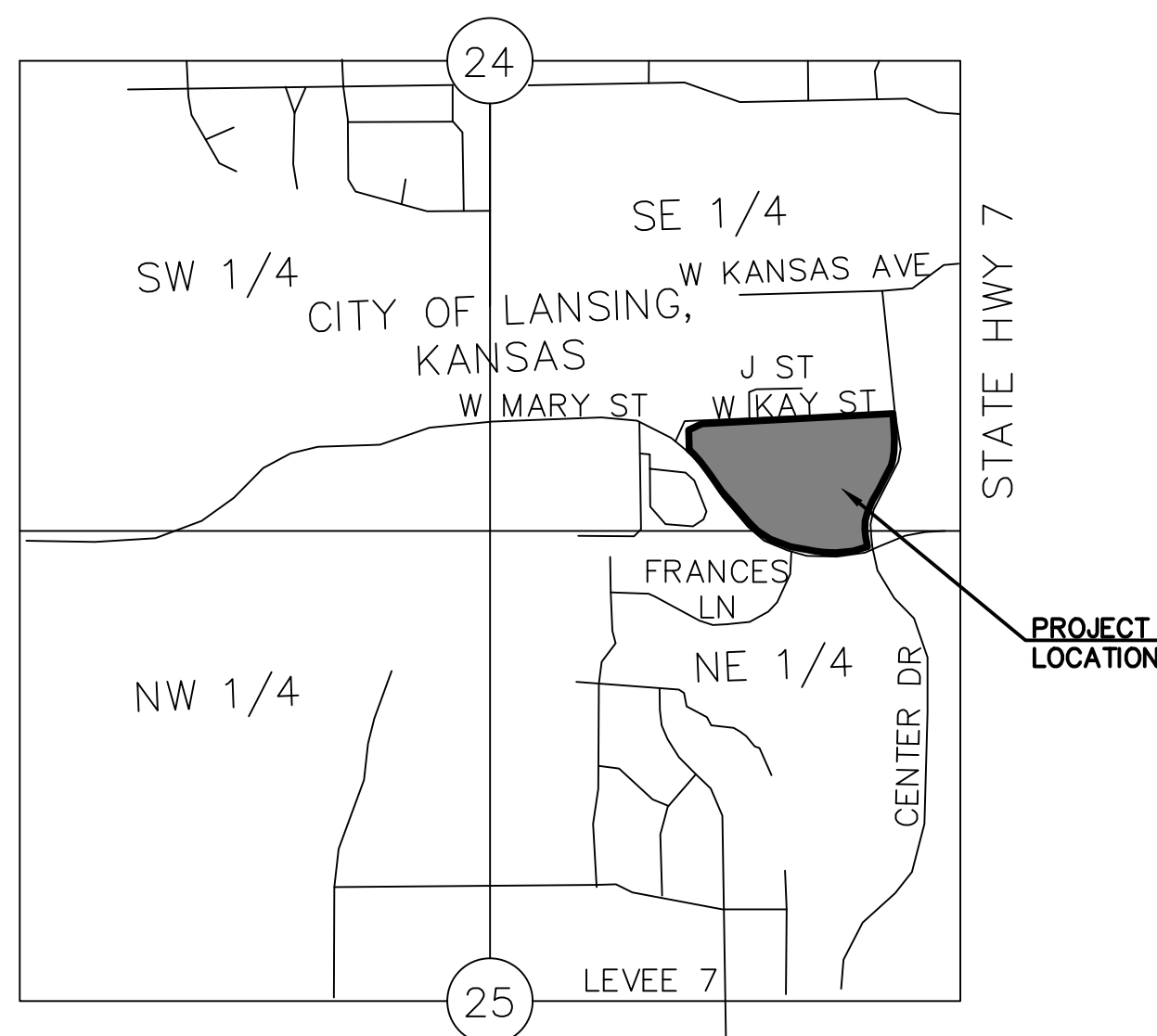


COVINGTON WOODS II SITE PLANS

WEST MARY STREET AND WEST KAY STREET,



VICINITY MAP
SE 1/4 SEC 24, NE 1/4 SEC 25,
TWP 9S - RNG 22E
NOT TO SCALE

Sheet List Table

- C001 TITLE SHEET
C100 OVERALL SITE PLAN
C200 DIMENSION PLAN
C210 COORDINATE TABLE
C300 GRADING PLAN
C400 EROSION CONTROL PLAN – PHASE I
C410 EROSION CONTROL PLAN – PHASE II
C420 EROSION CONTROL PLAN – PHASE III
C500 UTILITY PLAN

S1 ARCHITECTURAL SITE PLAN
SL1 SITE LIGHTING
SL2 SITE LIGHTING
A1 UNIT PLANS
AB1 BUILDING 1 PLAN & ELEVATIONS
AB2 BUILDING 2 PLANS
AB3 BUILDING 2 ELEVATIONS
AB4 BUILDING 3 PLANS
AB5 BUILDING 3 ELEVATIONS
CA1 CLUBHOUSE PLAN
CA2 CLUBHOUSE ELEVATIONS
SD1 MAINT GAR. & TRASH PLANS & ELEVATIONS
CP-1 PRE DEVELOPMENT LANDSCAPE PLAN
CP-2 LANDSCAPE DETAILS & NOTES

DESCRIPTION:

THE WESTERN 4.726 ACRES OF LOT 1, LANSING TOWNE CENTRE, A SUBDIVISION IN THE CITY OF LANSING, LEAVENWORTH COUNTY, KANSAS, RECORDED IN DOCUMENT #2008P00022 AT THE REGISTER OF DEEDS OFFICE IN LEAVENWORTH COUNTY, KANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWESTERLY MOST CORNER OF SAID LOT, SAID POINT ALSO BEING ON THE SOUTH RIGHT OF WAY LINE OF WEST KEY STREET AS NOW ESTABLISHED; THENCE NORTH 87°02'20" EAST ON THE NORTH LINE OF SAID LOT 1, A DISTANCE OF 460.08 FEET TO A POINT; THENCE SOUTH 03°18'19" EAST, A DISTANCE OF 297.16 FEET TO A POINT; THENCE SOUTH 16°59'54" WEST, A DISTANCE OF 129.64 FEET TO A POINT; THENCE SOUTH 55°23'50" WEST, A DISTANCE OF 231.36 FEET TO A POINT ON THE SOUTHWESTERLY LINE OF SAID LOT 1, SAID POINT ALSO BEING ON THE NORTHEASTERLY RIGHT OF WAY LINE OF WEST MARTY STREET AS NOW ESTABLISHED; THENCE NORTH 39°56'39" WEST ON THE SOUTHWESTERLY LINE OF SAID LOT 1, A DISTANCE OF 221.54 FEET TO A POINT; THENCE NORTH 34°34'26" WEST CONTINUING ON SAID SOUTHWESTERLY LINE, A DISTANCE OF 128.71 FEET TO A POINT; THENCE ON A CURVE TO THE LEFT CONTINUING ON SAID SOUTHWESTERLY LINE, HAVING A RADIUS OF 686.17 FEET, A DELTA ANGLE OF 10°51'03" AND AN ARC LENGTH OF 129.95 FEET TO A POINT ON THE WEST LINE OF SAID LOT 1; THENCE NORTH 01°46'43" WEST ON SAID WEST LINE, A DISTANCE OF 130.87 FEET TO A POINT; THENCE ON A CURVE TO THE RIGHT CONTINUING ON SAID WEST LINE, HAVING A RADIUS OF 232.47 FEET, A DELTA ANGLE OF 11°39'44" AND AN ARC LENGTH OF 47.32 FEET TO A POINT; THENCE NORTH 73°58'15" EAST CONTINUING ON SAID WEST LINE, A DISTANCE OF 11.50 FEET TO A POINT; THENCE NORTH 16°01'45" WEST CONTINUING ON SAID WEST LINE, A DISTANCE OF 1.53 FEET TO THE POINT OF BEGINNING. CONTAINS 205,883 SQUARE FEET OR 4.726 ACRES MORE OR LESS.

NO FIELD WORK WAS PERFORMED AT THIS TIME AND THIS DESCRIPTION DOES NOT MEET THE REQUIREMENTS OF K.S.A. 19-1434, WHICH REQUIRES A SURVEY TO BE FILED WHEN CREATING A NEW PARCEL OR DESCRIPTION FOR THE TRANSFER OF REAL PROPERTY.

END OF DESCRIPTION

PREPARED FOR:
ZIMMERMAN PROPERTIES, LLC.
1329 LARK ST.
SPRINGFIELD, MO 65804
PHONE: (417)-883-1632
CONTACT: MANDI PASWATERS
EMAIL: mposwaters@wilhoitproperties.com

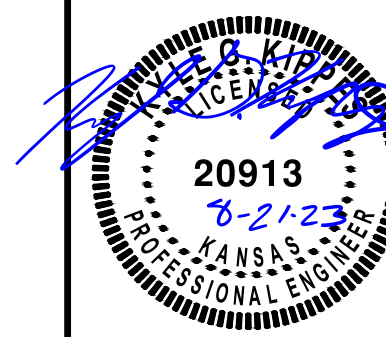
PREPARED BY:
KAW VALLEY
ENGINEERING, INC.
14700 W 114TH TERR.
LENEXA, KANSAS 66215
PHONE: (913) 894-5150
CONTACT: KYLE KIPPES
EMAIL: kippes@kvenq.com

OWNER:
CITY OF LANSING
800 1ST TERRACE
LANSING, KS 66043

LAND AREA:
TOTAL = 205,883 SF OR 4.73 AC±

ZONING:
"R-4" – MULTIFAMILY
RESIDENTIAL DISTRICT

PROPOSED USE:
MULTIFAMILY RESIDENCIES



KYLE G. KIPPES
ENGINEER
KS # 20913

14700 WEST 114TH TERRACE
LENEXA, KANSAS 66215
PH. (913) 894-5150
lx@kvensg.com | www.kvensg.com

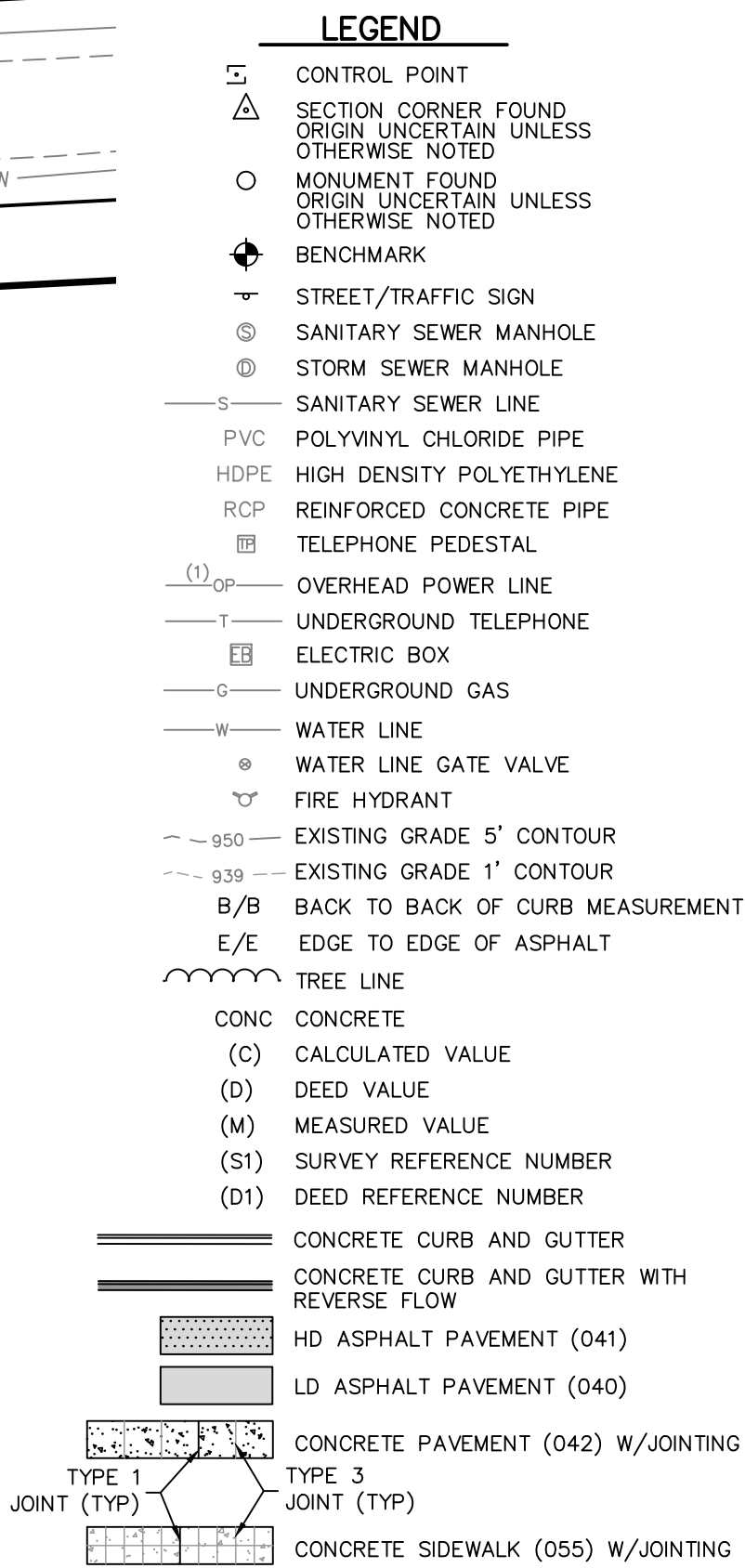


KAW VALLEY ENGINEERING, INC., IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY KANSAS STATE CERTIFICATE OF AUTHORIZATION # E-113.

COVINGTON WOODS II
WEST MARY STREET AND WEST KAY STREET
LANSHING, KANSAS 66043

SITE PLANS

PROJ. NO.		C23_1644	
DESIGNER	KGK	DRAWN BY	HAS/JQ
CFN		1644SP	
SHEET		RE	
C001			



PREPARED BY:
KAW VALLEY
ENGINEERING, INC.
14700 W 114TH TERR.
LENEXA, KANSAS 66215
PHONE: (913) 894-5150
CONTACT: KYLE KIPPES
EMAIL: kippes@kveng.com

1. COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH OWNER.
2. CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED THE CITY OF LANSING TECHNICAL SPECIFICATIONS.
3. ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION WITH AND IN ACCORDANCE WITH REGULATIONS OF THE AUTHORITIES CONCERNED.
4. PUBLIC CONVENIENCE AND SAFETY: THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL INSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC, AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG AND ADJACENT TO HIGHWAYS IN THE CONSTRUCTION AREA.
5. ALL DIMENSIONS SHOWN ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
6. ALL TRAFFIC CONTROL DEVICES, INSTALLATION AND OPERATIONS SHALL CONFORM WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
7. PAINT FOR STRIPING ON PUBLIC STREETS, HIGHWAYS AND ENTRANCES SHALL BE REFLECTORIZED PAINT CONFORMING TO THE SPECIFICATIONS OR REQUIREMENTS OF THE AUTHORITY GOVERNING THE STREET OR HIGHWAY.
8. CONTRACTOR TO PROVIDE INSPECTION SERVICE FOR FILL PLACEMENT, PAVEMENT, RETAINING WALL AND PRIVATE UTILITIES INSTALLATION. COPIES OF INSPECTION REPORTS ARE TO BE PROVIDED TO CITY, INCLUDING BUT NOT LIMITED TO DAILY LOGS, COMPACTION RESULTS, MATERIAL TESTING AND PHOTOGRAPHS.

- 001 CONCRETE CURB AND GUTTER
002 CURB AND GUTTER - DRY CURB
040 ASPHALT PAVEMENT
041 HEAVY DUTY ASPHALT PAVEMENT
042 HEAVY DUTY CONCRETE PAVEMENT
055 CONCRETE SIDEWALK
060 SIDEWALK RAMPS
061 PRIVATE SIDEWALK RAMPS
102 90" ACCESSIBLE & VAN ACCESSIBLE SPACE STRIPING
130 ACCESSIBLE PARKING SIGNAGE
450 RETAINING WALL CONTRACTOR SHALL PROVIDE RETAINING WALL
DESIGN SIGNED AND SEALED BY AN ENGINEER LICENSED IN THE
STATE OF KANSAS
470 FENCE

- 12 WHITE PARKING LOT STRIPING (SHERWIN-WILLIAMS TM 2160 LEAD FREE OR
APPROVED EQUAL)
60 STORM STRUCTURE (SEE C600 SERIES SHEETS)
70 SANITARY SEWER APPURTENANCES (SEE SHEET C500)
80 WATER APPURTENANCES (SEE SHEET C500)
84 FIRE HYDANT (SEE SEPARATE WATER MAIN PLANS)
90 PLAYGROUND
91 MONUMENT SIGN (SEE ARCHITECTURAL PLAN)
96 TRASH ENCLOSURE (SEE ARCHITECTURAL PLAN)
97 CAST IN PLACE STEM WALL

CP #60
2" ALUMINUM CAP STAMPED BM L2-09 FOUND AND HELD
NORTHING: 347157.89 (GROUND)
EASTING: 2189985.31 (GROUND)
ELEV: 857.58

CP #100
1/2"x24" REBAR W/ ORANGE CONTROL CAP
NORTHING: 346949.53 (GROUND)
EASTING: 2189016.43 (GROUND)
ELEV: 874.35

CP #301
1/2"x24" REBAR W/ ORANGE CONTROL CAP
NORTHING: 347691.37
EASTING: 2188509.13
ELEV: 837.22

CP #302
1/2"x24" REBAR W/ ORANGE CONTROL CAP
NORTHING: 347759.73
EASTING: 2189092.17
ELEV: 853.01

BM #61
SQUARE CUT SET ON CENTERLINE OF FRONT FACE OF 1ST CURB
INLET SOUTHEAST OF INTERSECTION OF KAY STREET AND MARY
STREET.
ELEV: 841.87

BM #151
2" ALUMINUM CAP STAMPED BM L2-09 FOUND.
ELEV: 857.60

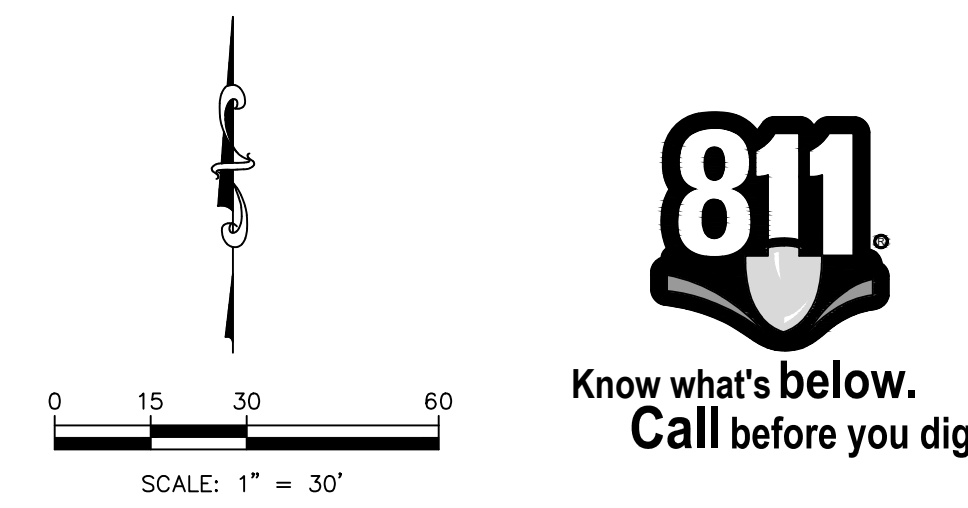
THE SURVEYED PROPERTY IS SHOWN TO BE LOCATED IN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DEPICTED ON THE FLOOD INSURANCE RATE MAP NO. 20103C0232G, MAP REVISED JULY 16, 2015, CITY OF LANSING, LEAVENWORTH COUNTY, KANSAS. LOCATION DETERMINED BY A SCALED GRAPHICAL PLOT OF THE FLOOD INSURANCE RATE MAP.

1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE, SLOPED PAVING, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
2. THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACTOR DOCUMENTS.
3. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.
4. ALL DIMENSIONS ARE PERPENDICULAR TO PROPERTY LINE.
5. ACTUAL SIGN LOCATIONS TO BE COORDINATED WITH CONSTRUCTION MANAGER.



Know what's below.
Call before you dig.

COVINGTON WOODS II WEST MARY STREET AND WEST KAY STREET LANSING, KANSAS 66043					
SITE PLANS SITE PLAN					
PROJ. NO. C23-1644					
DESIGNER KGK DRAWN BY HAS/JQN					
CFN 1644SP					
SHEET C100					
REV					



PROJECT CONTROL: (U.S. SURVEY FEET)

CP #60
2" ALUMINUM CAP STAMPED BM L2-09 FOUND AND HELD
NORTHING: 347157.89 (GROUND)
EASTING: 2189985.31 (GROUND)
ELEV: 857.58

CP #100
1/2"x24" REBAR W/ ORANGE CONTROL CAP
NORTHING: 346949.53 (GROUND)
EASTING: 2189016.43 (GROUND)
ELEV: 874.35

CP #301
1/2"x24" REBAR W/ ORANGE CONTROL CAP
NORTHING: 347691.37
EASTING: 218509.13
ELEV: 837.22

CP #302
1/2"x24" REBAR W/ ORANGE CONTROL CAP
NORTHING: 347759.73
EASTING: 2189092.17
ELEV: 853.01

PROJECT BENCHMARK:
BM #61
 SQUARE CUT SET ON CENTERLINE OF FRONT FACE OF 1ST CURB
 INLET SOUTHEAST OF INTERSECTION OF KAY STREET AND MARY
 STREET.
 ELEV: 841.87

BM #151
 2" ALUMINUM CAP STAMPED BM L2-O9 FOUND.
 ELEV: 857.60

NOTE:

1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE, SLOPED PAVING, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
2. THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACTOR DOCUMENTS.
3. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
4. ALL DIMENSIONS ARE PERPENDICULAR TO PROPERTY LINE.
5. ACTUAL SIGN LOCATIONS TO BE COORDINATED WITH CONSTRUCTION MANAGER.

SAFETY NOTICE TO CONTRACTOR
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

WARNING / DISCLAIMER
THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER KAW VALLEY ENGINEERING, INC NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED, EXCEPT IN THE SPECIFIC CASES WHERE KAW VALLEY ENGINEERING PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

CAUTION - NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. THE RESULTS OF THE CONTRACTOR TO RELOCATE OR REPAIR ANY EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.

C200	SHEET	1644DIM	CFN	C23. 1644	COVINGTON WOODS II WEST MARY STREET AND WEST KAY STREET LANSING, KANSAS 66043	KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY KANSAS STATE CERTIFICATE OF AUTHORIZATION # E-113. EXPIRES 12/31/24	 KYLE G. KIPPES ENGINEER KS # 20913	14700 WEST 114TH TERRACE LENEXA, KANSAS 66215 PH. (913) 894-5150 kx@kverg.com www.kverg.com	 KAW VALLEY ENGINEERING	KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY KANSAS STATE CERTIFICATE OF AUTHORIZATION # E-113. EXPIRES 12/31/24	REV	DATE	DESCRIPTION	DSN	DWN	CHK

1. THE CONSTRUCTION AREA SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL AND ORGANIC MATTER FROM ALL AREAS TO BE OCCUPIED BY BUILDING AND PAVING. TOPSOIL FOR REPLACEMENT ON SLOPES MAY BE STOCKPILED ON SITE. EXCESS TOPSOIL MAY BE WASTED IN FILL SLOPES PROVIDED THAT NO TOPSOIL WILL BE WASTED WITHIN 10 FEET OF THE EDGE OF THE BUILDING OR PARKING AREA. BURNING OF TIMBER WILL NOT BE PERMITTED UNLESS APPROVAL IS OBTAINED FROM GOVERNING OFFICIALS. STRIPPING EXISTING TOPSOIL AND ORGANIC MATTER SHALL BE TO A MINIMUM DEPTH OF 6 INCHES.

2. AREAS TO RECEIVE FILL SHALL BE SCARIFIED AND THE TOP 8-INCH DEPTH COMPACTED TO 95% STANDARD PROCTOR DENSITY. ANY UNSUITABLE AREAS SHALL BE UNDERCUT AND REPLACED WITH SUITABLE MATERIAL BEFORE ANY FILL MATERIAL CAN BE APPLIED.

3. OFF-SITE FILL MATERIAL SHALL HAVE A PLASTICITY INDEX OF 25 OR LESS, A LIQUID LIMIT OF 45 OR LESS AND CONTAIN NO ROCK LARGER THAN FOUR INCHES. OFF-SITE FILL MATERIAL SHALL BE APPROVED BY THE OWNER ENGINEER PRIOR TO BRINGING ON SITE.

4. EARTHWORK UNDER THE BUILDING SHALL COMPLY WITH THE PROJECT ARCHITECTURAL PLANS. OTHER FILL MATERIAL SHALL BE MADE IN LIFTS NOT TO EXCEED EIGHT INCHES DEPTH COMPACTED TO 95% STANDARD PROCTOR DENSITY. FILL MATERIAL MAY INCLUDE ROCK FROM ON-SITE EXCAVATION IF CAREFULLY PLACED SO THAT LARGE STONES ARE WELL DISTRIBUTED AND VOIDS ARE COMPLETELY FILLED WITH SMALLER STONES, EARTH, SAND OR GRAVEL TO FURNISH A SOLID EMBANKMENT. NO ROCK LARGER THAN THREE INCHES IN ANY DIMENSION NOR ANY SHALE SHALL BE PLACED IN THE TOP 12 INCHES OF EMBANKMENT.

5. AREAS THAT ARE TO BE CUT TO SUBGRADE LEVELS SHALL BE PROOF ROLLED WITH A MODERATELY HEAVY LOADED DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOIL CONDITIONS.

6. IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOIL CONDITIONS ARE ENCOUNTERED, A QUALIFIED GEOTECHNICAL ENGINEER SHALL RECOMMEND TO THE OWNER ENGINEER THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROPERLY COMPACTED, APPROVED FILL MATERIAL. ALL PROOFROLLING AND UNDERCUTTING SHOULD BE PERFORMED DURING A PERIOD OF DRY WEATHER.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.

8. ALL SLOPES ARE TO BE 3:1 OR FLATTER UNLESS OTHERWISE INDICATED.

9. ALL SLOPES EXCEEDING 3:1 SHALL BE PROTECTED BY RIP RAP, CONCRETE PAVING, OR OTHER METHODS INDICATED ON THESE PLANS, THAT WILL PREVENT EROSION AND PLACED SUCH THAT THE SURFACE IS FLUSH WITH SURROUNDING GROUND AND SHAPED TO CHANNEL WATER IN DIRECTIONS INDICATED.

10. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON-SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.

11. CONTRACTOR SHALL USE SILT FENCE, STRAW BALES OF HAY OR OTHER MEANS OF CONTROLLING EROSION ALONG THE EDGE OF THE PROPERTY OR OTHER BOTTOM OF SLOPE LOCATIONS.

12. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS.

13. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.

14. IT IS NOT THE DUTY OF THE ENGINEER OR THE OWNER TO REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE AT ANY TIME DURING CONSTRUCTION.

16. PIPE LENGTHS ARE CENTER TO CENTER OF STRUCTURE OR TO END OF END SECTIONS.

17. CONTRACTOR TO PROVIDE WALL DETAILS AND PLANS SEALED BY A KANSAS LICENSED ENGINEER. WALL DESIGNER TO VERIFY BEARING CAPACITY AND GLOBAL STABILITY FOR WALL CALCULATIONS.

