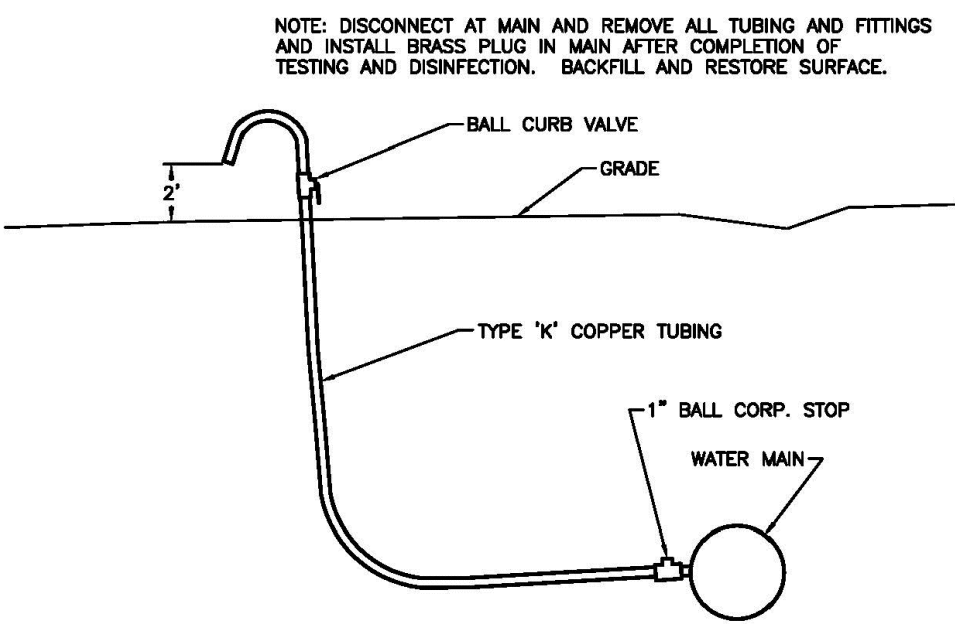
CUT-IN TEE - NOT TO SCALE

TABLE NO. 1 MINIMUM THRUST BLOCK AREAS REQUIRED AT PIPE FITTINGS IN GRAVEL-BELT-CLAY MIXTURE SOIL TYPES*					
PIPE DIAMETER - INCHES	TEE OR PLUG	90° BEND	45° BEND	12-1/2° BEND	11-1/4° BEND
4 - 6	2	2	2	1	1
8	3	3	3	2	1
10	4.5	6	3	2	1
12	6	8	4	2	1

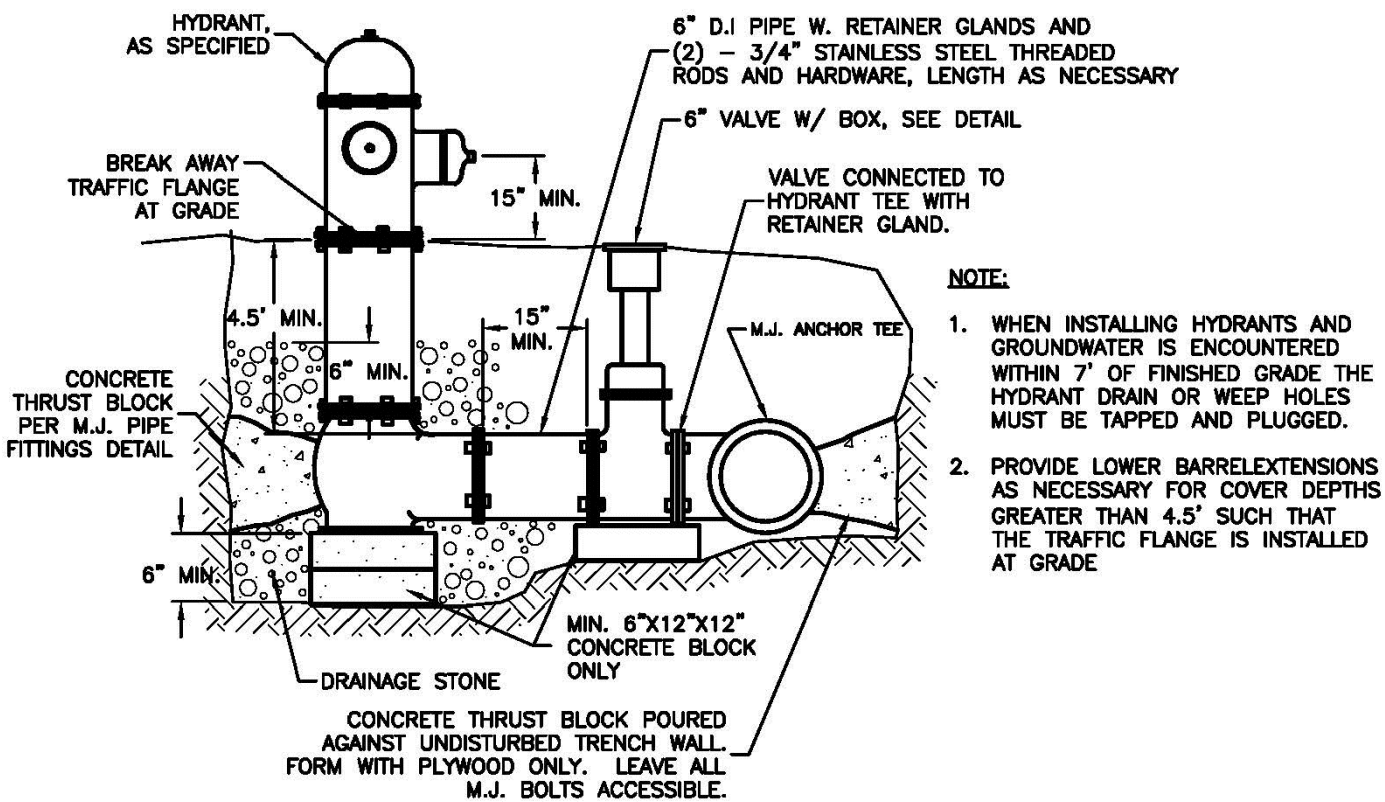
* SEE TABLE NO. 2 - MULTIPLY BY MODIFICATION FACTORS FOR OTHER SOIL TYPES.



