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February 4, 2025

***VIA EMAIL AND FEDERAL EXPRESS***

Zoning Board of Appeals and Planning Board  
Town of Lansing  
29 Auburn Road  
Ithaca, NY 14882  
Attn: John Zepko, Director of Planning and Code Enforcement  
[jzepko@lansingtown.com](mailto:jzepko@lansingtown.com)

**RE: Application for a use variance from the Zoning Board of Appeals and site plan approval from the Planning Board by Bell Atlantic Mobile Systems LLC d/b/a Verizon to construct and operate a 145' wireless telecommunications tower (plus 4' lightning rod) and associated improvements on land owned by Community Rec Center Inc. located near 1767 East Shore Drive (S.B.L. # 37.1-6-9) in the Town of Lansing, Tompkins County, New York (Verizon "Reach Run" site)**

Dear Mr. Zepko and Members of the Zoning Board of Appeals and Planning Board:

By application dated September 25, 2024 and supplemental application dated December 16, 2024, Bell Atlantic Mobile Systems LLC d/b/a Verizon ("**Verizon**") submitted the above-referenced Application (the "**Application**") to the Town of Lansing Zoning Board of Appeals and Planning Board (the "**Town**") for the above-referenced project.

Thereafter, at the Town Zoning Board of Appeals meeting on January 8, 2025, the Zoning Board of Appeals had comments and requested additional information (the "**ZBA Comments**"). The ZBA Comments are reproduced below in bold italicized type, with Verizon's response in regular type:

- 1. Can the proposed tower be designed with a fall radius outside of the contiguous parking lot?***

As noted in the letter from Sabre Industries enclosed as Exhibit T (the "**Sabre Letter**"), the proposed monopole will be designed and supplied for an ultimate wind speed of 110 mph with no ice, and 40 mph with 1 inch ice (with a 25% safety factor), in accordance with Telecommunications Industry Association Standard ANSI/TIA-222-H, "Structural Standard for Antenna Supporting Structures, Antennas and Small Wind Turbine Support Structures."

In the unlikely event of a failure, the monopole will buckle at the location of the highest combined stress ratio within the monopole shaft, the result of which is that the portion of the monopole above the buckle will lean over but remain in a permanently deformed condition. As stated in the Sabre Letter, in the unlikely event of such tower failure, the design of the tower will allow it to fall within 42' of the base.

2. ***Can the propane tank be covered by a roof to protect the tank in the event of a failure?***

The propane generator has been replaced with a diesel generator with a tertiary containment tank. The propane tank has been removed in the revised site plan enclosed as Exhibit U (the "**Revised Plan**").

3. ***Can the site be moved further into the parking lot to permit more landscaping?***

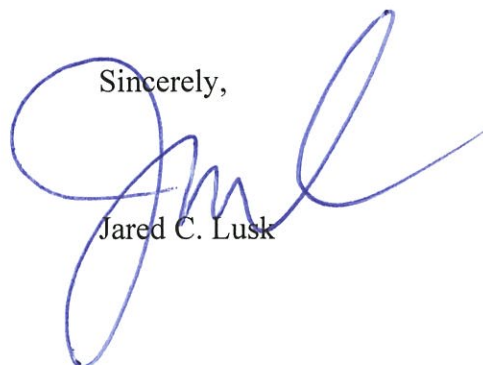
As shown on the Revised Plan, a second row of evergreens will be planted to screen the site from the parking lot. A 15' x 30' landscape easement has also been proposed extending northwesterly off the northern corner of the lease parcel to allow the additional evergreen planting. Also note that in response to comments from the Planning Board, the blue spruce trees originally proposed as part of the buffer have been replaced with Norway spruces. A visual analysis, including simulated views of the proposed tower from representative locations, are enclosed as Exhibit V.

4. ***Note 5 on Sheet LA100 states that trees should be located a minimum of five (5) feet from utilities. However, the trees proposed to the north of the tower are shown less than five (5) feet from the utility. Please clarify.***

Note 5 on Sheet LA100, as shown on the Revised Plan enclosed as Exhibit U, has been clarified to read "THE CONTRACTOR IS HEREBY NOTIFIED THAT UNDERGROUND UTILITIES EXIST. SHOULD LOCATION OF TREES BE WITHIN 5' OF UNDERGROUND UTILITIES, RELOCATE SAID TREES TO A MINIMUM OF 5' FROM BALL TO UTILITIES."

We look forward to appearing at the February 12, 2025 Zoning Board of Appeals meeting. In the meantime, should you have any questions or require additional information, please do not hesitate to contact me.

Sincerely,



Jared C. Lusk

JCL/mkv  
Enclosures  
cc: Brett Morgan

# EXHIBIT T

January 28, 2025

Mr. Clinton Blinebry  
Verizon Wireless  
132 Creek Circle  
East Syracuse, NY 13057

RE: Proposed 145' Sabre Monopole for Ithaca, NY

Dear Mr. Blinebry,

Upon receipt of order, we propose to design and supply the above referenced Sabre monopole for an Ultimate Wind Speed of 110 mph with no ice and 40 mph with 1" ice, Risk Category II, Exposure Category C, and Topographic Category 1, in accordance with the Telecommunications Industry Association Standard ANSI/TIA-222-H, "Structural Standard for Antenna Supporting Structures, Antennas and Small Wind Turbine Support Structures".

When designed according to this standard, the wind pressures and steel strength capacities include several safety factors, resulting in an overall minimum safety factor of 25%. Therefore, it is highly unlikely that the monopole will fail structurally in a wind event where the design wind speed is exceeded within the range of the built-in safety factors.

Should the wind speed increase beyond the capacity of the built-in safety factors, to the point of failure of one or more structural elements, the most likely location of the failure would be within the monopole shaft, above the base plate. Assuming that the wind pressure profile is similar to that used to design the monopole, the monopole will buckle at the location of the highest combined stress ratio within the monopole shaft. This is likely to result in the portion of the monopole above leaning over and remaining in a permanently deformed condition. **Please note that this letter only applies to the above referenced monopole designed and manufactured by Sabre Industries.** This would effectively result in a fall radius of 42 feet or less at ground level.

Sincerely,

Keith J. Tindall, P.E., S.E.  
Vice President, Telecom Engineering



1/28/25

# **EXHIBIT U**

BELL ATLANTIC MOBILE SYSTEMS LLC  
d/b/a



SITE NAME: REACH RUN  
ZONING DRAWINGS

PROJECT ID: 17215090  
MDG LOCATION ID: 5000007341



1275 JOHN STREET, SUITE #100  
WEST HENRIETTA, NEW YORK 14586

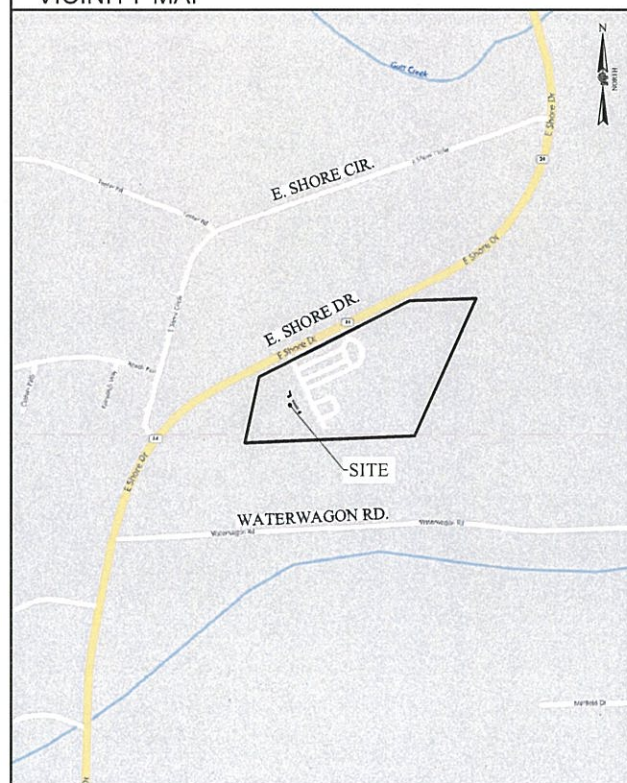


COSTICH  
ENGINEERING

• CIVIL  
ENGINEERING  
• LAND  
SURVEYING  
• LANDSCAPE  
ARCHITECTURE  
217 LAKE AVENUE  
ROCHESTER, NY 14608  
(585) 458-3020

NO.	DATE	COMMENTS
0	04/03/2024	TKW ISSUED PRELIMINARY FOR REVIEW
1	04/17/2024	AJK ADDED 1A CERTIFICATION AND RFDS
2	04/24/2024	AJK ISSUED FINAL
3	12/10/2024	TKW ADDED LANDSCAPING
4	01/29/2025	AJK REVISED LANDSCAPING, GRADING AND GENERATOR ADDED FALL LETTER
5	01/30/2025	AJK NORWAY SPRUCE

VICINITY MAP



SITE INFORMATION

SITE ADDRESS:	(NEAR) 1767 E SHORE DR ITHACA, NEW YORK 14850
MUNICIPALITY:	TOWN OF LANSING
COUNTY:	TOMPKINS
TAX MAP NUMBER:	37.1-6-9 (13.36 ACRES PER TAX MAP)
ZONING DISTRICT:	R2 (RESIDENTIAL - MODERATE DENSITY)
TOWER SETBACK REQ.:	189' (HEIGHT OF TOWER + 40'), 193' PROVIDED
LATITUDE:	42.517646° (42° 31' 03.53"N)
LONGITUDE:	-76.504810° (76° 30' 17.32"W)
BASE ELEVATION:	840± AMSL
STRUCTURE HEIGHT & TYPE:	145' MONOPOLE TOWER
PROPOSED ANT. CENTERLINE:	140' ± AGL
PROPOSED ANT. TIP HEIGHT:	144' ± AGL
HIGHEST APPURTENANCE:	149' ± AGL (PROPOSED LIGHTNING ROD)
PROPERTY OWNER:	COMMUNITY REC CENTER INC. 1767 E SHORE DR ITHACA, NEW YORK 14850
APPLICANT:	BELL ATLANTIC MOBILE SYSTEMS, LLC d/b/a VERIZON WIRELESS 1275 JOHN STREET, SUITE 100 WEST HENRIETTA, NY 14586 CONTACT: MAGGIE HAYES PHONE: (585) 321-5390
LIMITS OF DISTURBANCE:	0.19± ACRES

SHEET INDEX

SHEET #	DESCRIPTION	REV NO	REVISION DATE
GA001	TITLE SHEET	5	01/30/2025
GA002	GENERAL NOTES	5	01/30/2025
VA100	SCHEMATIC TOTAL HOLDINGS	5	01/30/2025
VA101	SURVEY PLAN	5	01/30/2025
VA110	SURVEY NOTES AND DESCRIPTIONS	5	01/30/2025
CA100	OVERALL SITE PLAN	5	01/30/2025
CA110	COMPOUND PLAN	5	01/30/2025
CA120	GRADING AND EROSION CONTROL PLAN	5	01/30/2025
LA100	LANDSCAPE PLAN AND DETAILS	5	01/30/2025
CA200	TOWER ELEVATION AND ANTENNA ORIENTATION PLAN	5	01/30/2025
CA500	EQUIPMENT ELEVATIONS	5	01/30/2025
CA501	SITE DETAILS	5	01/30/2025
CA502	GRADING AND EROSION CONTROL DETAILS	5	01/30/2025

UTILITY PROVIDERS

ELECTRIC PROVIDER:	NYSEG
ESR #:	TBD
ACCOUNT #:	TBD
PLANNER:	TBD
PHONE:	TBD
FIBER PROVIDER:	TBD
PLANNER:	TBD
CONTACT:	TBD

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**New York**

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PROTECTIVE ORGANIZATION  
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NY industrial code rule 753 requires no less than  
two working days notice, but not more than ten  
days notice

DO NOT SCALE DRAWINGS

THESE DRAWINGS ARE FORMATTED FOR 22"x34" FULL SIZE AND 11"x17" HALF SIZE. OTHER SIZED VERSIONS ARE NOT PRINTED TO THE SCALE SHOWN. CONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

SCOPE OF WORK

1. THE PROPOSED WORK CONSISTS OF THE CONSTRUCTION AND INSTALLATION OF AN UNMANNED WIRELESS FACILITY WITH ASSOCIATED UTILITIES.

PROJECT  
MANAGER

D.A.W.

DRAWN BY

T.K.W.



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COSTICH ENGINEERING, D.P.C.

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR, ARCHITECT OR LANDSCAPE ARCHITECT, TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS/HER SEAL AND THE NOTATION "ALTERED BY", FOLLOWED BY HIS/HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATION, TO THE DOCUMENT.

SITE INFORMATION  
REACH RUN  
PROJECT ID: 17215090  
MDG LOCATION ID: 5000007341

TOWN OF LANSING  
COUNTY OF TOMPKINS  
STATE OF NEW YORK

SHEET TITLE

TITLE SHEET

C.E. JOB NUMBER SHEET NUMBER

7969 GA001

**LEGEND**

	SECTION/PARCEL BOUNDARY
	MIN. BUILDING SETBACK CENTER LINE
	EXIST. RIGHT-OF-WAY LINE
	EXISTING EASEMENT LINE
	EXIST. CONCRETE CURB
	EXIST. EDGE OF PAVEMENT
	EXIST. EDGE OF GRAVEL
	EXISTING WATER MAIN, VALVE, & HYDRANT.
	EXISTING SANITARY SEWER, & MANHOLE.
	EXISTING DRAINAGE SEWER, FIELD INLET, INLET MANHOLE, MANHOLE, & END SECTION.
	EXISTING OVERHEAD UTILITIES
	EXISTING TELEPHONE
	EXISTING UNDERGROUND UTILITIES
	EXISTING GAS
	EXISTING ELECTRIC
	EXISTING WATER LINE
	EXISTING ELEC & TELE
	EXISTING CABLE TV
	EXISTING FIBER
	EXISTING LIGHT CONTROL
	EXISTING GUARD RAIL
	TREE, HEDGE, EDGE OF WOODS
	EXISTING SWALE
	BARBED WIRE, STOCKADE, CHAIN LINKED FENCE
	EXISTING CONTOUR
	EXISTING SPOT ELEVATION @ X
	CONCRETE PAD/ CONCRETE SIDEWALK
	PROPOSED EASEMENT LINE.
	PROPOSED CONCRETE CURB
	PROPOSED WATER MAIN, VALVE, & HYDRANT
	PROPOSED SANITARY SEWER, & MANHOLE.
	PROPOSED DRAINAGE SEWER, FIELD INLET, INLET MANHOLE, MANHOLE, & END SECTION.
	PROPOSED OVERHEAD UTILITIES
	PROPOSED FIBER
	PROPOSED UNDERGROUND UTILITIES
	PROPOSED GAS SERVICE
	PROPOSED ELECTRIC SERVICE
	PROPOSED ELECTRIC AND FIBER
	PROPOSED SILT FENCE
	PROPOSED ORANGE CONSTRUCTION FENCE
	PROPOSED LIMITS OF DISTURBANCE
	PROPOSED COMPOST FILTER SOCK

**SITE NOTES**

- ALL SITE WORK SHALL BE AS INDICATED ON THE DRAWINGS.
- RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
- THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE PROPOSED PLATFORM.
- NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.
- THE SUBGRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
- ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY THE ENGINEER. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR PIER DRILLING AROUND OR NEAR UTILITIES.
- ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK. SUBJECT TO THE APPROVAL OF THE ENGINEER.
- THE AREAS OF THE OWNERS PROPERTY DISTURBED BY THE WORK SHALL BE GRADED TO A UNIFORM SLOPE, FERTILIZED, SEEDED, AND COVERED WITH MULCH.
- CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE STATE GUIDELINES AND ANY LOCAL REGULATIONS.
- ALL RESTORATION ISSUES SHALL BE COMPLETED WITHIN 72 HOURS OF THE COMPLETION OF THE WORK ACTIVITY OR WITHIN A REASONABLE AMOUNT OF TIME AS DIRECTED BY CONSTRUCTION MANAGER/ENGINEER.
- CARE SHALL BE TAKEN TO RETAIN NATURAL GROWTH AND PREVENT DAMAGE TO TREES WITHIN AND OUTSIDE THE LIMITS OF CONSTRUCTION AND SPECIFIED WORK AREAS CAUSED BY EQUIPMENT AND MATERIALS. ANY DAMAGE TO THIS NATURAL GROWTH SHALL BE RESTORED AT THE EXPENSE OF THE CONTRACTOR.
- ALL AREAS DISTURBED BY THE CONTRACTOR WITHOUT AUTHORIZATION SHALL BE RESTORED BY THE CONTRACTOR.
- IN THE EVENT THE CONTRACTOR DAMAGES AN EXISTING UTILITY SERVICE CAUSING AN INTERRUPTION IN SAID SERVICE, HE SHALL IMMEDIATELY COMMENCE WORK TO RESTORE SERVICE AND MAY NOT CONTINUE HIS WORK OPERATION UNTIL SERVICE IS RESTORED.

**GENERAL NOTES**

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2018 INTERNATIONAL BUILDING CODE (IBC), 2020 BUILDING CODE OF NEW YORK STATE, THE NATIONAL ELECTRIC SAFETY CODE AND OTHER APPLICABLE LOCAL, STATE AND FEDERAL CODES.
- CONTRACTOR SHALL VISIT THE JOB SITE AND FAMILIARIZE HIMSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND MAKE PROVISIONS AS TO THE COST THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
- PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY. UNLESS OTHERWISE NOTED, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO EFFECT ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
- DIMENSIONS SHOWN ARE TO FINISH SURFACES, UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS. SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, EXISTING CONDITIONS AND/OR DESIGN INTENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE CARRIER'S AUTHORIZED REPRESENTATIVE OR THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
- DETAILS ARE INTENDED TO SHOW END RESULT OF DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
- CONTRACTOR SHALL RECEIVE CLARIFICATION IN WRITING, AND SHALL RECEIVE IN WRITING AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEMS NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER OF ALL PRODUCTS OR ITEMS NOTED AS "EXISTING" WHICH ARE NOT FOUND TO BE IN THE FIELD.
- CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING THE BEST CONSTRUCTION SKILLS AND ATTENTION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER CONTRACT, UNLESS OTHERWISE NOTED.
- ERECTION SHALL BE DONE IN A WORKMANLIKE MANNER BY COMPETENT EXPERIENCED WORKMEN IN ACCORDANCE WITH APPLICABLE CODES AND THE BEST ACCEPTED PRACTICE. ALL MEMBERS SHALL BE LAID PLUMB AND TRUE AS INDICATED ON THE DRAWINGS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE WORK AREA, ADJACENT AREAS, AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. WORK SHALL CONFORM TO ALL OSHA REQUIREMENTS.
- CONTRACTOR SHALL COORDINATE HIS WORK AND SCHEDULE HIS ACTIVITIES AND WORKING HOURS IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK WITH THE WORK OF OTHERS AS IT MAY RELATE TO RADIO EQUIPMENT, ANTENNAS AND ANY OTHER PORTIONS OF THE WORK.
- CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE TO PROTECT THE OWNER AND CARRIER.
- INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
- MAKE NECESSARY PROVISIONS TO PROTECT EXISTING SURFACES, EQUIPMENT, IMPROVEMENTS, PIPING, ANTENNA AND ANTENNA CABLES. REPAIR ANY DAMAGE THAT OCCURS DURING CONSTRUCTION.
- REPAIR ALL EXISTING SURFACES DAMAGED DURING CONSTRUCTION SUCH THAT THEY MATCH AND BLEND WITH ADJACENT SURFACES.
- KEEP CONTRACT AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DEBRIS AND RUBBISH. EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY OF THE OWNER SHALL BE REMOVED. LEAVE PREMISES IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL ITEMS UNTIL COMPLETION OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL. ANY UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE ENGINEER.
- CONTRACTOR SHALL SECURE ALL NECESSARY BUILDING PERMITS AND INSPECTIONS AND PAY ALL REQUIRED FEES.
- PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A/10-BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDOUT AREA DURING CONSTRUCTION.
- ALL BROCHURES, OPERATING AND MAINTENANCE MANUALS, CATALOGS, SHOP DRAWINGS AND OTHER DOCUMENTATION SHALL BE TURNED OVER TO CARRIER AT COMPLETION OF CONSTRUCTION.
- COMPLETE JOB SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER THE DATE OF ACCEPTANCE BY CARRIER. ANY WORK, MATERIALS, OR EQUIPMENT FOUND TO BE DEFECTIVE DURING THAT PERIOD SHALL BE CORRECTED IMMEDIATELY UPON WRITTEN NOTIFICATION AT NO ADDITIONAL COST TO CARRIER.
- RIGGING OPERATIONS SHALL BE DONE IN ACCORDANCE WITH STATE AND FEDERAL SAFETY REGULATIONS (OSHA). COSTICH ENGINEERING, CARRIER AND THE OWNER SHALL BE HELD HARMLESS IN THE EVENT THE CONTRACTOR DOES NOT FOLLOW SUCH SAFETY REGULATIONS.
- CONTRACTOR SHALL PROVIDE ACCESS TO THE SITE AND ASSIST THE RADIO EQUIPMENT VENDOR AND THE ANTENNA INSTALLATION CONTRACTOR AS THEY MAY REQUIRE.