△	CONTROL POINT	⌚	ELECTRIC BOX
△	SECTION CORNER FOUND ORIGIN UNCERTAIN UNLESS OTHERWISE NOTED	—G	UNDERGROUND GAS
⊙	MONUMENT FOUND ORIGIN UNCERTAIN UNLESS OTHERWISE NOTED	W	WATER LINE
⊙	BENCHMARK	⌚	WATER LINE GATE VALVE
⊙	STREET/TRAFFIC SIGN	⌚	FIRE HYDRANT
⊙	SANITARY SEWER MANHOLE	—950	EXISTING GRADE 5' CONTOUR
⊙	STORM SEWER MANHOLE	—939	EXISTING GRADE 1' CONTOUR
—S—	SANITARY SEWER LINE	B/B	BACK TO BACK OF CURB MEASUREMENT
PVC	POLYVINYL CHLORIDE PIPE	E/E	EDGE TO EDGE OF ASPHALT
HDPE	HIGH DENSITY POLYETHYLENE	~~~~~	TREE LINE
RCP	REINFORCED CONCRETE PIPE	CONC	CONCRETE
⊙	TELEPHONE PEDESTAL	(C)	CALCULATED VALUE
OP—	OVERHEAD POWER LINE	(D)	DEED VALUE
T—	UNDERGROUND TELEPHONE	(M)	MEASURED VALUE
		(S1)	SURVEY REFERENCE NUMBER
		(D1)	DEED REFERENCE NUMBER

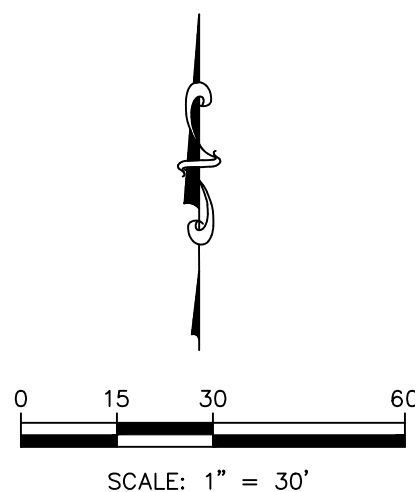
IF DISCREPANCIES EXIST BETWEEN THE GRADING NOTES BELOW AND THE RECOMMENDATIONS OUTLINED IN THE PROJECT GEOTECHNICAL REPORT, THE RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT SHALL GOVERN.

THE SURVEYED PROPERTY IS SHOWN TO BE LOCATED IN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DEPICTED ON THE FLOOD INSURANCE RATE MAP NO. 20103C0232G, MAP REVISED JULY 16, 2015, CITY OF LANSING, LEAVENWORTH COUNTY, KANSAS.

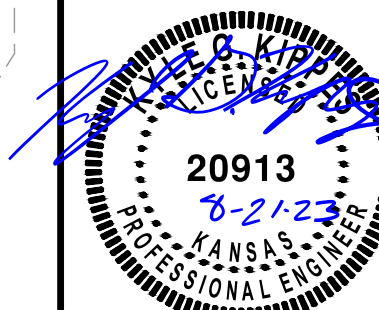
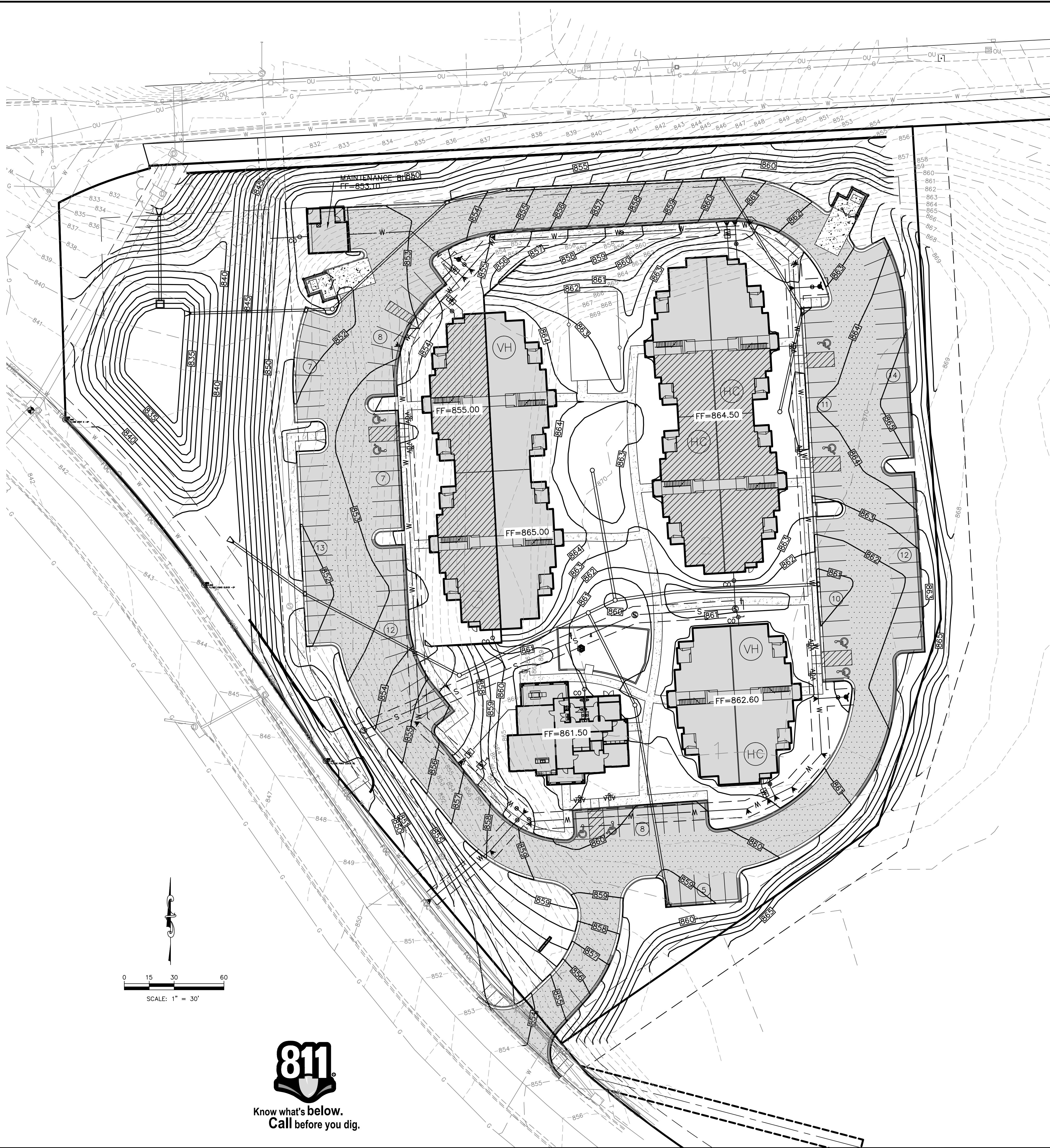
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER KAW VALLEY ENGINEERING, INC NOR ITS PERSONNEL CAN OR DO WARRANTY THESE DESIGNS OR PLANS AS CONSTRUCTED, EXCEPT IN THE SPECIFIC CASES WHERE KAW VALLEY ENGINEERING PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.



Know what's **below**.
Call before you dig.



KYLE G. KIPPES
ENGINEER
KS # 20913

14700 WEST 114TH TERRACE
LENEXA, KANSAS 66215
PH. (913) 894-5150
lx@kveerig.com | www.kveerig.com

 **KAW VALLEY ENGINEERING**

KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY KANSAS STATE CERTIFICATE OF AUTHORIZATION # E-113.

**COVINGTON WOODS II
WEST MARY STREET AND WEST KAY STREET
LANSING, KANSAS 66043**

SITE PLANS

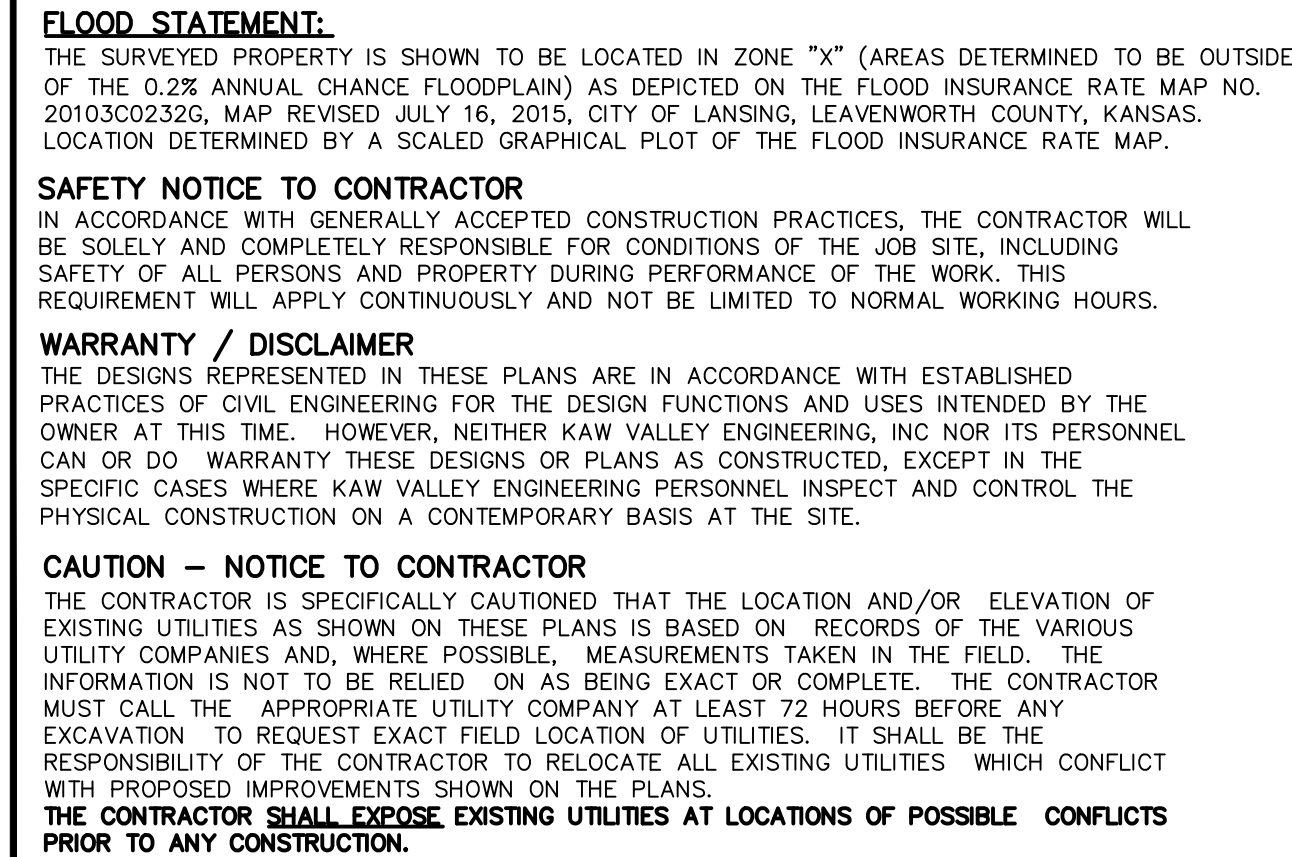
PROJ. NO.		C23_1644	
DESIGNER		DRAWN BY	
KGK		HAS/JQ	
CFN			
1644GP			
SHEET		REVISION	
C300			

THIS DRAWING SHALL NOT BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION IN WHOLE OR IN PART WITHOUT THE SPECIFIC PERMISSION OF KAW VALLEY ENGINEERING, INC.



- PERMANENT SEEDING**
SEE LANDSCAPING PLAN OF THE PROJECT SPECIFICATIONS FOR PERMANENT SEEDING REQUIREMENTS.

PROJ. NO.		C23_1644	
DESIGNER		DRAWN BY	
K GK		HAS/JQN	
CFN			
1644ECP			
SHEET		REV	
C400			



- | | |
|-----|---|
| | FOR THE FOLLOWING DETAILS
DETAILS - SEE SHEET C490 |
| 047 | CONSTRUCTION ENTRANCE DETAIL |
| 812 | SEDIMENTATION FENCE |
| 816 | INLET PROTECTION |
| 818 | CURB INLET PROTECTION |
| 826 | CONCRETE WASHOUT |

Diagram illustrating the proposed finished ground contour and sedimentation fence. The diagram shows a cross-section of the ground profile with the following features:

- EXISTING GROUND CONTOUR (1' INTERVALS):** Indicated by a dashed line with a vertical scale of 1218.
- PROPOSED FINISHED GROUND CONTOUR (1' INTERVALS):** Indicated by a solid line with a vertical scale of 1218.
- SEDIMENTATION FENCE:** Represented by two 'X' marks on the ground profile.
- INLET PROTECTION:** Represented by a square symbol with a cross inside.
- CONSTRUCTION ENTRANCE:** Represented by a rectangular symbol with a cross inside.
- CONCRETE WASH AREA:** Represented by a circular symbol with the letters 'CW' inside.

SEEDING PREPARATION - SEEDBED SHOULD BE WELL-PULVERIZED, LOOSE AND UNIFORM. LIMB AND FERTILIZER SHOULD BE APPLIED ACCORDING TO SOIL TEST RECOMMENDATIONS. IF pH IS UNKNOWN, APPLY LIMB AT A RATE OF 2 TONS/ACRE. APPLY A 10-10-10 GRADE FERTILIZER AT 700-1,000 LB/ACRE. INCORPORATE BOTH INTO THE TOP 6-8 INCHES OF SOIL. SEEDING - SEEDING SHOULD BE DONE IN FALL OR WINTER. SEEDS OF GRASS, WHEAT OR OATS FOR TEMPORARY SEEDING - SEEDING - EVENLY APPLY SEED USING A CYCLONE SEEDER (BROADCAST), ROLL, CULPICKAPER SEEDER OR HYDROSEEDER. ANNUAL RYE GRASS SHOULD BE APPLIED AT A RATE OF 120 LBS/ACRE, WHEAT OR OATS SHOULD BE APPLIED AT A RATE OF 100 LB/ACRE. BROADCAST SEEDING AND HYDROSEEDING ARE APPROPRIATE FOR STEEP SLOPES WHERE EQUIPMENT CANNOT BE DRIVEN. HAND SEEDING OF GRASS OR OATS IS ALLOWED ON SLOPES OF 3:1 OR LESS. SEEDS OF GRASS, WHEAT OR OATS SHOULD BE PLANTED NO MORE THAN 1 INCH DEEP, AND GRASSES AND LEGUMES NO MORE THAN 1/2 INCH. BROADCAST SEED MUST BE COVERED BY RAKING OR CHAIN DRAGGING, AND THEN LIGHTLY FIRMED WITH A ROLLER OR CULPICKAPER. HYDROSEEDED MIXTURES SHOULD INCLUDE A WOOD FIBER (CELLULOSE) MULCH.

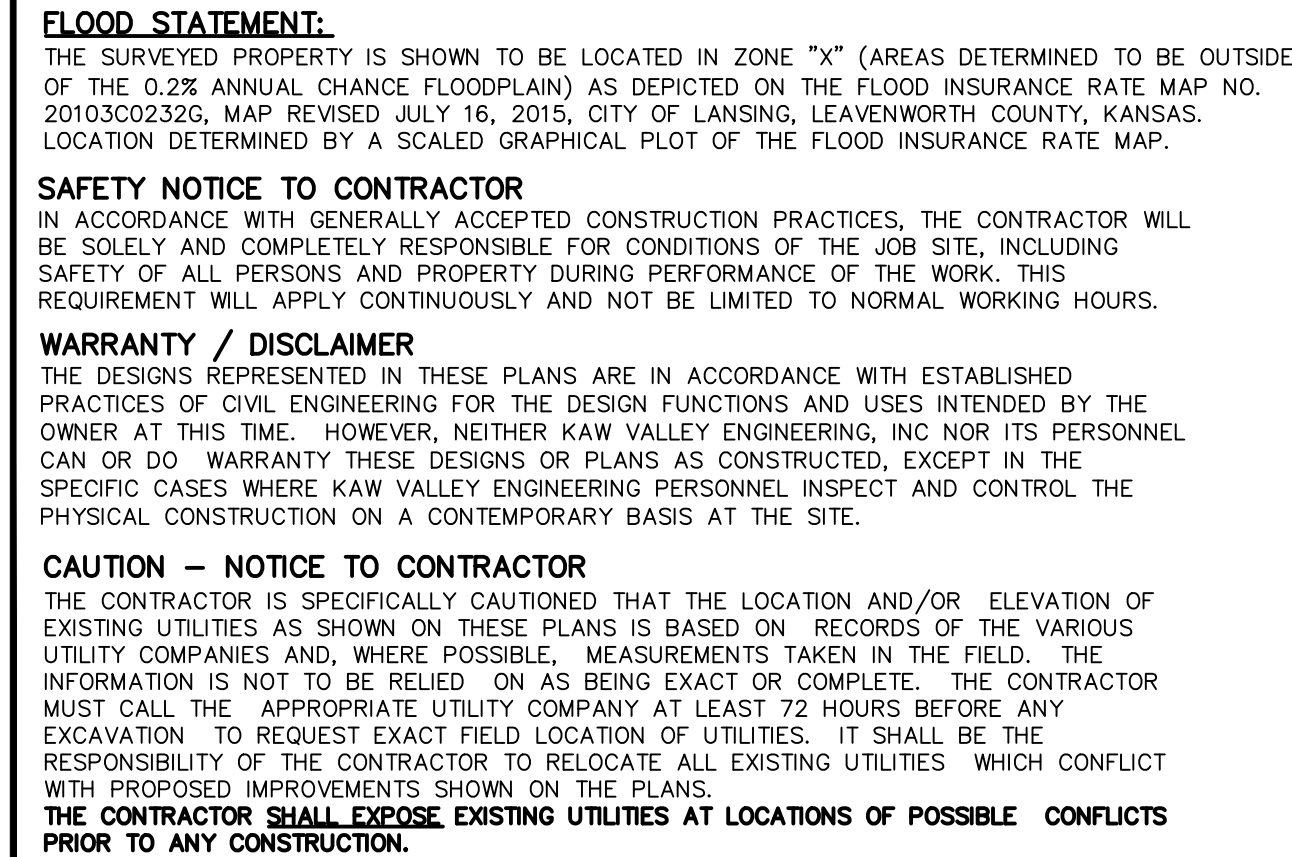
MULCHING - THE USE OF MULCH WILL HELP ENSURE ESTABLISHMENT UNDER NORMAL CONDITIONS AND IS ESSENTIAL TO SEEDING UNDER HARSH CONDITIONS SUCH AS SEEDING IN FALL OR WINTER COVER (WOOD FIBER MULCHES ARE NOT CONSIDERED ADEQUATE FOR THIS USE). SLOPES STEEPER THAN 3:1, EXCESSIVELY HOT OR DRY WEATHER, ADVERSE SOILS (SHALLOW, ROCKY, HIGH IN CLAY OR SAND), AND AREAS RECEIVING CONCENTRATED FLOW. IF AREA TO BE MULCHED IS SUBJECT TO CONCENTRATED WATERFLOW, AS IN CHANNELS, ANCHOR MULCH WITH NETTING.

MAINTENANCE - RESEED, RESEEDING AND MULCH AREAS OF INSUFFICIENT GROWTH. RESEED, REFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

SEE LANDSCAPING PLAN OF THE PROJECT SPECIFICATIONS FOR PERMANENT SEEDING REQUIREMENTS

COVINGTON WOODS II
WEST MARY STREET AND WEST KAY STREET
LANSING, KANSAS 66043

SITE PLANS
EROSION CONTROL PLAN - PHASE II



- | | |
|-----|---|
| | FOR THE FOLLOWING DETAILS
DETAILS - SEE SHEET C490 |
| 047 | CONSTRUCTION ENTRANCE DETAIL |
| 812 | SEDIMENTATION FENCE |
| 816 | INLET PROTECTION |
| 818 | CURB INLET PROTECTION |
| 826 | CONCRETE WASHOUT |

1218 EXISTING GROUND CONTOUR (1' INTERVALS)

1218 PROPOSED FINISHED GROUND CONTOUR (1' INTERVALS)

SEDIMENTATION FENCE

INLET PROTECTION

CONSTRUCTION ENTRANCE

CONCRETE WASH AREA

The diagram shows a cross-section of the site. At the top, a horizontal line represents the existing ground contour at an elevation of 1218. Below it, another horizontal line represents the proposed finished ground contour, also at an elevation of 1218. A thick black line with 'X' marks represents the sedimentation fence. Below the fence, there are three rectangular areas: a small square for inlet protection, a larger rectangle for the construction entrance, and a rectangle labeled 'CW' for the concrete wash area.

SEEDING PREPARATION - SEEDBED SHOULD BE WELL-PULVERIZED, LOOSE AND UNIFORM. LIME AND FERTILIZER SHOULD BE APPLIED ACCORDING TO SOIL TEST RECOMMENDATIONS. IF PH IS UNKNOWN, APPLY LIME AT A RATE OF 2 TONS/ACRE. APPLY A 10-10-10 GRADE FERTILIZER AT 700-1,000 LBS/ACRE. INCORPORATE WITH A DISC OR ROLLER.


PLANT SELECTION - ANNUAL RYE GRASS, WHEAT OR OATS FOR TEMPORARY SEEDING.

SEEDING - EVENLY APPLY SEED USING A CYCLONE SEEDER (BROADCAST), DRILL, CULTIPACKER SEEDER OR HYDROSEEDER. ANNUAL RYE GRASS SHOULD BE APPLIED AT A RATE OF 120 LBS/ACRE, WHEAT OR OATS SHOULD BE APPLIED AT A RATE OF 100 LBS/ACRE. BROADCAST SEEDING AND HYDROSEEDING ARE APPROPRIATE FOR STEEP SLOPES WHERE EQUIPMENT CANNOT BE DRIVEN. HAND SEEDING IS ALLOWED FOR SLOPES STEEPER THAN 3:1. SEEDING SHALL BE DONE IN THE FALL. SMALL GRASSES SHOULD BE PLANTED NO MORE THAN 1 INCH DEEP, AND GRASSES AND LEGUMES NO MORE THAN 1/2 INCH. BROADCAST SEED MUST BE COVERED BY RAKING OR CHAIN DRAGGING, AND THEN LIGHTLY FIRMED WITH A ROLLER OR CULTIPACKER. HYDROSEDED MIXTURES SHOULD INCLUDE A WOOD FIBER (CELLULOSE) MULCH.

MULCHING - THE USE OF MULCH WILL HELP ENSURE ESTABLISHMENT UNDER NORMAL CONDITIONS AND IS ESSENTIAL TO SEEDING UNDER HARSH CONDITIONS SUCH AS SEEDING IN FALL OR WINTER COVER (WOOD FIBER MULCHES ARE NOT CONSIDERED ADEQUATE FOR THIS USE). SLOPES STEEPER THAN 3:1, EXCESSIVELY HOT OR DRY WEATHER, ADVERSE SOILS (SHALLOW, ROCKY, HIGH IN CLAY OR SAND), AND AREAS RECEIVING CONCENTRATED FLOW. IF AREA TO BE MULCHED IS SUBJECT TO CONCENTRATED WATERFLOW, AS IN CHANNELS, ANCHOR MULCH WITH NETTING.

MAINTENANCE - RESEED, RESEED AND MULCH AREAS OF INSUFFICIENT GROWTH. RESEED, REFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.


SEE LANDSCAPING PLAN OF THE PROJECT SPECIFICATIONS FOR PERMANENT SEEDING REQUIREMENTS



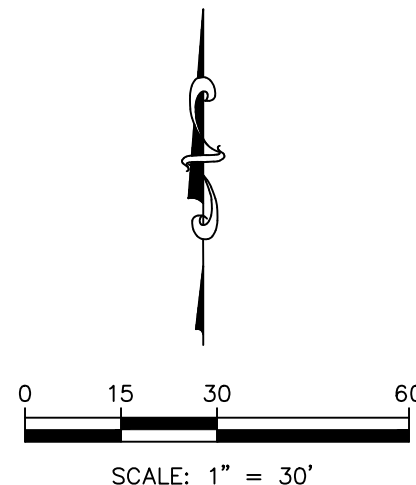
KYLE G. KIPPES
ENGINEER
KS # 20913

KAW VALLEY ENGINEERING































14700 WEST 114TH TERRACE
LENEKA, KANSAS 66215
PH: (913) 894-5750
www.kveeng.com



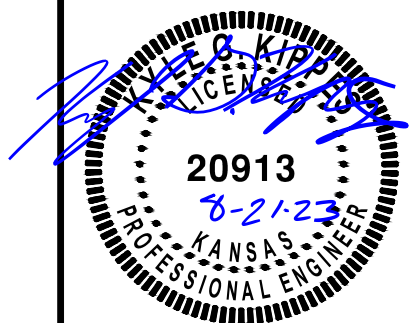
KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY KANSAS STATE CERTIFICATE OF AUTHORIZATION # E-113.



LEGEND

	CONTROL POINT
	SECTION CORNER FOUND ORIGIN UNNOTED UNLESS OTHERWISE NOTED
	MONUMENT FOUND ORIGIN UNNOTED UNLESS OTHERWISE NOTED
	BENCHMARK
	STREET/TRAFFIC SIGN
	SANITARY SEWER MANHOLE
	STORM SEWER MANHOLE
	SANITARY SEWER LINE
	PVC POLYVINYL CHLORIDE PIPE
	HDPPE HIGH DENSITY POLYETHYLENE
	RCP REINFORCED CONCRETE PIPE
	TELEPHONE PEDESTAL
	OVERHEAD POWER LINE
	UNDERGROUND TELEPHONE
	ELECTRIC BOX
	UNDERGROUND GAS
	WATER LINE
	WATER LINE GATE VALVE
	FIRE HYDRANT
	EXISTING GRADE 5' CONTOUR
	EXISTING GRADE 1' CONTOUR
	BACK TO BACK OF CURB MEASUREMENT
	EDGE TO EDGE OF ASPHALT
	TREE LINE
	CONC CONCRETE
	(C) CALCULATED VALUE
	(D) DEED VALUE
	(M) MEASURED VALUE
	(S1) SURVEY REFERENCE NUMBER
	(D1) DEED REFERENCE NUMBER

- UTILITY NOTES:**
1. CONSTRUCTION SHALL NOT START ON ANY PUBLIC WATER OR SANITARY SEWER SYSTEM UNTIL WRITTEN APPROVAL OR PERMITS HAVE BEEN RECEIVED FROM THE ENGINEER.
 2. ALL UTILITY AND STORM SEWER TRENCHES CONSTRUCTED UNDER AREAS THAT RECEIVE PAYING SHALL BE BACKFILLED TO 18 INCHES ABOVE THE TOP OF THE PIPE WITH SELECT GRANULAR MATERIAL PLACED ON EIGHT-INCH LIFTS, AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 3. CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP ANY WATER MAIN BELONGING TO THE LAN-DEL WATER UNLESS FULLY AUTHORIZED TO DO SO BY LAN-DEL WATER. ANY ADVERSE CONSEQUENCE OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE LIABILITY OF THE CONTRACTOR. **KAW VALLEY ENGINEERING AND OWNER ARE TO BE HELD HARMLESS.**
 4. DISINFESTATION AND PRESSURE TESTING OF WATER LINES SHALL BE PERFORMED AND PAID FOR BY THE CONTRACTOR UNDER SUPERVISION OF A REPRESENTATIVE OF THE LAN-DEL WATER. CONTRACTOR SHALL NOTIFY THE LAN-DEL WATER 24 HOURS MINIMUM, PRIOR TO ANY TESTING.
 5. ALL WATER AND SANITARY SEWER SYSTEMS THAT ARE TO BE PUBLIC LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS PREVIOUSLY APPROVED BY THE CITY OF LANSING, OR LAN-DEL WATER AND THE KANSAS DEPARTMENT OF HEALTH AND ENVIRONMENT AND SHALL BE INSPECTED BY THE CITY OR LAN-DEL WATER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT THIS INSPECTION OCCURS.
 6. LOCATIONS SHOWN FOR PROPOSED WATER LINES ARE APPROXIMATE. VARIATIONS MAY BE MADE, WITH APPROVAL OF THE ENGINEER, TO AVOID CONFLICTS.
 7. CONTRACTOR TO INSTALL TRACING TAPE ALONG ALL NON-METALLIC WATER MAINS AND SERVICE LINES PER SPECIFICATIONS.
 8. CONTRACTOR **SHALL EXPOSE** EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICT AND POINTS OF CONNECTION PRIOR TO ANY CONSTRUCTION OF NEW UTILITIES.
 9. WATER LINES SHALL HAVE A MINIMUM COVER OF 42 INCHES. ALL VALVES ON MAINS AND FIRE HYDRANT LEAD SHALL BE WITH VALVE BOX ASSEMBLIES. THE SIZE OF VALVE BOX ASSEMBLY TO BE INSTALLED IS DETERMINED BY THE TYPE AND SIZE OF VALVE. VALVE BOX CAPS SHALL HAVE THE WORD "WATER".
 10. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHALL BE MAINTAINED BETWEEN PARALLEL WATER AND SANITARY SEWER LINES. WHEN IT IS NECESSARY FOR ANY WATER LINE TO CROSS A SANITARY SEWER LINE, THE SEWER LINE SHALL BE ENCASED IN CONCRETE OR CONSTRUCTED OF DUCTILE IRON PIPE OR PVC PIPE WITH NO JOINTS WITHIN 10 FEET OF THE CROSSING UNLESS THE WATER LINE IS AT LEAST 2 FEET CLEAR DISTANCE ABOVE THE SANITARY SEWER LINE.
 11. STORM SEWER AND STORM WATER DETENTION SHALL BE PRIVATELY OWNED AND MAINTAINED, MUST BE CONSTRUCTED IN ACCORDANCE WITH LANSING TECHNICAL SPECIFICATIONS AND DESIGN CRITERIA AND IS SUBJECT TO CITY INSPECTION DURING CONSTRUCTION. THIS PRIVATE STORM SYSTEM IS SUBJECT TO CITY INSPECTION THROUGHOUT ITS LIFE AND SHALL BE REPAIRED, CLEANED AND MAINTAINED BY OWNER AND AS DIRECTED BY THE CITY OF LANSING TO CORRECT ANY PROBLEMS THAT MAY IMPACT PROPERTIES OFFSITE AND/OR STORM WATER QUALITY.



