

SITE PLAN
FOR
PRIMUS DENTAL
1ST ST TERRACE
LANSING, LEAVENWORTH COUNTY, KANSAS

PROJECT TEAM & UTILITY CONTACT LIST	
OWNER TIMOTHY FILLIMAN, DDS 842 N MAIN STREET LANSING, KS 66043 PH: (913)682.5615	WATER LAN-DEL WATER DISTRICT P.O. BOX 227 LANSING, KS 66043 PH: (913)727.3350
ARCHITECT PRIMUS COMPANIES 401 8TH AVENUE SE CEDAR RAPIDS IOWA, 52401 PH: (319)853.1241	SANITARY SEWER CITY OF LANSING 800 1ST TERRACE LANSING, KS 66043 PH: (913)727.2487
ENGINEER OLSSON, INC. 1717 INGERSOLL AVENUE SUITE 111 DES MOINES, IA 50309 PH: (515)331.6517	STORM SEWER CITY OF LANSING PUBLIC WORKS 730 1ST TERRACE SUITE 3 LANSING, KS 66043 PH: (913)727.2400
SURVEYOR POWELL CWM, INC. 3200 S. STATE ROUTE 291, BLDG. 1 INDEPENDENCE, MO 64057 PH: (816)373.4800	GAS KANSAS GAS SERVICE 2720 2ND AVE LEAVENWORTH, KS 66048 PH: (515)252.6632
	ELECTRIC EVERGY PH: (888)471.5275

913-727-2206



SITE LOCATION MAP

SCALE: 1"=500'

Sheet List Table	
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SITE DATA		
PROPOSED USE		DENTAL/OFFICE
PROPOSED LOT SIZE		±1.26 ACRES ±54,697 SF
BUILDING HEIGHT		±26'-0"
REQUIRED PARKING	1 STALL PER 100 SF OF BUILDING	
	TOTAL	36 STALLS
	ADA	2 STALLS
PROPOSED PARKING	STANDARD	32 STALLS
	ADA	4 STALLS
	TOTAL	36 STALLS
BUILDING AREA		3,524 SF
PAVEMENT/PARKING/SIDEWALK AREA		17,711 SF
TOTAL IMPERVIOUS AREA		21,235 SF (38.82%)
TOTAL PERVIOUS AREA		33,462 SF (61.18%)

COMPREHENSIVE / ZONING INFORMATION

ZONING: B-2 (GENERAL BUSINESS DISTRICT)	
COMPREHENSIVE	EXISTING - B-2 GENERAL BUSINESS DISTRICT PROPOSED - B-2 GENERAL BUSINESS DISTRICT
FRONT YARD SETBACK	10'-30'
SIDE YARD SETBACK	0'
REAR YARD SETBACK	NONE
MAXIMUM HEIGHT (STORIES)	45' (3 STORIES)

REVIEWED BY:

CITY OF LANSING

DATE

BRAD FREEMAN, P.E.
CIVIL ENGINEER
KS#26664

5/16/22
DATE

Reviewed By PW

06/06/2022 9:30:49 AM
By mspickelmier

Reviewed By WW Dept

06/06/2022 11:28:39 AM
By T Zell

Reviewed By CED

06/09/2022 2:48:38 PM
By mschmitz

LEGAL DESCRIPTION:

(TITLE COMMITMENT DATED MARCH 25, 2022 BY CHICAGO TITLE INSURANCE COMPANY FILE NO.: TX0016703)
LOTS 7 AND 8, RICHARD BESEL GREENAMYRE SUBDIVISION, CITY OF LANSING, LEAVENWORTH COUNTY, KANSAS.

REFERENCE BEARING:

BEARINGS SHOWN HEREON ARE BASED ON THE NORTH LINE OF LOT 8, RICHARD BESEL GREENAMYRE SUBDIVISION, A SUBDIVISION IN TH CITY OF LANSING, LEAVENWORTH COUNTY, KANSAS. NORTH 90°00'00" EAST

BENCHMARK :

CENTER OF STORM SEWER MANHOLE LID ON CURB INLET AT SOUTHEAST CORNER OF PROPERTY.
ELEVATION=839.74

GENERAL NOTES:

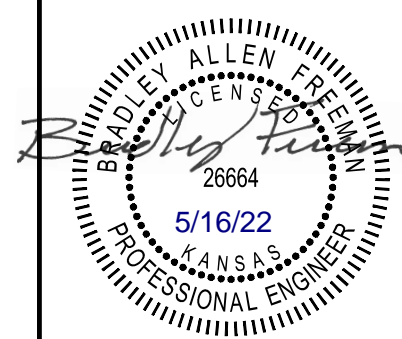
- ALL WORK SHALL CONFORM TO ALL LOCAL, STATE, AND FEDERAL APPLICABLE LAWS AND REGULATIONS.
- ALL WORK AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, THE CITY OF LANSING TECHNICAL SPECIFICATIONS, PLANS AND DETAILS SHOWN HEREIN, AND THE CITY OF LANSING DESIGN CRITERIA, LATEST EDITION. IN THE CASE OF A CONFLICT BETWEEN VARYING SPECIFICATIONS, THE MOST STRINGENT SHALL APPLY.
- THE CONTRACTOR SHALL HAVE IN HIS POSSESSION AT ALL TIMES ONE (1) SIGNED COPY OF THE PLANS, STANDARDS, AND SPECIFICATIONS AS APPROVED BY THE APPROPRIATE GOVERNING AGENCY AND OWNER. THE CONTRACTOR SHALL NOT CHANGE OR DEViate FROM THESE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE OWNER, ENGINEER, AND GOVERNING AGENCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL JOB SITE SAFETY ON THE PROJECT. THIS SHALL INCLUDE THE SAFETY OF HIS OWN PERSONNEL, SUBCONTRACTORS, ALL VISITORS TO THE SITE, AND THE GENERAL PUBLIC. ALL JOB SITE SAFETY SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND CODES, AND ENSURE COMPLIANCE INCLUDING, BUT NOT LIMITED TO, THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.
- THE CONTRACTOR SHALL CONTACT KANSAS ONE-CALL AT #811 OR 800-344-7233 A MINIMUM OF 48 HOURS (EXCLUDING WEEKENDS AND HOLIDAYS) IN ADVANCE OF ANY EXCAVATION.
- THE LOCATIONS OF EXISTING UTILITIES AND STRUCTURES SHOWN ON THE PLANS ARE APPROXIMATE AND HAVE BEEN SHOWN FROM AVAILABLE SURVEYS AND/OR RECORDS. THERE MAY BE ADDITIONAL UTILITIES PRESENT, THE EXISTENCE OF WHICH IS NOT PRESENTLY KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE, EXACT LOCATION/SIZE, ADEQUATELY PROTECT/SUPPORT, AND TO AVOID DAMAGE THERETO. THE CONTRACTOR SHALL INCLUDE, AT NO ADDITIONAL COST, ANY POTHOLES OR EXPLORATORY EXCAVATIONS NECESSARY TO LOCATE EXISTING UTILITIES. UTILITIES SHALL BE LOCATED SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY DUE TO ACTUAL LOCATION OF EXISTING FACILITIES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE GOVERNING AGENCY AND/OR THE UTILITY OWNER.
- ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE INDICATED IN THE PLANS, AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES SHOWN IN THE PLANS AND/OR SPECIFICATIONS. DO NOT SCALE DRAWINGS - USE ONLY DIMENSIONS PROVIDED ON THESE PLANS.
- ALL ESTIMATES OF QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING ACTUAL QUANTITIES, AND SHALL PROVIDE ALL WORK AND MATERIALS NECESSARY TO CONSTRUCT THE PROJECT IN ITS ENTIRETY.
- CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS NOT DESIGNATED FOR REMOVAL AND THOSE IMPROVEMENTS THAT ARE OUTSIDE THE LIMITS OF THE PROPOSED CONSTRUCTION. CONTRACTOR SHALL TAKE CARE TO AVOID DAMAGE THERETO AND SHALL PROVIDE TEMPORARY FENCING, BARRICADES, SUPPORTS, RESTRAINTS, AND /OR BRACING WHERE REQUIRED TO PROTECT EXISTING IMPROVEMENTS. DAMAGE TO EXISTING IMPROVEMENTS SHALL BE REPAIRED AND/OR REPLACED TO EQUAL OR BETTER CONDITION AT THE CONTRACTOR'S EXPENSE.
- ALL GRADING AND CONSTRUCTION ACTIVITIES SHALL BE CONFINED TO THE OWNER'S PROPERTY, PUBLIC RIGHT-OF-WAY, PERMANENT EASEMENTS, AND TEMPORARY CONSTRUCTION EASEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NOT OBTAINED BY THE OWNER OR OWNER'S REPRESENTATIVES, AND PAY ALL FEES AS REQUIRED BY THE CONSTRUCTION COVERED IN THESE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE APPROPRIATE GOVERNING AGENCIES AND LOCAL FIRE DEPARTMENT OF ALL STREET CLOSURES AND EXISTING FIRE HYDRANTS/FIRE SUPPRESSION TAKEN OUT OF SERVICE AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL SITE SECURITY AND SHALL PROPERLY PROTECT AND BARRICADE THE CONSTRUCTION SITE UNTIL CONSTRUCTION IS COMPLETE. STORAGE, LOSS DUE TO THEFT, OR VANDALISM OF MATERIALS

AND EQUIPMENT (SECURED OR UNSECURED) WILL BE SOLELY AT THE CONTRACTOR'S EXPENSE.