**SOIL AND EROSION CONTROL NOTES**

- TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE.
- SILT THAT LEAVES THE SITE IN SPITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY APPROPRIATE MUNICIPAL AUTHORITIES.
- AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.
- ALL SEDIMENTATION ENTRAPMENT STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS.
- CONTRACTOR TO INSTALL EROSION CONTROL MEASURES (SILT FENCE AND/ OR COMPOST FILTER SOCKS) AROUND AREAS BEING DISTURBED DURING CONSTRUCTION AND AS NECESSARY.
- CONTRACTOR TO INSTALL SILT FENCE OR COMPOST FILTER SOCKS DOWNSLOPE OF ALL UTILITY TRENCHES.
- DISTANCES SHOWN FROM THE WETLANDS IF ANY ON THE CONSTRUCTION PLANS AND SOIL EROSION AND SEDIMENT CONTROL PLANS ESTABLISH THE MINIMUM SEPARATION PERMITTED BETWEEN THE PROPOSED CONSTRUCTION ACTIVITIES AND BOUNDARY OF THE WETLANDS.
  - AREA OF DISTURBANCE LINES SHALL BE CLEARLY DELINEATED IN THE FIELD BY INSTALLING ORANGE CONSTRUCTION FENCINGS AROUND THE ENTIRE PROPOSED CONSTRUCTION AREA. EXCEPT AS NECESSARY TO PROVIDE MITIGATION PLANTINGS, NO ENCROACHMENT BEYOND THESE LIMITS BY WORKERS OR MACHINERY SHALL BE PERMITTED.
  - GRADING AND CLEARING AND OTHER CONSTRUCTION-RELATED ACTIVITIES SHALL TAKE PLACE ONLY WITHIN THE DELINEATED AREA OF DISTURBANCE LINES. THESE AREAS OF DISTURBANCE LINES REPRESENT THE MAXIMUM LIMITS OF CONSTRUCTION ACTIVITIES. EVERY ATTEMPT SHALL BE MADE TO FURTHER REDUCE GRADING AND CLEARING ACTIVITIES WITHIN THE AREA OF DISTURBANCE LINES BY MAINTAINING NATURAL VEGETATION AND TOPOGRAPHY WHEREVER PRACTICABLE.
  - ALL CONSTRUCTION AND CONSTRUCTION RELATED ACTIVITIES OCCURRING ON THIS SITE SHALL COMPLY WITH THE STANDARDS AND RECOMMENDATIONS OF THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
  - PRIOR TO THE COMMENCEMENT OF ANY SITE WORK, THE APPLICANT SHALL STAKE THE LOCATION OF THE CONSTRUCTION ACTIVITY FOR INSPECTION AND APPROVAL BY THE TOWN ENGINEER (IF REQUIRED).
  - ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHOWN ON THIS PLAN SHALL BE IN PLACE PRIOR TO THE START OF ANY SITE WORK. THE TOWN ENGINEER SHALL HAVE INSPECTED THE INSTALLATION OF ALL REQUIRED SOIL EROSION AND SEDIMENTATION CONTROL MEASURES PRIOR TO THE AUTHORIZATION TO PROCEED WITH ANY PHASE OF THE SITE WORK (IF REQUIRED).
  - THROUGHOUT THE CONSTRUCTION PERIOD, A QUALIFIED PROFESSIONAL RETAINED BY THE APPLICANT SHALL, ON AT LEAST A WEEKLY BASIS, PRIOR TO ANY PREDICTED RAIN EVENT AND AFTER RUNOFF-PRODUCING RAIN EVENT, INSPECT THE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES TO ENSURE THEIR PROPER FUNCTIONING.
  - ALL DRAINAGE STRUCTURES AND ANY OTHER REQUIRED UTILITY APPURTENANCES SHALL BE INSTALLED AS REQUIRED BY TOWN SPECIFICATIONS AND AS SHOWN ON THESE PLANS.
  - IF THE APPLICANT, DURING THE COURSE OF CONSTRUCTION, ENCOUNTERS SUCH CONDITIONS AS FLOOD AREAS, UNDERGROUND WATER, SOFT OR SILTY AREAS, IMPROPER DRAINAGE, OR OTHER UNUSUAL CIRCUMSTANCES OR CONDITIONS THAT WERE NOT FORESEEN IN THE ORIGINAL PLANNING, THEY SHALL REPORT SUCH CONDITIONS IMMEDIATELY TO THE TOWN ENGINEER. THE APPLICANT MAY SUBMIT, IF THEY SO DESIRE, THEIR RECOMMENDATIONS AS THE SPECIAL TREATMENT TO BE GIVEN SUCH AREAS TO SECURE ADEQUATE, PERMANENT AND SATISFACTORY CONSTRUCTION. THE TOWN ENGINEER, WITHOUT UNNECESSARY DELAY, SHALL INVESTIGATE THE CONDITION OR CONDITIONS, AND SHALL EITHER APPROVE THE APPLICANT'S RECOMMENDATION TO CORRECT THE CONDITIONS, ORDER A MODIFICATION THEREOF, OR ISSUE THEIR OWN SPECIFICATION FOR THE CORRECTION OF THE CONDITIONS. IN THE EVENT OF THE APPLICANT'S DISAGREEMENT WITH THE DECISION OF THE TOWN ENGINEER, OR IN THE EVENT OF A SIGNIFICANT CHANGE RESULTING TO THE SITE PLAN OR ANY CHANGE THAT INVOLVES WETLAND REGULATED AREAS, THE MATTER SHALL BE DECIDED BY THE PLANNING BOARD. ANY SUCH CONDITIONS OBSERVED BY THE PLANNING BOARD OR ITS AGENTS SHALL BE SIMILARLY TREATED.

**REFERENCES**

- TOPOGRAPHY SHOWN FROM A FIELD SURVEY BY COSTICH ENGINEERING ON 3/13/2024 HORIZONTAL AND VERTICAL DATA OBTAINED THROUGH NYS DOT CORS NETWORK REFERENCED TO THE FOLLOWING MONUMENT:
  - CORTLAND CORS STATION
  - LATITUDE: 42-35-03.70726 (N) NAD 83 (CORS)
  - LONGITUDE: 076-12-40.79269 (W)
  - ELLIP HEIGHT: 330.887 METERS NAVD 88 (CORS)
- BOUNDARY SURVEY HAS NOT BEEN PERFORMED BY COSTICH ENGINEERING. BOUNDARY SHOWN HEREON IS APPROXIMATE AND DETERMINED BY LIMITED FIELD LOCATION OF BOUNDARY EVIDENCE, REVIEW OF TITLE COMMITMENT, IF PROVIDED, AND OVERLAY OF COUNTY TAX MAPS AND/OR COUNTY GIS MAPPING.
- STEWART TITLE INSURANCE COMPANY TITLE NO. 71269805, HAVING AN EFFECTIVE DATE OF OCTOBER 12, 2023
- PER THE NYSDEC FRESHWATER WETLANDS MAP, THERE ARE NO STATE WETLANDS IN PROJECT AREA.
- PER THE NATIONAL WETLANDS INVENTORY MAPS, THERE ARE NO FEDERAL WETLANDS IN THE PROJECT AREA.
- PER A WETLAND AND WATERBODIES DELINEATION REPORT PREPARED BY EARTH DIMENSIONS, INC., EDI PROJECT CODE: W20C24, DATED APRIL 4, 2024. THERE ARE WETLANDS JUST WEST OF THE PROJECT AREA.
- PER THE ERSI/FEMA PROJECT IMPACT HAZARD INFORMATION AND AWARENESS SITE MAP THERE IS NO 100 YR. FLOOD PLAIN IN THE PROJECT AREA.
- SURVEY MAP PREPARED BY T.G. MILLER P.C. ENGINEERS AND SURVEYORS, JOB NO. S01631, DATED SEPTEMBER 13, 2001.
- TOPOGRAPHIC MAP PREPARED BY T.G. MILLER P.C. ENGINEERS AND SURVEYORS, JOB NO. S19300, DATED APRIL 28, 2021.
- 1A CERTIFICATION PREPARED BY COSTICH ENGINEERING D.P.C., PROJECT NO. 7969, SITE NAME: REACH RUN, DATED APRIL 15, 2024.

**REFERENCES**

- ANTENNAS SHALL BE INSTALLED IN ACCORDANCE WITH SITE SPECIFIC RF ANTENNA DESIGN SHEET SUPPLIED BY VERIZON WIRELESS; FUZE PROJECT ID: 17215090, DATED 04/16/2024.
- FALL LETTER PREPARED BY SABRE INDUSTRIES INC., SUBJECT NAME: RE: PROPOSED 145' SABRE MONOPOLE FOR ITHACA, NY, DATED JANUARY 28, 2025.

**EROSION AND SEDIMENT CONTROL MEASURES**

**TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES**

- GENERAL MEASURES:**
- AS MUCH AS IS PRACTICAL, EXISTING VEGETATION SHALL BE PRESERVED. FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES IN ANY PORTION OF THE SITE, PERMANENT VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SOILS.
  - SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE SCOPE AND DURATION OF SOIL DISRUPTION.

**PARTICULAR MEASURES:**

- DRAINAGE DITCH SEDIMENT FILTERS: DITCHES SHALL RECEIVE CHECK DAMS WITH 2-9 INCH STONE MEETING NYS DOT LIGHT STONE FILL REQUIREMENTS SO AS TO EFFECTIVELY TRAP SEDIMENT AND MINIMIZE ITS RELEASE OFF-SITE. CHECK DAMS SHALL HAVE A 9" MINIMUM WEIR AND BE CONSTRUCTED WITHIN EACH DITCH BEGINNING AT ITS DOWNSTREAM TERMINUS. CHECK DAMS SHALL BE PLACED WITHIN THE CHANNEL SO THAT THE CREST OF THE DOWNSTREAM DAM IS AT THE ELEVATION OF THE TOE OF THE UPSTREAM DAM.
- SILT FENCES AND COMPOST FILTER SOCKS SHALL BE CONSTRUCTED AROUND ALL STOCKPILES OF FILL, TOPSOIL AND EXCAVATED OVERBURDEN THAT ARE TO REMAIN FOR PERIODS LESS THAN 30 DAYS. SILT FENCES AND COMPOST FILTER SOCKS SHALL BE ANCHORED AND MAINTAINED IN GOOD CONDITION UNTIL SUCH TIME AS STOCKPILES ARE REMOVED AND STOCKPILING AREAS ARE BROUGHT TO FINAL GRADE AND PERMANENTLY STABILIZED.
- TOPSOIL AND FILL THAT IS TO REMAIN STOCKPILED ON-SITE FOR PERIODS GREATER THAN 30 DAYS SHALL BE STABILIZED BY SEEDING. PRIOR TO THE SEEDING OPERATION, THE STOCKPILED MATERIAL SHALL BE GRADED AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION AND MULCH ANCHORING.
- IN NO CASE SHALL ERODIBLE MATERIALS BE STOCKPILED WITH 25 FEET OF ANY DITCH, STREAM, OR OTHER SURFACE WATER BODY.

**PERMANENT AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES**

- PERMANENT AND TEMPORARY VEGETATIVE COVER: IMMEDIATELY FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITY OR WHERE WORK IS DELAYED AND WILL NOT BE DISTURBED FOR 21 DAYS OR MORE IN ANY PORTION OF THE SITE, PERMANENT OR TEMPORARY VEGETATION SHALL BE ESTABLISHED WITHIN 14 DAYS ON ALL EXPOSED SOILS. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICAL FOLLOWING DISTURBANCE TO STABILIZE BARE SOIL AND PROMOTE THE PROMPT RE-ESTABLISHMENT OF VEGETATION.
  - A. AN ADEQUATE SEEDBED SHALL BE PREPARED BY SCARIFYING COMPACTED SOIL AND REMOVING SURFACE DEBRIS AND OBSTACLES.
  - B. LIME SHALL BE APPLIED SUFFICIENTLY TO ATTAIN A SOIL ACIDITY pH OF 6.0 TO 7.0.
  - C. FERTILIZER (5-10-10 MIXTURE OR EQUIVALENT) SHALL BE APPLIED PER SOIL TEST RESULTS OR AT A RATE OF 800 LBS PER ACRE.
  - D. DISTURBED AREAS WHICH WILL REMAIN TEMPORARILY FALLOW FOR PERIODS GREATER THAN 14 DAYS SHALL BE SEEDED AT THE FOLLOWING RATE TO PRODUCE TEMPORARY GROUND COVER: 30 LBS RYEGRASS (ANNUAL OR PERENNIAL) PER ACRE. DURING THE WINTER, USE 100 LBS CERTIFIED "AROOSTOCK" WINTER RYE (CEREAL RYE) PER ACRE.
  - E. PERMANENT SEEDING SHALL BE APPLIED ON 4" MIN. TOPSOIL AT THE FOLLOWING RATE FOR ROUGH OR OCCASIONAL MOWING AREAS: 8 LBS EMPIRE BIRDSFOOT TREFOLIUM OR COMMON WHITE CLOVER PER ACRE. 20 LBS TALL FESCUE PER ACRE PLUS 2 LBS REDTOP OR 5 LBS RYEGRASS (PERENNIAL) PER ACRE
  - FOR MOWED AREAS: 65 LBS KENTUCKY BLUEGRASS PER ACRE 65 LBS RYEGRASS (PERENNIAL) PER ACRE
- ALL SEEDING SHALL BE PERFORMED USING THE BROADCAST METHOD OR HYDROSEEDING, UNLESS OTHERWISE APPROVED.
- ALL DISTURBED AREAS SHALL BE STABILIZED SUBSEQUENT TO SEEDING BY APPLYING 2 TONS OF STRAW MULCH PER ACRE. STRAW MULCH SHALL BE ANCHORED BY APPLYING 750 LBS OF WOOD FIBER MULCH PER ACRE WITH A HYDROSEEDER, OR TUCKING THE MULCH WITH SMOOTH DISCS OR OTHER MULCH ANCHORING TOOLS TO A DEPTH OF 3". MULCH ANCHORING TOOLS SHALL BE PULLED ACROSS SLOPES ALONG TOPOGRAPHIC CONTOURS.

**MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES:**

- THE CONTRACTOR SHALL ON A DAILY BASIS INSPECT AND MAINTAIN THE INTEGRITY AND FUNCTION OF ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE DURATION OF THE CONSTRUCTION PROCESS.
- TO ASSURE PROPER FUNCTION, SILTATION BARRIERS SHALL BE MAINTAINED IN GOOD CONDITION AND REINFORCED, EXTENDED, REPAIRED OR REPLACED AS NECESSARY. WASHOUTS SHALL BE IMMEDIATELY REPAIRED, RE-SEEDED AND PROTECTED FROM FURTHER EROSION.
- SEDIMENT SHALL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES ABOUT 0.5 FEET DEEP AT THE FENCE AND FROM BEHIND THE COMPOST FILTER SOCKS ONCE IT REACHES 1/2 THE FILTER SOCK HEIGHT. THE SEDIMENT FENCE AND COMPOST FILTER SOCKS SHALL BE REPAIRED AS NECESSARY TO MAINTAIN BARRIER.
- ALL SEEDED AREAS SHALL BE FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN IN ORDER TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.

1275 JOHN STREET, SUITE #100  
WEST HENRIETTA, NEW YORK 14586

**CIVIL ENGINEERING**  
**LAND SURVEYING**  
**LANDSCAPE ARCHITECTURE**

217 LAKE AVENUE  
ROCHESTER, NY 14608  
(585) 458-3020

NO.	DATE	COMMENTS
0	04/03/2024	TKW ISSUED PRELIMINARY FOR REVIEW
1	04/17/2024	AJK ADDED 1A CERTIFICATION AND RFDS
2	04/24/2024	AJK ISSUED FINAL
3	12/10/2024	TKW ADDED LANDSCAPING
4	01/29/2025	AJK REVISED LANDSCAPING, GRADING AND GENERATOR ADDED FALL LETTER
5	01/30/2025	AJK NORWAY SPRUCE

PROJECT MANAGER  
**D.A.W.**

DRAWN BY  
**T.K.W.**

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COSTICH ENGINEERING, D.P.C.

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR, ARCHITECT OR LANDSCAPE ARCHITECT, TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS/HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS/HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATION TO THE DOCUMENT.