KYLE G. KIPPES
ENGINEER
KS # 20913

14700 WEST 114TH TERRACE
LENEXA, KANSAS 66215
PH. (913) 894-5150
l@kveeng.com | www.kveeng.com

KAW VALLEY ENGINEERING

KAW VALLEY ENGINEERING, INC., IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY KANSAS STATE CERTIFICATE OF AUTHORIZATION # E-113, EXPIRES 12/31/24

SITE PLANS

PROJ. NO.		C23-1644	
DESIGNER		DRAWN BY	
K GK		HAS/JQN	
CFN			
1644UP			
SHEET		REV	
C500			

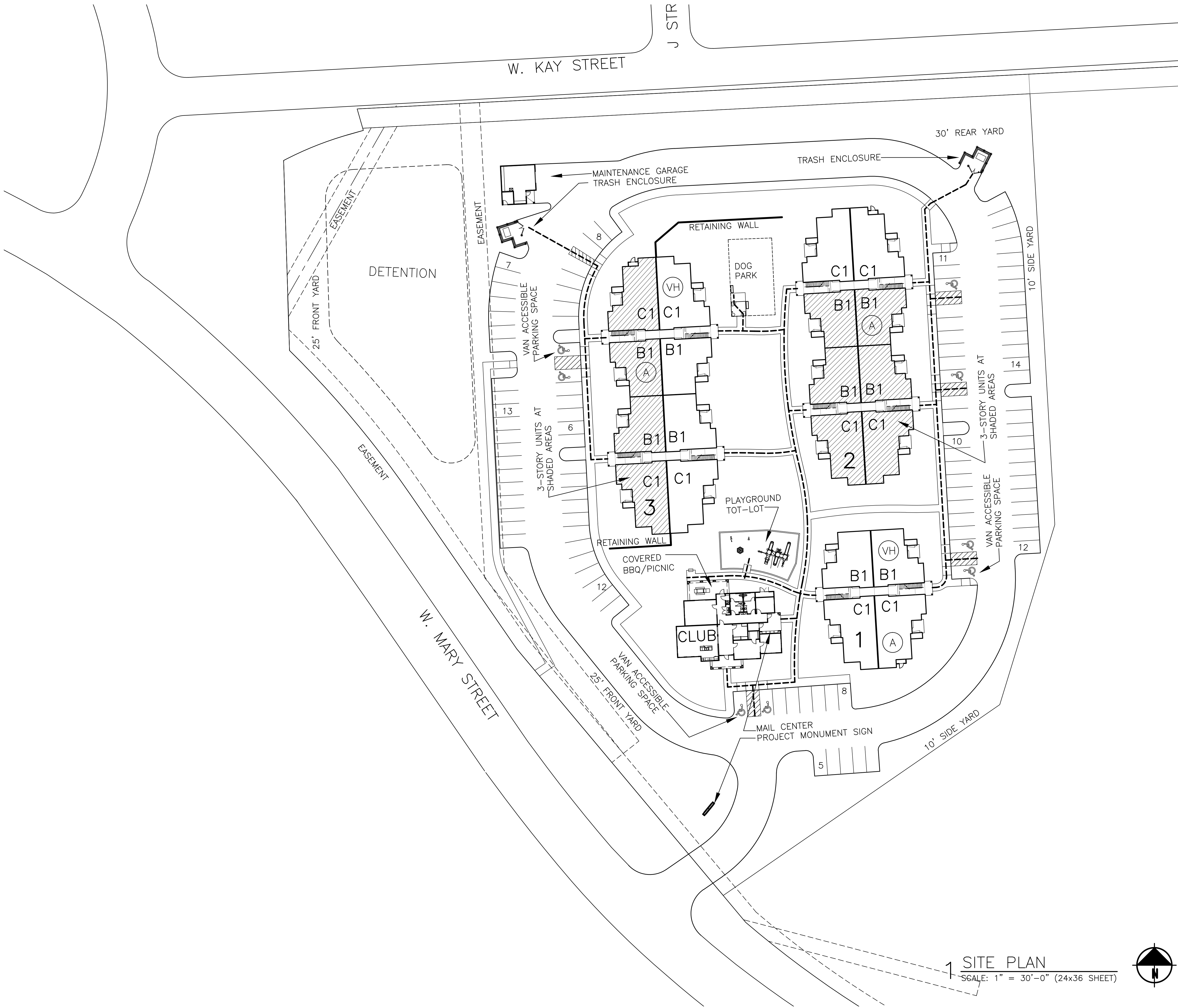


Know what's below.
Call before you dig.

NOTE:

1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE, SLOPED PAVING, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXIST BUILDING UTILITY ENTRANCE LOCATIONS.

2. THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACTOR DOCUMENTS.



Project Summary

Unit Mark	Description	1st Floor Level	2nd Floor Level	3rd Floor Level	Total By Unit Type	Net SF/Unit
B1	Two Bdrm/Two Bath	6	10	8	24	1,092
B1HC	Two Bdrm/Two Bath	2	0	0	2	1,092
C1	Three Bdrm/Two Bath	7	10	6	23	1,296
C1HC	Three Bdrm/Two Bath	1	0	0	1	1,296
Subtotals:		16	20	14	50	

Unit Mark	Description	Patio or Balcony	Exterior Storage	Gross Unit SF/Unit	Total Net SF
B1	Two Bdrm/Two Bath	73	34	1,199	26,208
B1HC	Two Bdrm/Two Bath	73	34	1,199	2,184
C1	Three Bdrm/Two Bath	73	32	1,401	29,808
C1HC	Three Bdrm/Two Bath	73	32	1,401	1,296
Subtotals:					59,496

	1st Floor	2nd Floor	3rd Floor	Total Gross SF
Unit Gross SF	20,800	26,000	17,998	64,798
Breezeway Area Gross SF	3,161	2,291	994	6,446
Water Service Closet Gross SF	63	0	0	63
Total Gross SF by Level:	24,024	28,291	18,992	71,307

Building Summary

	B1	B1HC	C1	C1HC	Total Units	Net SF	Gross SF
Building #1	4	0	3	1	8	9,496	11,245
Building #2	11	1	10	0	22	25,906	30,969
Building #3	9	1	10	0	20	23,740	28,765
Total	24	2	23	1	50	59,142	70,979

Clubhouse

**Total Net Area (Conditioned)	2,577 S.F.
***Total Gross Area	3,432 S.F.

Maintenance

Total Net Area (Conditioned)	584 S.F.
Total Gross Area	634 S.F.

Parking

Min. Parking Required per Zoning (2 spacs/unit per Zoning.) 100 Min. Spaces Required

Open Parking Provided	98 Spaces
Standard HC Parking Provided (1 at Clubhouse)	5 Spaces
Van Accessible HC Parking Provided (1 at Clubhouse)	3 Spaces
Total Open Parking Provided	106 Total Spaces Provided

- Site Notes:**
- Site Area (+/-) 4.87 Acres Densite 10.27 Units per Acre
- R4 Zoning Standards: 25' front yard, 10' side yard, 30' rear yard, 45' max. building height.
- Site Amenities include: Playground, tot-lot, dog park, covered BBQ/picnic area and monument sign.
- Club Amenities: Clubroom, kitchenette, computer center, service coordinators office, and fitness center.
- All sidewalks shown will meet the minimum accessibility requirements at locations shown.
 - Picnic tables and BBQ equipment shall be ADA compliant
 - Tot-Lot and playscape equipment shall be ADA compliant
 - Tot-Lot and playscape area shall be connected to an accessible route with ADA compliant ground cover. Engineered wood fiber playground mulch or approved equal

SITE LEGEND

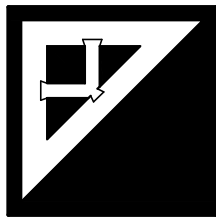
- ACCESSIBLE PARKING COMPLYING WITH UFAS AND ANSI ACCESSIBILITY STANDARDS FOR STANDARD AND VAN ACCESSIBILITY
- ACCESSIBLE UNIT COMPLYING WITH UFAS, ACCESSIBILITY STANDARDS TYPICAL OF 3 TOTAL UNITS (5% MINIMUM). ALL OTHER UNITS ACCESSIBLE BY GRADE LEVEL SHALL COMPLY WITH THE STANDARDS OF THE FAIR HOUSING DESIGN MANUAL.
- UNITS FOR HEARING AND VISUAL IMPAIRMENTS AT NOTED LOCATIONS COMPLYING WITH UFAS STANDARDS. 2-TOTAL UNIT (2% MINIMUM).
- LOCATION OF ACCESSIBLE ROUTE (MINIMUM) CONNECTING ALL GRADE LEVEL UNITS TO ALL SITE AMENITIES WITH ACCESSIBLE ROUTE MEETING UFAS, AND FAIR HOUSING DESIGN MANUAL STANDARDS.

1 SITE PLAN
SCALE: 1" = 30'-0" (24x36 SHEET)



Covington Woods II

A 50-Unit Family Community in
Lansing, Kansas



Bryan Hulst - ARCHITECT OF RECORD
Kansas LICENSE # 5503
Parker Associates
2202 East 49th Street South,
Suite 200
Tulsa, OK 74105
(918)-742-2485

Covington
Woods
Apartments II, LP

1329 E. Lark Street
Springfield, MO. 65804
417-883-1632




NOT FOR

THIS DOCUMENT IS
PRELIMINARY
IN NATURE AND IS
NOT A FINAL, SIGNED AND
SEALED DOCUMENT.

CONSTRUCTION

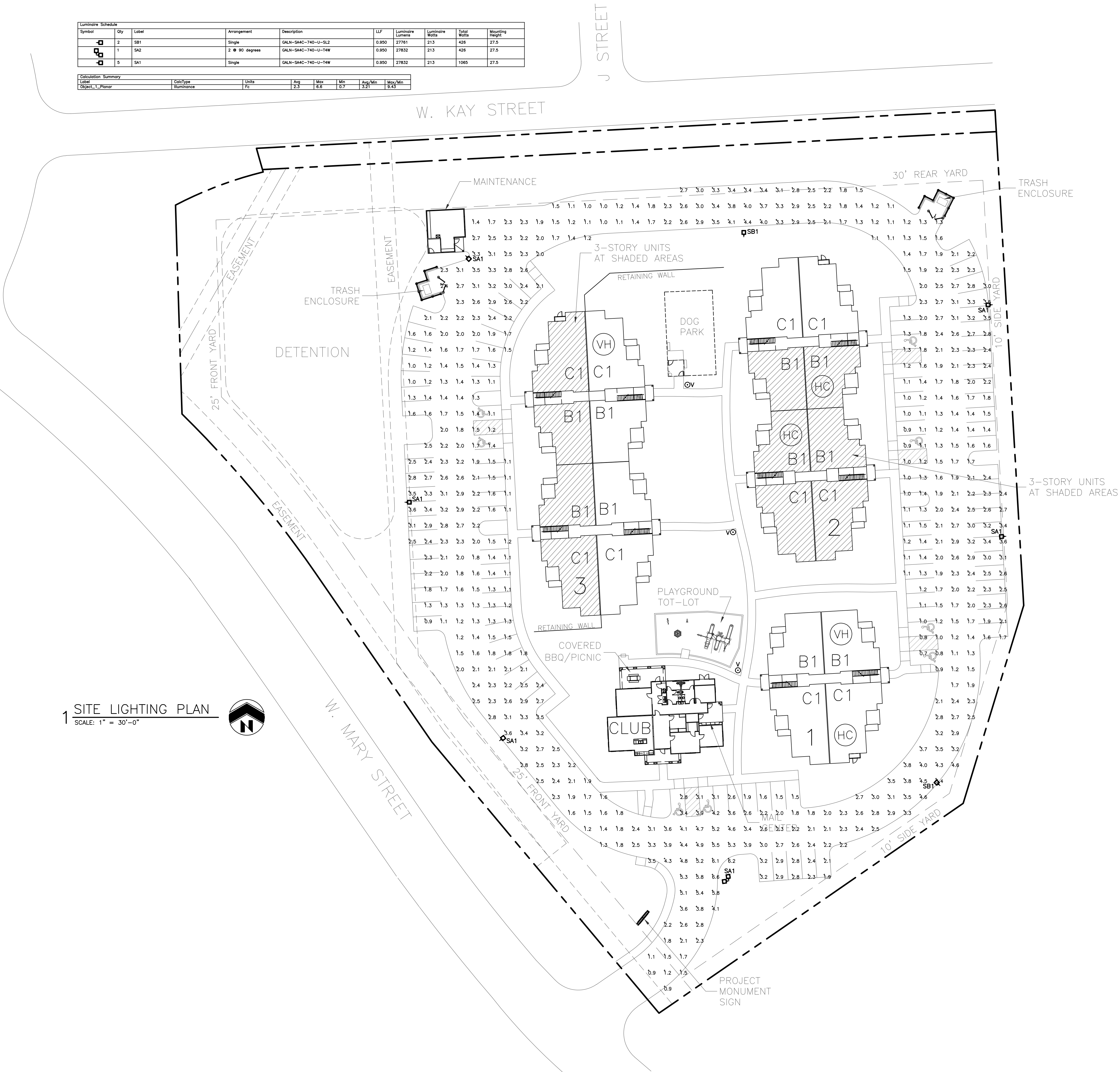
JOB NUMBER: 223015
DRAWN BY: BH, TA
DATE: 8/21/2023

SHEET
NUMBER S1 OF 1

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Description	LF	Luminaire Lumens	Luminaire Watts	Total Watts	Mounting Height
	2	SB1	Single	GALN-SMAC-740-U-BL2	0.950	27761	213	426	27.5
	1	SA2	2 @ 90 degrees	GALN-SMAC-740-U-T4W	0.950	27832	213	426	27.5
	5	SA1	Single	GALN-SMAC-740-U-T4W	0.950	27832	213	1065	27.5

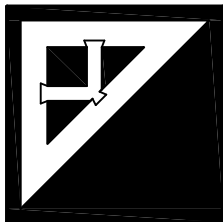
Calculation Summary							
Label	Calc Type	Units	Avg	Max	Min	Avg/Min	Max/Min
Object: L_Planor	Illuminance	FC	2.3	6.6	0.7	3.21	9.43

1 SITE LIGHTING PLAN
SCALE: 1" = 30'-0"



Covington Woods II

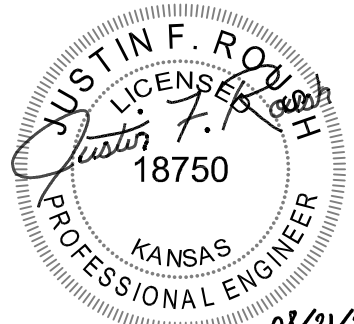
A 50-Unit Family Community in
Lansing, Kansas



Bryan Hulet — ARCHITECT OF RECORD
Kansas LICENSE # 5503
Parker Associates
2202 East 48th Street South,
Suite 200
Tulsa, OK 74116
(918)-742-2485

Covington
Woods
Apartments II, LP

1329 E. Lark Street
Springfield, MO. 65804
417-883-1632



EDA + FKI
ENGINEERS

EDA + FKI Engineers PC
10810 E. 45th Street — Suite 201
Tulsa, OK 74146
p: 918.258.6890 f: 918.515.4338

JOB NUMBER: 223015
DRAWN BY: RG/JR/RL/DM/OB/SN
DATE: 08/21/23

SHEET
NUMBER **SL1** OF 2

Pole top luminaires with widespread distribution

Housing/Fitter: Lower alo filter is made from a single die-cast aluminum part which includes four support arms and the lower diffuser frame. The fixture also fits a 3" O.D. pole top or anon and is secured by four stainless steel set screws. The top portion of the lamp housing is made from heavy gauge spun aluminum. Relamping is achieved by removing a single threaded fastener at the top of the fixture. Die castings are marine grade, copper free (a 0.3% copper content) 6063-T5 aluminum alloy.

End-use: 16.0W LED luminaires, 19 total system watts, <30°C start temperature, integral 120V through 277V electronic LED driver, 0-10V dimming, Standard LED color temperature is 4000K with a >80 CRI. Available in 3000K (>80 CRI) and 5000K (>90 CRI) to order.

Note: Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

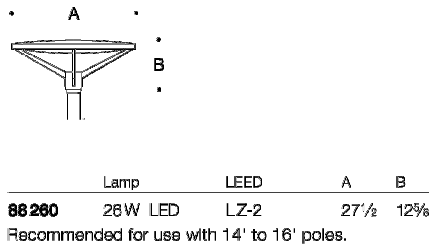
Finish: All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BLK), White (WH), Bronze (BRZ), Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

UL listed for US and Canadian Standards, suitable for wet locations. Protection class: IP65.

Weight: 25.5 lbs.

EPA (Effective projection area): 1.0 sq. ft.

Luminaire Lumens: 1890



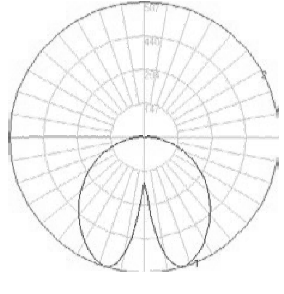
BEGA-US 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 FAX (805) 568-9474 www.bega-us.com
Copyright BEGA-US 2019 Updated 07/19

BEGA

Photometric Filename: 86260K4.ies

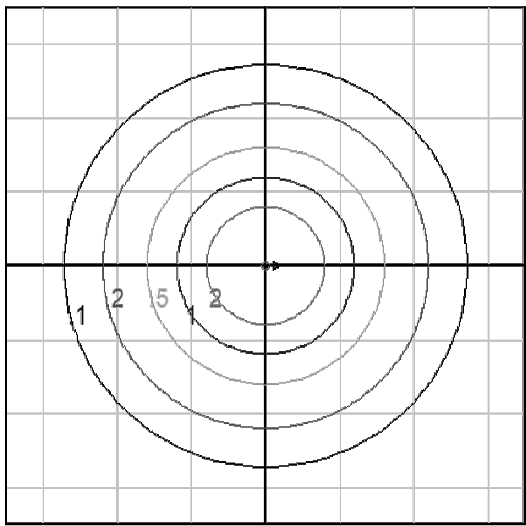
TEST: BE 86260K4
TEST LAB: BEGA
DATE: 6/26/2015
LUMINAIRE: 86 260
LAMP: 16W LED

Type: V
Project: 88 260 K2
BEGA Product:
Voltage:
Color:
Options:
Modified:



Characteristics

IES Classification	Type V
Longitudinal Classification	Very Short
Lumens Per Lamp	N.A. (absolute)
Total Lamp Lumens	N.A. (absolute)
Luminaire Lumens	1890
Downward Total Efficiency	N.A.
Total Luminaire Efficiency	N.A.
Luminaire Efficacy Rating (LER)	95
Total Luminaire Watts	19
Ballast Factor	1.00
Upward Waste Light Ratio	0.01
Max. Cd. (<90 Vert.)	587.2 (0H, 17.5V)
Max. Cd. (<90 Vert.)	587.2 (0H, 17.5V)
Max. Cd. (At 90 Deg. Vert.)	29.9 (1.7% Lum)
Max. Cd. (At 90 Deg. Vert.)	95.2 (5.3% Lum)
Cutoff Classification (deprecated)	N.A. (absolute)



Mounting Height = 12 ft. Grid Spacing = 10 ft.

In the interest of product improvement, BEGA reserves the right to make technical changes without notice.

BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 Fax (805) 568-9474 www.bega-us.com © Copyright BEGA-US 2019

5/2/2019

Project	Catalog #	GAIN-SA4C-740-U-T4W, GAIN-SA4C-740-U-S42, GAIN-SA4C-740-U-T4W	Type	SA1, SB1, SA2,
Prepared by	Notes		Date	



McGraw-Edison

GALN Galleon II

Area / Site Luminaire

Typical Applications

Outdoor • Parking Lots • Walkways • Roadways • Building Areas

Product Certifications



Resources



Connected Systems

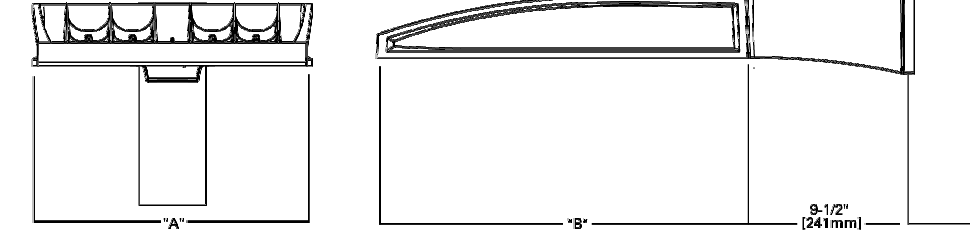
- WaveLink Lite
- WaveLink

Quick Facts

- Lumen packages range from 3,300 - 73,500 (33W - 552W)
- 16 optical distributions
- Efficacy up to 159 lumens per watt

Dimensional Details

Standard Arm



Number of Light Sources	Width "W"	Height Length "H"	Weight with Standard or QH Arm	Wt with Standard or QH Arm
1-4	16"	22"	29 lb	0.95
5-6	22"	22"	39 lb	0.95
7-8	22"	28-1/8"	48 lb	1.1

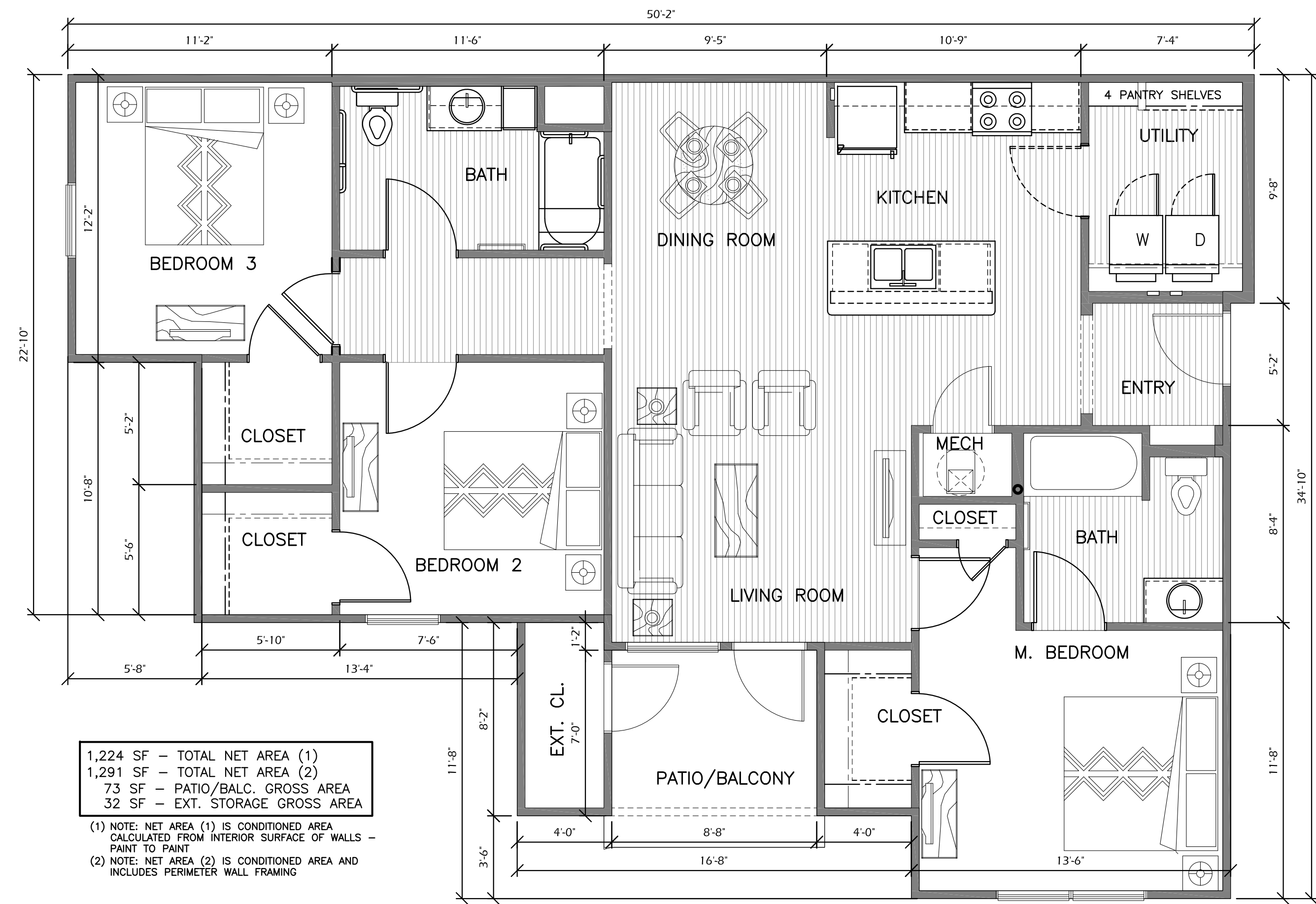
NOTE: The arm selection requirements and additional details are in the Mounting Details section.