THRUST BLOCK - NOT TO SCALE



SAMPLING TAP - NOT TO SCALE



HYDRANT - NOT TO SCALE

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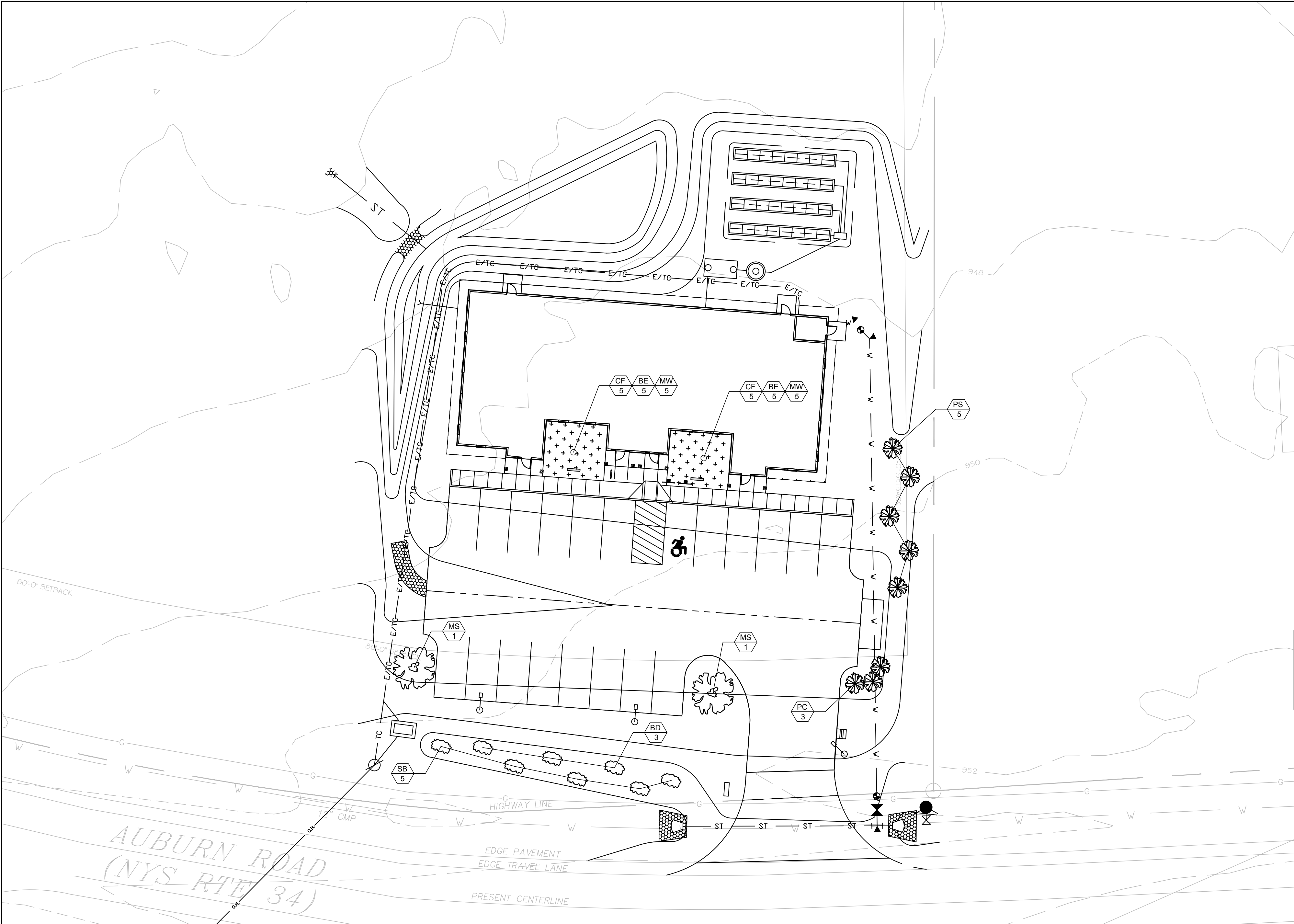
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GRADING DRAINAGE AND UTILITY PLAN AND DETAILS