**SITE INFORMATION**

**REACH RUN**  
PROJECT ID: 17215090  
MDG LOCATION ID: 5000007341

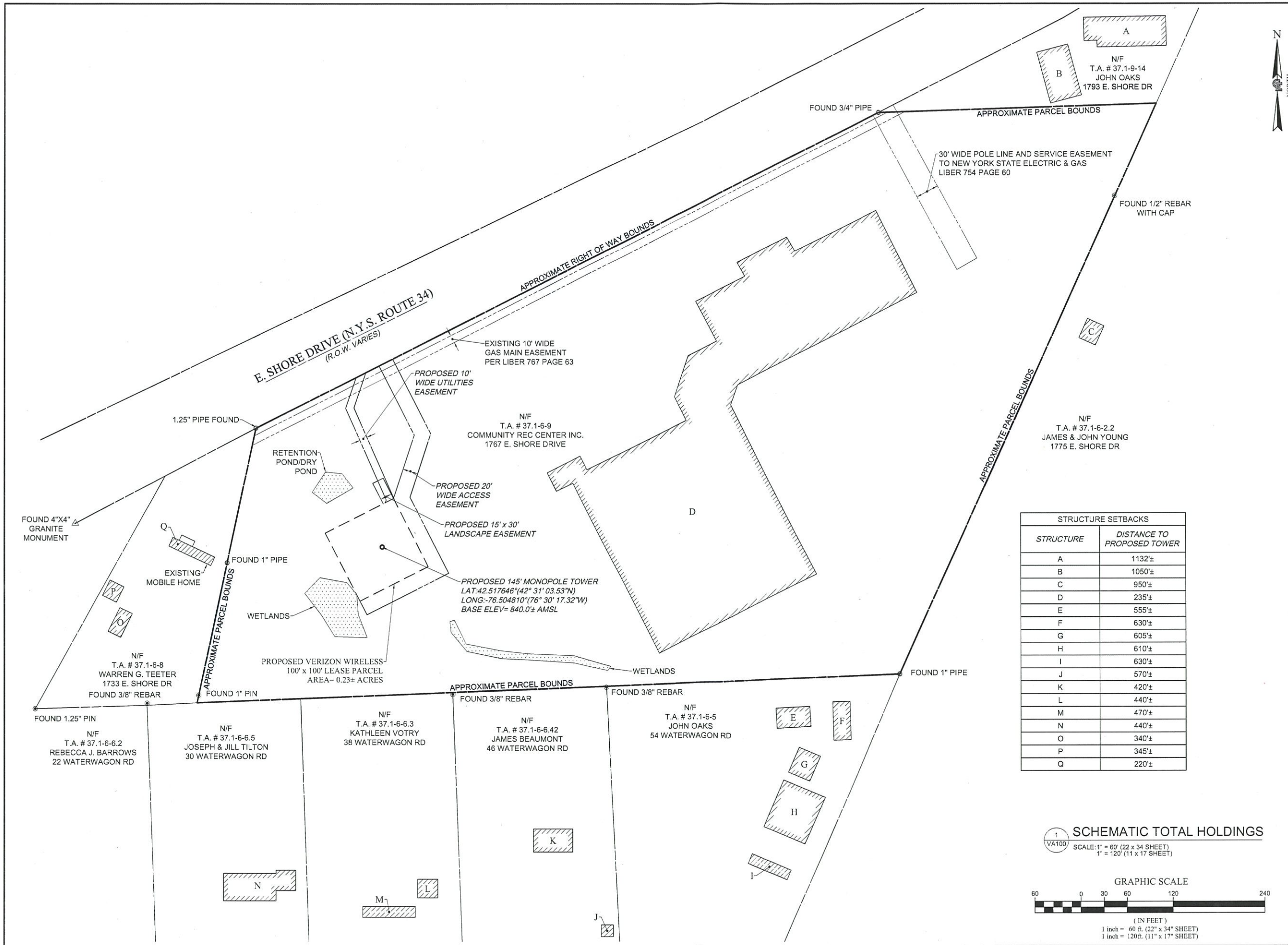
**TOWN OF LANSING**  
**COUNTY OF TOMPKINS**  
**STATE OF NEW YORK**

**SHEET TITLE**

**GENERAL NOTES**

C.E. JOB NUMBER      SHEET NUMBER

**7969**                  **GA002**



**verizon**  
 1275 JOHN STREET, SUITE #100  
 WEST HENRIETTA, NEW YORK 14586

**COSTICH ENGINEERING**  
 CIVIL ENGINEERING  
 LAND SURVEYING  
 LANDSCAPE ARCHITECTURE  
 217 LAKE AVENUE  
 ROCHESTER, NY 14608  
 (585) 459-3020

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5	01/30/2025	AJK NORWAY SPRUCE

STRUCTURE SETBACKS	
STRUCTURE	DISTANCE TO PROPOSED TOWER
A	1132'±
B	1050'±
C	950'±
D	235'±
E	555'±
F	630'±
G	605'±
H	610'±
I	630'±
J	570'±
K	420'±
L	440'±
M	470'±
N	440'±
O	340'±
P	345'±
Q	220'±

PROJECT MANAGER  
**D.A.W.**  
 DRAWN BY  
**T.K.W.**

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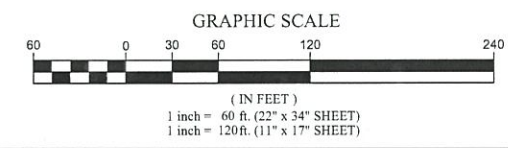
SITE INFORMATION  
 REACH RUN  
 PROJECT ID: 17215090  
 MDG LOCATION ID: 500007341

TOWN OF LANSING  
 COUNTY OF TOMPKINS  
 STATE OF NEW YORK

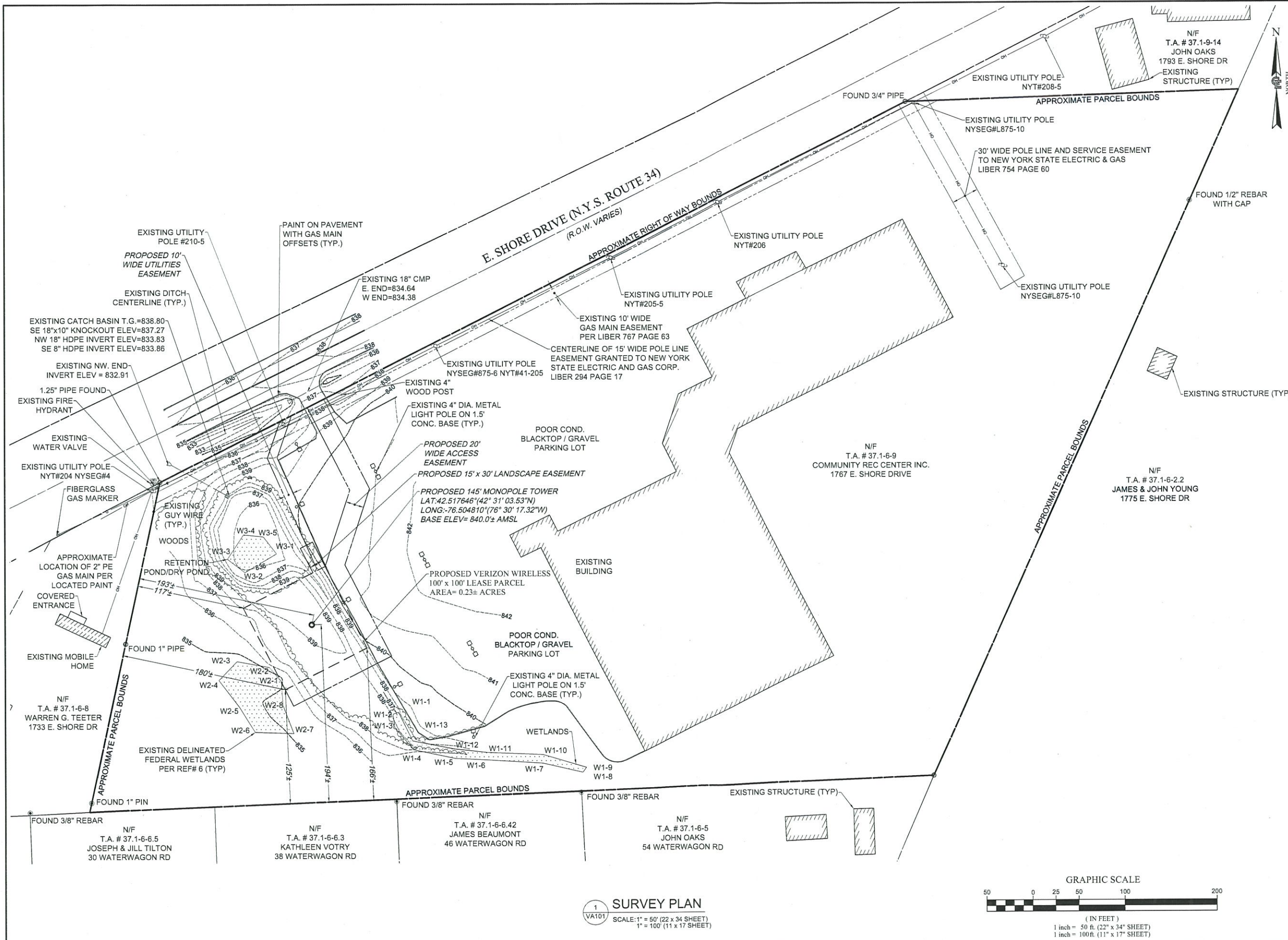
SHEET TITLE  
**SCHEMATIC TOTAL HOLDINGS**

C.E. JOB NUMBER  
**7969**  
 SHEET NUMBER  
**VA100**

**1** SCHEMATIC TOTAL HOLDINGS  
 VA100  
 SCALE: 1" = 60' (22" x 34" SHEET)  
 1" = 120' (11" x 17" SHEET)







**verizon**  
 1275 JOHN STREET, SUITE #100  
 WEST HENRIETTA, NEW YORK 14586

**COSTICH ENGINEERING**  
 217 LAKE AVENUE  
 ROCHESTER, NY 14606  
 (585) 459-3020

- CIVIL ENGINEERING
- LAND SURVEYING
- LANDSCAPE ARCHITECTURE

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**D.A.W.**

DRAWN BY  
**T.K.W.**

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SITE INFORMATION  
 REACH RUN  
 PROJECT ID: 17215090  
 MDG LOCATION ID: 5000007341

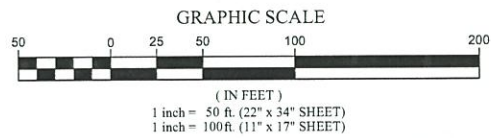
TOWN OF LANSING  
 COUNTY OF TOMPKINS  
 STATE OF NEW YORK

SHEET TITLE  
**SURVEY PLAN**

C.E. JOB NUMBER  
**7969**

SHEET NUMBER  
**VA101**

**1 SURVEY PLAN**  
 SCALE: 1" = 50' (22 x 34 SHEET)  
 1" = 100' (11 x 17 SHEET)



**TITLE REVIEW**

PER STEWART TITLE INSURANCE COMPANY TITLE NO. 71269805, HAVING AN EFFECTIVE DATE OF OCTOBER 12, 2023, SURVEY PERTINENT DETERMINATIONS ARE:

16. APPROPRIATION BY THE PEOPLE OF THE STATE OF NEW YORK DATED FEBRUARY 18, 1963 AND RECORDED FEBRUARY 18, 1963 IN LIBER 443 OF DEEDS, PAGE 802. APPROPRIATION IS A FEE PARCEL ALONG AND ADJACENT TO EAST SHORE DRIVE - N.Y.S. ROUTE 34 AND IS APPROXIMATELY 20 FEET WIDE AND FALLS WITHIN THE EXISTING RIGHT-OF-WAY LINE OF EAST SHORE DRIVE - N.Y.S. ROUTE 34.
17. EASEMENT GRANTED BY STEVE SEBASTIAN (JR.) AND HAZEL SEBASTIAN TO NEW YORK STATE ELECTRIC AND GAS CORPORATION, DATED OCTOBER 1, 1946 AND RECORDED NOVEMBER 2, 1946 IN LIBER 294 OF DEEDS, PAGE 17. PARCEL SUBJECT A 15' WIDE POLE LINE EASEMENT PARALLEL AND ADJACENT TO EAST SHORE DRIVE - N.Y.S. ROUTE 34. THE PROPOSED ACCESS AND UTILITIES EASEMENT WILL CROSS SAID POLE LINE EASEMENT.
18. EASEMENT GRANTED BY COMMUNITY RECREATIONAL CENTER INC. BY ANDREW SCIARABBA CHAIRMAN TO NEW YORK STATE ELECTRIC & GAS CORPORATION, DATED JUNE 29, 1995 AND RECORDED JULY 21, 1995 IN LIBER 754 OF DEEDS, PAGE 60. PARCEL IS SUBJECT TO A 30' WIDE POLE LINE AND SERVICE EASEMENT COMMENCING AT NYSEG POLE # 10. UNABLE TO PLOT SAID EASEMENT UNTIL NYSEG POLE 10 IS LOCATED IN THE FIELD.
19. EASEMENT GRANTED BY COMMUNITY RECREATIONAL CENTER INC. TO NEW YORK STATE ELECTRIC AND GAS CORPORATION, DATED OCTOBER 10, 1995 AND RECORDED DECEMBER 26, 1995 IN LIBER 764 OF DEEDS, PAGE 63. PARCEL SUBJECT A 10' GAS MAIN EASEMENT WHOSE CENTERLINE IS 55 FEET SOUTHERLY PARALLEL WITH EAST SHORE DRIVE - N.Y.S. ROUTE 34. THE PROPOSED ACCESS AND UTILITIES EASEMENT WILL CROSS SAID GAS MAIN EASEMENT.

**ACCESS EASEMENT DESCRIPTION**

ALL THAT TRACT OR PARCEL OF LAND SITUATE IN THE TOWN OF LANSING, COUNTY OF TOMPKINS, STATE OF NEW YORK, ALL AS SHOWN ON A MAP ENTITLED "REACH RUN - SURVEY PLAN", PREPARED BY COSTICH ENGINEERING, D.P.C., HAVING DRAWING NUMBER 7969, SHEET NUMBER VA101 AND A LAST REVISION DATE OF 04/03/2024, AND BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT ON THE ASSUMED SOUTHEASTERLY RIGHT OF WAY LINE OF EAST SHORE DRIVE, N.Y.S. ROUTE 34 (R.O.W. VARIES), SAID POINT BEING ON THE ASSUMED COMMON LINE OF LANDS NOW OR FORMERLY OWNED BY COMMUNITY RECREATIONAL CENTER, INC. (T.A. # 37.1-6-9) TO THE EAST AND LANDS NOW OR FORMERLY OWNED BY WARREN G. TEETER (T.A. # 37.1-6-8) TO THE WEST; THENCE

- A. N63°02'37"E, ALONG SAID SOUTHEASTERLY RIGHT OF WAY LINE OF EAST SHORE DRIVE, N.Y.S. ROUTE 34, A DISTANCE OF 180.03 FEET TO THE POINT AND PLACE OF BEGINNING; THENCE
  1. N63°02'37"E, CONTINUING ALONG SAID SOUTHEASTERLY RIGHT OF WAY LINE OF EAST SHORE DRIVE, N.Y.S. ROUTE 34, A DISTANCE OF 20.00 FEET TO A POINT; THENCE
  2. S26°57'23"E, A DISTANCE OF 109.76 FEET TO A POINT; THENCE
  3. S18°02'37"W, A DISTANCE OF 87.65 FEET TO A POINT; THENCE
  4. S26°57'23"E, A DISTANCE OF 111.72 FEET TO A POINT; THENCE
  5. S63°02'37"W, A DISTANCE OF 120.00 FEET TO A POINT; THENCE
  6. N26°57'23"W, A DISTANCE OF 20.00 FEET TO A POINT BEING THE SOUTHWESTERLY CORNER OF THE PROPOSED VERIZON WIRELESS LEASE PARCEL; THENCE
  7. N63°02'37"E, ALONG THE SOUTHERLY LINE OF SAID PROPOSED VERIZON WIRELESS LEASE PARCEL, A DISTANCE OF 100.00 FEET TO THE SOUTHEAST CORNER OF SAID LEASE PARCEL; THENCE
  8. N26°57'23"W, ALONG THE EASTERLY LINE OF SAID PROPOSED VERIZON WIRELESS LEASE PARCEL, A DISTANCE OF 100.00 FEET TO THE NORTHEAST CORNER OF SAID LEASE PARCEL; THENCE
  9. N18°02'37"E, A DISTANCE OF 87.65 FEET TO A POINT; THENCE
  10. N26°57'23"W, A DISTANCE OF 101.48 FEET TO THE POINT AND PLACE OF BEGINNING.

**LEASE PARCEL DESCRIPTION**

ALL THAT TRACT OR PARCEL OF LAND SITUATE IN THE TOWN OF LANSING, COUNTY OF TOMPKINS, STATE OF NEW YORK, ALL AS SHOWN ON A MAP ENTITLED "REACH RUN - SURVEY PLAN", PREPARED BY COSTICH ENGINEERING, D.P.C., HAVING DRAWING NUMBER 7969, SHEET NUMBER VA101 AND A LAST REVISION DATE OF 04/03/2024, AND BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT ON THE ASSUMED SOUTHEASTERLY RIGHT OF WAY LINE OF EAST SHORE DRIVE, N.Y.S. ROUTE 34 (R.O.W. VARIES), SAID POINT BEING ON THE ASSUMED COMMON LINE OF LANDS NOW OR FORMERLY OWNED BY COMMUNITY RECREATIONAL CENTER, INC. (T.A. # 37.1-6-9) TO THE EAST AND LANDS NOW OR FORMERLY OWNED BY WARREN G. TEETER (T.A. # 37.1-6-8) TO THE WEST; THENCE

- A. S33°15'32"E, ALONG A TIE LINE THROUGH LANDS NOW OR FORMERLY OWNED BY COMMUNITY RECREATIONAL CENTER, INC. (T.A. # 37.1-6-9), A DISTANCE OF 164.45 FEET TO THE POINT AND PLACE OF BEGINNING; THENCE
  1. N63°02'37"E, A DISTANCE OF 100.00 FEET TO A POINT; THENCE
  2. S26°57'23"E, A DISTANCE OF 100.00 FEET TO A POINT; THENCE
  3. S63°02'37"W, A DISTANCE OF 100.00 FEET TO A POINT; THENCE
  4. N26°57'23"W, A DISTANCE OF 100.00 FEET TO THE POINT AND PLACE OF BEGINNING. CONTAINING 0.230 ACRES OF LAND, MORE OR LESS.

**SURVEY NOTES**

1. TOPOGRAPHY SHOWN FROM A FIELD SURVEY BY COSTICH ENGINEERING ON 3/13/2024 HORIZONTAL AND VERTICAL DATA OBTAINED THROUGH NYSDOT CORS NETWORK REFERENCED TO THE FOLLOWING MONUMENT:
 

CORTLAND CORS STATION  
 -LATITUDE: 42-35-03.70726 (N) NAD 83 (CORS)  
 -LONGITUDE: 076-12-40.79269 (W)  
 -ELLIP HEIGHT: 330.887 METERS NAVD 88 (CORS)
2. BOUNDARY SURVEY HAS NOT BEEN PERFORMED BY COSTICH ENGINEERING. BOUNDARY SHOWN HEREON IS APPROXIMATE AND DETERMINED BY LIMITED FIELD LOCATION OF BOUNDARY EVIDENCE, REVIEW OF TITLE COMMITMENT, IF PROVIDED, AND OVERLAY OF COUNTY TAX MAPS AND/OR COUNTY GIS MAPPING.
3. STEWART TITLE INSURANCE COMPANY TITLE NO. 71269805, HAVING AN EFFECTIVE DATE OF OCTOBER 12, 2023
4. PER THE NYSDEC FRESHWATER WETLANDS MAP, THERE ARE NO STATE WETLANDS IN PROJECT AREA.
5. PER THE NATIONAL WETLANDS INVENTORY MAPS, THERE ARE NO FEDERAL WETLANDS IN THE PROJECT AREA.
6. PER A WETLAND AND WATERBODIES DELINEATION REPORT PREPARED BY EARTH DIMENSIONS, INC., EDI PROJECT CODE: W20C24, DATED APRIL 4, 2024. THERE ARE WETLANDS JUST WEST OF THE PROJECT AREA.
7. PER THE ERSI/FEMA PROJECT IMPACT HAZARD INFORMATION AND AWARENESS SITE MAP THERE IS NO 100 YR. FLOOD PLAIN IN THE PROJECT AREA.
8. SURVEY MAP PREPARED BY T.G. MILLER P.C. ENGINEERS AND SURVEYORS, JOB NO. S01631, DATED SEPTEMBER 13, 2001.
8. TOPOGRAPHIC MAP PREPARED BY T.G. MILLER P.C. ENGINEERS AND SURVEYORS, JOB NO. S19300, DATED APRIL 28, 2021.
9. 1A CERTIFICATION PREPARED BY COSTICH ENGINEERING D.P.C., PROJECT NO. 7969, SITE NAME: REACH RUN, DATED APRIL 15, 2024.