McGraw-Edison GALN Galleon II

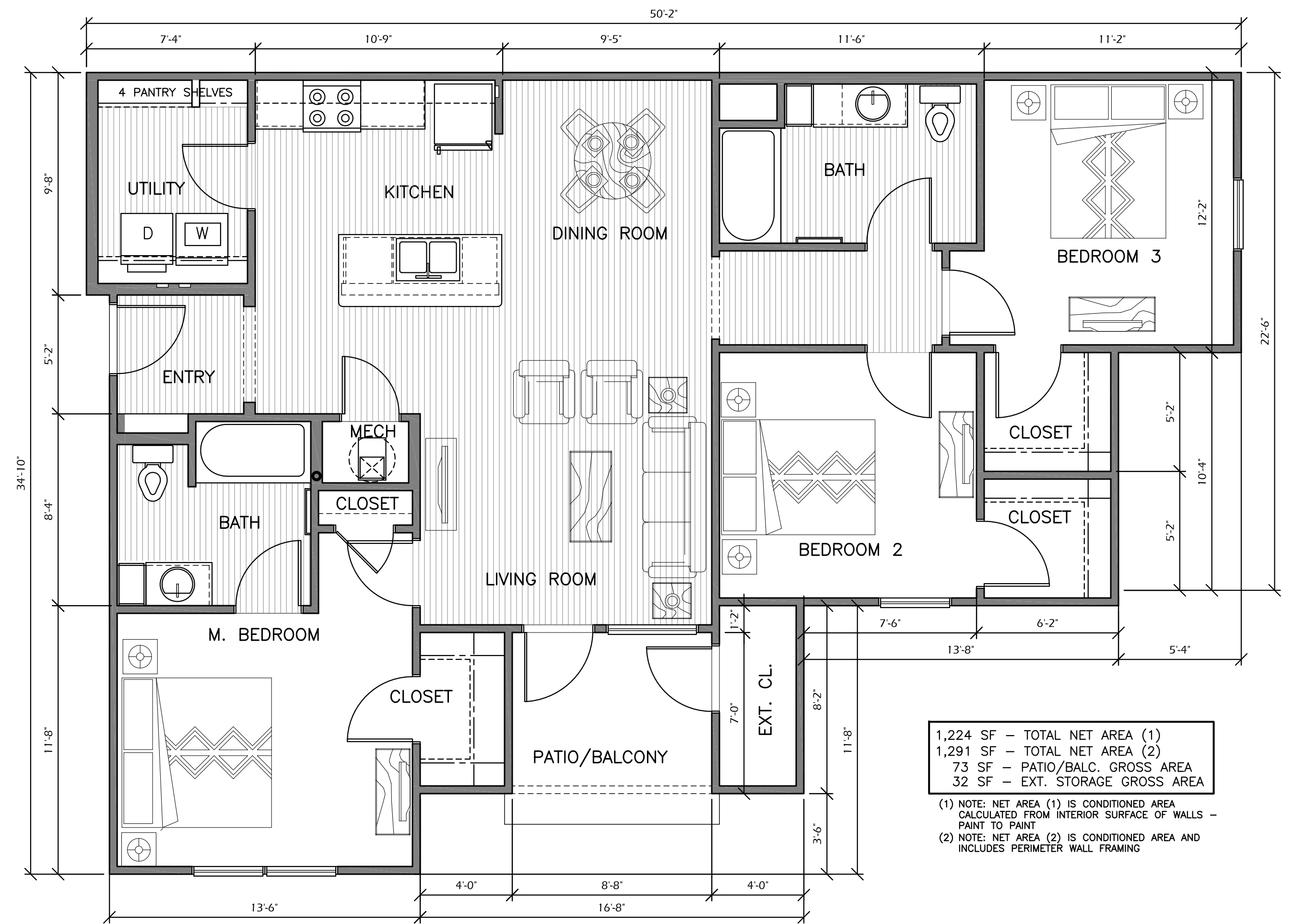
Ordering Information
SAMPLE NUMBER: GALN-SA4C-740-U-T4FT-GM

Product Family	Configuration	Light Output	Color Temperature	Voltage	Mounting	Accessories
GALN-Galleon II	SA1-Square SA2-Square SA3-Square SA4-Square SA5-Square SA6-Square SA7-Square SA8-Square SA9-Square	8-150/275 8-150/275 8-150/275 8-150/275 8-150/275 8-150/275 8-150/275 8-150/275 8-150/275	3000K 3000K 3000K 3000K 3000K 3000K 3000K 3000K 3000K	120V 120V 120V 120V 120V 120V 120V 120V 120V	120V Type I 120V Type I 120V Type I 120V Type I 120V Type I 120V Type I 120V Type I 120V Type I 120V Type I	Black-Standard Pole Mount Arm Black-Standard Pole Mount Arm with Galleon Black-Standard Pole Mount Arm with Galleon Black-Standard Pole Mount Arm with Galleon Black-Standard Pole Mount Arm with Galleon Black-Standard Pole Mount Arm with Galleon Black-Standard Pole Mount Arm with Galleon Black-Standard Pole Mount Arm with Galleon Black-Standard Pole Mount Arm with Galleon

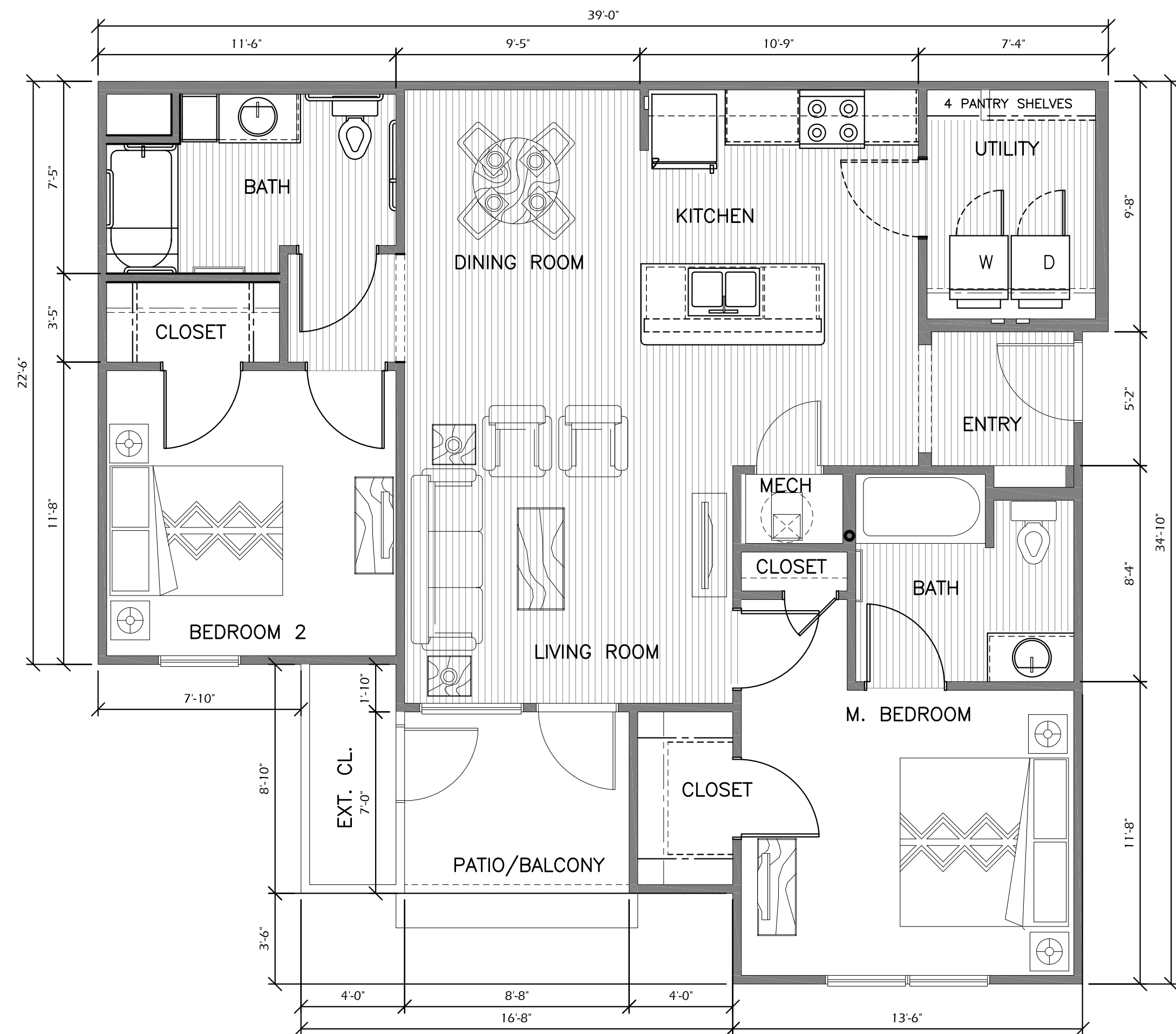
Options (Add as Suffix)			Options and Systems (Add as Suffix)			Accessories (Add as Suffix)		
000-Standard 5-10V Dimming Leads			000-Standard 5-10V Dimming Leads			000-Standard 5-10V Dimming Leads		
001-Standard 5-10V Dimming Leads			001-Standard 5-10V Dimming Leads			001-Standard 5-10V Dimming Leads		
002-Standard 5-10V Dimming Leads			002-Standard 5-10V Dimming Leads			002-Standard 5-10V Dimming Leads		
003-Standard 5-10V Dimming Leads			003-Standard 5-10V Dimming Leads			003-Standard 5-10V Dimming Leads		
004-Standard 5-10V Dimming Leads			004-Standard 5-10V Dimming Leads			004-Standard 5-10V Dimming Leads		
005-Standard 5-10V Dimming Leads			005-Standard 5-10V Dimming Leads			005-Standard 5-10V Dimming Leads		
006-Standard 5-10V Dimming Leads			006-Standard 5-10V Dimming Leads			006-Standard 5-10V Dimming Leads		
007-Standard 5-10V Dimming Leads			007-Standard 5-10V Dimming Leads			007-Standard 5-10V Dimming Leads		
008-Standard 5-10V Dimming Leads			008-Standard 5-10V Dimming Leads			008-Standard 5-10V Dimming Leads		
009-Standard 5-10V Dimming Leads			009-Standard 5-10V Dimming Leads			009-Standard 5-10V Dimming Leads		
010-Standard 5-10V Dimming Leads			010-Standard 5-10V Dimming Leads			010-Standard 5-10V Dimming Leads		
011-Standard 5-10V Dimming Leads			011-Standard 5-10V Dimming Leads			011-Standard 5-10V Dimming Leads		
012-Standard 5-10V Dimming Leads			012-Standard 5-10V Dimming Leads			012-Standard 5-10V Dimming Leads		
013-Standard 5-10V Dimming Leads			013-Standard 5-10V Dimming Leads			013-Standard 5-10V Dimming Leads		
014-Standard 5-10V Dimming Leads			014-Standard 5-10V Dimming Leads			014-Standard 5-10V Dimming Leads		
015-Standard 5-10V Dimming Leads			015-Standard 5-10V Dimming Leads			015-Standard 5-10V Dimming Leads		
016-Standard 5-10V Dimming Leads			016-Standard 5-10V Dimming Leads			016-Standard 5-10V Dimming Leads		
017-Standard 5-10V Dimming Leads			017-Standard 5-10V Dimming Leads			017-Standard 5-10V Dimming Leads		
018-Standard 5-10V Dimming Leads			018-Standard 5-10V Dimming Leads			018-Standard 5-10V Dimming Leads		
019-Standard 5-10V Dimming Leads			019-Standard 5-10V Dimming Leads			019-Standard 5-10V Dimming Leads		
020-Standard 5-10V Dimming Leads			020-Standard 5-10V Dimming Leads			020-Standard 5-10V Dimming Leads		
021-Standard 5-10V Dimming Leads			021-Standard 5-10V Dimming Leads			021-Standard 5-10V Dimming Leads		
022-Standard 5-10V Dimming Leads			022-Standard 5-10V Dimming Leads			022-Standard 5-10V Dimming Leads		
023-Standard 5-10V Dimming Leads			023-Standard 5-10V Dimming Leads			023-Standard 5-10V Dimming Leads		
024-Standard 5-10V Dimming Leads			024-Standard 5-10V Dimming Leads			024-Standard 5-10V Dimming Leads		
025-Standard 5-10V Dimming Leads			025-Standard 5-10V Dimming Leads			025-Standard 5-10V Dimming Leads		
026-Standard 5-10V Dimming Leads			026-Standard 5-10V Dimming Leads			026-Standard 5-10V Dimming Leads		
027-Standard 5-10V Dimming Leads			027-Standard 5-10V Dimming Leads			027-Standard 5-10V Dimming Leads		
028-Standard 5-10V Dimming Leads			028-Standard 5-10V Dimming Leads			028-Standard 5-10V Dimming Leads		
029-Standard 5-10V Dimming Leads			029-Standard 5-10V Dimming Leads			029-Standard 5-10V Dimming Leads		
030-Standard 5-10V Dimming Leads			030-Standard 5-10V Dimming Leads			030-Standard 5-10V Dimming Leads		
031-Standard 5-10V Dimming Leads			031-Standard 5-10V Dimming Leads			031-Standard 5-10V Dimming Leads		
032-Standard 5-10V Dimming Leads			032-Standard 5-10V Dimming Leads			032-Standard 5-10V Dimming Leads		
033-Standard 5-10V Dimming Leads			033-Standard 5-10V Dimming Leads			033-Standard 5-10V Dimming Leads		
034-Standard 5-10V Dimming Leads			034-Standard 5-10V Dimming Leads			034-Standard 5-10V Dimming Leads		
035-Standard 5-10V Dimming Leads			035-Standard 5-10V Dimming Leads			035-Standard 5-10V Dimming Leads		
036-Standard 5-10V Dimming Leads			036-Standard 5-10V Dimming Leads			036-Standard 5-10V Dimming Leads		
037-Standard 5-10V Dimming Leads			037-Standard 5-10V Dimming Leads			037-Standard 5-10V Dimming Leads		
038-Standard 5-10V Dimming Leads			038-Standard 5-10V Dimming Leads			038-Standard 5-10V Dimming Leads		
039-Standard 5-10V Dimming Leads			039-Standard 5-10V Dimming Leads			039-Standard 5-10V Dimming Leads		
040-Standard 5-10V Dimming Leads			040-Standard 5-10V Dimming Leads			040-Standard 5-10V Dimming Leads		
041-Standard 5-10V Dimming Leads			041-Standard 5-10V Dimming Leads			041-Standard 5-10V Dimming Leads		
042-Standard 5-10V Dimming Leads			042-Standard 5-10V Dimming Leads			042-Standard 5-10V Dimming Leads		
043-Standard 5-10V Dimming Leads			043-Standard 5-10V Dimming Leads			043-Standard 5-10V Dimming Leads		
044-Standard 5-10V Dimming Leads			044-Standard 5-10V Dimming Leads			044-Standard 5-10V Dimming Leads		
045-Standard 5-10V Dimming Leads			045-Standard 5-10V Dimming Leads			045-Standard 5-10V Dimming Leads		
046-Standard 5-10V Dimming Leads			046-Standard 5-10V Dimming Leads			046-Standard 5-10V Dimming Leads		
047-Standard 5-10V Dimming Leads			047-Standard 5-10V Dimming Leads			047-Standard 5-10V Dimming Leads		
048-Standard 5-10V Dimming Leads			048-Standard 5-10V Dimming Leads			048-Standard 5-10V Dimming Leads		
049-Standard 5-10V Dimming Leads			049-Standard 5-10V Dimming Leads			049-Standard 5-10V Dimming Leads		
050-Standard 5-10V Dimming Leads			050-Standard 5-10V Dimming Leads			050-Standard 5-10V Dimming Leads		
051-Standard 5-10V Dimming Leads			051-Standard 5-10V Dimming Leads			051-Standard 5-10V Dimming Leads		
052-Standard 5-10V Dimming Leads			052-Standard 5-10V Dimming Leads			052-Standard 5-10V Dimming Leads		
053-Standard 5-10V Dimming Leads			053-Standard 5-10V Dimming Leads			053-Standard 5-10V Dimming Leads		
054-Standard 5-10V Dimming Leads			054-Standard 5-10V Dimming Leads			054-Standard 5-10V Dimming Leads		
055-Standard 5-10V Dimming Leads			055-Standard 5-10V Dimming Leads			055-Standard 5-10V Dimming Leads		
056-Standard 5-10V Dimming Leads			056-Standard 5-10V Dimming Leads			056-Standard 5-10V Dimming Leads		
057-Standard 5-10V Dimming Leads			057-Standard 5-10V Dimming Leads			057-Standard 5-10V Dimming Leads		
058-Standard 5-10V Dimming Leads			058-Standard 5-10V Dimming Leads			058-Standard 5-10V Dimming Leads		
059-Standard 5-10V Dimming Leads			059-Standard 5-10V Dimming Leads			059-Standard 5-10V Dimming Leads		
060-Standard 5-10V Dimming Leads			060-Standard 5-10V Dimming Leads			060-Standard 5-10V Dimming Leads		
061-Standard 5-10V Dimming Leads			061-Standard 5-10V Dimming Leads			061-Standard 5-10V Dimming Leads		
062-Standard 5-10V Dimming Leads			062-Standard 5-10V Dimming Leads			062-Standard 5-10V Dimming Leads		
063-Standard 5-10V Dimming Leads			063-Standard 5-10V Dimming Leads			063-Standard 5-10V Dimming Leads		
064-Standard 5-10V Dimming Leads			064-Standard 5-10V Dimming Leads			064-Standard 5-10V Dimming Leads		
065-Standard 5-10V Dimming Leads			065-Standard 5-10V Dimming Leads			065-Standard 5-10V Dimming Leads		
066-Standard 5-10V Dimming Leads			066-Standard 5-10V Dimming Leads			066-Standard 5-10V Dimming Leads		
067-Standard 5-10V Dimming Leads			067-Standard 5-10V Dimming Leads			067-Standard 5-10V Dimming Leads		
068-Standard 5-10V Dimming Leads			068-Standard 5-10V Dimming Leads			068-Standard 5-10V Dimming Leads		
069-Standard 5-10V Dimming Leads			069-Standard 5-10V Dimming Leads			069-Standard 5-10V Dimming Leads		
070-Standard 5-10V Dimming Leads			070-Standard 5-10V Dimming Leads			070-Standard 5-10V Dimming Leads		
071-Standard 5-10V Dimming Leads			071-Standard 5-10V Dimming Leads			071-Standard 5-10V Dimming Leads		
072-Standard 5-10V Dimming Leads			072-Standard 5-10V Dimming Leads			072-Standard 5-10V Dimming Leads		
073-Standard 5-10V Dimming Leads			073-Standard 5-10V Dimming Leads			073-Standard 5-10V Dimming Leads		
074-Standard 5-10V Dimming Leads			074-Standard 5-10V Dimming Leads			074-Standard 5-10V Dimming Leads		
075-Standard 5-10V Dimming Leads			075-Standard 5-10V Dimming Leads			075-Standard 5-10V Dimming Leads		
076-Standard 5-10V Dimming Leads			076-Standard 5-10V Dimming Leads			076-Standard 5-10V Dimming Leads		
077-Standard 5-10V Dimming Leads			077-Standard 5-10V Dimming Leads			077-Standard 5-10V Dimming Leads		
078-Standard 5-10V Dimming Leads			078-Standard 5-10V Dimming Leads			078-Standard 5-10V Dimming Leads		
079-Standard 5-10V Dimming Leads			079-Standard 5-10V Dimming Leads			079-Standard 5-10V Dimming Leads		
080-Standard 5-10V Dimming Leads			080-Standard 5-10V Dimming Leads			080-Standard 5-10V Dimming Leads		
081-Standard 5-10V Dimming Leads			081-Standard 5-10V Dimming Leads			081-Standard 5-10V Dimming Leads		
082-Standard 5-10V Dimming Leads			082-Standard 5-10V Dimming Leads			082-Standard 5-10V Dimming Leads		
083-Standard 5-10V Dimming Leads			083-Standard 5-10V Dimming Leads			083-Standard 5-10V Dimming Leads		
084-Standard 5-10V Dimming Leads			084-Standard 5-10V Dimming Leads			084-Standard 5-10V Dimming Leads		
085-Standard 5-10V Dimming Leads			085-Standard 5-10V Dimming Leads			085-Standard 5-10V Dimming Leads		
086-Standard 5-10V Dimming Leads			086-Standard 5-10V Dimming Leads			086-Standard 5-10V Dimming Leads		
087-Standard 5-10V Dimming Leads			087-Standard 5-10V Dimming Leads			087-Standard 5-10V Dimming Leads		
088-Standard 5-10V Dimming Leads			088-Standard 5-10V Dimming Leads			088-Standard 5-10V Dimming Leads		
089-Standard 5-10V Dimming Leads			089-Standard 5-10V Dimming Leads			089-Standard 5-10V Dimming Leads		
090-Standard 5-10V Dimming Leads			090-Standard 5-10V Dimming Leads			090-Standard 5-10V Dimming Leads		
091-Standard 5-10V Dimming Leads			091-Standard 5-10V Dimming Leads			091-Standard 5-10V Dimming Leads		
092-Standard 5-10V Dimming Leads			092-Standard 5-10V Dimming Leads			092-Standard 5-10V Dimming Leads		
093-Standard 5-10V Dimming Leads			093-Standard 5-10V Dimming Leads			093-Standard 5-10V Dimming Leads		
094-Standard 5-10V Dimming Leads			094-Standard 5-10V Dimming Leads			094-Standard 5-10V Dimming Leads		
095-Standard 5-10V Dimming Leads			095-Standard 5-10V Dimming Leads			095-Standard 5-10V Dimming Leads		
096-Standard 5-10V Dimming Leads			096-Standard 5-10V Dimming Leads			096-Standard 5-10V Dimming Leads		
097-Standard 5-10V Dimming Leads			097-Standard 5-10V Dimming Leads			097-Standard 5-10V Dimming Leads		
098-Standard 5-10V Dimming Leads			098-Standard 5-10V Dimming Leads			098-Standard 5-10V Dimming Leads		
099-Standard 5-10V Dimming Leads			099-Standard 5-10V Dimming Leads			099-Standard 5-10V Dimming Leads		
100-Standard 5-10V Dimming Leads			100-Standard 5-10V Dimming Leads			100-Standard 5-10V Dimming Leads		
101-Standard 5-10V Dimming Leads			101-Standard 5-10V Dimming Leads			101-Standard 5-10V Dimming Leads		
102-Standard 5-10V Dimming Leads			102-Standard 5-10V Dimming Leads			102-Standard 5-10V Dimming Leads		
103-Standard 5-10V Dimming Leads			103-Standard 5-10V Dimming Leads			103-Standard 5-10V Dimming Leads		
104-Standard 5-10V Dimming Leads			104-Standard 5-10V Dimming Leads			104-Standard 5-10V Dimming Leads		
105-Standard 5-10V Dimming Leads			105-Standard 5-10V Dimming Leads			105-Standard 5-10V Dimming Leads		
106-Standard 5-10V Dimming Leads			106-Standard 5-10V Dimming Leads			106-Standard 5-10V Dimming Leads		
107-Standard 5-10V Dimming Leads			107-Standard 5-10V Dimming Leads			107-Standard 5-10V Dimming Leads		
108-Standard 5-10V Dimming Leads			108-Standard 5-10V Dimming Leads			108-Standard 5-10V Dimming Leads		
109-Standard 5-10V Dimming Leads			109-Standard 5-10V Dimming Leads			109-Standard 5-10V Dimming Leads		
110-Standard 5-10V Dimming Leads			110-Standard 5-10V Dimming Leads			110-Standard 5-10V Dimming Leads		
111-Standard 5-10V Dimming Leads			111-Standard 5-10V Dimming Leads			111-Standard 5-10V Dimming Leads		
112-Standard 5-10V Dimming Leads			112-Standard 5-10V Dimming Leads			112-Standard 5-10V Dimming Leads		
113-Standard 5-10V Dimming Leads			113-Standard 5-10V Dimming Leads			113-Standard 5-10V Dimming Leads		
114-Standard 5-10V Dimming Leads			114-Standard 5-10V Dimming Leads			114-Standard 5-10V Dimming Leads		
115-Standard 5-10V Dimming Leads			115-Standard 5-10V Dimming Leads			115-Standard 5-10V Dimming Leads		
116-Standard 5-10V Dimming Leads			116-Standard 5-10V Dimming Leads			116-Standard 5-10V Dimming Leads		
117-Standard 5-10V Dimming Leads			117-Standard 5-10V Dimming Leads			117-Standard 5-10V Dimming Leads		
118-Standard 5-10V Dimming Leads			118-Standard 5-10V Dimming Leads			118-Standard 5-10V Dimming Leads		
119-Standard 5-10V Dimming Leads			119-Standard 5-10V Dimming Leads			119-Standard 5-10V Dimming Leads		
120-Standard 5-10V Dimming Leads			120-Standard 5-10V Dimming Leads			120-Standard 5-10V Dimming Leads		
121-Standard 5-10V Dimming Leads			121-Standard 5-10V Dimming Leads			121-Standard 5-10V Dimming Leads		
122-Standard 5-10V Dimming Leads			122-Standard 5-10V Dimming Leads			122-Standard 5-10V Dimming Leads		
123-Standard 5-10V Dimming Leads			123-Standard 5-10V Dimming Leads			123-Standard 5-10V Dimming Leads		
124-Standard 5-10V Dimming Leads			124-Standard 5-10V Dimming Leads			124-Standard 5-10V Dimming Leads		
125-Standard 5-10V Dimming Leads			125-Standard 5-10V Dimming Leads			125-Standard 5-10V Dimming Leads		
126-Standard 5-10V Dimming Leads			126-Standard 5-10V Dimming Leads			126-Standard 5-10V Dimming Leads		
127-Standard 5-10V Dimming Leads			127-Standard 5-10V Dimming Leads			127-Standard 5-10V Dimming Leads		
128-Standard 5-10V Dimming Leads			128-Standard 5-10V Dimming Leads			128-Standard 5-10V Dimming Leads		
129-Standard 5-10V Dimming Leads			129-Standard 5-10V Dimming Leads			129-Standard 5-10V Dimming Leads		
130-Standard 5-10V Dimming Leads			130-Standard 5-10V Dimming Leads			130-Standard 5-10V Dimming Leads		
131-Standard 5-10V Dimming Leads			131-Standard 5-10V Dimming Leads			131-Standard 5-10V Dimming Leads		
132-Standard 5-10V Dimming Leads			132-Standard 5-10V Dimming Leads			132-Standard 5-10V Dimming Leads		
133-Standard 5-10V Dimming Leads			133-Standard 5-10V Dimming Leads			133-Standard 5-10V Dimming Leads		
134-Standard 5-10V Dimming Leads			134-Standard 5-10V Dimming Leads			134-Standard 5-10V Dimming Leads		
135-Standard 5-10V Dimming Leads			135-Standard 5-10V Dimming Leads			135-Standard 5-10V Dimming Leads		
136-Standard 5-10V Dimming Leads			136-Standard 5-10V Dimming Leads			136-Standard 5-10V Dimming Leads		
137-Standard 5-10V Dimming Leads			137-Standard 5-10V Dimming Leads			137-Standard 5-10V Dimming Leads		
138-Standard 5-10V Dimming Leads			138-Standard 5-10V Dimming Leads			138-Standard 5-10V Dimming Leads		
139-Standard 5-10V Dimming Leads			139-Standard 5-10V Dimming Leads			139-Standard 5-10V Dimming Leads		
140-Standard 5-10V Dimming Leads			140-Standard 5-10V Dimming Leads			140-Standard 5-10V Dimming Leads		
141-Standard 5-10V Dimming Leads			141-Standard 5-10V Dimming Leads			141-Standard 5-10V Dimming Leads		
142-Standard 5-10V Dimming Leads			142-Standard 5-10V Dimming Leads			142-Standard 5-10V Dimming Leads		
143-Standard 5-10V Dimming Leads			143-Standard 5-10V Dimming Leads			143-Standard 5-10V Dimming Leads		
144-Standard 5-10V Dimming Leads			144-Standard 5-10V Dimming Leads			144-Standard 5-10V Dimming Leads		
145-Standard 5-10V Dimming Leads			145-Standard 5-10V Dimming Leads			145-Standard 5-10V Dimming Leads		
146-Standard 5-10V Dimming Leads			146-Standard 5-10V Dimming Leads			146-Standard 5-10V Dimming Leads		
147-Standard 5-10V Dimming Leads			147-Standard 5-10V Dimming Leads			147-Standard 5-10V Dimming Leads		
148-Standard 5-10V Dimming Leads			148-Standard 5-10V Dimming Leads			148-Standard 5-10V Dimming Leads		
149-Standard 5-10V Dimming Leads			149-Standard 5-10V Dimming Leads			149-Standard 5-10V Dimming Leads		
150-Standard 5-10V Dimming Leads			150-Standard 5-10V Dimming Leads			150-Standard 5-10V Dimming Leads		
151-Standard 5-10V Dimming Leads			151-Standard 5-10V Dimming Leads			151-Standard 5-10V Dimming Leads		
152-Standard 5-10V Dimming Leads			152-Standard 5-10V Dimming Leads			152-Standard 5-10V Dimming Leads		
153-Standard 5-10V Dimming Leads			153-Standard 5-10V Dimming Leads			153-Standard 5-10V Dimming Leads		
154-Standard 5-10V Dimming Leads			154-Standard 5-10V Dimming Leads			154-Standard 5-10V Dimming Leads		
155-Standard 5-10V Dimming Leads			155-Standard 5-10V Dimming Leads			155-Standard 5-10V Dimming Leads		
156-Standard 5-10V Dimming Leads			156-Standard 5-10V Dimming Leads			156-Standard 5-10V Dimming Leads		
157-Standard 5-10V Dimming Leads			157-Standard 5-10V Dimming Leads			157-Standard 5-10V Dimming Leads		
158-Standard 5-10V Dimming Leads			158-Standard 5-10V Dimming Leads			158-Standard 5-10V Dimming Leads		
159-Standard 5-10V Dimming Leads			159-Standard 5-10V Dimming Leads			159-Standard 5-10V Dimming Leads		
160-Standard 5-10V Dimming Leads			160-Standard 5-10V Dimming Leads			160-Standard 5-10V Dimming Leads		
161-Standard 5-10V Dimming Leads			161-Standard 5-10V Dimming Leads			161-Standard 5-10V Dimming Leads		
162-Standard 5-10V Dimming Leads			162-Standard 5-10V Dimming Leads			162-Standard 5-10V Dimming Leads		
163-Standard 5-10V Dimming Leads			163-Standard 5-10V Dimming Leads			163-Standard 5-10V Dimming Leads		
164-Standard 5-10V Dimming Leads			164-Standard 5-10V Dimming Leads			164-Standard 5-10V Dimming Leads		
165-Standard 5-10V Dimming Leads			165-Standard 5-10V Dimming Leads			165-Standard 5-10V Dimming Leads		
166-Standard 5-10V Dimming Leads			166-Standard 5-10V Dimming Leads			166-Standard 5-10V Dimming Leads		
167-Standard 5-10V Dimming Leads			167-Standard 5-10V Dimming Leads			167-Standard 5-10V Dimming Leads		
168-Standard 5-10V Dimming Leads			168-Standard 5-10V Dimming Leads			168-Standard 5-10V Dimming Leads		
169-Standard 5-10V Dimming Leads			169-Standard 5-10V Dimming Leads			169-Standard 5-10V Dimming Leads		
170-Standard 5-10V Dimming Leads			170-Standard 5-10V Dimming Leads			170-Standard 5-10V Dimming Leads		
171-Standard 5-10V Dimming Leads			171-Standard 5-10V Dimming Leads			171-Standard 5-10V Dimming Leads		
172-Standard 5-10V Dimming Leads			172-Standard 5-10V Dimming Leads			172-Standard 5-10V Dimming Leads		
173-Standard 5-10V Dimming Leads			173-Standard 5-10V Dimming Leads			173-Standard 5-10V Dimming Leads		
174-Standard 5-10V Dimming Leads			174-Standard 5-10V Dimming Leads			174-Standard 5-10V Dimming Leads		
175-Standard 5-10V Dimming Leads			175-Standard 5-10V Dimming Leads			175-Standard 5-10V Dimming Leads		
176-Standard								