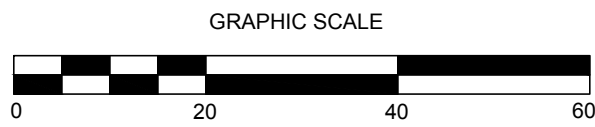
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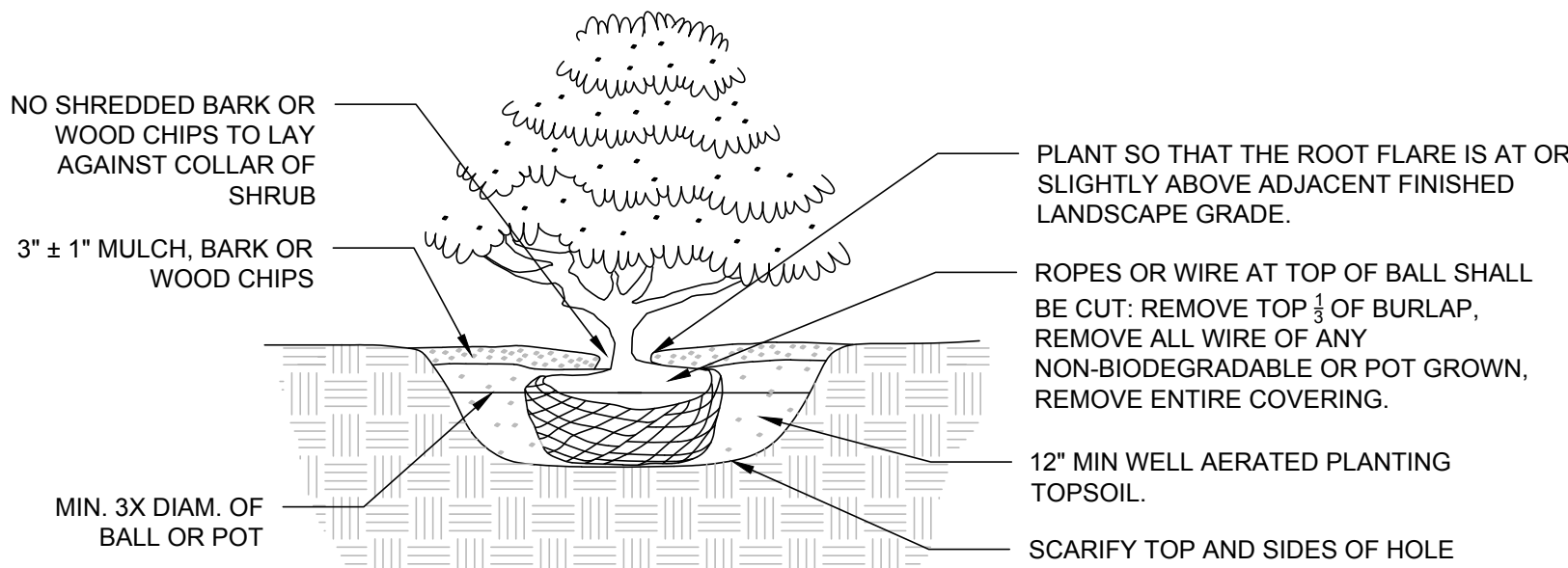
PLANTING PLAN

SCALE: 1"=20'



