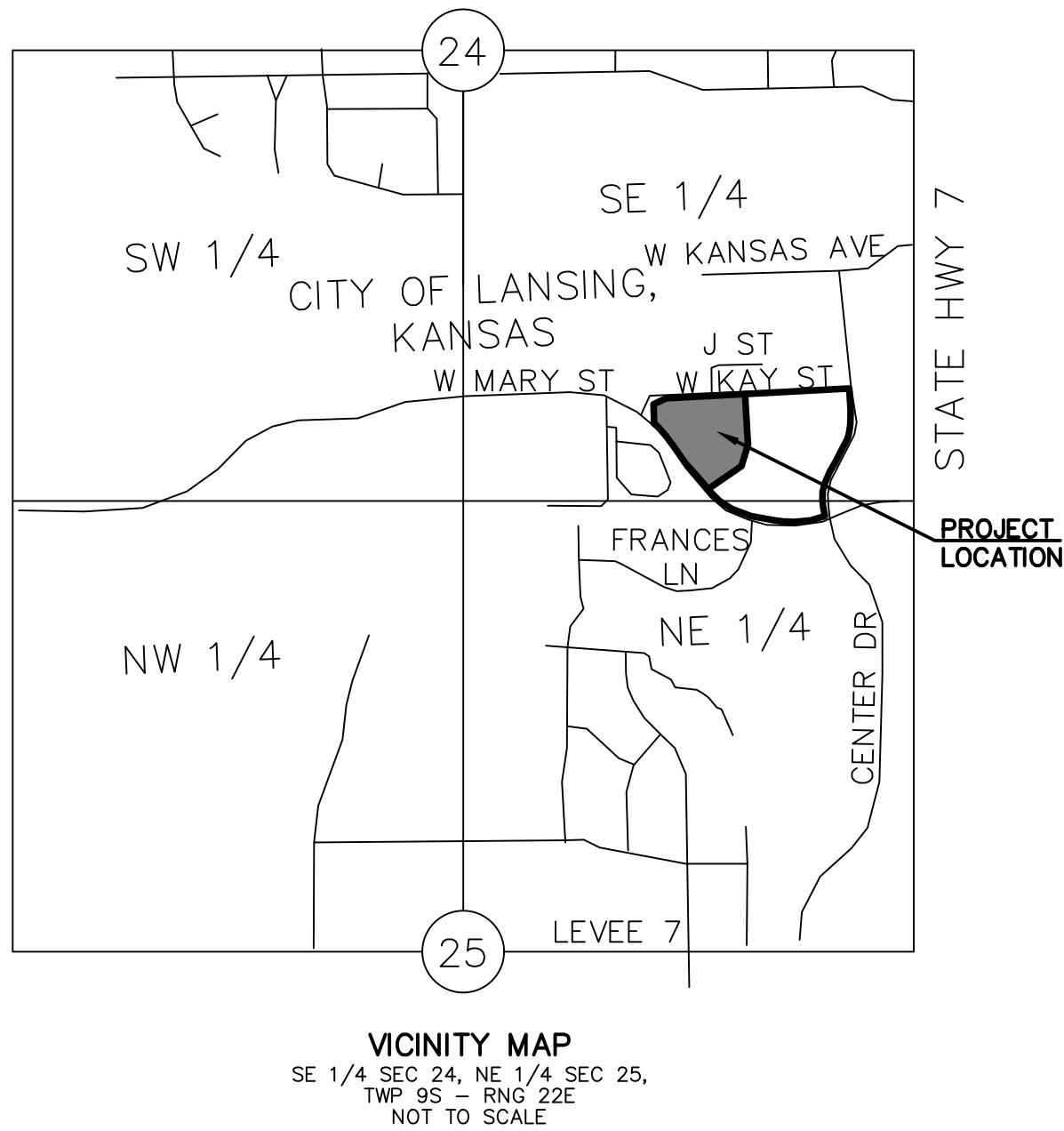


COVINGTON WOODS II
SITE PLANS
LOT 1, LANSING TOWNE CENTRE NORTH,
CITY OF LANSING, LEAVENWORTH COUNTY, KANSAS 66043



Sheet List Table

- C001 TITLE SHEET
- C100 OVERALL SITE PLAN
- C200 DIMENSION PLAN
- C210 COORDINATE TABLE
- C300 GRADING PLAN
- C400 EROSION CONTROL PLAN – PHASE I
- C410 EROSION CONTROL PLAN – PHASE II
- C420 EROSION CONTROL PLAN – PHASE III
- C500 UTILITY PLAN
- S1 ARCHITECTURAL SITE PLAN
- SL1 SITE LIGHTING
- SL2 SITE LIGHTING
- A1 UNIT PLANS
- AB1 BUILDING 1 PLAN & ELEVATIONS
- AB2 BUILDING 2 PLANS
- AB3 BUILDING 2 ELEVATIONS
- AB4 BUILDING 3 PLANS
- AB5 BUILDING 3 ELEVATIONS
- CA1 CLUBHOUSE PLAN
- CA2 CLUBHOUSE ELEVATIONS
- SD1 MAINT GAR. & TRASH PLANS & ELEVATIONS
- CP–1 PRE DEVELOPMENT LANDSCAPE PLAN
- CP–2 LANDSCAPE DETAILS & NOTES

DESCRIPTION:
THE WESTERN 4.726 ACRES OF LOT 1, LANSING TOWNE CENTRE, A SUBDIVISION IN THE CITY OF LANSING, LEAVENWORTH COUNTY, KANSAS, RECORDED IN DOCUMENT #2008P00022 AT THE REGISTER OF DEEDS OFFICE IN LEAVENWORTH COUNTY, KANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWESTERN MOST CORNER OF SAID LOT 1, SAID POINT ALSO BEING ON THE SOUTH RIGHT OF WAY LINE OF WEST KAY STREET AS NOW ESTABLISHED; THENCE NORTH 87°02'20" EAST ON THE NORTH LINE OF SAID LOT 1, A DISTANCE OF 460.08 FEET TO A POINT; THENCE SOUTH 03°18'19" EAST, A DISTANCE OF 297.16 FEET TO A POINT; THENCE SOUTH 16°59'54" WEST, A DISTANCE OF 129.64 FEET TO A POINT; THENCE SOUTH 55°23'50" WEST, A DISTANCE OF 231.36 FEET TO A POINT ON THE SOUTHWESTERLY LINE OF SAID LOT 1, SAID POINT ALSO BEING ON THE NORTHEASTERLY RIGHT OF WAY LINE OF WEST MARTY STREET AS NOW ESTABLISHED; THENCE NORTH 39°56'39" WEST ON THE SOUTHWESTERLY LINE OF SAID LOT 1, A DISTANCE OF 221.54 FEET TO A POINT; THENCE NORTH 34°34'26" WEST CONTINUING ON SAID SOUTHWESTERLY LINE, A DISTANCE OF 128.71 FEET TO A POINT; THENCE ON A CURVE TO THE LEFT CONTINUING ON SAID SOUTHWESTERLY LINE, HAVING A RADIUS OF 686.17 FEET, A DELTA ANGLE OF 10°51'03" AND AN ARC LENGTH OF 129.95 FEET TO A POINT ON THE WEST LINE OF SAID LOT 1; THENCE NORTH 01°46'43" WEST ON SAID WEST LINE, A DISTANCE OF 130.87 FEET TO A POINT; THENCE ON A CURVE TO THE RIGHT CONTINUING ON SAID WEST LINE, HAVING A RADIUS OF 232.47 FEET, A DELTA ANGLE OF 11°39'44" AND AN ARC LENGTH OF 47.32 FEET TO A POINT; THENCE NORTH 73°58'15" EAST CONTINUING ON SAID WEST LINE, A DISTANCE OF 11.50 FEET TO A POINT; THENCE NORTH 16°01'45" WEST CONTINUING ON SAID WEST LINE, A DISTANCE OF 1.53 FEET TO THE POINT OF BEGINNING. CONTAINS 205,883 SQUARE FEET OR 4.726 ACRES MORE OR LESS.

NO FIELD WORK WAS PERFORMED AT THIS TIME AND THIS DESCRIPTION DOES NOT MEET THE REQUIREMENTS OF K.S.A. 19–1434, WHICH REQUIRES A SURVEY TO BE FILED WHEN CREATING A NEW PARCEL OR DESCRIPTION FOR THE TRANSFER OF REAL PROPERTY.

END OF DESCRIPTION

PREPARED FOR:
ZIMMERMAN PROPERTIES, LLC.
1329 LARK ST.
SPRINGFIELD, MO 65804
PHONE: (417)–883–1632
CONTACT: MANDI PASWATERS
EMAIL: mpaswaters@wilhoitproperties.com

PREPARED BY:
KAW VALLEY
ENGINEERING, INC.
14700 W 114TH TERR.
LENEXA, KANSAS 66215
PHONE: (913) 894–5150
CONTACT: KYLE KIPPES
EMAIL: kippes@kveng.com

OWNER:
CITY OF LANSING
800 1ST TERRACE
LANSING, KS 66043

LAND AREA:
TOTAL = 205,883 SF OR 4.73 AC±

ZONING:
"R–4" – MULTIFAMILY
RESIDENTIAL DISTRICT

PROPOSED USE:
MULTIFAMILY RESIDENCIES

Reviewed by CED

09/07/2023 3:33:41 PM
By jgentzler

Reviewed By WW Dept
No Comments

09/11/2023 9:44:19 AM
By T Zell

Reviewed by Public Works

09/12/2023 3:12:41 PM
By mspickelmier

SAFETY NOTICE TO CONTRACTOR

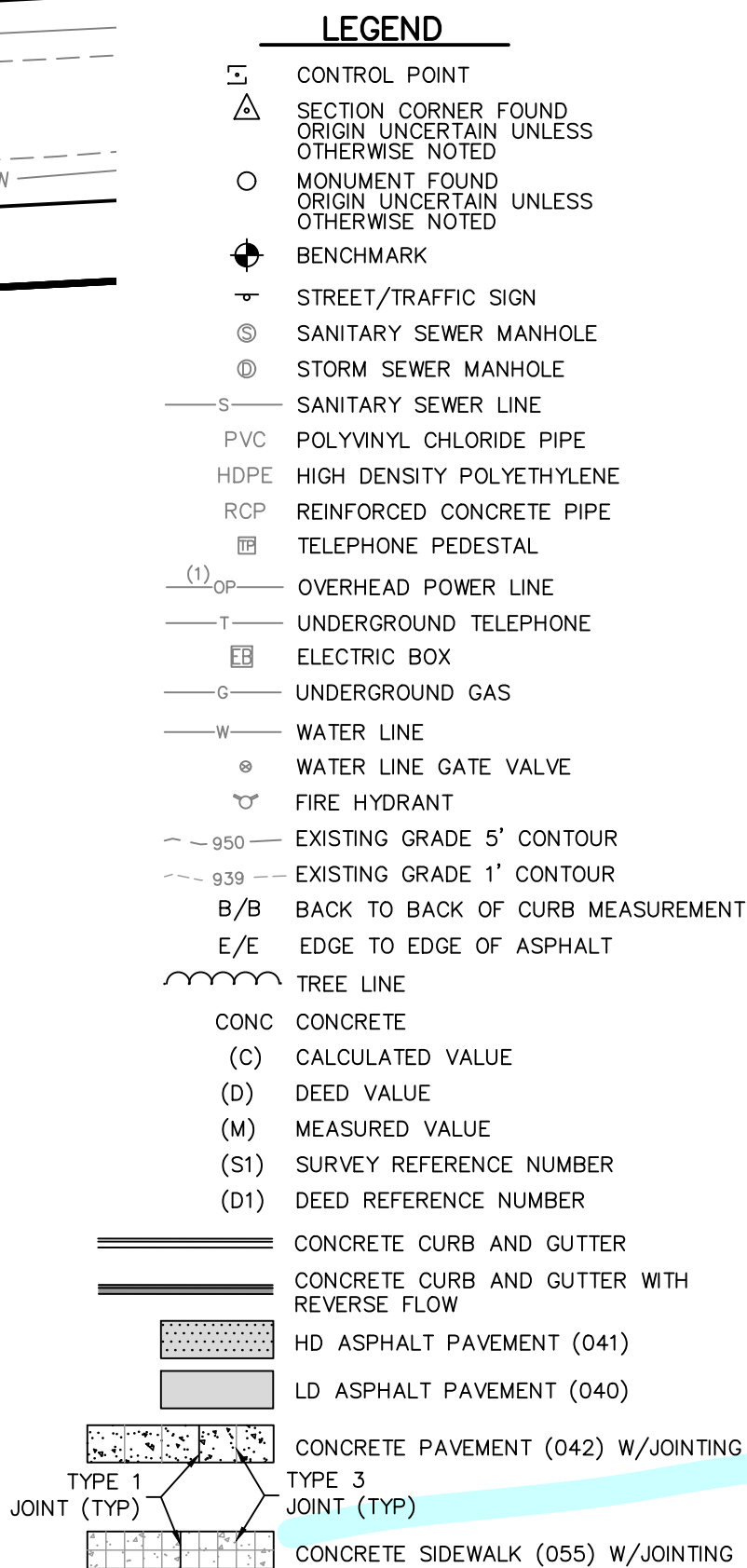
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

WARRANTY / DISCLAIMER

THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER KAW VALLEY ENGINEERING, INC NOR ITS PERSONNEL CAN OR DO WARRANTY THESE DESIGNS OR PLANS AS CONSTRUCTED, EXCEPT IN THE SPECIFIC CASES WHERE KAW VALLEY ENGINEERING PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

CAUTION – NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.



Know what's **below**.
Call before you dig.

PREPARED BY:
KAW VALLEY
ENGINEERING, INC.
14700 W 114TH TERR.
LENEXA, KANSAS 66215
PHONE: (913) 894-5150
CONTACT: KYLE KIPPES
EMAIL: kippes@kveng.com

1. COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH OWNER.
2. CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED THE CITY OF LANSING TECHNICAL SPECIFICATIONS.
3. ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION WITH AND IN ACCORDANCE WITH REGULATIONS OF THE AUTHORITIES CONCERNED.
4. PUBLIC CONVENIENCE AND SAFETY: THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL INSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC, AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG AND ADJACENT TO HIGHWAYS IN THE CONSTRUCTION AREA.
5. ALL DIMENSIONS SHOWN ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
6. ALL TRAFFIC CONTROL DEVICES, INSTALLATION AND OPERATIONS SHALL CONFORM WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
7. PAINT FOR STRIPING ON PUBLIC STREETS, HIGHWAYS AND ENTRANCES SHALL BE REFLECTORIZED PAINT CONFORMING TO THE SPECIFICATIONS OR REQUIREMENTS OF THE AUTHORITY GOVERNING THE STREET OR HIGHWAY.
8. CONTRACTOR TO PROVIDE INSPECTION SERVICE FOR FILL PLACEMENT, PAVEMENT, RETAINING WALL AND PRIVATE UTILITIES INSTALLATION. COPIES OF INSPECTION REPORTS ARE TO BE PROVIDED TO CITY, INCLUDING BUT NOT LIMITED TO DAILY LOGS, COMPACTION RESULTS, MATERIAL TESTING AND PHOTOGRAPHS.

001 CONCRETE CURB AND GUTTER
002 CURB AND GUTTER - DRY CURB
040 ASPHALT PAVEMENT
041 HEAVY DUTY ASPHALT PAVEMENT
042 HEAVY DUTY CONCRETE PAVEMENT
055 CONCRETE SIDEWALK
060 SIDEWALK RAMPS
061 PRIVATE SIDEWALK RAMPS
102 ACCESSIBLE & VAN ACCESSIBLE SPACE STRIPING
103 PEDESTRIAN CROSSING
120 ACCESSIBLE PARKING SIGNAGE
450 RETAINING WALL - CONTRACTOR SHALL PROVIDE REINFORCING
DESIGN SIGNED AND SEALED BY AN ENGINEER LICENSED IN THE
STATE OF KANSAS
470 FENCE

NOTES:

7 EXISTING SIDEWALK
8 CONCRETE SWALE
12 WHITE PARKING LOT STRIPING (SHERWIN-WILLIAMS TM 2160 LEAD FREE OR
APPROVED EQUAL)
60 STORM STRUCTURE (SEE C600 SERIES SHEETS)
70 SANITARY SEWER APPURTENANCES (SEE SHEET C500)
80 WATER APPURTENANCES (SEE SHEET C500)
84 FIRE HYDANT (SEE SEPARATE WATER MAIN PLANS)
90 PLAYGROUND
91 MONUMENT SIGN (SEE ARCHITECTURAL PLAN)
96 TRASH ENCLOSURE (SEE ARCHITECTURAL PLAN)
97 CAST IN PLACE STEM WALL

CP #60
2" ALUMINUM CAP STAMPED BM L2-09 FOUND AND HELD
NORTHING: 347157.89 (GROUND)
EASTING: 2189985.31 (GROUND)
ELEV: 857.58

CP #100
1/2"x24" REBAR W/ ORANGE CONTROL CAP
NORTHING: 346949.53 (GROUND)
EASTING: 2189016.43 (GROUND)
ELEV: 874.35

CP #301
1/2"x24" REBAR W/ ORANGE CONTROL CAP
NORTHING: 347691.37
EASTING: 2188509.13
ELEV: 837.22

CP #302
1/2"x24" REBAR W/ ORANGE CONTROL CAP
NORTHING: 347759.73
EASTING: 2189092.17
ELEV: 853.01

BM #61
SQUARE CUT SET ON CENTERLINE OF FRONT FACE OF 1ST CURB
INLET SOUTHEAST OF INTERSECTION OF KAY STREET AND MARY
STREET.
ELEV: 841.87

BM #151
2" ALUMINUM CAP STAMPED BM L2-09 FOUND.
ELEV: 857.60

THE SURVEYED PROPERTY IS SHOWN TO BE LOCATED IN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DEPICTED ON THE FLOOD INSURANCE RATE MAP NO. 20103C0232G, MAP REVISED JULY 16, 2015, CITY OF LANSING, LEAVENWORTH COUNTY, KANSAS. LOCATION DETERMINED BY A SCALED GRAPHICAL PLOT OF THE FLOOD INSURANCE RATE MAP.

1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE, SLOPED PAVING, EXIT RAMPCHES, RAISES, TIEBACKS, ETC., PRECISE BUILDING DIMENSIONS AND EXIST BUILDING UTILITY ENTRANCE LOCATIONS.

2. THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACTOR DOCUMENTS.

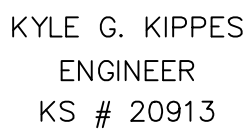
3. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.
4. ALL DIMENSIONS ARE PERPENDICULAR TO PROPERTY LINE.
5. ACTUAL SIGN LOCATIONS TO BE COORDINATED WITH CONSTRUCTION MANAGER.

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

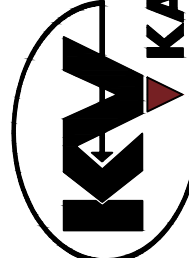
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THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.

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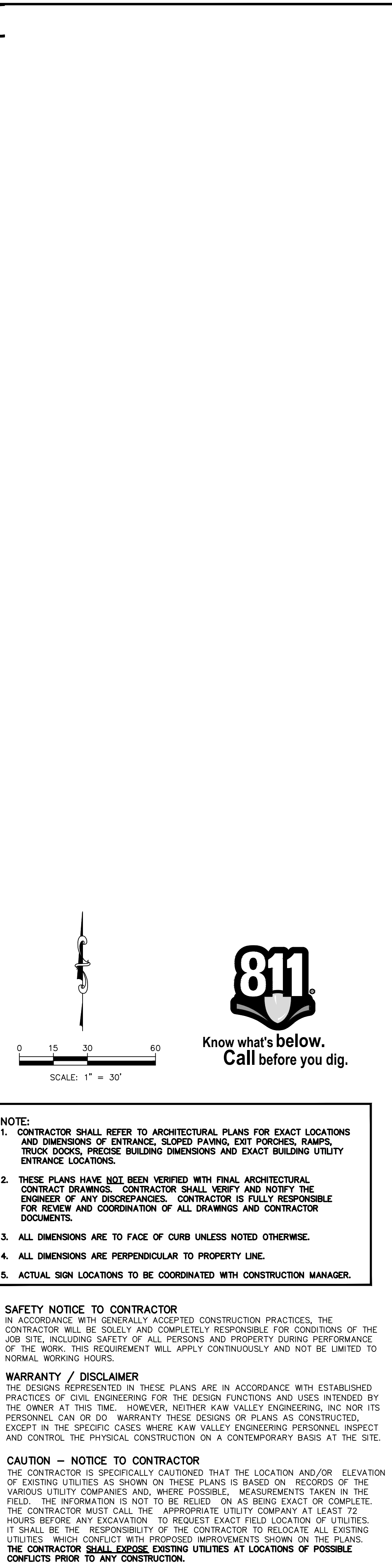


KAW VALLEY ENGINEERING, INC., IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY KANSAS STATE CERTIFICATE OF AUTHORIZATION # E-113.

**COVINGTON WOODS II
WEST MARY STREET AND WEST KAY STREET
LANSING, KANSAS 66043**

SITE PLANS
SITE PLAN

PROJ. NO.		C23_1644	
DESIGNER	KGK	DRAWN BY	HAS/JQ
CFN		1644SP	
SHEET		RE	
C100		E	



1. THE CONSTRUCTION AREA SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL AND ORGANIC MATTER FROM ALL AREAS TO BE OCCUPIED BY BUILDING AND PAVING. TOPSOIL FOR REPLACEMENT ON SLOPES MAY BE STOCKPILED ON SITE. EXCESS TOPSOIL MAY BE WASTED IN FILL SLOPES PROVIDED THAT NO TOPSOIL WILL BE WASTED WITHIN 10 FEET OF THE EDGE OF THE BUILDING OR PARKING AREA. BURNING OF TIMBER WILL NOT BE PERMITTED UNLESS APPROVAL IS OBTAINED FROM GOVERNING OFFICIALS. STRIPPING EXISTING TOPSOIL AND ORGANIC MATTER SHALL BE TO A MINIMUM DEPTH OF 6 INCHES.

3. OFF-SITE FILL MATERIAL SHALL HAVE A PLASTICITY INDEX OF 25 OR LESS, A LIQUID LIMIT OF 45 OR LESS AND CONTAIN NO ROCK LARGER THAN FOUR INCHES. OFF-SITE FILL MATERIAL SHALL BE APPROVED BY THE OWNER ENGINEER PRIOR TO BRINGING ON SITE.

4. EARTHWORK UNDER THE BUILDING SHALL COMPLY WITH THE PROJECT ARCHITECTURAL PLANS. OTHER FILL MATERIAL SHALL BE MADE IN LIFTS NOT TO EXCEED EIGHT INCHES DEPTH COMPACTED TO 95% STANDARD PROCTOR DENSITY. FILL MATERIAL MAY INCLUDE ROCK FROM ON-SITE EXCAVATION IF CAREFULLY PLACED SO THAT LARGE STONES ARE WELL DISTRIBUTED AND VOIDS ARE COMPLETELY FILLED WITH SMALLER STONES, EARTH, SAND OR GRAVEL TO FURNISH A SOLID EMBANKMENT. NO ROCK LARGER THAN THREE INCHES IN ANY DIMENSION NOR ANY SHALE SHALL BE PLACED IN THE TOP 12 INCHES OF EMBANKMENT.

5. AREAS THAT ARE TO BE CUT TO SUBGRADE LEVELS SHALL BE PROOF ROLLED WITH A MODERATELY HEAVY LOADED DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOIL CONDITIONS.

6. IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOIL CONDITIONS ARE ENCOUNTERED, A QUALIFIED GEOTECHNICAL ENGINEER SHALL RECOMMEND TO THE OWNER ENGINEER THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROPERLY COMPACTED, APPROVED FILL MATERIAL. ALL PROOFROLLING AND UNDERCUTTING SHOULD BE PERFORMED DURING A PERIOD OF DRY WEATHER.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.

8. ALL SLOPES ARE TO BE 3:1 OR FLATTER UNLESS OTHERWISE INDICATED.

9. ALL SLOPES EXCEEDING 3:1 SHALL BE PROTECTED BY RIP RAP, CONCRETE PAVING, OR OTHER METHODS INDICATED ON THESE PLANS, THAT WILL PREVENT EROSION AND PLACED SUCH THAT THE SURFACE IS FLUSH WITH SURROUNDING GROUND AND SHAPED TO CHANNEL WATER IN DIRECTIONS INDICATED.

10. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON-SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.

11. CONTRACTOR SHALL USE SILT FENCE, STRAW BALES OF HAY OR OTHER MEANS OF CONTROLLING EROSION ALONG THE EDGE OF THE PROPERTY OR OTHER BOTTOM OF SLOPE LOCATIONS.

12. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS.

13. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.

14. IT IS NOT THE DUTY OF THE ENGINEER OR THE OWNER TO REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE AT ANY TIME DURING CONSTRUCTION.

16. PIPE LENGTHS ARE CENTER TO CENTER OF STRUCTURE OR TO END OF END SECTIONS.

17. CONTRACTOR TO PROVIDE WALL DETAILS AND PLANS SEALED BY A KANSAS LICENSED ENGINEER. WALL DESIGNER TO VERIFY BEARING CAPACITY AND GLOBAL STABILITY FOR WALL CALCULATIONS.

△	CONTROL POINT	⌚	ELECTRIC BOX
△	SECTION CORNER FOUND ORIGIN UNCERTAIN UNLESS OTHERWISE NOTED	—G	UNDERGROUND GAS
⊙	MONUMENT FOUND ORIGIN UNCERTAIN UNLESS OTHERWISE NOTED	W	WATER LINE
⊙	BENCHMARK	⌚	WATER LINE GATE VALVE
⊙	STREET/TRAFFIC SIGN	⌚	FIRE HYDRANT
⊙	SANITARY SEWER MANHOLE	—950	EXISTING GRADE 5' CONTOUR
⊙	STORM SEWER MANHOLE	—939	EXISTING GRADE 1' CONTOUR
—S—	SANITARY SEWER LINE	B/B	BACK TO BACK OF CURB MEASUREMENT
PVC	POLYVINYL CHLORIDE PIPE	E/E	EDGE TO EDGE OF ASPHALT
HDPE	HIGH DENSITY POLYETHYLENE	~~~~~	TREE LINE
RCP	REINFORCED CONCRETE PIPE	CONC	CONCRETE
⊙	TELEPHONE PEDESTAL	(C)	CALCULATED VALUE
OP—	OVERHEAD POWER LINE	(D)	DEED VALUE
T—	UNDERGROUND TELEPHONE	(M)	MEASURED VALUE
		(S1)	SURVEY REFERENCE NUMBER
		(D1)	DEED REFERENCE NUMBER

IF DISCREPANCIES EXIST BETWEEN THE GRADING NOTES BELOW AND THE RECOMMENDATIONS OUTLINED IN THE PROJECT GEOTECHNICAL REPORT, THE RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT SHALL GOVERN.

THE SURVEYED PROPERTY IS SHOWN TO BE LOCATED IN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DEPICTED ON THE FLOOD INSURANCE RATE MAP NO. 20103C0232G, MAP REVISED JULY 16, 2015, CITY OF LANSING, LEAVENWORTH COUNTY, KANSAS. LOCATION DETERMINED BY A SCALED GRAPHICAL PLOT OF THE FLOOD INSURANCE RATE MAP.

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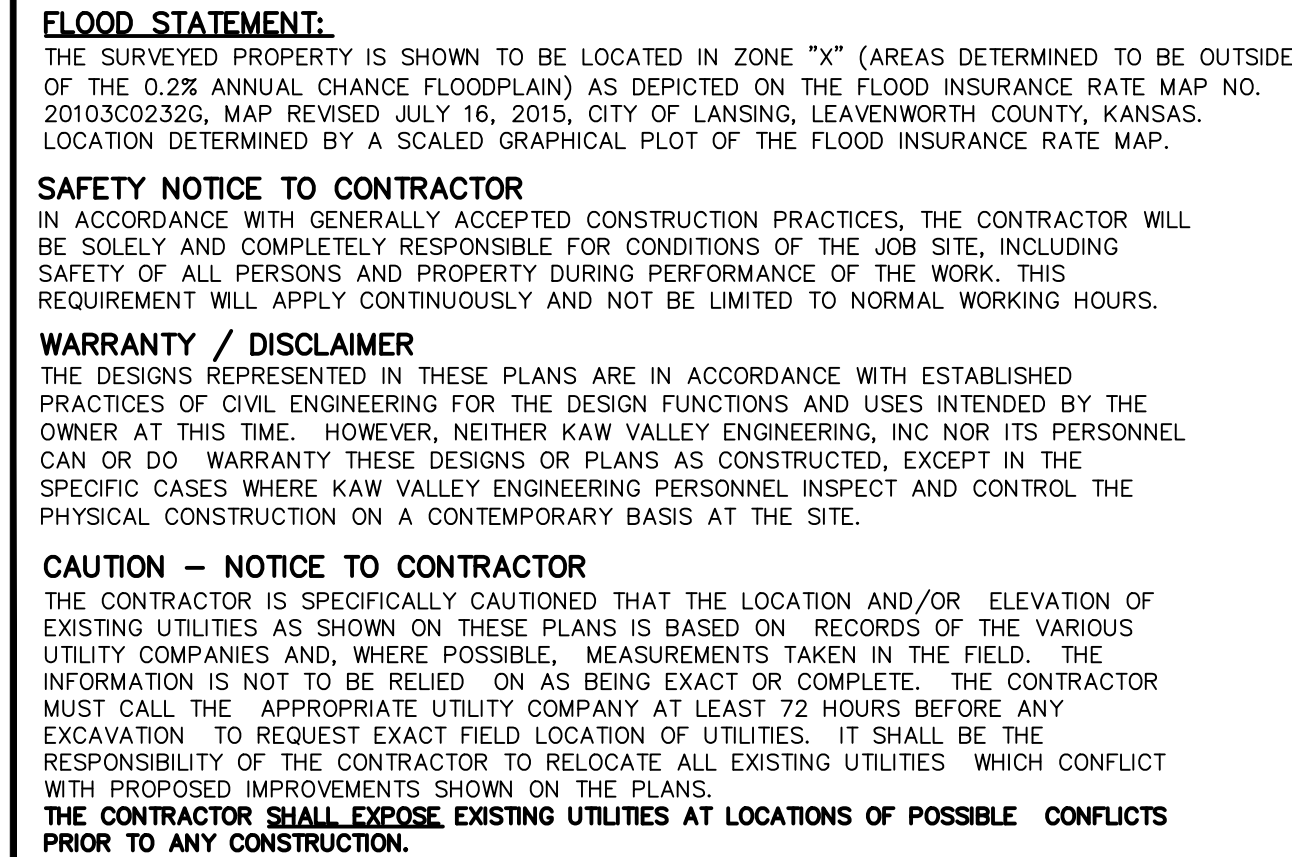
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Know what's **below**.
Call before you dig.

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<div>COVINGTON WOODS II</div> <div>WEST MARY STREET AND WEST KAY STREET</div> <div>LANSING, KANSAS 66043</div>		<div></div> <div>KAW VALLEY ENGINEERING</div> <div>KAW VALLEY ENGINEERING, INC., IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY KANSAS STATE CERTIFICATE OF AUTHORIZATION # E-113. EXPIRES 12/31/24</div>	<div>14700 WEST 147TH TERRACE LENEXA, KANSAS 66225 PH. (913) 894-5150 lx@kveeng.com www.kveeng.com</div>	<div>KYLE G. KIPPES ENGINEER KS # 20913</div>	<div></div>	<div>B9/5/23</div> <div>A8/21/23</div>	<div>PER CITY COMMENTS</div> <div>INITIAL SUBMITTAL</div>			
PROJ. NO.		C23-1644								
DESIGNER		KGK	DRAWN BY		HAS/JQN					
CFN		1644GP								
SHEET		C300	REV							
		B								



Know what's **below**.
Call before you dig.

- | | |
|-----|---|
| | FOR THE FOLLOWING DETAILS
DETAILS - SEE SHEET C490 |
| 047 | CONSTRUCTION ENTRANCE DETAIL |
| 812 | SEDIMENTATION FENCE |
| 816 | INLET PROTECTION |
| 818 | CURB INLET PROTECTION |
| 826 | CONCRETE WASHOUT |

Legend:

- EXISTING GROUND CONTOUR (1' INTERVALS)
- PROPOSED FINISHED GROUND CONTOUR (1' INTERVALS)
- SEDIMENTATION FENCE
- INLET PROTECTION
- CONSTRUCTION ENTRANCE
- CONCRETE WASH AREA

SEEDING PREPARATION - SEEDBED SHOULD BE WELL-PULVERIZED, LOOSE AND UNIFORM. LIME AND FERTILIZER SHOULD BE APPLIED ACCORDING TO SOIL TEST RECOMMENDATIONS. IF PH IS UNKNOWN, APPLY LIME AT A RATE OF 2 TONS/ACRE. APPLY A 10-10-10 GRADE FERTILIZER AT 700-1000 LBS/ACRE. INCORPORATE TO A DEPTH OF 2-3 INCHES.

PLANT SELECTION - ANNUAL RYE GRASS, WHEAT OR OATS FOR TEMPORARY SEEDING

SEEDING - EVENLY APPLY SEED USING A CYCLONE SEEDER (BROADCAST), DRILL, CULTIPLACER SEEDER OR HYDROSEEDER. ANNUAL RYE GRASS SHOULD BE APPLIED AT A RATE OF 120 LBS/ACRE, WHEAT OR OATS SHOULD BE APPLIED AT A RATE OF 100 LBS/ACRE.



BROADCAST SEEDING AND HYDROSEEDING ARE APPROPRIATE FOR STEEP SLOPES WHERE EQUIPMENT CANNOT BE DRIVEN, HAND SEEDING IS BEST FOR STEEP SLOPES.

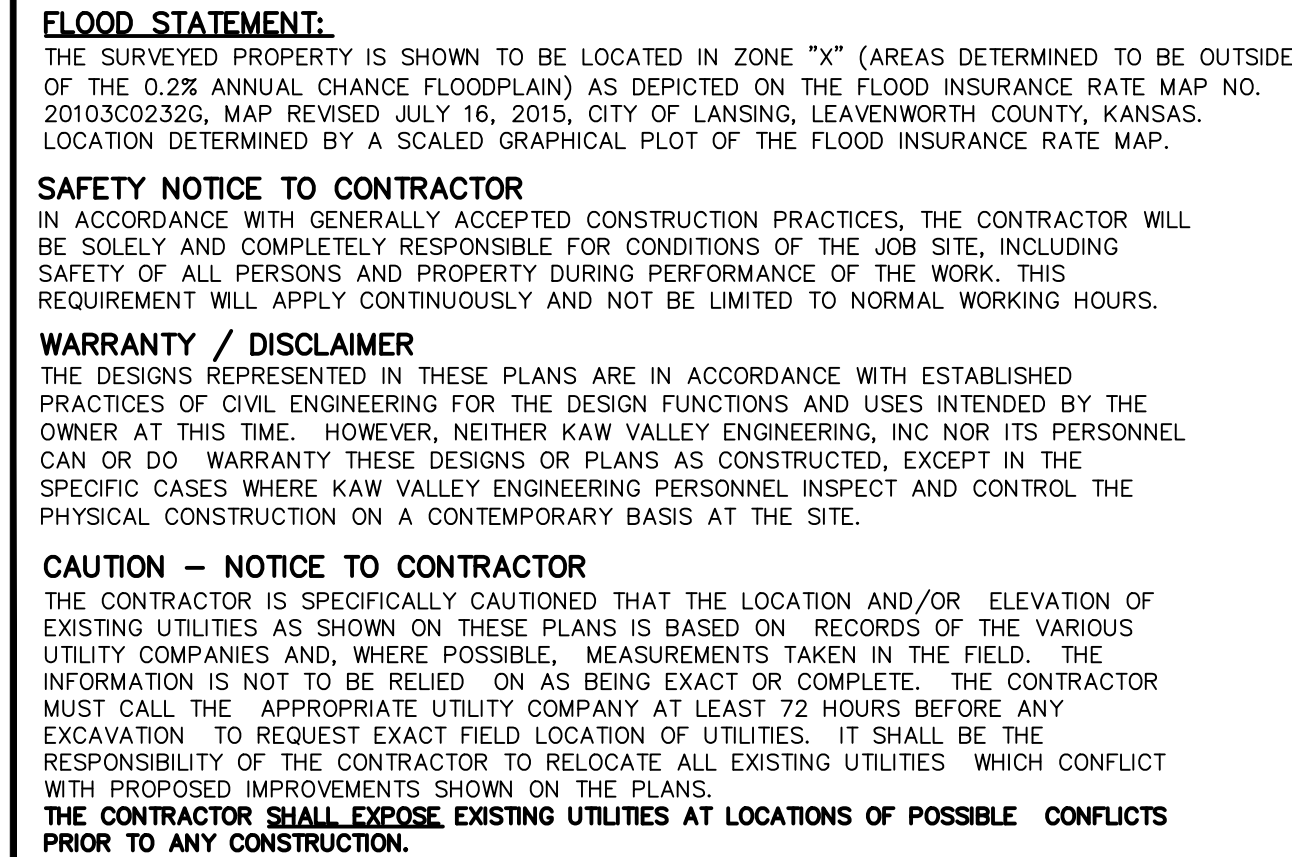
SMALL GRASS SEEDS SHOULD BE PLANTED NO MORE THAN 1 INCH DEEP, AND GRASSES AND LEGUMES NO MORE THAN 1/2 INCH. BROADCAST SEED MUST BE COVERED BY RAKING OR CHAIN DRAGGING, AND THEN LIGHTLY FIRMED WITH A ROLLER OR CULTIPLACER. HYDROSEEDED MIXTURES SHOULD INCLUDE A WOOD FIBER (CELLULOSE) MULCH.

MULCHING - THE USE OF MULCH WILL HELP ENSURE ESTABLISHMENT UNDER NORMAL CONDITIONS AND IS ESSENTIAL TO SEEDING SUCCESS UNDER HARSH CONDITIONS SUCH AS SEEDING IN FALL OR WINTER COVER (WOOD FIBER MULCHES ARE NOT CONSIDERED ADEQUATE FOR THIS USE), SLOPES STEEPER THAN 3:1, EXCESSIVELY HOT OR DRY WEATHER, ADVERSE SOILS (SHALLOW, ROCKY, HIGH IN CLAY OR SAND), AND AREAS RECEIVING CONCENTRATED FLOW. IF AREA TO BE MULCHED IS SUBJECT TO CONCENTRATED WATERFLOW, AS IN CHANNELS, ANCHOR MULCH WITH NETTING.

MAINTENANCE - RESEED, REHYDRATE AND MULCH AREAS OF INSUFFICIENT GROWTH. RESEED, REFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

SEE LANDSCAPING PLAN OF THE PROJECT SPECIFICATIONS FOR PERMANENT SEEDING REQUIREMENTS

COVINGTON WOODS II WEST MARY STREET AND WEST KAY STREET LANSING, KANSAS 66043		 KAW VALLEY ENGINEERING KAW VALLEY ENGINEERING, INC., IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY KANSAS STATE CERTIFICATE OF AUTHORIZATION # E-11.3. EXPIRES 12/31/24		 KYLE G. KIPPE'S ENGINEER KS # 20913		B 9/5/23 PER CITY COMMENTS A 8/21/23 INITIAL SUBMITTAL		JON JON KKK KKK		DSN DWN CHK	
PROJ. NO. C23-1644		DESIGNER KGK DRAWN BY HAS/JQN		CFN 1644CEP2		REV		SHEET C410		B	



- | | |
|-----|---|
| | FOR THE FOLLOWING DETAILS
DETAILS - SEE SHEET C490 |
| 047 | CONSTRUCTION ENTRANCE DETAIL |
| 812 | SEDIMENTATION FENCE |
| 816 | INLET PROTECTION |
| 818 | CURB INLET PROTECTION |
| 826 | CONCRETE WASHOUT |

Diagram illustrating the proposed finished ground contour and sedimentation fence. The diagram shows a cross-section of the ground profile with the following features:

- EXISTING GROUND CONTOUR (1' INTERVALS):** Indicated by a dashed line with a vertical scale of 1218.
- PROPOSED FINISHED GROUND CONTOUR (1' INTERVALS):** Indicated by a solid line with a vertical scale of 1218.
- SEDIMENTATION FENCE:** Represented by two 'X' marks on the ground profile.
- INLET PROTECTION:** Represented by a square symbol with a cross inside.
- CONSTRUCTION ENTRANCE:** Represented by a rectangular symbol with a cross inside.
- CONCRETE WASH AREA:** Represented by a circular symbol with the letters 'CW' inside.

SEEDING PREPARATION – SEEDBED SHOULD BE WELL-PULVERIZED, LOOSE AND UNIFORM. LIME AND FERTILIZER SHOULD BE APPLIED ACCORDING TO SOIL TEST RECOMMENDATIONS. IF UNKNOWN, APPLY LIME AT A RATE OF 2 TONS/ACRE. APPLY A 10-10-10 GRADE FERTILIZER AT 700-1,000 LBS/ACRE. INCORPORATE BOTH LIME AND FERTILIZER INTO THE TOP 2 INCHES OF SOIL.

PLANT SELECTION – ANNUAL RYE GRASS, WHEAT OR OATS FOR TEMPORARY SEEDING

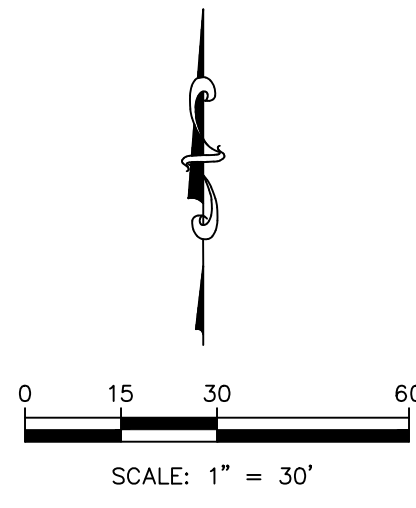
SEEDING – EVENLY APPLY SEED USING A CYCLONE SEEDER (BROADCAST), DRILL, CULTPACKER SEEDER OR HYDROSEEDER. ANNUAL RYE GRASS SHOULD BE APPLIED AT A RATE OF 120 LBS/ACRE, WHEAT OR OATS SHOULD BE APPLIED AT A RATE OF 100 LBS/ACRE. BROADCAST SEEDING SHOULD BE USED IF THE SEEDER IS NOT AVAILABLE. HYDROSEEDING IS NOT RECOMMENDED. DRIVEN HAND BROADCASTING IS NOT RECOMMENDED BECAUSE OF THE DIFFICULTY IN ACHIEVING A UNIFORM DISTRIBUTION. SMALL GRAIN SHOULD BE PLANTED NO MORE THAN 1 INCH DEEP, AND GRASSES AND LEGUMES NO MORE THAN 1/2 INCH. BROADCAST SEED MUST BE COVERED BY RAKING OR CHAIN DRAGGING, AND THEN LIGHTLY FIRMED WITH A ROLLER OR CULTPACKER. HYDROSEEDED MIXTURES SHOULD INCLUDE A WOOD FIBER (CELLULOSE) MULCH.

MULCHING – A 2 INCH DEEP LAYER OF MULCH WILL HELP ENSURE ESTABLISHMENT UNDER NORMAL CONDITIONS AND IS ESSENTIAL TO SEEDING UNDER HARSH CONDITIONS SUCH AS SEEDING IN FALL OR WINTER COVER (WOOD FIBER MULCHES ARE NOT CONSIDERED ADEQUATE FOR THIS USE). SLOPES STEEPER THAN 3:1, EXCESSIVELY HOT OR DRY WEATHER, ADVERSE SOILS (SHALLOW, ROCKY, HIGH IN CLAY OR SAND), AND AREAS RECEIVING CONCENTRATED FLOW. IF AREA TO BE MULCHED IS SUBJECT TO CONCENTRATED WATERFLOW, AS IN CHANNELS, ANCHOR MULCH WITH NETTING.

MAINTENANCE – RESEED, RESEEDING AND MULCH AREAS OF INSUFFICIENT GROWTH. RESEED, REFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

SEE LANDSCAPING PLAN OF THE PROJECT SPECIFICATIONS FOR PERMANENT SEEDING REQUIREMENTS

[illegible]



PROJ. NO.		C23_1644	
DESIGNER		DRAWN BY	
KGK		HAS/JQN	
CFN			
1644UP			
SHEET		REV	
C500		B	



Project Summary

Unit Mark	Description	1st Floor Level	2nd Floor Level	3rd Floor Level	Total By Unit Type	Net SF/Unit
B1	Two Bdrm/Two Bath	6	10	8	24	1,092
B1HC	Two Bdrm/Two Bath	2	0	0	2	1,092
C1	Three Bdrm/Two Bath	7	10	6	23	1,296
C1HC	Three Bdrm/Two Bath	1	0	0	1	1,296
Subtotals:		16	20	14	50	

Unit Mark	Description	Patio or Balcony	Exterior Storage	Gross Unit SF/Unit	Total Net SF
B1	Two Bdrm/Two Bath	73	34	1,199	26,208
B1HC	Two Bdrm/Two Bath	73	34	1,199	2,184
C1	Three Bdrm/Two Bath	73	32	1,401	29,808
C1HC	Three Bdrm/Two Bath	73	32	1,401	1,296
Subtotals:					59,496

	1st Floor	2nd Floor	3rd Floor	Total Gross SF
Unit Gross SF	20,800	26,000	17,998	64,798
Breezeway Area Gross SF	3,161	2,291	994	6,446
Water Service Closet Gross SF	63	0	0	63
Total Gross SF by Level:	24,024	28,291	18,992	71,307

Building Summary

	B1	B1HC	Total C1	Total C1HC	Total Units	Net SF	Gross SF
Building #1	4	0	3	1	8	9,496	11,245
Building #2	11	1	10	0	22	25,906	30,969
Building #3	9	1	10	0	20	23,740	28,765
Total	24	2	23	1	50	59,142	70,979

Clubhouse

**Total Net Area (Conditioned) 2,577 S.F.
***Total Gross Area 3,432 S.F.

Maintenance

Total Net Area (Conditioned) 584 S.F.
Total Gross Area 634 S.F.

Parking

Min. Parking Required per Zoning (2 spaces/unit per Zoning.) 100 Min. Spaces Required

Open Parking Provided 98 Spaces
Standard HC Parking Provided (1 at Clubhouse) 5 Spaces
Van Accessible HC Parking Provided (1 at Clubhouse) 3 Spaces
Total Open Parking Provided 106 Total Spaces Provided

	Required	Provided
Apartment Bicycle Parking (covered in breezeways)	50 Spaces (1/unit)	50 Spaces
Clubhouse Bicycle Parking (covered at front patio)	9 Spaces (1/300 sf)	9 Spaces

Site Notes:
Site Area (+/-) 4.87 Acres Densite 10.27 Units per Acre
R4 Zoning Standards: 25' front yard, 10' side yard, 30' rear yard, 45' max. building height.
Site Amenities include: Playground, tot-lot, dog park, covered BBQ/picnic area and monument sign.
Club Amenities: Clubroom, kitchenette, computer center, service coordinators office, and fitness center.

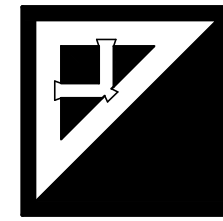
- All sidewalks shown will meet the minimum accessibility requirements at locations shown.
- Picnic tables and BBQ equipment shall be ADA compliant
- Tot-Lot and playscape equipment shall be ADA compliant
- Tot-Lot and playscape area shall be connected to an accessible route with ADA compliant ground cover. Engineered wood fiber playground mulch or approved equal

SITE LEGEND

- ACCESSIBLE PARKING COMPLYING WITH UFAS AND ANSI ACCESSIBILITY STANDARDS FOR STANDARD AND VAN ACCESSIBILITY
- ACCESSIBLE UNIT COMPLYING WITH UFAS, ACCESSIBILITY STANDARDS TYPICAL OF 3 TOTAL UNITS (5% MINIMUM). ALL OTHER UNITS ACCESSIBLE BY GRADE LEVEL SHALL COMPLY WITH THE STANDARDS OF THE FAIR HOUSING DESIGN MANUAL.
- UNITS FOR HEARING AND VISUAL IMPAIRMENTS AT NOTED LOCATIONS COMPLYING WITH UFAS STANDARDS. 2-TOTAL UNIT (2% MINIMUM).
- LOCATION OF ACCESSIBLE ROUTE (MINIMUM) CONNECTING ALL GRADE LEVEL UNITS TO ALL SITE AMENITIES WITH ACCESSIBLE ROUTE MEETING UFAS, AND FAIR HOUSING DESIGN MANUAL STANDARDS.

Covington Woods II

A 50-Unit Family Community in
Lansing, Kansas



Bryan Hulst - ARCHITECT OF RECORD
Kansas LICENSE # 5503

Parker Associates
2202 East 49th Street South,
Suite 200
Tulsa, OK 74105
(918) 742-2485

Covington
Woods
Apartments II, LP

1329 E. Lark Street
Springfield, MO. 65804
417-883-1632

NOT FOR

THIS DOCUMENT IS
PRELIMINARY
IN NATURE AND IS
NOT A FINAL, SIGNED AND
SEALED DOCUMENT.

CONSTRUCTION

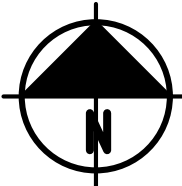
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DRAWN BY: BH, TA
DATE: 8/30/2023

1-REV. 09-05-23

SHEET
NUMBER S1 OF 1

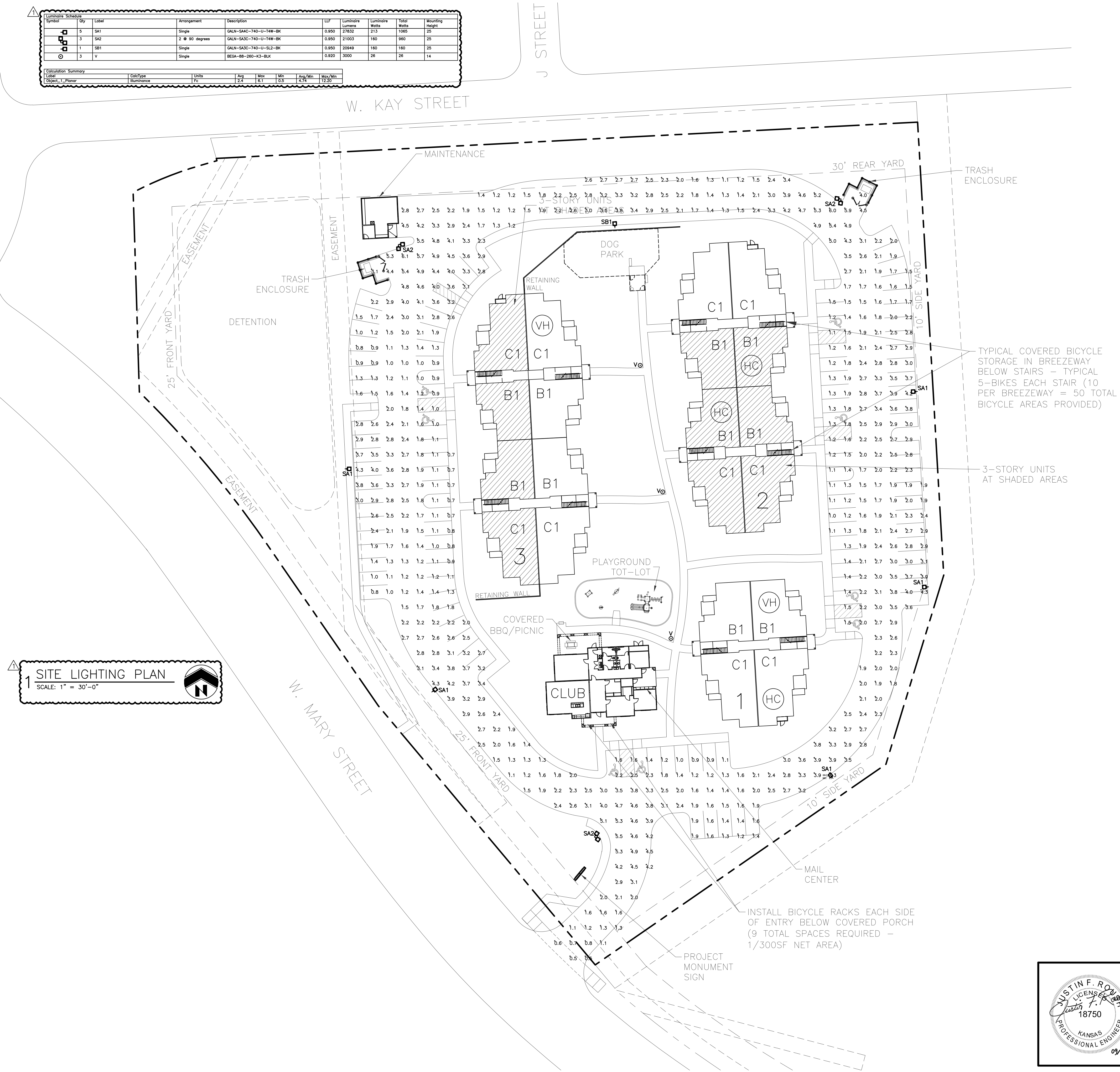
1 SITE PLAN

SCALE: 1" = 30'-0" (24x36 SHEET)



Luminaire Schedule		Qty	Label	Arrangement	Description	LF	Luminaire Lumens	Luminaire Watts	Total Watts	Mounting Height
SA1	SA1	5	SA1	Single	GAUN-SA4C-740-U-14W-BK	0.950	27832	213	11065	25
		3	SA2	2 @ 90 degrees	GAUN-SA3C-740-U-14W-BK	0.950	21003	160	960	25
SB1	SB1	1	SB1	Single	GAUN-SA3C-740-U-SL2-BK	0.950	20949	160	180	25
V	V	3	V	Single	BEGA-BB-260-K3-BLK	0.920	3000	26	26	14

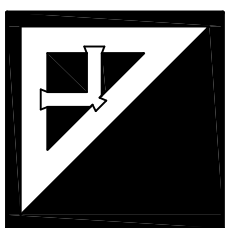
Calculation Summary		CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Local Illuminance	Footcandle	FC		2.4	6.1	0.5	12.2	12.2



1 SITE LIGHTING PLAN
SCALE: 1" = 30'-0"

Covington Woods II

A 50-Unit Family Community in
Lansing, Kansas



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Kansas LICENSE # 5503
Parker Associates
2202 East 48th Street South,
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Tulsa, OK 74116
(918)-742-2485

Covington
Woods
Apartments II, LP

1329 E. Lark Street
Springfield, MO. 65804
417-883-1632

EDA + FKI
ENGINEERS

EDA + FKI Engineers PC
10810 E. 45th Street - Suite 201
Tulsa, OK 74146
p: 918.258.6890 f: 918.515.4338

JOB NUMBER: 223015
DRAWN BY: RG/JR/RL/DM/DB/SN
DATE: 08/21/23
REV 09/05/23

SHEET
NUMBER SL1 OF 2

Pole top luminaires with widespread distribution

Housing/Fitter: Lower alo filter is made from a single die-cast aluminum part which includes four support arms and the lower diffuser frame. The fixture also fits a 3" O.D. pole top or lantern and is secured by four stainless steel set screws. The top portion of the lamp housing is made from heavy gauge spun aluminum. Relamping is achieved by removing a single threaded fastener at the top of the fixture. Die castings are marine grade, copper free (a 0.3% copper content) 4800-D aluminum alloy.

End-use: 16/0W LED luminaires, 19 total system watts, -30°C start temperature. Integral 120V through 277V electronic LED driver, 0-10V dimming. Standard LED color temperature is 4000K with a >80 CRI. Available in 3000K (>80 CRI) and 5000K (>90 CRI) to order. Note: Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

Finish: All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BLK), White (WH), Bronze (BRZ), Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order. UL listed for US and Canadian Standards, suitable for wet locations. Protection class: IP65.

Weight: 25.5 lbs.

EPA (Effective projection area): 1.0 sq. ft.

Luminaire Lumens: 1890

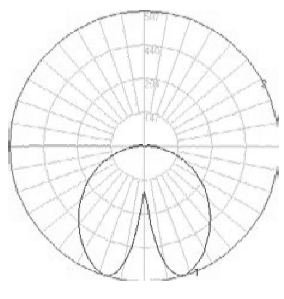


BEGA-US 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 FAX (805) 568-9474 www.bega-us.com
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BEGA

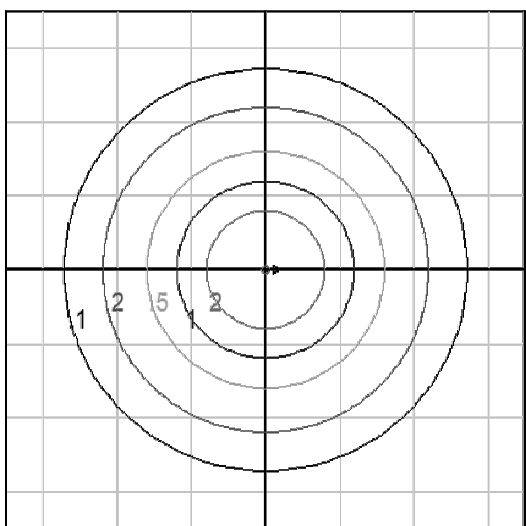
Photometric Filename: 88260K4.ies

TEST: BE 88260K4
TEST LAB: BEGA
DATE: 6/26/2015
LUMINAIRE: 88 260
LAMP: 16W LED



Characteristics

IES Classification	Type V
Longitudinal Classification	Very Short
Lumens Per Lamp	N.A. (absolute)
Total Lamp Lumens	N.A. (absolute)
Luminaire Lumens	1890
Downward Total Efficiency	N.A.
Total Luminaire Efficiency	N.A.
Luminaire Efficacy Rating (LER)	95
Total Luminaire Watts	19
Ballast Factor	1.00
Upward Waste Light Ratio	0.01
Max. Cd. (<90 Vert.)	587.2 (0H, 17.5V)
Max. Cd. (<90 Vert.)	587.2 (0H, 17.5V)
Max. Cd. (At 90 Deg. Vert.)	29.9 (1.7% Lum)
Max. Cd. (At 90 Deg. Vert.)	95.2 (5.3% Lum)
Cutoff Classification (depreciated)	N.A. (absolute)



Mounting Height = 12 ft. Grid Spacing = 10 ft.

In the interest of product improvement, BEGA reserves the right to make technical changes without notice.

BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 Fax (805) 568-9474 www.bega-us.com © Copyright BEGA-US 2019

Project	Catalog #	GALN-SM4C-740-U-T4W-BK, GALN-SM4C-740-U-T4W-BK, GALN-SM4C-740-U-SL2-BK	Type	SA1, SA2, SB1,
Prepared by	Notes		Date	



McGraw-Edison

GALN Galleon II

Area / Site Luminaire

Typical Applications

Outdoor • Parking Lots • Walkways • Roadways • Building Areas

Product Certifications



Resources



Connected Systems

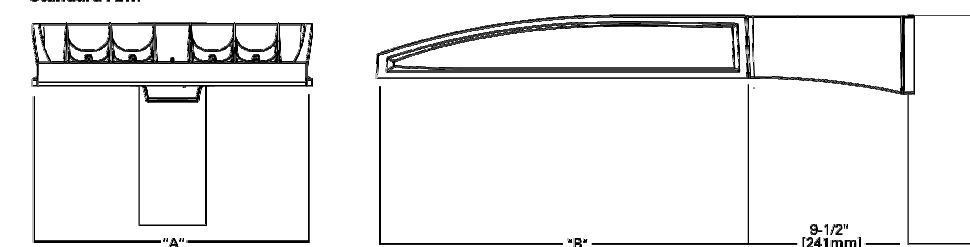
- WaveLink Lite
- WaveLink

Quick Facts

- Lumen packages range from 3,300 - 73,500 (33W - 552W)
- 16 optical distributions
- Efficacy up to 159 lumens per watt

Dimensional Details

Standard Arm



Number of Light Sources	Width "W"	Height Length "H"	Weight with Standard or QH Arm	Wt with Standard or QH Arm
1-4	16"	22"	29 lb	0.95
5-6	22"	22"	39 lb	0.95
7-8	22"	28-1/8"	48 lb	1.1

NOTES:
The arm selection requirements and additional details are in the Mounting Details section.

COOPER
Lighting Solutions

PS000032EN page 1
June 17, 2021 9:45 AM

McGraw-Edison GALN Galleon II

Ordering Information

SAMPLE NUMBER: GALN-SM4C-740-U-T4FT-0M

Product Family	Configuration	Light Output	Color Temperature	Voltage	Mounting	Accessories
GALN-Galleon II	SA1-S1 SA2-S1 SA3-S1 SA4-S1 SA5-S1 SA6-S1 SA7-S1 SA8-S1 SA9-S1 SA10-S1	10-150/170 10-150/170 10-150/170 10-150/170 10-150/170 10-150/170 10-150/170 10-150/170 10-150/170 10-150/170	3000K 3000K 3000K 3000K 3000K 3000K 3000K 3000K 3000K 3000K	120V 120V 120V 120V 120V 120V 120V 120V 120V 120V	SA1-S1 SA2-S1 SA3-S1 SA4-S1 SA5-S1 SA6-S1 SA7-S1 SA8-S1 SA9-S1 SA10-S1	SA1-S1 SA2-S1 SA3-S1 SA4-S1 SA5-S1 SA6-S1 SA7-S1 SA8-S1 SA9-S1 SA10-S1

Options (Add as Suffix)	Options (Add as Suffix)	Accessories (Add as Suffix)
SA1-S1 SA2-S1 SA3-S1 SA4-S1 SA5-S1 SA6-S1 SA7-S1 SA8-S1 SA9-S1 SA10-S1	SA1-S1 SA2-S1 SA3-S1 SA4-S1 SA5-S1 SA6-S1 SA7-S1 SA8-S1 SA9-S1 SA10-S1	SA1-S1 SA2-S1 SA3-S1 SA4-S1 SA5-S1 SA6-S1 SA7-S1 SA8-S1 SA9-S1 SA10-S1

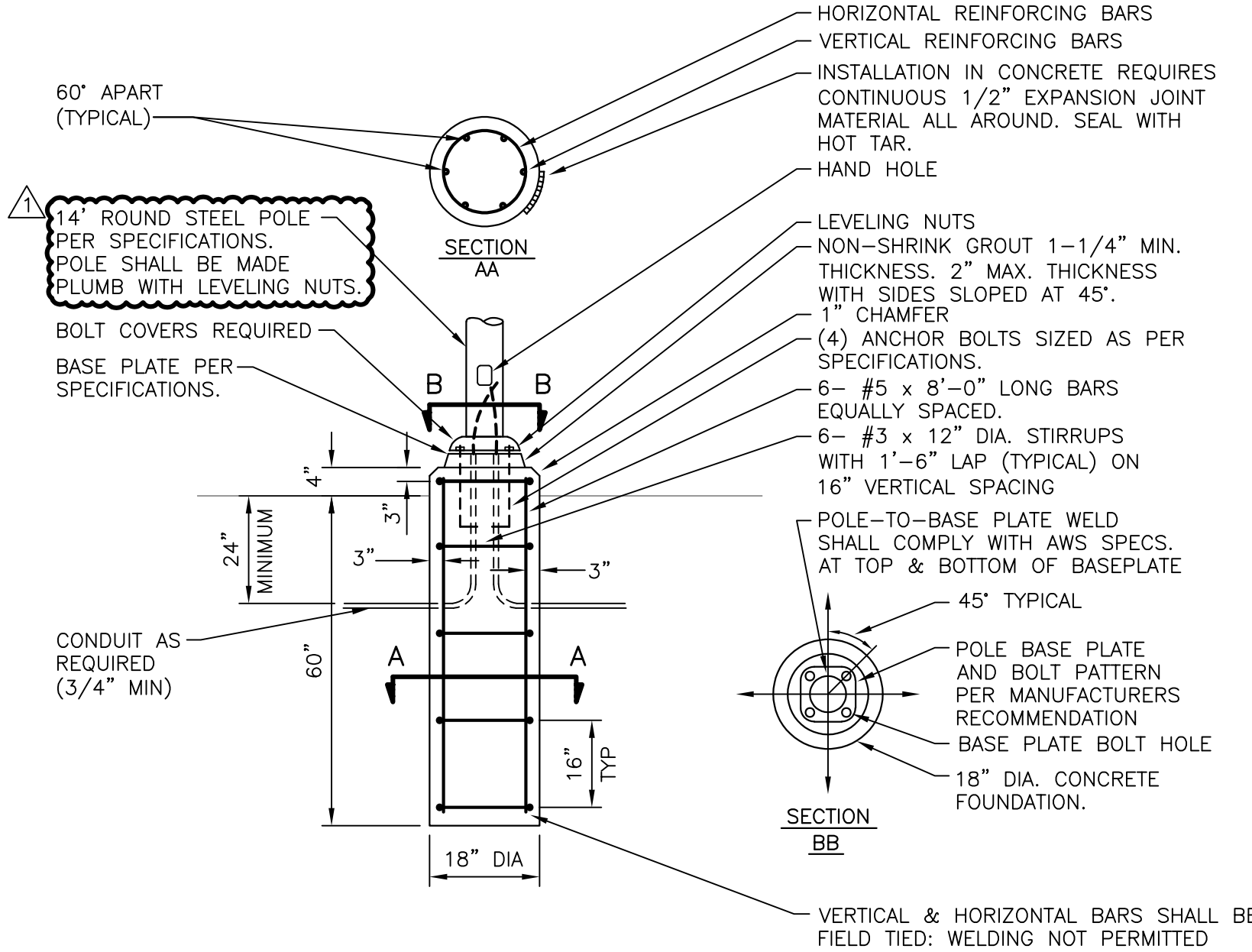
NOTES:
1. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our website for more information.
2. Single Light Component Configured. Refer to our website for more information.
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99. Single Light Component Configured. Refer to our website for more information.
100. Single Light Component Configured. Refer to our website for more information.

LumenSafe Integrated Network Security Camera Technology Options (Add as Suffix)

Product Family	Camera Type	Camera Mount
L-LuminaSafe Technology	1-Channel Dome Camera 2-Channel Dome Camera 3-Channel Dome Camera 4-Channel Dome Camera 5-Channel Dome Camera 6-Channel Dome Camera 7-Channel Dome Camera 8-Channel Dome Camera 9-Channel Dome Camera 10-Channel Dome Camera	1-Channel Dome 2-Channel Dome 3-Channel Dome 4-Channel Dome 5-Channel Dome 6-Channel Dome 7-Channel Dome 8-Channel Dome 9-Channel Dome 10-Channel Dome

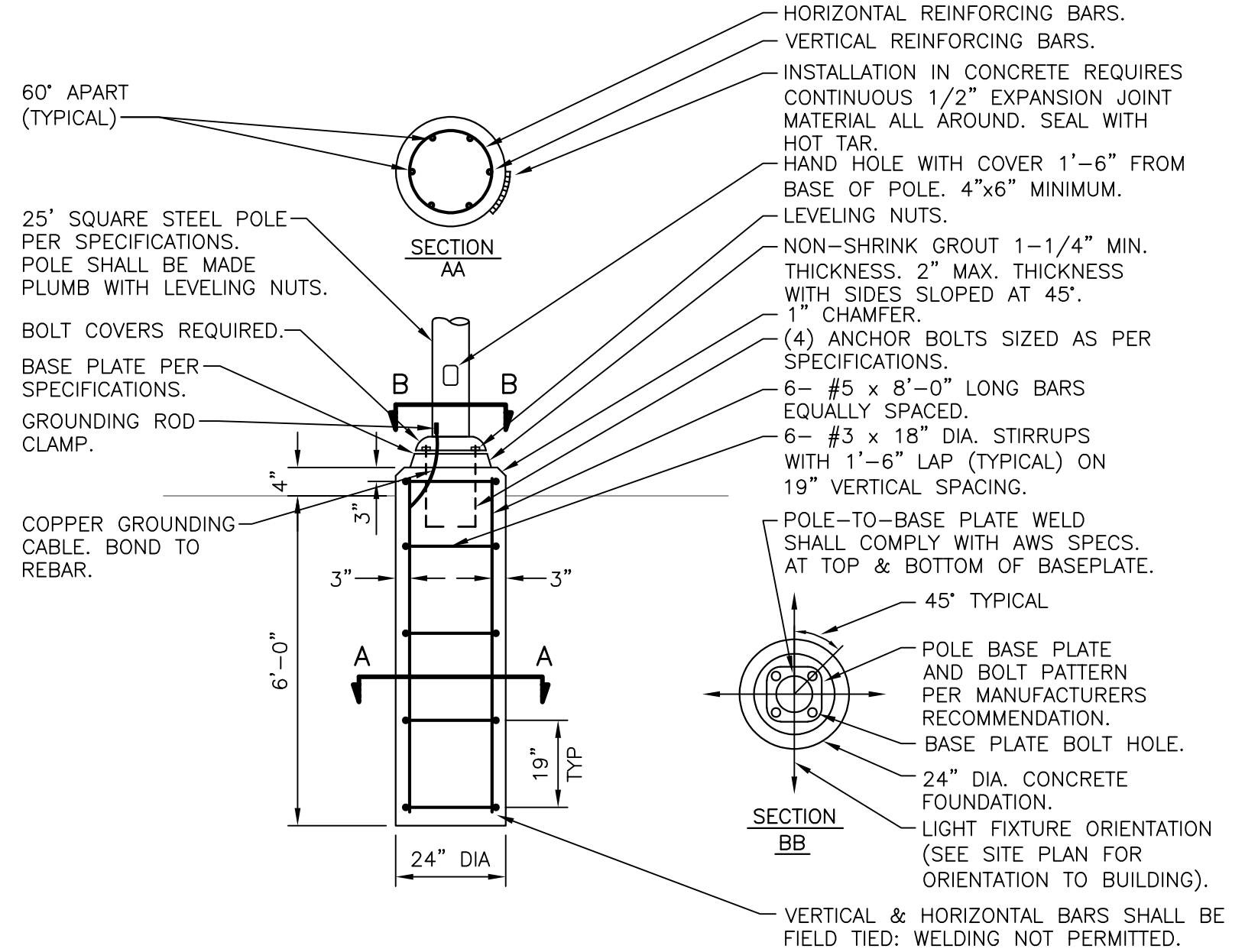
COOPER
Lighting Solutions

PS000032EN page 2
June 17, 2021 9:45 AM



- NOTES:
1. 3500 PSI MIN. 28 DAY COMPRESSIVE STRENGTH CONC. WITH GRADE 60 REBARS.
2. IF WATER IS PRESENT IN HOLE, REMOVE BEFORE POURING CONCRETE.
3. FOUNDATION EXCAVATION SHALL BE BY 18" AUGER IN UNDISTURBED OR PROPERLY COMPACTED FILL PER SPECIFICATIONS.

2 POLE BASE DETAIL
NOT TO SCALE TYPICAL FOR TYPE "V"

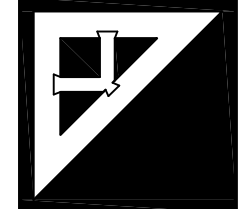


- NOTES:
1. 3500 PSI MIN. 28 DAY COMPRESSIVE STRENGTH CONC. WITH GRADE 60 REBARS.
2. IF WATER IS PRESENT IN HOLE, REMOVE BEFORE POURING CONCRETE.
3. FOUNDATION EXCAVATION SHALL BE BY 24" AUGER IN UNDISTURBED OR PROPERLY COMPACTED FILL PER SPECIFICATIONS.

1 POLE BASE DETAIL
NOT TO SCALE TYPICAL FOR TYPE "SA1/SA2/SB1"

Covington Woods II

A 50-Unit Family Community in
Lansing, Kansas



Bryan Hulet - ARCHITECT OF RECORD
Kansas LICENSE # 5503

Parker Associates
2202 East 48th Street South,
Suite 200
Tulsa, OK 74116
(918)-742-2485

1329 E. Lark Street
Springfield, MO. 65804
417-883-1632

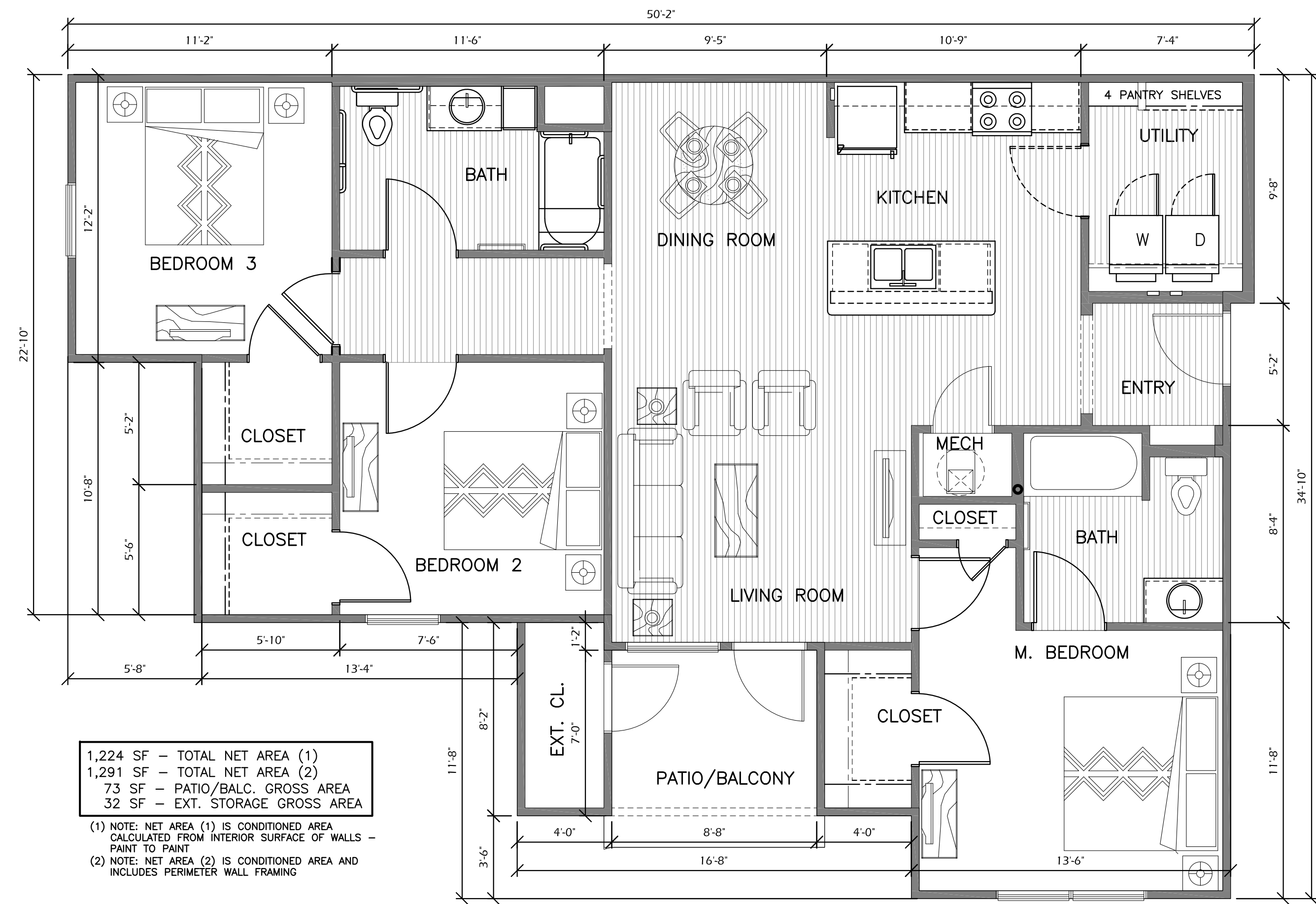
Covington Woods Apartments II, LP

EDA-FKI
ENGINEERS

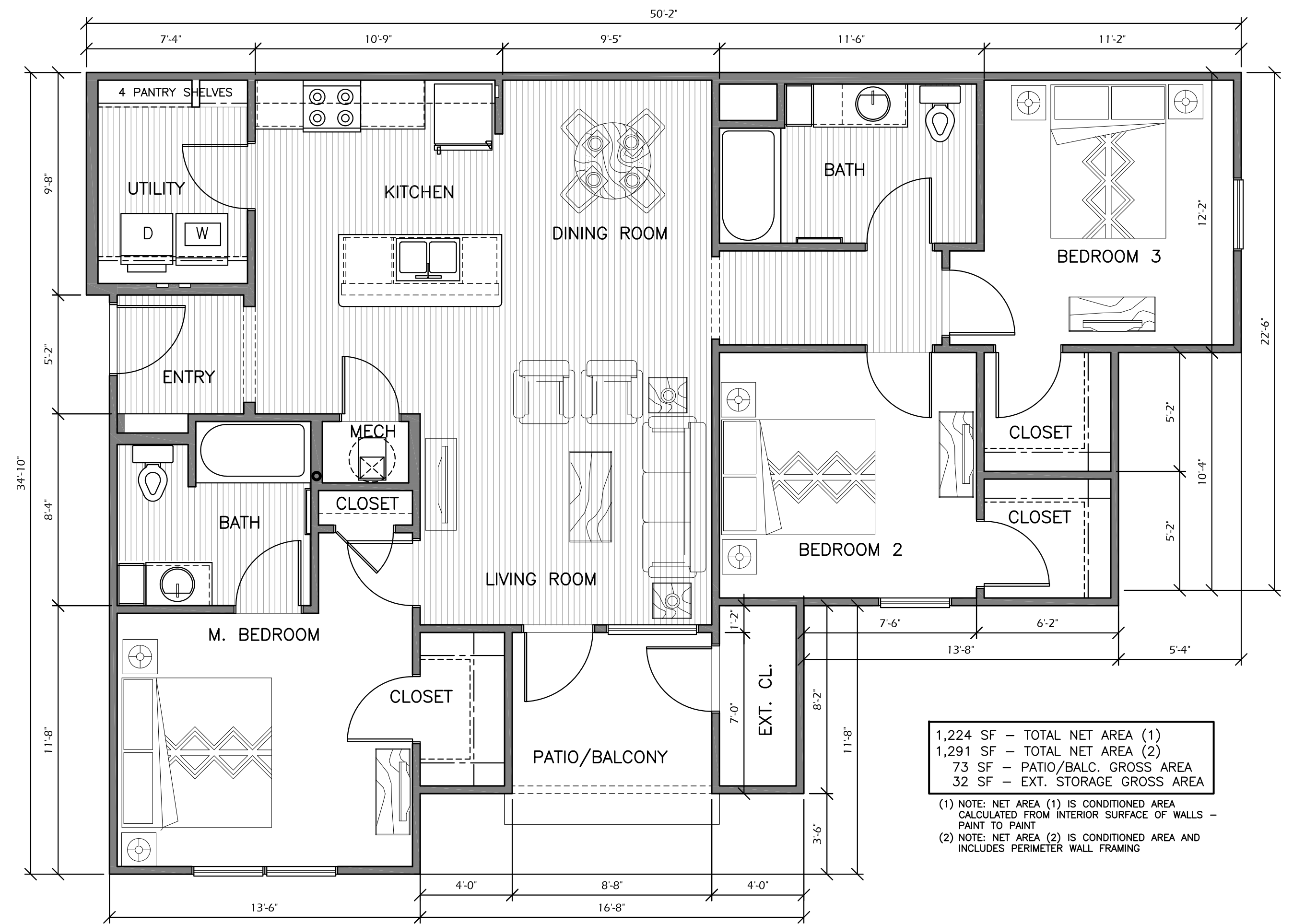
10810 E. 45th Street - Suite 201
Tulsa, OK 74146
p: 918.258.6890 f: 918.515.4338

JOB NUMBER: 223015
DRAWN BY: RG/JR/RL/DW/SN
DATE: 08/21/23
REV 09/05/23

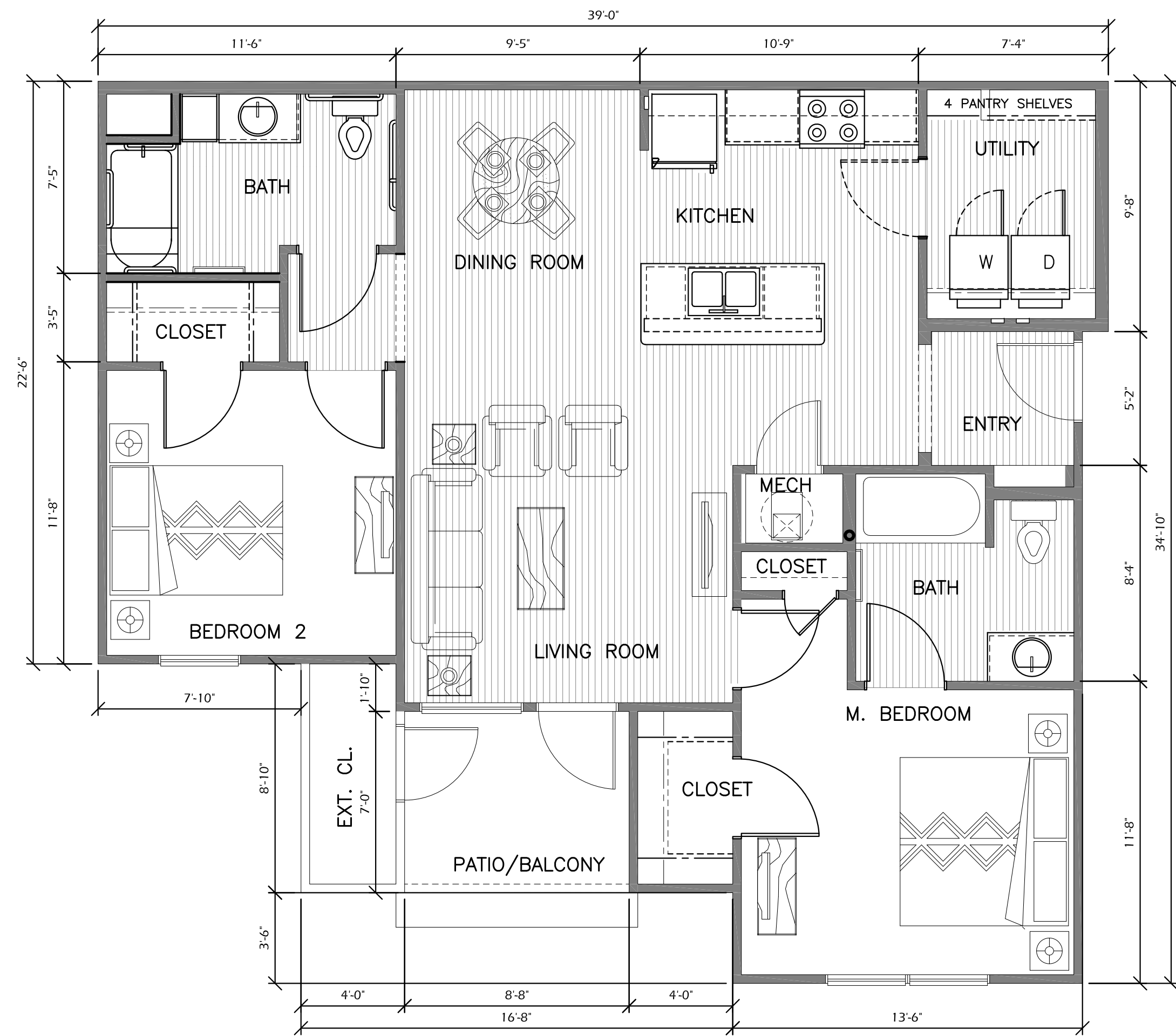
SHEET
NUMBER SL2 OF 2



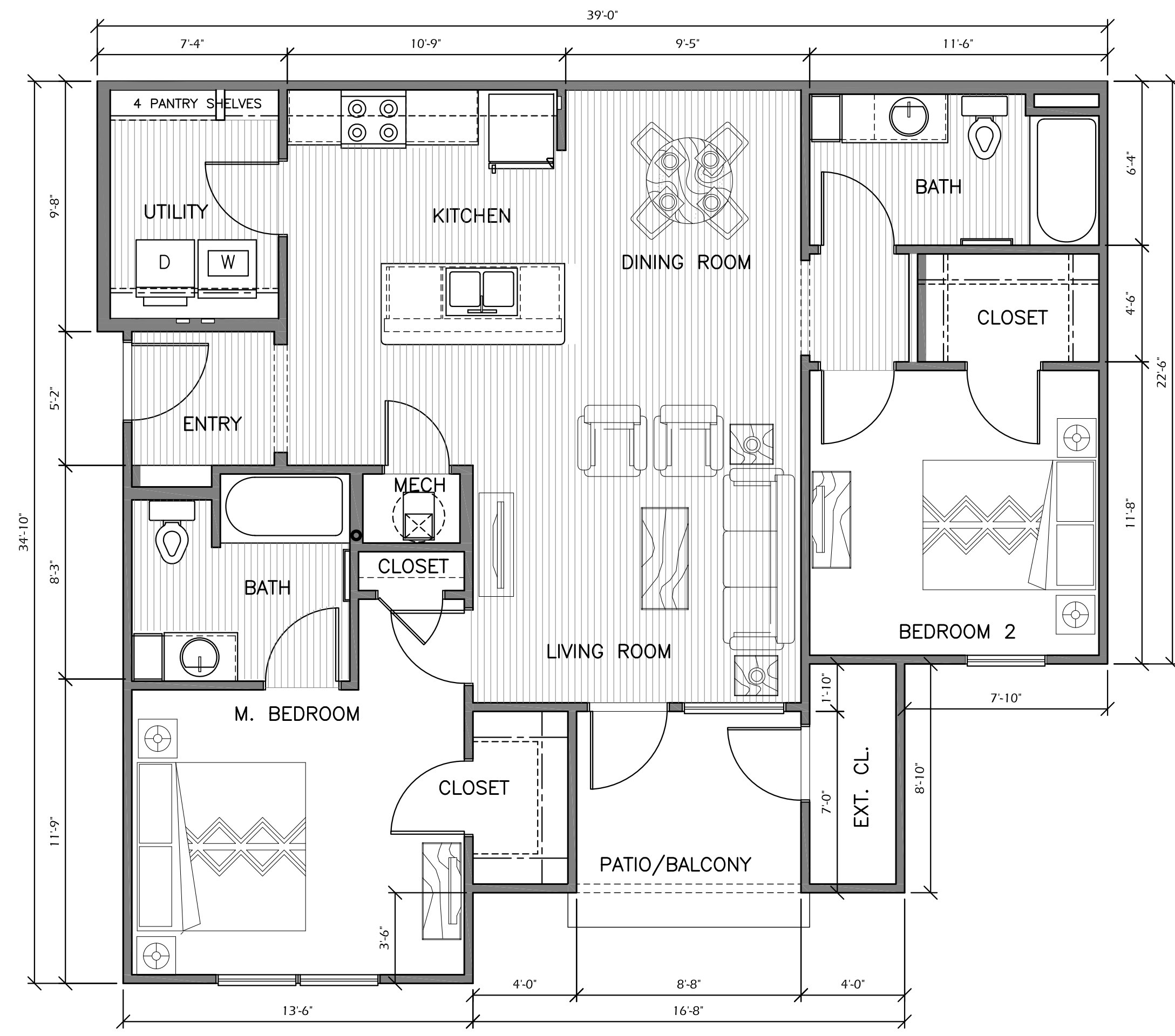
1 C1A UNIT PLAN
SCALE: 1/4" = 1'-0"



1 C1 UNIT PLAN
SCALE: 1/4" = 1'-0"

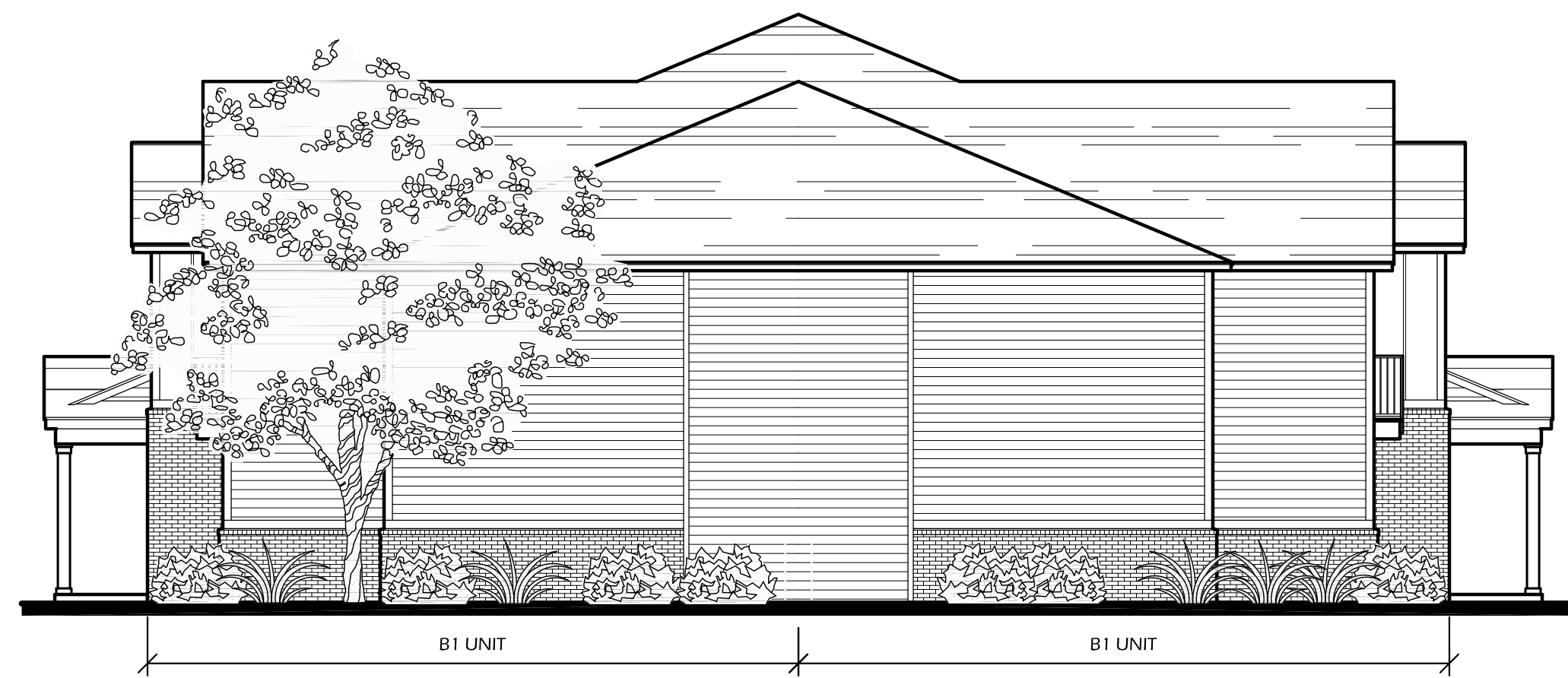


1 B1A UNIT PLAN
SCALE: 1/4" = 1'-0"



1 B1 UNIT PLAN
SCALE: 1/4" = 1'-0"

<h2>Covington Woods II</h2> <p>A 50-Unit Family Community in Lansing, Kansas</p>	
 <p>Bryan Hulet - ARCHITECT OF RECORD Kansas LICENSE # 5503</p> <p>Parker Associates 2202 East 48th Street South, Suite 200 Tulsa, OK 74115 (918)-742-2485</p>	<p>Covington Woods Apartments II, LP</p> <p>1329 E. Lark Street Springfield, MO. 65804 417-883-1632</p>
<p>NOT FOR CONSTRUCTION</p> <p>THIS DOCUMENT IS PRELIMINARY IN NATURE AND IS NOT A FINAL, SIGNED AND SEALED DOCUMENT.</p>	<p>JOB NUMBER: 223015 DRAWN BY: BH, TA DATE: 8/21/2023</p> <p>UNIT PLANS</p> <p>SHEET NUMBER A1 OF 1</p>



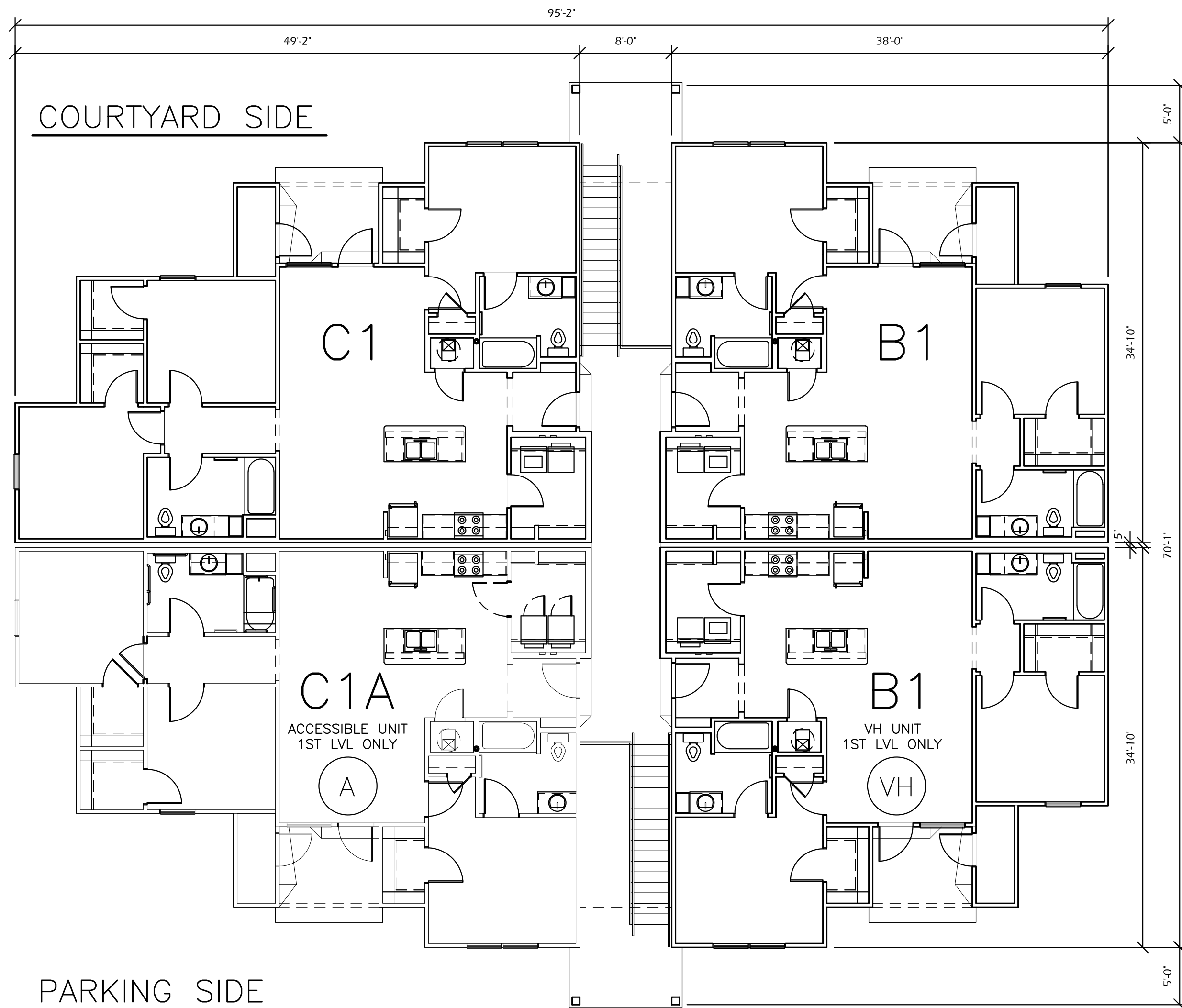
5 BUILDING 1 NORTH ELEVATION
1/8" = 1'-0"



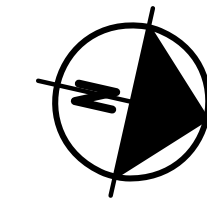
4 BUILDING 1 SOUTH ELEVATION
1/8" = 1'-0"



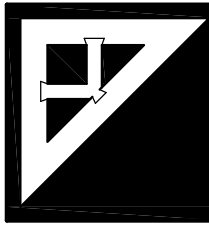
3 BUILDING 1 BACK ELEVATION
1/8" = 1'-0" COURTYARD SIDE

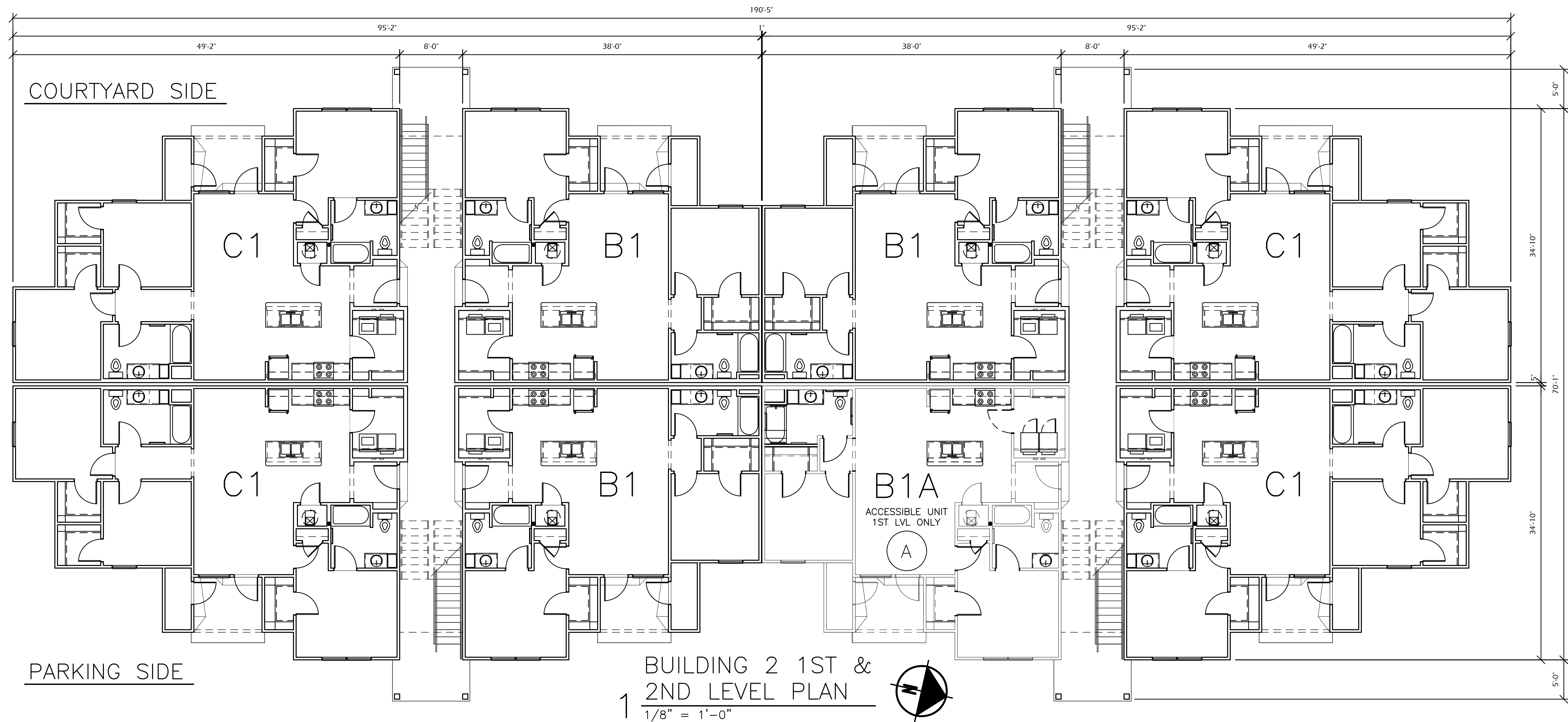
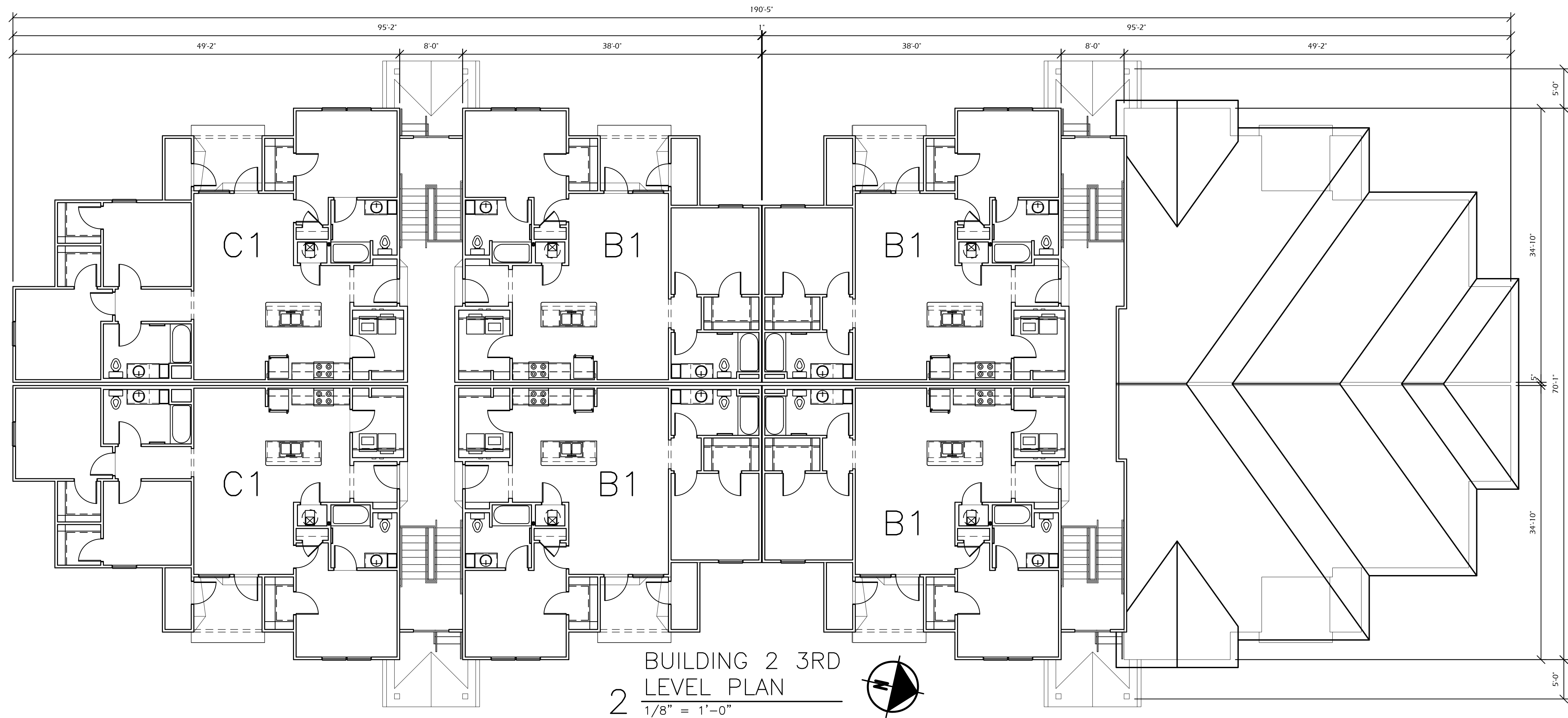


1 BUILDING 1 PLAN
1/8" = 1'-0"



2 BUILDING 1 FRONT ELEVATION
1/8" = 1'-0" PARKING SIDE

Covington Woods II A 50-Unit Family Community in Lansing, Kansas	
 Bryan Hubel - ARCHITECT OF RECORD Kansas LICENSE # 5503 Parker Associates 2202 East 49th Street South, Suite 200 Tulsa, OK 74105 (918)-742-2485	Covington Woods Apartments II, LP 1329 E. Lark Street Springfield, MO, 65804 417-863-1632
NOT FOR CONSTRUCTION THIS DOCUMENT IS PRELIMINARY AND IS NOT TO BE USED FOR CONSTRUCTION	JOB NUMBER: 223015 DRAWN BY: BH, TA DATE: 8/21/2023 BUILDING 1 PLAN & ELEVATIONS SHEET NUMBER AB1 OF 5



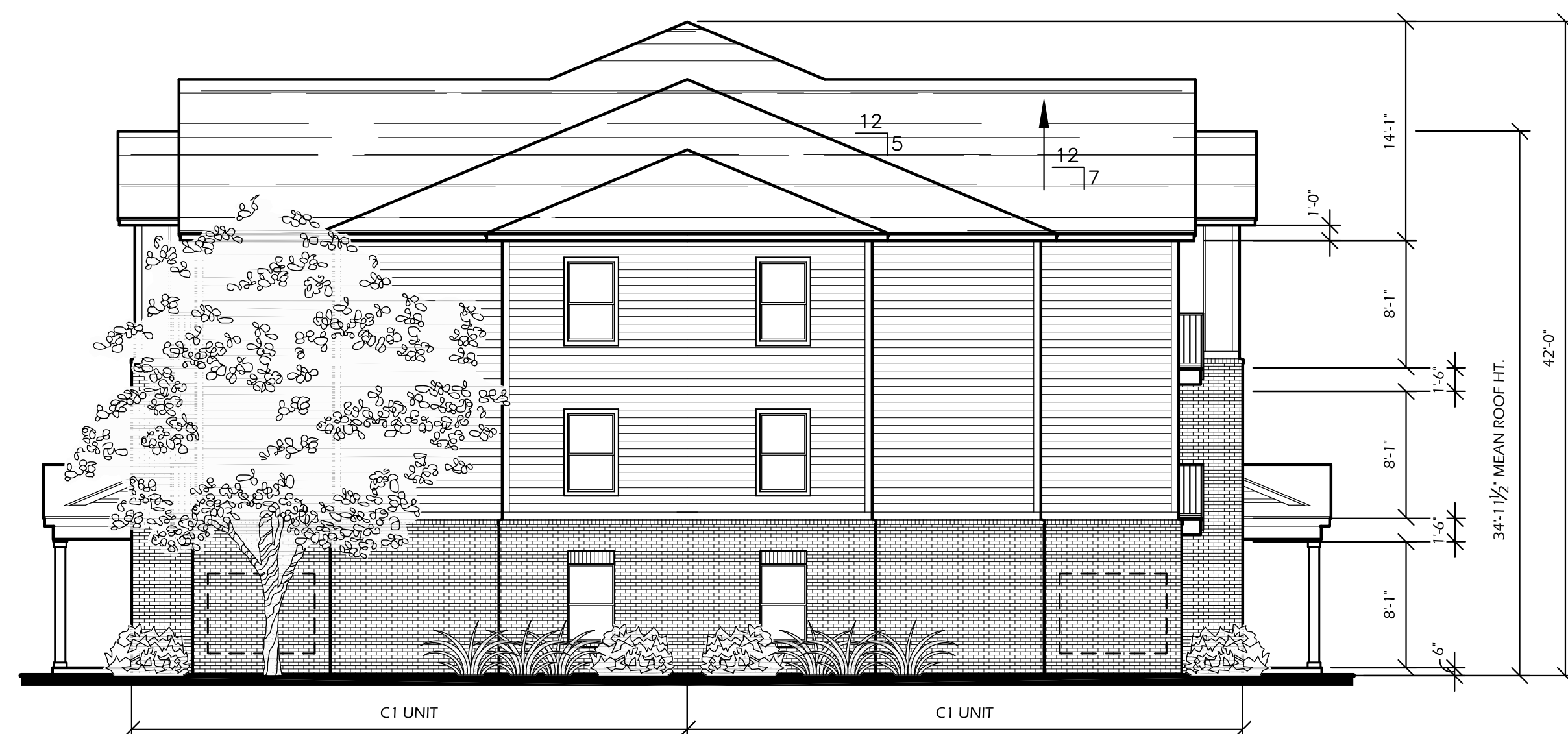
Covington Woods II A 50-Unit Family Community in Lansing, Kansas	
 Bryan Hubel - ARCHITECT OF RECORD Kansas LICENSE # 5503 Parker Associates 2202 East 49th Street South, Suite 200 Tulsa, OK 74105 (918)-742-2485	Covington Woods Apartments II, LP 1329 E. Lark Street Springfield, MO. 65804 417-883-1632
NOT FOR CONSTRUCTION THIS DOCUMENT IS PRELIMINARY IN NATURE AND IS NOT A FINAL, SIGNED AND SEALED DOCUMENT.	JOB NUMBER: 223015 DRAWN BY: BH, TA DATE: 8/21/2023 BUILDING 2 PLANS SHEET NUMBER AB2 OF 5



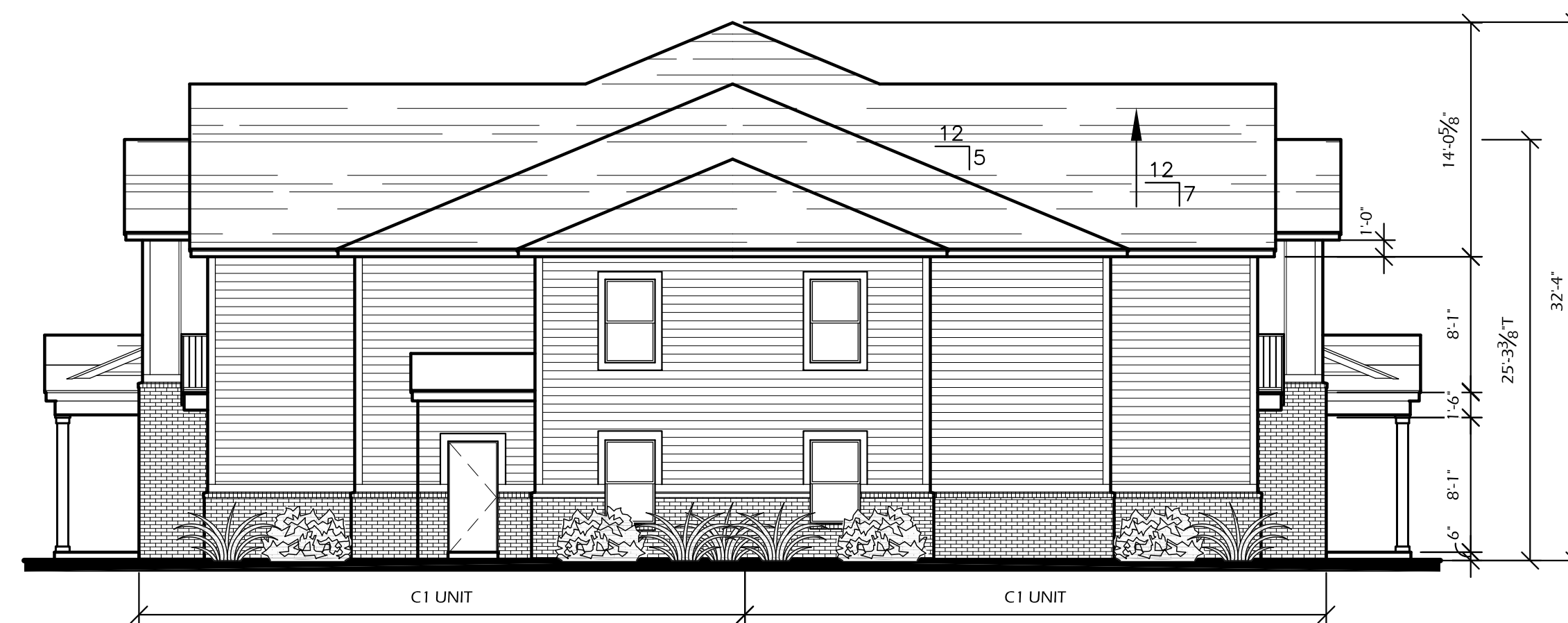
1 BUILDING 2 FRONT ELEVATION
 $\frac{1}{8}" = 1'-0"$ PARKING SIDE



2 BUILDING 2 BACK ELEVATION
 $\frac{1}{8}" = 1'-0"$ COURTYARD SIDE

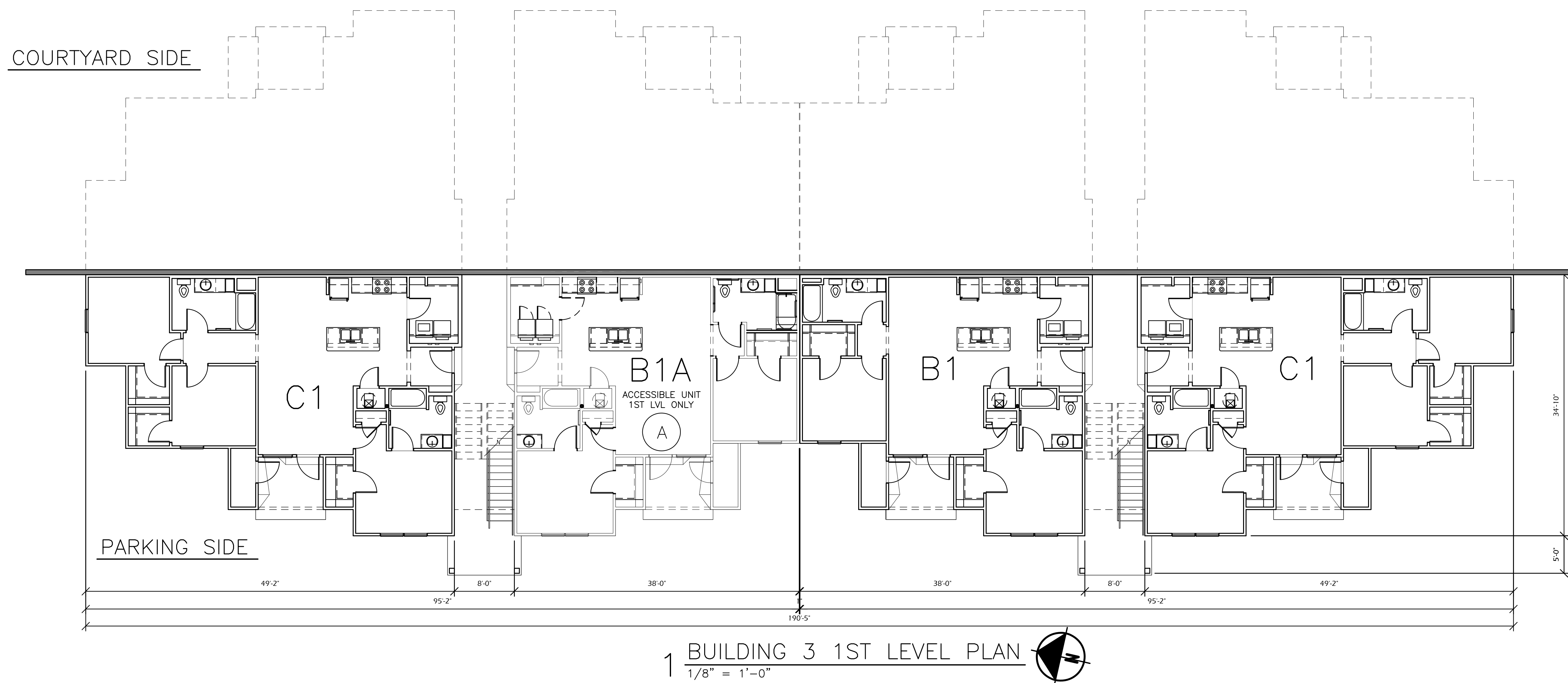
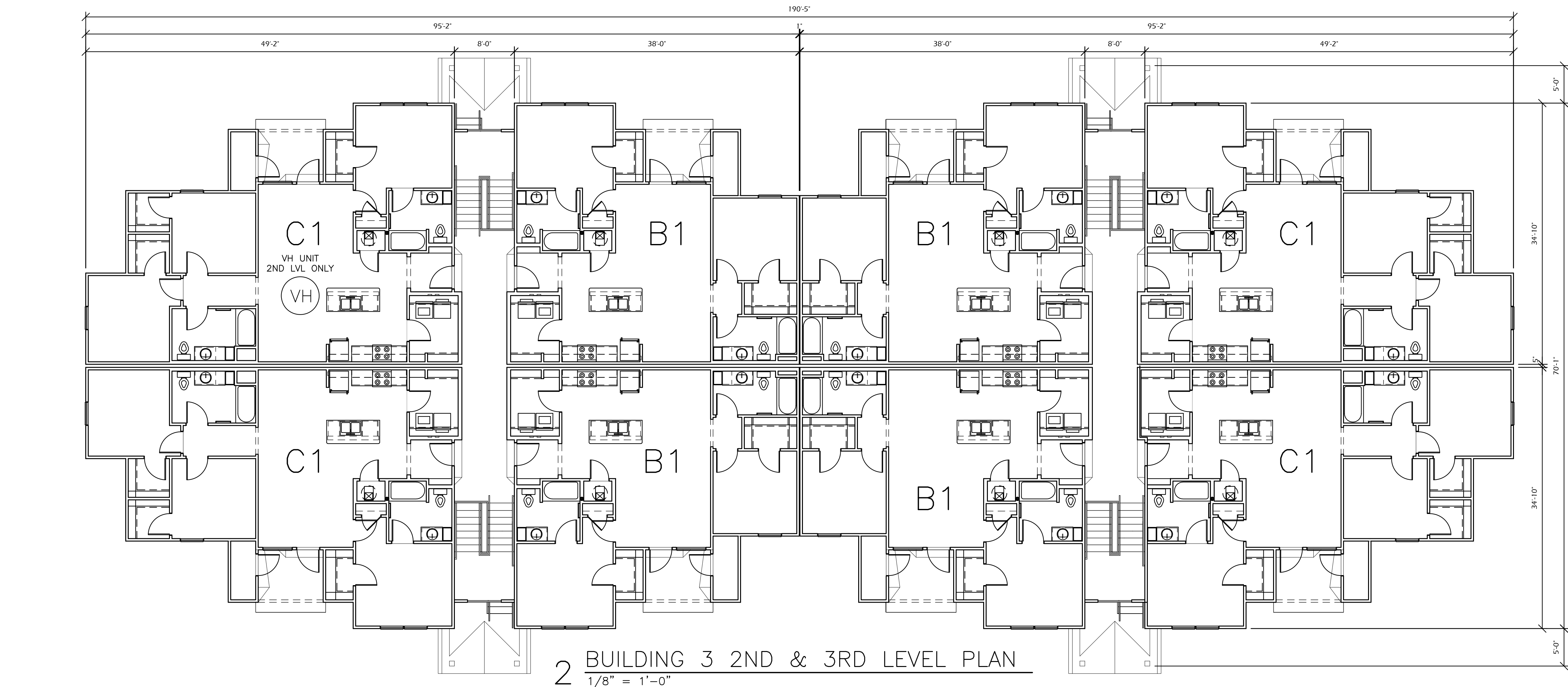


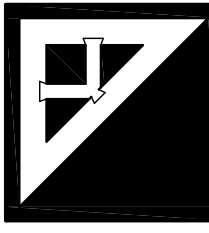
3 BUILDING 2 SOUTH ELEVATION
 $\frac{1}{8}" = 1'-0"$



4 BUILDING 2 NORTH ELEVATION
 $\frac{1}{8}" = 1'-0"$

Covington Woods II A 50-Unit Family Community in Lansing, Kansas	
 Bryan Hubel - ARCHITECT OF RECORD Kansas LICENSE # 5503 Parker Associates 2202 East 49th Street South, Suite 200 Tulsa, OK 74105 (918)-742-2485	Covington Woods Apartments II, LP 1329 E. Lark Street Springfield, MO, 65804 417-863-1632
NOT FOR CONSTRUCTION THIS DOCUMENT IS PRELIMINARY AND IS NOT BEING SIGNED AND SEALED FOR DOCUMENT.	JOB NUMBER: 223015 DRAWN BY: BH, TA DATE: 8/21/2023 BUILDING 2 ELEVATIONS SHEET NUMBER AB3 OF 5



Covington Woods II A 50-Unit Family Community in Lansing, Kansas	
 Bryan Hubert - ARCHITECT OF RECORD Kansas LICENSE # 5503 Parker Associates 2202 East 49th Street, South, Suite 200 Tulsa, OK 74105 (918)-742-2485	Covington Woods Apartments II, LP 1329 E. Lark Street Springfield, MO, 65804 417-883-1632
NOT FOR CONSTRUCTION THIS DOCUMENT IS PRELIMINARY IN NATURE AND IS NOT A FINAL, SIGNED AND SEALED DOCUMENT.	JOB NUMBER: 223015 DRAWN BY: BH, TA DATE: 8/21/2023 BUILDING 3 PLANS SHEET NUMBER AB4 OF 5



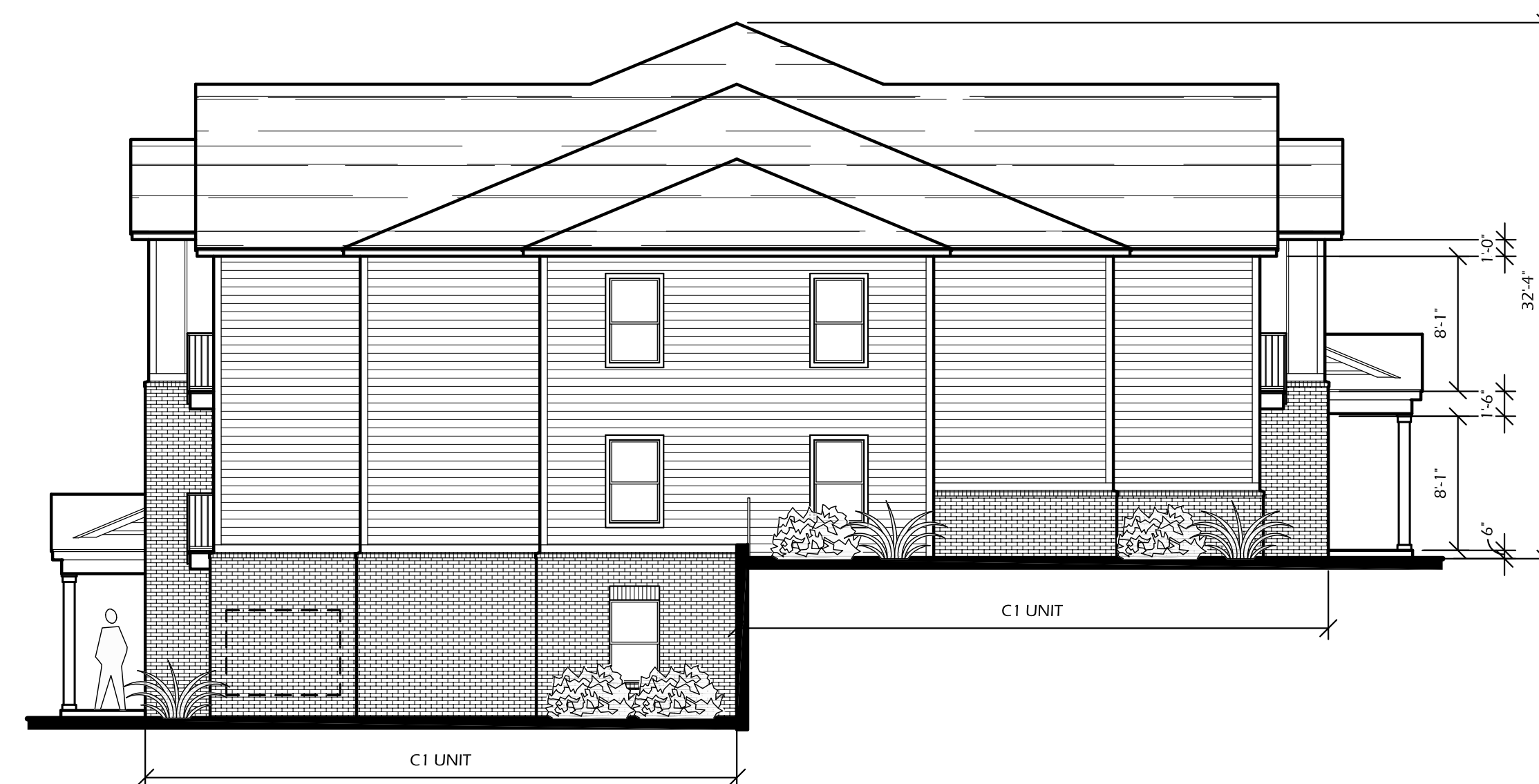
1 BUILDING 3 FRONT ELEVATION
 $\frac{1}{8"} = 1'-0"$ PARKING SIDE



2 BUILDING 3 BACK ELEVATION
 $\frac{1}{8"} = 1'-0"$ COURTYARD SIDE

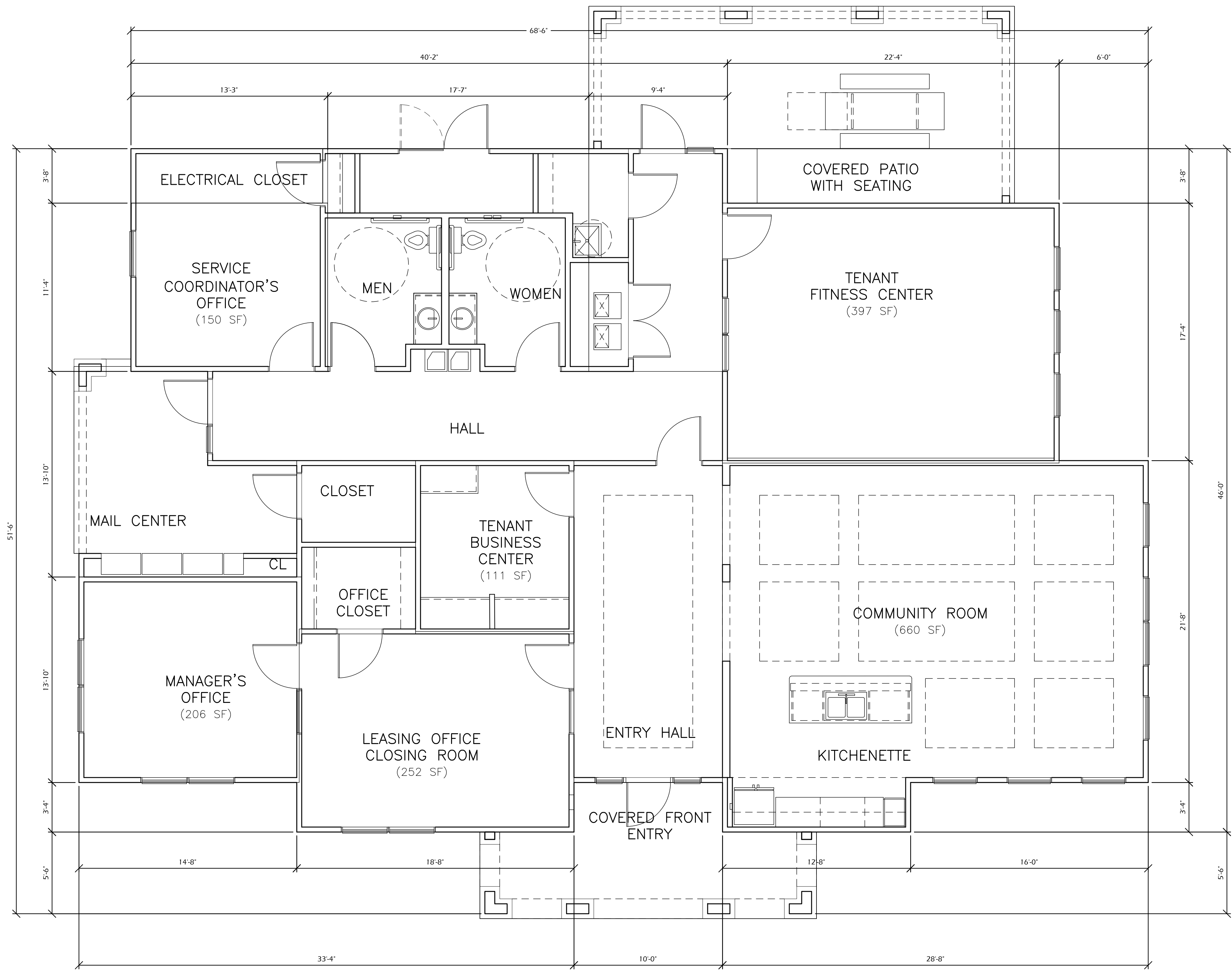


3 BUILDING 3 NORTH ELEVATION
 $\frac{1}{8"} = 1'-0"$



4 BUILDING 3 SOUTH ELEVATION
 $\frac{1}{8"} = 1'-0"$

Covington Woods II A 50-Unit Family Community in Lansing, Kansas	
 Bryan Hubert - ARCHITECT OF RECORD Kansas LICENSE # 5503 Parker Associates 2202 East 49th Street South, Suite 200 Tulsa, OK 74105 (918)-742-2485	Covington Woods Apartments II, LP 1329 E. Lark Street Springfield, MO, 65804 417-863-1632
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Clubhouse

**Tenant Use - Community Room/Kitchenette	660 S.F.
**Tenant Use - Fitness Center	397 S.F.
**Tenant Use - Business Center	123 S.F.
**Tenant/Management Leasing Office	206 S.F.
**Tenant/Closing Leasing Office	252 S.F.
**Tenant/Service Coordinator Office	150 S.F.
**Tenant/Employee Hall & Bathrooms	789 S.F.

****Total Net Area (Conditioned)** 2,577 S.F.

**Employee Janitor's, Mech, Storage Closets and etc.
(Not included in net area calculation-included in gross area below)

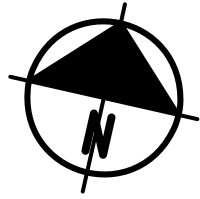
*** Tenant Front Entry Patio	166 S.F.
*** Tenant Back Covered Patio/Sitting Area	346 S.F.
*** Tenant Mail Center	170 S.F.
*** Employee MEP Closet	47 S.F.

****Total Exterior Area (Non-Conditioned)** 729 S.F.

*****Total Gross Area** 3,432 S.F.

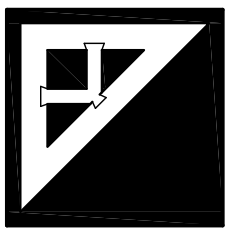
- * Net (1) SF/Unit is calculated as conditioned area - does not include wall framing (paint-to-paint)
** Net (2) SF/Unit is calculated as conditioned area and includes wall framing
*** Gross Unit SF/Unit is calculated as all area under roof, conditioned and non-conditioned

1 CLUBHOUSE PLAN
1/4" = 1'-0"



Covington Woods II

A 50-Unit Family Community in
Lansing, Kansas



Bryan Hubert - ARCHITECT OF RECORD
Kansas LICENSE # 5503
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2202 East 49th Street South,
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Tulsa, OK 74105
(918)-742-2485

Covington
Woods
Apartments II, LP

1329 E. Lark Street
Springfield, MO, 65804
417-883-1632

NOT FOR

THIS DOCUMENT IS
PRELIMINARY
IN NATURE AND IS
NOT A FINAL, SIGNED AND
SEALED DOCUMENT.

CONSTRUCTION

JOB NUMBER: 223015
DRAWN BY: BH, TA
DATE: 8/21/2023

CLUBHOUSE PLAN

SHEET
NUMBER CA1 OF 2



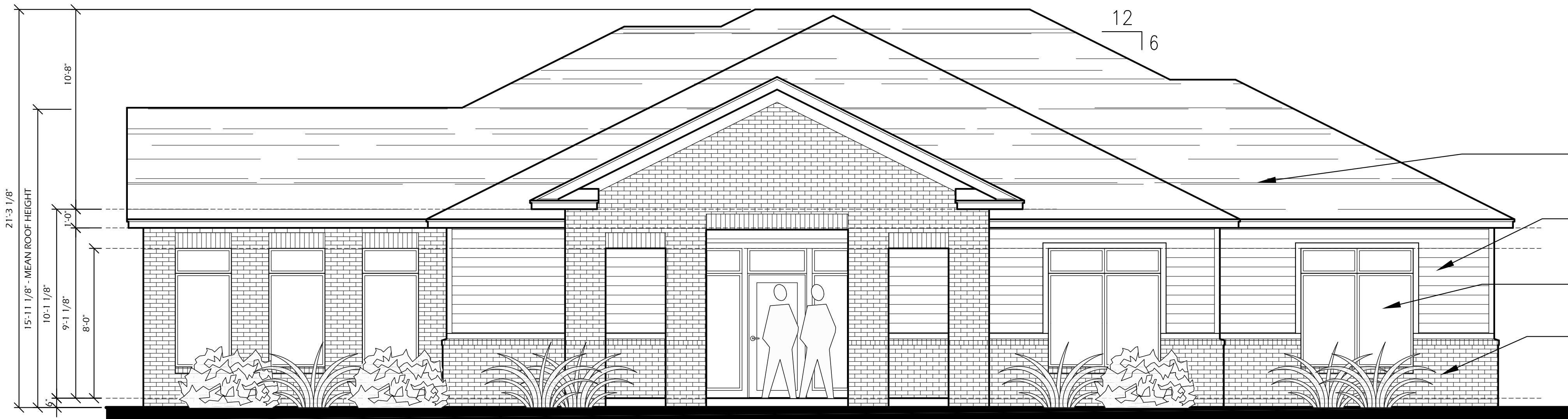
4 CLUBHOUSE WEST ELEVATION
1/4" = 1'-0"



3 CLUBHOUSE EAST ELEVATION
1/4" = 1'-0"



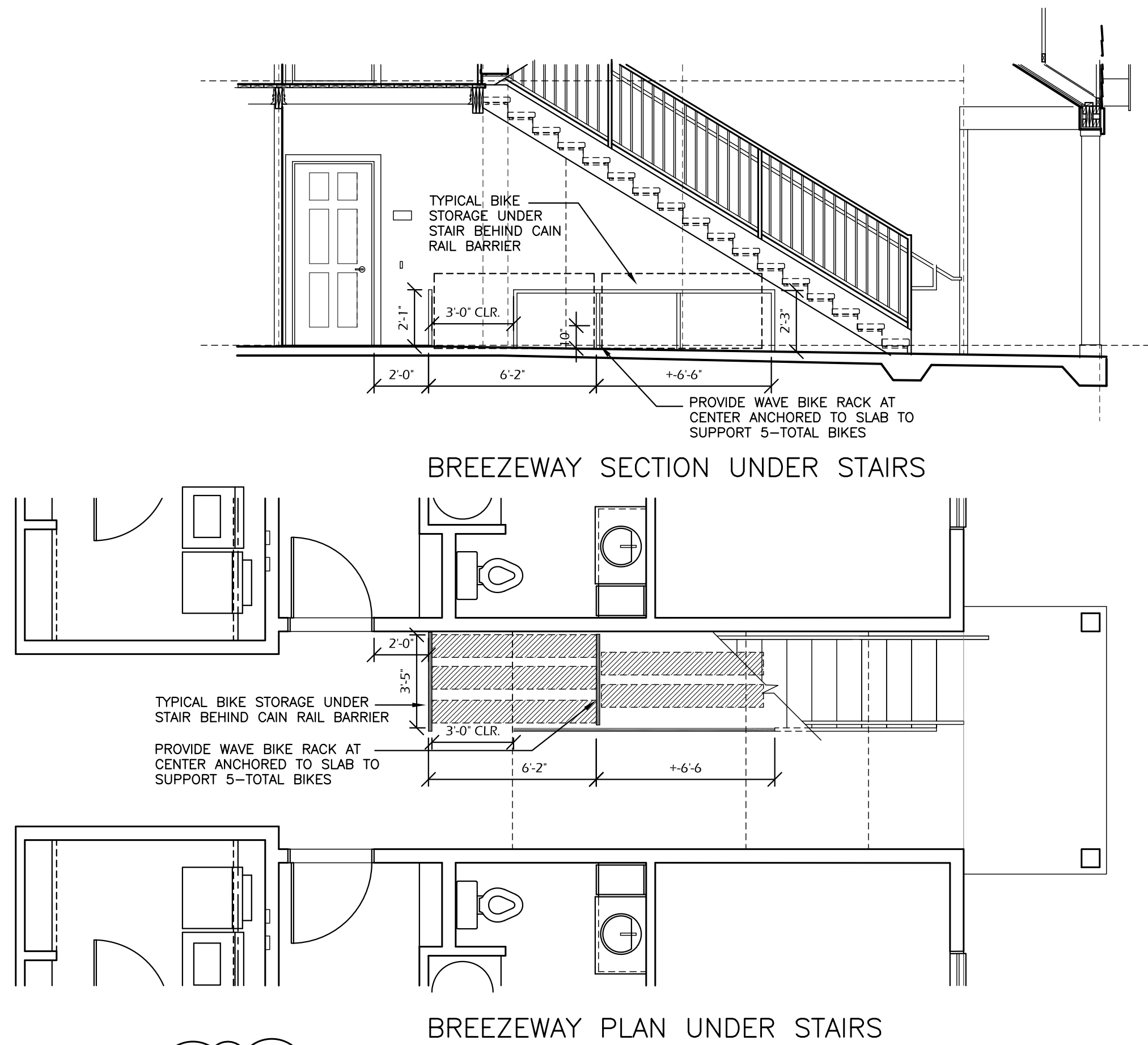
2 CLUBHOUSE REAR (NORTH) ELEVATION
1/4" = 1'-0"



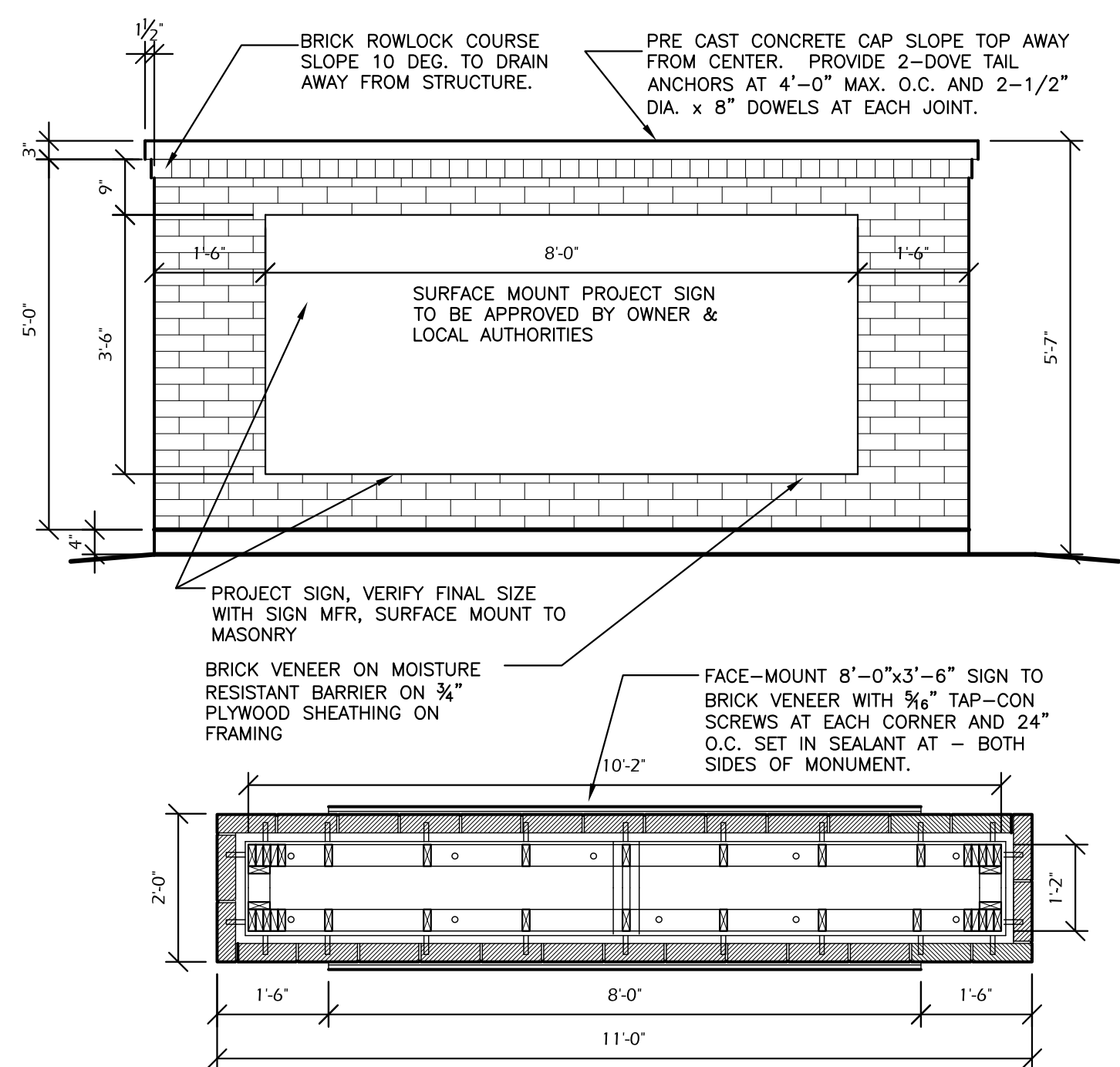
1 CLUBHOUSE FRONT (SOUTH) ELEVATION
1/4" = 1'-0"

- 30-YEAR FIBERGLASS SHINGLES
- CEMENT BOARD SIDING
- VINYL WINDOWS
- BRICK VENEER

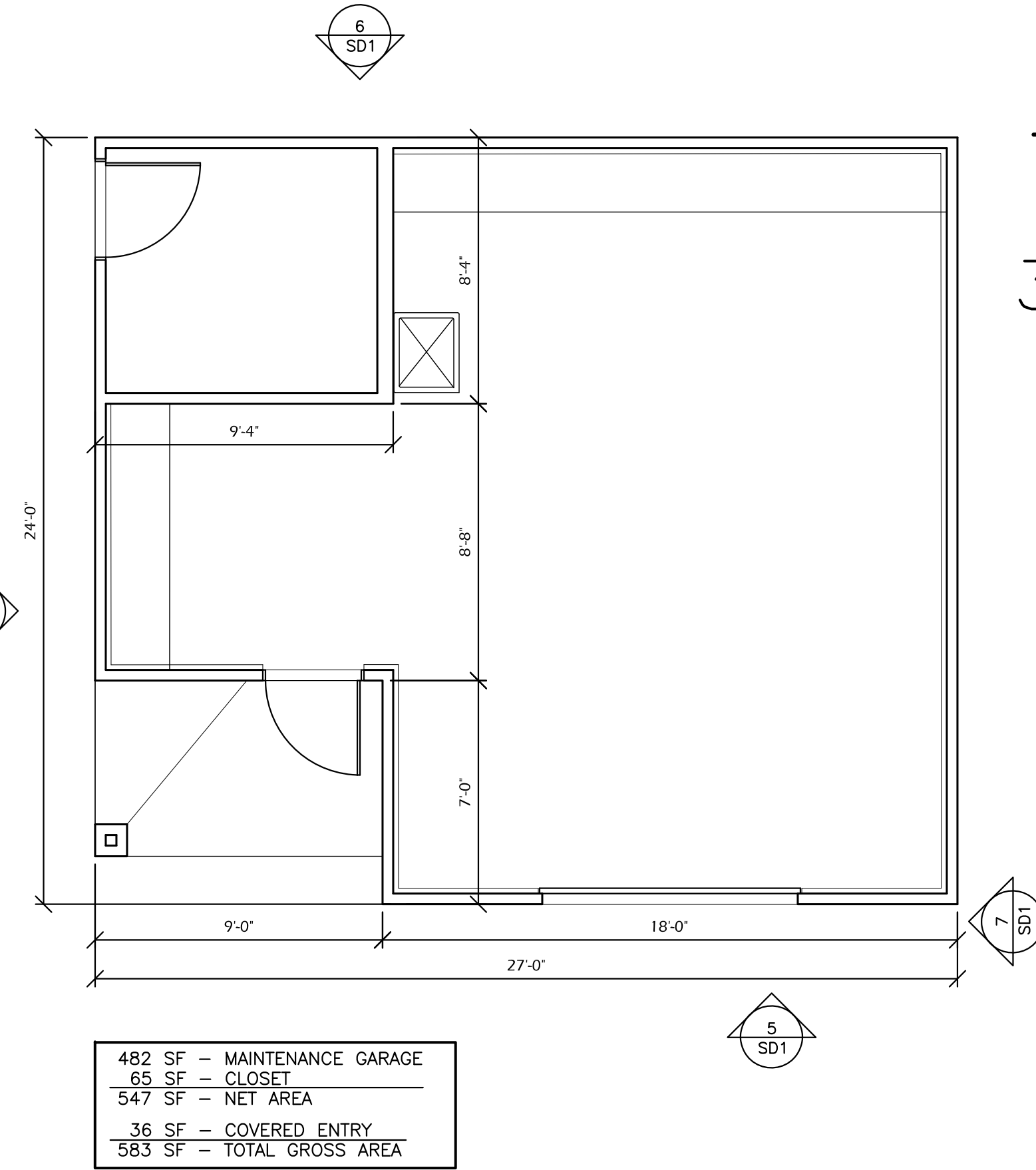
Covington Woods II A 50-Unit Family Community in Lansing, Kansas	
 Bryan Hulet - ARCHITECT OF RECORD Kansas LICENSE # 5503 Parker Associates 2202 East 49th Street South, Suite 200 Tulsa, OK 74115 (918)-742-2485	Covington Woods Apartments II, LP 1329 E. Lark Street Springfield, MO. 65804 417-883-1632
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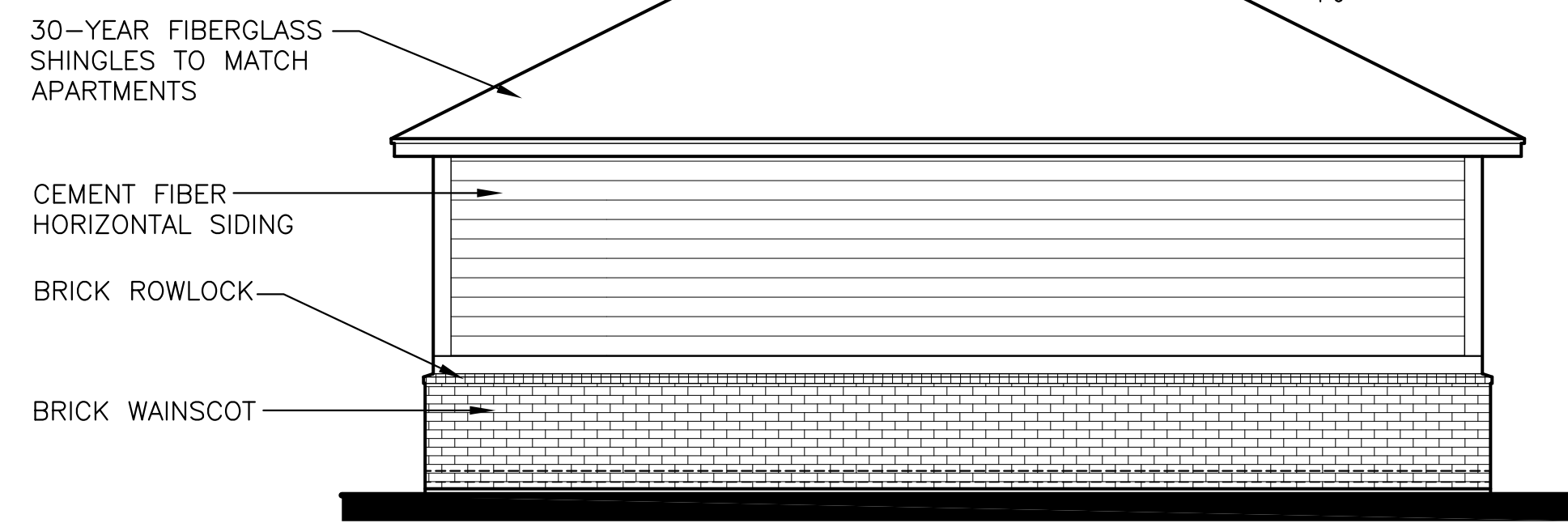
10 BREEZEWAY BICYCLE PARKING DETAIL
1/4" = 1'-0"



9 MONUMENT SIGN PAN & ELEVATION
1/2" = 1'-0"



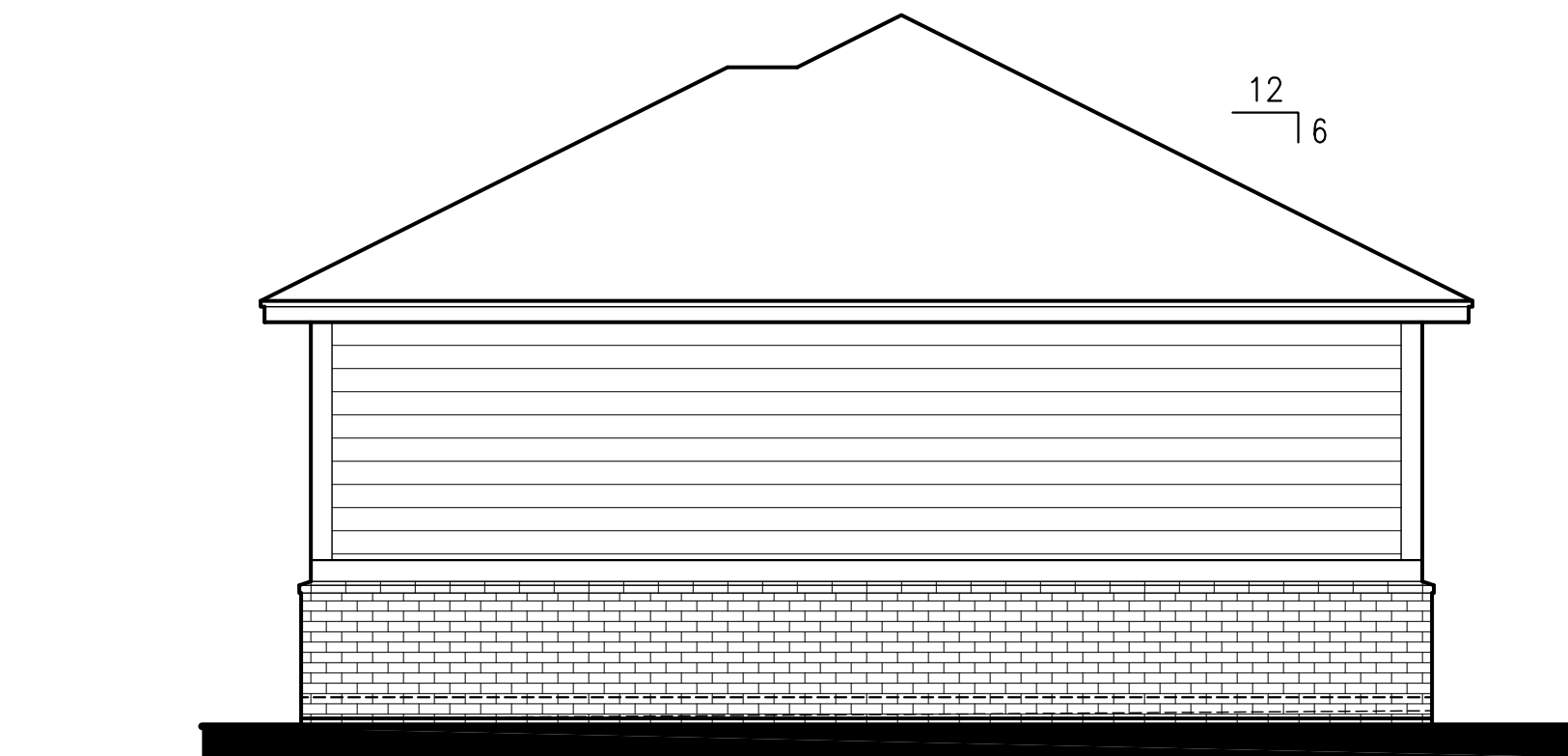
4 MAINTENANCE GARAGE PLAN
1/4" = 1'-0"



6 MAINTENANCE GARAGE BACK ELEVATION
1/4" = 1'-0"



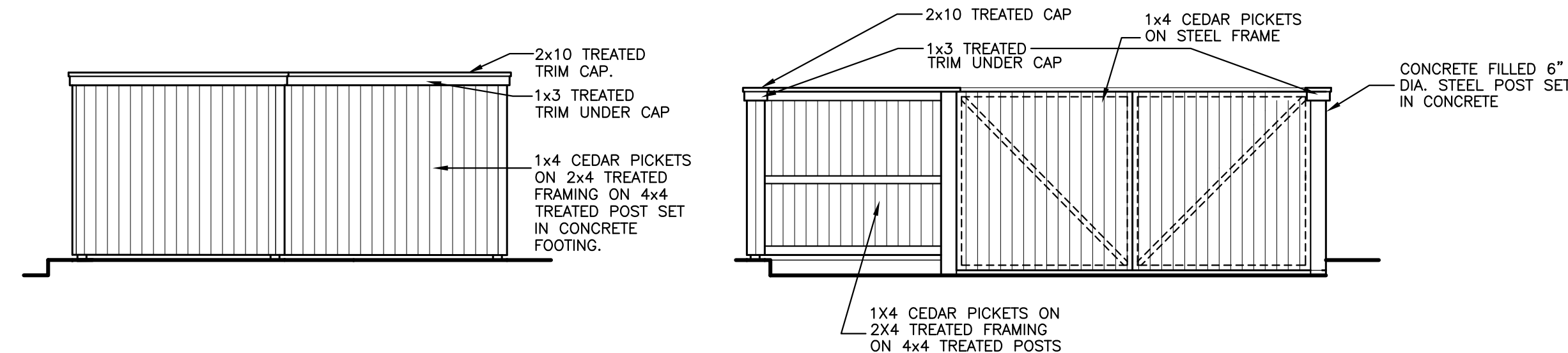
8 MAINTENANCE SIDE ELEVATION
1/4" = 1'-0"



7 MAINTENANCE SIDE ELEVATION
1/4" = 1'-0"

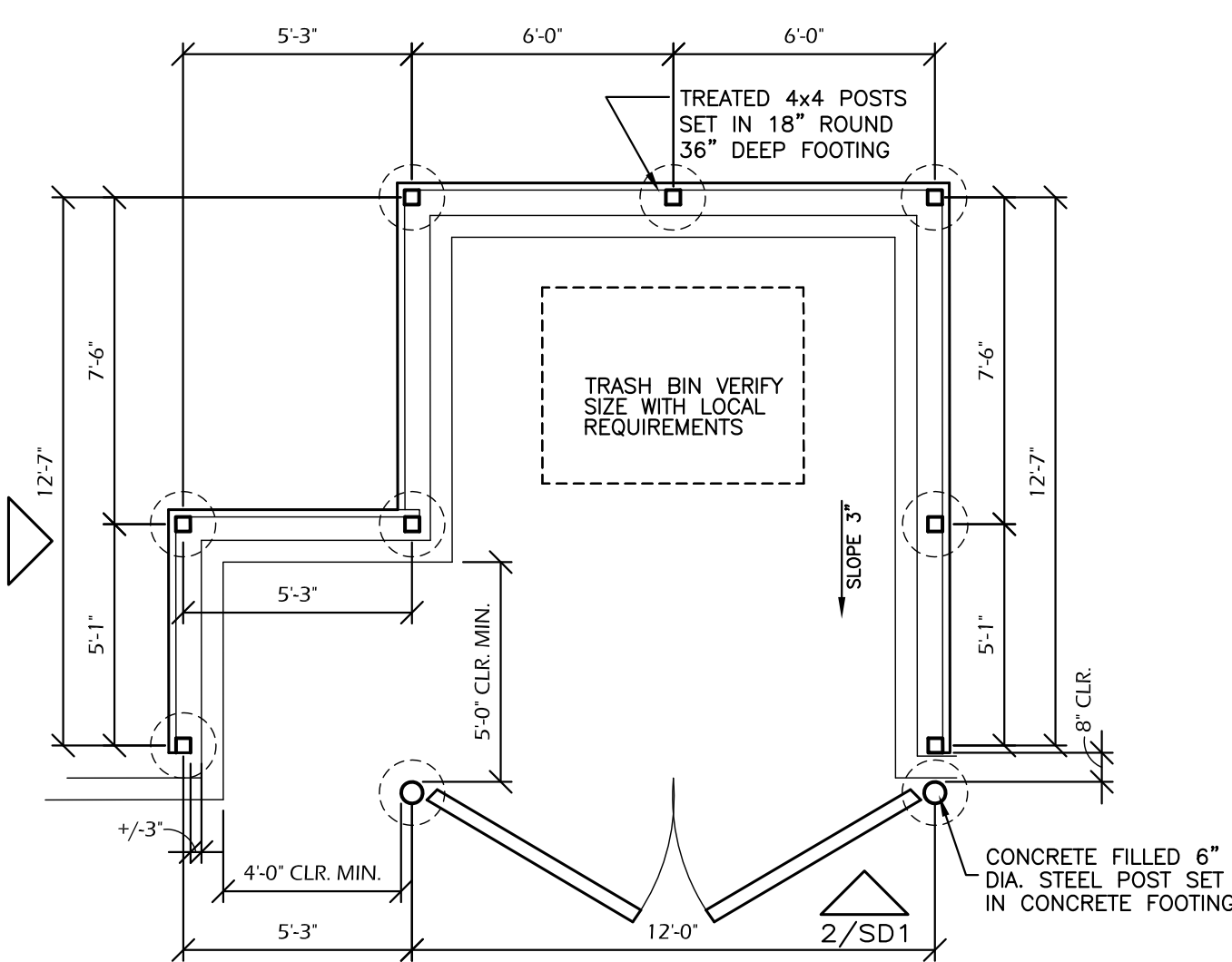


5 MAINTENANCE GARAGE FRONT ELEVATION
1/4" = 1'-0"



3 TRASH SIDE ELEVATION
1/4" = 1'-0"

2 FRONT ELEVATION
1/4" = 1'-0"



1 TRASH ENCLOSURE PLAN
1/4" = 1'-0"

Covington Woods II A 50-Unit Family Community in Lansing, Kansas	
 Bryan Hulet - ARCHITECT OF RECORD Kansas LICENSE # 5503 Parker Associates 2202 East 48th Street South, Suite 200 Tulsa, OK 74105 (918)-742-2485	Covington Woods Apartments II, LP 1329 E. Lark Street Springfield, MO. 65804 417-883-1632
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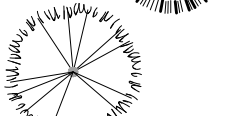









SEE SHEET CL-2 FOR LANDSCAPE DETAILS
& LANDSCAPE NOTES

CITY OF LANSING, KS LANDSCAPE REQUIREMENTS

STREET FRONTAGE TREE REQUIREMENT		
(TWO) 2 TREES PER 40 LINEAR FEET OF STREET FRONTAGE (W/ 30' BUILDING SETBACKS)		
	TREES REQUIRED	TREES PROVIDED
W. MARY ST. = 451LF	23	23
W. KAY ST. = 651 LF	33	33
PERIMETER LANDSCAPE STRIP		
ALL PERIMETERS OF PLATTED AREAS SHALL REQUIRE A PERIMETER LANDSCAPE STRIP BEING A MINIMUM OF (5) FIVE FEET WIDE.		
	REQUIRED	PROVIDED
	✓	✓
RECEPTACLE SCREENING		
SCREENING OF OUTDOOR TRASH RECEPTACLES SHALL OCCUR FOR ALL NEW DEVELOPMENTS.		
	REQUIRED	PROVIDED
	✓	✓
PERIMETER PARKING LOT LANDSCAPING		
(ONE) 1 SHADE TREE AND (FIVE) 5 SHRUBS ARE REQUIRED FOR EVERY 35 LINEAR FEET OF ROAD FRONTAGE.		
	TREES REQUIRED	TREES PROVIDED
PERIMETER PARKING = 456 LF	13	13
	SHRUBS REQUIRED	SHRUBS PROVIDED
PERIMETER PARKING = 456 LF	65	71

NOTE:
DETAILED LANDSCAPE PLAN TO IMPLEMENT PLANTS RECOMMENDED BY THE CITY OF LANSING ZONING CODE. APPROVED TREE LIST FROM "GREAT TREES FOR KANSAS CITY REGION (PROVIDED BY ROBERT WHITMAN, ASLA, AICP, LEED AP DEC. 2013)

PLANT SCHEDULE							
TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	CAL	SIZE
	STMAP	4	SHANTUNG MAPLE	ACER TRUNCATUM	B&B	2" CAL	8'-10' HT.
	ERB	4	EASTERN REDBUD	CERCIS CANADENSIS	B&B	2" CAL	8'-10' HT.
	DOGW	3	KOUSA DOGWOOD	CORNUS KOUSA	B&B	2" CAL	7'-8' HT.
		3	SHADEMASTER HONEY LOCUST	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	B&B	3" CAL	10'-12' HT.
	TAYJ	13	TAYLOR JUNIPER	JUNIPERUS VIRGINIANA 'TAYLOR'	B&B		7'-8' HT.
	RRCRB	1	ROYAL RAINDROPS® CRABAPPLE	MALUS X 'JFS-KW5'	B&B	2" CAL	7'-8' HT.
	CBS	6	COLORADO BLUE SPRUCE	PICEA PUNGENS 'KOSTER'	B&B		7'-8' HT.
	BOSP	22	BOSNIAN PINE	PINUS HELDREICHII	B&B		7'-8' HT.
	LPT	12	LONDON PLANE TREE	PLATANUS X ACERIFOLIA	B&B	3" CAL	10'-12' HT.
	BOAK	22	BURR OAK	QUERCUS MACROCARPA	B&B	3" CAL	10'-12' HT.
	SOAK	15	SHUMARD OAK	QUERCUS SHUMARDII	B&B	3" CAL	10'-12' HT.
	BCYP	8	BALD CYPRESS	TAXODIUM DISTICHUM	B&B	3" CAL	10'-12' HT.; 4'-5' SPD.
	GGA	18	GREEN GIANT ARBORVITAE	THUJA X 'GREEN GIANT'	B&B		7'-8' HT.

Not on Tree list. Revise



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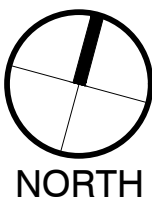
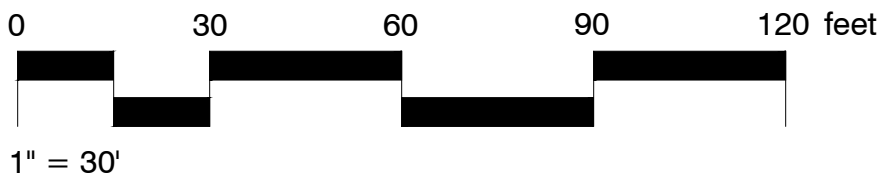


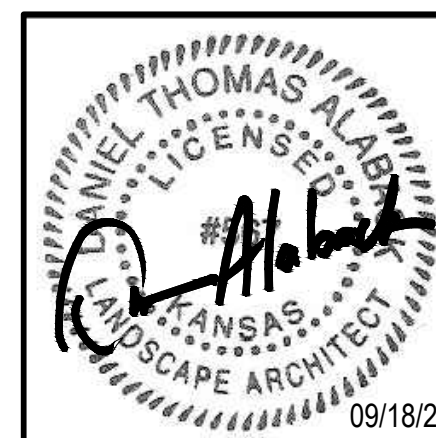
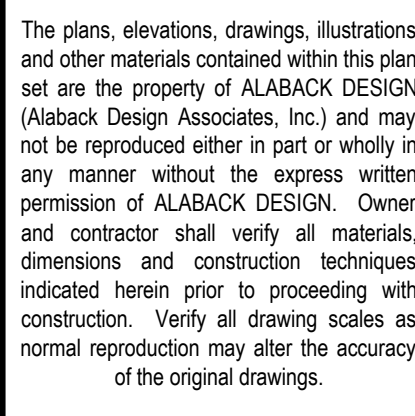
COVINGTON WOODS II
APARTMENTS

ZIMMERMAN PROPERTIES
LANDSING, KS

REVISIONS:		
#	DATE	DESCRIPTION

ISSUE	
PLANS	
DATE:	09.18.2023
PROJECT #	23038
DESIGN:	BN
DRAWN:	BN
CHECKED:	DA
SHEET TITLE	
PRE DEVELOPMENT LANDSCAPE PLAN	
SHEET #	
CP-1	





ZIMMERMAN PROPERTIES
LANDSING, KS

REVISIONS:		
#	DATE	DESCRIPTION

ISSUE #	
PLANS	
DATE:	09.18.2023
PROJECT #	23038
DESIGN:	BN
DRAWN:	BN
CHECKED:	DA
SHEET TITLE	
LANDSCAPE DETAILS & NOTES	
CP-2	SHEET #

CALL 811 FOR INFORMATION ON THE LOCATION OF ALL UNDERGROUND UTILITIES. CONTACT PRIOR TO DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE UTILITIES (BOTH OVERHEAD AND BURIED) WHICH MAY OCCUR DUE TO HIS ACTION OR LACK THEREOF ON THE PROJECT SITE DURING LANDSCAPE OR IRRIGATION INSTALLATION. CONTRACTOR SHALL SEEK THE ASSISTANCE OF LOCAL UTILITIES AND THE OWNER IN LOCATING THE UTILITIES PRIOR TO PERFORMING CONSTRUCTION OPERATIONS IN ANY AREA.

PLANT SHRUBS ONE (1) INCH ABOVE FINISHED GRADE. ALL PLANTING BEDS SHALL HAVE POSITIVE DRAINAGE OUT OF BEDS AND AWAY FROM BUILDINGS, PERMANENT STRUCTURES, AIR CONDENSER UNITS, UTILITY BOXES, SIDEWALKS, ETC.

CROWN LANDSCAPE ISLANDS IN PARKING LOT 3" ABOVE TOP OF CURB OR AS DIRECTED ON DRAWING.

ALL LANDSCAPE BEDS SHALL HAVE A MINIMUM 12" DEPTH SOIL MIXTURE COMPRISED OF A THREE (3) INCH LAYER OF BACK TO NATURE SOIL CONDITIONER, ONE (1) INCH LAYER OF AGED STERILIZED COM MANURE AND NINE (9) INCH LAYER OF EXISTING TOPSOIL. ROTO-TILL AMENDMENTS AND TOPSOIL TO A DEPTH OF 12" UNTIL A SMOOTH EVEN MIXTURE IS ACHIEVED. INCORPORATE ROOTS TRANSPLANT ONE-STEP AT A RATE OF 5 POUNDS PER 100 SQUARE FEET, AND MENDER'S DRY MOLASSES AT A RATE OF 3 LBS PER 100 SQUARE FEET INTO THE TOP 3"-4" OF TOPSOIL.

ALL PLANTING BEDS SHALL BE DELINEATED AS SHOWN ON THE PLANS WITH A SHOVEL CUT EDGE, UNLESS OTHERWISE NOTED FOR STEEL BED EDGING. INSTALL PRO-STEEL 3/16" X 4" BLACK STEEL BED EDGING WHERE INDICATED.

MULCH ALL TREE WELLS AND PLANTING BEDS WITH SHREDDED HARDWOOD MULCH TO A DEPTH OF THREE (3) INCHES. TOP OF MULCH LAYER SHALL BE PLACED ONE (1) INCH BELOW TOP OF CURBS, WALKS, AND ALL OTHER HARDSCAPE STRUCTURES.

A MINIMUM FIVE (5) FOOT DIAMETER AREA OF MULCH SHALL BE PROVIDED AROUND ALL TREES LOCATED OUTSIDE OF PLANTING BEDS. MULCH ALL TREE WELLS OUTSIDE OF PLANTING BEDS WITH SHREDDED HARDWOOD MULCH TO A DEPTH OF THREE (3) INCHES.

MULCH SHALL NOT BE PLACED AGAINST THE TRUNKS OF TREES.

ALL AREAS DISTURBED BY CONSTRUCTION, SHALL BE RE-VEGETATED WITH SOLID SLAB SOD. SOD SHALL BE TURF HYBRID BLEND TALL FESCUE. WATER AND ROLL IN ACCORDANCE WITH STANDARD NURSERY PRACTICE.

PRIOR TO LAYING SOD, APPLY FERTILIZER ACCORDING TO TIME OF INSTALLATION:

APRIL 1 - SEPT 31;

APPLY 10-20-10 FERTILIZER AT A RATE OF 1/2 POUND OF NITROGEN PER 1,000 S.F. OF LAWN AREA

OCTOBER 1 - MARCH 31;

APPLY 16-8-8 FERTILIZER AT A RATE OF 1 POUND OF NITROGEN PER 1,000 S.F. OF LAWN AREA.

HYDROSEED AREAS WITH THE FOLLOWING GUIDELINES. BERMUDA BASE FOR APRIL 1ST-SEPTEMBER 30TH & FESCUE/RYE MIX FOR OCTOBER 1ST THRU MARCH 31ST. PRIOR TO APPLICATION, ROUGHEN THE SLOPE, FILL AREA, OR AREA TO BE SEEDDED WITH THE FURROWS TENDING ALONG THE CONTOURS. ROLLING WITH A CRIMPING OR PUNCHING TYPE ROLLER OR TRACK WALKING IS REQUIRED ON ALL SLOPES PRIOR TO HYDRO-SEEDING. TRACK WALKING SHALL ONLY BE USED WHERE OTHER METHODS ARE IMPRACTICAL. APPLY A STRAW MULCH TO KEEP SEEDS IN PLACE AND TO MODERATE SOIL MOISTURE AND TEMPERATURE UNTIL THE SEEDS GERMINATE AND GROW.

PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND OUT OF PLANTING BEDS. GRADING SHALL BE PERFORMED TO PREVENT PONDING IN LAWN AREAS. PROVIDE A SMOOTH TRANSITION BETWEEN THE SITE AND ADJACENT PROPERTIES.

ALL DESIGNATED AREAS OF THE SITE ARE TO BE IRRIGATED WITH A FULLY AUTOMATIC PERMANENT UNDERGROUND IRRIGATION SYSTEM. REFER TO IRRIGATION PLANS FOR DETAILED IRRIGATION SYSTEM DRAWINGS. COORDINATE WITH LANDSCAPE INSTALLATION. PROVIDE AN AS-BUILT IRRIGATION DOCUMENT FOR OWNER'S FILE WHEN COMPLETED

A TREE PLANTING DETAIL

SCALE: N.T.S.