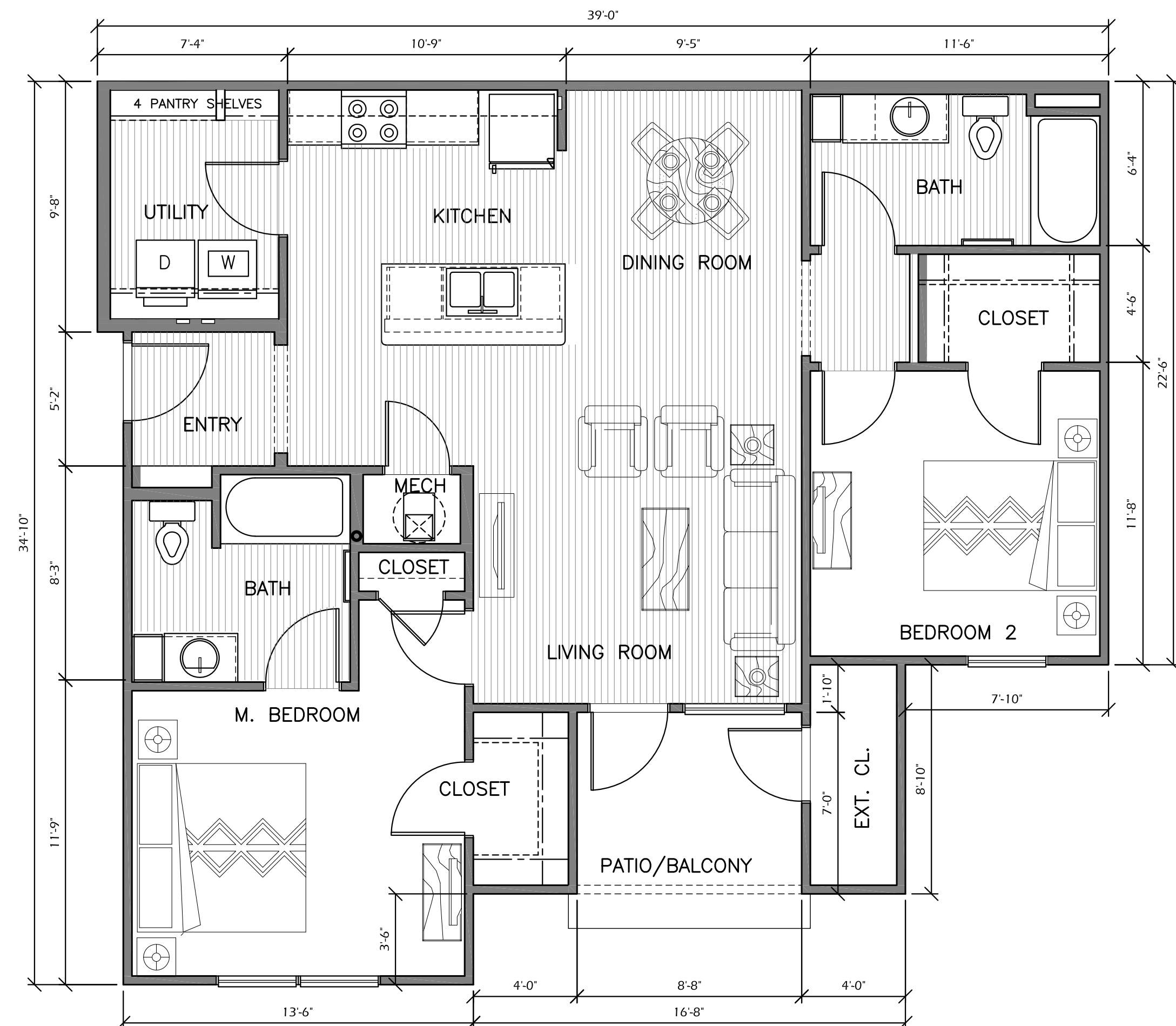
1 C1A UNIT PLAN
SCALE: 1/4" = 1'-0"



1 C1 UNIT PLAN
SCALE: 1/4" = 1'-0"

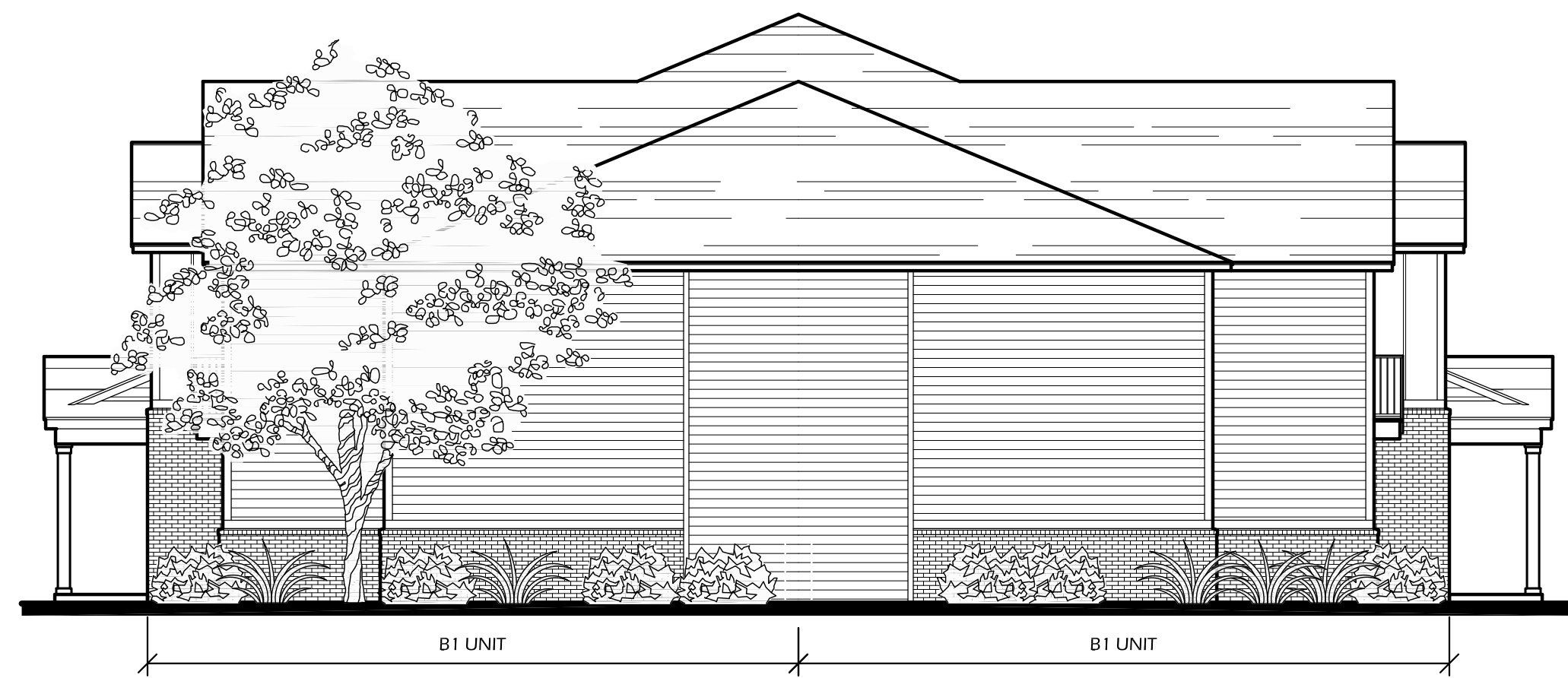


1 B1A UNIT PLAN
SCALE: 1/4" = 1'-0"



1 B1 UNIT PLAN
SCALE: 1/4" = 1'-0"

<h2>Covington Woods II</h2> <p>A 50-Unit Family Community in Lansing, Kansas</p>	
 <p>Bryan Hulet - ARCHITECT OF RECORD Kansas LICENSE # 5503</p> <p>Parker Associates 2202 East 48th Street South, Suite 200 Tulsa, OK 74115 (918)-742-2485</p>	<p>Covington Woods Apartments II, LP</p> <p>1329 E. Lark Street Springfield, MO. 65804 417-883-1632</p>
<p>NOT FOR CONSTRUCTION</p> <p>THIS DOCUMENT IS PRELIMINARY IN NATURE AND IS NOT A FINAL, SIGNED AND SEALED DOCUMENT.</p>	<p>JOB NUMBER: 223015 DRAWN BY: BH, TA DATE: 8/21/2023</p> <p>UNIT PLANS</p> <p>SHEET NUMBER A1 OF 1</p>



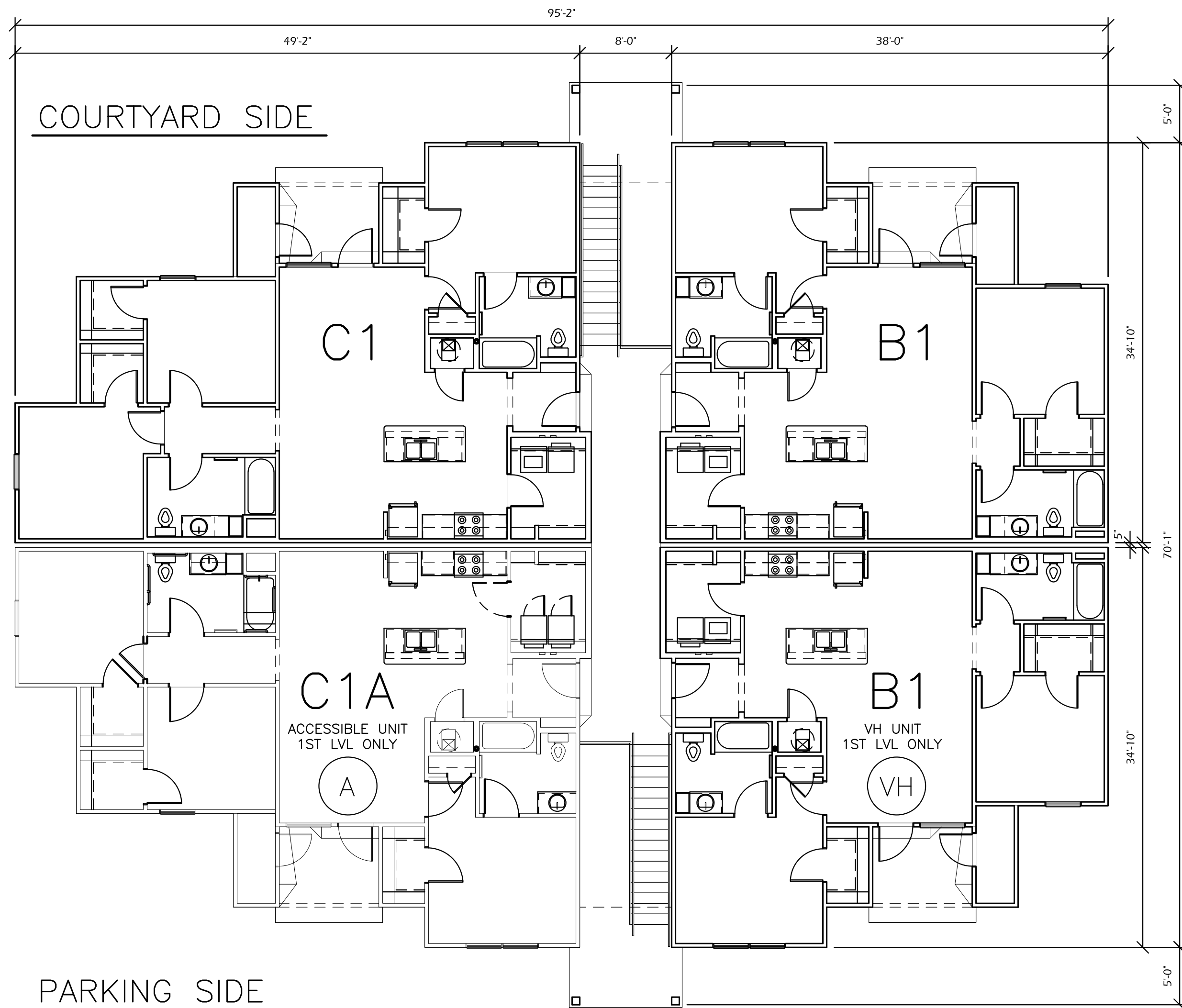
5 BUILDING 1 NORTH ELEVATION
1/8" = 1'-0"



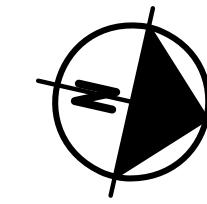
4 BUILDING 1 SOUTH ELEVATION
1/8" = 1'-0"



3 BUILDING 1 BACK ELEVATION
1/8" = 1'-0" COURTYARD SIDE

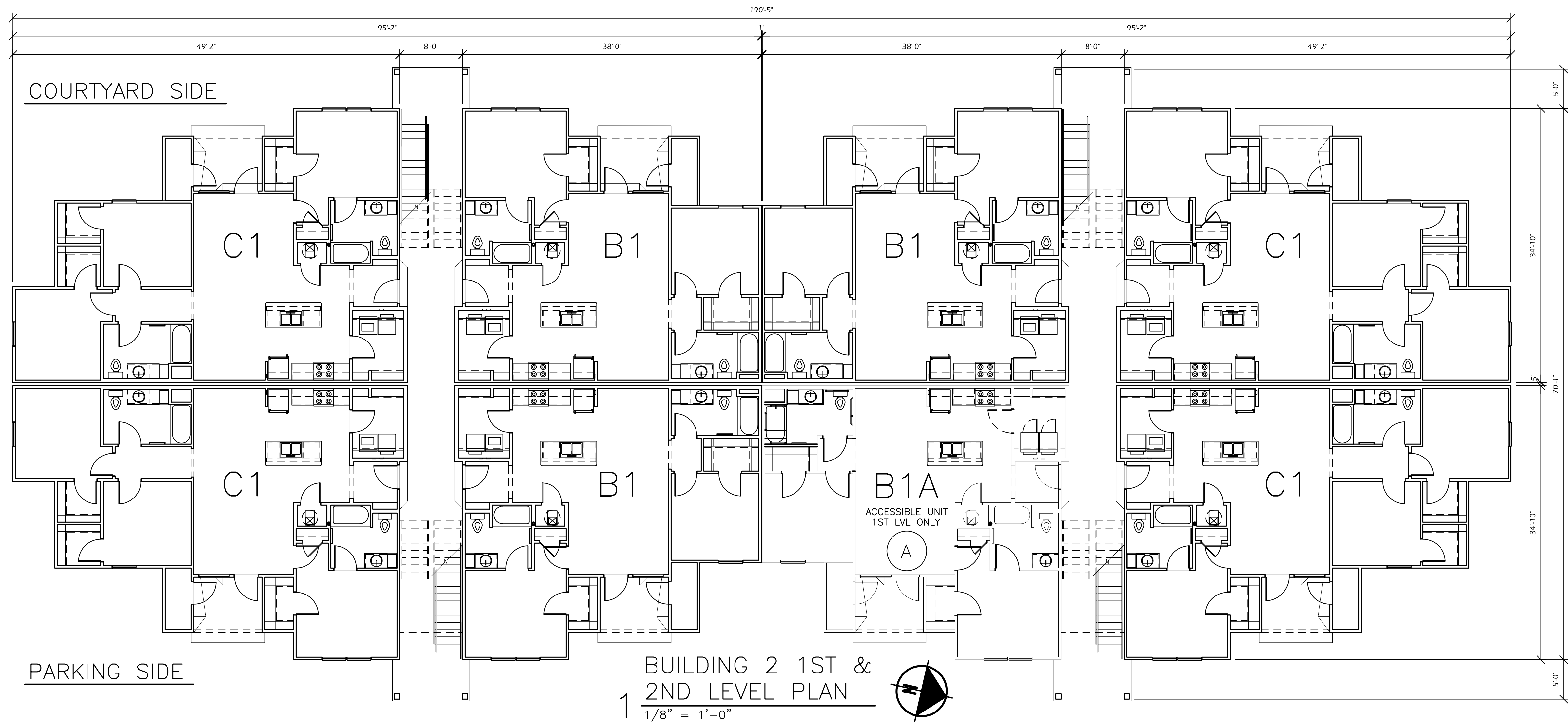
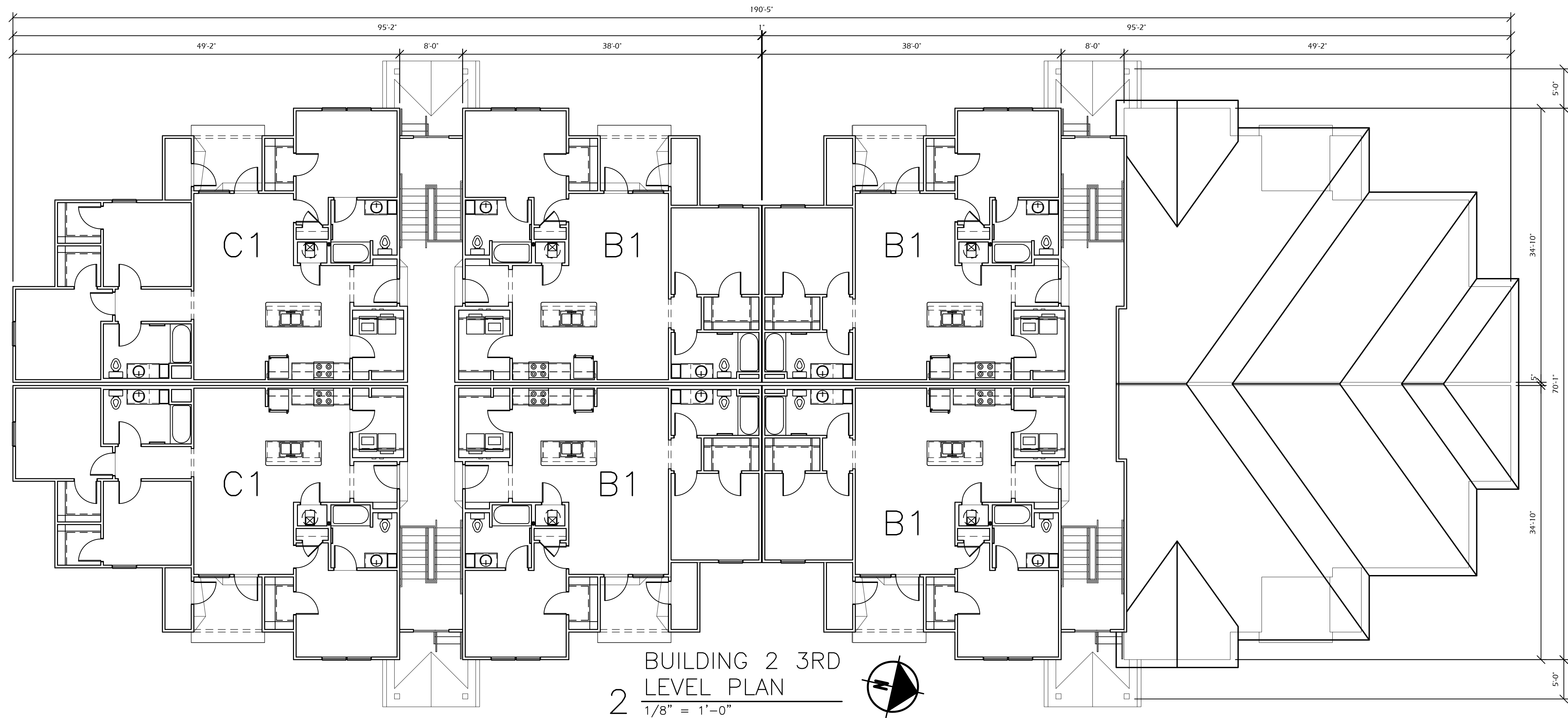


1 BUILDING 1 PLAN
1/8" = 1'-0"



2 BUILDING 1 FRONT ELEVATION
1/8" = 1'-0" PARKING SIDE

Covington Woods II A 50-Unit Family Community in Lansing, Kansas	
 Bryan Hubert - ARCHITECT OF RECORD Kansas LICENSE # 5503 Parker Associates 2202 East 49th Street South, Suite 200 Tulsa, OK 74105 (918)-742-2485	Covington Woods Apartments II, LP 1329 E. Lark Street Springfield, MO, 65804 417-863-1632
NOT FOR CONSTRUCTION THIS DOCUMENT IS PRELIMINARY AND IS NOT TO BE USED FOR CONSTRUCTION	JOB NUMBER: 223015 DRAWN BY: BH, TA DATE: 8/21/2023 BUILDING 1 PLAN & ELEVATIONS SHEET NUMBER AB1 OF 5



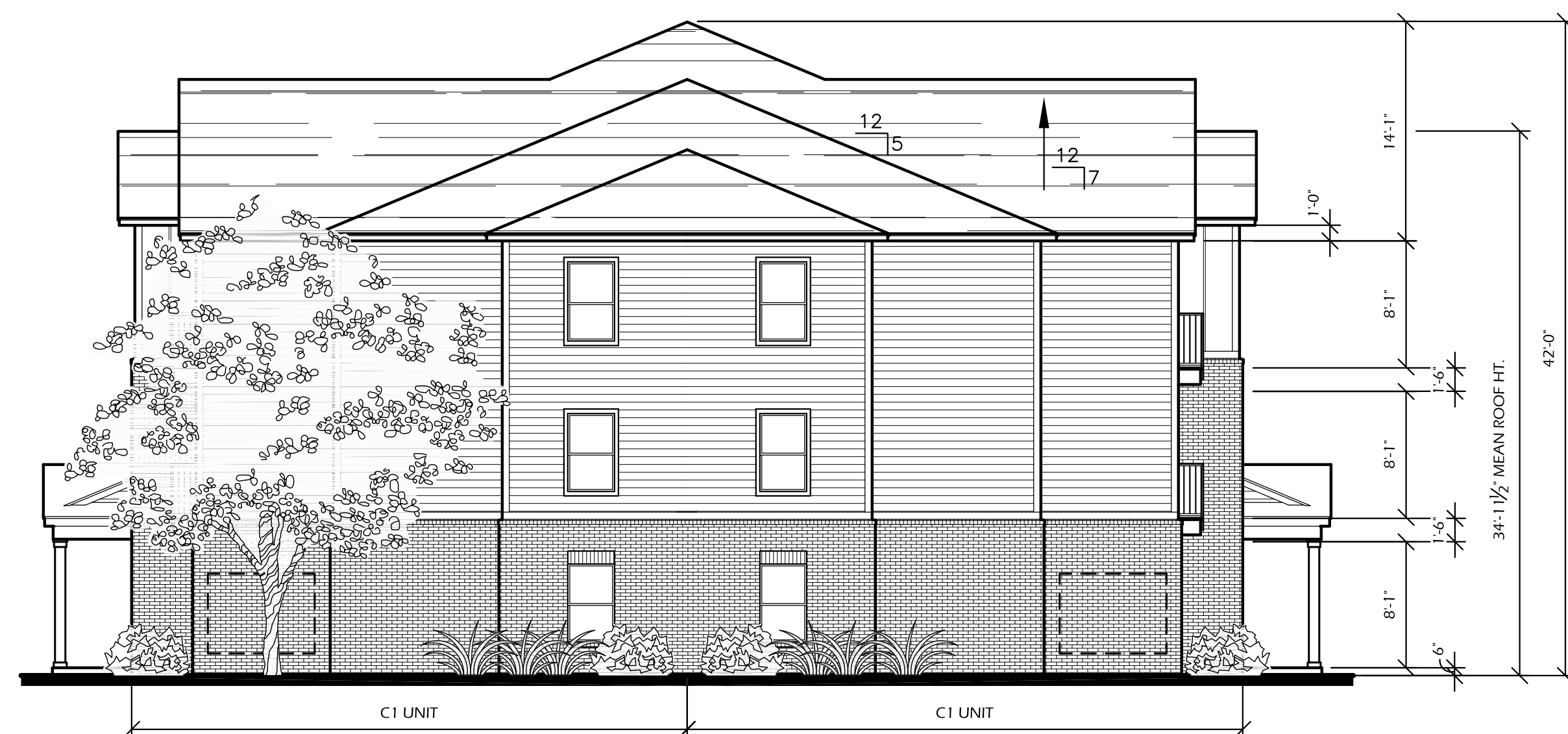
Covington Woods II A 50-Unit Family Community in Lansing, Kansas	
 Bryan Hubel - ARCHITECT OF RECORD Kansas LICENSE # 5503 Parker Associates 2202 East 49th Street South, Suite 200 Tulsa, OK 74105 (918)-742-2485	Covington Woods Apartments II, LP 1329 E. Lark Street Springfield, MO. 65804 417-883-1632
NOT FOR CONSTRUCTION THIS DOCUMENT IS PRELIMINARY IN NATURE AND IS NOT A FINAL, SIGNED AND SEALED DOCUMENT.	JOB NUMBER: 223015 DRAWN BY: BH, TA DATE: 8/21/2023 BUILDING 2 PLANS SHEET NUMBER AB2 OF 5