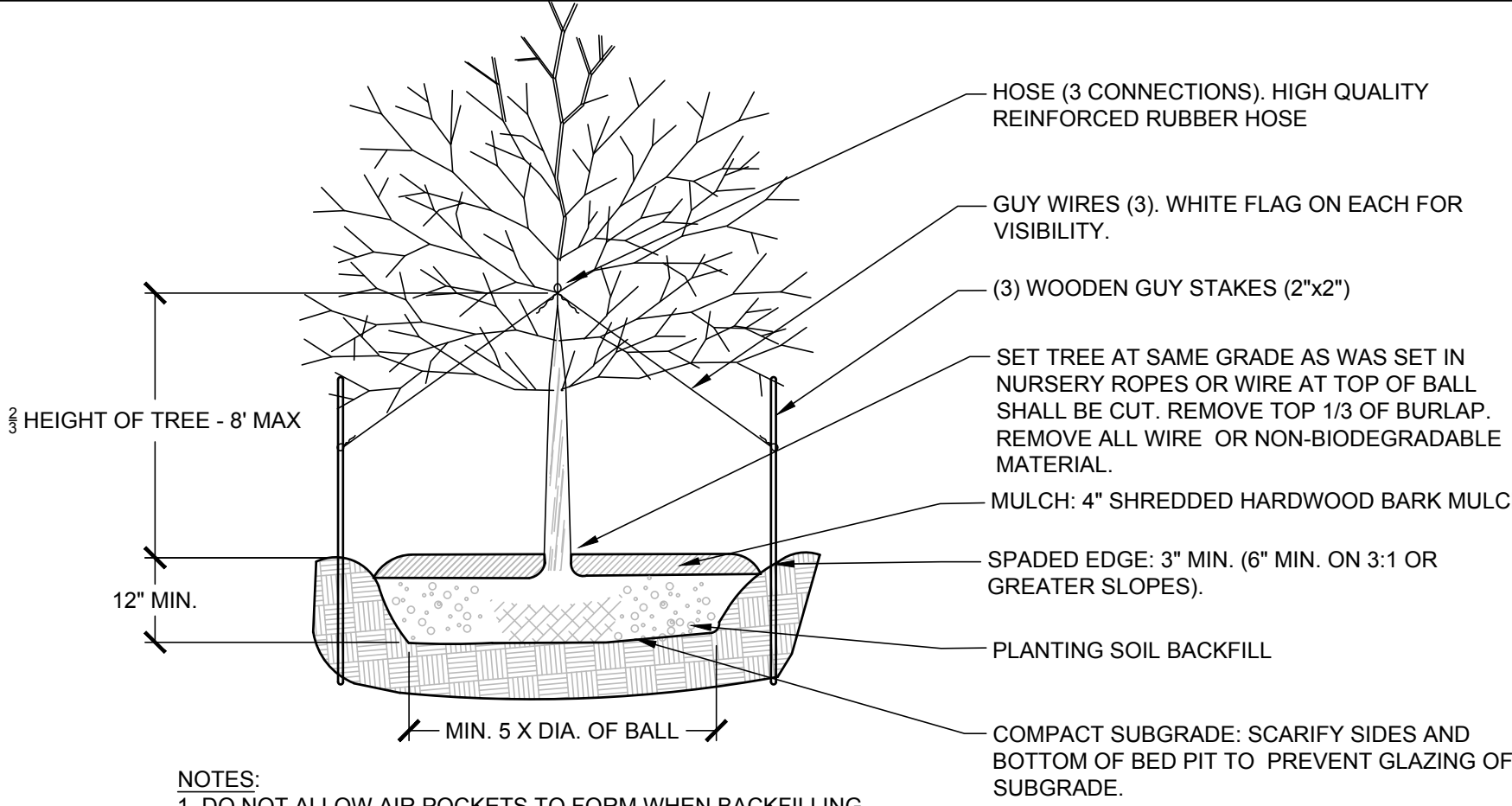
PLANT SCHEDULE			
KEY	NO.	BOTANICAL NAME	COMMON NAME/CULTIVAR
SMALL CONIFEROUS TREES			
PC	3	PICEA GLAUCA CONICA	DWARF ALBERTA SPRUCE
PS	5	PINUS STROBUS NANA	DWARF WHITE PINE
SMALL DECIDUOUS TREES			
MS	2	MALUS SYLVESTRIS	FLOWERING CRAB APPLE
SHRUBS			
SB	5	SPIRAEA BETULIFOLIA	SPIREA
BD	3	BUDDLEJA DAVIDII	BUTTERFLY BUSH
PERENNIALS			
CF	10	ECHINACEA	CONEFLOWER
BE	10	RUDBECKIA	BLACK EYED SUSANS
MW	10	ASCLEPIAS	BUTTERFLY MILKWEED

PLANT SCHEDULE - NOT TO SCALE



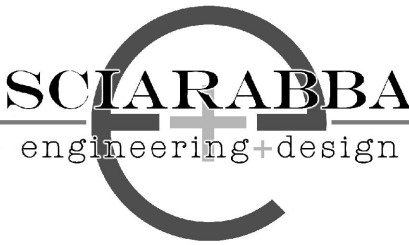
- NOTES:
- CUT ANY CIRCLING ROOTS AND TEASE APART ROOTS OF POT BOUND CONTAINERIZED PLANTS
 - DO NOT USE TREATED BURLAP

SHRUB PLANTING - NOT TO SCALE



- NOTES:
- DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
 - LEAVE 5'-0" MINIMUM OF STAKE ABOVE GRADE.
 - TREE SHALL BE SECURED WITH 3 GUY WIRES SPACED 120° APART. TREE SHALL STAND PLUMB. STAKES AND GUY WIRES TO BE REMOVED AFTER FIRST GROWING SEASON.
 - PLANTING SOIL SHALL CONSIST OF STOCKPILED TOPSOIL, CONTAINING A MINIMUM OF 6 PERCENT COMBINED NATURAL AND AMENDED ORGANIC MATERIAL.