**UTILITIES EASEMENT DESCRIPTION**

ALL THAT TRACT OR PARCEL OF LAND SITUATE IN THE TOWN OF LANSING, COUNTY OF TOMPKINS, STATE OF NEW YORK, ALL AS SHOWN ON A MAP ENTITLED "REACH RUN - SURVEY PLAN", PREPARED BY COSTICH ENGINEERING, D.P.C., HAVING DRAWING NUMBER 7969, SHEET NUMBER VA101 AND A LAST REVISION DATE OF 04/03/2024, AND BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT ON THE ASSUMED SOUTHEASTERLY RIGHT OF WAY LINE OF EAST SHORE DRIVE, N.Y.S. ROUTE 34 (R.O.W. VARIES), SAID POINT BEING ON THE ASSUMED COMMON LINE OF LANDS NOW OR FORMERLY OWNED BY COMMUNITY RECREATIONAL CENTER, INC. (T.A. # 37.1-6-9) TO THE EAST AND LANDS NOW OR FORMERLY OWNED BY WARREN G. TEETER (T.A. # 37.1-6-8) TO THE WEST; THENCE

- A. N63°02'37"E, ALONG SAID SOUTHEASTERLY RIGHT OF WAY LINE OF EAST SHORE DRIVE, N.Y.S. ROUTE 34, A DISTANCE OF 146.28 FEET TO THE POINT AND PLACE OF BEGINNING; THENCE
  1. N63°02'37"E, CONTINUING ALONG SAID SOUTHEASTERLY RIGHT OF WAY LINE OF EAST SHORE DRIVE, N.Y.S. ROUTE 34, A DISTANCE OF 14.31 FEET TO A POINT; THENCE
  2. S18°43'36"W, A DISTANCE OF 48.63 FEET TO A POINT; THENCE
  3. S23°46'50"E, A DISTANCE OF 131.43 FEET TO A POINT; THENCE
  4. S18°02'37"W, A DISTANCE OF 0.65 FEET TO A POINT ALONG THE PROPOSED VERIZON WIRELESS LEASE PARCEL; THENCE
  5. N26°57'23"W, ALONG SAID PROPOSED VERIZON WIRELESS LEASE PARCEL, A DISTANCE OF 2.21 FEET TO A THE NORTHEASTERLY CORNER OF SAID PROPOSED VERIZON WIRELESS LEASE PARCEL; THENCE
  6. S63°02'37"W, ALONG SAID PROPOSED VERIZON WIRELESS LEASE PARCEL, A DISTANCE OF 11.93 FEET TO A POINT; THENCE
  7. N18°02'37"E, A DISTANCE OF 3.71 FEET TO A POINT; THENCE
  8. N23°46'50"W, A DISTANCE OF 131.50 FEET TO A POINT; THENCE
  9. N18°43'36"E, A DISTANCE OF 42.28 FEET TO THE POINT AND PLACE OF BEGINNING.

**LANDSCAPE EASEMENT DESCRIPTION**

ALL THAT TRACT OR PARCEL OF LAND SITUATE IN THE TOWN OF LANSING, COUNTY OF TOMPKINS, STATE OF NEW YORK, ALL AS SHOWN ON A MAP ENTITLED "REACH RUN - SURVEY PLAN", PREPARED BY COSTICH ENGINEERING, D.P.C., HAVING DRAWING NUMBER 7969, SHEET NUMBER VA101 AND A LAST REVISION DATE OF 01/30/2025, AND BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT ON THE ASSUMED SOUTHEASTERLY RIGHT OF WAY LINE OF EAST SHORE DRIVE, N.Y.S. ROUTE 34 (R.O.W. VARIES), SAID POINT BEING ON THE ASSUMED COMMON LINE OF LANDS NOW OR FORMERLY OWNED BY COMMUNITY RECREATIONAL CENTER, INC. (T.A. # 37.1-6-9) TO THE EAST AND LANDS NOW OR FORMERLY OWNED BY WARREN G. TEETER (T.A. # 37.1-6-8) TO THE WEST; THENCE

- A. N63°02'37"E, ALONG SAID SOUTHEASTERLY RIGHT OF WAY LINE OF EAST SHORE DRIVE, N.Y.S. ROUTE 34, A DISTANCE OF 180.03 FEET TO A POINT; THENCE
- B. S26°57'23"E, A DISTANCE OF 101.48 FEET TO A POINT; THENCE
- C. S18°02'37"W, A DISTANCE OF 87.65 FEET TO A POINT BEING THE NORTHEAST CORNER OF THE PROPOSED VERIZON WIRELESS LEASE PARCEL AT THE POINT AND PLACE OF BEGINNING; THENCE
  1. S63°02'37"W, ALONG THE PROPOSED VERIZON WIRELESS LEASE PARCEL, A DISTANCE OF 15.00 FEET TO A POINT; THENCE
  2. N26°57'23"W, A DISTANCE OF 30.00 FEET TO A POINT; THENCE
  3. N63°02'37"E, A DISTANCE OF 15.00 FEET TO A POINT; THENCE
  4. S26°57'23"E, A DISTANCE OF 30.00 FEET TO THE POINT AND PLACE OF BEGINNING.



1275 JOHN STREET, SUITE #100  
WEST HENRIETTA, NEW YORK 14586



**COSTICH ENGINEERING**  
217 LAKE AVENUE  
ROCHESTER, NY 14608  
(585) 458-3020

- CIVIL ENGINEERING
- LAND SURVEYING
- LANDSCAPE ARCHITECTURE

NO.	DATE	COMMENTS
0	04/03/2024	TKW ISSUED PRELIMINARY FOR REVIEW
1	04/17/2024	AJK ADDED 1A CERTIFICATION AND RFDS
2	04/24/2024	AJK ISSUED FINAL
3	12/10/2024	TKW ADDED LANDSCAPING
4	01/29/2025	AJK REVISED LANDSCAPING, GRADING AND GENERATOR ADDED FALL LETTER
5	01/30/2025	AJK NORWAY SPRUCE



PROJECT MANAGER

D.A.W.

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SITE INFORMATION

REACH RUN  
PROJECT ID: 17215090  
MDG LOCATION ID: 5000007341

TOWN OF LANSING  
COUNTY OF TOMPKINS  
STATE OF NEW YORK

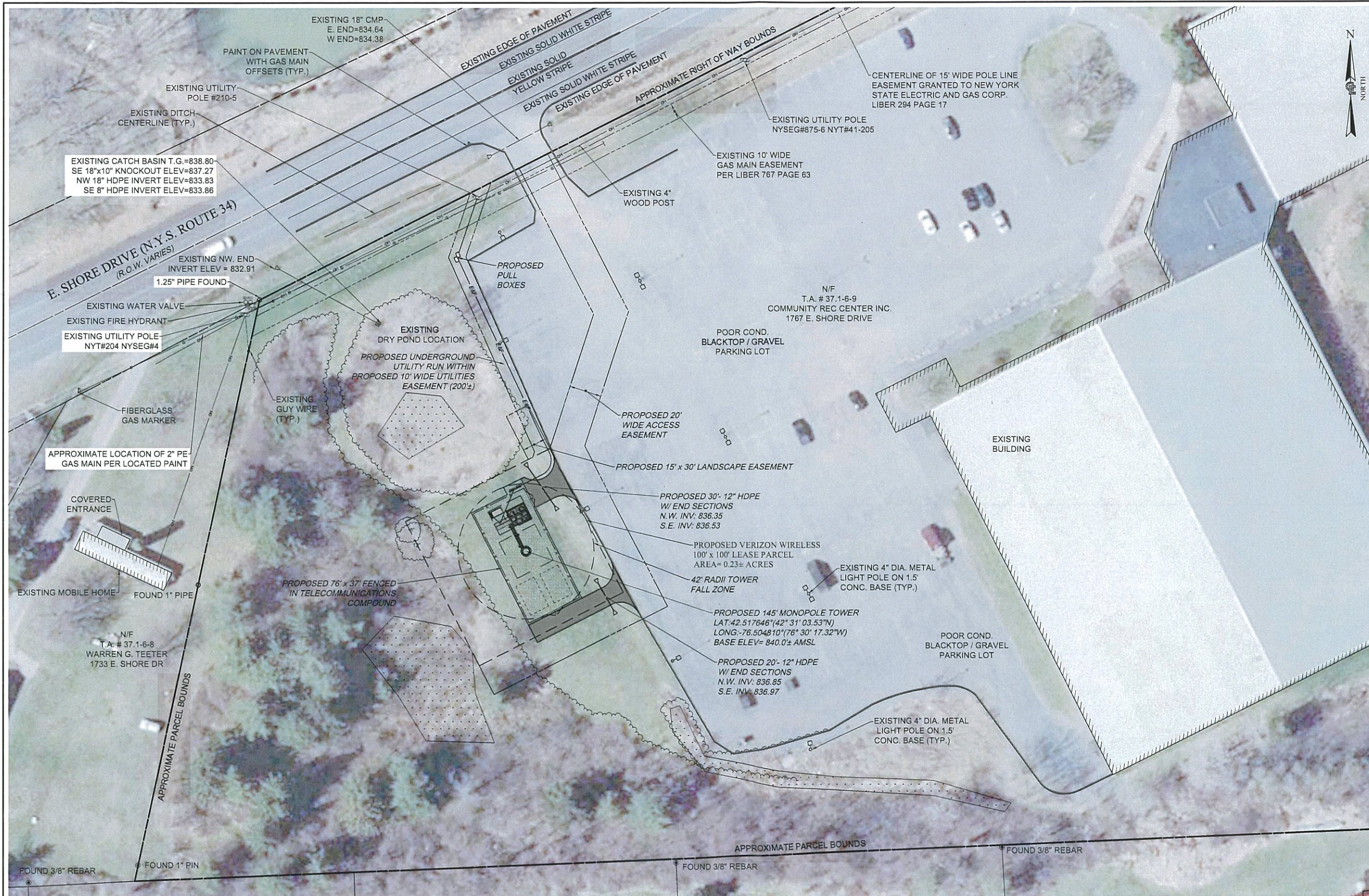
SHEET TITLE

SURVEY NOTES AND DESCRIPTIONS

C.E. JOB NUMBER SHEET NUMBER

7969

VA110



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TOWN OF LANSING  
 COUNTY OF TOMPKINS  
 STATE OF NEW YORK

SHEET TITLE  
**OVERALL SITE PLAN**

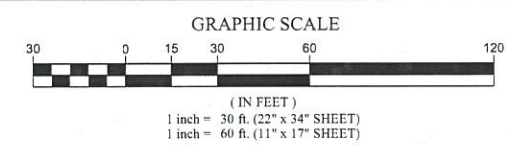
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**7969**

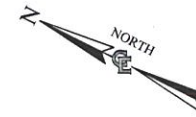
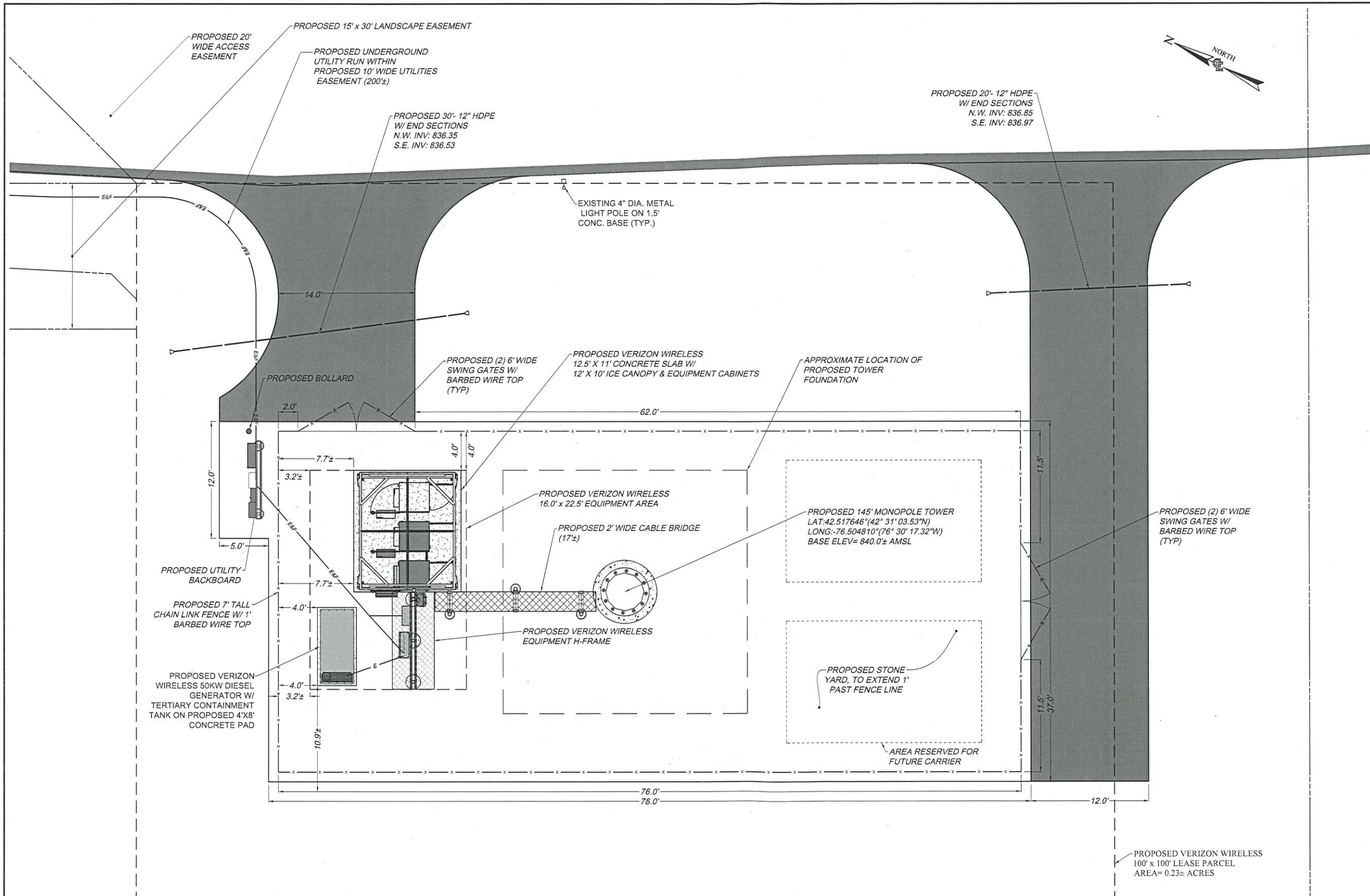
SHEET NUMBER  
**CA100**

**UDIG-NY 811**

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**OVERALL SITE PLAN**  
 SCALE: 1" = 30' (22 x 34 SHEET)  
 1" = 60' (11 x 17 SHEET)





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WEST HENRIETTA, NEW YORK 14586

**COSTICH ENGINEERING**

- CIVIL ENGINEERING
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PROJECT ID: 17215090  
MDG LOCATION ID: 5000007341

TOWN OF LANSING  
COUNTY OF TOMPKINS  
STATE OF NEW YORK

SHEET TITLE  
**COMPOUND PLAN**

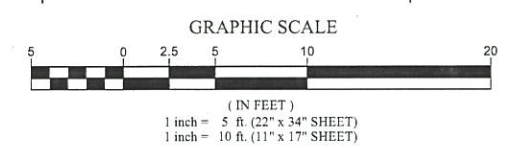
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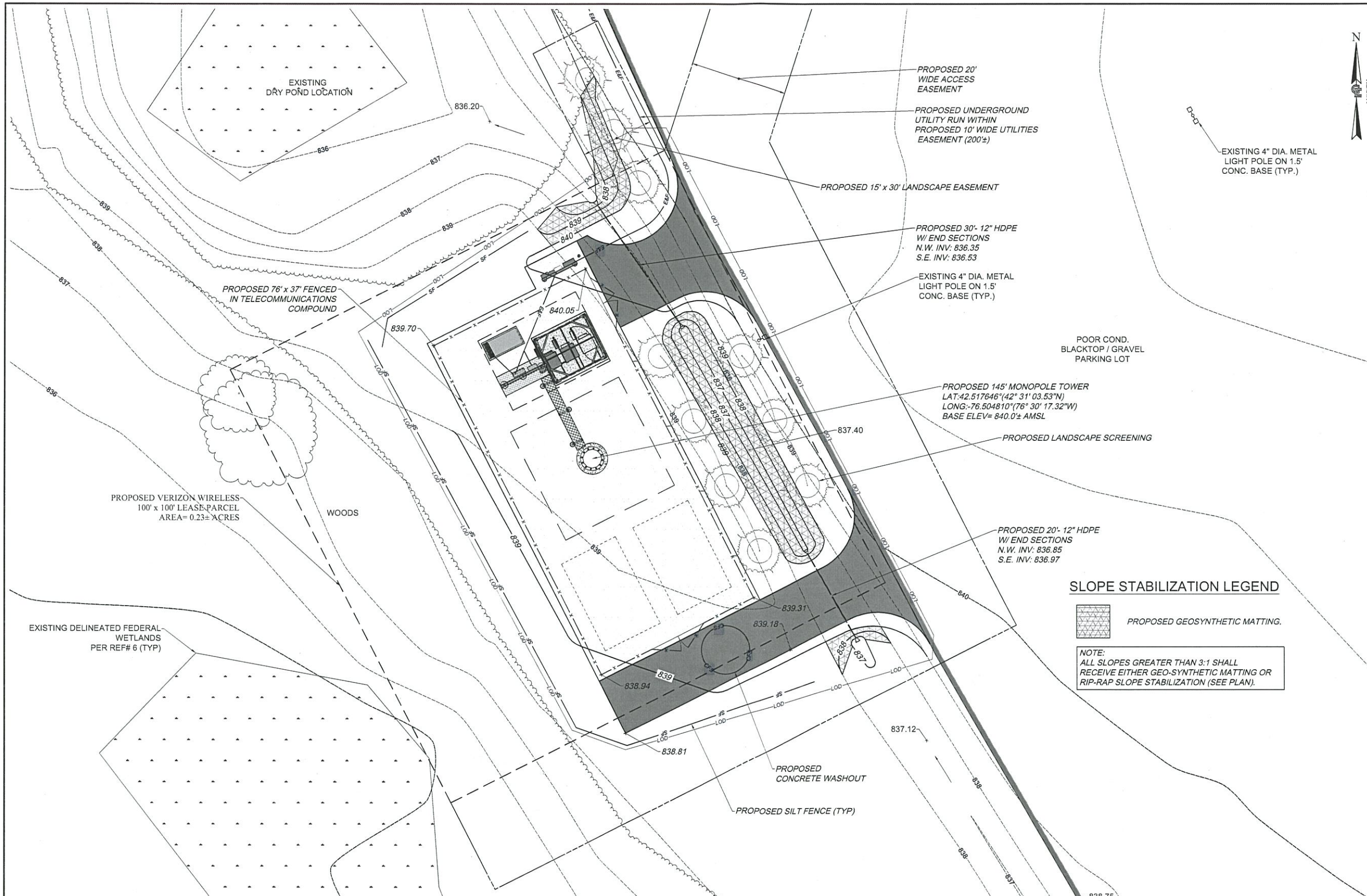
SHEET NUMBER  
**CA110**



