

5-27-2025 PRELIMINARY SITE PLAN SUBMISSION

164 AUBURN ROAD

PROPOSED OFFICE BUILDING

S.E.E. ASSOCIATES HOLDINGS, LLC

2415 N. Triphammer Road Suite 9 Ithaca, New York 14850



SCARABBA ENGINEERING, PLLC
9694 Kingtown Road
Trumansburg, NY 14886
607-327-0576
www.sciarabbaengplus.com

GEORGE W. BREUHAUS, ARCHITECT
950 DANBY ROAD SUITE 220
ITHACA, NEW YORK 14850

DRAWING LIST

GENERAL

G-001 COVER SHEET

CIVIL

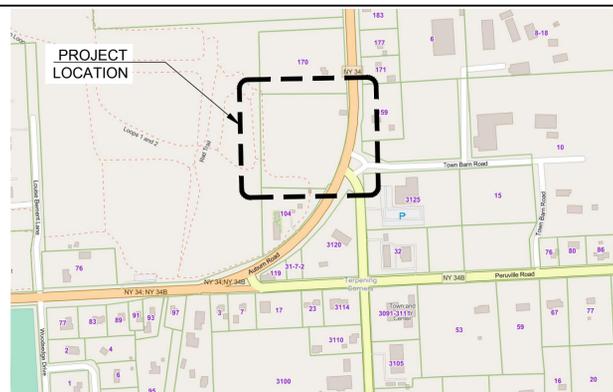
- C-101 EXISTING CONDITIONS PLAN
- C-102 CONCEPTUAL SITE PLAN FULL BUILD-OUT
- C-103 SITE PLAN AND DETAILS
- C-104 DEMOLITION AND EROSION AND SEDIMENT CONTROL PLAN AND DETAILS
- C-105 GRADING DRAINAGE AND UTILITY PLAN AND DETAILS
- C-106 DETAILS

ARCHITECTURAL

- A-1 PROPOSED FLOOR PLAN
- A-3 BUILDING ELEVATIONS
- E-1 ELECTRICAL POWER & LIGHTING PLAN

164 AUBURN ROAD
PROPOSED OFFICE BUILDING
LANSING NY, 14882

PROJECT LOCATION PLAN



PROJECT INFORMATION

DATE: 5/27/2025
 JOB NUMBER: PB-SEE-164
 APPLICANT: S.E.E. ASSOCIATES HOLDINGS, LLC
 APPLICANT ADDRESS: 2415 N. TRIPHAMMER ROAD SUITE 9, ITHACA, NY 14850
 APPLICANT PHONE: 607-533-3635
 APPLICANT EMAIL: ASCIARABBA@SWCLLP.COM
 PROJECT ADDRESS: 164 AUBURN ROAD, LANSING, NY 14882
 PARCEL INFORMATION: TAX MAP NO. 31.-1-15.21 5.62 ACRES TO HIGHWAY BOUNDS

DRAWING NUMBER
G-001

WARNING:
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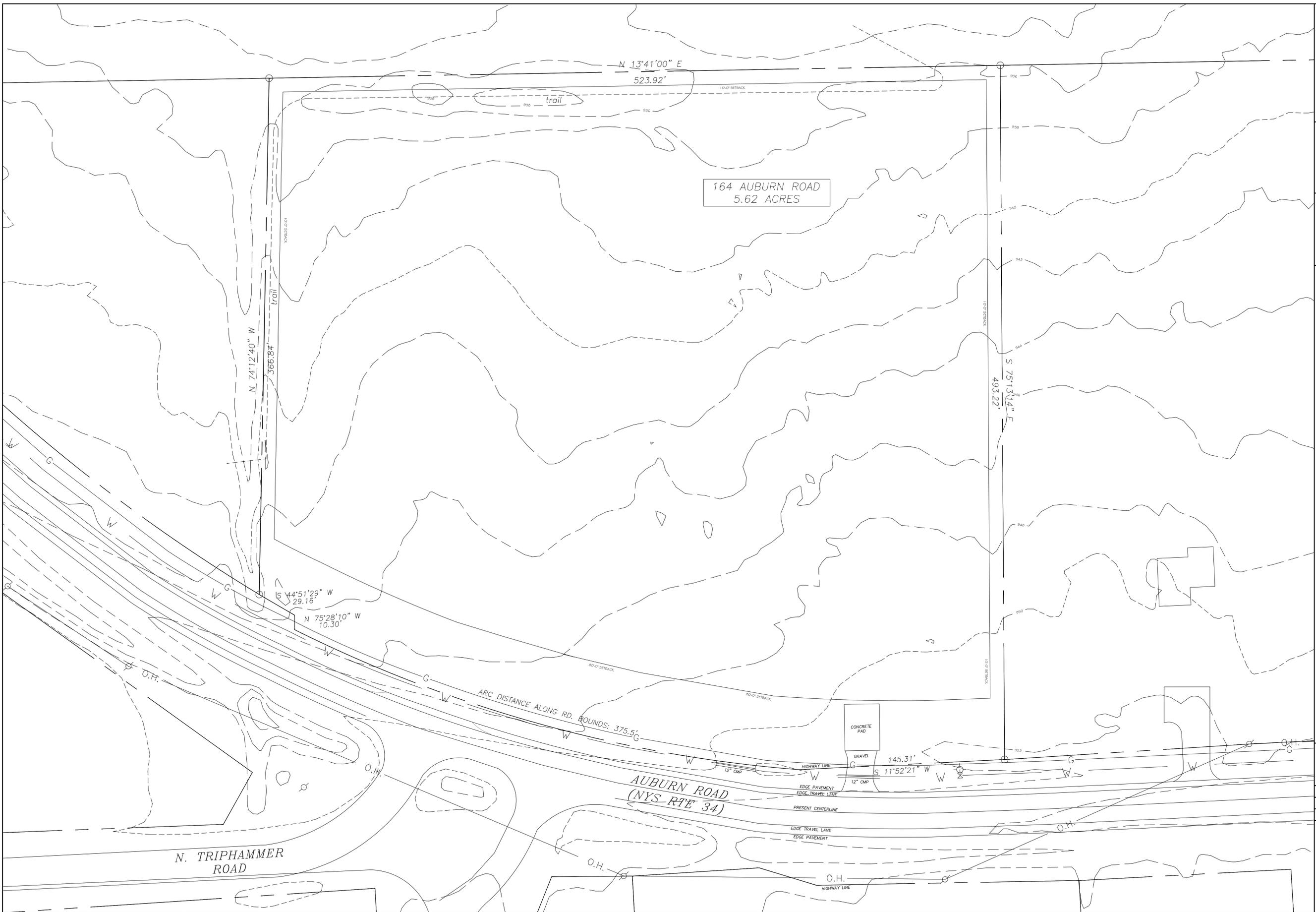
**164 AUBURN ROAD PHASE 1
PROPOSED OFFICE BUILDING**
LANSING NY, 14882

REVISION 6	
REVISION 5	
REVISION 4	
REVISION 3	
REVISION 2	
REVISION 1	

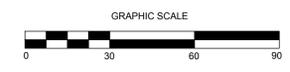
PROJECT NUMBER	PB-SEE-164
DATE	5/27/2025
SCALE	1"=30'
DRAWING TITLE	

**EXISTING
CONDITIONS
PLAN**

DRAWING NUMBER
C-101



EXISTING CONDITIONS PLAN
SCALE: 1"=30'



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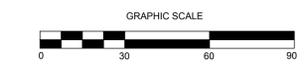
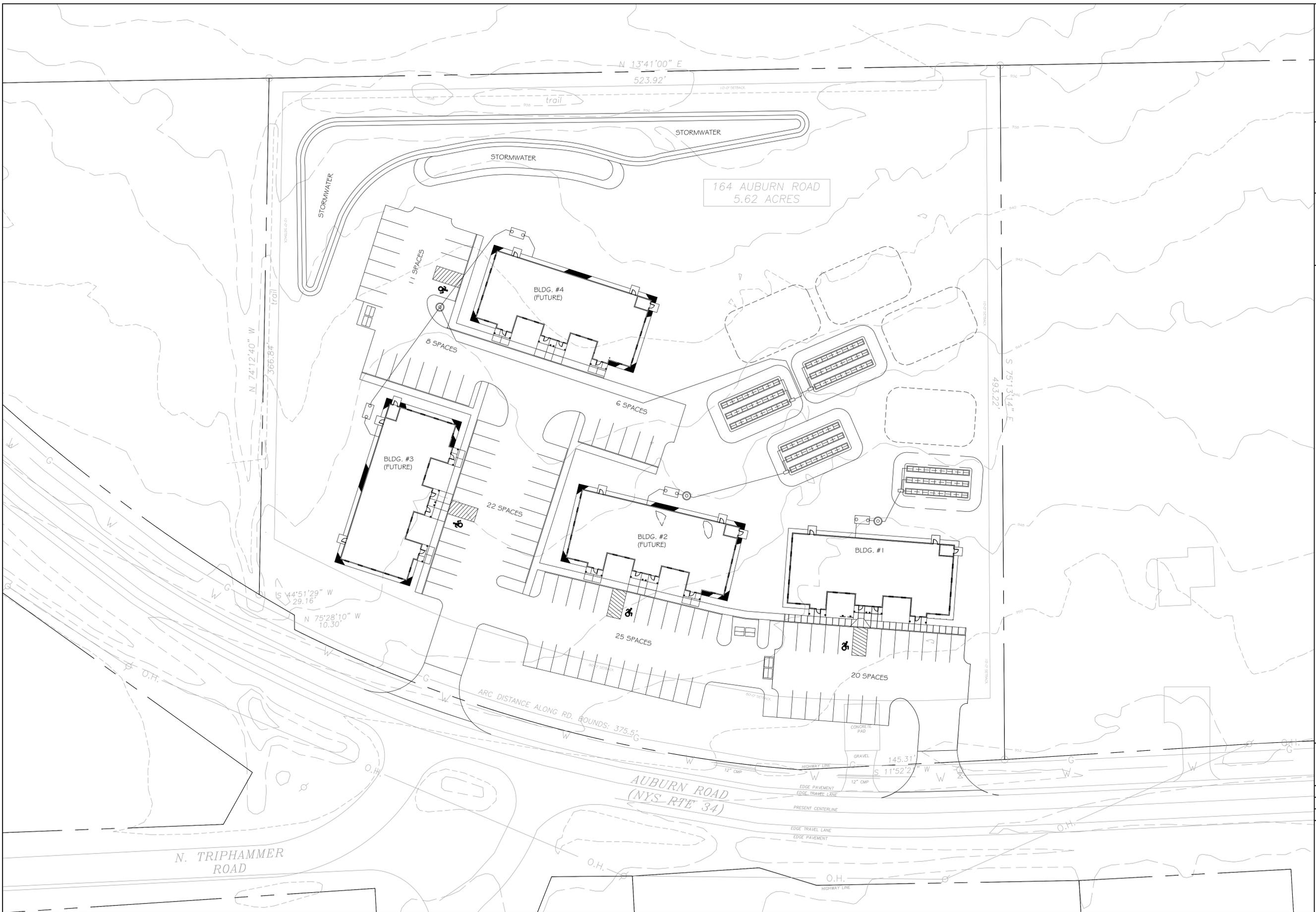
**164 AUBURN ROAD PHASE 1
PROPOSED OFFICE BUILDING**
LANSING NY, 14882