TREE PLANTING - NOT TO SCALE



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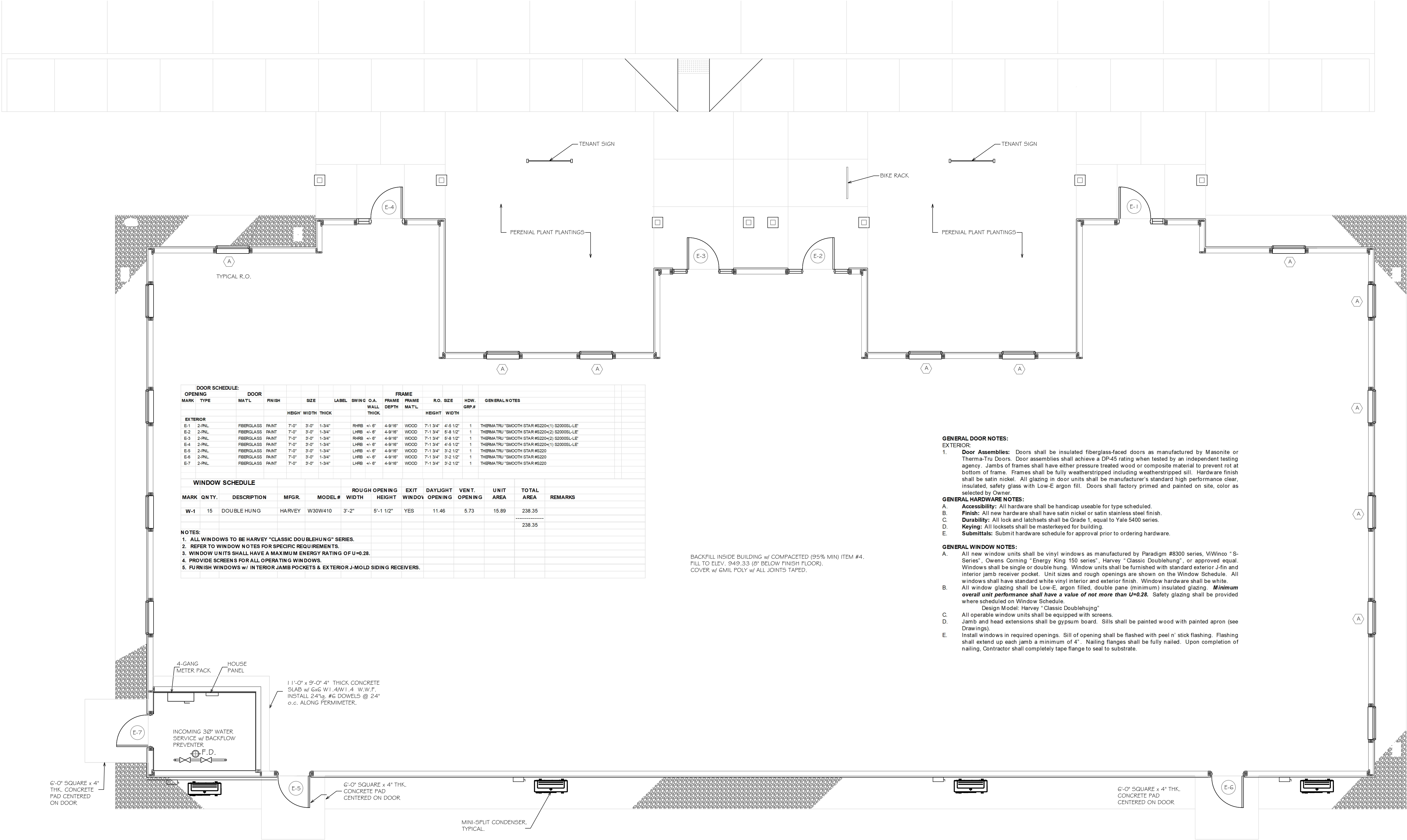
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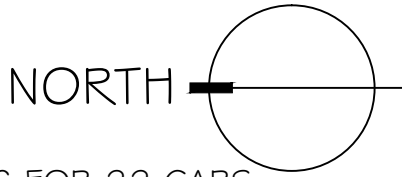
DRAWING TITLE
**PLANTING
PLAN
AND DETAILS**