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**COMPOUND PLAN**  
SCALE: 1" = 5' (22 x 34 SHEET)  
1" = 10' (11 x 17 SHEET)





1275 JOHN STREET, SUITE #100  
WEST HENRIETTA, NEW YORK 14586



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• LANDSCAPE ARCHITECTURE  
COSTICH ENGINEERING  
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REACH RUN  
PROJECT ID: 17215090  
MDG LOCATION ID: 500007341

TOWN OF LANSING  
COUNTY OF TOMPKINS  
STATE OF NEW YORK

SHEET TITLE  
GRADING & EROSION CONTROL PLAN

C.E. JOB NUMBER SHEET NUMBER  
7969 CA120

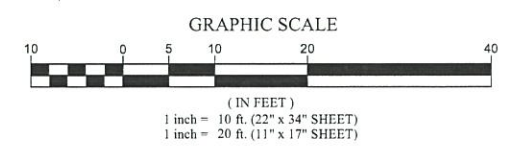
**UDIG-NY**  
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**1 GRADING & EROSION CONTROL PLAN**  
SCALE: 1" = 10' (22 x 34 SHEET)  
1" = 20' (11 x 17 SHEET)

**SLOPE STABILIZATION LEGEND**

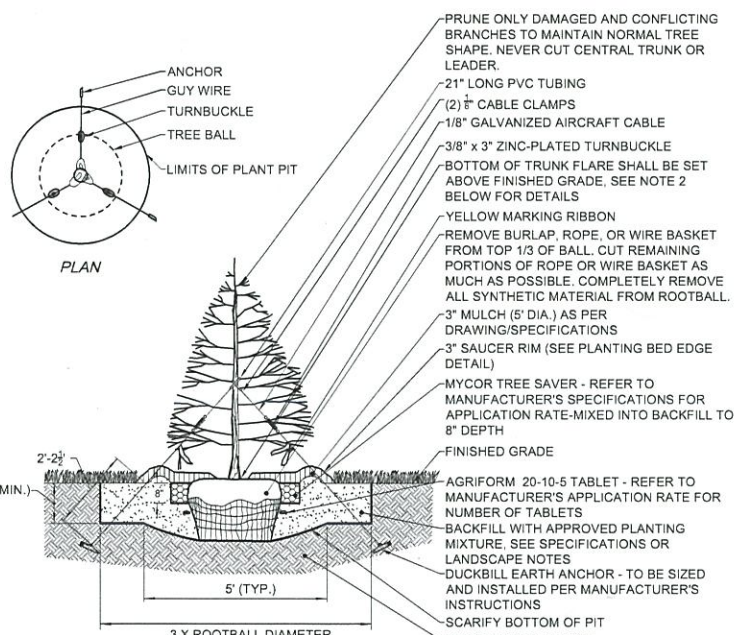
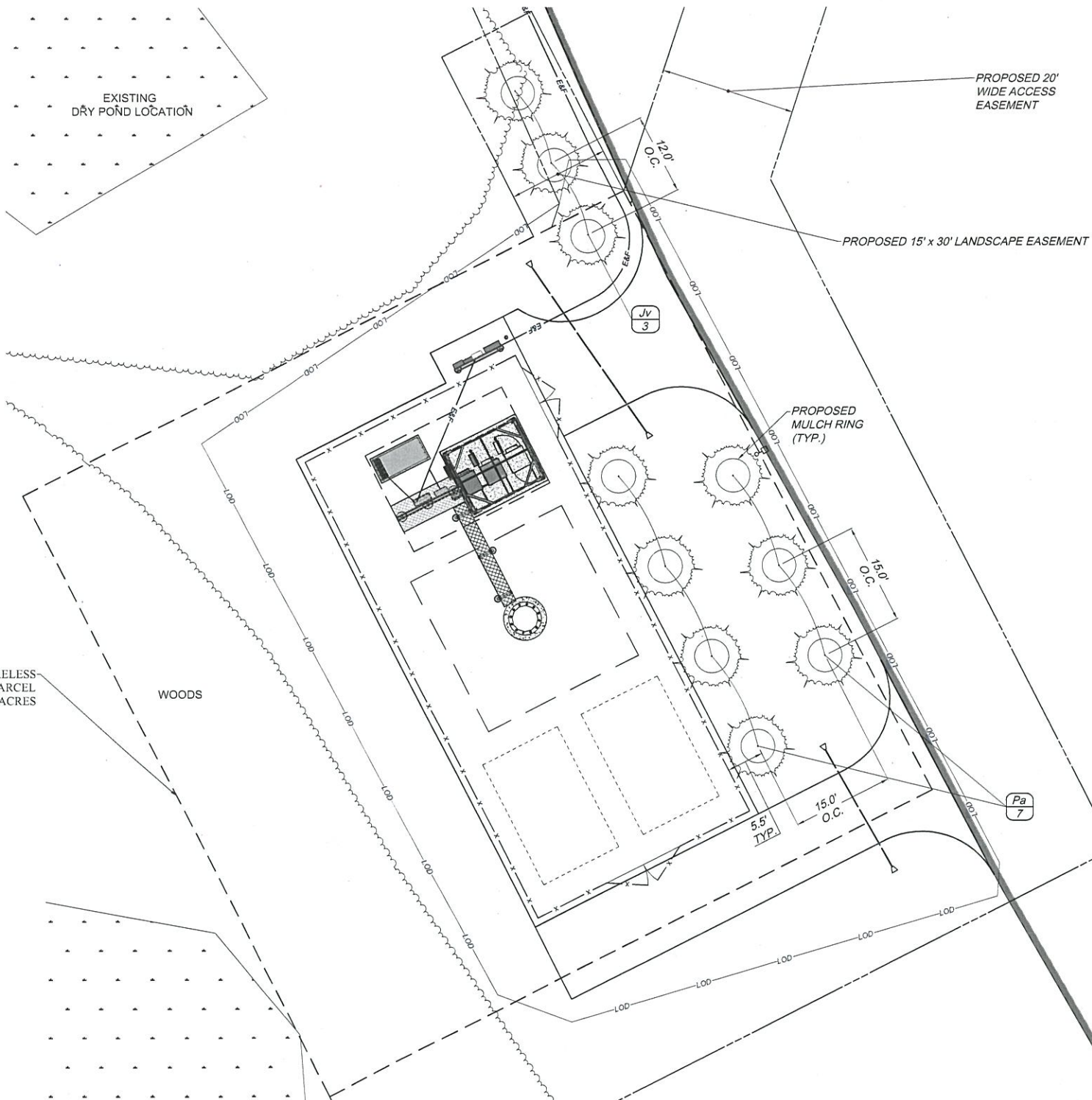
PROPOSED GEOSYNTHETIC MATTING.

**NOTE:**  
ALL SLOPES GREATER THAN 3:1 SHALL RECEIVE EITHER GEO-SYNTHETIC MATTING OR RIP-RAP SLOPE STABILIZATION (SEE PLAN).



**LANDSCAPE NOTES**

- LANDSCAPE CONTRACTOR SHALL SECURE CURRENT PLANS AND SPECIFICATIONS FOR PROPER CONSTRUCTION METHODS AND MATERIAL OF ALL LANDSCAPING PRIOR TO COMMENCING WORK.
- ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSEYMEN, ANSI Z60.1 (LATEST EDITION).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFF.
- THE CONTRACTOR SHALL PERFORM A ROUGH FIELD STAKEOUT OF ALL PLANT MATERIAL AND SHRUB-BEDS. CONTACT OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL. LOCATIONS SHOWN ON THE PLANS CONVEY DESIGN INTENT ONLY. ACTUAL LOCATIONS WILL BE AS DIRECTED BY THE LANDSCAPE ARCHITECT AT THE TIME OF INSTALLATION.
- THE CONTRACTOR IS HEREBY NOTIFIED THAT UNDERGROUND UTILITIES EXIST. SHOULD LOCATION OF TREES BE WITHIN 5' OF UNDERGROUND UTILITIES, RELOCATE SAID TREES TO A MINIMUM OF 5' FROM BALL TO UTILITIES.
- SHOULD LOCATION OF TREES BE WITHIN 20' OF OVERHEAD WIRES, RELOCATE SAID TREES TO A MINIMUM OF 20' FROM WIRES.
- ALL AREAS DISTURBED BY UTILITY INSTALLATION AND SITE GRADING ACTIVITY SHALL RECEIVE 6" APPROVED TOPSOIL (TO A COMPACTED DEPTH OF 6", UNLESS OTHERWISE SPECIFIED BY THE GOVERNING MUNICIPALITY) BE FINE GRADED, SEEDED, MULCHED, AND WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIALS FOR ONE YEAR FROM DATE OF PROVISIONAL ACCEPTANCE.
- ALL PLANTED AREAS SHALL RECEIVE A 3" LAYER OF BLACK SHREDDED HARDWOOD MULCH.
- ALL PLANTS MUST BE HARDY UNDER CLIMATE CONDITIONS THAT EXIST AT THE PROJECT SITE AND GROWN AT A NURSERY AT THE SAME HARDINESS ZONE AS THE PROJECT LOCATION.
- NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER OR OWNER'S PROJECT LANDSCAPE ARCHITECT.
- ANY PLANT WHICH DIES, TURNS BROWN, OR DEFLOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE MEETING ALL PLANT LIST SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANT MATERIALS (INCLUDING, BUT NOT LIMITED TO WATERING, SPRAYING, MULCHING, FERTILIZING, AND REMOVAL OF STAKES AND GUYS) AND NEWLY ESTABLISHED LAWN AREAS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER.
- ALL AREAS DISTURBED BY UTILITY INSTALLATION AND SITE GRADING ACTIVITY SHALL RECEIVE APPROVED TOPSOIL (TO A COMPACTED DEPTH OF 6", UNLESS OTHERWISE SPECIFIED BY THE GOVERNING MUNICIPALITY) BE FINE GRADES, SEEDED, MULCHED, AND WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.



- NOTES:**
- MAINTAIN A 2' MINIMUM RADIUS CLEAR OF MULCH AROUND THE TRUNK.
  - THE DISTANCE BETWEEN THE BOTTOM OF THE TRUNK FLARE AND THE FINISHED GRADE SHALL BE AS FOLLOWS:
    - FOR SANDY OR LOAMY SOILS: 1"
    - FOR CLAY OR POORLY DRAINED SOILS: 3"
  - THE CONTRACTOR SHALL REVIEW THE APPROPRIATE PLANTING DEPTH WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
  - WHEN TAGGING TREES AT THE NURSERY, MARK THE NORTH SIDE OF THE TREE IN THE FIELD AND WHEN INSTALLING, ROTATE TREE TO FACE NORTH WHENEVER POSSIBLE

**EVERGREEN TREE PLANTING DETAIL**

SCALE: NTS

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	MATURE SIZE
<b>EVERGREEN TREES</b>						
3	Jv	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	6' -7'	BB	HT. 40'-50', SP. 10'-20'
7	Pa	PICEA ABIES	NORWAY SPRUCE	6' -7'	BB	HT. 40'-60', SP. 25'

**ABBREVIATIONS:**  
 BB=BALLED & BURLAPPED  
 BR=BARE ROOT  
 HT=HEIGHT  
 NO.=GALLON SIZE  
 CAL.=CALIPER IN INCHES  
 CONT.=CONTAINER  
 SP.=SPREAD

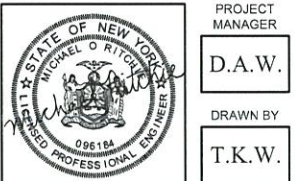
**NOTES:**  
 - CALIPER TO BE MEASURED 6" ABOVE GRADE  
 - PLANT SYMBOLS REPRESENT 2/3 MATURE SIZE



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PROJECT MANAGER  
D.A.W.  
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T.K.W.

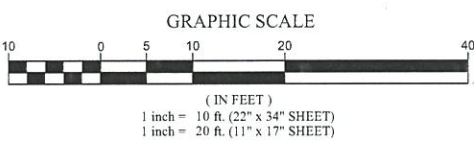
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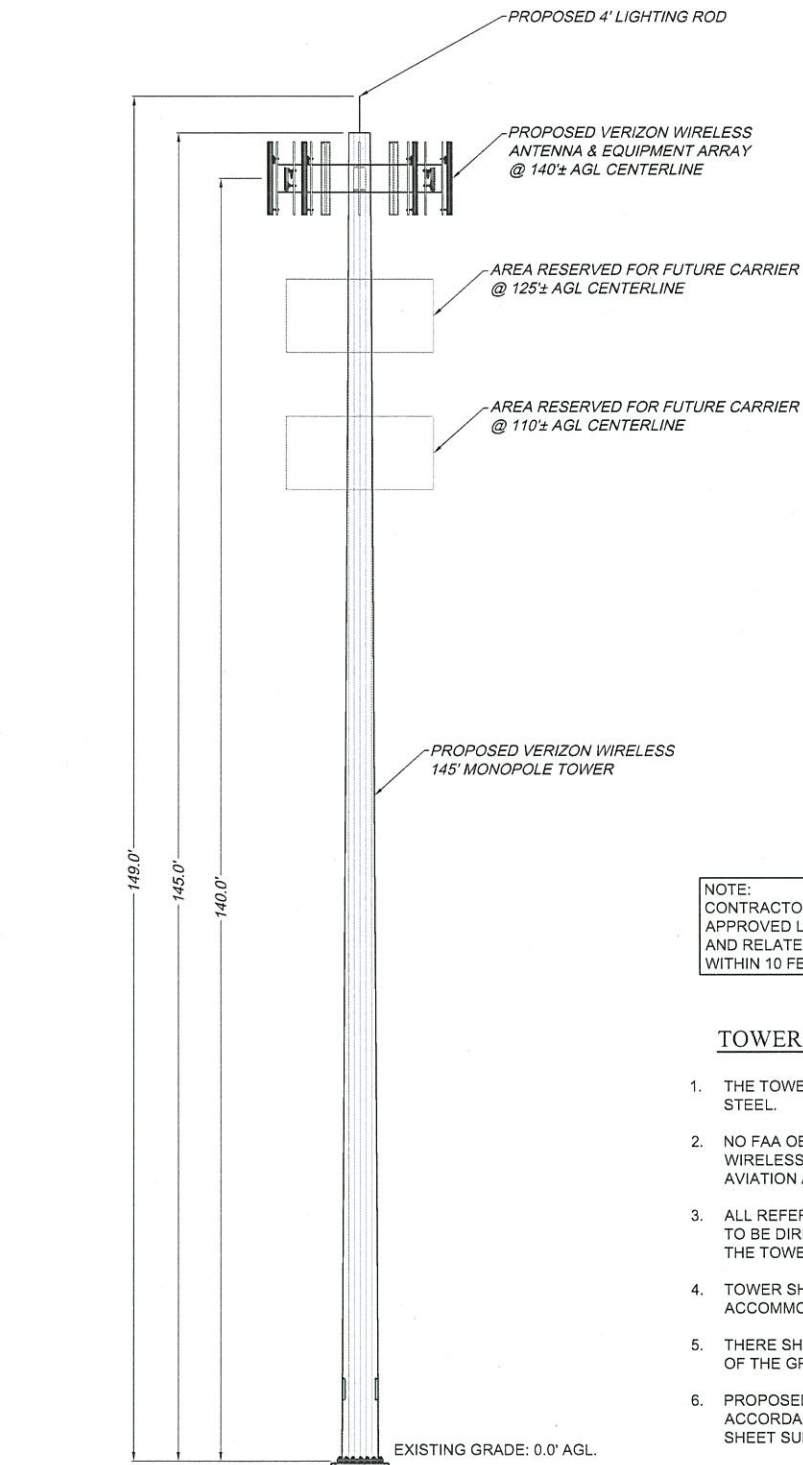
SITE INFORMATION  
 REACH RUN  
 PROJECT ID: 17215090  
 MDG LOCATION ID: 5000007341

TOWN OF LANSING  
 COUNTY OF TOMPKINS  
 STATE OF NEW YORK

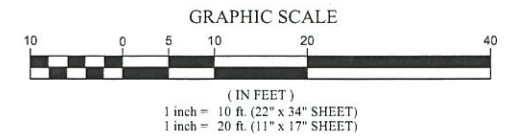
LANDSCAPE PLAN AND DETAILS

C.E. JOB NUMBER SHEET NUMBER  
 7969 LA100





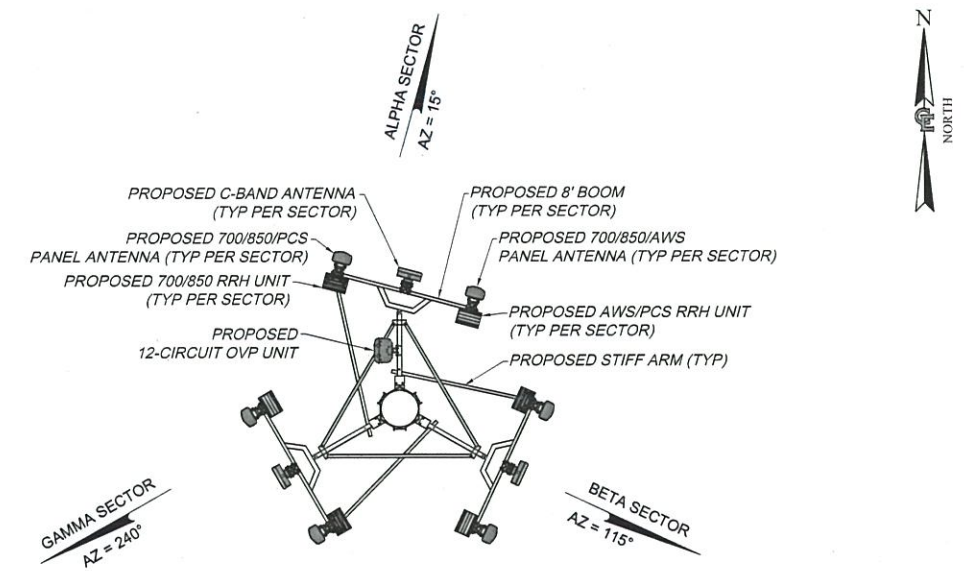
**1 TOWER ELEVATION**  
 CA200 SCALE: 1" = 10' (22" x 34" SHEET)  
 1" = 20' (11" x 17" SHEET)