- TEMPORARY POWER, TELEPHONE, AND WATER FOR THE SITE IS THE CONTRACTOR'S RESPONSIBILITY UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL REFER TO OTHER DRAWINGS ISSUED BY ARCHITECT, STRUCTURAL, ELECTRICAL, AND MECHANICAL ENGINEERS. ENSURE COORDINATION OF EXACT LOCATION AND DIMENSIONS OF BUILDINGS, EXITS, RAMPS, UTILITY ENTRANCE LOCATIONS AND GRADES AROUND THE BUILDING. IMMEDIATELY NOTIFY ENGINEER AND ARCHITECT OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL PROVIDE ALL TRAFFIC CONTROL NECESSARY TO COMPLETE THE WORK. ALL TRAFFIC CONTROL DEVICES AND METHODS OF CONTROLLING TRAFFIC THROUGH CONSTRUCTION ZONES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MUTCD, AND ALL REVISIONS THERETO INCLUDING LOCAL AND STATE SUPPLEMENTS. ADDITIONAL WORK IN THE RIGHT-OF-WAY OR TRAFFIC CONTROL PERMITS MAY BE NECESSARY AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- IF UNANTICIPATED HAZARDOUS MATERIALS OF ANY KIND ARE ENCOUNTERED IN THE WORK, THE CONTRACTOR SHALL IMMEDIATELY CEASE ALL CONSTRUCTION OPERATIONS AND NOTIFY THE OWNER AND/OR OWNER'S REPRESENTATIVE FOR FURTHER DIRECTION.
- ALL DEBRIS RESULTING FROM CONSTRUCTION AND DEMOLITION SHALL BE HAULED OFF SITE AND DISPOSED OF PROPERLY AND LEGALLY.
- DURING DEMOLITION OPERATIONS, THE CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES USING MEANS OF THEIR CHOICE.
- THE CONTRACTOR SHALL CONTINUOUSLY PROVIDE ADEQUATE STORMWATER MANAGEMENT IN ACCORDANCE WITH THE APPROVED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND CONSTRUCTION STORMWATER PERMIT. THE CONTRACTOR(S) MUST ADHERE TO GOOD HOUSEKEEPING BEST MANAGEMENT PRACTICES AT ALL TIMES. GOOD HOUSEKEEPING BEST MANAGEMENT PRACTICES FOCUS ON KEEPING THE WORK SITE CLEAN AND ORDERLY WHILE HANDLING MATERIALS AND WASTE IN A MATEr THAT ELIMINATES THE POTENTIAL FOR POLLUTANT RUNOFF.
- IN ORDER TO ATTAIN FINAL CERTIFICATION OF OCCUPANCY APPROVAL, DOCUMENTATION WILL BE REQUIRED FROM THE GENERAL CONTRACTOR VIA THE GRADING CONTRACTOR/SOIL EROSION CONTROL CONTRACTOR/OR THE PROJECT CIVIL ENGINEER THAT THE PROJECT MEETS THE CURRENT TOPSOIL PRESERVATION REQUIREMENTS OF THE KANSAS DEPARTMENT OF HEALTH AND ENVIRONMENT (KDHE).
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC RIGHT R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE CITY OF LANSING TO SCHEDULE ANY REQUIRED INSPECTIONS. IT IS IMPORTANT TO NOTE CITY APPROVAL OF THIS PLAN IS SUBJECT TO THE APPLICANT OBTAINING ALL NECESSARY EASEMENTS/AGREEMENTS AND APPLICABLE PERMITS.
- ANY CHANGES TO THE PLANS SHALL BE APPROVED IN WRITING BY THE CITY OF LANSING. CONTRACTOR IS RESPONSIBLE FOR ANY CHANGES MADE WITHOUT CITY APPROVAL.
- THE CONTRACTOR SHALL PROTECT STORM SEWERS AND DRAINAGE WAYS FROM ALLOWING CONCRETE SLURRY FROM CONCRETE OPERATIONS TO DISCHARGE OFFSITE.
- APPROVED ACCESS WITHIN 100-FEET OF ALL SIDES OF THE BUILDING SHALL BE PROVIDED AS SOON AS CONSTRUCTION OF THE BUILDING STARTS. THE APPARATUS ROAD SHALL COMPLY WITH THE REQUIREMENTS OF THE ADAPTED IFC SECTION r502.2 AND SHALL EXTEND TO WITHIN 100-FEET OF ALL EXTERIOR WALLS AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING.
- A LIMITED TRAFFIC IMPACT STUDY IS ANTICIPATED FOR THE PROJECT; A TRAFFIC IMPACT STUDY SHALL BE COMPLETED BY THE DEVELOPERS ENGINEER AND APPROVED BY THE CITY OF LANSING BEFORE A VERTICAL BUILDING PERMIT WILL BE ISSUED. IF PUBLIC IMPROVEMENTS ARE REQUIRED FROM THE APPROVED TRAFFIC IMPACT STUDY THEN THE PUBLIC IMPROVEMENTS SHALL BE COMPLETED BY THE DEVELOPER'S CONTRACTOR AND ACCEPTED BY THE CITY OF LANSING BEFORE A TCO OR CO IS ISSUED FOR THIS PROJECT.

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TEL 515.331.6517
www.olsson.com



REVISIONS DESCRIPTION

DATE

REV. NO.

REVISIONS

2022

COVER SHEET
SITE PLAN

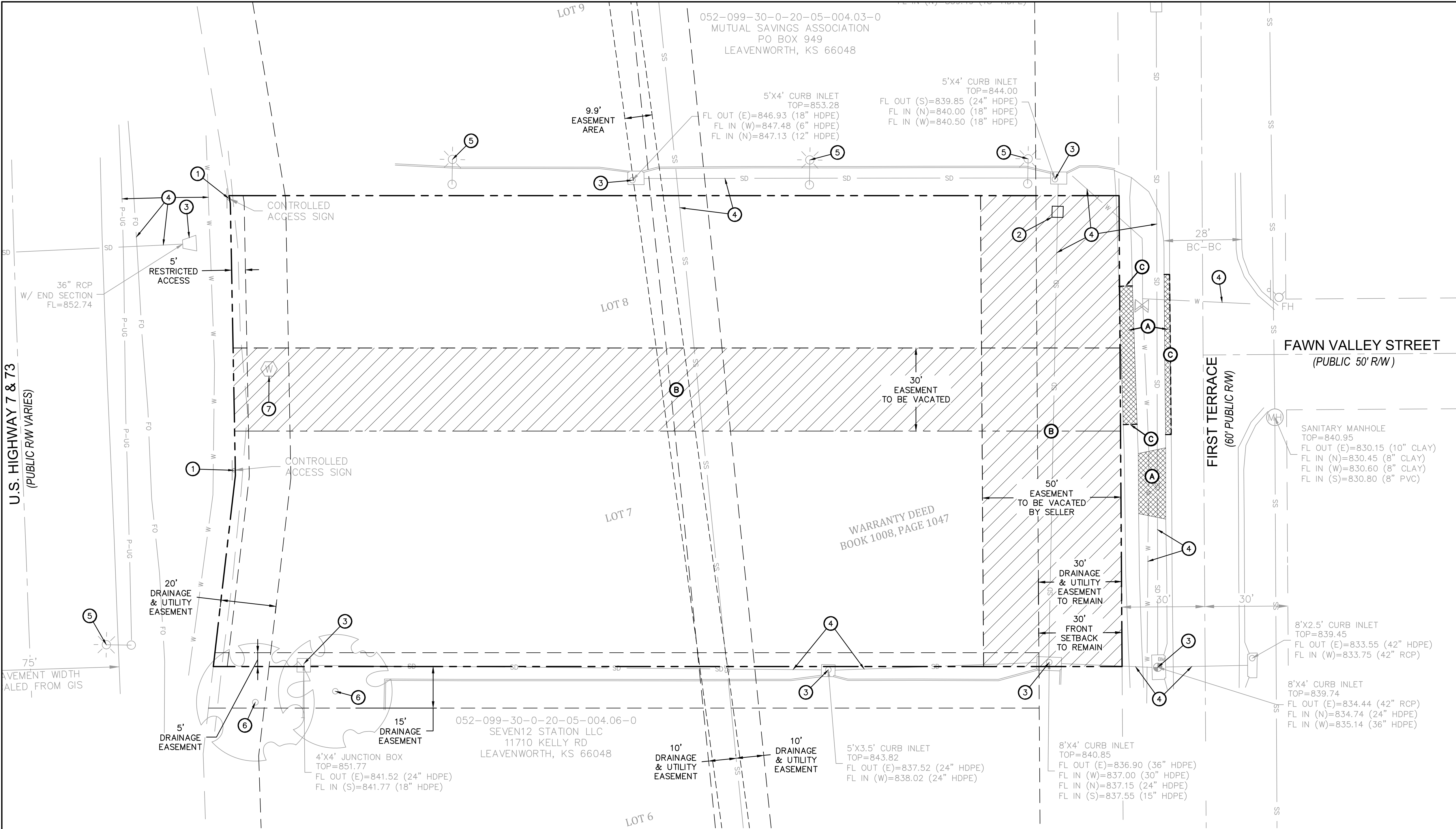
PRIMUS DENTAL
1ST ST TERRACE

LANSING, KS

drawn by: RMG
checked by: BAF
approved by: BAF
QA/QC by: BAF
project no.: 022-02457
drawing no.: C_TTL01_02202457
date: 05.13.2022

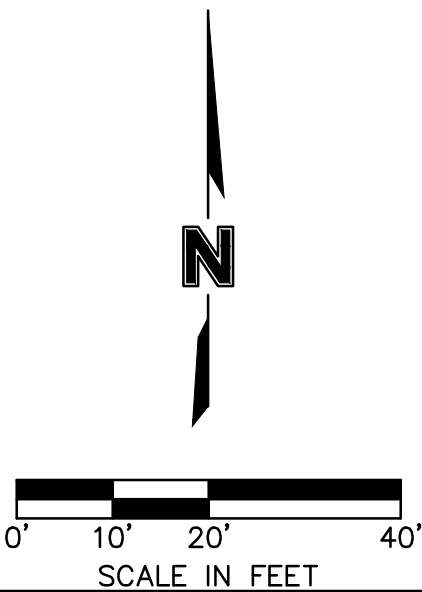
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DEMOLITION LEGEND

- PROPERTY LINE
- REMOVE EXISTING PCC PAVEMENT AND CURB
- VACATE EXISTING EASEMENT AREA
- SAWCUT EXISTING PAVEMENT TO FULL DEPTH
- REMOVE EXISTING SIGNAGE
- REMOVE EXISTING UTILITY FOR STORM SEWER DOGHOUSE MANHOLE (SEE UTILITY SHEET C4.0)
- PROTECT EXISTING STORM SEWER STRUCTURE
- PROTECT EXISTING UTILITY LINE
- PROTECT EXISTING LIGHT POLE
- PROTECT EXISTING TREE
- CONTRACTOR TO FIELD VERIFY ROUTING OF WATER LINE ASSOCIATED WITH WATER METER AND NOTIFY ENGINEER.



EXISTING CONDITIONS AND DEMOLITION PLAN
SITE PLAN

PRIMUS DENTAL
1ST ST TERRACE

LANING, KS

drawn by: RMG
checked by: ALF
approved by: BAF
QA/QC by: BAF
project no.: 022-02457
drawing no.: C_DEM01_02202457
date: 05.13.2022

SHEET
C1.0

REVISIONS DESCRIPTION

DATE

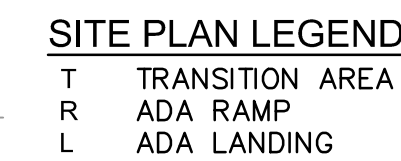
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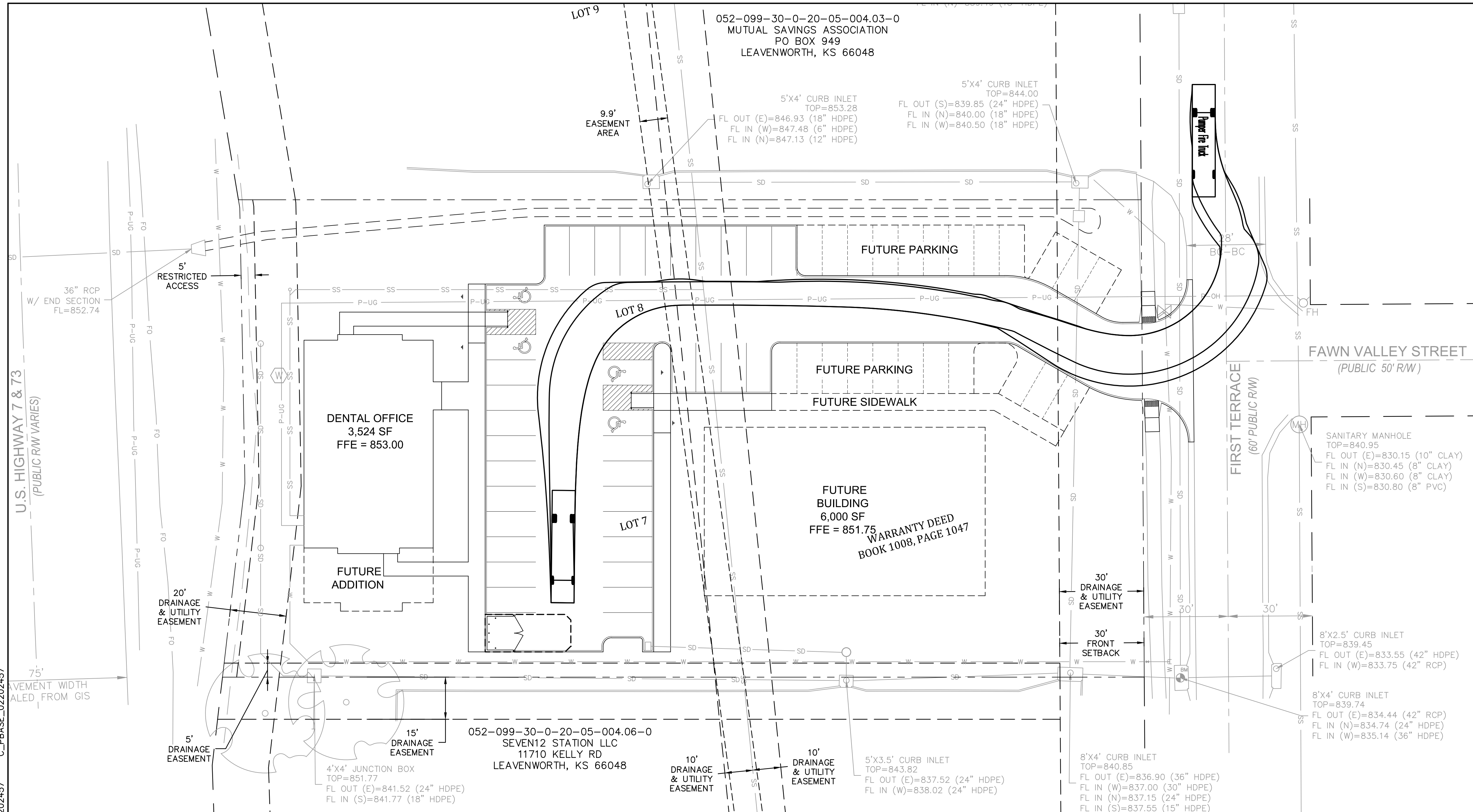
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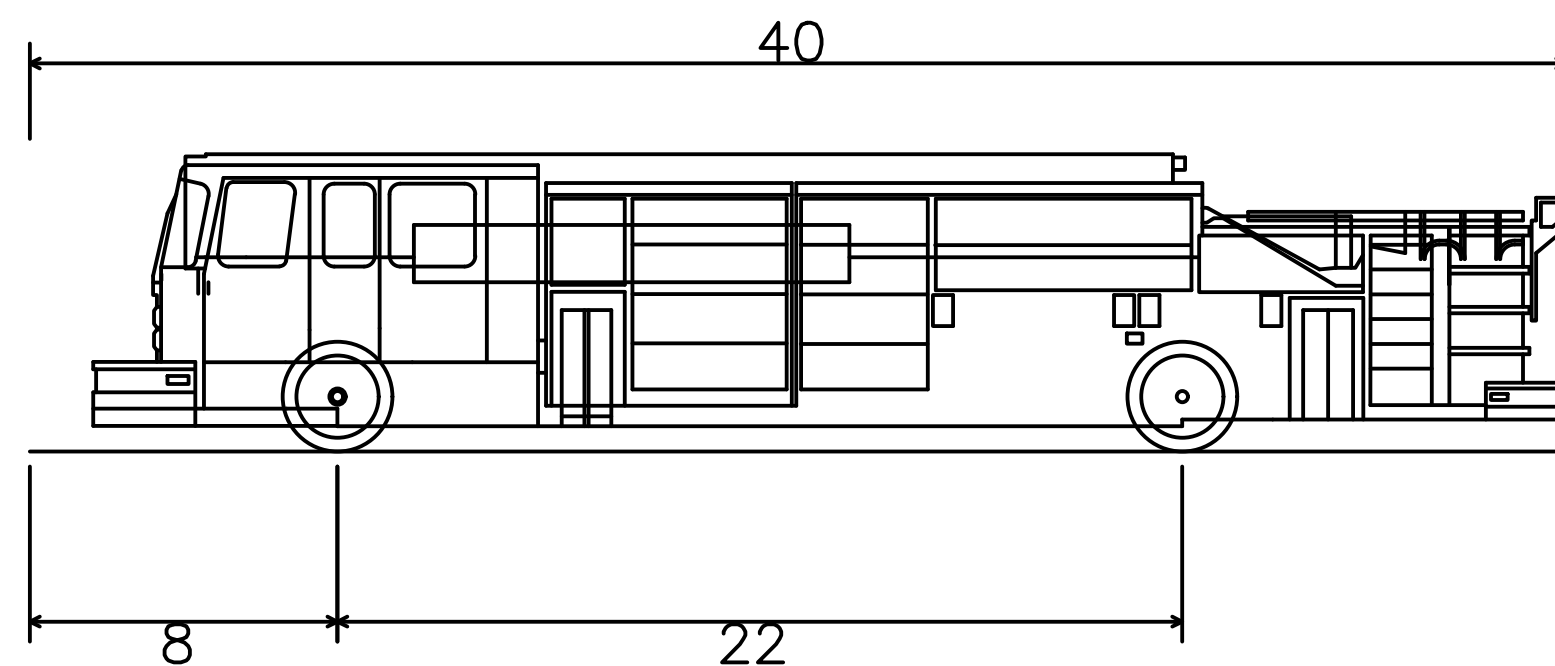
BRADLEY ALLEN JENNIFER
REGISTERED PROFESSIONAL ENGINEERS
5/16/22
26664
KANSAS
Professional Engineer



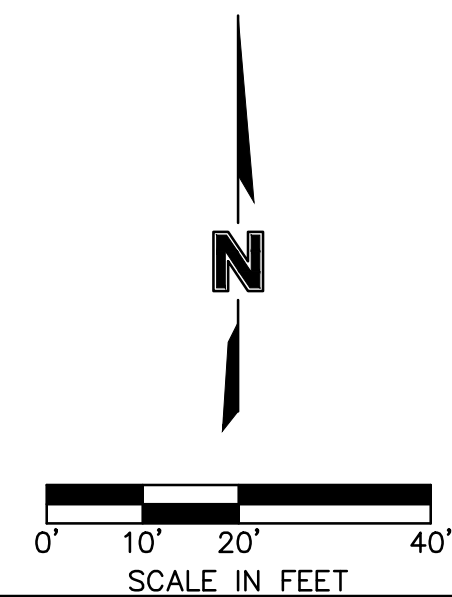
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VEHICLE PROFILE



Pumper Fire Truck	
Overall Length	40.000ft
Overall Width	8.167ft
Overall Body Height	7.745ft
Min Body Ground Clearance	0.656ft
Track Width	8.167ft
Lock-to-lock time	5.00s
Max Wheel Angle	45.00°



VEHICLE ACCESS PLAN
SITE PLAN

PRIMUS DENTAL
1ST ST TERRACE

2022

ANSING KS

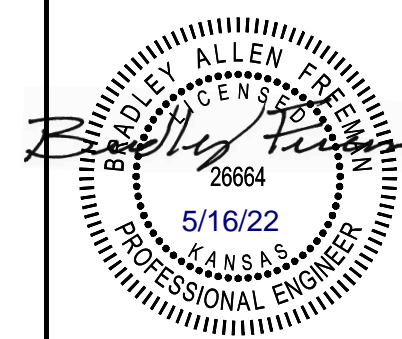
SHEET
C5.0

drawn by: _____ RMG
checked by: _____ ALF
approved by: _____ BAF
QA/QC by: _____ BAF
project no.: _____ 022-02457
drawing no. C TURN01 02202457
date: _____ 05.13.2022

REVISIONS DESCRIPTION

REV.	DATE
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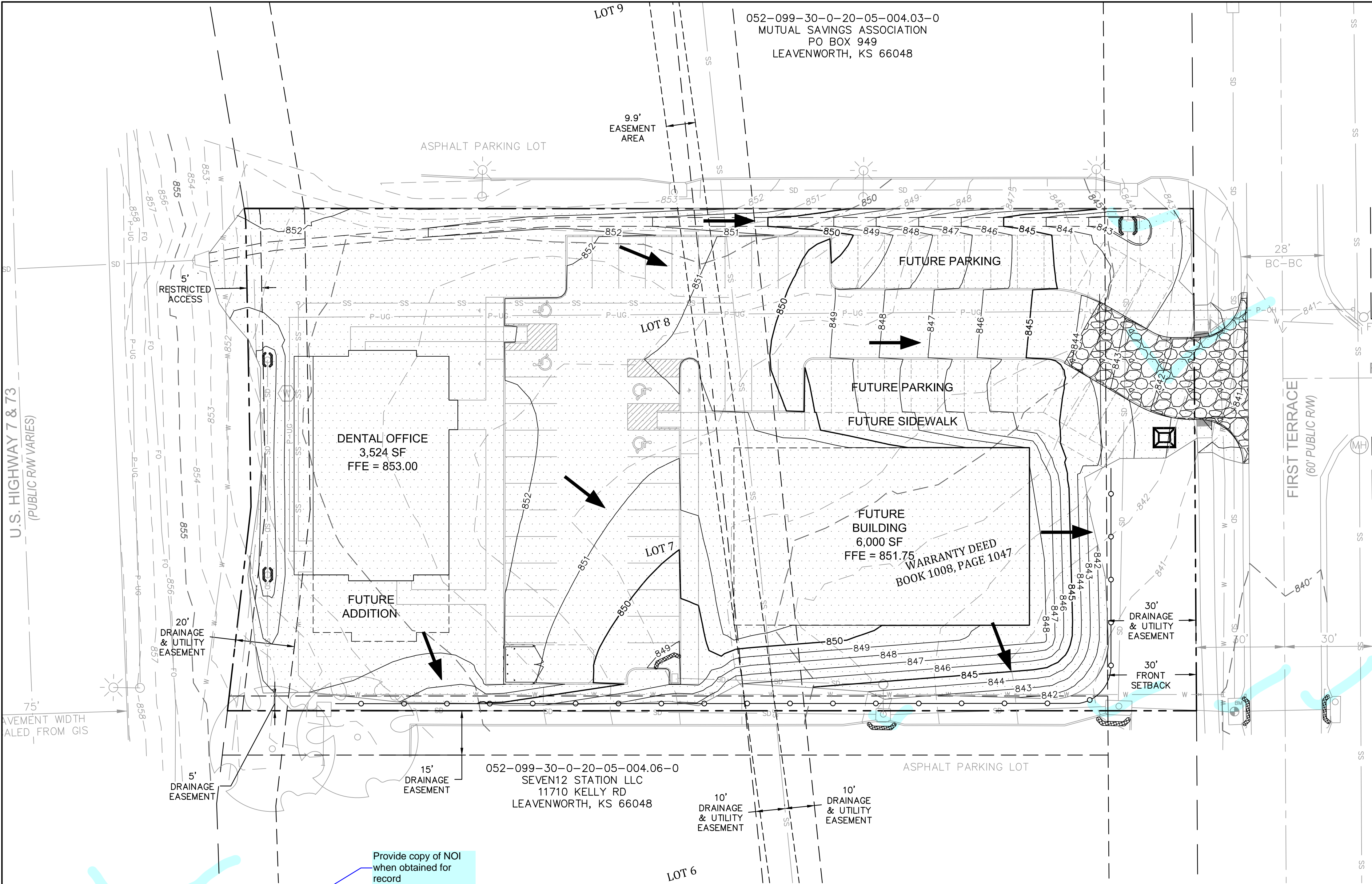
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USER: aturke



EROSION & SEDIMENT CONTROL NOTES

1. THIS PROJECT DOES REQUIRE AN NPDES GENERAL PERMIT S-MCST-1703-1 FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY FROM THE KANSAS DEPARTMENT OF HEALTH AND ENVIRONMENT (KDHE).
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PUBLIC STREETS, ACCESS ROUTES, AND WATERWAYS IN THE VICINITY OF THE JOB SITE CLEAN AND FREE OF ROCKS, SOIL AND DEBRIS.
3. THE CONTRACTOR SHALL INSTALL EROSION AND SEDIMENTATION CONTROL 'BEST MANAGEMENT PRACTICES' (BMPs) PRIOR TO ANY SITE PREPARATION WORK (E.G., CLEARING, GRUBBING, DEMOLITION, OR EXCAVATION).
4. THE PLACEMENT OF EROSION AND SEDIMENT BMPs SHALL BE IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL PLAN PREPARED FOR THE PROJECT. CONTRACTOR TO ADJUST QUANTITY, LOCATION, AND TYPE OF EROSION AND SEDIMENT CONTROL BMPs AS NECESSARY FOR THE VARIOUS PHASES OF THE WORK AND AS ACTUAL CONDITIONS WARRANT. CONTRACTOR SHALL CONTINUOUSLY MODIFY THE EROSION AND SEDIMENT CONTROL PLAN WITH CURRENT BMPs IN ACCORDANCE WITH THE CONSTRUCTION STORMWATER PERMIT REQUIREMENTS. ADDITIONAL EROSION AND SEDIMENT CONTROL BMPs EMPLOYED BY THE CONTRACTOR AT HIS DISCRETION WILL NOT BE MEASURED OR PAID FOR SEPARATELY BUT SHALL BE INCLUDED IN THE WORK.
5. APPROVED EROSION AND SEDIMENT CONTROL BMPs SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR FOR THE DURATION OF THIS PROJECT. UNLESS OTHERWISE REQUIRED BY THE STATE'S CONSTRUCTION STORMWATER PERMIT, AT A MINIMUM THE CONTRACTOR SHALL INSPECT ALL BMPs EVERY 7 DAYS, AND AFTER ALL SIGNIFICANT PRECIPITATION EVENTS I.E. RAINFALL, SNOWMELT. ALL NECESSARY MAINTENANCE AND REPAIR ACTIVITIES SHALL BE COMPLETED WITHIN TWENTY-FOUR (24) HOURS AFTER DIRECTION BY THE INSPECTOR. ACCUMULATED SEDIMENT AND CONSTRUCTION DEBRIS SHALL BE REMOVED WEEKLY FROM ALL BMPs, OR AT ANY TIME THAT SEDIMENT OR CONSTRUCTION DEBRIS ADVERSELY IMPACTS THE FUNCTIONING OF THE BMPs.
6. TOPSOIL AND SUITABLE EARTHEN MATERIALS SHALL BE SEGREGATED AND STOCKPILED WITHIN THE LIMITS OF CONSTRUCTION FOR USE ON AREAS TO BE FILLED AND RE-VEGETATED. ANY AND ALL STOCKPILES SHALL BE PLACED IN AN APPROVED LOCATION AND PROTECTED FROM EROSION ELEMENTS USING MEASURES SPECIFIED IN THE EROSION/SEDIMENT CONTROL PLAN AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
7. STABILIZATION IS REQUIRED IMMEDIATELY FOR STOCKPILES THAT WILL BE INACTIVE FOR MORE THAN 14 DAYS.
8. ANY SETTLEMENT OR SOIL ACCUMULATIONS BEYOND THE LIMITS OF CONSTRUCTION DUE TO GRADING OR EROSION SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, WETLANDS, PROPERTIES, ETC. RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
9. A WATER SOURCE MUST BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND AND FOR MEETING COMPACTION REQUIREMENTS.
10. THE CONTRACTOR MUST KEEP ALL POLLUTANTS, INCLUDING SEDIMENT, CONSTRUCTION DEBRIS,

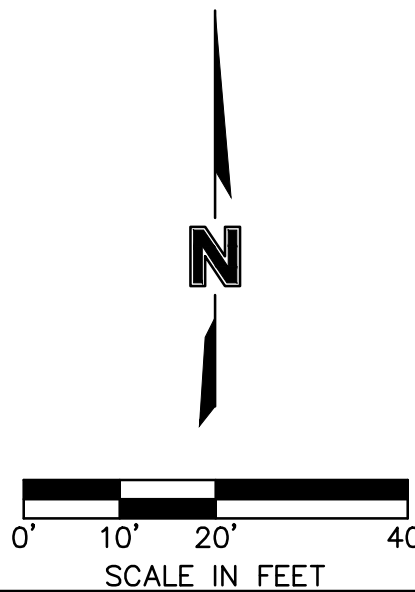
- AND TRENCH BACKFILL MATERIALS FROM ENTERING THE STORM SEWER SYSTEM.
11. ALL SPILLS INCLUDING, BUT NOT LIMITED TO, PETROLEUM PRODUCTS, SOLVENTS, AND CEMENT SHALL BE CLEANED UP IMMEDIATELY. THE LOCAL CITY/COUNTY AND STATE'S GOVERNING AUTHORITY SHALL BE NOTIFIED IMMEDIATELY.
 12. THE CONTRACTOR SHALL ENSURE THAT ALL LOADS OF CUT AND FILL MATERIAL IMPORTED TO OR EXPORTED FROM THE SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF THE MATERIAL DURING TRANSPORT ON PUBLIC RIGHT-OF-WAY. ALL MATERIAL EXPORTED FROM THE SITE SHALL BE DISPOSED OF AT A SITE PERMITTED TO ACCEPT SUCH MATERIAL.
 13. THE USE OF REBAR, STEEL STAKES OR STEEL FENCE POSTS FOR STAKING DOWN STRAW OR HAY BALES IS PROHIBITED. STEEL FENCE POSTS ARE REQUIRED TO SUPPORT SILT FENCING USED AS AN EROSION CONTROL MEASURE.
 14. THE CLEANING OF CONCRETE DELIVERY TRUCK CHUTES IS RESTRICTED TO APPROVED LOCATIONS ON THE JOB SITE. THE DISCHARGE OF WATER CONTAINING WASTE CEMENT TO THE STORM SEWER SYSTEM IS PROHIBITED. ALL CONCRETE WASTE SHALL BE PROPERLY CLEANED UP AND DISPOSED OF AT AN APPROPRIATE LOCATION.
 15. THE CONTRACTOR SHALL CLEAN OUT ALL EXISTING AND PROPOSED INLETS, PIPES AND MANHOLES OF DEBRIS AND SEDIMENTATION AT COMPLETION OF SITEWORK. THIS WORK SHALL BE DONE TO THE SATISFACTION OF THE OWNER AND LOCAL AUTHORITIES. ANY CONSTRUCTION DEBRIS OR MUD DROPPED INTO MANHOLES, INLETS, PIPES OR TRACKED ONTO EXISTING ROADWAYS SHALL BE REMOVED IMMEDIATELY BY THE CONTRACTOR. THE CONTRACTOR SHALL REPAIR ANY EXCAVATIONS OR PAVEMENT FAILURES CAUSED BY HIS CONSTRUCTION.
 16. STABILIZATION IS REQUIRED IMMEDIATELY FOR ANY AREAS THAT WILL BE INACTIVE FOR MORE THAN 14 DAYS.
 17. TIME CONSTRUCTION ACTIVITIES TO LIMIT IMPACT ON SEASONAL WEATHER CHANGES.
 18. DO NOT DISTURB AN AREA UNTIL NECESSARY FOR CONSTRUCTION TO PROCEED.
 19. MATTING, SOD, OR AN EQUIVALENT EROSION CONTROL MEASURE APPROVED BY THE CITY ENGINEER IS REQUIRED BY CITY ORDINANCE ON SLOPES 3:1 OR GREATER.
 20. CONSTRUCTION DEBRIS SHALL BE DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
 21. NO HAZARDOUS WASTE MAY BE DISPOSED OF IN SANITARY LANDFILLS.
 22. DO NOT DISPOSE OF RUBBLE IN WETLANDS, FLOODPLAINS, OR DRAINAGE WAYS WITHOUT KANSAS DEPARTMENT OF HEALTH AND ENVIRONMENT (KDHE) OR JURISDICTION APPROVAL.
 23. TREAT OR DISPOSE OF SANITARY WASTES GENERATED ON-SITE IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
 24. DUMPSTERS SHALL BE COVERED TO PREVENT STORM WATER CONTAMINATION
 25. ALL MATERIALS HAULED OFF-SITE SHALL BE SECURED TO PREVENT LITTERING

LEGEND

---	1345	---	EXISTING MAJOR CONTOUR
---	1346	---	EXISTING MINOR CONTOUR
---	1345	---	PROPOSED MAJOR CONTOUR
---	1346	---	PROPOSED MINOR CONTOUR
---		---	PROPERTY LINE
---		---	PROPERTY BOUNDARY
---		---	RIGHT OF WAY LINE
---		---	SECTION LINE

EROSION CONTROL PLAN LEGEND:

	CONCRETE WASHOUT AREA PER APWA EROSION CONTROL DETAIL ESC-01
	STABILIZED CONSTRUCTION ENTRANCE PER APWA EROSION CONTROL DETAIL ESC-01
	WATTLE PER APWA EROSION CONTROL DETAIL ESC-04
	FILTER SOCK PER APWA EROSION CONTROL DETAIL ESC-06 & ESC-07
	FLOW ARROW
	TOTAL DISTURBED AREA (1.18 AC.)



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EROSION CONTROL PLAN
SITE PLAN
PRIMUS DENTAL
1ST ST TERRACE

REV. NO.	DATE	REVISIONS DESCRIPTION

2022

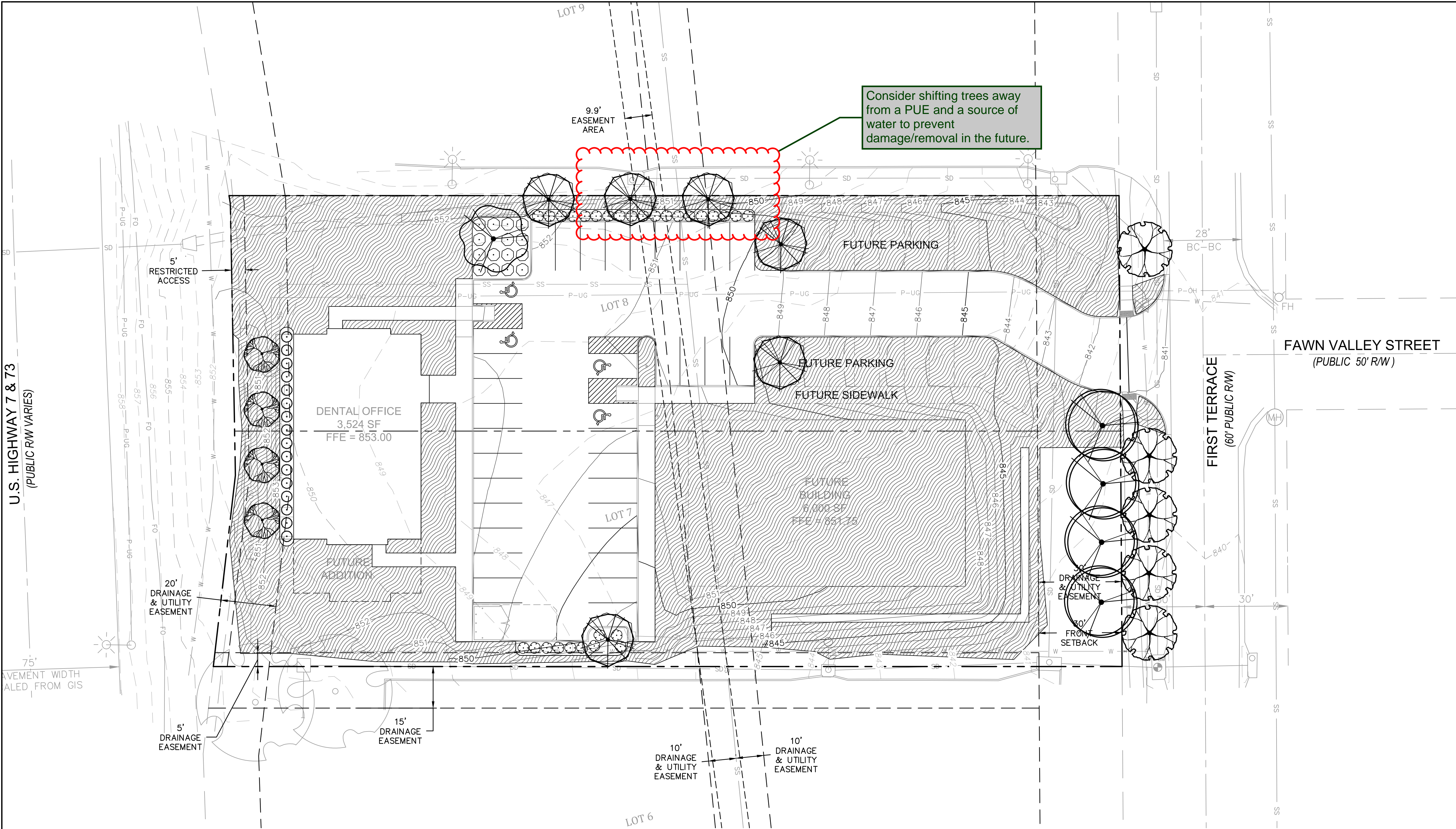
LAWSING, KS

drawn by: _____ RMG
checked by: _____ ALF
approved by: _____ BAF
QA/QC by: _____ BAF
project no.: 022-02457
drawing no.: C-ERC01_02202457
date: 05.13.2022

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DATE: May 15, 2022 5:13pm
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USER: ofunkle

U.S. HIGHWAY 7 & 73
(PUBLIC RW VARIES)

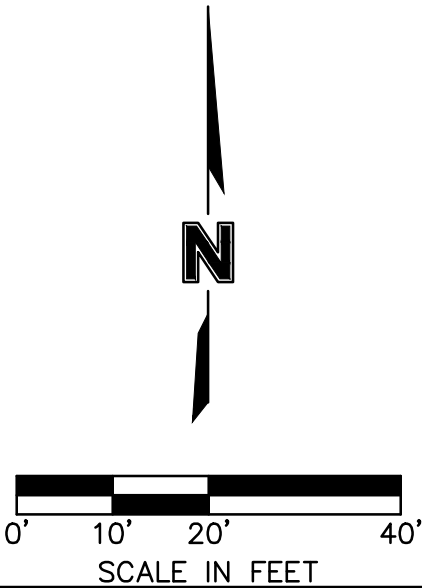


LANDSCAPE REQUIREMENTS (PER TABLE 6-1)			
SITE ELEMENT	REQUIRED RATIO	REQUIRED	PROVIDED
STREETSCAPE & FRONTAGE	1 LARGE TREE PER 40' LOT FRONTAGE; 2 LARGE TREES PER 40' IF BUILDINGS SETBACK MORE THAN 30'	(170' FRONTAGE, BUILDINGS SET BACK MORE THAN 30') 9 LARGE TREES	9 LARGE TREES
FOUNDATION	1 ORNAMENTAL TREE PER 25' OF BUILDING FRONTAGE	(78' FRONTAGE) 4 ORNAMENTAL TREES	4 ORNAMENTAL TREES
	5 SHRUBS FOR 25' OF BUILDING FRONTAGES	(78' FRONTAGE) 16 SHRUBS	16 SHRUBS
PARKING	1 LARGE TREE PER 40' OF PARKING PERIMETER	(216' PERIMETER) 6 LARGE TREES	6 LARGE TREES
	5 SHRUBS FOR 25' OF PERIMETER	(216' PERIMETER) 44 SHRUBS	44 SHRUBS
	1 LARGE TREE PER 40 PARKING SPACES IN INTERNAL ISLANDS	(36 SPACES) 1 LARGE TREE	1 LARGE TREES

- GENERAL LANDSCAPE NOTES:**
- QUANTITIES LISTED IN THE PLANT LIST SCHEDULE ARE FOR ESTIMATES ONLY. TREES, SHRUBS, AND GROUND COVER OF CONTRACT QUANTITIES SHALL BE THE NUMBER OF ITEMS SHOWN ON THE DRAWINGS.
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK. ANY DIFFERENCE IN QUANTITIES SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION.
 - ALL DISTURBED AREAS NOT OTHERWISE SPECIFIED WITH GROUND COVER ARE TO BE PLANTED WITH SOD MATCHING THE SPECIFIED TYPE.
 - TREES, SHRUBS, AND PLANTING BEDS SHALL BE SURFACED WITH BROWN HARDWOOD MULCH.
 - MULCH PLANTING BEDS SHALL RECEIVE SHOVEL-CUT EDGE WHERE ADJACENT TO TURF.
 - THE LANDSCAPE CONTRACTOR SHALL REFER TO ENGINEERING DRAWINGS FOR ANY AND ALL EXISTING AND/OR PROPOSED UTILITIES. IF THERE ARE ANY DISCREPANCIES, CONFLICTS, AND/OR DEVIATIONS BETWEEN THE LANDSCAPE DRAWINGS AND THE EXISTING OR PROPOSED CONDITIONS, THE LANDSCAPE CONTRACTOR IS TO CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY.
 - ALL UNDERGROUND UTILITIES ARE TO BE FIELD-VERIFIED PRIOR TO COMMENCEMENT OF WORK.

PLANT SCHEDULE

ORNAMENTAL TREES	QTY	BOTANICAL / COMMON NAME	SIZE	CONDITION	CALIPER
	4	ACER PALMATUM 'BLOODGOOD' / BLOODGOOD JAPANESE MAPLE	N/A	B & B	1.5"
OVERSTORY TREES	QTY	BOTANICAL / COMMON NAME	SIZE	CONDITION	CALIPER
	6	ACER GRISEUM 'JFS KWAGRI' TM / FIREBURST PAPERBARK MAPLE	N/A	B & B	2"
	5	GINKGO BILOBA 'AUTUMN GOLD' TM / AUTUMN GOLD MAIDENHAIR TREE	N/A	B & B	2"
	4	ULMUS 'PATRIOT' / PATRIOT ELM	N/A	B & B	2"
	1	ZELKOVA SERRATA 'GREEN VASE' / GREEN VASE SAWLEAF ZELKOVA	N/A	B & B	2"
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	CONDITION	CALIPER
	29	AZALEA X 'BLUE DANUBE' / BLUE DANUBE AZALEA	18" HT.		
	16	CHAMAECYPARIS PISIFERA 'GOLDEN MOP' / GOLDEN MOP THREADLEAF SAWARA CYPRESS	18" HT.		
	15	SYRINGA MEYERI 'PALIBIN' / DWARF KOREAN LILAC	18" HT.		
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT	CONDITION	CALIPER
	29,382 SF	TURF SOD / DROUGHT TOLERANT FESCUE BLEND	SQFT		



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LANDSCAPE PLAN
SITE PLAN

PRIMUS DENTAL
1ST ST TERRACE

2022

LANSHING, KS

drawn by: RMG
checked by: ALF
approved by: BAF
QA/QC by: BAF
project no.: 022-02457
drawing no.: C_LSC01_02202457
date: 05.13.2022

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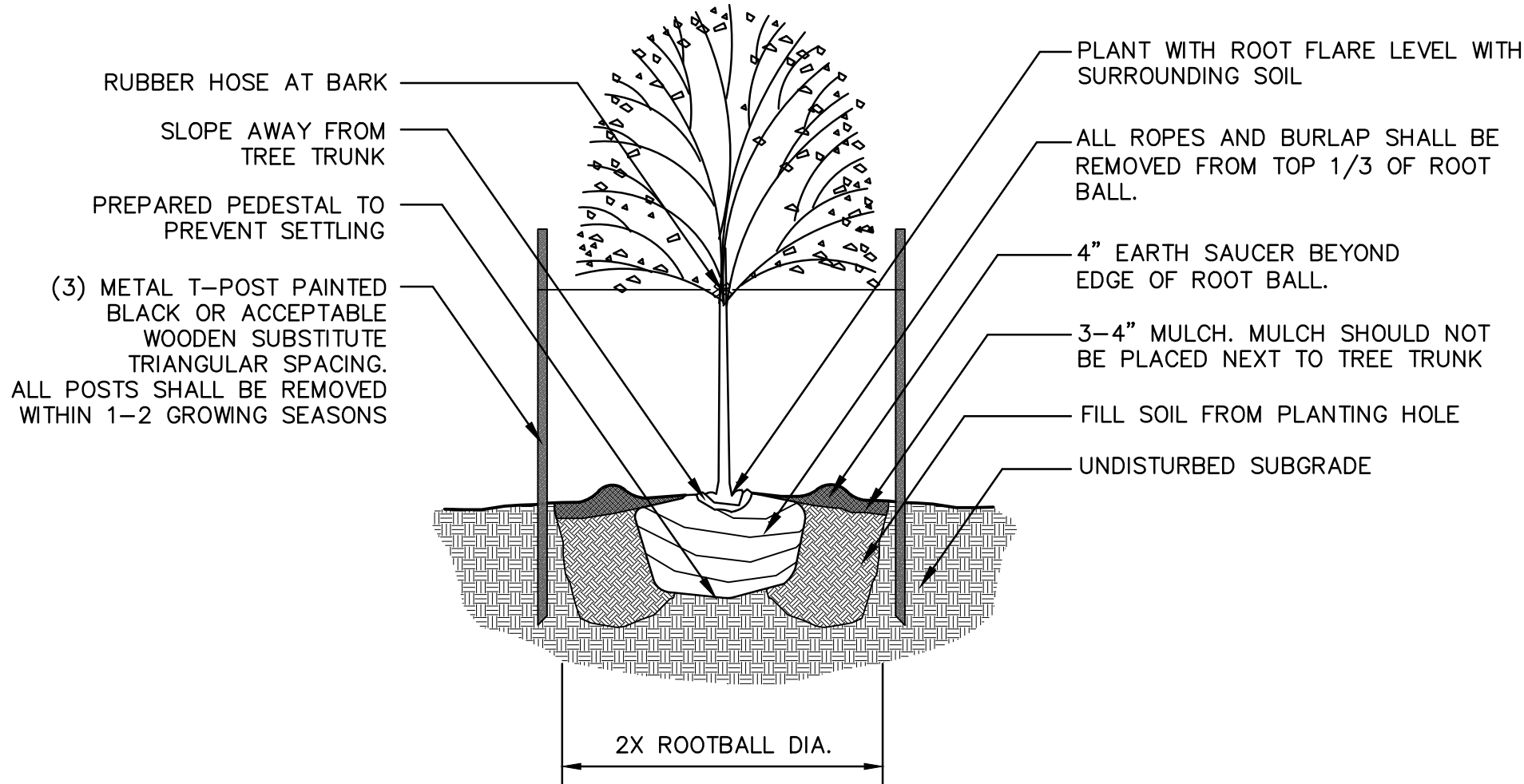
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REVISIONS DESCRIPTION

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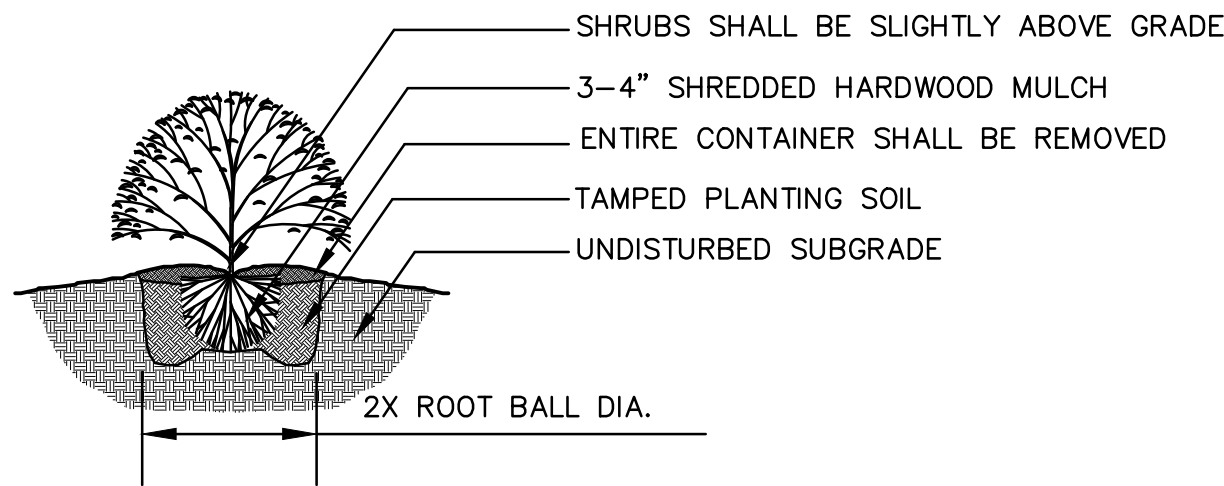
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- NOTES:
- DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING
 - IN AREAS OF TURF, SURROUND BED WITH 6' DIAMETER OF MULCH

1 Deciduous Tree Planting Detail

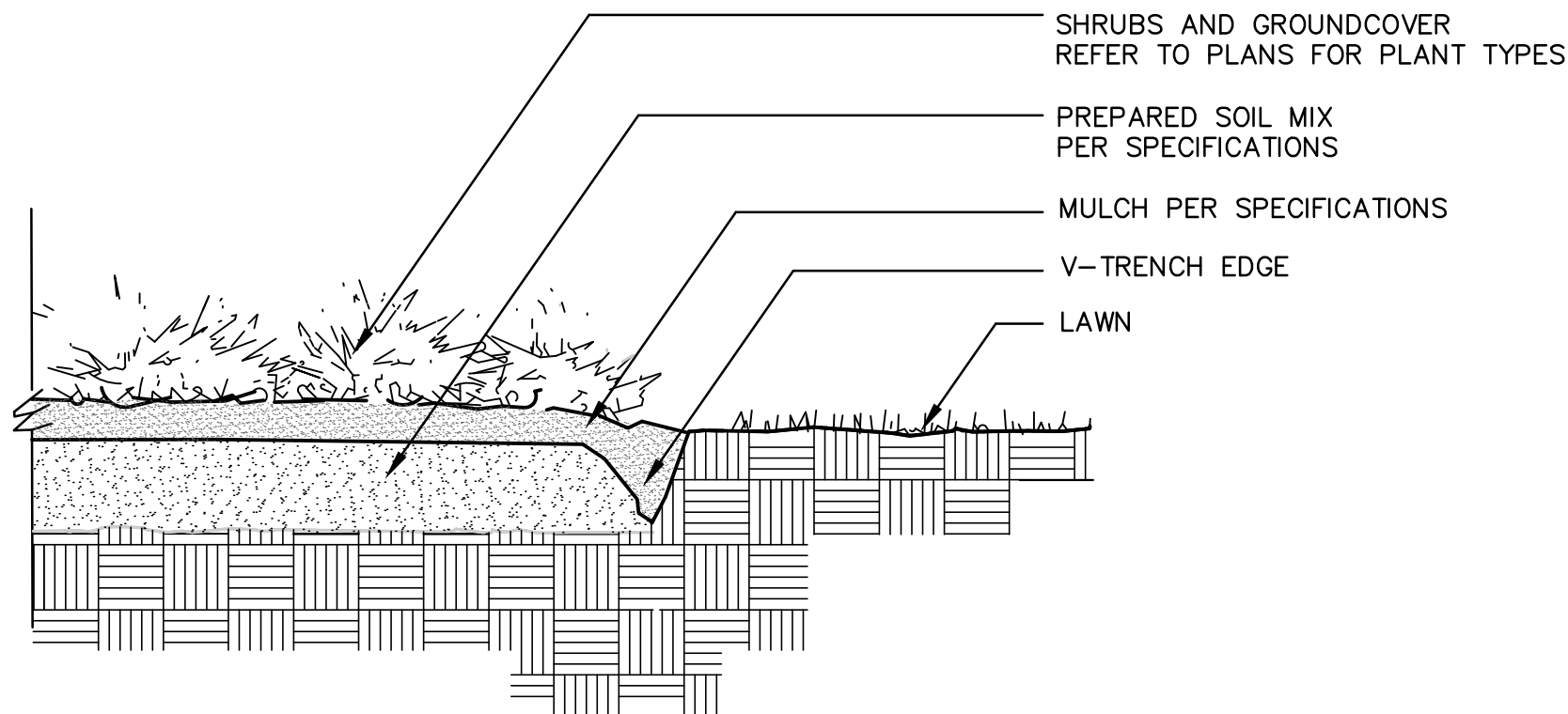
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- NOTES:
- MINIMUM ROOT SPREAD TO BE IN ACCORDANCE WITH ANLA STANDARDS
 - PRUNE DAMAGED LIMBS OR ROOTS AFTER INSTALLATION
 - MAKE SURE ROOTS DO NOT DRY OUT DURING INSTALLATION
 - SOAK GENEROUSLY TO COMPACT AND SETTLE

2 Shrub Planting Detail

not to scale



3 V-Trench Edging Detail

not to scale

PLANTING NOTES

- ALL WORK SHALL BE COORDINATED WITH THE WORK OF OTHER TRADES.
- LOCATE AND FLAG ALL UNDERGROUND UTILITIES PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL PROTECT EXISTING OVERHEAD AND UNDERGROUND UTILITIES. ANY DAMAGE TO SUCH SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- PLANTS AND OTHER MATERIALS ARE QUANTIFIED AND SUMMARIZED FOR THE CONVENIENCE OF THE CITY AND LOCAL GOVERNING BODIES. CONFIRM AND INSTALL SUFFICIENT QUANTITIES TO COMPLETE THE WORK AS DRAWN.
- PLAN IS SUBJECT TO CHANGES BASED ON PLANT SIZE AND MATERIAL AVAILABILITY. ALL CHANGES OR SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN TO MEET MINIMUM SIZE AS SPECIFIED IN THE AMERICAN STANDARD FOR NURSERY STOCK ESTABLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (ANLA). THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- ALL TREES SHALL BE CALIPERED AND ANY UNDERSIZED TREES SHALL BE REJECTED. SPECIFIED CALIPER MEASUREMENT FOR TREES SHALL BE MEASURED AT 12" ABOVE THE GRADE.
- PLANTING OF TREES, SHRUBS, SODDED AND SEEDED TURFGRASS SHALL BE COMMENCED DURING EITHER THE SPRING (MARCH 15-JUNE 15) OR FALL (SEPTEMBER 1 - OCTOBER 15) PLANTING SEASON AND WITH WATER AVAILABLE FOR IRRIGATION PURPOSES.
- CONTRACTOR SHALL STAKE OR MARK ALL PLANT MATERIAL LOCATIONS PRIOR TO INSTALLATION. CONTRACTOR SHALL HAVE THE LANDSCAPE ARCHITECT APPROVE ALL STAKING PRIOR TO INSTALLATION. FIELD ADJUSTMENTS MAY BE NECESSARY BASED UPON FIELD CONDITIONS (I.E. ROOT BALL AND DROP INLET CONFLICT). ALL ADJUSTMENTS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
- THE LANDSCAPE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS AND MATERIALS INJURIOUS TO PLANT GROWTH FROM PLANTING PITS AND BEDS PRIOR TO BACKFILLING WITH PLANTING MIX.
- A PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL SHRUB BEDS PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
- BACKFILL ALL PLANTING BEDS TO A MINIMUM 12-INCH DEPTH WITH PLANTING SOIL MIX. PLANTING SOIL MIX SHALL CONSIST OF ONE (1) PART PERLITE, ONE (1) PART PEAT MOSS, AND TWO (2) PARTS CLEAN LOAM TOPSOIL. THOROUGHLY MIX PLANTING SOIL COMPONENTS PRIOR TO PLACEMENT.
- ALL LANDSCAPE PLANTING AREAS, EXCLUDING TURF AREAS SHALL BE MULCHED WITH A MINIMUM OF 3-4" SHREDDED HARDWOOD MULCH UNLESS OTHERWISE NOTED ON PLANS.
- CULTIVATED LANDSCAPE EDGING IS TO BE USED ON ALL LANDSCAPE BEDS ABUTTING SODDED OR SEEDED AREAS.
- LANDSCAPE CONTRACTOR IS TO BE RESPONSIBLE FOR WATERING ALL PLANT MATERIALS UNTIL THE TIME THE PERMANENT IRRIGATION SYSTEM IS FULLY FUNCTIONAL AND ACCEPTANCE OF THE PROJECT HAS TAKEN PLACE. ANY MATERIAL WHICH DIES, OR DEFOLIATES (PRIOR TO ACCEPTANCE OF THE WORK) WILL BE PROMPTLY REMOVED AND REPLACED.
- THE CONTRACTOR WILL COMPLETELY GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE. CONTRACTOR WILL MAKE ALL REPLACEMENTS PROMPTLY (AS PER DIRECTION OF OWNER).

LANDSCAPE DETAILS & NOTES
SITE PLAN

PRIMUS DENTAL
1ST ST TERRACE

LANSING, KS

drawn by: RMG
checked by: ALF
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project no.: 022-02457
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REVISIONS DESCRIPTION

DATE

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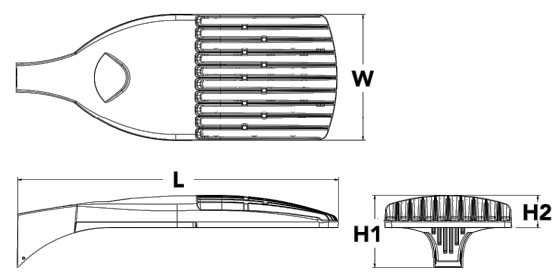
2022



D-Series Size 1 LED Area Luminaire



Specifications	
EPA:	1.01 ft ² (0.09 m ²)
Length:	33" (840 mm)
Width:	13" (330 mm)
Height H1:	7-1/2" (190 mm)
Height H2:	3-1/2"
Weight (max):	27 lbs (12 kg)



Catalog Number	
Notes	
Type	

Introduction
The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NLTAR2 PIRHN DDBXD

Series	LEDs	Color temperature	Distribution	Voltage	Mounting
DSX1 LED	Forward optics P1 P4 P7 P2 P5 P8 P3 P6 P9	30K 3000 K 40K 4000 K 50K 5000 K	T1S Type I short T2S Type II short T3M Type III medium T4S Type IV short T5M Type V medium T6S Type VI short T7M Type VII medium T8M Type VIII medium T9M Type IX medium T10M Type X medium T11M Type XI medium T12M Type XII medium T13M Type XIII medium T14M Type XIV medium T15M Type XV medium T16M Type XVI medium T17M Type XVII medium T18M Type XVIII medium T19M Type XIX medium T20M Type XX medium T21M Type XXI medium T22M Type XXII medium T23M Type XXIII medium T24M Type XXIV medium T25M Type XXV medium T26M Type XXVI medium T27M Type XXVII medium T28M Type XXVIII medium T29M Type XXIX medium T30M Type XXX medium T31M Type XXXI medium T32M Type XXXII medium T33M Type XXXIII medium T34M Type XXXIV medium T35M Type XXXV medium T36M Type XXXVI medium T37M Type XXXVII medium T38M Type XXXVIII medium T39M Type XXXIX medium T40M Type XL medium T41M Type XLI medium T42M Type XLII medium T43M Type XLIII medium T44M Type XLIV medium T45M Type XLV medium T46M Type XLVI medium T47M Type XLVII medium T48M Type XLVIII medium T49M Type XLIX medium T50M Type L medium T51M Type LI medium T52M Type LII medium T53M Type LIII medium T54M Type LIV medium T55M Type LV medium T56M Type LVI medium T57M Type LVII medium T58M Type LVIII medium T59M Type LVIX medium T60M Type LX medium T61M Type LXI medium T62M Type LXII medium T63M Type LXIII medium T64M Type LXIV medium T65M Type LXV medium T66M Type LXVI medium T67M Type LXVII medium T68M Type LXVIII medium T69M Type LXIX medium T70M Type LXX medium T71M Type LXXI medium T72M Type LXXII medium T73M Type LXXIII medium T74M Type LXXIV medium T75M Type LXXV medium T76M Type LXXVI medium T77M Type LXXVII medium T78M Type LXXVIII medium T79M Type LXXIX medium T80M Type LXXX medium T81M Type LXXXI medium T82M Type LXXXII medium T83M Type LXXXIII medium T84M Type LXXXIV medium T85M Type LXXXV medium T86M Type LXXXVI medium T87M Type LXXXVII medium T88M Type LXXXVIII medium T89M Type LXXXIX medium T90M Type LXXXX medium T91M Type LXXXXI medium T92M Type LXXXXII medium T93M Type LXXXXIII medium T94M Type LXXXXIV medium T95M Type LXXXXV medium T96M Type LXXXXVI medium T97M Type LXXXXVII medium T98M Type LXXXXVIII medium T99M Type LXXXXIX medium T100M Type LXXXXX medium	120V ¹ 277V ² 480V ³	Shipped included SPA Square pole mounting RPA Round pole mounting ³ WBA Wall bracket ¹ SBA Square pole universal mounting adaptor ¹ RUBA Round pole universal mounting adaptor ¹ Shipped separately MBA Mast arm mounting bracket adaptor (specify finish) ¹

Control options	Other options	Finish
Shipped installed NEMRZ Single full generation 2 enabled ¹ PIRHN Network, two-lock motion/ambient sensor ¹ PER NEMA two-lock receptacle only (controls ordered separately) ¹ PERK Five-pin receptacle only (controls ordered separately) ¹ PERV Seven-pin receptacle only (controls ordered separately) ¹ DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) ¹ DS Dual switching ¹	PIR High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 16" ¹ PIRHN High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 16" ¹ PIRHCV High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 16" ¹ PIRHCVHN High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 16" ¹ FHO Field adjustable output ¹	DBRZ Dark bronze DBLZ Black DNALZ Natural aluminum DWHT White DDBRZ Distressed dark bronze DDBLZ Distressed black DDBRZ Natural aluminum DDBRZ Distressed white

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DSX1 LED
Rev. 11/16/20
Page 1 of 8



FEATURES & SPECIFICATIONS

INTENDED USE — These specifications are for USA standards only. Square Straight Steel is a general purpose light pole for up to 30-foot mounting heights. This pole provides a robust yet cost effective option for mounting area lights and floodlights.

CONSTRUCTION — Pole Shaft: The pole shaft is of uniform dimension and wall thickness and is made of a weldable-grade, hot-rolled, commercial-quality steel tubing with a minimum yield of 55 KSI (11-gauge, .196"), or 50 KSI (7-gauge, .1793"). Shaft is one-piece with a full-length longitudinal high-frequency electric resistance weld. Uniformly square in cross-section with flat sides, small corner radii and excellent torsional qualities. Available shaft widths are 4", 5" and 6".

Pole Top: A flush non-metallic black top cap is provided for all poles that will receive drilling patterns for side-mount luminaire arm assemblies or when ordered with PT option.

Handlehole: A reinforced handlehole with grounding provision is provided at 18" from the base on side A. Positioning the handlehole lower may not be possible and requires engineering review; consult Tech Support Outdoor for further information. Every handlehole includes a cover and cover attachment hardware. The handlehole has a nominal dimension of 2.5" x 5".

Base Cover: A durable ABS plastic two-piece full base cover, finished to match the pole, is provided with each pole assembly. Additional base cover options are available upon request.

Anchor Base/Bolts: Anchor base is fabricated from steel that meets ASTM A36 standards and can be altered to match existing foundations; consult factory for modifications. Anchor bolts are manufactured to ASTM F1554 Standard grade 55, 55 KSI minimum yield strength and tensile strength of 75-95 KSI. Top threaded portion (nominal 12") is hot-dipped galvanized per ASTM A-153.

HARDWARE — All structural fasteners are high-strength galvanized carbon steel. All non-structural fasteners are galvanized or one-plated carbon steel or stainless steel.

FINISH — Extra durable standard powder-coat finishes include Dark Bronze, White, Black, Medium Bronze and Natural Aluminum colors. Classic finishes include Sandstone, Charcoal Gray, Tennis Green, Bright Red and Steel Blue colors. Architectural Colors and Special Finishes are available by quote and include, but are not limited to Hot-dipped Galvanized, Paint over Hot-dipped Galvanized, RAL Colors, Custom Colors and Extended Warranty Finishes. Factory-applied primer paint finish is available for customer field-paint applications.

WARRANTY — 1-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

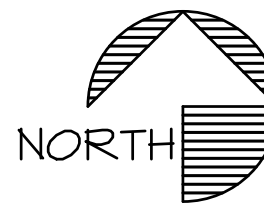
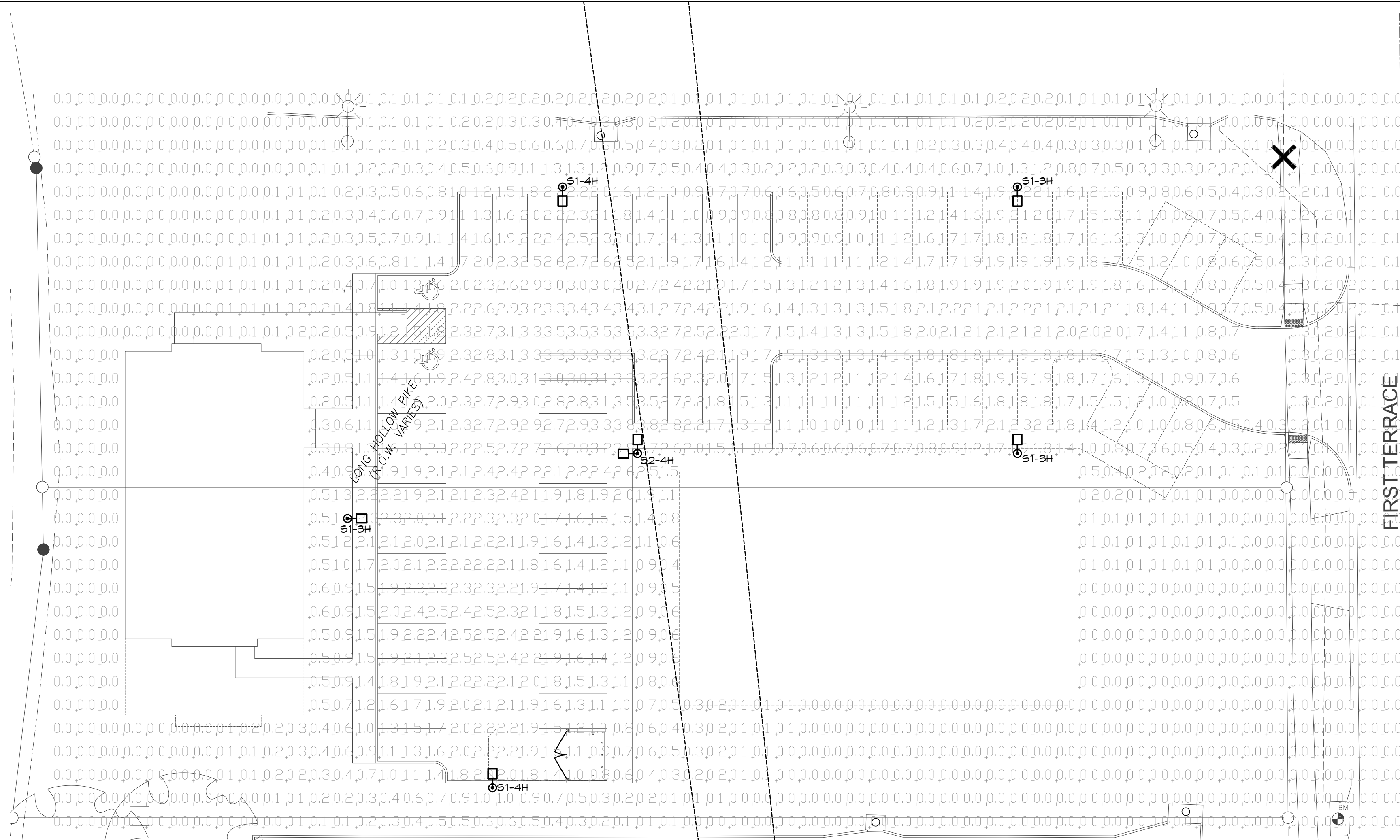
NOTE: Actual performance may differ as a result of end-user environment and application. Specifications subject to change without notice.

Catalog Number	
Notes	
Type	

Anchor Base Poles

SSS

SQUARE STRAIGHT STEEL



SITE PHOTOMETRIC PLAN

SCALE: 1"=20'

STATISTICS

Description	Avg	Max	Min	Max/Min	Avg/Min
Paved Surface	2.0	3.5	0.5	7.0/1	4.0/1

LIGHT FIXTURE SCHEDULE

MARK NO.	MANUFACTURER & CATALOG NUMBER	VOLTS WATTS	LIGHT SOURCE	DESCRIPTION	EQUIVALENT MANUFACTURERS
S1-3H	LITHONIA DSX1-P2-40K-T3M-MVOLT-SPA-DDBXD-HS W/ SSS-20-4C-DM19AS-VD-DDBXD POLE	120 70	LED 4000K 9000 LUMS	POLE MOUNTED LED FIXTURE WITH TYPE 3 DISTRIBUTION, BRONZE FINISH. FIXTURE TO BE MOUNTED ON 20' SQUARE STEEL POLE W/ BRONZE FINISH AND VIBRATION DAMPER ON 3' CONCRETE BASE. SEE POLE BASE DETAIL ON THIS SHEET. HOUSE SIDE SHIELD	OR EQUAL APPROVED BY ARCH/ENGINEER
S1-4H	LITHONIA DSX1-P2-40K-TFTM-MVOLT-SPA-DDBXD-HS W/ SSS-20-4C-DM19AS-VD-DDBXD POLE	120 70	LED 4000K 9000 LUMS	POLE MOUNTED LED FIXTURE WITH TYPE 4 DISTRIBUTION, BRONZE FINISH. FIXTURE TO BE MOUNTED ON 20' SQUARE STEEL POLE W/ BRONZE FINISH AND VIBRATION DAMPER ON 3' CONCRETE BASE. SEE POLE BASE DETAIL ON THIS SHEET. HOUSE SIDE SHIELD	OR EQUAL APPROVED BY ARCH/ENGINEER
S2-4H	LITHONIA (2)DSX1-P2-40K-TFTM-MVOLT-SPA-DDBXD-HS W/ SSS-20-4C-DM29AS-VD-DDBXD POLE	120 140	LED 4000K 9000 LUMS EACH	(2) POLE MOUNTED LED FIXTURES (90° ORIENTATION) WITH TYPE 4 DISTRIBUTION, BRONZE FINISH. FIXTURE TO BE MOUNTED ON 20' SQUARE STEEL POLE W/ BRONZE FINISH AND VIBRATION DAMPER ON 3' CONCRETE BASE. SEE POLE BASE DETAIL ON THIS SHEET.	OR EQUAL APPROVED BY ARCH/ENGINEER

BC PROJECT #22303
KANSAS PE COA #E-359
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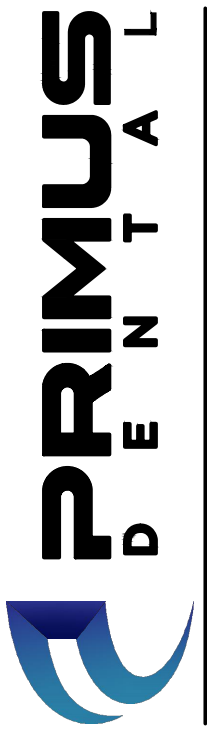
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Lansing, KS

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