DRAWING NUMBER
C-106



- GENERAL DOOR NOTES:**
EXTERIOR:
1. **Door Assemblies:** Doors shall be insulated fiberglass-faced doors as manufactured by Masonite or Thermo-Tru Doors. Door assemblies shall achieve a DP-45 rating when tested by an independent testing agency. Jamb of frames shall have either pressure treated wood or composite material to prevent rot at bottom of frame. Frames shall be fully weatherstripped including weatherstripped sill. Hardware finish shall be satin nickel. All glazing in door units shall be manufacturer's standard high performance clear, insulated, safety glass with Low-E argon fill. Doors shall factory primed and painted on site, color as selected by Owner.
- GENERAL HARDWARE NOTES:**
A. **Accessibility:** All hardware shall be handicap useable for type scheduled.
B. **Finish:** All new hardware shall have satin nickel or satin stainless steel finish.
C. **Durability:** All lock and latchesets shall be Grade 1, equal to Yale 5400 series.
D. **Keying:** All locksets shall be masterkeyed for building.
E. **Submittals:** Submit hardware schedule for approval prior to ordering hardware.
- GENERAL WINDOW NOTES:**
A. All new window units shall be vinyl windows as manufactured by Paradigm #8300 series, ViWinco "S-Series", Owens Corning "Energy King 150 series", Harvey "Classic Doublehung", or approved equal. Windows shall be single or double hung. Window units shall be furnished with standard exterior J-fn and interior jamb receiver pocket. Unit sizes and rough openings are shown on the Window Schedule. All windows shall have standard white vinyl interior and exterior finish. Window hardware shall be white.
B. All window glazing shall be Low-E, argon filled, double pane (minimum) insulated glazing. **Minimum overall unit performance shall have a value of not more than U=0.28.** Safety glazing shall be provided where scheduled on Window Schedule.
Design Model: Harvey "Classic Doublehung"
C. All operable window units shall be equipped with screens.
D. Jamb and head extensions shall be gypsum board. Sills shall be painted wood with painted apron (see Drawings).
E. Install windows in required openings. Sill of opening shall be flashed with peel n' stick flashing. Flashing shall extend up each jamb a minimum of 4". Nailing flanges shall be fully nailed. Upon completion of nailing, Contractor shall completely tape flange to seal to substrate.

FLOOR PLAN
1/4"= 1'-0"