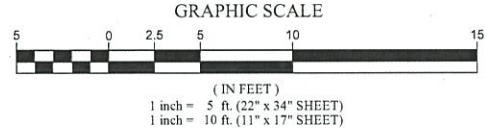
**NOTE:**  
 CONTRACTORS MUST UTILIZE VERIZON WIRELESS APPROVED LOW-PIM CABLE SUPPORT FASTENERS AND RELATED ANCILLARY ATTACHMENT HARDWARE WITHIN 10 FEET OF VERIZON WIRELESS ANTENNAS

**TOWER NOTES**

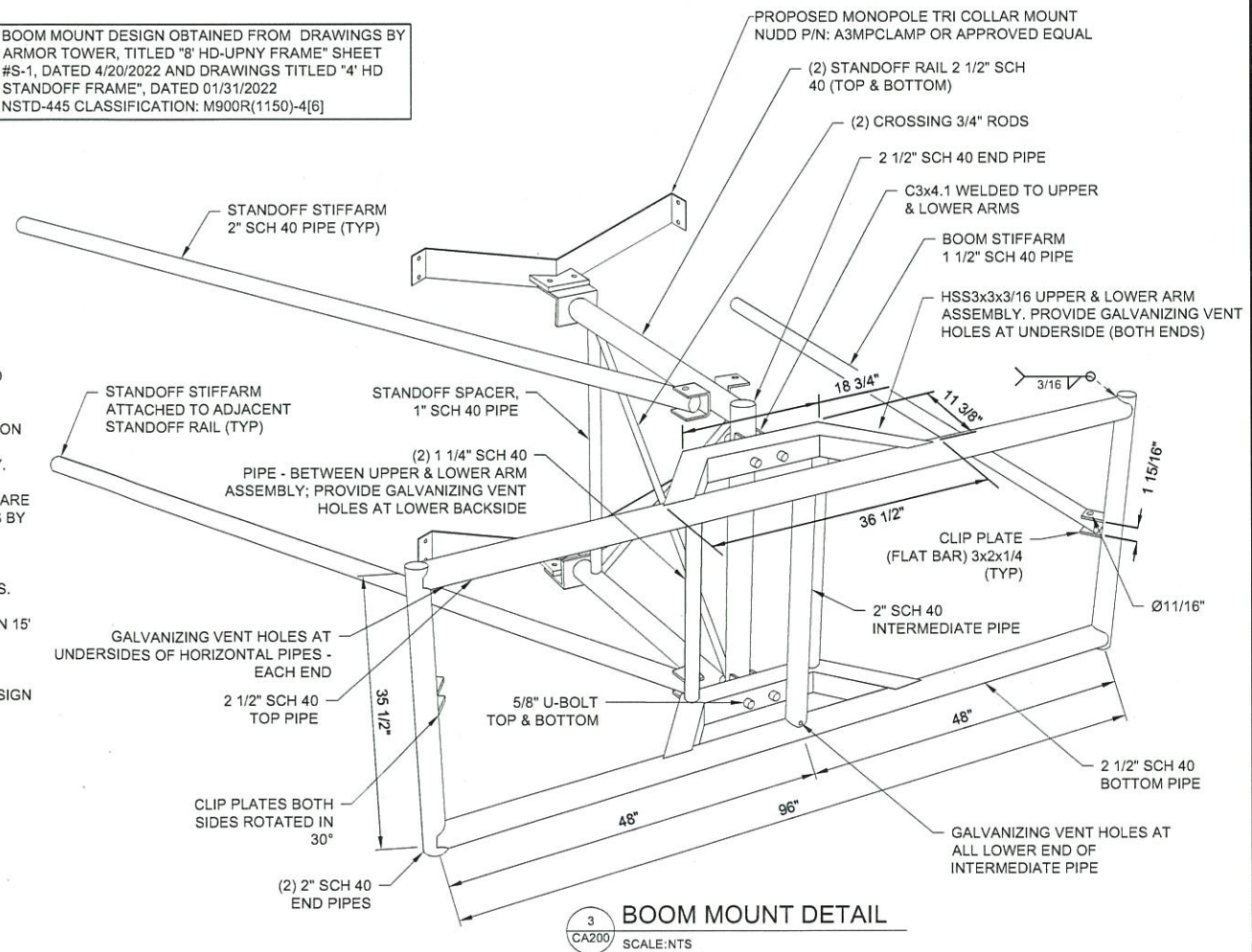
1. THE TOWER SHALL BE CONSTRUCTED WITH GALVANIZED STEEL.
2. NO FAA OBSTRUCTION LIGHTING IS PROPOSED BY VERIZON WIRELESS UNLESS IT IS REQUIRED BY THE FEDERAL AVIATION ADMINISTRATION OR THE LOCAL MUNICIPALITY.
3. ALL REFERENCES TO THE TOWER AND ITS FOUNDATION ARE TO BE DIRECTED TO THE DESIGN AND DETAIL DRAWINGS BY THE TOWER SUPPLIER.
4. TOWER SHALL BE DESIGNED/ CONSTRUCTED TO ACCOMMODATE A TOTAL OF THREE WIRELESS CARRIERS.
5. THERE SHALL BE NO PERMANENT CLIMBING PEGS WITHIN 15' OF THE GROUND OF ANY TOWER.
6. PROPOSED ANTENNAS SHALL BE INSTALLED IN ACCORDANCE WITH THE SITE SPECIFIC RF ANTENNA DESIGN SHEET SUPPLIED BY THE RF SYSTEMS ENGINEER.
7. TOWER SHALL BE DESIGNED AND CONSTRUCTED SUCH THAT IN THE UNLIKELY EVENT OF TOWER FAILURE THE TOWER SHALL COLLAPSE WITHIN A RADIUS OF 42'.



**2 ANTENNA ORIENTATION**  
 CA200 SCALE: 1" = 5' (22" x 34" SHEET)  
 1" = 10' (11" x 17" SHEET)



BOOM MOUNT DESIGN OBTAINED FROM DRAWINGS BY ARMOR TOWER, TITLED "8' HD-UPNY FRAME" SHEET #S-1, DATED 4/20/2022 AND DRAWINGS TITLED "4' HD STANDOFF FRAME", DATED 01/31/2022  
 NSTD-445 CLASSIFICATION: M900R(1150)-4[6]



**3 BOOM MOUNT DETAIL**  
 CA200 SCALE: NTS

**verizon**  
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 WEST HENRIETTA, NEW YORK 14586

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**D.A.W.**  
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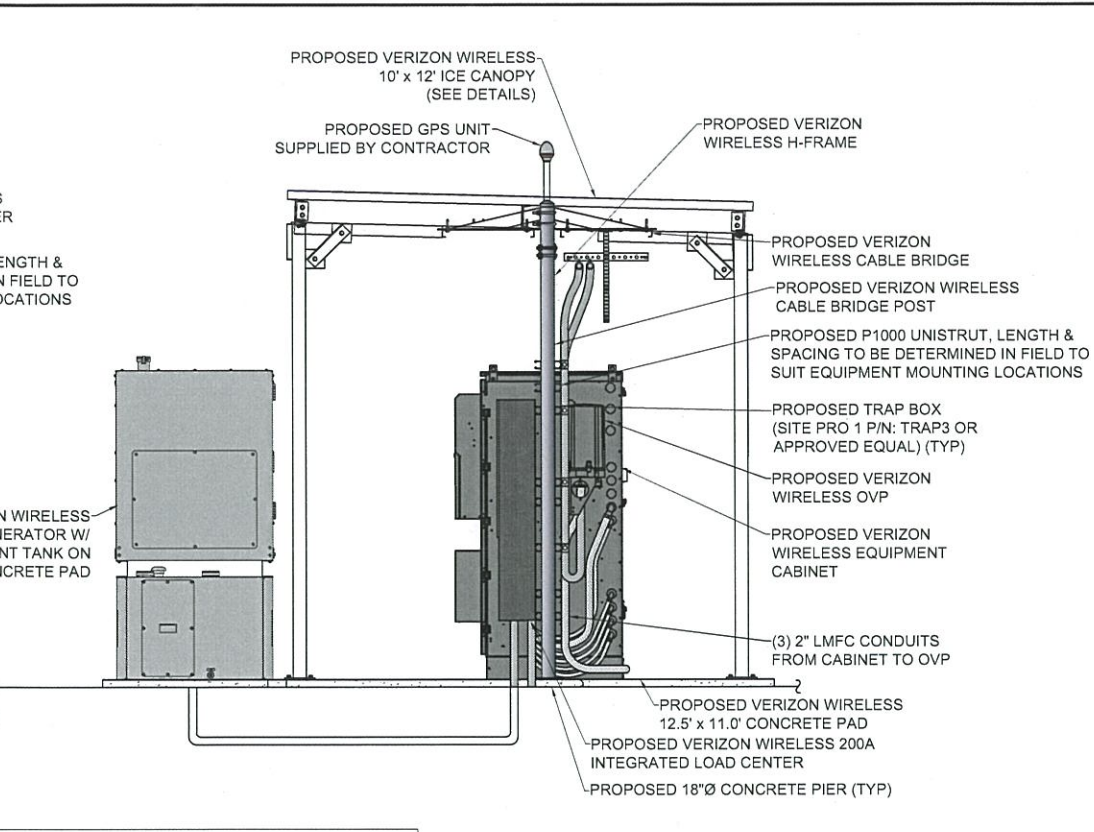
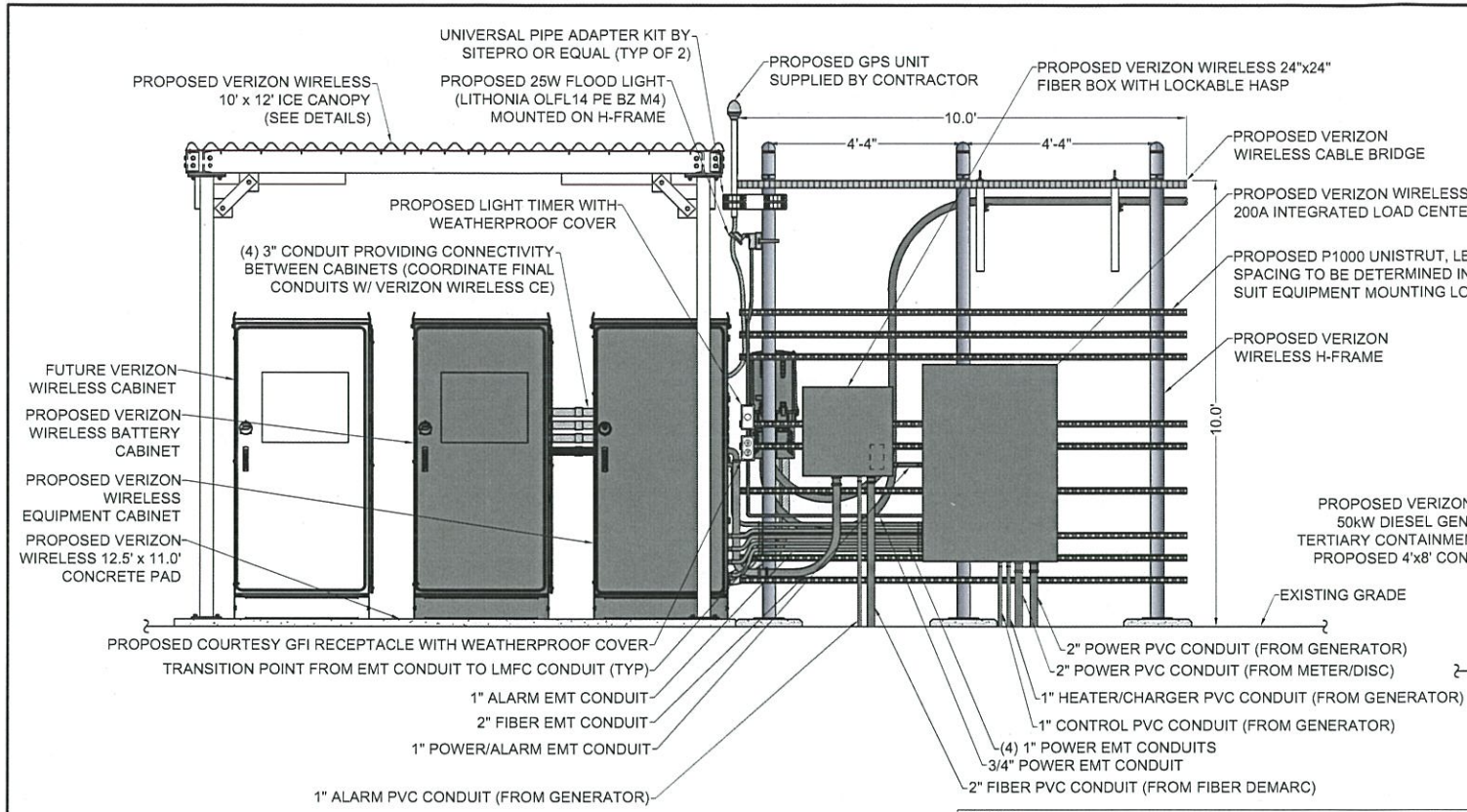
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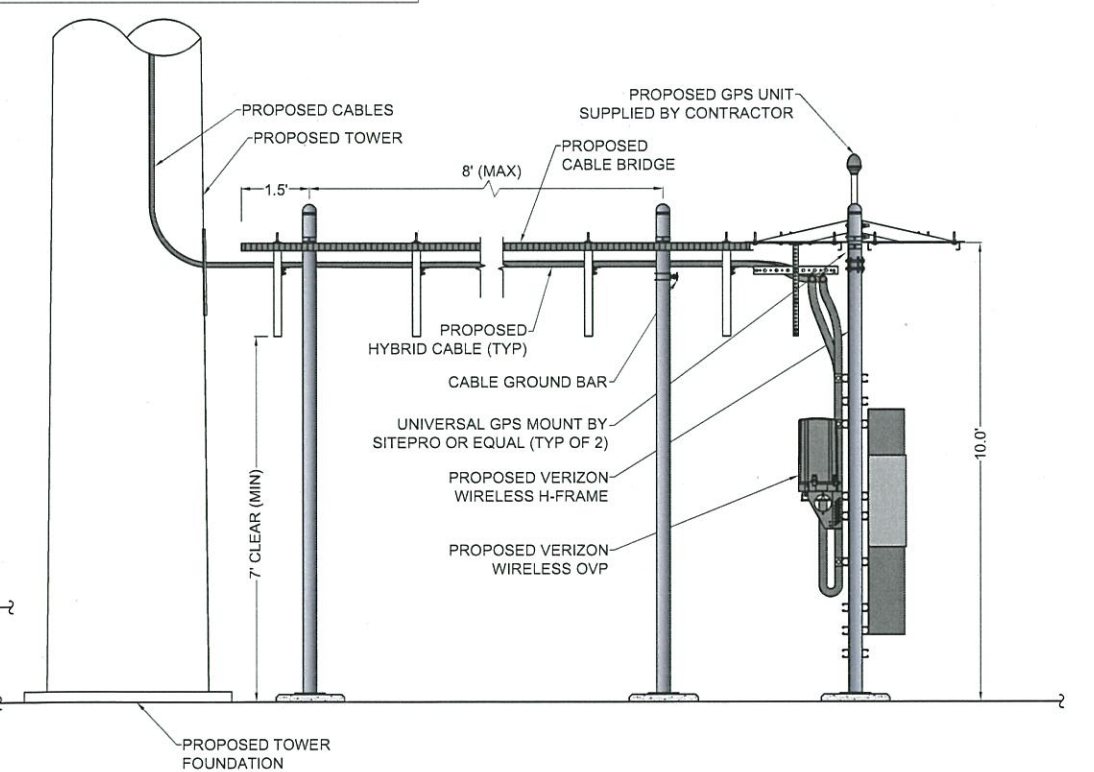
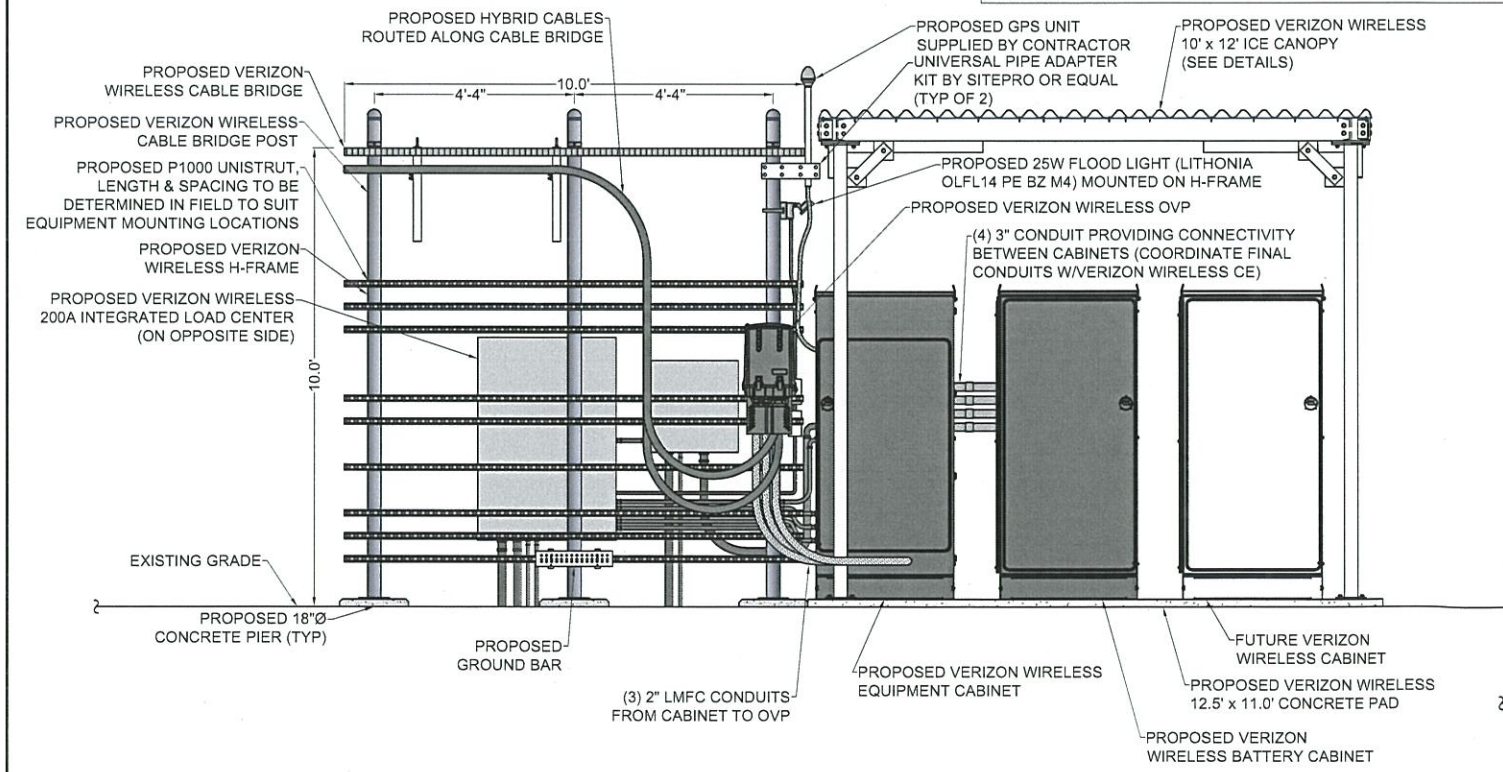
TOWN OF LANSING  
 COUNTY OF TOMPKINS  
 STATE OF NEW YORK

SHEET TITLE  
**TOWER ELEVATION AND ANTENNA ORIENTATION PLAN**

C.E. JOB NUMBER SHEET NUMBER  
**7969 CA200**



- NOTES:
1. GENERAL CONTRACTOR AND VERIZON WIRELESS SETUP VENDOR TO INSTALL PULL STRINGS IN ALL EQUIPMENT CONDUITS AS APPLICABLE (OVP, ALARM, POWER, FIBER, AND GENERATOR)
  2. VERIZON WIRELESS SETUP VENDOR TO ADD PLYWOOD BACKING BOARD INSIDE HOFFMAN BOX.
  3. VERIZON WIRELESS SETUP VENDOR TO PROVIDE AND INSTALL CAT6 ETHERNET CABLING FOR ALL ALARM POINTS REQUIRED BY VERIZON WIRELESS STANDARDS.
  4. ALL CIVIL SITE WORK (CONDUITS, GROUNDING, CONCRETE) TO BE PERFORMED BY VERIZON WIRELESS GENERAL CONTRACTOR. ALL OTHER WORK TO BE DONE BY OTHERS.



**verizon**

1275 JOHN STREET, SUITE #100  
WEST HENRIETTA, NEW YORK 14586

**COSTICH ENGINEERING**

- CIVIL ENGINEERING
- LAND SURVEYING
- LANDSCAPE ARCHITECTURE

217 LAKE AVENUE  
ROCHESTER, NY 14608  
(585) 458-3520

NO.	DATE	COMMENTS
0	04/03/2024	TKW ISSUED PRELIMINARY FOR REVIEW
1	04/17/2024	AJK ADDED 1A CERTIFICATION AND RFDS
2	04/24/2024	AJK ISSUED FINAL
3	12/10/2024	TKW ADDED LANDSCAPING
4	01/29/2025	AJK REVISED LANDSCAPING, GRADING AND GENERATOR ADDED FALL LETTER
5	01/30/2025	AJK NORWAY SPRUCE

PROJECT MANAGER  
**D.A.W.**

DRAWN BY  
**T.K.W.**

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SITE INFORMATION

REACH RUN  
PROJECT ID: 17215090  
MDG LOCATION ID: 5000007341

TOWN OF LANSING  
COUNTY OF TOMPKINS  
STATE OF NEW YORK

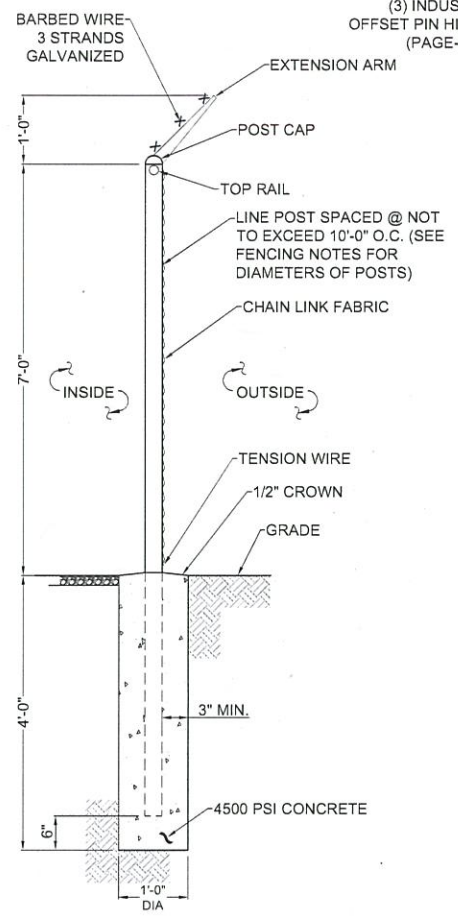
SHEET TITLE

**EQUIPMENT ELEVATIONS**

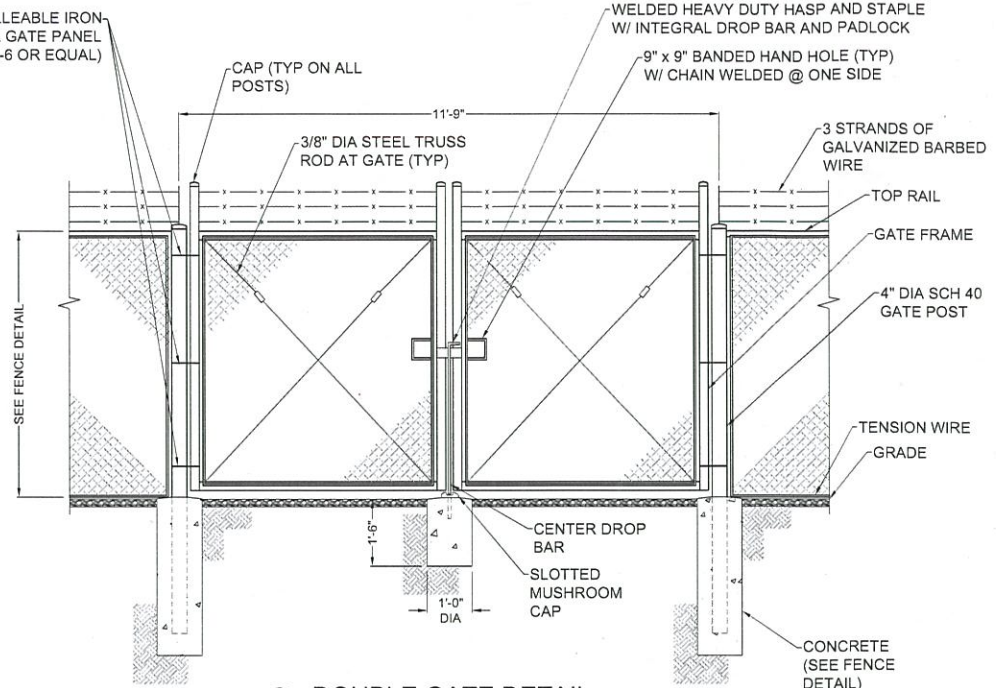
C.E. JOB NUMBER  
**7969**

SHEET NUMBER  
**CA500**

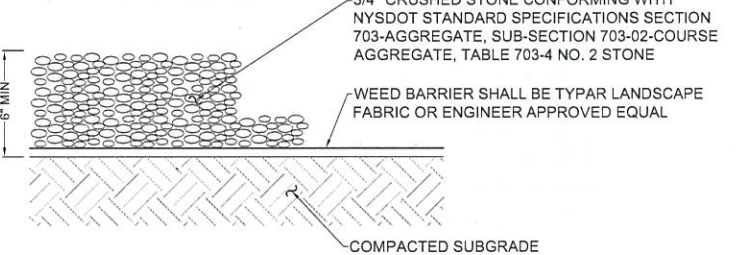




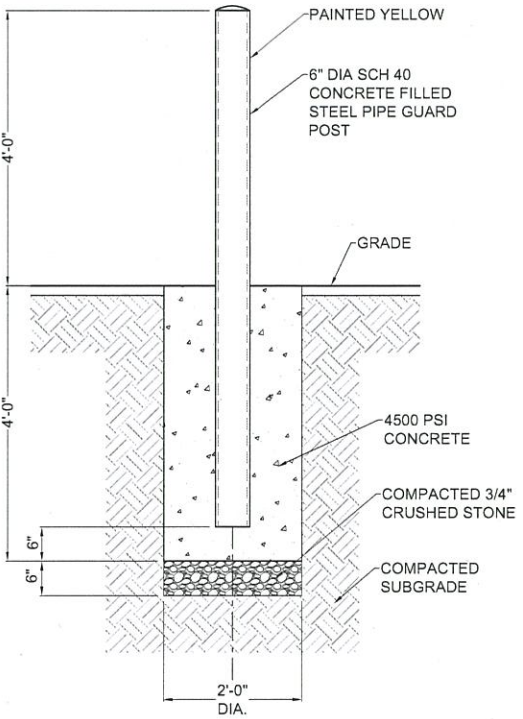
1 FENCE DETAIL  
SCALE: NTS



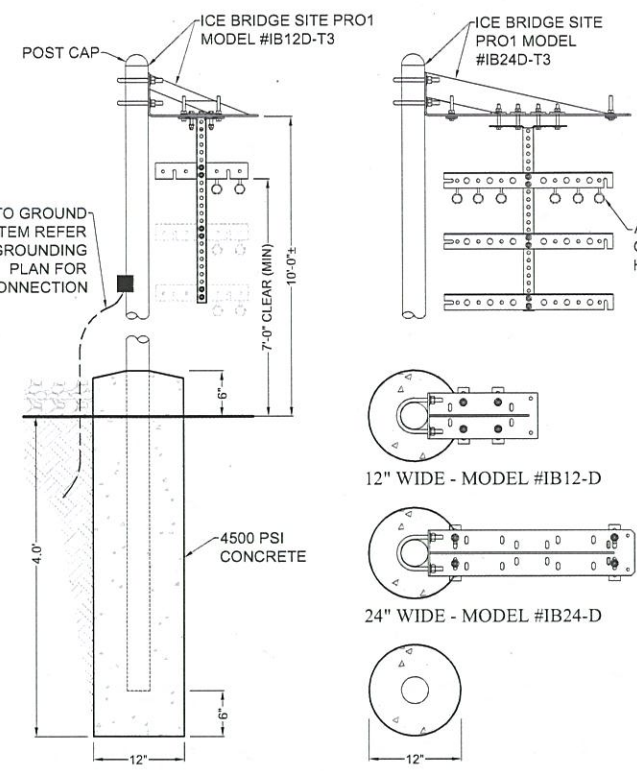
2 DOUBLE GATE DETAIL  
SCALE: 1/2" = 1'-0" (22x34 SIZE)  
1/4" = 1'-0" (11x17 SIZE)



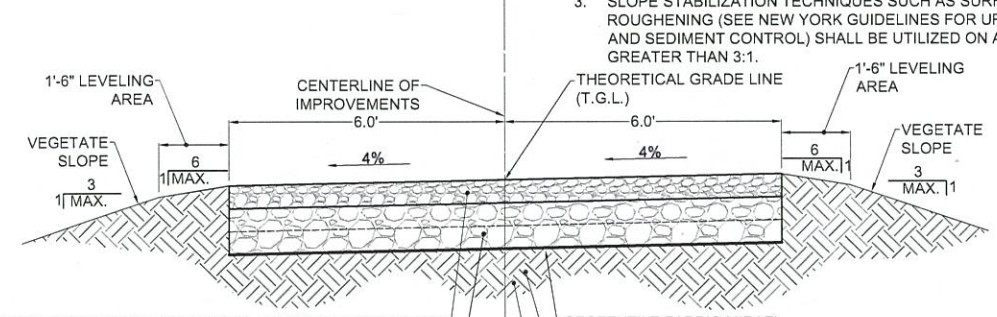
4 GRAVEL SURFACING TREATMENT  
SCALE: NTS



5 BOLLARD DETAIL  
SCALE: 3/4" = 1'-0" (22x34 SIZE)  
3/8" = 1'-0" (11x17 SIZE)



3 CABLE BRIDGE / H-FRAME DETAIL  
SCALE: NTS



6 GRAVEL DRIVE CROSS SECTION  
SCALE: 1" = 2' (22x34 SIZE)  
1" = 4' (11x17 SIZE)

- NOTE:
1. ACCESS DRIVE STONE TO BE ACQUIRED FROM N.Y.S.D.O.T. APPROVED QUARRY.
  2. ALL DISTURBED AREAS NOT RECEIVING STONE SHALL RECEIVE 4" OF TOPSOIL AND BE SEED AS DIRECTED BY CELLULAR NETWORK REPRESENTATIVE.
  3. SLOPE STABILIZATION TECHNIQUES SUCH AS SURFACE ROUGHENING (SEE NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL) SHALL BE UTILIZED ON ALL SLOPES GREATER THAN 3:1.

6" N.Y.S.D.O.T. PAY ITEM NO. 304.12, MATERIAL DESIGNATION 733.0402 SUBBASE COURSE TYPE 2, COMPACTED WITH A 12 TON SMOOTH DRUM VIBRATORY ROLLER

12" N.Y.S.D.O.T. PAY ITEM NO. 623.12 DESIGNATION #4 CRUSHED STONE (12" MINIMUM WITH 2-6" COMPACTED LIFTS COMPACTED WITH A 12 TON SMOOTH DRUM VIBRATORY ROLLER). THE CELLULAR CONSTRUCTION MANAGER MAY SPECIFY ADDITIONAL STONE BASE AS FIELD CONDITIONS WARRANT.

GEOTEXTILE FABRIC MIRAFI 500X OR APPROVED EQUAL

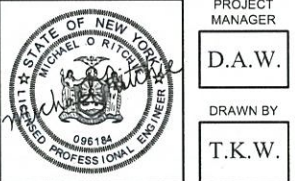
PROOF-ROLL ROADWAY SUBGRADE AREAS USING A 12 TON SMOOTH DRUM VIBRATORY ROLLER. AREAS THAT SHOW PUMPING OR WHICH ARE OTHERWISE UNSATISFACTORY SHALL BE UNDERCUT AND REPLACED WITH COMPACTED FILL, OR STABILIZED IN PLACE.

SUBGRADE AREAS THAT CANNOT BE STABILIZED OR RESULT IN REMOVAL OF ALL ORGANICS UTILIZING A MAXIMUM OF 1.0' OF UNDERCUT SHOULD BE REPORTED TO THE CONSTRUCTION MANAGER. CONSTRUCTION MANAGER SHALL RECOMMEND THE APPROPRIATE BRIDGING TECHNIQUE THAT MAY INCLUDE UTILIZATION OF STONE FILLING, ADDITIONAL FABRIC AND/OR GEOTEXTILE MATERIALS.

- EARTH WORK SUBGRADE COMPACTION & SELECT GRANULAR FILL
1. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING & GRUBBING THE CONSTRUCTION SITE AND ROADWAY AREAS. THE CONTRACTOR SHALL COMPLY WITH THE RECOMMENDATIONS CONTAINED WITHIN THE GEOTECHNICAL REPORT, AS PREPARED FOR THIS SITE, WHEN NECESSARY, FOR SITE WORK PREPARATION, & FOUNDATION WORK. AS A MINIMUM THE TOP 3" OF GRADE SHALL BE REMOVED, THE EXPOSED SUBGRADE COMPACTIONED AND GEOTEXTILE FABRIC INSTALLED AS REQUIRED FOR UNSTABLE SOIL CONDITION.
  2. ALL SELECT GRANULAR FILL SHALL BE COMPACTIONED TO A 95% COMPACTION AT A MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST (ASTM D-1557) AND WITHIN PLUS OR MINUS 3% OF OPTIMUM MOISTURE CONTENT.
  3. CONTRACTOR TO ASSURE THAT EXISTING DRAINAGE PATTERNS ARE MAINTAINED.



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PROJECT MANAGER  
D.A.W.  
DRAWN BY  
T.K.W.

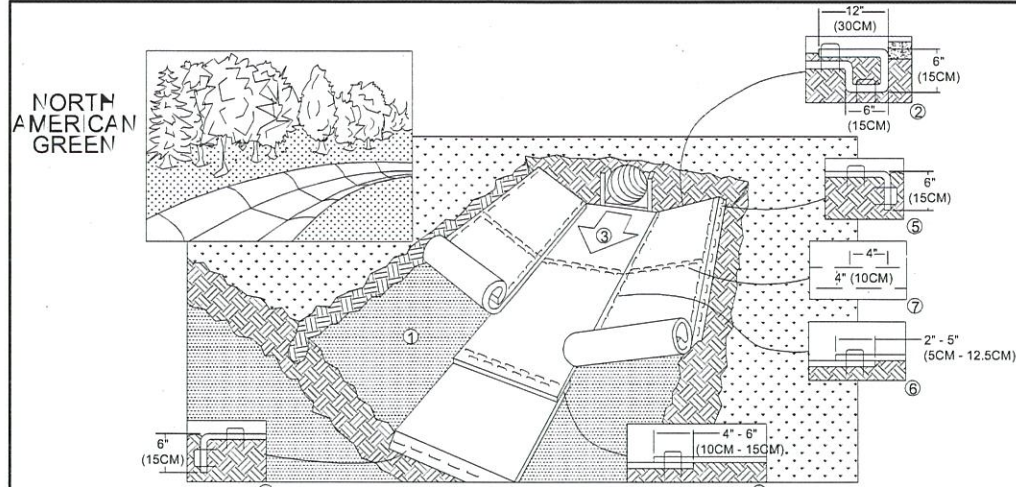
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REACH RUN  
PROJECT ID: 17215090  
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TOWN OF LANSING  
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STATE OF NEW YORK

SHEET TITLE  
SITE DETAILS

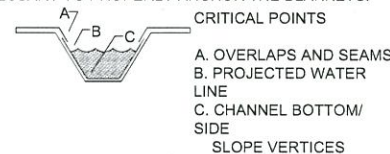
C.E. JOB NUMBER  
7969  
SHEET NUMBER  
CA501



- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
- BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" (15CM) DEEP x 6" (15CM) WIDE TRENCH WITH APPROXIMATELY 12" (30CM) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/ STAKES APPROXIMATELY 12" (30CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30CM) PORTION OF THE BLANKET BACK OVER SEED AND COMPACT SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/ STAKES SPACED APPROXIMATELY 12" (30CM) ACROSS THE WIDTH OF THE BLANKET.
- ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/ STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM™, STAPLES/ STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4" - 6" (10CM - 15CM) OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" (10CM) APART AND 4" (10 CM) ON CENTER TO SECURE BLANKETS.
- FULL LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES/ STAKES APPROXIMATELY 12" (30CM) APART IN A 6" (12CM) DEEP x 6" (15CM) WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- ADJACENT BLANKETS MUST BE OVERLAPPED APPROXIMATELY 2" - 5" (5CM - 12.5CM) (DEPENDING ON BLANKET TYPE) AND STAPLED.
- IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT (9M - 12M) INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" (10CM) APART AND 4" (10CM) ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL.
- THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/ STAKES APPROXIMATELY 12" (30CM) APART IN A 6" (15CM) DEEP x 6" (15CM) WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

NOTE:

\* IN LOOSE SOIL CONDITIONS, THE USE OF STAPLES OR STAKE LENGTHS GREATER THAN 6" (15CM) MAY BE NECESSARY TO PROPERLY ANCHOR THE BLANKETS.



CRITICAL POINTS  
 A. OVERLAPS AND SEAMS  
 B. PROJECTED WATER LINE  
 C. CHANNEL BOTTOM/ SIDE SLOPE VERTICES

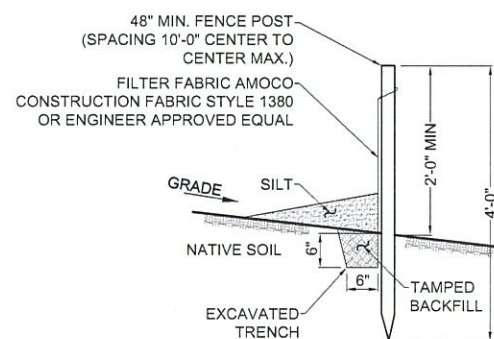
NOTE:

\* HORIZONTAL SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE NECESSARY CRITICAL POINTS ALONG THE CHANNEL SURFACE.

\*\* IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15CM) MAY BE NECESSARY TO PROPERLY ANCHOR THE BLANKETS.

### 1 EROSION CONTROL BLANKET - CHANNEL INSTALLATION

SCALE: NTS

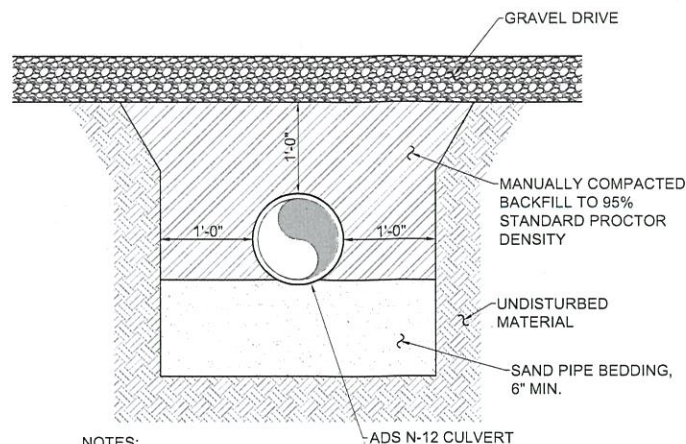


NOTES:

- SILT FENCE SHALL BE MAINTAINED IN PLACE DURING CONSTRUCTION AND SOIL STABILIZATION PERIOD.
- CONTRACTOR SHALL CONSTRUCT SILT FENCE IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.
- EXCAVATE TRENCH 6" WIDE x 6" DEEP. BURY BOTTOM 12" OF FABRIC AND TAMP IN PLACE.
- WHEN FENCE IS NO LONGER NEEDED, THE ACCUMULATED SILT, ALL THE POSTS AND FABRIC SHALL BE REMOVED AND TRENCH BACK FILLED WITH TOPSOIL AND SEEDED.

### 4 SILT FENCE DETAIL

SCALE: NTS

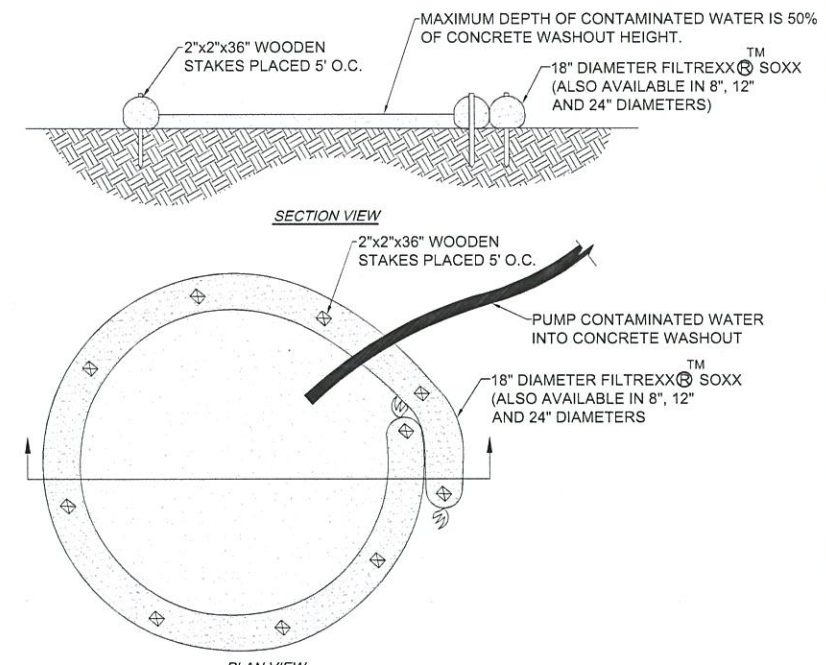


NOTES:

- OVER-EXCAVATE FOR BELLS.
- ADDITIONAL BEDDING MAY BE USED AS ORDERED BY ENGINEER.
- ALL EXCAVATION AND TRENCHING SHALL MEET OSHA REQUIREMENTS.

### 2 CULVERT TRENCH DETAIL

SCALE: 1/2" = 1'-0" (11x17 SIZE)  
 1" = 1'-0" (22x34 SIZE)



NOTES:

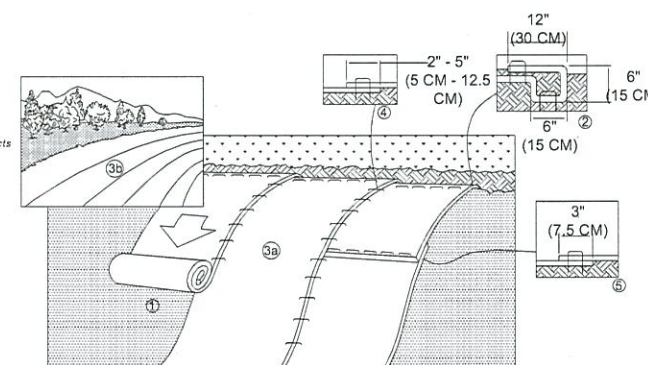
FOR ANY PROJECT ON WHICH CONCRETE WILL BE POURED OR OTHERWISE FORMED ON SITE, A SUITABLE WASHOUT FACILITY MUST BE PROVIDED FOR THE CLEANING OF CHUTES, MIXERS, AND HOPPERS OF THE DELIVERY VEHICLES UNLESS SUCH A FACILITY WILL BE USED AT THE SOURCE OF THE CONCRETE.

- UNDER NO CIRCUMSTANCES MAY WASH WATER FROM THESE VEHICLES BE ALLOWED TO ENTER ANY SURFACE WATERS.
- CONCRETE WASHOUT SHALL BE UNDERLAYERED WITH 4 MIL. THICK PLASTIC BUFFER.
- MAKE SURE THAT PROPER SIGNAGE IS PROVIDED TO DRIVERS SO THAT THEY ARE AWARE OF THE PRESENCE OF WASHOUT FACILITIES.
- WASHOUT FACILITIES SHOULD NOT BE PLACED WITHIN 50 FEET OF STORM DRAINS, OPEN DITCHES OR SURFACE WATERS.
- INSTALL ON FLAT GRADE NOT TO EXCEED 2%.
- CONCRETE WASHOUT MAY BE STACKED IN A PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT AND STABILITY.
- CONCRETE WASHOUT MAY BE DIRECT SEEDED AT THE TIME OF INSTALLATION.
- THEY SHOULD BE IN A CONVENIENT LOCATION FOR THE TRUCKS, PREFERABLY NEAR THE PLACE WHERE THE CONCRETE IS BEING POURED.
- CONCRETE WASHOUT NOT TO BE LESS THAN 6" IN DIAMETER.

### 3 CONCRETE WASHOUT DETAIL

SCALE: NTS

**NORTH AMERICAN GREEN**  
 EROSION CONTROL Products  
 Guaranteed SOLUTIONS  
 14649 HIGHWAY 41 NORTH  
 EVANSVILLE, IN 47725  
 800-772-2040  
 www.nogreen.com



- PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP'S), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER AND SEED.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP'S IN A 6" (15 CM) DEEP x 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30 CM) OF RECP'S EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP'S WITH A ROW OF STAPLES/ STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF RECP'S BACK OF SEED AND COMPACTED SOIL. SECURE RECP'S OVER COMPACTED SOIL WITH A ROW OF STAPLES/ STAKES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE RECP'S.
- ROLL THE RECP'S (A.) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. RECP'S WILL ROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECP'S MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/ STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM™, STAPLES/ STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- THE EDGES OF PARALLEL RECP'S MUST BE STAPLED WITH APPROXIMATELY 2" - 5" ( 5 CM - 12.5 CM) OVERLAP DEPENDING ON RECP'S TYPE.
- CONSECUTIVE RECP'S SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE RECP'S WIDTH.

\* IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OS STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY SECURE THE RECP'S.

### 5 EROSION CONTROL BLANKET - BANK STABILIZATION

SCALE: NTS

**verizon**

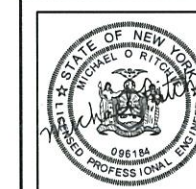
1275 JOHN STREET, SUITE #100  
 WEST HENRIETTA, NEW YORK 14586



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 • LANDSCAPE ARCHITECTURE  
 217 LAKE AVENUE  
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SITE INFORMATION

REACH RUN  
 PROJECT ID: 17215090  
 MDG LOCATION ID: 5000007341

TOWN OF LANSING  
 COUNTY OF TOMPKINS  
 STATE OF NEW YORK

SHEET TITLE

GRADING & EROSION CONTROL DETAILS

C.E. JOB NUMBER


7969

SHEET NUMBER


CA502

# **EXHIBIT V**




 <b>COSTICH</b>	<b>Costich Engineering</b> Land Surveying Landscape Architecture 217 LAKE AVENUE ROCHESTER, NY 14608 (585) 458-3020	<b>PROJECT NAME</b> <b>Reach Run</b>	<b>PHOTO DESCRIPTION</b> View towards site <b>Balloons at 145' and 165'</b>	<b>DATE OF PHOTO</b> <b>1/6/2025</b>
		<b>Photo 1</b>	<b>PHOTO LOCATION</b> View NE from E Shore Rd., SR 34 1559' from site	C.E. JOB# <b>7969</b>
		<b>PHOTO COORDINATES</b> <b>42° 30' 52.0043" N, 76° 30' 31.0326" W</b>		Project ID: <b>17215090</b>




 <b>COSTICH</b>	<b>Costich Engineering</b> Land Surveying Landscape Architecture	<b>PROJECT NAME</b> <b>Reach Run</b>	<b>PHOTO DESCRIPTION</b> <b>Photosimulation of proposed</b> <b>145' monopole</b>	<b>DATE OF PHOTO</b> <b>1/6/2025</b>
	217 LAKE AVENUE ROCHESTER, NY 14608 (585) 458-3020	<b>Photo 1</b>	<b>PHOTO LOCATION</b> View NE from E Shore Rd., SR 34 1559' from site	C.E. JOB# <b>7969</b>
	<b>PHOTO COORDINATES</b> <b>42° 30' 52.0043" N, 76° 30' 31.0326" W</b>	Project ID: <b>17215090</b>		




 <b>COSTICH</b>	<b>Costich Engineering</b> Land Surveying Landscape Architecture 217 LAKE AVENUE ROCHESTER, NY 14608 (585) 458-3020		<b>PROJECT NAME</b> <b>Reach Run</b>	<b>PHOTO DESCRIPTION</b> View towards site <b>Balloons at 145' and 165'</b>	<b>DATE OF PHOTO</b> <b>1/6/2025</b>
	<b>Photo 2</b>		<b>PHOTO LOCATION</b> View W from N. Triphammer Rd. 3607' from site	<b>C.E. JOB#</b> <b>7969</b>	
	<b>PHOTO COORDINATES</b> 42° 31' 5.2140" N, 76° 29' 29.0256" W		<b>Project ID:</b> <b>17215090</b>		




 <b>COSTICH</b>	<b>Costich Engineering</b> Land Surveying Landscape Architecture 217 LAKE AVENUE ROCHESTER, NY 14608 (585) 458-3020		<b>PROJECT NAME</b> <b>Reach Run</b>	<b>PHOTO DESCRIPTION</b> <b>Photosimulation of proposed</b> <b>145' monopole</b>	<b>DATE OF PHOTO</b> <b>1/6/2025</b>
	<b>Photo 2</b>		<b>PHOTO LOCATION</b> <b>View W from N. Triphammer Rd.</b> <b>3607' from site</b>	<b>C.E. JOB#</b> <b>7969</b>	
	<b>PHOTO COORDINATES</b> <b>42° 31' 5.2140" N, 76° 29' 29.0256" W</b>		<b>Project ID:</b> <b>17215090</b>		




 <b>COSTICH</b> Costich Engineering Land Surveying Landscape Architecture 217 LAKE AVENUE ROCHESTER, NY 14608 (585) 458-3020	PROJECT NAME <b>Reach Run</b>		PHOTO DESCRIPTION <b>View towards site</b> <b>Balloons at 145' and 165'</b>	DATE OF PHOTO <b>1/6/2025</b>
	<b>Photo 3</b>		PHOTO LOCATION <b>View SE from Teeter Rd. and E. Shore Cir.</b> <b>1056' from site</b>	C.E. JOB# <b>7969</b>
	PHOTO COORDINATES <b>42° 31' 12.9396" N, 76° 30' 22.9644" W</b>			Project ID: <b>17215090</b>






 <b>COSTICH</b>	<b>Costich Engineering</b> Land Surveying Landscape Architecture 217 LAKE AVENUE ROCHESTER, NY 14608 (585) 458-3020	<b>PROJECT NAME</b> <b>Reach Run</b>	<b>PHOTO DESCRIPTION</b> <b>Photosimulation of proposed</b> <b>145' monopole</b>	<b>DATE OF PHOTO</b> <b>1/6/2025</b>
		<b>Photo 3</b>	<b>PHOTO LOCATION</b> View SE from Teeter Rd. and E. Shore Cir. 1056' from site	C.E. JOB# <b>7969</b>
		<b>PHOTO COORDINATES</b> <b>42° 31' 12.9396" N, 76° 30' 22.9644" W</b>		Project ID: <b>17215090</b>




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	<b>Photo 4</b>			<b>C.E. JOB#</b> <b>7969</b>
	<b>PHOTO COORDINATES</b> <b>42° 31' 15.3876" N, 76° 30' 14.0292" W</b>		<b>PHOTO LOCATION</b> <b>View S from E. Shore Cir.</b> <b>1236' from site</b>	<b>Project ID:</b> <b>17215090</b>
<b>Costich Engineering</b> <b>Land Surveying</b> <b>Landscape Architecture</b>  <b>217 LAKE AVENUE</b> <b>ROCHESTER, NY 14608</b> <b>(585) 458-3020</b>				




 <b>COSTICH</b> Costich Engineering Land Surveying Landscape Architecture 217 LAKE AVENUE ROCHESTER, NY 14608 (585) 458-3020	PROJECT NAME <b>Reach Run</b>	PHOTO DESCRIPTION <b>Photosimulation of proposed          145' monopole</b>	DATE OF PHOTO <b>1/6/2025</b>
	<b>Photo 4</b>	PHOTO LOCATION <b>View S from E. Shore Cir.          1236' from site</b>	C.E. JOB# <b>7969</b>
	PHOTO COORDINATES <b>42° 31' 15.3876" N, 76° 30' 14.0292" W</b>	Project ID: <b>17215090</b>	




 <b>COSTICH</b>	<b>Costich Engineering</b> Land Surveying Landscape Architecture 217 LAKE AVENUE ROCHESTER, NY 14608 (585) 458-3020	<b>PROJECT NAME</b> <b>Reach Run</b>	<b>PHOTO DESCRIPTION</b> View towards site <b>Balloons at 145' and 165'</b>	<b>DATE OF PHOTO</b> <b>1/6/2025</b>
		<b>Photo 5</b>	<b>PHOTO LOCATION</b> View SW from Hillcrest Rd. 3826' from site	<b>C.E. JOB#</b> <b>7969</b>
		<b>PHOTO COORDINATES</b> 42° 31' 9.3972" N, 76° 29' 26.8440" W		<b>Project ID:</b> <b>17215090</b>




 <b>COSTICH</b> Costich Engineering Land Surveying Landscape Architecture 217 LAKE AVENUE ROCHESTER, NY 14608 (585) 458-3020	PROJECT NAME <b>Reach Run</b>		PHOTO DESCRIPTION <b>Photosimulation of proposed 145' monopole</b>	DATE OF PHOTO <b>1/6/2025</b>
	<b>Photo 5</b>			C.E. JOB# <b>7969</b>
	PHOTO COORDINATES <b>42° 31' 9.3972" N, 76° 29' 26.8440" W</b>		PHOTO LOCATION <b>View SW from Hillcrest Rd. 3826' from site</b>	




 <b>COSTICH</b>	<b>PROJECT NAME</b> <b>Reach Run</b>		<b>PHOTO DESCRIPTION</b> <b>View towards site</b>		<b>DATE OF PHOTO</b> <b>1/6/2025</b>	
	<b>Photo 6</b>		<b>Balloons at 145' and 165'</b>		<b>C.E. JOB#</b> <b>7969</b>	
	<b>PHOTO COORDINATES</b> <b>42° 31' 11.0212" N, 76° 30' 5.8324" W</b>		<b>PHOTO LOCATION</b> <b>View SW from SR 34 (E. Shore Rd.)</b> <b>1139' from site</b>		<b>Project ID:</b> <b>17215090</b>	
<b>Costich Engineering</b> <b>Land Surveying</b> <b>Landscape Architecture</b>  <b>217 LAKE AVENUE</b> <b>ROCHESTER, NY 14608</b> <b>(585) 458-3020</b>						



 <b>COSTICH</b>	<b>PROJECT NAME</b> <b>Reach Run</b>		<b>PHOTO DESCRIPTION</b> <b>Photosimulation of proposed</b> <b>145' monopole</b>	<b>DATE OF PHOTO</b> <b>1/6/2025</b>
	<b>Photo 6</b>			<b>C.E. JOB#</b> <b>7969</b>
	<b>PHOTO COORDINATES</b> <b>42° 31' 11.0212" N, 76° 30' 5.8324" W</b>		<b>PHOTO LOCATION</b> <b>View SW from SR 34 (E. Shore Rd.)</b> <b>1139' from site</b>	<b>Project ID:</b> <b>17215090</b>
<b>Costich Engineering</b> <b>Land Surveying</b> <b>Landscape Architecture</b> <b>217 LAKE AVENUE</b> <b>ROCHESTER, NY 14608</b> <b>(585) 458-3020</b>				



 <b>COSTICH</b>	PROJECT NAME <b>Reach Run</b>		PHOTO DESCRIPTION <b>View towards site</b>		DATE OF PHOTO <b>1/6/2025</b>
	<b>Photo 7</b>		<b>Balloons at 145' and 165'</b>		C.E. JOB# <b>7969</b>
	PHOTO COORDINATES <b>42° 31' 6.0394" N, 76° 30' 16.6832" W</b>		PHOTO LOCATION <b>View S from parking entrance</b> <b>261' from site</b>		Project ID: <b>17215090</b>
Costich Engineering Land Surveying Landscape Architecture 217 LAKE AVENUE ROCHESTER, NY 14608 (585) 458-3020					





**COSTICH**

Costich Engineering  
Land Surveying  
Landscape Architecture

217 LAKE AVENUE  
ROCHESTER, NY 14608  
(585) 458-3020

PROJECT NAME

**Reach Run**

**Photo 7**

PHOTO COORDINATES

42° 31' 6.0394" N, 76° 30' 16.6832" W

PHOTO DESCRIPTION

**Photosimulation of proposed  
145' monopole**

PHOTO LOCATION

**View S from parking entrance  
261' from site**

DATE OF PHOTO

**1/6/2025**

C.E. JOB#

**7969**

Project ID:

**17215090**