REVISION 6	
REVISION 5	
REVISION 4	
REVISION 3	
REVISION 2	
REVISION 1	

PROJECT NUMBER	PB-SEE-164
DATE	5/27/2025
SCALE	1"=30'
DRAWING TITLE	

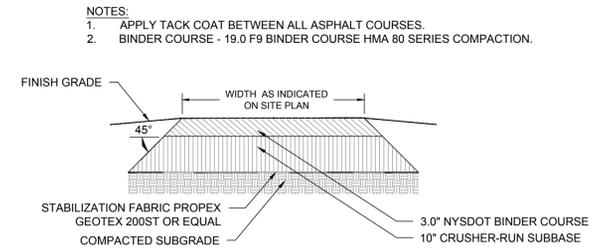
**CONCEPTUAL
SITE PLAN
FULL BUILD-OUT**

DRAWING NUMBER
C-102

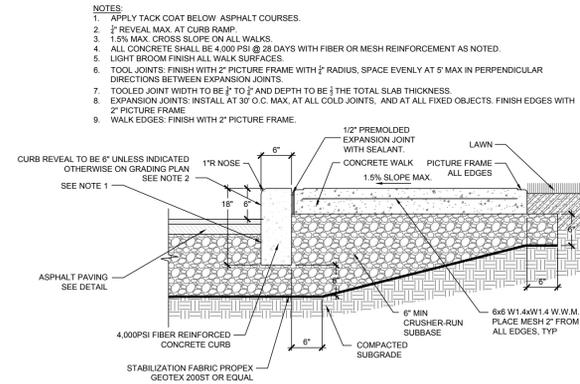


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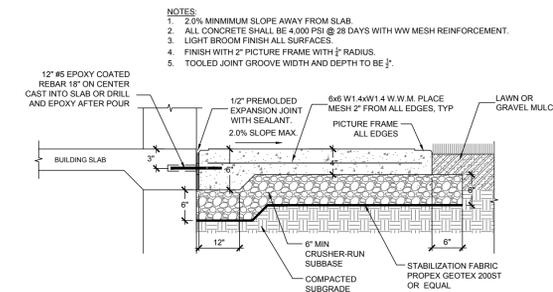
**164 AUBURN ROAD PHASE 1
PROPOSED OFFICE BUILDING**
LANSEING NY, 14882



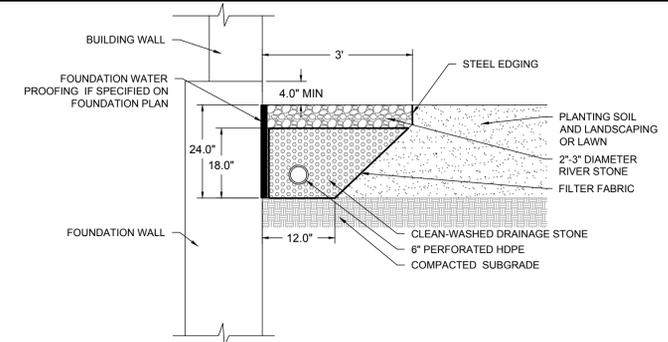
ASPHALT - NOT TO SCALE



CONCRETE CURB AND WALK - NOT TO SCALE



CONCRETE ENTRY PAD - NOT TO SCALE



GRAVEL MOW-STRIP - NOT TO SCALE

PLANT SCHEDULE

KEY	NO.	BOTANICAL NAME	COMMON NAME/CULTIVAR
SMALL CONIFEROUS TREES			
PC	3	PICEA GLAUCA CONICA	DWARF ALBERTA SPRUCE
SMALL DECIDUOUS TREES			
MS	1	MALUS SYLVESTRIS	FLOWERING CRAB APPLE

REVISION 6	
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REVISION 4	
REVISION 3	
REVISION 2	
REVISION 1	

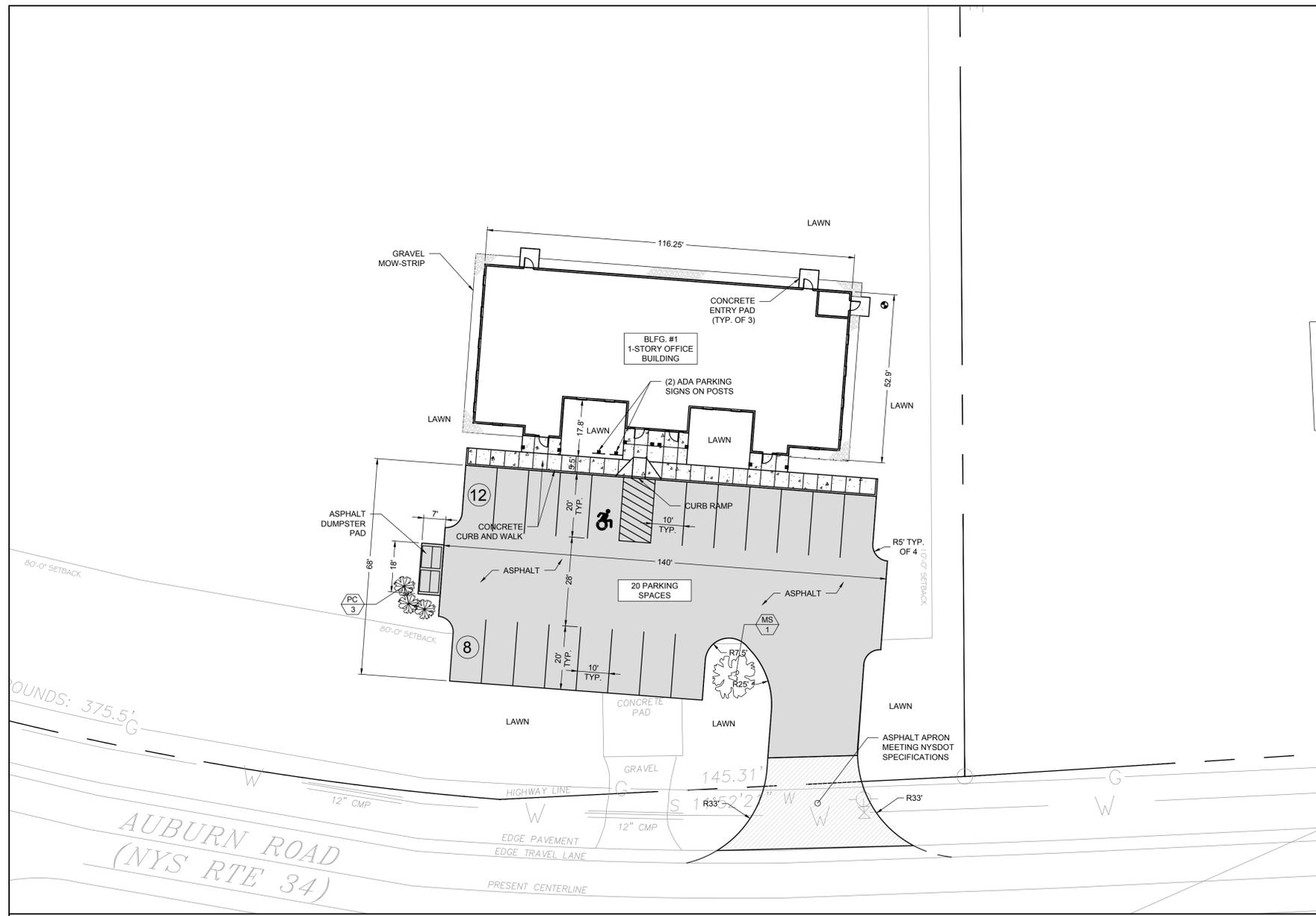
PROJECT NUMBER	PB-SEE-164
DATE	5/27/2025
SCALE	AS NOTED

DRAWING TITLE

SITE PLAN AND DETAILS

DRAWING NUMBER

C-103



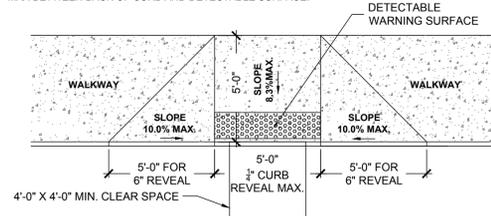
SITE PLAN

SCALE: 1"=20'



PER TOWN OF LANSEING ZONING CHAPTER 270	ALLOWED	PROPOSED
IR - INDUSTRIAL/RESEARCH		
LAND USE PERMITTED	PROFESSIONAL OR BUSINESS OFFICE (NOT IN A HOME)*	PROFESSIONAL OR BUSINESS OFFICE (NOT IN A HOME)*
BUILDING TYPE	ALL	NON-RESIDENTIAL
MINIMUM LOT AREA	NONE	244,807 SF (5.62 ACRES)
MINIMUM ROAD FRONTAGE	50 FEET	560.27 FEET
MINIMUM YARD SETBACK - CENTERLINE ROAD	80 FEET	80 FEET
MINIMUM YARD SETBACK - SIDE	10 FEET**	10 FEET EACH
MINIMUM YARD SETBACK - REAR	10 FEET**	10 FEET
MAXIMUM BUILDING HEIGHT	35 FEET	21 FEET
MINIMUM OPEN SPACE (EXCL BLDGS, PKG, SERVICE)	20%	227,076 SF = 92.7%
PARKING REQUIREMENTS	NO MINIMUM	20 SPACES
* ALLOWED WITH SITE PLAN APPROVAL		
** SMALLER SETBACKS ALLOWED WITH SITE PLAN APPROVAL		

- NOTES:**
1. CLEAR SPACE: A RELATIVELY LEVEL, UNOBSTRUCTED SPACE (1.5% SLOPE MAX. ALL DIRECTIONS) THAT WILL ACCOMMODATE A SINGLE, STATIONARY WHEELCHAIR AND OCCUPANT.
2. TURNING SPACE: A RELATIVELY LEVEL SPACE (1.5% SLOPE MAX. ALL DIRECTIONS) PROVIDED WHERE A TURNING MANUEVER IS REQUIRED FOR A PEDESTRIAN TO ORIENT TO A CURB RAMP OR STREET CROSSING. DETECTABLE WARNING SURFACES: 24" WIDE PER NYS DOT STANDARD SHEET 608-01. FOLLOW SHAPE OF CURB. 2" MAX BETWEEN BACK OF CURB AND DETECTABLE SURFACE.
3.



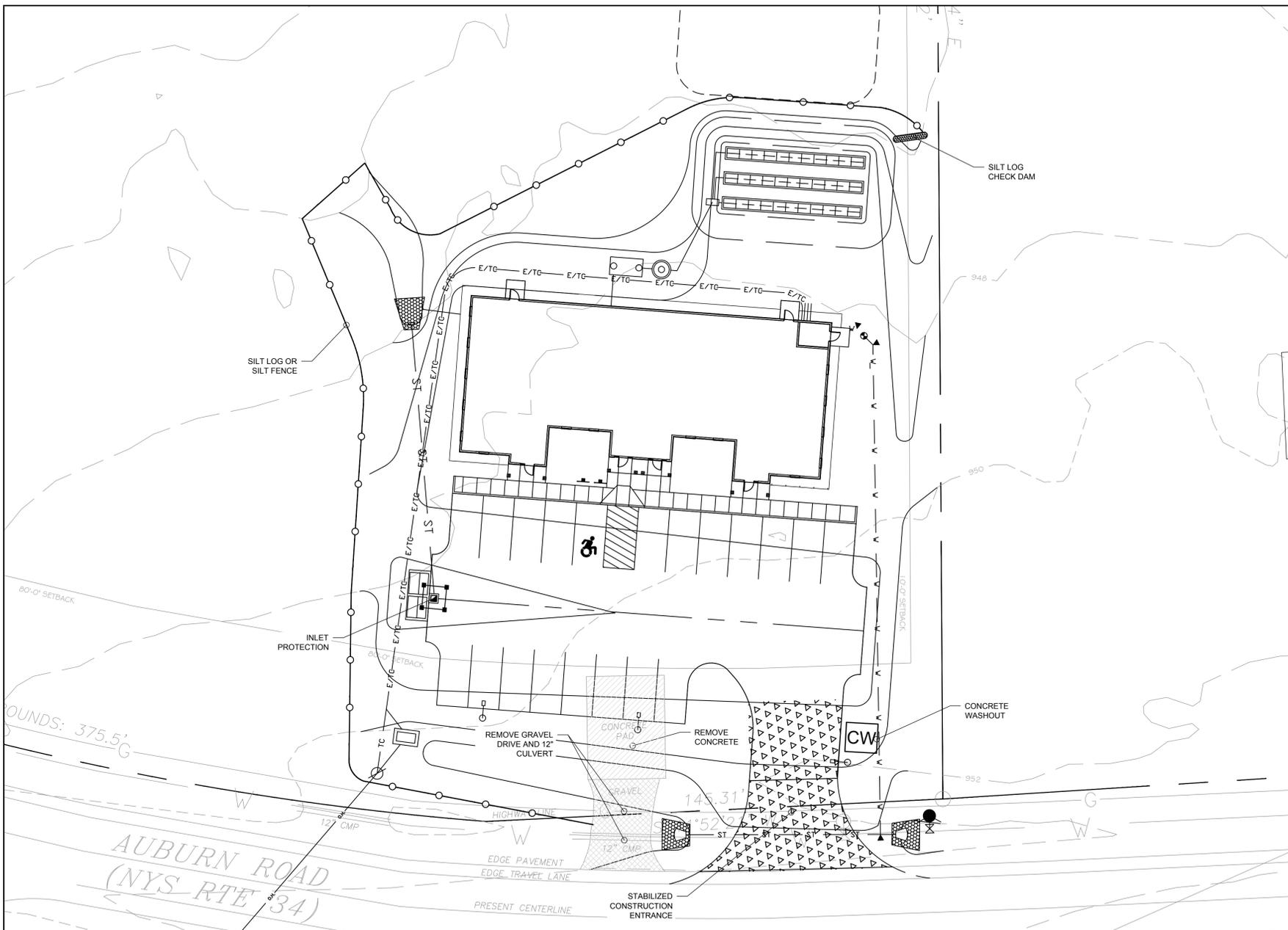
CURB RAMP - NOT TO SCALE

ZONING ANALYSIS

PLANT SCHEDULE - NOT TO SCALE

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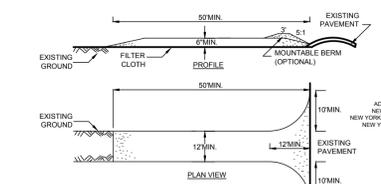
**164 AUBURN ROAD PHASE 1
PROPOSED OFFICE BUILDING**
LANSEING NY, 14882



DEMOLITION AND EROSION AND SEDIMENT CONTROL PLAN
SCALE: 1"=20'

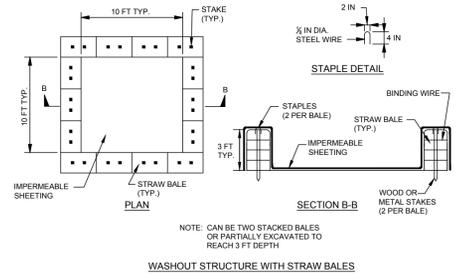
- EROSION AND SEDIMENT CONTROL NOTES:**
- PRIOR TO THE START OF CONSTRUCTION AND UNTIL ALL DISTURBED AREAS ARE STABILIZED, ALL EROSION AND SEDIMENT CONTROL MEASURES, AS SHOWN ON THE SITE PLAN AND AS OTHERWISE REQUIRED, SHALL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR, AND SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENTATION CONTROL.
 - DISTURBED AREAS SHALL BE SEEDED AND MULCHED WITH CLEAN STRAW AS OUTLINED IN THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENTATION CONTROL.
 - BARE SOILS SHALL BE MULCHED WITH STRAW AT A RATE OF TWO TONS PER ACRE WITHIN 14 DAYS OF EXPOSURE. IF CONSTRUCTION ON AN AREA IS SUSPENDED, THE AREA SHALL BE SEEDED IMMEDIATELY.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE STREET PAVEMENT AREAS CLEAN OF DIRT AND DEBRIS.
 - AS SEDIMENT ACCUMULATES TO THE DEPTH OF THE SILT FENCE LOGS AND CHECK DAMS, SEDIMENT SHALL BE REMOVED AS OUTLINED IN THE NYS GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL.
 - THE CONTRACTOR & ITS SUBCONTRACTORS ARE RESPONSIBLE FOR MEANS & METHODS OF EROSION CONTROL FACILITIES DURING CONSTRUCTION. IT SHOULD BE NOTED THAT FACILITIES ON THIS DRAWING ARE CONSIDERED MINIMUM & ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS CONSTRUCTION PROGRESSES. THE CONTRACTOR & ITS SUBCONTRACTORS ARE RESPONSIBLE FOR ANY ADDITIONAL MEASURES DEEMED NECESSARY BY THE ENGINEER, TOWN, OR NYSDEC.
 - PROVIDE EROSION CONTROL MEASURES AS NOTED ON THE PLANS AND AS OTHERWISE REQUIRED TO PREVENT EROSION AND SEDIMENTATION ONTO ADJOINING PROPERTIES, STREETS, WATERWAYS, AND ON SITE IMPROVEMENTS BEYOND THE LIMITS OF WORK. COMPLY WITH THE LATEST ISSUE OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL" AND THE NYSDEC'S "REDUCING THE IMPACTS OF STORMWATER RUNOFF FROM NEW DEVELOPMENT".
 - MAINTENANCE - THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER ALL STORMS OF RAINFALL OR GREATER INCLUDING BUT NOT LIMITED TO THE FOLLOWING: ADDING CLEAN STONE TO THE STABILIZED CONSTRUCTION ENTRANCE, REPLACING DAMAGED OR NEW SILT FENCE LOGS, OR CHECK DAMS AND STABILIZING ERODED OR WASHED OUT SLOPED AREAS.
 - CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES UNTIL CONSTRUCTION IS COMPLETE. LAWNS HAVE BECOME ESTABLISHED TO 80% VEGETATIVE COVER AND ALL SOURCES OF EROSION HAVE BEEN PERMANENTLY STABILIZED.
 - CONTRACTOR SHALL PROVIDE DUST CONTROL IN ACCORDANCE WITH THE LATEST ISSUE OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL".
- SEQUENCE OF CONSTRUCTION:**
- INSTALL STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE, SILT LOGS, AND CHECK DAMS, AS SHOWN ON PLAN PRIOR TO BEGINNING EARTHWORK OPERATIONS.
 - REMOVE ALL TREES, STUMPS, AND BRUSH PRIOR TO BEGINNING EARTHWORK OPERATIONS.
 - STRIP AND STOCKPILE TOPSOIL SURROUND ALL STOCKPILE AREAS WITH SILT FENCE.
 - INSTALL CONCRETE WASHOUT.
 - COMPLETE SITE AND UTILITY IMPROVEMENTS.
 - FINE GRADE, SEED, AND MULCH ALL DISTURBED LAWN AREAS WITHIN FOURTEEN (14) DAYS OF DISTURBANCE.
 - REMOVE STABILIZED CONSTRUCTION ENTRANCE, TEMPORARY SILT FENCE, SILT LOGS AND CHECK DAMS ONLY AFTER SITE IS COMPLETELY STABILIZED AND ALL DISTURBED LAWN AREAS HAVE ACHIEVED 80% VEGETATIVE GROWTH.

EROSION AND SEDIMENT CONTROL NOTES - NOT TO SCALE



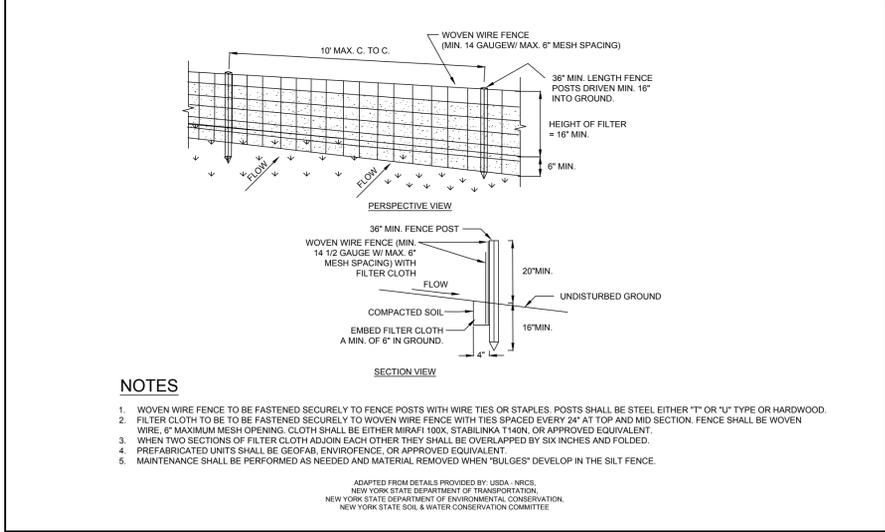
- NOTES**
- STONE SIZE - USE 1-4 INCH CRUSHED ANGULAR STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
 - GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO LAYING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE - NOT TO SCALE

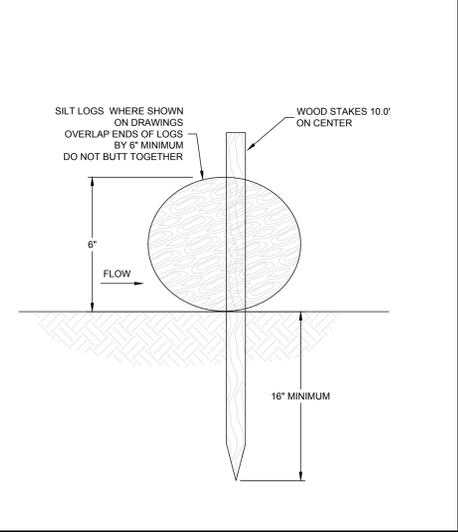


- CONSTRUCTION NOTES**
- LOCATE WASHOUT STRUCTURE A MINIMUM OF 100 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, RUBBERS, AND AWAY FROM CONSTRUCTION TRAFFIC.
 - SIZE WASHOUT STRUCTURE FOR VOLUME NECESSARY TO CONTAIN WASH WATER, SOLIDS AND RAINFALL AND MAINTAIN AT LEAST 4 INCHES OF FREEBOARD.
 - PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER FOR LINER. USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
 - PROVIDE A SIGN FOR THE WASHOUT IN CLOSE PROXIMITY TO THE FACILITY.
 - KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. PRIOR TO FORECASTED RAINSTORMS, REMOVE LIQUIDS OR COVER STRUCTURE TO PREVENT OVERFLOWS. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.
 - DURABLE PORTABLE CONCRETE WASHOUT BASINS OR TUBS MAY BE USED WITH THE APPROVAL OF THE EROSION CONTROL INSPECTOR.

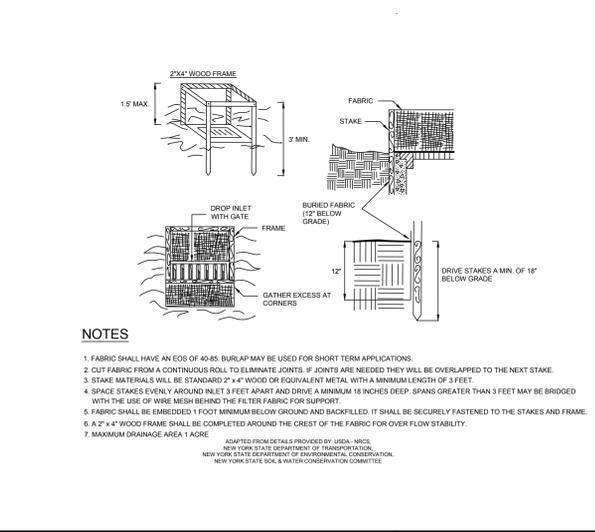
CONCRETE WASHOUT - NOT TO SCALE



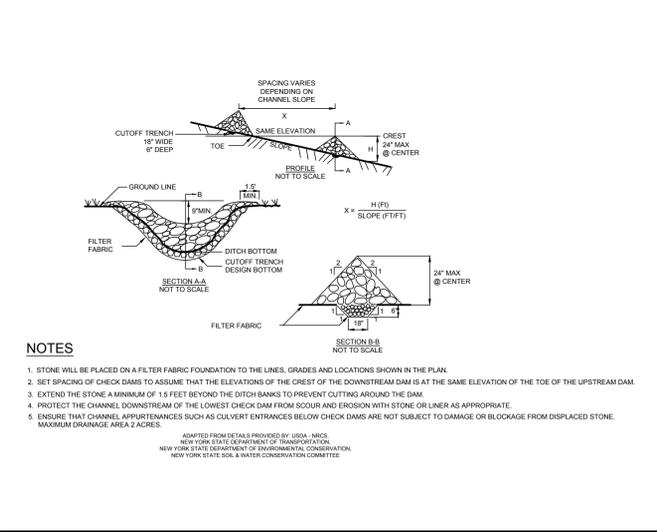
SILT FENCE - NOT TO SCALE



SILT LOG - NOT TO SCALE



INLET PROTECTION - NOT TO SCALE

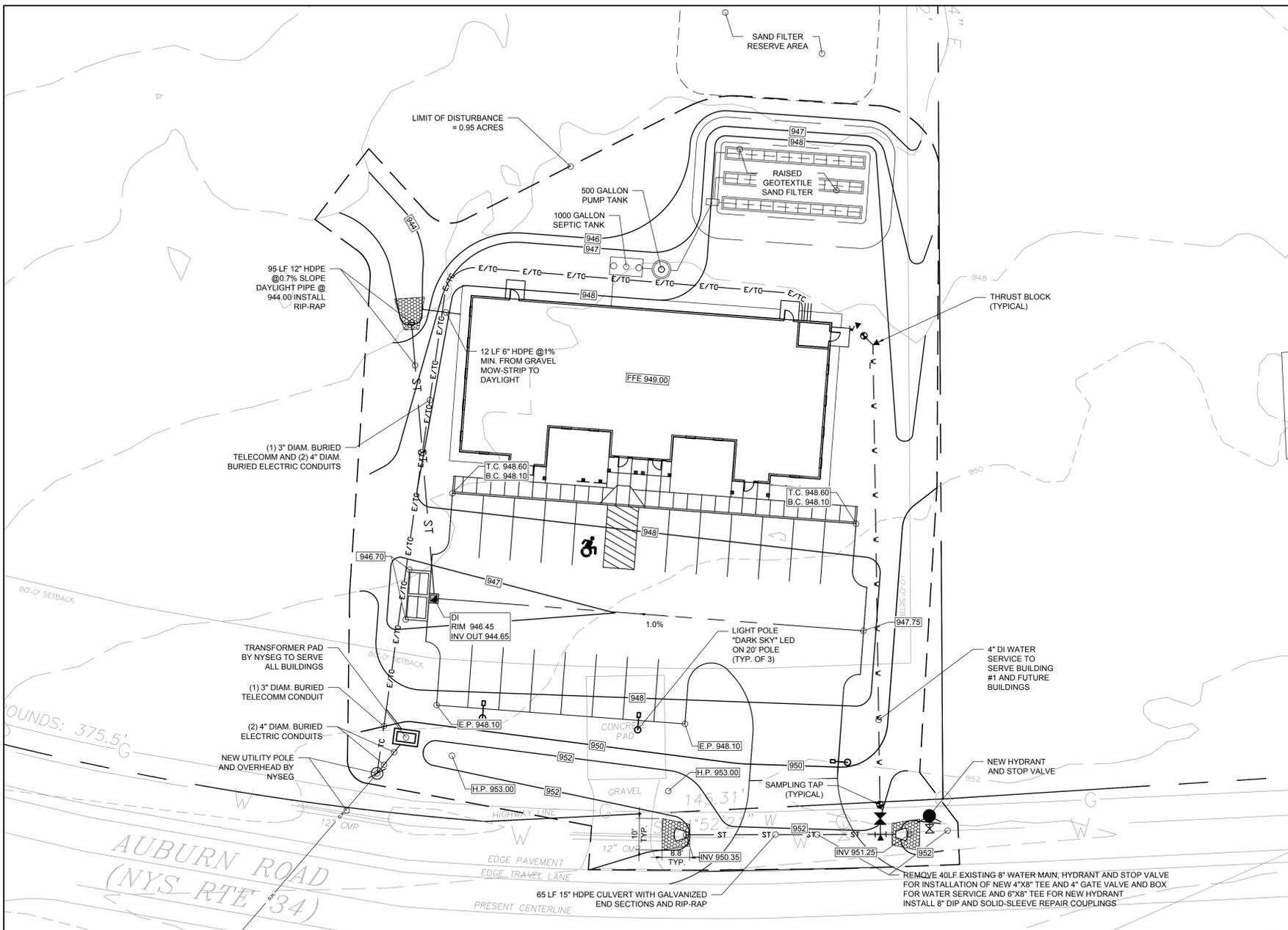


STONE CHECK DAM - NOT TO SCALE

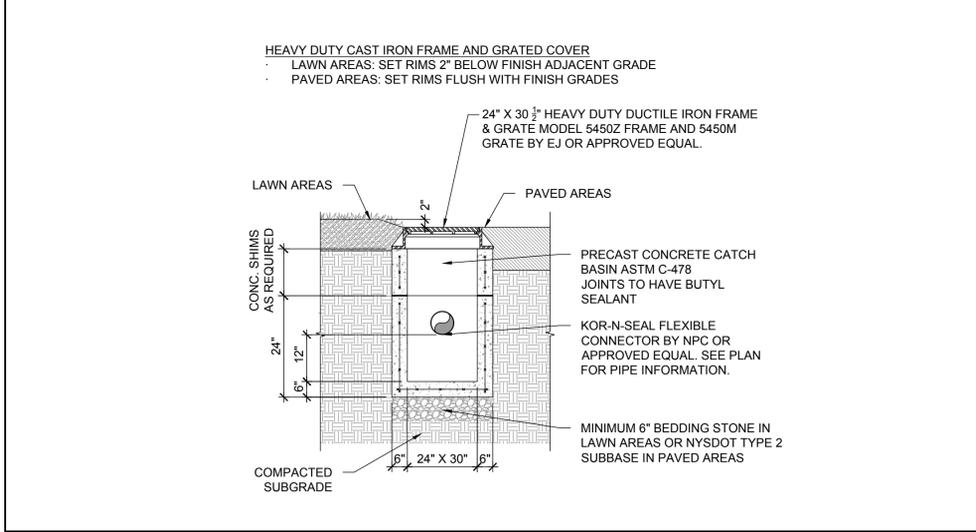
REVISION 6	
REVISION 5	
REVISION 4	
REVISION 3	
REVISION 2	
REVISION 1	
PROJECT NUMBER	PB-SEE-164
DATE	5/27/2025
SCALE	AS NOTED
DRAWING TITLE	DEMOLITION AND EROSION AND SEDIMENT CONTROL PLAN AND DETAILS
DRAWING NUMBER	C-104

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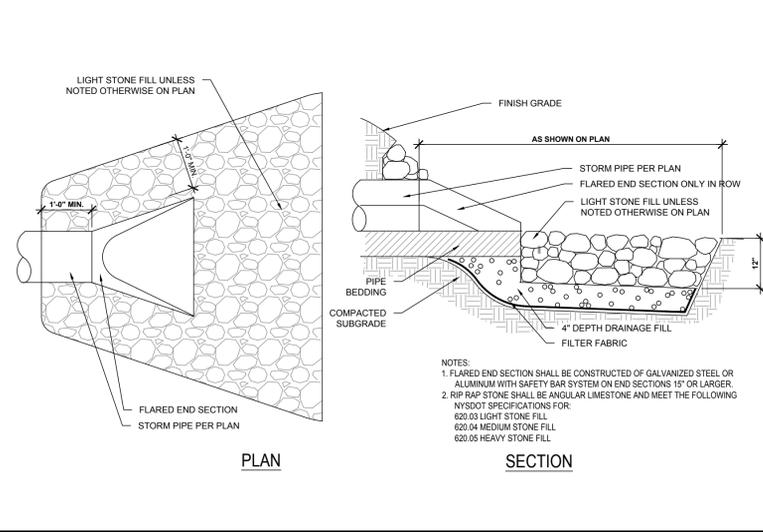
**164 AUBURN ROAD PHASE 1
PROPOSED OFFICE BUILDING**
LANSEING NY, 14882



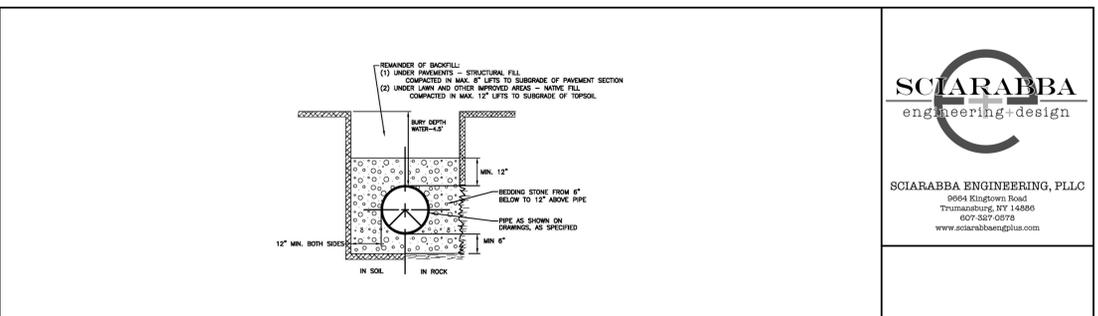
GRADING DRAINAGE AND UTILITY PLAN
SCALE: 1"=20'



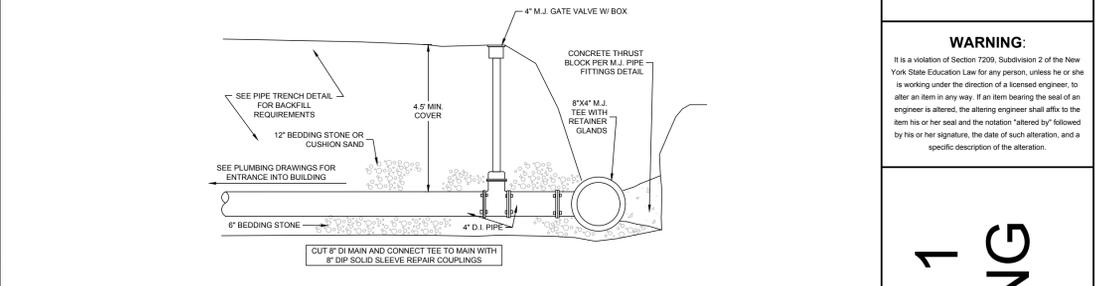
DROP INLET - NOT TO SCALE



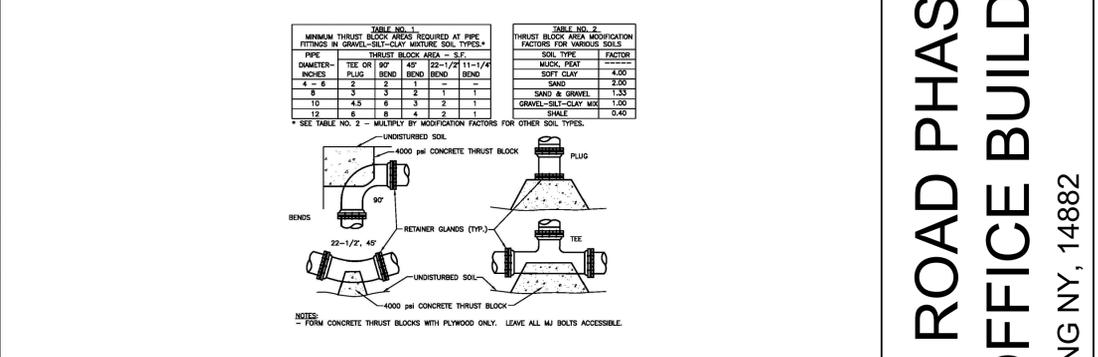
RIP-RAP OUTLET PROTECTION - NOT TO SCALE



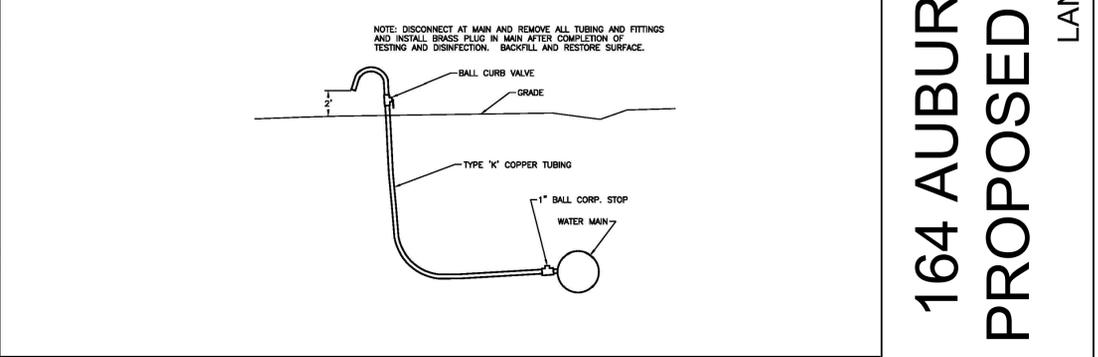
TRENCH - NOT TO SCALE



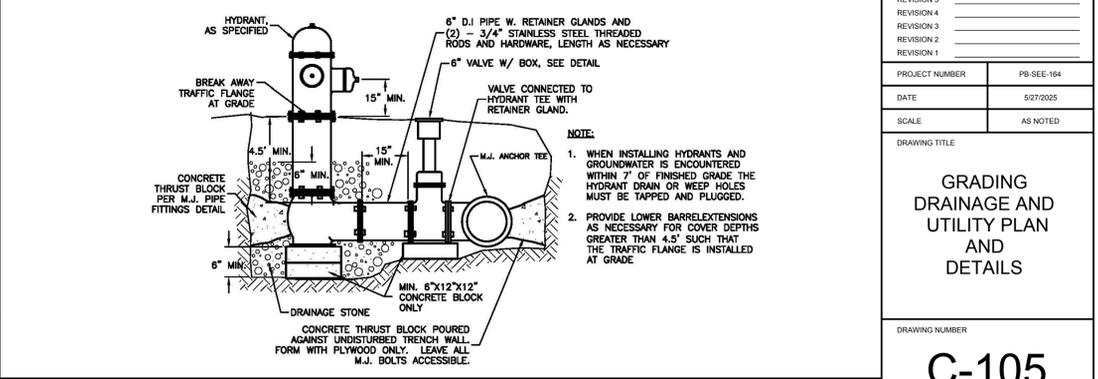
CUT-IN TEE - NOT TO SCALE



THRUST BLOCK - NOT TO SCALE



SAMPLING TAP - NOT TO SCALE



HYDRANT - NOT TO SCALE

REVISION 6	
REVISION 5	
REVISION 4	
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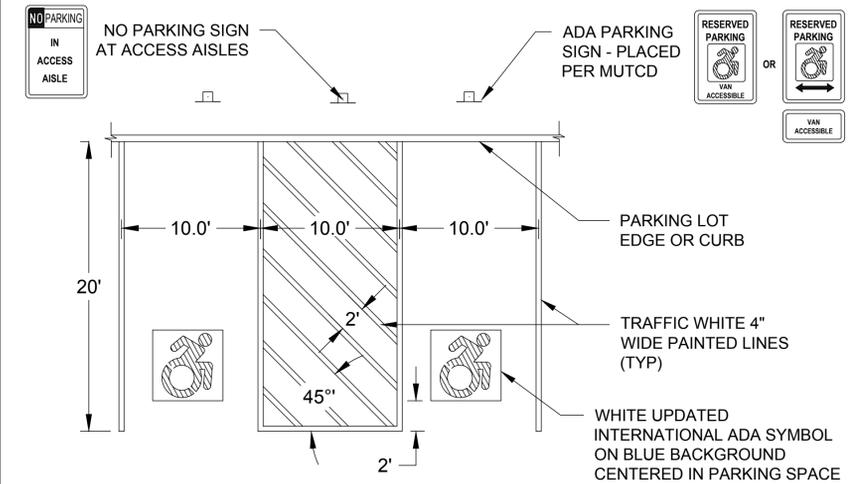
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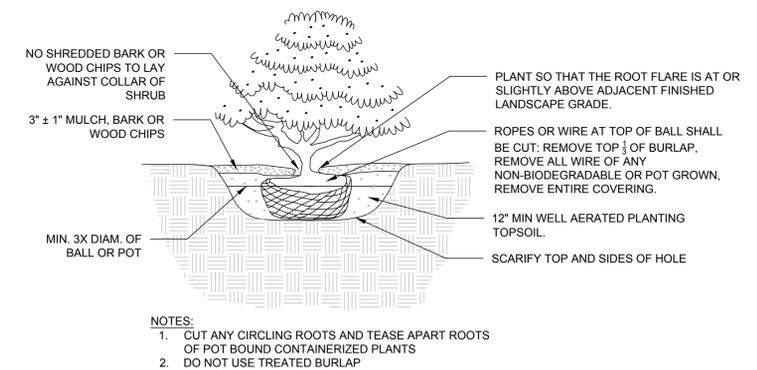
DETAILS

DRAWING NUMBER

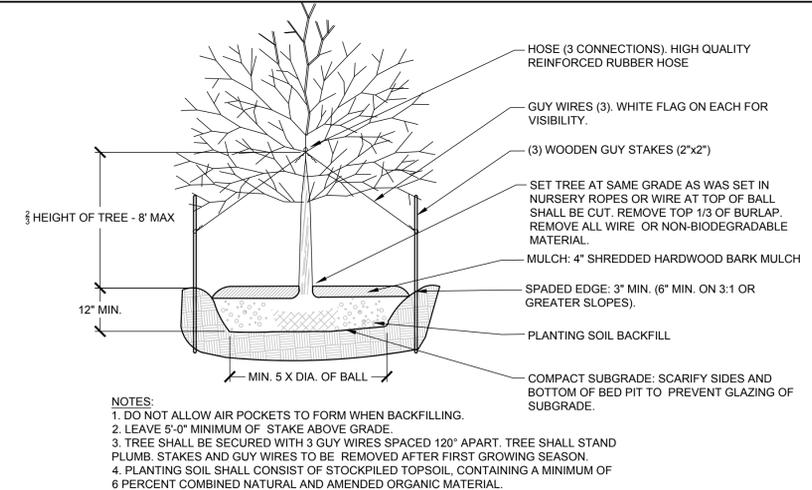
C-106



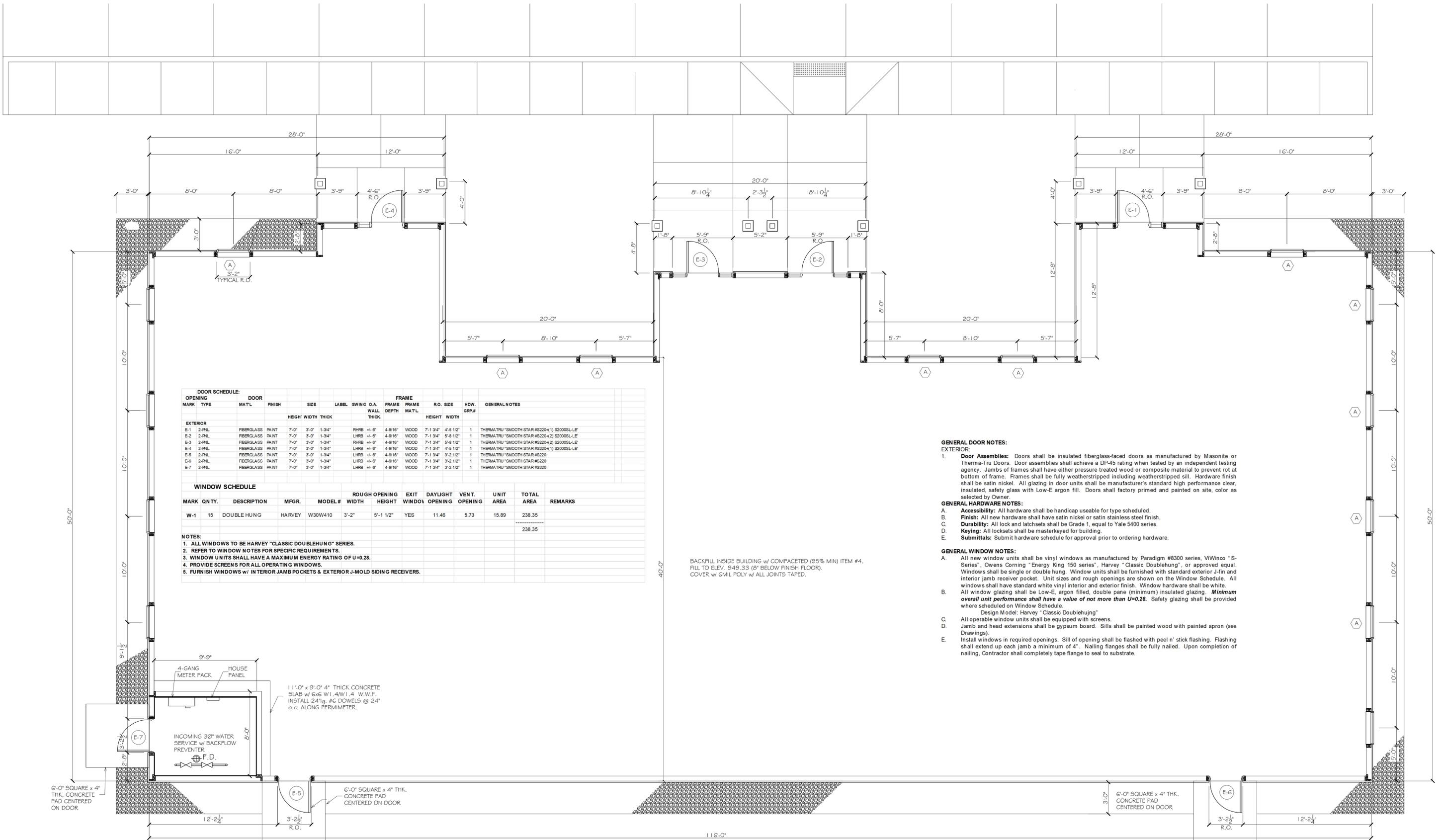
ADA PARKING AND SIGNAGE - NOT TO SCALE



SHRUB PLANTING - NOT TO SCALE



TREE PLANTING - NOT TO SCALE



DOOR SCHEDULE:

OPENING MARK	TYPE	DOOR MAT'L	FINISH	SIZE	LABEL	SWING	O.A. WALL THICK	FRAME FRAME MAT'L	R.O. SIZE	HDW. GRP.#	GENERAL NOTES	
				HEIGHT WIDTH THICK			THICK		HEIGHT WIDTH			
EXTERIOR												
E-1	2-PNL	FIBERGLASS	PAINT	7'-0" 3'-0" 1-3/4"	RHRB	+	6"	4-9/16"	WOOD	7-1 3/4" 4'-5 1/2"	1	THERMATRU "SMOOTH STAR #S220H(1) S2000SL-LE"
E-2	2-PNL	FIBERGLASS	PAINT	7'-0" 3'-0" 1-3/4"	LHRB	+	6"	4-9/16"	WOOD	7-1 3/4" 5'-8 1/2"	1	THERMATRU "SMOOTH STAR #S220H(2) S2000SL-LE"
E-3	2-PNL	FIBERGLASS	PAINT	7'-0" 3'-0" 1-3/4"	RHRB	+	6"	4-9/16"	WOOD	7-1 3/4" 5'-8 1/2"	1	THERMATRU "SMOOTH STAR #S220H(2) S2000SL-LE"
E-4	2-PNL	FIBERGLASS	PAINT	7'-0" 3'-0" 1-3/4"	LHRB	+	6"	4-9/16"	WOOD	7-1 3/4" 4'-5 1/2"	1	THERMATRU "SMOOTH STAR #S220H(1) S2000SL-LE"
E-5	2-PNL	FIBERGLASS	PAINT	7'-0" 3'-0" 1-3/4"	LHRB	+	6"	4-9/16"	WOOD	7-1 3/4" 3'-2 1/2"	1	THERMATRU "SMOOTH STAR #S220"
E-6	2-PNL	FIBERGLASS	PAINT	7'-0" 3'-0" 1-3/4"	LHRB	+	6"	4-9/16"	WOOD	7-1 3/4" 3'-2 1/2"	1	THERMATRU "SMOOTH STAR #S220"
E-7	2-PNL	FIBERGLASS	PAINT	7'-0" 3'-0" 1-3/4"	LHRB	+	6"	4-9/16"	WOOD	7-1 3/4" 3'-2 1/2"	1	THERMATRU "SMOOTH STAR #S220"

WINDOW SCHEDULE

MARK	QNTY.	DESCRIPTION	MFG.	MODEL #	ROUGH OPENING WIDTH	ROUGH OPENING HEIGHT	EXIT WINDOW	DAYLIGHT OPENING	VENT. OPENING	UNIT AREA	TOTAL AREA	REMARKS
W-1	15	DOUBLE HUNG	HARVEY	W30W410	3'-2"	5'-1 1/2"	YES	11.46	5.73	15.89	238.35	
											238.35	

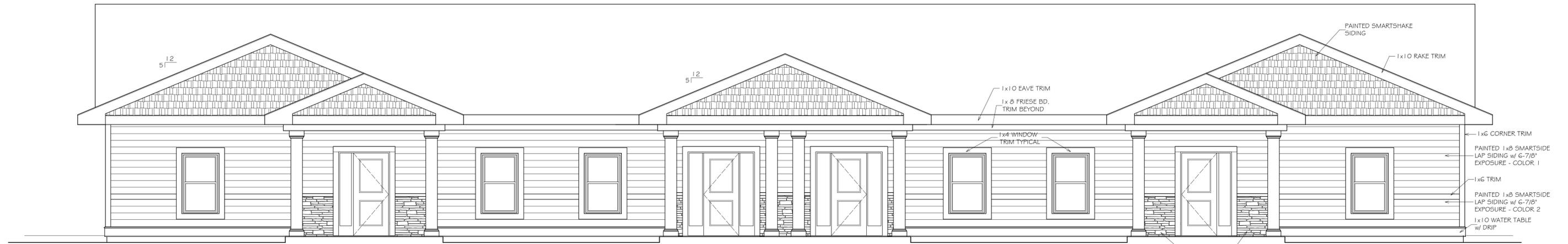
- NOTES:**
- ALL WINDOWS TO BE HARVEY "CLASSIC DOUBLEHUNG" SERIES.
 - REFER TO WINDOW NOTES FOR SPECIFIC REQUIREMENTS.
 - WINDOW UNITS SHALL HAVE A MAXIMUM ENERGY RATING OF U=0.28.
 - PROVIDE SCREENS FOR ALL OPERATING WINDOWS.
 - FURNISH WINDOWS w/ INTERIOR JAMB POCKETS & EXTERIOR J-MOLD SIDING RECEIVERS.

- GENERAL DOOR NOTES:**
- EXTERIOR:**
- Door Assemblies:** Doors shall be insulated fiberglass-faced doors as manufactured by Masonite or Thermo-Tru Doors. Door assemblies shall achieve a DP-45 rating when tested by an independent testing agency. Jamb of frames shall have either pressure treated wood or composite material to prevent rot at bottom of frame. Frames shall be fully weatherstripped including weatherstripped sill. Hardware finish shall be satin nickel. All glazing in door units shall be manufacturer's standard high performance clear, insulated, safety glass with Low-E argon fill. Doors shall factory primed and painted on site, color as selected by Owner.
- GENERAL HARDWARE NOTES:**
- Accessibility:** All hardware shall be handicap useable for type scheduled.
 - Finish:** All new hardware shall have satin nickel or satin stainless steel finish.
 - Durability:** All lock and latches shall be Grade 1, equal to Yale 5400 series.
 - Keying:** All locksets shall be masterkeyed for building.
 - Submittals:** Submit hardware schedule for approval prior to ordering hardware.
- GENERAL WINDOW NOTES:**
- All new window units shall be vinyl windows as manufactured by Paradigm #8300 series, ViWinco "S-Series", Owens Corning "Energy King 150 series", Harvey "Classic Doublehung", or approved equal. Windows shall be single or double hung. Window units shall be furnished with standard exterior J-In and interior jamb receiver pocket. Unit sizes and rough openings are shown on the Window Schedule. All windows shall have standard white vinyl interior and exterior finish. Window hardware shall be white. All window glazing shall be Low-E, argon filled, double pane (minimum) insulated glazing. **Minimum overall unit performance shall have a value of not more than U=0.28.** Safety glazing shall be provided where scheduled on Window Schedule.
Design Model: Harvey "Classic Doublehung"
 - All operable window units shall be equipped with screens.
 - Jamb and head extensions shall be gypsum board. Sills shall be painted wood with painted apron (see Drawings).
 - Install windows in required openings. Sill of opening shall be flashed with peel n' stick flashing. Flashing shall extend up each jamb a minimum of 4". Nailing flanges shall be fully nailed. Upon completion of nailing, Contractor shall completely tape flange to seal to substrate.

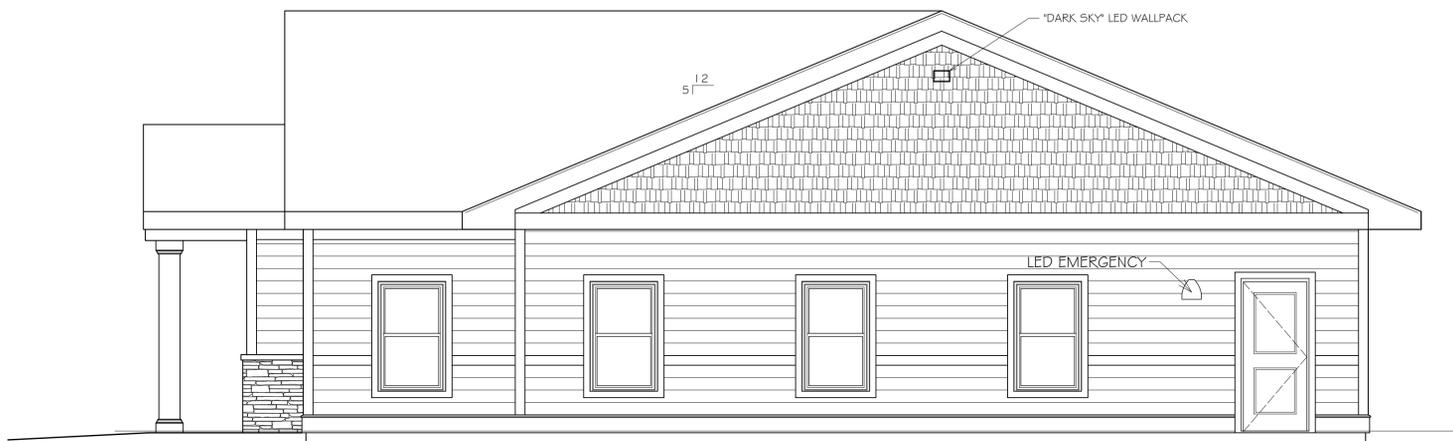
BACKFILL INSIDE BUILDING w/ COMPACTED (95% MIN) ITEM #4, FILL TO ELEV. 949.33 (6" BELOW FINISH FLOOR). COVER w/ GML POLY w/ ALL JOINTS TAPED.

FLOOR PLAN
1/4" = 1'-0"
NORTH

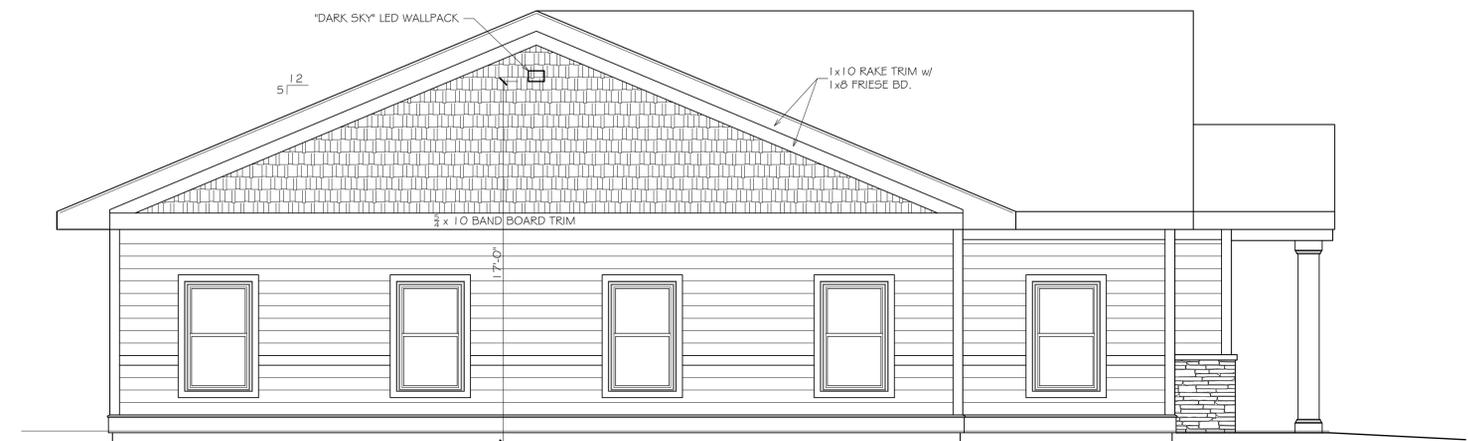
PROPOSED OFFICE BUILDING S.E.E. ASSOCIATES 164 AUBURN ROAD LANSING, NEW YORK 14882	PROJ. NO: 25-01				PROPOSED FLOOR PLAN A-1
	SCALE: AS NOTED				
GEORGE W. BREUHAUS, ARCHITECT 950 DANBY ROAD SUITE 220 ITHACA, NEW YORK 14850	DRAWN: BREUHAUS				
	TEL: 607-257-8348	DATE: 27 MAY 2025	NO.	REVISIONS	DATE



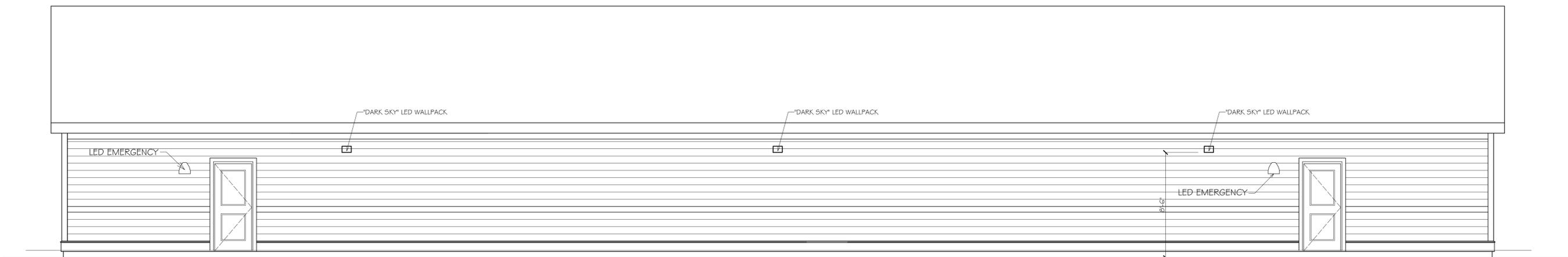
EAST ELEVATION
1/4" = 1'-0"



NORTH ELEVATION
1/4" = 1'-0"



SOUTH ELEVATION
1/4" = 1'-0"



WEST ELEVATION
1/4" = 1'-0"

EXTERIOR FINISHES: OPTION #1

LAP SIDING - MATERIALS:

- Lap siding shall be pre-primed treated "strand" material equal to Louisiana-Pacific SmartSide. Siding shall be furnished as 7'-7/8" high x 16'-0" long.
- Fasteners: Use galvanized or stainless steel nails. Follow manufacturer's spacing requirements.
- Paint: Acrylic latex exterior house paint, color as chosen by Owner.

SIDING INSTALLATION

- Store siding in covered bundles located indoors, spaced off the floor structure. Allow siding to acclimate to ambient conditions prior to installing on structure.
- Install lap siding in strict accordance with manufacturer's instructions.
- Siding shall be installed with all necessary accessories and trims as required to provide a complete job. Coordinate installation with specified trims to insure necessary coverage as-needed to compensate for thermal expansion and prevent water infiltration. Provide additional necessary manufacturer's standard trim components if needed.
- Lap siding shall be installed as a single piece to greatest degree possible. Where necessary, butt joints shall be spaced and caulked as required by manufacturer. Space butt joints so that joints are at least 3'-0" apart from course to course. Back all butt joints with a strip of 30# building felt.
- All "cut" ends shall be field-primed prior to installation.
- Follow manufacturer's instructions for spacing fasteners.
- Follow manufacturer's recommendations for all cuts, both "rip" and cross-cut.
- Paint siding with minimum one (1) coat of acrylic latex exterior house paint, color as chosen by Owner.

RUNNING TRIM:

- Running trims shall be factory-primed boards made from preservative treated wood strand or filler substrate solid that is homogenous and free of voids, holes, cracks, foreign inclusions and other defects. Trim shall offer reversible surface consisting of smooth one side and cedar textured on the opposite side. Board shall be finished with square edges. Trim shall be painted color(s) as chosen by Owner. Trims from the following firms will be considered:
 - MiraTEC
 - LP SmartSide Trim and Fascia.
 All trim shall have a 25 year warranty. Thickness shall be a minimum of 3/4" as-needed to allow coverage of specified siding. Standard lengths shall be 16'-0", minimum. Width shall be as shown on Drawings, or if not shown, as scheduled below.
- Install composite trim in strict accordance with manufacturer's instructions and recommendations. All cuts and/or unfinished edges shall be sanded to impart smooth finish similar to face of trim boards. Corner trims shall have 4" strip of Vycor backing intersection of trim with lap siding. Fasten trim to wall with stainless steel nails or stainless steel trim-head screws. Countersink fasteners and fill void with putty or sealant as recommended by trim manufacturer.
- When running lengths exceed 16'-0", account for thermal expansion. Allow a gap as recommended by manufacturer and seal with specified sealant.

ROOFING NOTES:

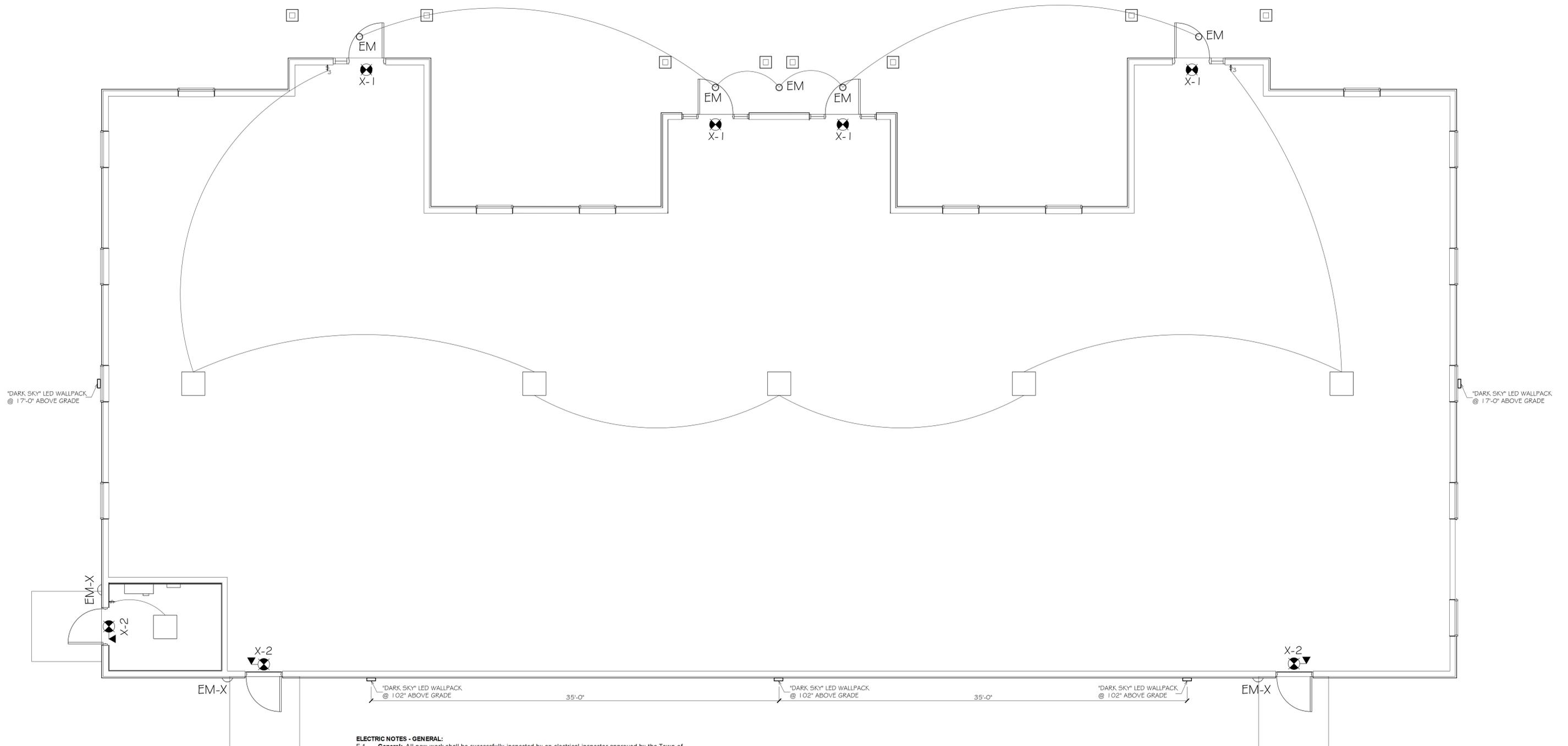
- Asphalt Fiberglass Roofing Shingles: Shingles shall be Class A (UL 790), capable of withstanding 130 mph wind exposure and come with a limited lifetime transferrable warranty. Color shall be as chosen by Owner. Shingles shall be nailed and NOT stapled.
- Shingles shall be installed over 30# felt underlayment, unless installed over "zip-panel", in which case the underlayment is optional. Underlayment shall be installed "shingled" so as to not "buck" water.
- Ice & Watershield: 40 mil self-adhering rubberized asphalt membrane. Install continuous row(s) of Ice and Watershield along all eaves. Line all valleys with 1 row of Ice and Watershield membrane. Ice & Watershield shall extend beyond interior face of wall by a minimum of 24". ICE & WATERSHIELD INSTALLATION IS REQUIRED REGARDLESS OF TYPE OF SHEATHING INSTALLED.

PROPOSED OFFICE BUILDING
S.E.E. ASSOCIATES
164 AUBURN ROAD LANSING, NEW YORK 14882

GEORGE W. BREUHAUS, ARCHITECT
950 DANBY ROAD SUITE 220
ITHACA, NEW YORK 14850

TEL: 607-257-8348

PROJ. NO: 25-01				PROPOSED ELEVATIONS
SCALE: AS NOTED				
DRAWN: BREUHAUS				A-3
DATE: 27 MAY 2025	1			
	NO.	REVISIONS	DATE	



- ELECTRIC NOTES - GENERAL:**
- E-1. **General:** All new work shall be successfully inspected by an electrical inspector approved by the Town of Lansing. Contact the Town for a list of approved inspectors. Contractor shall pay all necessary permit and inspection fees as part of this Project.
 - E-2. **Service:** Incoming service shall be run underground from new power pole along street. Service shall be rated at 120/240V/1P/400A. Connect incoming conduits to a four -pole meter pack (600 amp capacity) with each pole capable of supplying 200 amperes to each load center. Provide each pole with 2-pole circuit breaker. House panel shall be rated for 100 amps. All other poles shall be supplied with 150 amp breaker. Meter pack shall be equal to Square D #MP64200. Provide 120/240V, 1P, 125A, 24 space main lug panel (Square D # QD124L125G) for "house" panel. Provide three (3) 120/240V, 1P, 150A, 30 space main circuit breaker (Square D # QO130M150) panels for use by Tenants. ALL panels shall have a typed directory, identifying all circuits installed, mounted on the interior of the panel access door.
 - E-3. **Wiring Methods:** All service feed wiring be run underground in PVC conduit. Service feed wiring, above the floor level, shall be run in painted galvanized EMT or metal wireway. Wiring sizes shown on Drawings, or Schedules, are based on copper. Contractor may elect to use aluminum wire, for service feeds only, if wire size is properly upsized per NEC requirements. All branch wiring run in partitions or above suspended ceiling shall be run in MC-cable. All work boxes shall be metal.
 - E-4. **Wiring Devices:** All wiring devices shall be commercial grade, equal to Pass and Seymour. Duplex receptacles shall be rated for 20 amps, minimum. Switches shall be commercial grade, type as shown on Drawings. GFI-type receptacles shall be installed where shown on Drawings. Color of devices and cover plates shall be as chosen by Owner. Generally, color shall match color of wall. Exterior cover plates shall be stainless steel.
 - E-5. **Fire-proofing:** ALL PENETRATIONS IN FIRE-RATED WALLS SHALL BE SEALED WITH INTUMESCENT FIRE CAULK. FIRE CAULK SHALL BE THE PROPER TYPE FOR THE INTENDED USE AND SHALL HAVE BEEN SUCCESSFULLY TESTED BY AN INDEPENDENT TESTING AGENCY.
 - E-6. **Interior Light Fixtures:** Supply and install light fixtures shown on Electric drawing. ALL SUBSTITUTIONS MUST BE APPROVED BY ARCHITECT PRIOR TO FINAL AGREEMENT OF CONTRACT PRICE. Refer to Drawings for switching requirements
 - E-7. **Exterior Light Fixtures:** Supply and install light fixtures shown on Electric drawing. All exterior light fixtures shall be controlled by a 7-day programmable time clock. Time clock shall automatically compensate for time changes, and allow for different time patterns per day.
 - E-8. **Incoming Data/Phone Service:** Incoming service shall be run underground from existing power pole along street. Provide two (2) 2" diameter (verify size with phone and data supplier) PVC conduit from pole to Mechanical Room in southwest corner of building.
 - E-9. **Equipment Hook-ups:** Refer to Drawings and Specific Electric Notes for all equipment requirements. Generally, provide power connections for the following:
 - a. Electric Baseboard: Provide 120V Q-mark 2513W series unit (3'-0" lg.) where shown on Drawings. Provide thermostat and dedicated circuit for baseboard.

LIGHT SYMBOL LEGEND

	NEW 24" x 24" FLAT PANEL LAY-IN L.E.D. LIGHT FIXTURE w/ ADJUST. WATTAGE & COLOR
	NEW RECESSED L.E.D. LIGHT w/ LENSE & EMERGENCY BACK-UP.
	NEW SURFACE MOUNT L.E.D. EMERGENCY WALL-PACK.
	DARK SKY L.E.D. WALL-PACK
	NEW EXIT LIGHT w/ EMERG. LT. WHERE SHOWN, w/ 90 MIN. BATTERY BACKUP
	EMERGENCY LIGHT w/ 90 MIN. BATTERY BACKUP

ELECTRICAL SYMBOL LEGEND

	DUPLEX RECEPTACLE w/ HEIGHT IF NOTED
	QUAD. RECEPTACLE w/ HEIGHT IF NOTED
	240 VOLT RECEPTACLE
	GROUND FAULT RECEPTACLE
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	COMBINATION TELEPHONE & DATA BOX w/ # of PORTS SHOWN.

ELECTRICAL - POWER & LIGHTING PLAN
1/4" = 1'-0"

PROPOSED OFFICE BUILDING S.E.E. ASSOCIATES 164 AUBURN ROAD LANSING, NEW YORK 14882	PROJ. NO: 25-01			ELECTRICAL POWER & LIGHTING PLAN
	SCALE: AS NOTED			
GEORGE W. BREUHAUS, ARCHITECT 950 DANBY ROAD SUITE 220 ITHACA, NEW YORK 14850	DRAWN: BREUHAUS			E-1
	DATE: 27 MAY 2025			
TEL: 607-257-8348		NO.	REVISIONS	DATE