5,472 S.F. PARKING FOR 22 CARS

PROPOSED OFFICE BUILDING
S.E.E. ASSOCIATES

164 AUBURN ROAD LANSING, NEW YORK 14882

GEORGE W. BREUHAUS, ARCHITECT
950 DANBY ROAD SUITE 220
ITHACA, NEW YORK 14850

TEL: 607-257-8348

PROJ.NO: 25 - 01

SCALE: AS NOTED

DRAWN: BREUHAUS

DATE: 24 SEPT. 2025

1

NO. REVISIONS

DATE

XXXXXX

PROPOSED
FLOOR PLAN

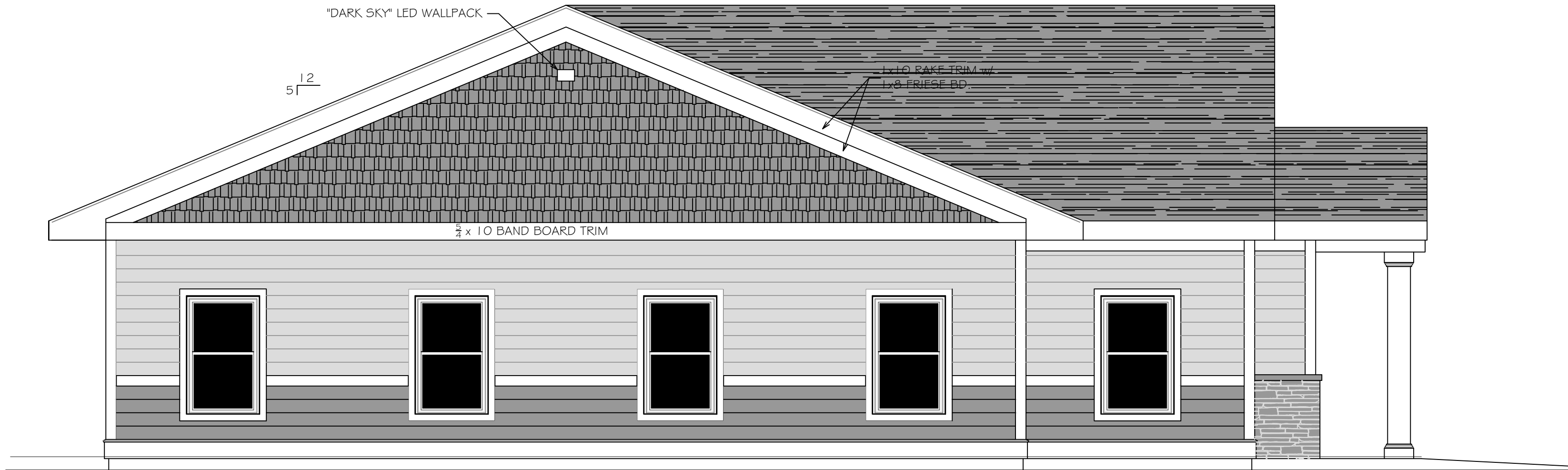
A-1



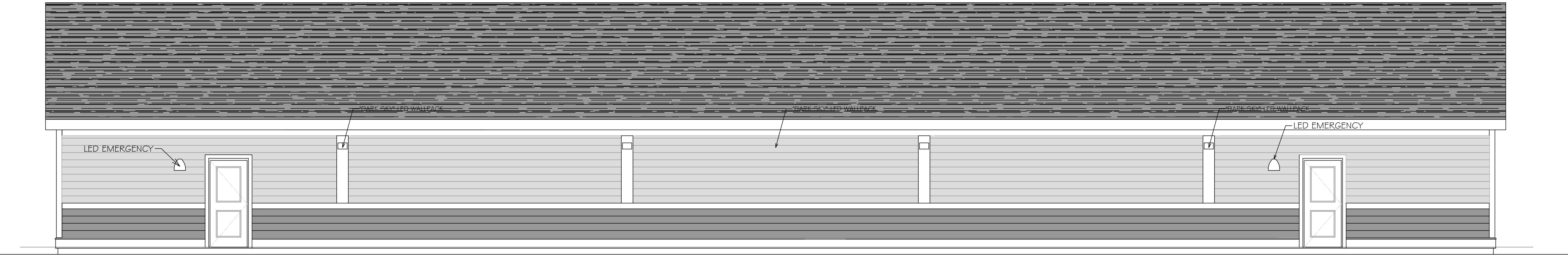
EAST ELEVATION
1/4" = 1'-0"



NORTH ELEVATION
1/4" = 1'-0"



SOUTH ELEVATION
1/4" = 1'-0"



WEST ELEVATION
1/4" = 1'-0"

EXTERIOR FINISHES: OPTION #1

LAP SIDING - MATERIALS:

- Lap siding shall be pre-primed treated "strand" material equal to Louisiana-Pacific SmartSide. Siding shall be furnished as 7'-7/8" high x 16'-0" long.
- Fasteners: Use galvanized or stainless steel nails. Follow manufacturer's spacing requirements.
- Paint: Acrylic latex exterior house paint, color as chosen by Owner.

SIDING INSTALLATION

- Store siding in covered bundles located indoors, spaced off the floor structure. Allow siding to acclimate to ambient conditions prior to installing on structure.
- Install lap siding in strict accordance with manufacturer's instructions.
- Siding shall be installed with all necessary accessories and trims as required to provide a complete job. Coordinate installation with specified trims to insure necessary coverage as-needed to compensate for thermal expansion and prevent water infiltration. Provide additional necessary manufacturer's standard trim components if needed.
- Lap siding shall be installed as a single piece to greatest degree possible. Where necessary, butt joints shall be spaced and caulked as required by manufacturer. Space butt joints so that joints are at least 3'-0" apart from course to course. Back all butt joints with a strip of 30# building felt.
- All "cut" ends shall be field-primed prior to installation.
- Follow manufacturer's instructions for spacing fasteners.
- Follow manufacturer's recommendations for all cuts, both "rip" and cross-cut.
- Paint siding with minimum one (1) coat of acrylic latex exterior house paint, color as chosen by Owner.

RUNNING TRIM:

- Running trims shall be factory-primed boards made from preservative treated wood strand or filler substrate solid that is homogenous and free of voids, holes, cracks, foreign inclusions and other defects. Trim shall offer reversible surface consisting of smooth one side and cedar textured on the opposite side. Board shall be finished with square edges. Trim shall be painted color(s) as chosen by Owner. Trims from the following firms will be considered:
 - MiraTEC
 - LP SmartSide Trim and Fascia.All trim shall have a 25 year warranty. Thickness shall be a minimum of 3/4" as-needed to allow coverage of specified siding. Standard lengths shall be 16'-0", minimum. Width shall be as shown on Drawings, or if not shown, as scheduled below.
- Install composite trim in strict accordance with manufacturer's instructions and recommendations. All cuts and/or unfinished edges shall be sanded to impart smooth finish similar to face of trim boards. Corner trims shall have 4" strip of Vyoor backing intersection of trim with lap siding. Fasten trim to wall with stainless steel nails or stainless steel trim-head screws. Countersink fasteners and fill void with putty or sealant as recommended by trim manufacturer.
- When running lengths exceed 16'-0", account for thermal expansion. Allow a gap as recommended by manufacturer and seal with specified sealant.

ROOFING NOTES:

- Asphalt Fiberglass Roofing Shingles: Shingles shall be Class A (UL 790), capable of withstanding 130 mph wind exposure and come with a limited lifetime transferrable warranty. Color shall be as chosen by Owner. Shingles shall be nailed and NOT stapled.
- Shingles shall be installed over 30# felt underlayment, unless installed over "zip-panel", in which case the underlayment is optional. Underlayment shall be installed "shingled" so as to not "buck" water.
- Ice & Watershield: 40 mil self-adhering rubberized asphalt membrane. Install continuous row(s) of Ice and Watershield along all eaves. Line all valleys with 1 row of Ice and Watershield membrane. Ice & Watershield shall extend beyond interior face of wall by a minimum of 24". ICE & WATERSHIELD INSTALLATION IS REQUIRED REGARDLESS OF TYPE OF SHEATHING INSTALLED.