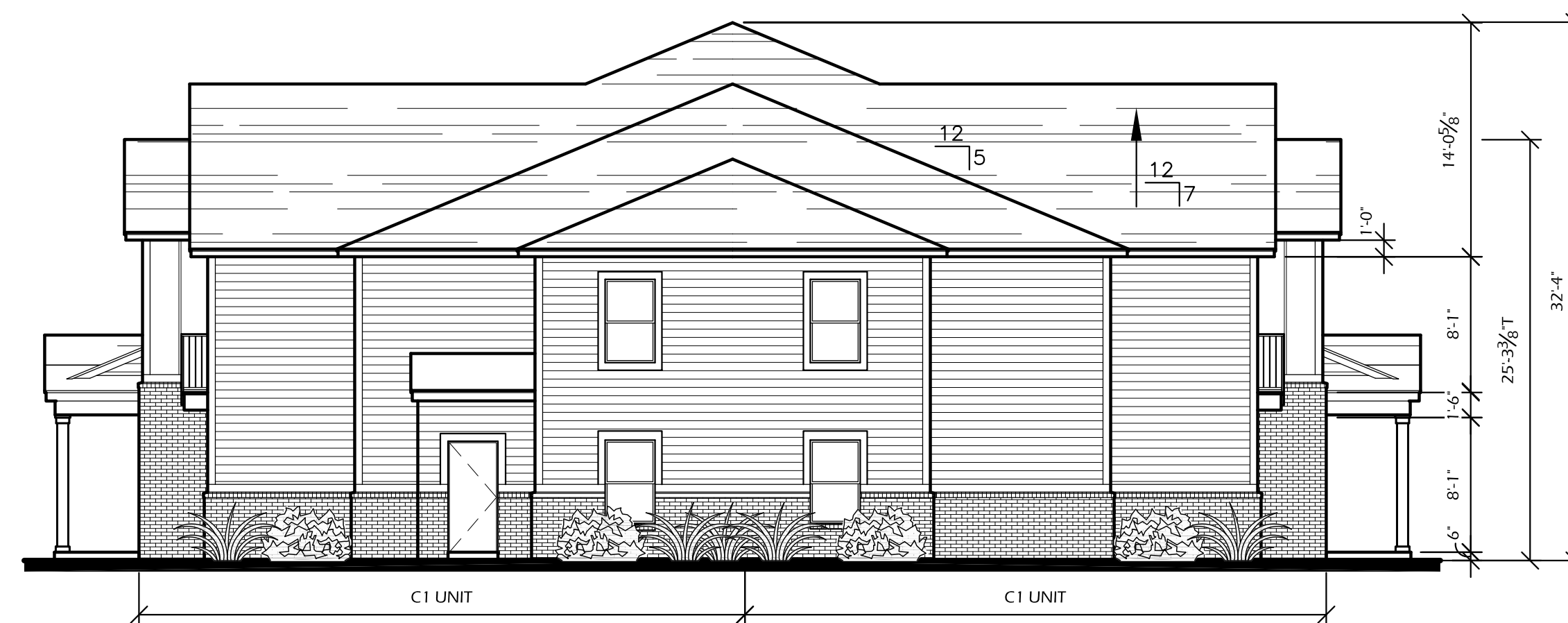
1 BUILDING 2 FRONT ELEVATION
1/8" = 1'-0" PARKING SIDE



2 BUILDING 2 BACK ELEVATION
1/8" = 1'-0" COURTYARD SIDE



3 BUILDING 2 SOUTH ELEVATION
1/8" = 1'-0"

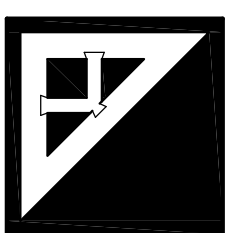


4 BUILDING 2 NORTH ELEVATION
1/8" = 1'-0"

- 30-YEAR FIBERGLASS SHINGLES
- CEMENT BOARD SIDING
- STEEL BALCONY RAILING
- VINYL WINDOWS
- BRICK VENEER

Covington Woods II

A 50-Unit Family Community in
Lansing, Kansas



Bryan Hubel - ARCHITECT OF RECORD
Kansas LICENSE # 5503
Parker Associates
2202 East 49th Street South,
Suite 200
Tulsa, OK 74105
(918)-742-2485

**Covington
Woods
Apartments II, LP**

1329 E. Lark Street
Springfield, MO, 65804
417-863-1632

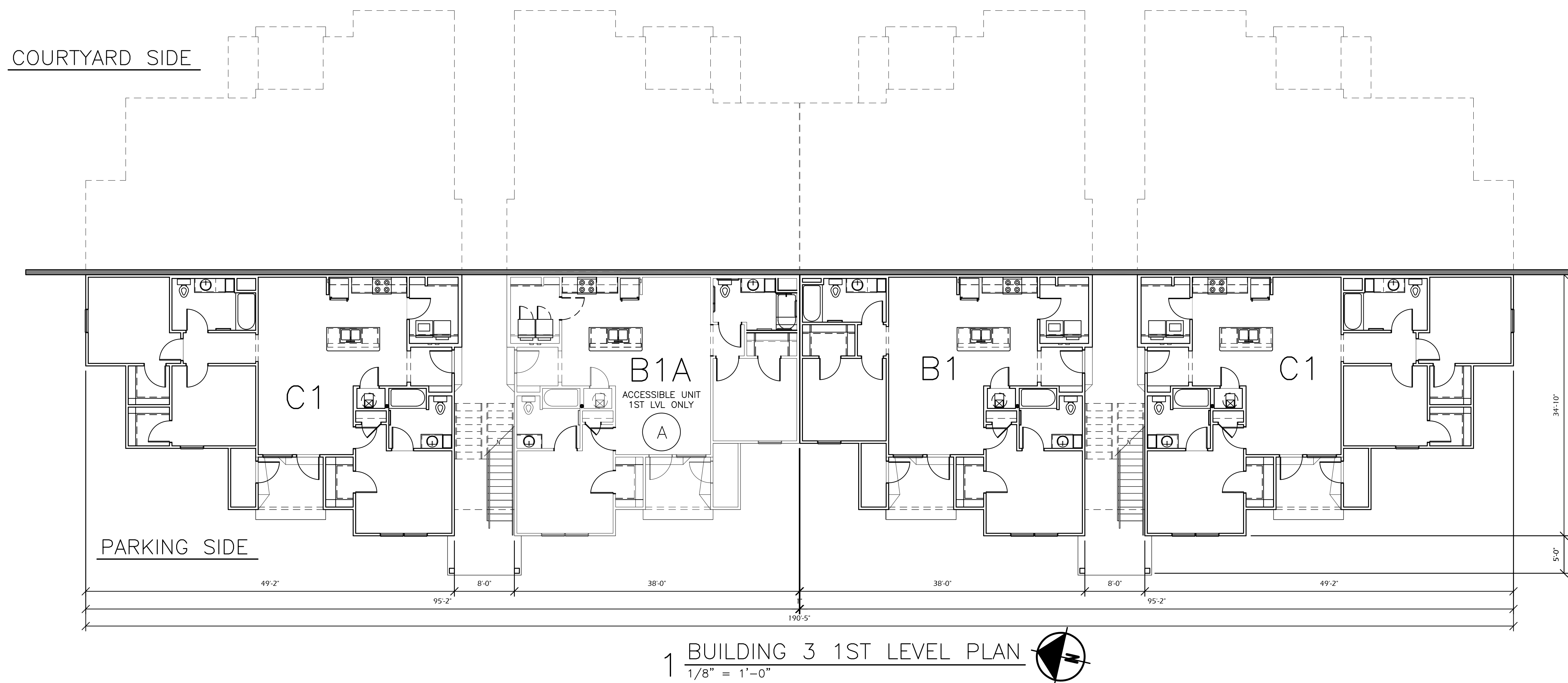
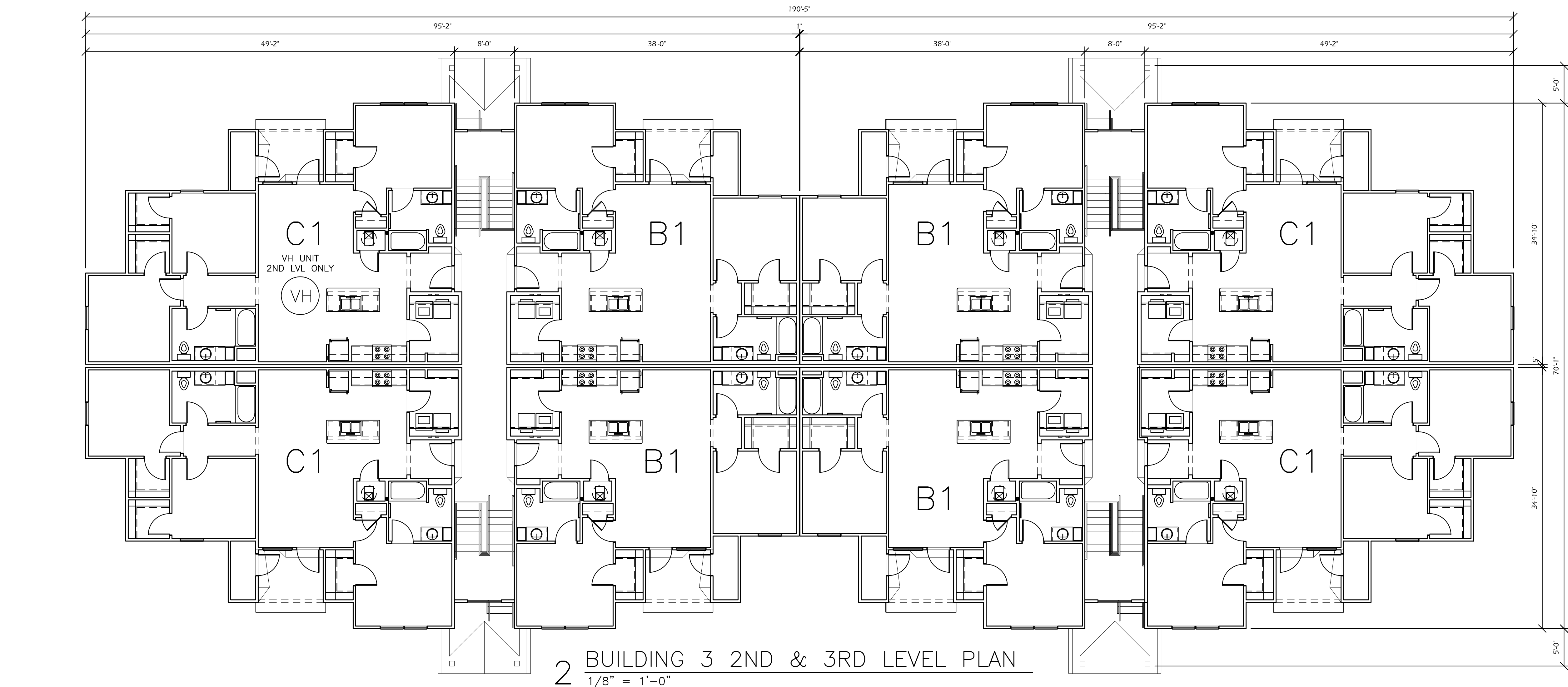
NOT FOR

THIS DOCUMENT IS
PRELIMINARY
NATURALLY AND IS
NOT BEING SIGNED AND
SEAL DOCUMENT.

CONSTRUCTION

JOB NUMBER: 223015
DRAWN BY: BH, TA
DATE: 8/21/2023

BUILDING 2
ELEVATIONS
SHEET
NUMBER AB3 OF 5



Covington Woods II A 50-Unit Family Community in Lansing, Kansas	
 Bryan Hubert - ARCHITECT OF RECORD Kansas LICENSE # 5503 Parker Associates 2202 East 49th Street, South, Suite 200 Tulsa, OK 74105 (918)-742-2485	Covington Woods Apartments II, LP 1329 E. Lark Street Springfield, MO, 65804 417-883-1632
NOT FOR CONSTRUCTION THIS DOCUMENT IS PRELIMINARY IN NATURE AND IS NOT A FINAL, SIGNED AND SEALED DOCUMENT.	JOB NUMBER: 223015 DRAWN BY: BH, TA DATE: 8/21/2023 BUILDING 3 PLANS SHEET NUMBER AB4 OF 5



1 BUILDING 3 FRONT ELEVATION
 $\frac{1}{8"} = 1'-0"$ PARKING SIDE



2 BUILDING 3 BACK ELEVATION
 $\frac{1}{8"} = 1'-0"$ COURTYARD SIDE

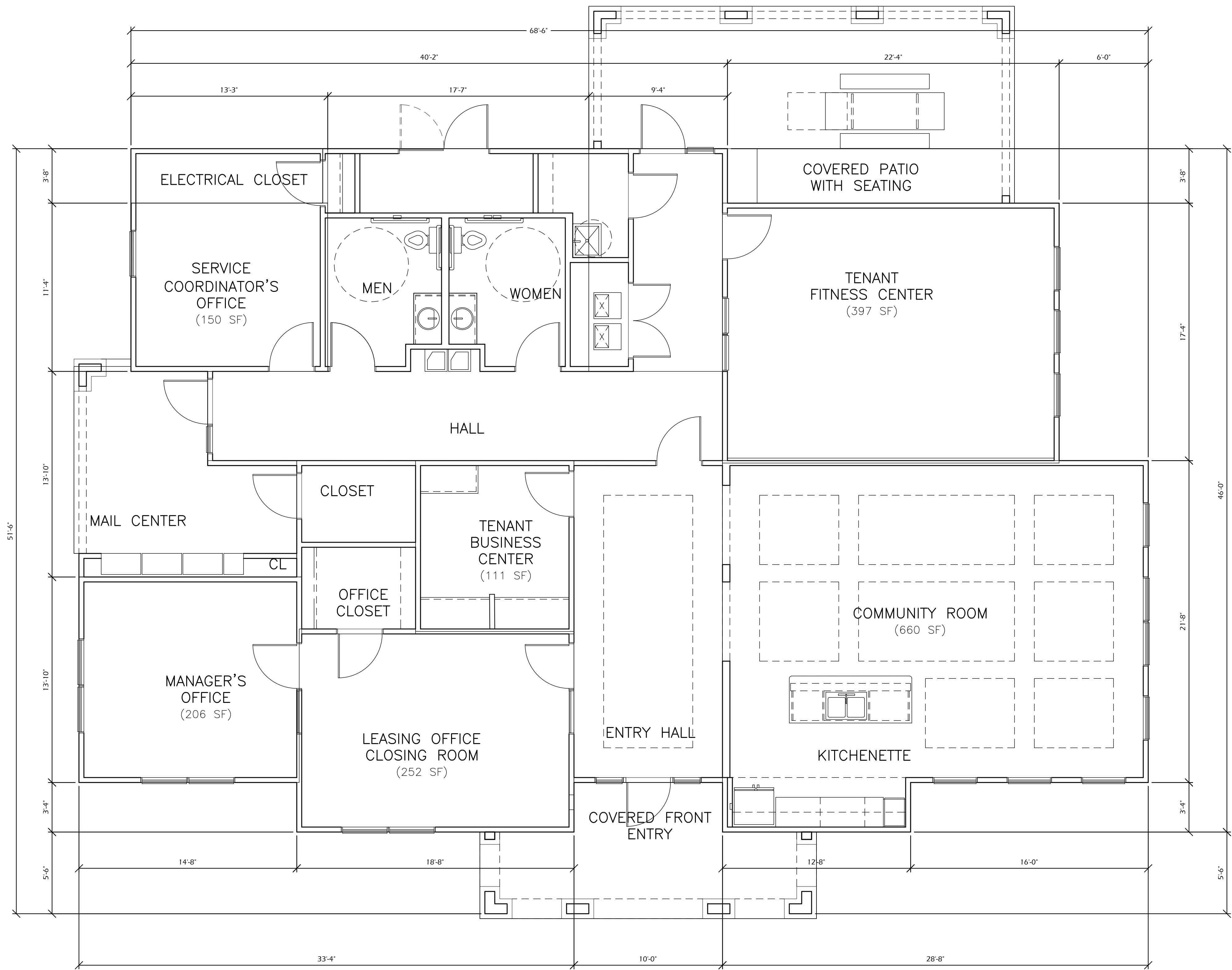


3 BUILDING 3 NORTH ELEVATION
 $\frac{1}{8"} = 1'-0"$



4 BUILDING 3 SOUTH ELEVATION
 $\frac{1}{8"} = 1'-0"$

Covington Woods II A 50-Unit Family Community in Lansing, Kansas	
 Bryan Hubert - ARCHITECT OF RECORD Kansas LICENSE # 5503 Parker Associates 2202 East 49th Street South, Suite 200 Tulsa, OK 74105 (918)-742-2485	Covington Woods Apartments II, LP 1329 E. Lark Street Springfield, MO, 65804 417-863-1632
NOT FOR CONSTRUCTION THIS DOCUMENT IS PRELIMINARY AND IS NOT TO BE USED FOR CONSTRUCTION.	JOB NUMBER: 223015 DRAWN BY: BH, TA DATE: 8/21/2023 BUILDING 3 ELEVATIONS SHEET NUMBER AB5 OF 5



Clubhouse

**Tenant Use - Community Room/Kitchenette	660 S.F.
**Tenant Use - Fitness Center	397 S.F.
**Tenant Use - Business Center	123 S.F.
**Tenant/Management Leasing Office	206 S.F.
**Tenant/Closing Leasing Office	252 S.F.
**Tenant/Service Coordinator Office	150 S.F.
**Tenant/Employee Hall & Bathrooms	789 S.F.

****Total Net Area (Conditioned)** 2,577 S.F.

**Employee Janitor's, Mech, Storage Closets and etc.
(Not included in net area calculation-included in gross area below)

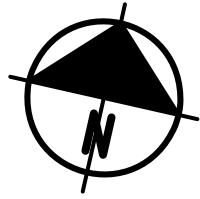
*** Tenant Front Entry Patio	166 S.F.
*** Tenant Back Covered Patio/Sitting Area	346 S.F.
*** Tenant Mail Center	170 S.F.
*** Employee MEP Closet	47 S.F.

****Total Exterior Area (Non-Conditioned)** 729 S.F.

*****Total Gross Area** 3,432 S.F.

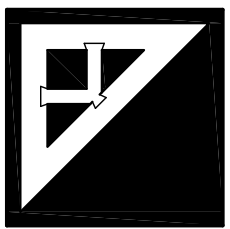
- * Net (1) SF/Unit is calculated as conditioned area - does not include wall framing (paint-to-paint)
** Net (2) SF/Unit is calculated as conditioned area and includes wall framing
*** Gross Unit SF/Unit is calculated as all area under roof, conditioned and non-conditioned

1 CLUBHOUSE PLAN
1/4" = 1'-0"



Covington Woods II

A 50-Unit Family Community in
Lansing, Kansas



Bryan Hubel - ARCHITECT OF RECORD
Kansas LICENSE # 5503
Parker Associates
2202 East 49th Street South,
Suite 200
Tulsa, OK 74105
(918)-742-2485

Covington
Woods
Apartments II, LP

1329 E. Lark Street
Springfield, MO, 65804
417-883-1632

NOT FOR

THIS DOCUMENT IS
PRELIMINARY
IN NATURE AND IS
NOT A FINAL, SIGNED AND
SEALED DOCUMENT.

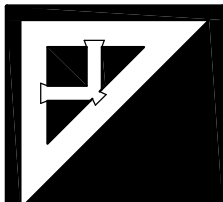
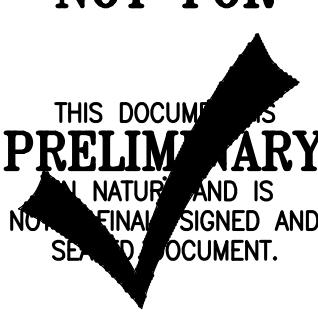
CONSTRUCTION

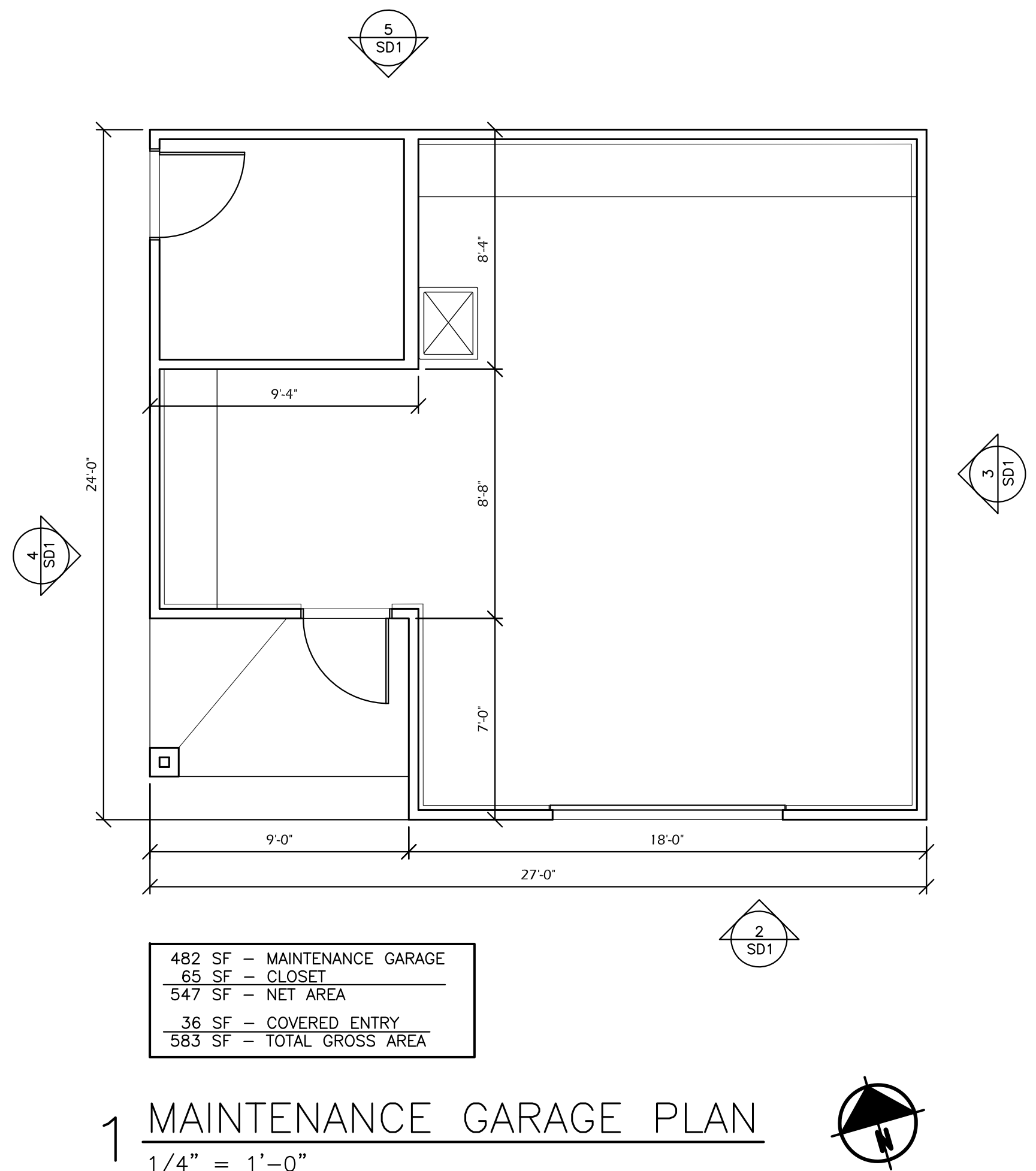
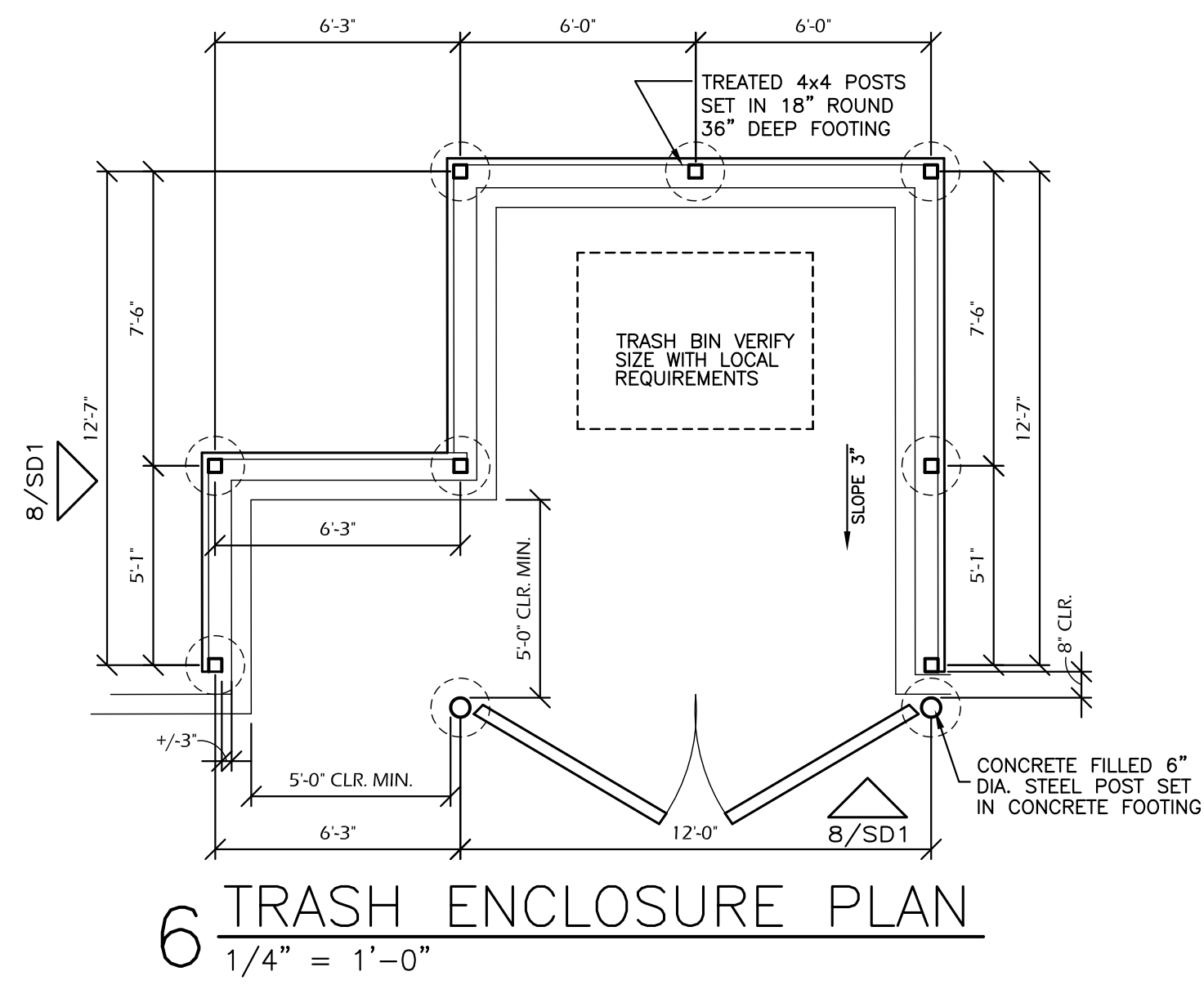
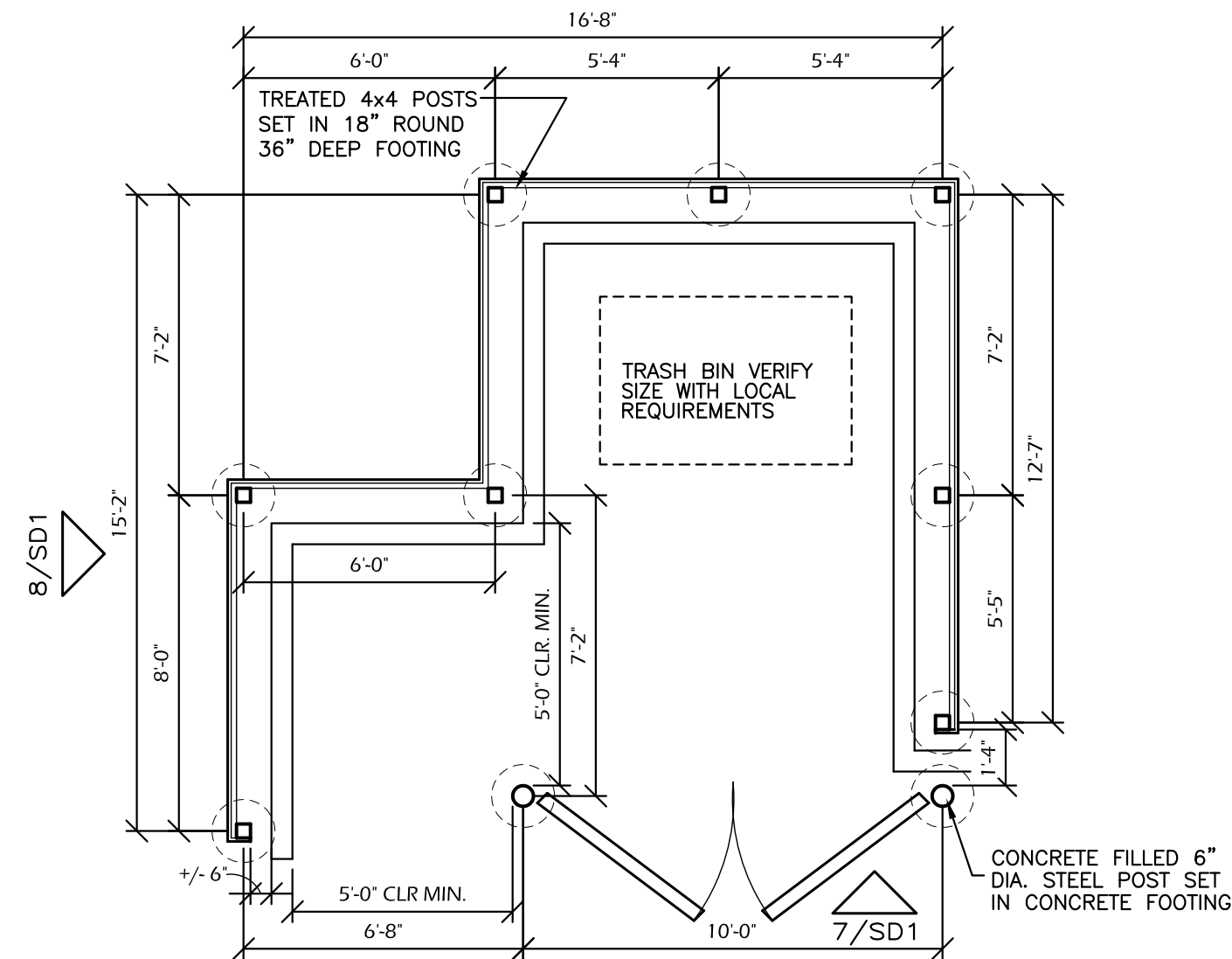
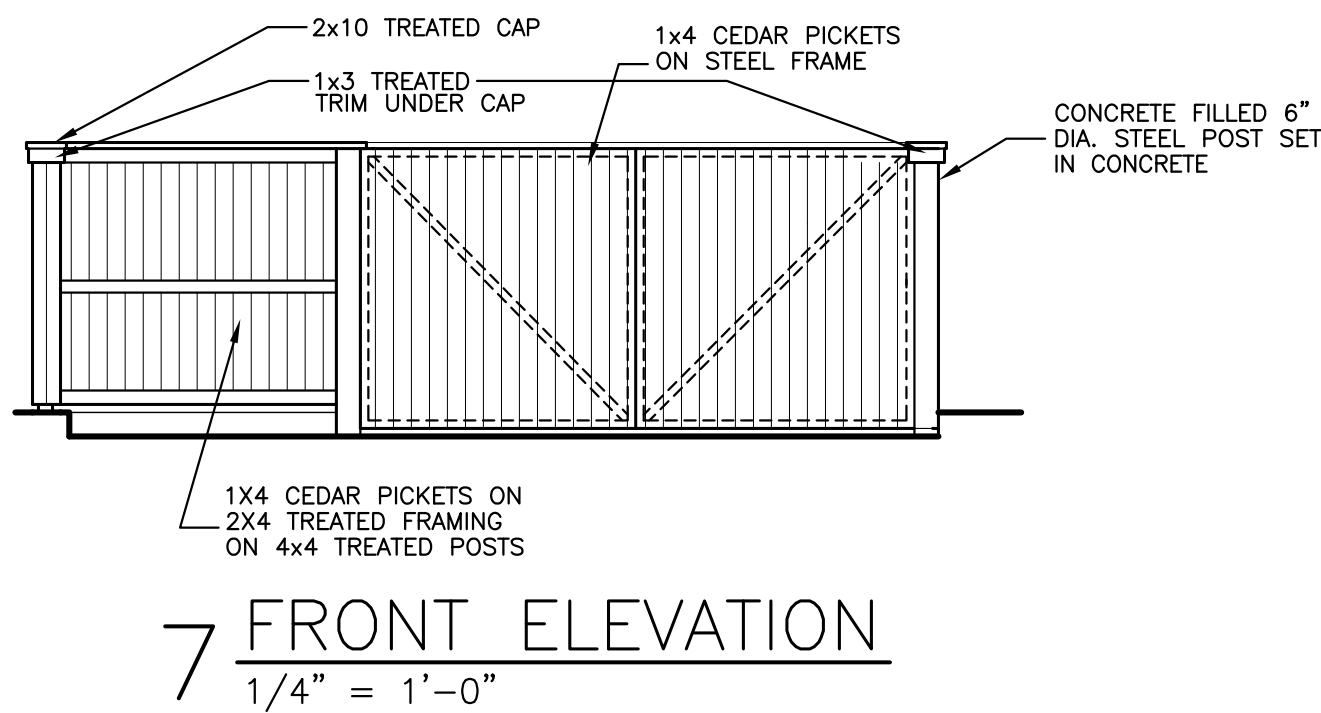
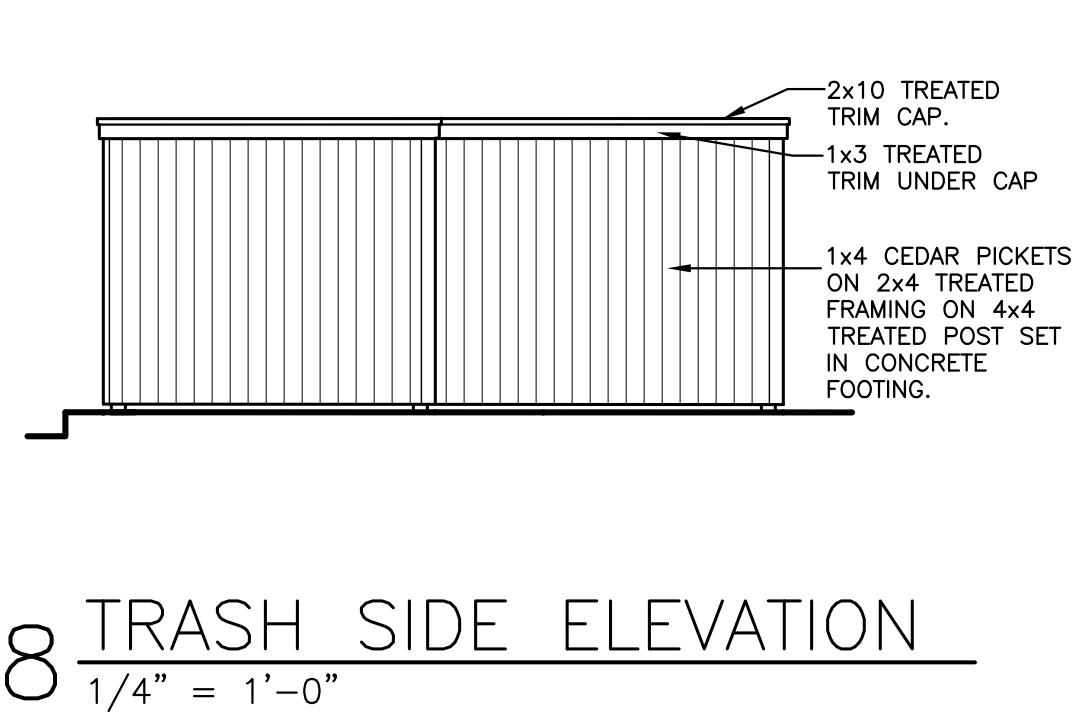
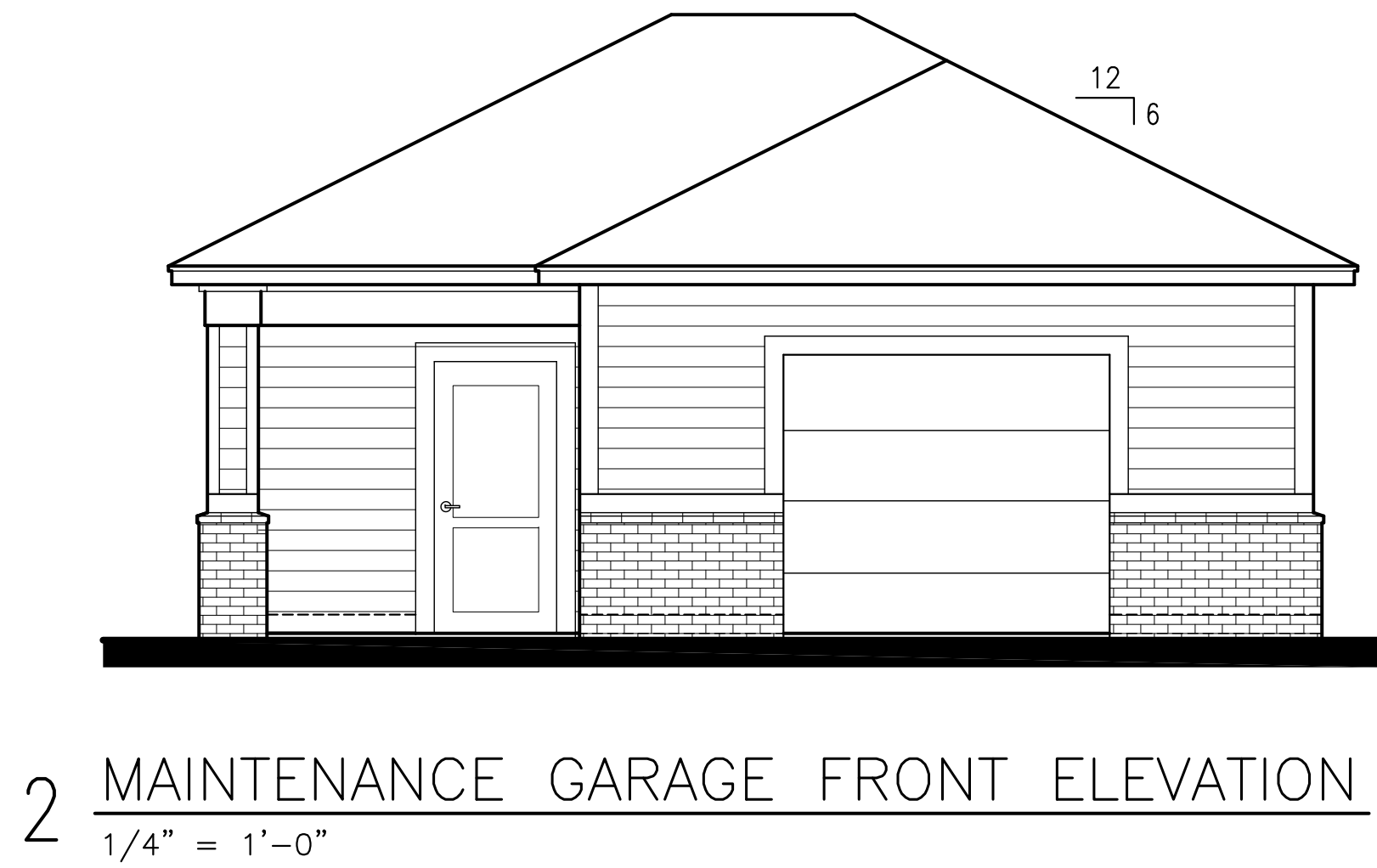
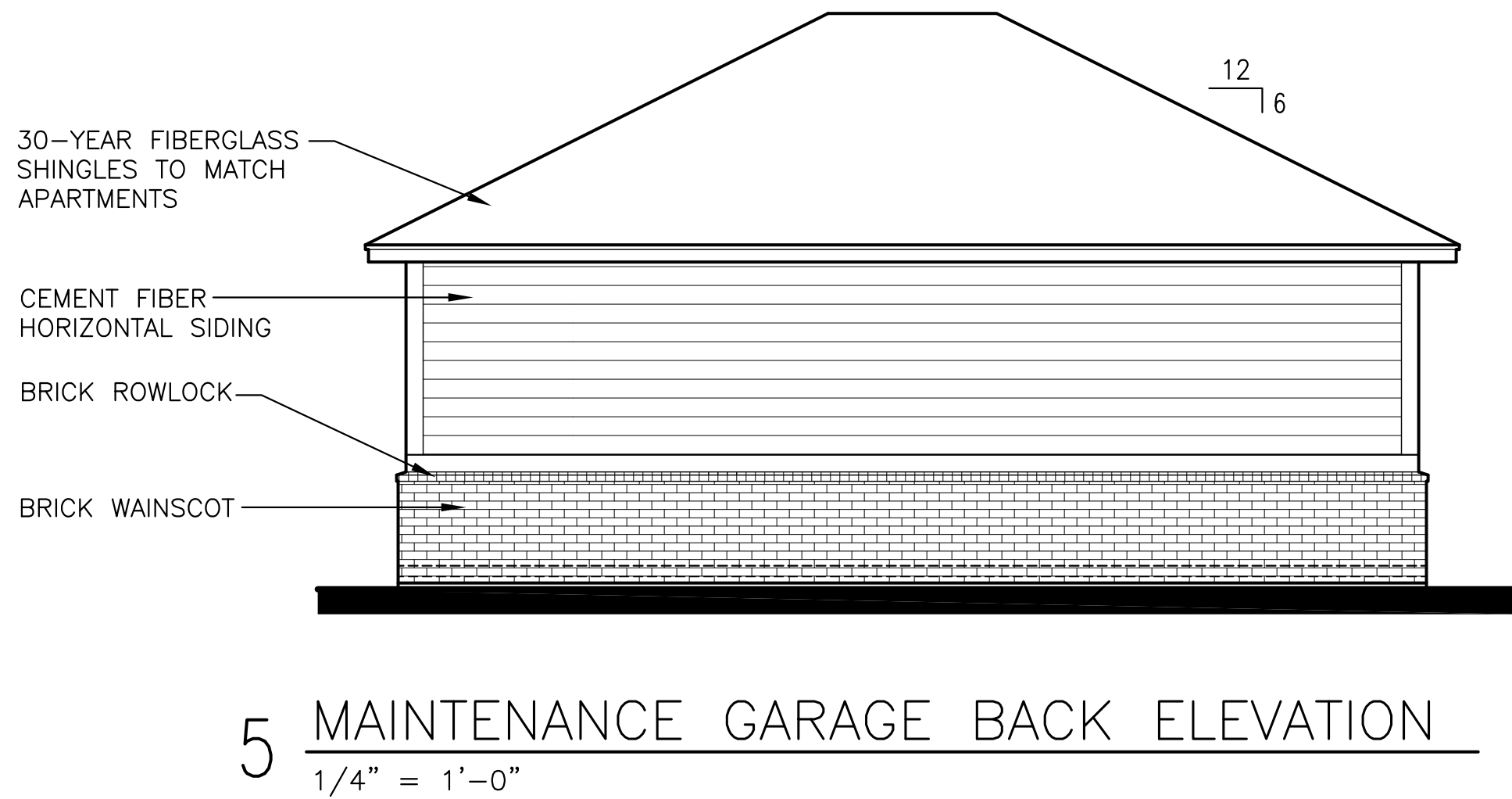
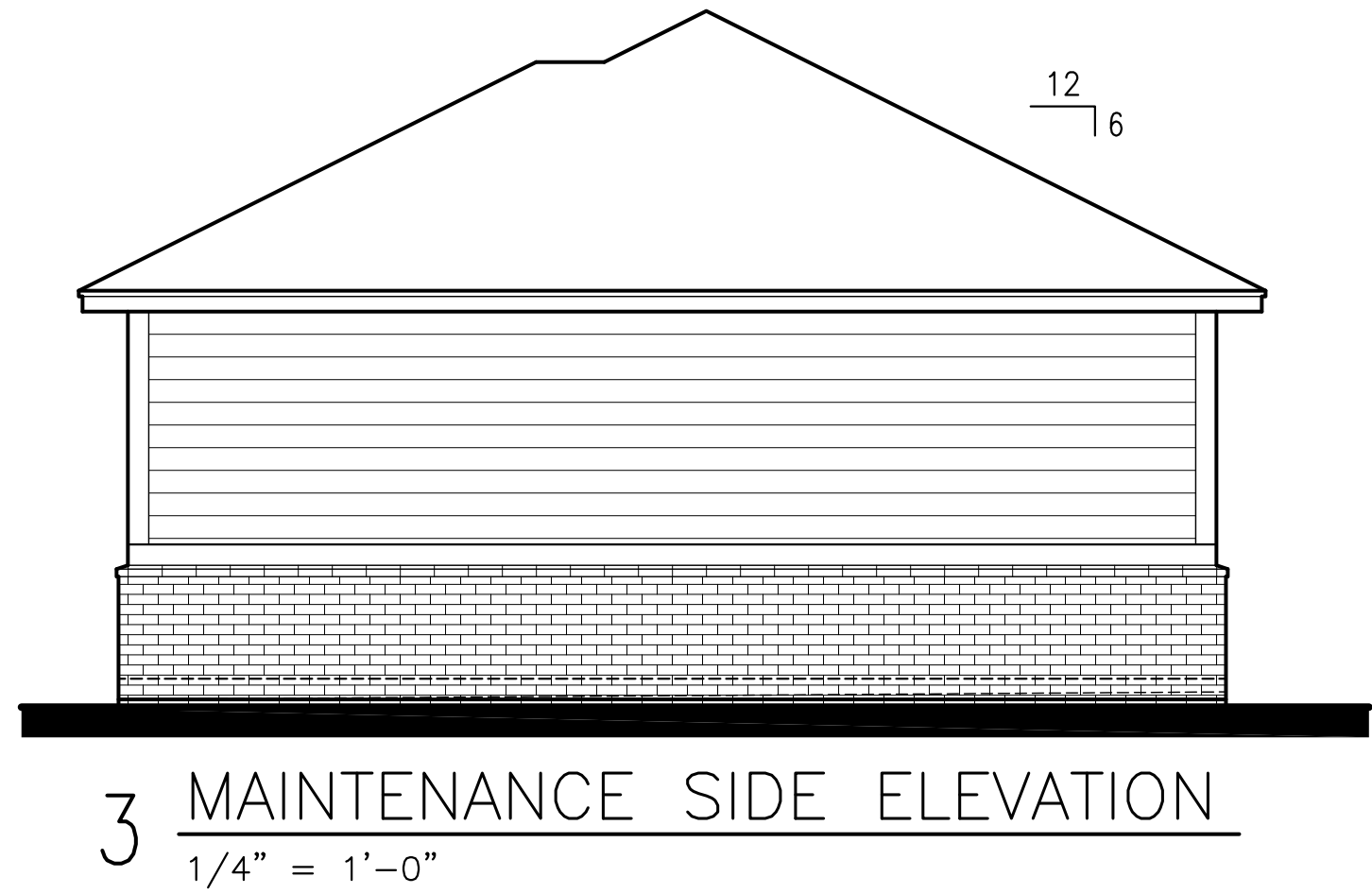
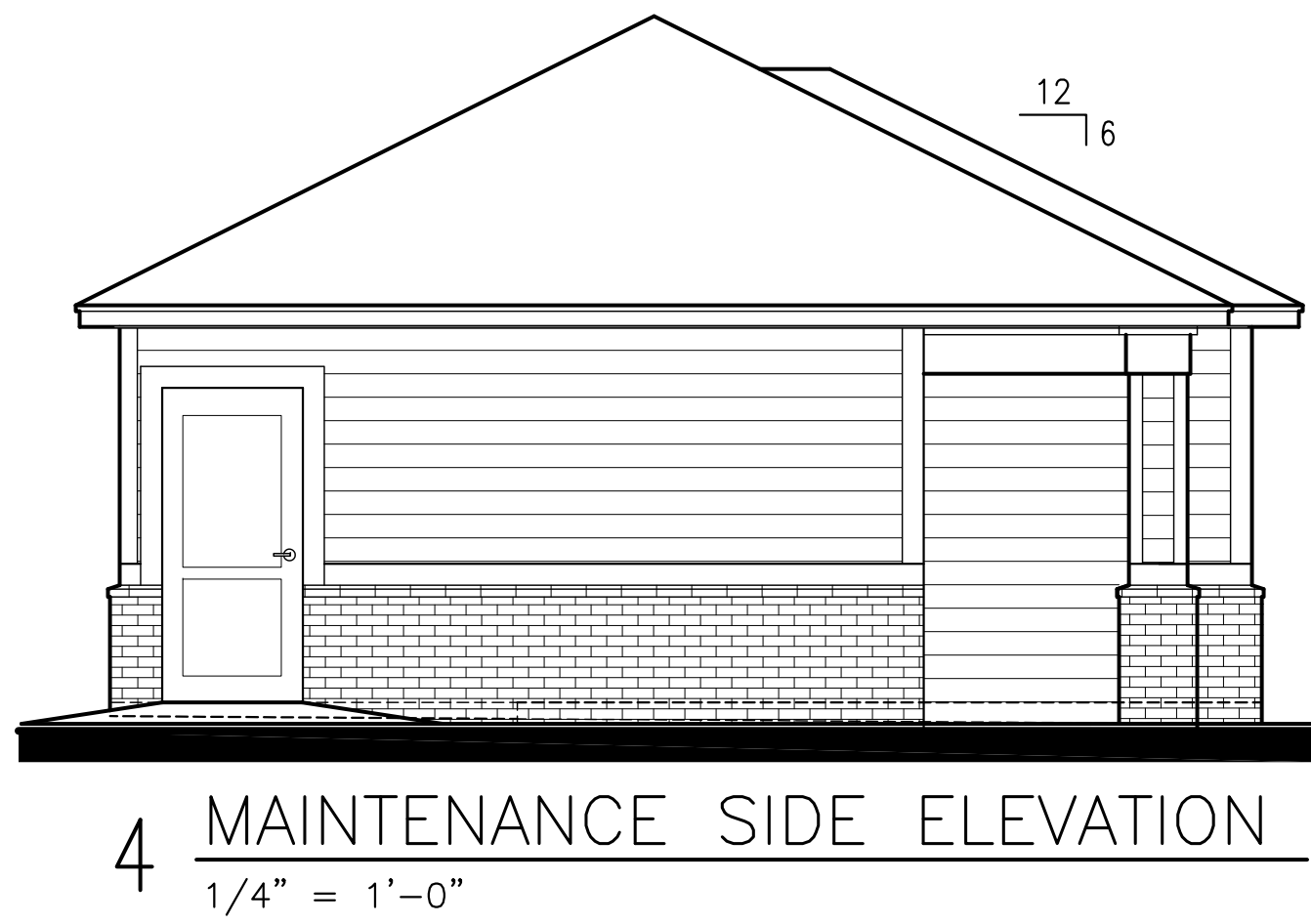
JOB NUMBER: 223015
DRAWN BY: BH, TA
DATE: 8/21/2023

CLUBHOUSE PLAN

SHEET
NUMBER CA1 OF 2



<h1 style="margin: 0;">Covington Woods II</h1> <p style="margin: 0;">A 50-Unit Family Community in Lansing, Kansas</p>													
<div style="text-align: center;">  </div> <p style="text-align: center; font-size: small;">Bryan Hulst - ARCHITECT OF RECORD Kansas LICENSE # 5903</p> <p style="text-align: center; font-weight: bold; font-size: large;">Parker Associates</p> <p style="text-align: center;">2202 East 49th Street South, Suite 200 Tulsa, OK 74105 (918)-742-2485</p>	<div style="text-align: center;"> <h2 style="margin: 0;">Covington Woods</h2> <h3 style="margin: 0;">Apartments II, LP</h3> </div> <div style="text-align: center; margin-top: 20px;"> <p>1329 E. Lark Street Springfield, MO. 65804 417-883-1632</p> </div>												
<div style="display: flex; justify-content: space-between; align-items: center;"> <div style="width: 45%;"> <h2 style="margin: 0;">NOT FOR</h2> <div style="position: relative; height: 150px; margin: 10px 0;">  </div> <h2 style="margin: 0;">CONSTRUCTION</h2> </div> <div style="width: 50%;"> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; padding: 5px;">JOB NUMBER:</td> <td style="width: 50%; padding: 5px;">223015</td> </tr> <tr> <td style="padding: 5px;">DRAWN BY:</td> <td style="padding: 5px;">BH, TA</td> </tr> <tr> <td style="padding: 5px;">DATE:</td> <td style="padding: 5px;">8/21/2023</td> </tr> <tr> <td style="height: 30px;"></td> <td></td> </tr> <tr> <td style="height: 30px;"></td> <td></td> </tr> <tr> <td style="height: 30px;"></td> <td></td> </tr> </table> <div style="text-align: center; margin-top: 20px;"> <h3 style="margin: 0;">CLUBHOUSE ELEVATIONS</h3> </div> <div style="display: flex; justify-content: space-between; align-items: center; margin-top: 20px;"> <div style="text-align: center;"> <p style="font-size: small;">SHEET</p> <p style="font-size: x-large; font-weight: bold;">CA2</p> <p style="font-size: small;">NUMBER</p> </div> <div style="text-align: center;"> <p style="font-size: x-large; font-weight: bold;">OF 2</p> </div> </div> </div> </div>		JOB NUMBER:	223015	DRAWN BY:	BH, TA	DATE:	8/21/2023						
JOB NUMBER:	223015												
DRAWN BY:	BH, TA												
DATE:	8/21/2023												



 SNOWDEN ENGINEERING STRUCTURAL CONSULTANTS KANSAS - C.A. # E-1472 6128 EAST 63RD TULSA, OKLAHOMA 74133 PHONE: (918)252-4557 FAX: (918)254-0838	
Covington Woods II A 50-Unit Family Community in Lansing, Kansas	
 Bryan Hulet - ARCHITECT OF RECORD Kansas LICENSE # 5503 Parker Associates 2202 East 49th Street South, Suite 200 Tulsa, OK 74105 (918)-742-2485	Covington Woods Apartments II, LP 1329 E. Lark Street Springfield, MO. 65804 417-883-1632
NOT FOR CONSTRUCTION THIS DOCUMENT IS PRELIMINARY IN NATURE AND IS NOT A FINAL, SIGNED AND SEALED DOCUMENT.	JOB NUMBER: 223015 DRAWN BY: BH, TA DATE: 8/21/2023 MAINT GAR. & TRASH PLANS & ELEVATIONS SHEET NUMBER SD1 OF 1



the plans, elevations, drawings, illustrations and other materials contained within this plan set are the property of ALABACK DESIGN Alaback Design Associates, Inc.) and may not be reproduced either in part or wholly in any manner without the express written permission of ALABACK DESIGN. Owner and contractor shall verify all materials, dimensions and construction techniques indicated herein prior to proceeding with construction. Verify all drawing scales as normal reproduction may alter the accuracy of the original drawings.



COVINGTON WOODS II APARTMENTS

LANDSING, KS

REVISIONS:

DATE	DESCRIPTION

ISSUE

ANS

DATE: 08.18.2023

PROJECT #	23038
-----------	-------

DESIGN: BN

RAWN: BN

CHECKED: DA

ET TITLE

RE DEVELOPMENT LANDSCAPE PLAN

CP-1^S

SHEET #



CITY OF LANSING, KS LANDSCAPE REQUIREMENTS

STREET FRONTAGE TREE REQUIREMENT

(ONE) 1 TREE PER 40 LINEAR FEET OF STREET FRONTAGE (PUBLIC OR PRIVATE)

	TREES REQUIRED	TREES PROVIDED
W. MARY ST. = 451LF	12	13
W. KAY ST. = 650 LF	17	17

PERIMETER LANDSCAPE STRIP

ALL PERIMETERS OF PLATTED AREAS SHALL REQUIRE A PERIMETER LANDSCAPE STRIP BEING A MINIMUM OF (5) FIVE FEET WIDE.

	REQUIRED	PROVIDED
1. The contractor shall be responsible for obtaining all necessary permits and licenses for the project.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

RECEPTACLE SCREENING

SCREENING OF OUTDOOR TRASH RECEPTACLES SHALL OCCUR FOR ALL NEW DEVELOPMENTS.

	REQUIRED	PROVIDED
✓	✓	✓

PERIMETER PARKING LOT LANDSCAPING

(ONE) 1 SHADE TREE AND 5 (FIVE) SHRUBS ARE RQUIRED FOR EVERY 35
LINEAR FEET OF ROAD FRONTAGE.

	TREES REQUIRED	TREES PROVIDED
PERIMETER PARKING = 296 LF	9	
	SHRUBS REQUIRED	SHRUBS PROVIDED
PERIMETER PARKING = 296 LF	42	

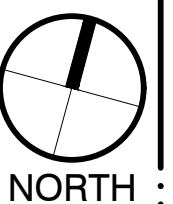
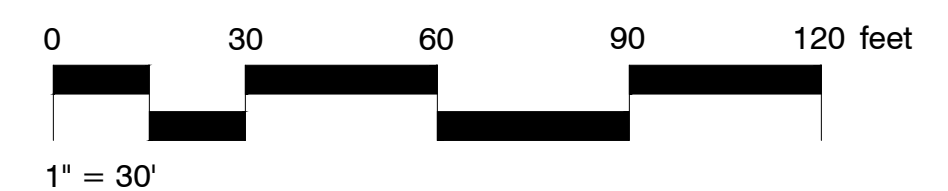
NOTE:

DETAILED LANDSCAPE PLAN TO IMPLEMENT PLANTS RECOMMENDED BY THE CITY OF LANSING ZONING CODE.

PLANT SCHEDULE

TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	CAL	SIZE	COMMENTS
	AMUR	6	AMUR MAPLE	ACER GINNALA	B&B	2" CAL	8'-10' HT.	CENTRAL LEADER
	SMOKE	5	SMOKE TREE	COTINUS COGGYGRIA	B&B	2" CAL	8'-10' HT.	CENTRAL LEADER
	OLH	15	OAK LEAF™ HOLLY	ILEX X 'CONAF'	B&B		7'-8' HT.	FULL TO GROUND
	PCRAB	5	PRAIRIFIRE CRABAPPLE	MALUS X 'PRAIRIFIRE'	B&B	2" CAL	7'-8' HT.	
	SSCA	1	SPRING SNOW CRABAPPLE	MALUS X 'SPRING SNOW'	B&B	2" CAL	7'-8' HT.	
	CBS	1	COLORADO BLUE SPRUCE	PICEA PUNGENS 'KOSTER'	B&B		7'-8' HT.	FULL TO GROUND
	APINE	20	AUSTRIAN PINE	PINUS NIGRA	B&B		7'-8' HT.	FULL TO GROUND
	LPT	8	LONDON PLANE TREE	PLATANUS X ACERIFOLIA	B&B	3" CAL	10'-12' HT.	FULL CANOPY; CENTRAL LEADER
	BOAK	17	BURR OAK	QUERCUS MACROCARPA	B&B	3" CAL	10'-12' HT.	FULL CANOPY; CENTRAL LEADER
	SOAK	12	SHUMARD OAK	QUERCUS SHUMARDII	B&B	3" CAL	10'-12' HT.	FULL CANOPY; CENTRAL LEADER

**SEE SHEET L4.00 FOR LANDSCAPE DETAILS
& LANDSCAPE NOTES**



REVISIONS:		
#	DATE	DESCRIPTION

ISSUE	
PLANS	
DATE:	08.18.2023
PROJECT #	23038
DESIGN:	BN
DRAWN:	BN
CHECKED:	DA
SHEET TITLE	
LANDSCAPE DETAILS & NOTES	
CP-2	
SHEET #	

GENERAL NOTES

CALL 811 FOR INFORMATION ON THE LOCATION OF ALL UNDERGROUND UTILITIES. CONTACT PRIOR TO DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE UTILITIES (BOTH OVERHEAD AND BURIED) WHICH MAY OCCUR DUE TO HIS ACTION OR LACK THEREOF ON THE PROJECT SITE DURING LANDSCAPE OR IRRIGATION INSTALLATION. CONTRACTOR SHALL SEEK THE ASSISTANCE OF LOCAL UTILITIES AND THE OWNER IN LOCATING THE UTILITIES PRIOR TO PERFORMING CONSTRUCTION OPERATIONS IN ANY AREA.

PLANT TREES TWO (2) INCHES ABOVE FINISHED GRADE. CUT TWINE FROM AROUND THE TRUNK AND PULL BACK THE BURLAP & WIRE FROM THE TOP 1/3 OF THE ROOT BALL. CAREFULLY REMOVE ANY EXCESS SOIL ON TOP OF THE ROOT BALL TO EXPOSE THE ROOT FLARES.

PLANT SHRUBS ONE (1) INCH ABOVE FINISHED GRADE. ALL PLANTING BEDS SHALL HAVE POSITIVE DRAINAGE OUT OF BEDS AND AWAY FROM BUILDINGS, PERMANENT STRUCTURES, AIR CONDENSER UNITS, UTILITY BOXES, SIDEWALKS, ETC.

CROWN LANDSCAPE ISLANDS IN PARKING LOT 3" ABOVE TOP OF CURB OR AS DIRECTED ON DRAWING.

BED PREPARATION

ALL LANDSCAPE BEDS SHALL HAVE A MINIMUM 12" DEPTH SOIL MIXTURE COMPRISED OF A THREE (3) INCH LAYER OF BACK TO NATURE SOIL CONDITIONER, ONE (1) INCH LAYER OF AGED STERILIZED COW MANURE AND NINE (9) INCH LAYER OF EXISTING TOPSOIL. ROTO-TILL AMENDMENTS AND TOPSOIL TO A DEPTH OF 12" UNTIL A SMOOTH EVEN MIXTURE IS ACHIEVED. INCORPORATE ROOTS TRANSPLANT ONE-STEP AT A RATE OF 5 POUNDS PER 100 SQUARE FEET, AND MENDER'S DRY MOLASSES AT A RATE OF 3 LBS PER 100 SQUARE FEET INTO THE TOP 3"-4" OF TOPSOIL.

PARKING LOT LANDSCAPE ISLANDS SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 30" AND BACKFILLED WITH HIGH QUALITY TOPSOIL & AMENDMENTS. TOPSOIL SHALL BE FREE OF ROCKS, GRASS AND CONSTRUCTION DEBRIS. ROTO-TILL THREE (3") BACK TO NATURE & THREE (3") MANURE AND TOPSOIL TO A DEPTH OF 10" UNTIL A SMOOTH EVEN MIXTURE IS ACHIEVED. INCORPORATE ROOTS TRANSPLANT ONE-STEP AT A RATE OF 5 POUNDS PER 100 SQUARE FEET, AND DRY MOLASSES AT A RATE OF 3 LBS PER 100 SQUARE FEET INTO THE TOP 3"-4" OF SOIL.

EACH TREE LOCATED OUTSIDE A PLANTING BED SHALL RECEIVE THREE (3) CUBIC FEET OF BACK TO EARTH SOIL CONDITIONER MULCH AND ONE (1) CUBIC FOOT OF AGED, STERILIZED COW MANURE. MIX WITH THE NATIVE TOPSOIL AND BACKFILL. APPLY ROOTS TRANSPLANT ONE-STEP AT A RATE OF FOUR OUNCES PER CALIPER INCH AND 2 CUPS OF MENDER'S DRY MOLASSES PER TREE AND INCORPORATE INTO THE TOP 3"-4" OF SOIL.

ALL PLANTING BEDS SHALL BE DELINEATED AS SHOWN ON THE PLANS WITH A SHOVEL CUT EDGE, UNLESS OTHERWISE NOTED FOR STEEL BED EDGING. INSTALL PRO-STEEL 3/16" X 4" BLACK STEEL BED EDGING WHERE INDICATED.

MULCH

MULCH ALL TREE WELLS AND PLANTING BEDS WITH SHREDDED HARDWOOD MULCH TO A DEPTH OF THREE (3) INCHES. TOP OF MULCH LAYER SHALL BE PLACED ONE (1) INCH BELOW TOP OF CURBS, WALKS, AND ALL OTHER HARDSCAPE STRUCTURES.

A MINIMUM FIVE (5) FOOT DIAMETER AREA OF MULCH SHALL BE PROVIDED AROUND ALL TREES LOCATED OUTSIDE OF PLANTING BEDS. MULCH ALL TREE WELLS OUTSIDE OF PLANTING BEDS WITH SHREDDED HARDWOOD MULCH TO A DEPTH OF THREE (3) INCHES.

MULCH SHALL NOT BE PLACED AGAINST THE TRUNKS OF TREES.

LAWN

ALL AREAS DISTURBED BY CONSTRUCTION, SHALL BE RE-VEGETATED WITH SOLID SLAB SOD. SOD SHALL BE TURF BERMUDA (TIFWAY 419). WATER AND ROLL IN ACCORDANCE WITH STANDARD NURSERY PRACTICE.

PRIOR TO LAYING SOD, APPLY FERTILIZER ACCORDING TO TIME OF INSTALLATION:
APRIL 1 - SEPT 31;
APPLY 10-20-10 FERTILIZER AT A RATE OF 1/2 POUND OF NITROGEN PER 1,000 S.F. OF LAWN AREA
OCTOBER 1 - MARCH 31;
APPLY 16-8-8 FERTILIZER AT A RATE OF 1 POUND OF NITROGEN PER 1,000 S.F. OF LAWN AREA.

HYDROSEED AREAS WITH THE FOLLOWING GUIDELINES. BERMUDA BASE FOR APRIL 1ST-SEPTEMBER 30TH & FESCUE/RYE MIX FOR OCTOBER 1ST THRU MARCH 31ST. PRIOR TO APPLICATION, ROUGHEN THE SLOPE, FILL AREA, OR AREA TO BE SEEDED WITH THE FURROWS TRENDING ALONG THE CONTOURS. ROLLING WITH A CRIMPING OR PUNCHING TYPE ROLLER OR TRACK WALKING IS REQUIRED ON ALL SLOPES PRIOR TO HYDRO-SEEDING. TRACK WALKING SHALL ONLY BE USED WHERE OTHER METHODS ARE IMPRACTICAL. APPLY A STRAW MULCH TO KEEP SEEDS IN PLACE AND TO MODERATE SOIL MOISTURE AND TEMPERATURE UNTIL THE SEEDS GERMINATE AND GROW.

LANDSCAPE MAINTENANCE REQUIREMENTS

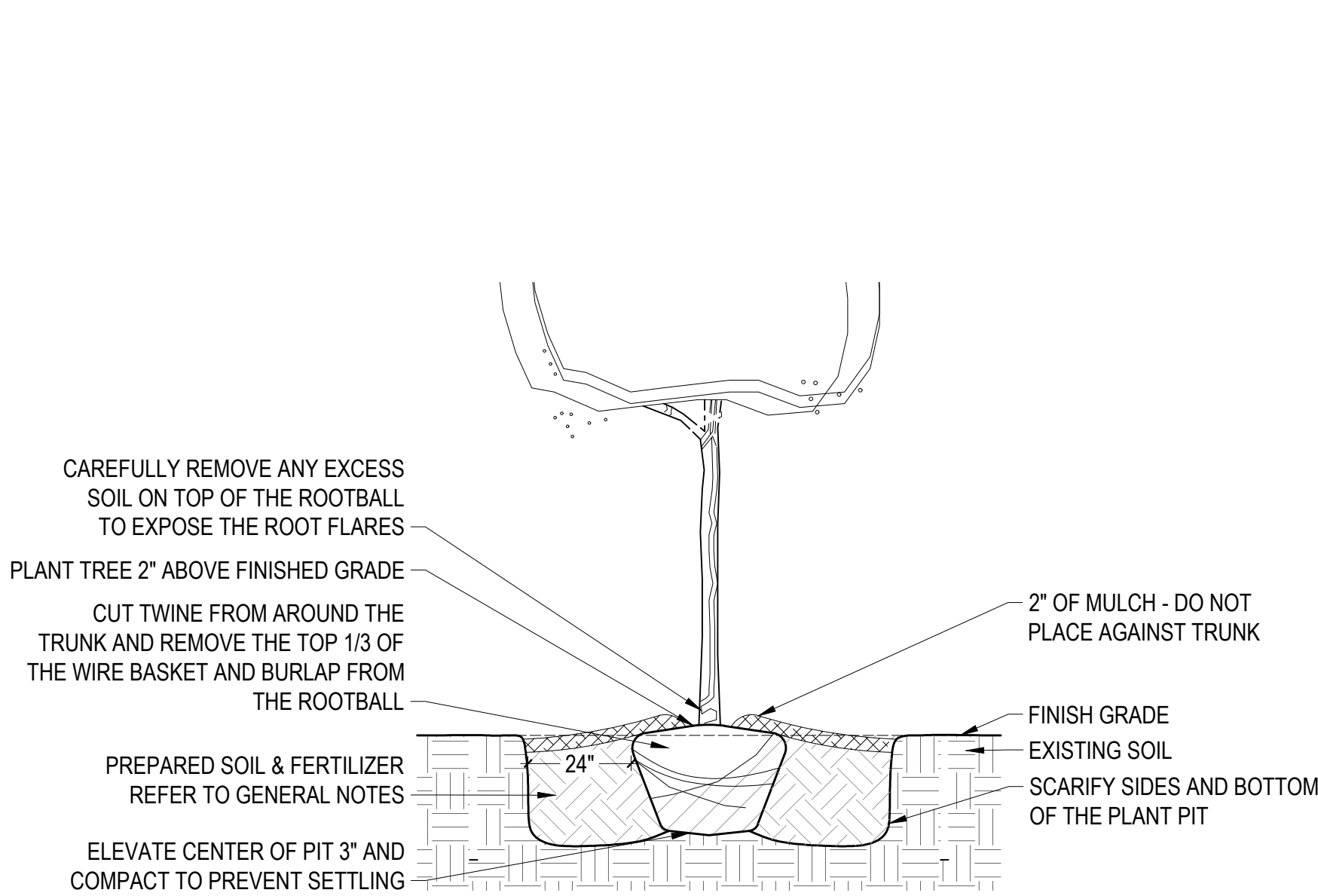
THE OWNER SHALL BE RESPONSIBLE FOR (UNLESS OTHERWISE SPECIFIED HEREIN: REGULAR MAINTENANCE OF ALL REQUIRED LANDSCAPED AREAS AND PLANT MATERIALS IN A VIGOROUS AND HEALTHY CONDITION, FREE FROM DISEASES, PESTS, WEEDS, AND LITTER. THIS MAINTENANCE SHALL INCLUDE WEEDING, WATERING, FERTILIZATION, PRUNING, MOWING, EDGING, MULCHING, OR OTHER NECESSARY MAINTENANCE IN ACCORDANCE WITH GENERALLY ACCEPTED HORTICULTURAL PRACTICE; THE REPAIR OR REPLACEMENT OF REQUIRED LANDSCAPE STRUCTURES (WALLS, FENCES, ETC.) TO A STRUCTURALLY SOUND CONDITION; THE REGULAR MAINTENANCE, REPAIR, OR REPLACEMENT, WHERE NECESSARY, OF ANY SCREENING OR BUFFERING; REPLACING PLANTED TREES IF THEY DIE OR BECOME DISEASED BEYOND REPAIR WITHIN FIVE (5) YEARS AFTER PLANTING REPAIRING DAMAGE TO LANDSCAPED AREAS, STRUCTURES, SCREENING, BUFFERING, OR TREES AS A RESULT OF INGRESS OR EGRESS FROM SITE EASEMENTS BY AUTHORIZED OR UNAUTHORIZED PARTIES.

GRADING

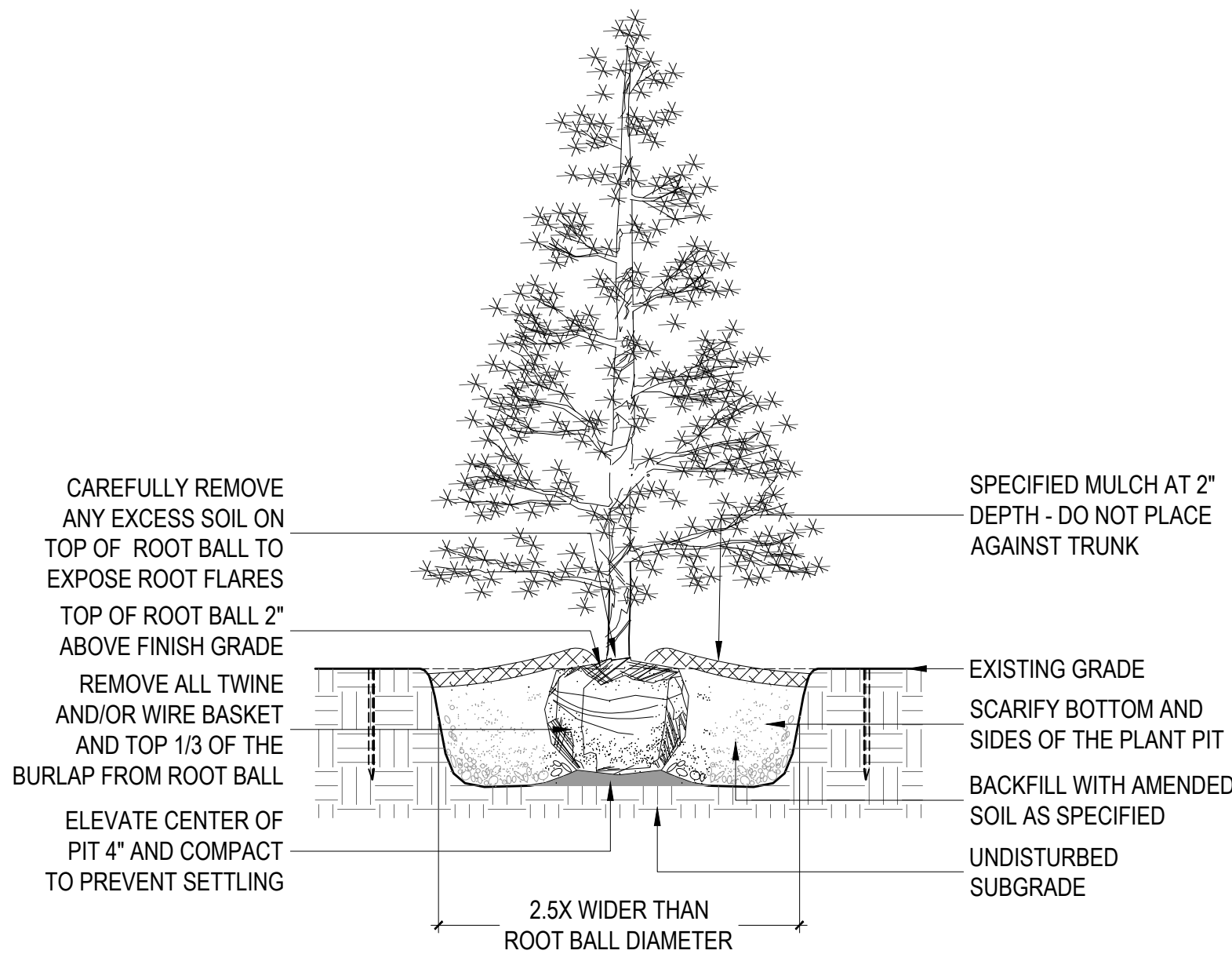
PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND OUT OF PLANTING BEDS. GRADING SHALL BE PERFORMED TO PREVENT PONDING IN LAWN AREAS. PROVIDE A SMOOTH TRANSITION BETWEEN THE SITE AND ADJACENT PROPERTIES.

IRRIGATION

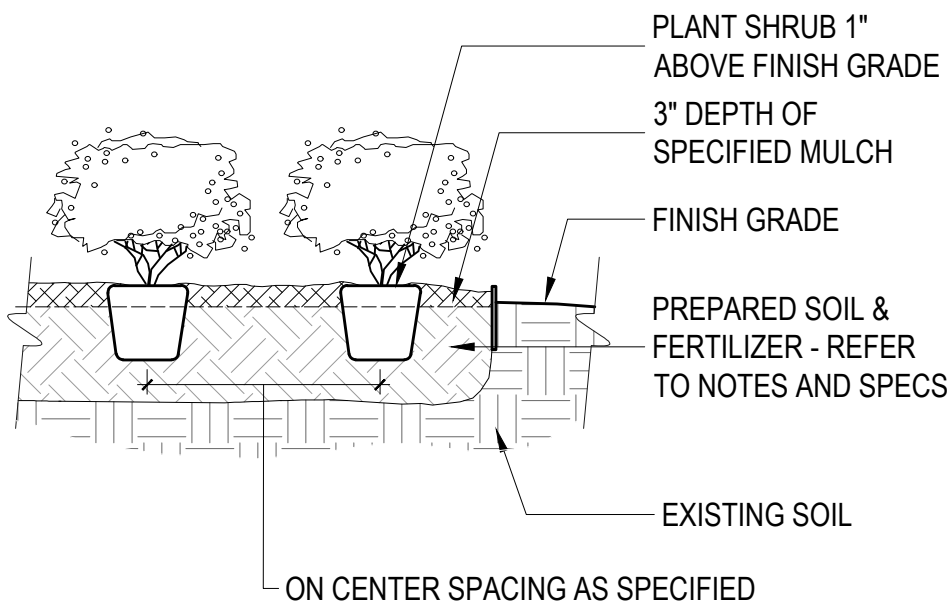
ALL DESIGNATED AREAS OF THE SITE ARE TO BE IRRIGATED WITH A FULLY AUTOMATIC PERMANENT UNDERGROUND IRRIGATION SYSTEM. REFER TO IRRIGATION PLANS FOR DETAILED IRRIGATION SYSTEM DRAWINGS. COORDINATE WITH LANDSCAPE INSTALLATION. PROVIDE AN AS-BUILT IRRIGATION DOCUMENT FOR OWNER'S FILE WHEN COMPLETED



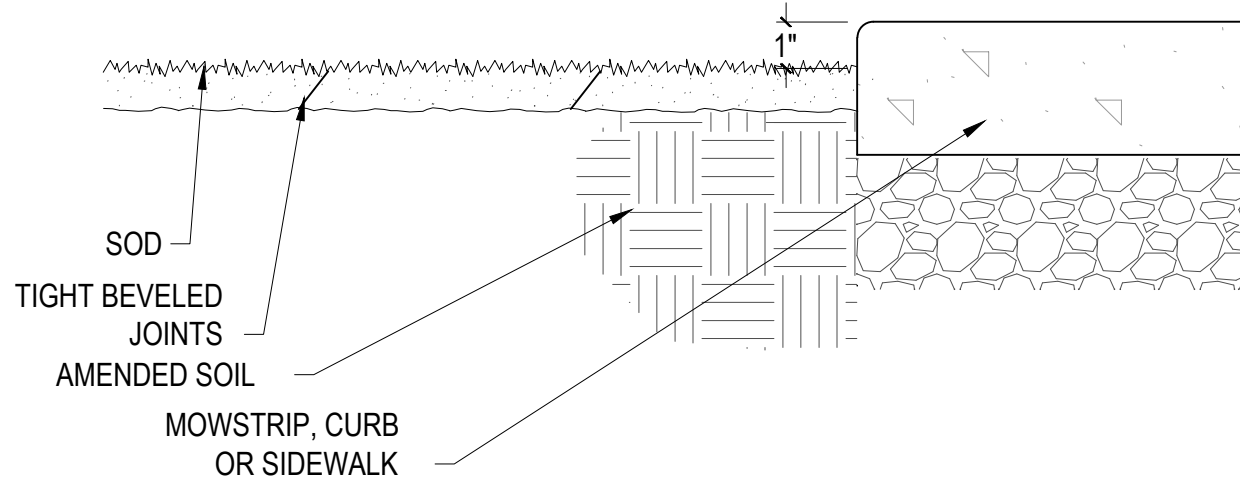
A TREE PLANTING - DECIDUOUS - WITH STAKING
SCALE: N.T.S.



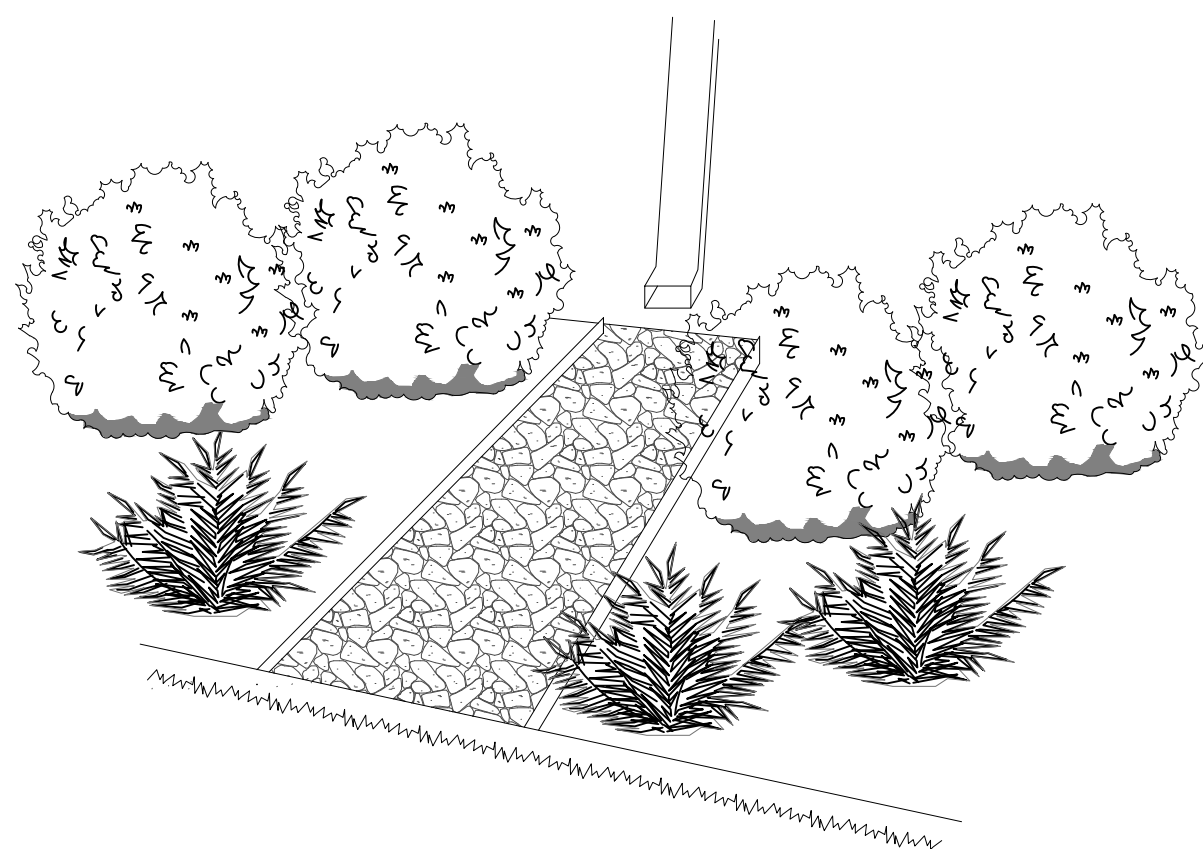
B TREE PLANTING - EVERGREEN - WITH STAKING
SCALE: N.T.S.



C SHRUB PLANTING
SCALE: N.T.S.



D SOD INSTALLATION
SCALE: N.T.S.



E DOWNSPOUT TREATMENT (TYP)
SCALE: N.T.S.