PROPOSED OFFICE BUILDING
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SCALE: AS NOTED

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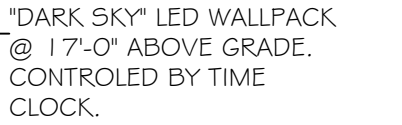
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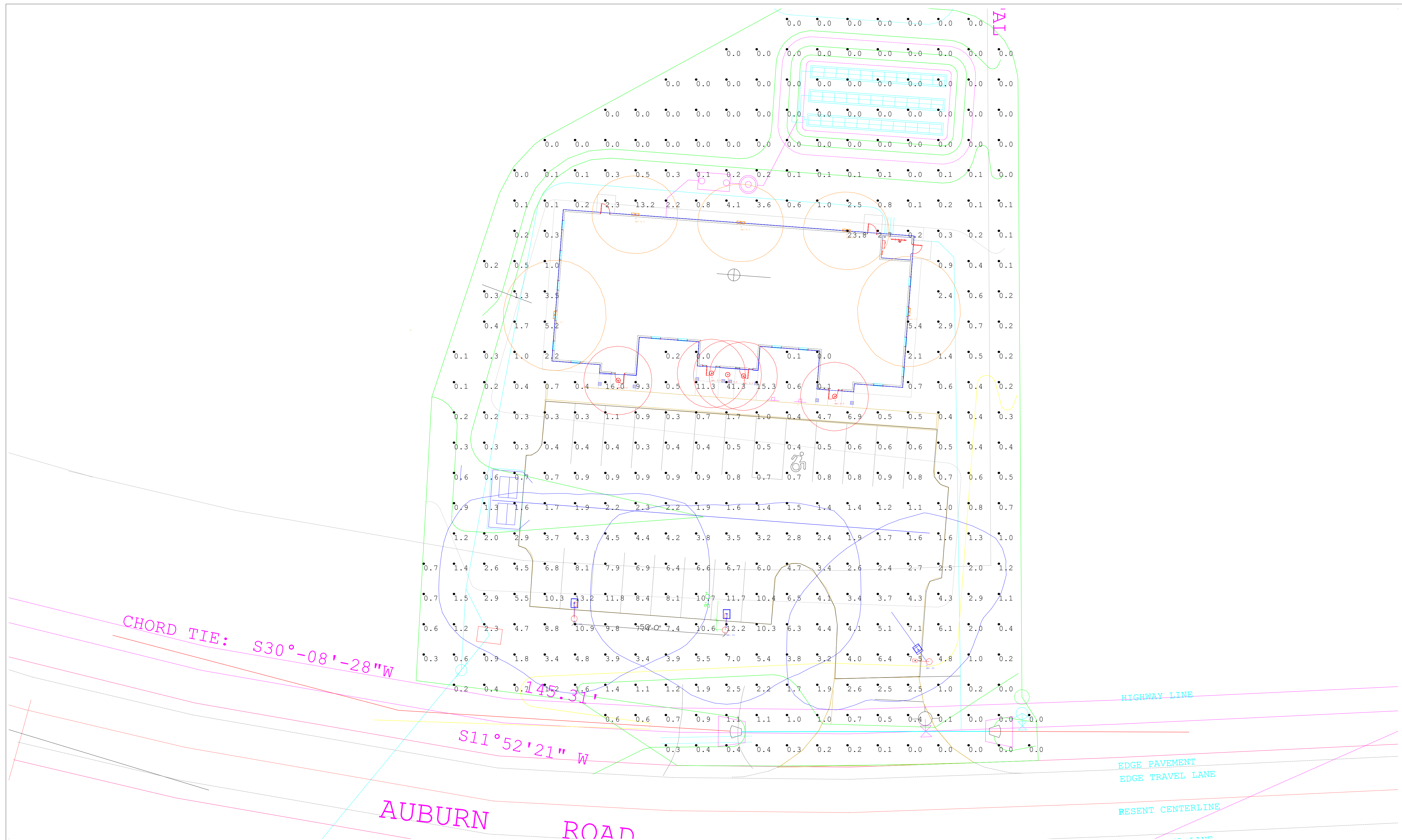
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NO. REVISIONS DATE

PROPOSED
ELEVATIONS

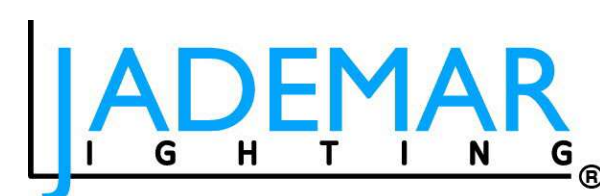
A-3





All values shown are maintained horizontal Footcandles at workplane or floor level.

The lighting calculations provided in this report approximate the light levels expected within the space as defined and are based on the information provided to Jademar. Please verify the data to assure the accuracy of the report. Jademar is not responsible for light output of lamps and ballasts, or design variables.



Client:

Application Engineer: Tania Goldstein

Scale: 15:1

Date:5/28/2025

PROJECT:

AUBURN ROAD SITE

[illegible]

Drawing:

Drawing Number: