



2 Vicinity Map Aerial
n.t.s.
north

Floodplain Note:

This property lies within Flood Zone Z, defined as areas outside the 0.2% annual chance floodplain, as shown on the Flood Insurance Rate Map, prepared by Federal Emergency Agency's National Flood Insurance Program for the City of Lansing, Leavenworth County, Kansas, Map Number 20103C0144G, dated July 16, 2015.

Utility Legend

	existing
	proposed
Linetypes	
	sanitary main
	sanitary service
	storm sewer (existing)
	storm sewer (solid wall, proposed)
	storm sewer (solid wall, proposed)
	storm sewer (perforated, proposed)
	water main
	water service (fire)
	water service (domestic)
	water service (irrigation)
	natural gas main
	natural gas service schematic
	underground primary electric
	underground secondary electric
	overhead electric
	underground cable/phone/data
	underground cable/phone/data service
	fence-chainlink
	fence-wood
	fence-barbed wire
	treenline

Symbols

	sanitary manhole
	service cleanout
	force main release valve
	rectangular structure
	circular structure
	fire hydrant
	water valve
	water meter
	backflow preventer
	natural gas meter
	service transformer (pad mount)
	primary switch gear
	light pole
	cable/phone/data junction box
	street light
	pedestrian street light
	electric pole
	guy wire
	end section

Property Legend

	right of way
	property lines
	easements
	setbacks

Grading Legend

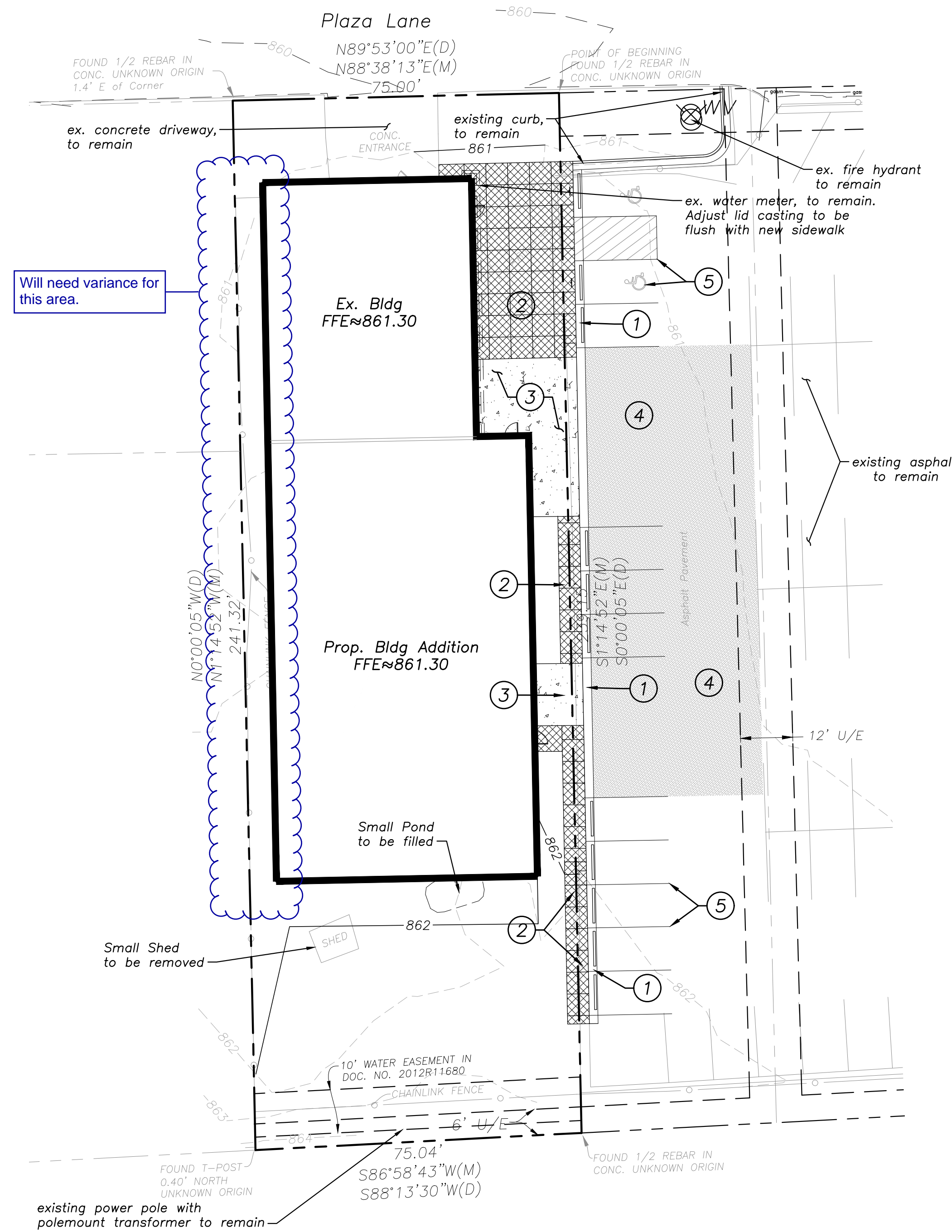
	existing minor contour
	existing major contour
	proposed minor contour
	proposed major contour

Americans with Disabilities Act (ADA) Notes:

- The running and cross slopes for all sidewalks, accessible paths, ramps, designated parking stalls, etc., shall be in compliance with latest Federal ADA guidelines, in addition to any accessibility standards adopted by the governing municipality. Prior to installation/construction, if any discrepancies are found within the plans, the Engineer shall be notified.
- All ADA parking areas shall have NO slopes greater than 2% in any direction.

Construction Legend

	concrete pavement
	standard asphalt
	concrete sidewalk
	24" ribbon curb & gutter



1 Site Plan
scale: 1:20_XREF
north

Construction Notes:

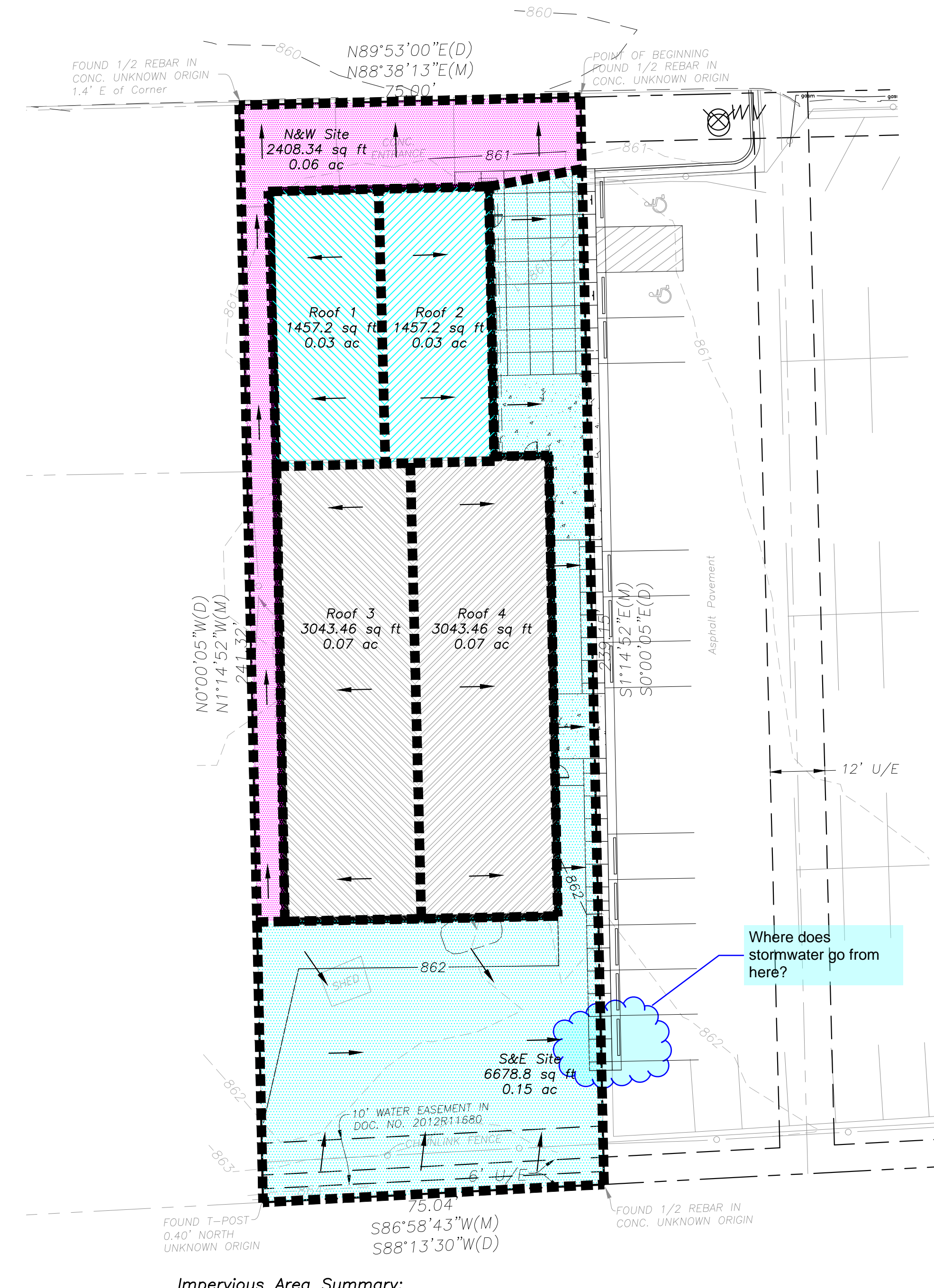
- Construct standard 18" ribbon curb & gutter adjacent to existing asphalt parking lot pavement, where indicated (see legend).
- Construct standard 4" concrete sidewalk where indicated (see legend)
- Construct heavy-duty concrete pavement at overhead door access aprons where indicated, (see legend)
- Construct standard duty asphalt pavement where indicated (see legend).
- Proposed pavement striping per architectural site plan A1.1. typ.

1. I do not see the current or proposed on site or future sanitary sewer improvements.
2. Will an existing connection to the sanitary sewer be used?
3. Does the plumbing code require any pretreatment facilities for wastewater/washwater from the painting prep, sanding, or paint cleaning processes?

Reviewed By WW Dept
11/16/2021 8:04:37 AM
By T Zell

Reviewed By PW
12/09/2021 2:22:39 PM
By mspickelmier

Reviewed By CED
12/10/2021 3:07:50 PM
By mschmitz



2 Drainage Plan
scale: 1:20_XREF
north

Impervious Area Summary:

Total Site Area:	18,018.5 sq ft. (0.41 ac.)
Existing:	
Impervious Area:	3,451.4 sq ft. (0.08 ac.)
Green Space:	14,567.10 sq ft. (0.33 ac.)
Post Construction:	
Impervious Area:	11,306.7 sq ft. (0.26 ac.)
Green Space:	6,711.83 sq ft. (0.15 ac.)
Impervious Area Increase:	7,855.3 sq ft. (0.18 ac.)

Will need stormwater calculations / stormwater plan & Report. This would indicate that 7,855 s.f. of impervious area is being added.

Will need current vs. proposed water flows from site due to increase in impervious area.

Lansing Tech Spec Stormwater Design Criteria apply to increase in impervious area over 5,000 s.f.

Is the plan to sheet flow water onto Plaza Lane to the north? (Plaza Lane is private drive)

is there a designated plan across the asphalt parking lot for the southern water going east?

It might be better to show that the amount of impervious area increase on the 'whole site' vs. this small section. The addition of 7,800 s.f. across the entire parking lot is less of an impact, especially since the stormwater is planned to flow across the asphalt.

Will want this information in a report for the file, that clearly demonstrates that no additional flows will be directed onto adjacent property.

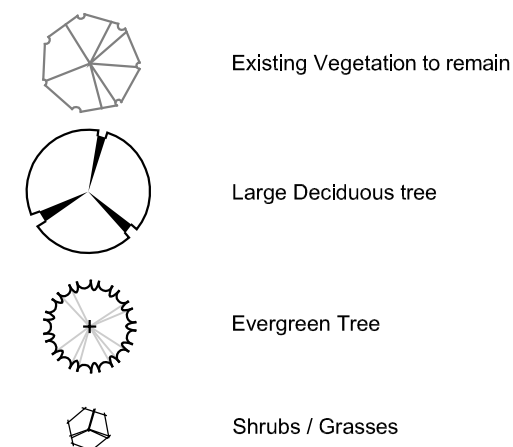
a proposed retail building for
Main Street of Lansing
555 N Main Street
Lansing, KS 66043

date: 11.08.2021
drawn by: DAE
checked by: LDM
revisions:

sheet number:
C1.2
drawing type:
preliminary
project number:
21148



PLANT SCHEDULE



LANDSCAPE CALCULATIONS:

PER SECTION 6 OF THE LANSING, KANSAS UDO. THE FOLLOWING LANDSCAPE IS REQUIRED:

Street Trees
 Required 1 Large Tree per 40'
 Provided 1 Existing Tree to remain

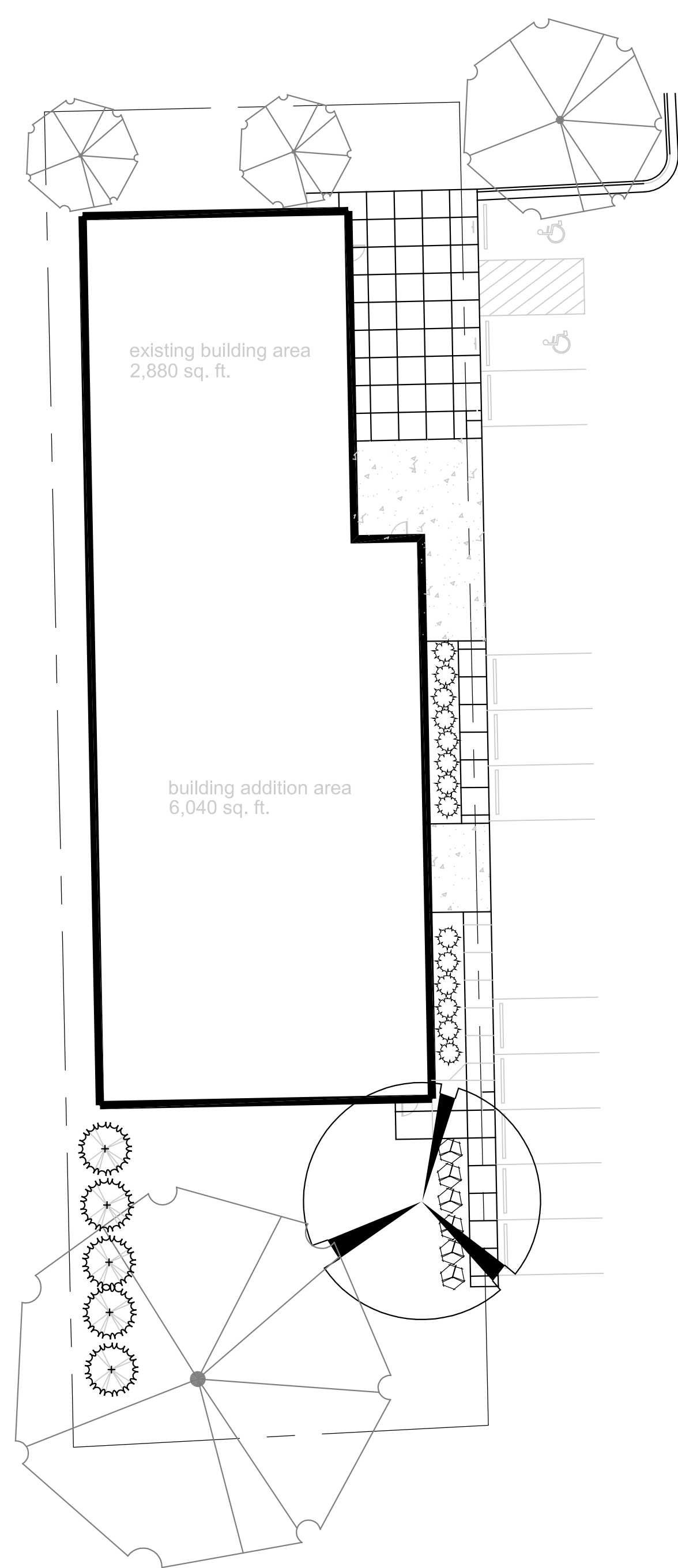
Foundation Planting
 Required 1 Ornamental Tree and 5 Shrubs per 25'
 Provided 2 Existing Ornamental Trees and 14 Proposed Shrubs and Grasses

Perimeter Planting
 Required 1 Large Tree per 40' and 5 shrubs per 25'
 Provided 1 Large Tree and 6 Shrubs

Buffer
 Provided 6 Evergreen Trees

LANDSCAPE NOTES:

- LANDSCAPE NOTES SHALL APPLY TO ALL LANDSCAPE DRAWINGS.
- LOCATION OF ALL UTILITIES ARE APPROXIMATE. THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION OPERATIONS.
- LIMITS OF CONSTRUCTION ARE THE PROPERTY LINES, UNLESS OTHERWISE NOTED ON THE PLANS, EXCEPT WHERE ACCESS BEYOND IS REQUIRED FOR CONSTRUCTION RELATED TO UTILITY INSTALLATION AND EQUIPMENT ACCESS TO THE SITE.
- REFER TO CIVIL DRAWINGS FOR ALL GRADING AND BERMING, EROSION CONTROL, STORM DRAINAGE, UTILITIES AND SITE LAYOUT.
- THE CONTRACTOR SHALL ARRANGE AND CONDUCT A PRE-CONSTRUCTION MEETING ON SITE WITH LANDSCAPE ARCHITECT PRIOR TO ALL WORK.
- PLANT QUANTITIES ARE FOR INFORMATION ONLY. DRAWING SHALL PREVAIL IF CONFLICT OCCURS. CONTRACTOR IS RESPONSIBLE FOR CALCULATING OWN QUANTITIES AND BID ACCORDINGLY.
- THE CONTRACTOR IS TO NOTIFY LANDSCAPE ARCHITECT AFTER STAKING IS COMPLETED AND BEFORE PLANT PITS ARE EXCAVATED.
- THE CONTRACTOR SHALL PLACE SHREDDED HARDWOOD BARK MULCH AROUND ALL TREES TO A DEPTH OF 3", AND IN ALL PLANTING BEDS TO A DEPTH OF 2". WALNUT PRODUCTS ARE PROHIBITED.
- TREE LOCATIONS IN AREAS ADJACENT TO DRIVES, WALKS, WALLS AND LIGHT FIXTURES MAY BE FIELD ADJUSTED AS APPROVED BY THE LANDSCAPE ARCHITECT.
- KIND, SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK, ANSI-260-2004, OR MOST RECENT EDITION.
- THE CONTRACTOR SHALL REPORT SUBSURFACE SOIL OR DRAINAGE PROBLEMS TO THE LANDSCAPE ARCHITECT.
- THE PLAN IS SUBJECT TO CHANGES BASED ON PLANT SIZE AND MATERIAL AVAILABILITY. ALL CHANGES OR SUBSTITUTIONS MUST BE APPROVED BY THE CITY OF LANSING, KANSAS AND THE LANDSCAPE ARCHITECT.
- PLANTING OF TREES, SHRUBS, SODDED AND SEEDED TURFGRASS SHALL BE COMMENCED DURING EITHER THE SPRING (APRIL 15-JUNE 15) OR FALL (SEPTEMBER 1-NOVEMBER 15) PLANTING SEASON AND WITH WATER AVAILABLE FOR IRRIGATION PURPOSES.
- STEEL EDGING TO BE USED ON ALL LANDSCAPE BEDS ABUTTING SODDED AREAS.
- LANDSCAPE CONTRACTOR IS TO BE RESPONSIBLE FOR WATERING ALL PLANT MATERIALS UNTIL THE TIME THE PERMANENT IRRIGATION SYSTEM IS FULLY FUNCTIONAL AND ACCEPTANCE OF THE PROJECT HAS TAKEN PLACE. ANY MATERIAL WHICH DIES, DEFOLIATES (PRIOR TO ACCEPTANCE OF THE WORK) WILL BE PROMPTLY REMOVED AND REPLACE.
- THE CONTRACTOR SHALL SHOW PROOF OF PROCUREMENT, SOURCES, QUANTITIES AND VARIETIES FOR ALL SHRUBS, PERENNIALS, ORNAMENTAL GRASSES AND ANNUALS WITHIN 21 DAYS FOLLOWING THE AWARD OF THE CONTRACT.
- ALL TREES SHALL BE CALLIPERED AND UNDERSIZED TREES SHALL BE REJECTED. ALL PLANT MATERIAL SHALL BE NURSERY GROWN, SOUND, HEALTHY, VIGOROUS AND FREE FROM INSECTS, DISEASE AND INJURIES, WITH HABIT OF GROWTH THAT IS NORMAL FOR THE SPECIES. SIZES SHALL BE EQUAL TO OR EXCEEDING SIZES INDICATED ON THE PLANT LIST. THE CONTRACTOR SHALL SUPPLY PLANTS IN QUANTITY AS SHOWN ON THE DRAWINGS.
- STAKE OR PLACE ALL PLANTS IN FIELD AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT FOR APPROVAL BY THE OWNER PRIOR TO PLANTING.
- ALL DISTURBED AREAS, INCLUDING RIGHTS OF WAY, NOT OTHERWISE COVERED BY BUILDING, PAVEMENT AND LANDSCAPE BEDS SHALL BE SODDED WITH TURF TYPE TALL FESCUE AND IRRIGATED UNLESS OTHERWISE INDICATED BY THE OWNER.
- ALL EXTERIOR GROUND OR BUILDING MOUNTED EQUIPMENT, INCLUDING BUT NOT LIMITED TO MECHANICAL EQUIPMENT AND UTILITY METER BANKS SHALL BE SCREENED FROM PUBLIC VIEW WITH EVERGREEN LANDSCAPING THAT IS 6" TALLER THAN THE EQUIPMENT BEING SCREENED AT THE TIME OF PLANTING.
- PREPARE PLANTING BEDS BY INCORPORATING AN APPROVED COMPOSTED ORGANIC SOIL INTO EXISTING SOIL FOR ALL SHRUB, PERENNIAL AND ANNUAL PLANTING BEDS AT A MINIMUM DEPTH OF 6". THOROUGHLY MIX ORGANIC MATERIAL INTO THE EXISTING SOIL BY ROTOTILLING OR OTHER APPROVED METHOD TO A MINIMUM DEPTH OF 12".
- APPLY A COMMERCIAL ROOT STIMULATOR (APPROVED BY LANDSCAPE ARCHITECT PRIOR TO USE) TO ALL SHRUBS AND GROUND COVERS AT RATES RECOMMENDED BY MANUFACTURER DURING FIRST PLANT WATERING FOLLOWING INSTALLATION.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH A HIGH EFFICIENCY AUTOMATIC IRRIGATION SYSTEM ACHIEVING 100% EVEN COVERAGE OF ALL LANDSCAPE AREAS. IRRIGATION SYSTEM SHALL BE DESIGN-BUILD TO MEET ALL CITY REQUIREMENTS.
- TREE PROTECTION FENCING SHALL BE INSTALLED AND APPROVED BY THE CITY FORESTER PRIOR TO ANY LAND DISTURBANCE. TREE PROTECTION FENCING SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETE ON THE PROJECT. NO PARKING OF VEHICLES, MATERIAL STORAGE, WASHOUTS OR GRADING ARE ALLOWED WITHIN THE FENCING. IF THE FENCING MUST BE REMOVED OR RELOCATED, THE CITY FORESTER SHALL BE CONTACTED FOR PRIOR APPROVAL.
- A CERTIFIED ARBORIST SHALL PRUNE ALL EXISTING TREES TO REMAIN. TREES CONFLICTING WITH BUILDING OR OVERLAPPING LANDSCAPE BEDS SHALL BE PRUNED UP TO ALLOW FOR 12' OF CLEARANCE UNDER CANOPY.
- ALL LAWN AREAS SHALL RECEIVE A MINIMUM OF 6-INCH DEPTH TOPSOIL COMPACTED TO 85% MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT.
- THE ENTIRE SURFACE TO BE SODDED SHALL BE REASONABLY SMOOTH AND FREE FROM STONES, ROOTS, OR OTHER DEBRIS.
- SOD SHALL BE MACHINE STRIPPED AT A UNIFORM SOIL THICKNESS OF APPROXIMATELY ONE INCH (PLUS OR MINUS 1/4 INCH). THE MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH, AND SHALL BE DETERMINED AT THE TIME OF CUTTING IN THE FIELD. PRECAUTIONS SHALL BE TAKEN TO PREVENT DRYING AND HEATING. SOD DAMAGED BY HEAT AND DRY CONDITIONS, SOD CUT MORE THAN 18 HOURS BEFORE BEING INCORPORATED INTO THE WORK SHALL NOT BE USED.
- HANDLING OF SOD SHALL BE DONE IN A MANNER THAT WILL PREVENT TEARING, BREAKING, DRYING AND OTHER DAMAGE. PROTECT EXPOSED ROOTS FROM DEHYDRATION. DO NOT DELIVER MORE SOD THAN CAN BE LAID WITHIN 24 HOURS.
- MOISTEN PREPARED SURFACE IMMEDIATELY PRIOR TO LAYING SOD. WATER THOROUGHLY AND ALLOW SURFACE TO DRY BEFORE INSTALLING SOD. FERTILIZE, HARROW OR RAKE FERTILIZER INTO TOP 1-1/2-INCHES OF TOPSOIL, AT A UNIFORM RATE OF ONE POUND OF NITROGEN PER 100 SF.
- SOD SHALL BE CAREFULLY PLACED IN THE DIRECTION PARALLEL WITH THE SLOPE OF THE AREA TO BE SODDED. SOD STRIPS SHALL BE BUTTED TOGETHER BUT NOT OVERLAPPED WITH THE SEAMS STAGGERED ON EACH ROW.
- FERTILIZER SHALL BE 10-10-5 COMMERCIAL FERTILIZER OF THE GRADE, TYPE AND FORM SPECIFIED AND SHALL COMPLY WITH THE RULES OF THE STATE OF KANSAS DEPARTMENT OF AGRICULTURE. FERTILIZER SHALL BE IDENTIFIED ACCORDING TO THE PERCENT N, P, K, IN THAT ORDER.
- SATURATE SOD WITH FINE WATER SPRAY WITHIN TWO HOURS OF PLANTING. DURING FIRST WEEK AFTER PLANTING, WATER DAILY OR MORE FREQUENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A MINIMUM DEPTH OF FOUR INCHES BELOW SOD.
- CONTRACTOR SHALL PROVIDE FULL MAINTENANCE FOR SODDED TURF GRASS FOR A PERIOD OF 30 DAYS AFTER THE DATE OF FINAL ACCEPTANCE. AT THE END OF THE MAINTENANCE PERIOD, A HEALTHY, WELL-ROOTED, EVEN-COLORED, VIABLE TURF MUST BE ESTABLISHED. THE TURF GRASS SHALL BE FREE OF WEEDS, OPEN JOINTS, BARE AREAS AND SURFACE IRREGULARITIES.
- IN THE EVENT OF WORK IN OR ON THE JOV SANITARY MAIN, ANY TREES OR PLANTINGS PLACED WITHIN THE SEWER EASEMENT MAY BE REMOVED WITHOUT REPLACEMENT OR COMPENSATION THERE-OF AND SHALL BE REPLACED BY THE PROPERTY OWNER AS REQUIRED BY THE CITY.
- LANDSCAPE ADJACENT TO THE FIRE DEPARTMENT CONNECTION AND FIRE HYDRANT SHALL ALLOW FOR UNOBSTRUCTED VISIBILITY AND ACCESS. WITH NO SHRUBS OR TREES WITH IN A 3' RADIUS OF THE FIRE DEPARTMENT CONNECTION OR FIRE HYDRANT.



A Proposed Body Shop Addition and Remodel for
Main Street of Lansing
 555 N Main Street
 Lansing, KS 66043

date 11.09.2021
 drawn by klv
 checked by VSM
 revisions



project location:

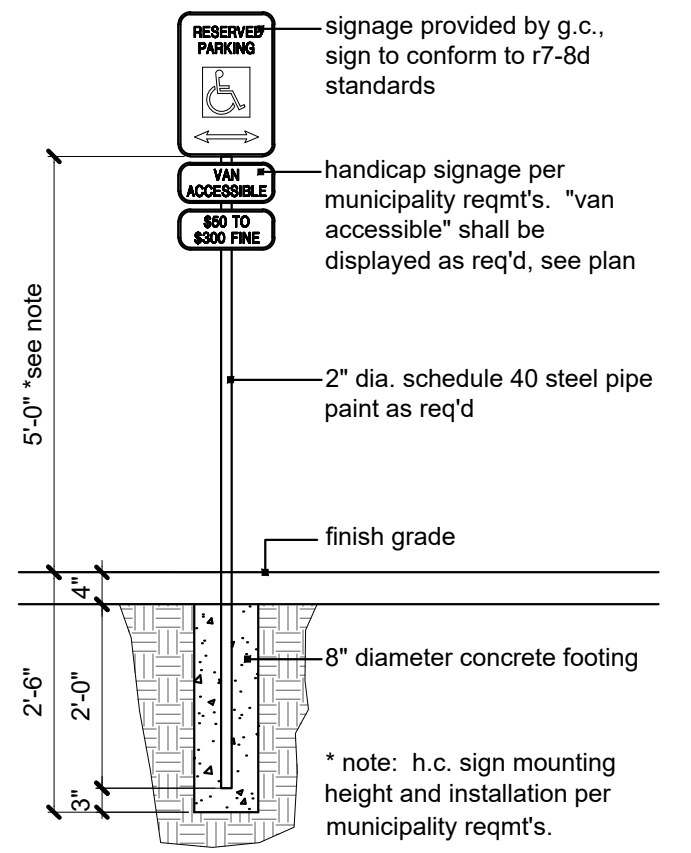
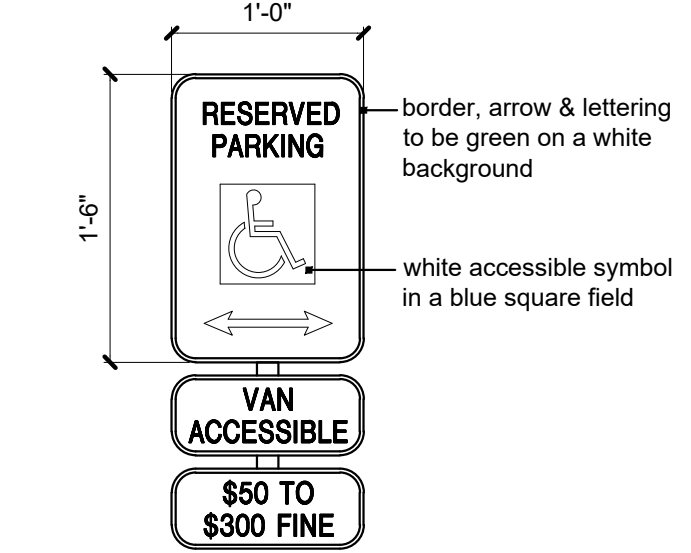
legal description:

a tract of land in lot 34, block 2, holiday hills addition to the city of lansing, leavenworth county, kansas, more fully described as follows: beginning at a point 502.80 feet south and 706.87 feet west of the northeast corner of section 24, township 9 south, range 22 east of the 6th p.m., thence south 00°00'05" west for a distance of 241.32 feet to the south right-of-way line of plaza lane, thence north 89°53'00" east for a distance of 75.00 feet to the point of beginning.

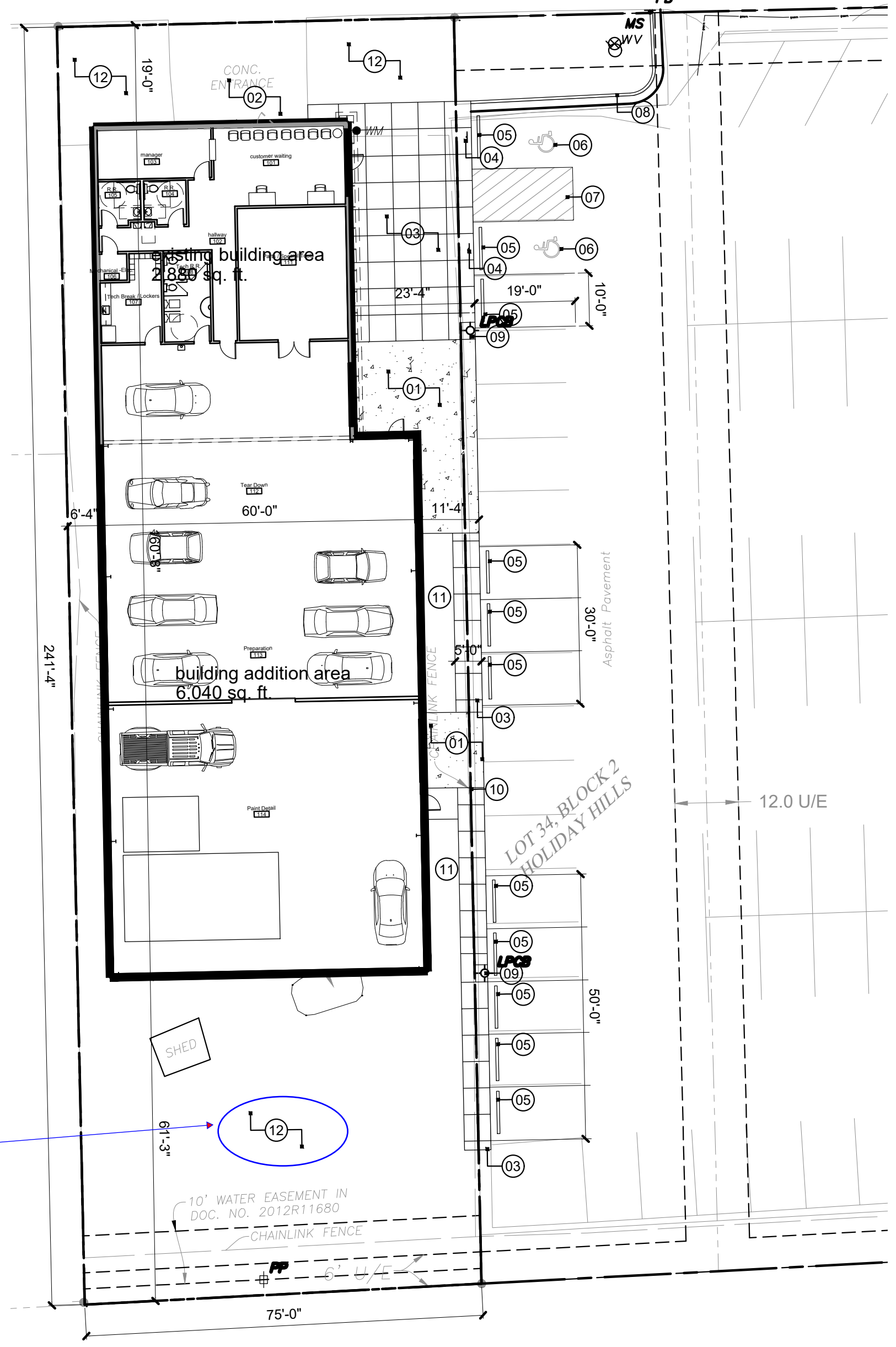
site synopsis:

governing municipality:	Lansing, Kansas
site area:	+/- 18,019 sq.ft. (+/- 0.414 acres)
building stories:	one (existing and proposed)
building area(existing):	2,880 sq.ft.
building area(addition):	6,040 sq.ft.
total building area:	8,920 sq.ft.
floor area ratio:	.495
parking requirements:	1 per employee (10) & 2 per service bay (3) = 16 spaces req'd
new parking provided:	9 stalls + 2 handicap stalls

*all parking will be provided on adjacent lot that has the same owner.



2 handicap signage
scale: not to scale



Any stormwater storage?

construction notes: (#)

1. furnish and install concrete pavement, to abutt to existing asphalt pavement per civil.
2. existing drive to remain.
3. concrete sidewalk, 4" thick with 6x6 10/10 wwf steel mesh. control joints at 5'-0" o.c. broom finish for non-slip surface. to abutt to existing asphalt pavement per civil.
4. furnish and install handicap parking signage.
5. furnish and install parking stop.
6. handicap striping and universal symbol painted with 4" stroke.
7. parking lot striping to be white with 4" stroke.
8. existing concrete curb and gutter to remain.
9. existing parking lot lighting, concrete to not be poured against pole, block out around as shown on site plan.
10. existing fence to be removed on east side of building.
11. green space.
12. existing green space.

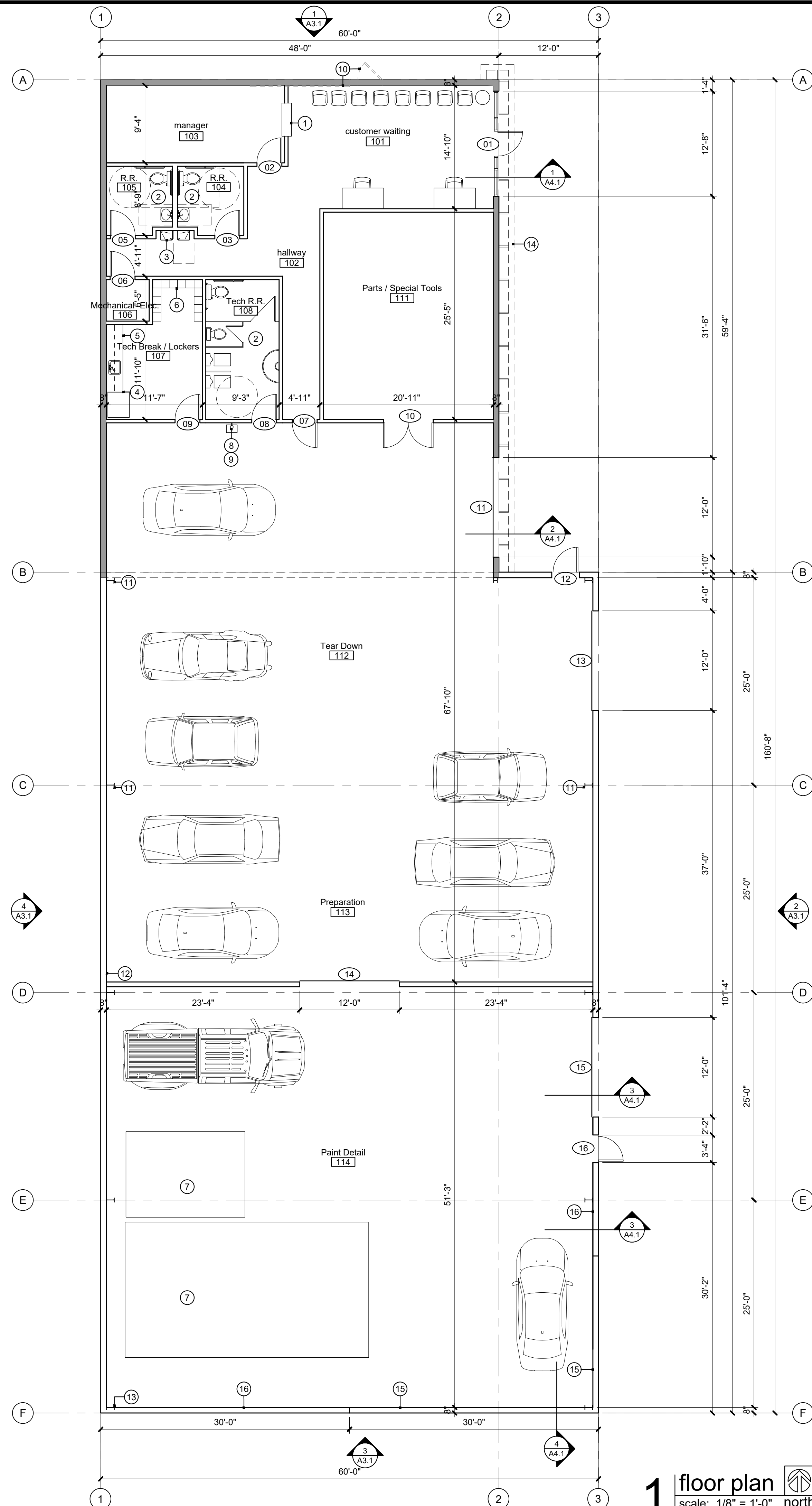
1 site plan
scale: 1" = 30'-0" north

A Proposed Body Shop Addition and Remodel for
MainStreet of Lansing
555 N Main Street
Lansing, KS 66043

date
11.15.2021
drawn by
kka
checked by
dae
revisions

construction notes: (##)

1. casework per details.
2. furnish and install floor drain with clean out basket per MEP.
3. high-low drinking fountain with bottle filler per MEP. install per ADA requirements.
4. furnish and install adequate power for refrigerator and microwave.
5. furnish and install lower casework and countertop per interior elevations and details.
6. furnish and install lockers per owner requirements.
7. furnish and install owner provided Paint Mix Room and Pit Down Draf Booth, power and venting requirements per MEP. verify final location and layout with owner.
8. furnish and install emergency eye wash station per MEP drawings.
9. furnish and install emergency pull chain shower per MEP drawings.
10. existing overhead door and man door to be removed and patched to match interior and exterior wall.
11. furnish and install air drop, 110 outlet, coordinate with MEP and owner.
12. furnish and install 220 outlet per MEP.
13. furnish and install air compressor per owner requirements, MEP to provide power, verify final location with owner.
14. signage canopy above.
15. 18" retaining wall per structural.
16. 12" retaining wall per structural.



1 floor plan
 scale: 1/8" = 1'-0" north

building area:
 net office area: 1,347 s.f.
 net shop area: 7,257 s.f.
 overall area: 8,928 s.f.

A Proposed Body Shop Addition and Remodel for

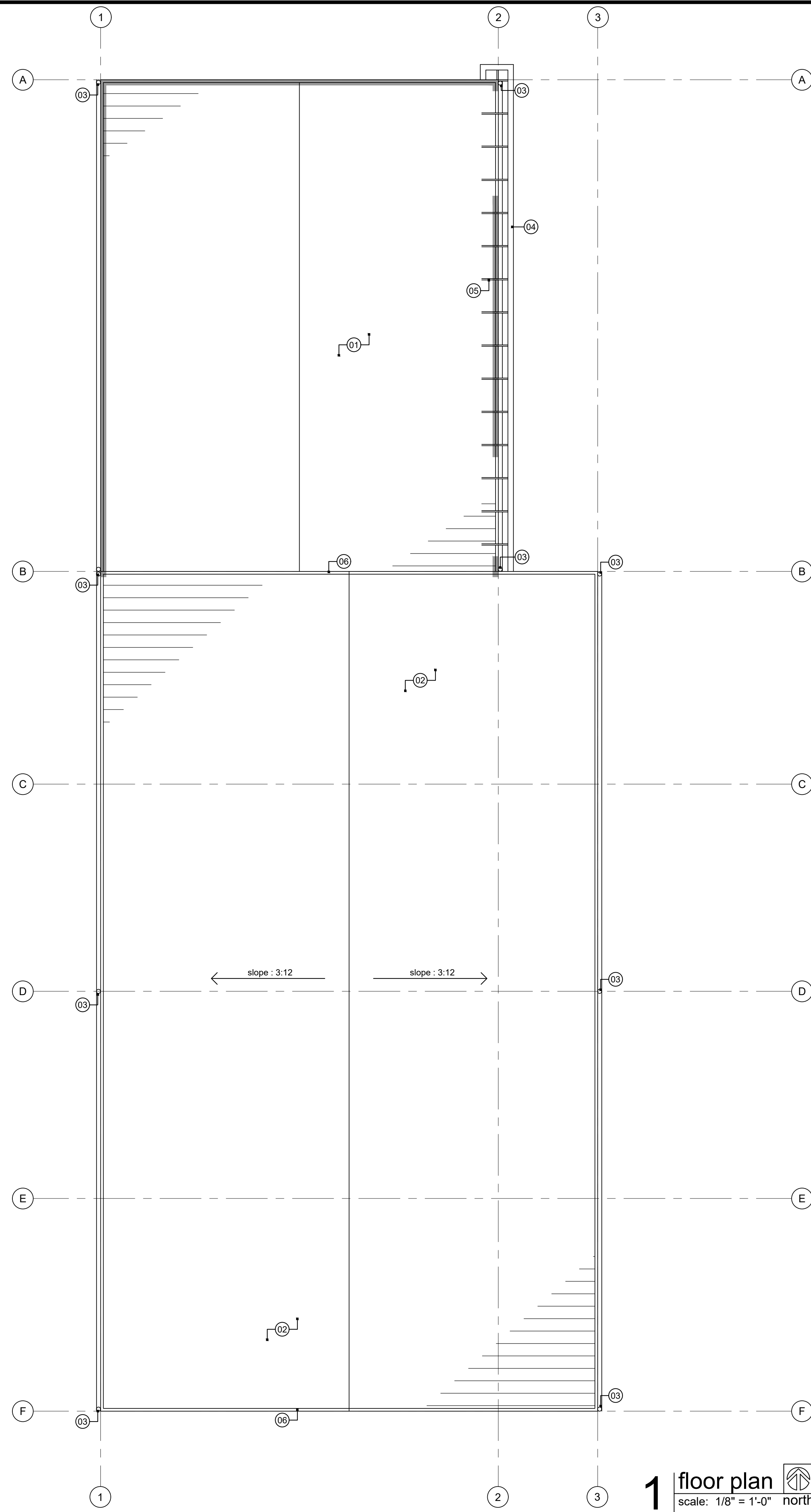
Main Street of Lansing

555 N Main Street
 Lansing, Kansas 66043

date: 11.15.2021
 drawn by: kka
 checked by: dae
 revisions:

sheet number
A2.1
 drawing type: preliminary
 project number: 21148

- construction notes: ##**
- existing roof to remain.
 - standing seam metal roof per PEMB supplier.
 - downspout and gutter per PEMB supplier.
 - signage canopy pre-finished metal cap flashing.
 - signage canopy support framing to tie back into existing roof per structural.
 - pre-finished rake trim per PEMB supplier.



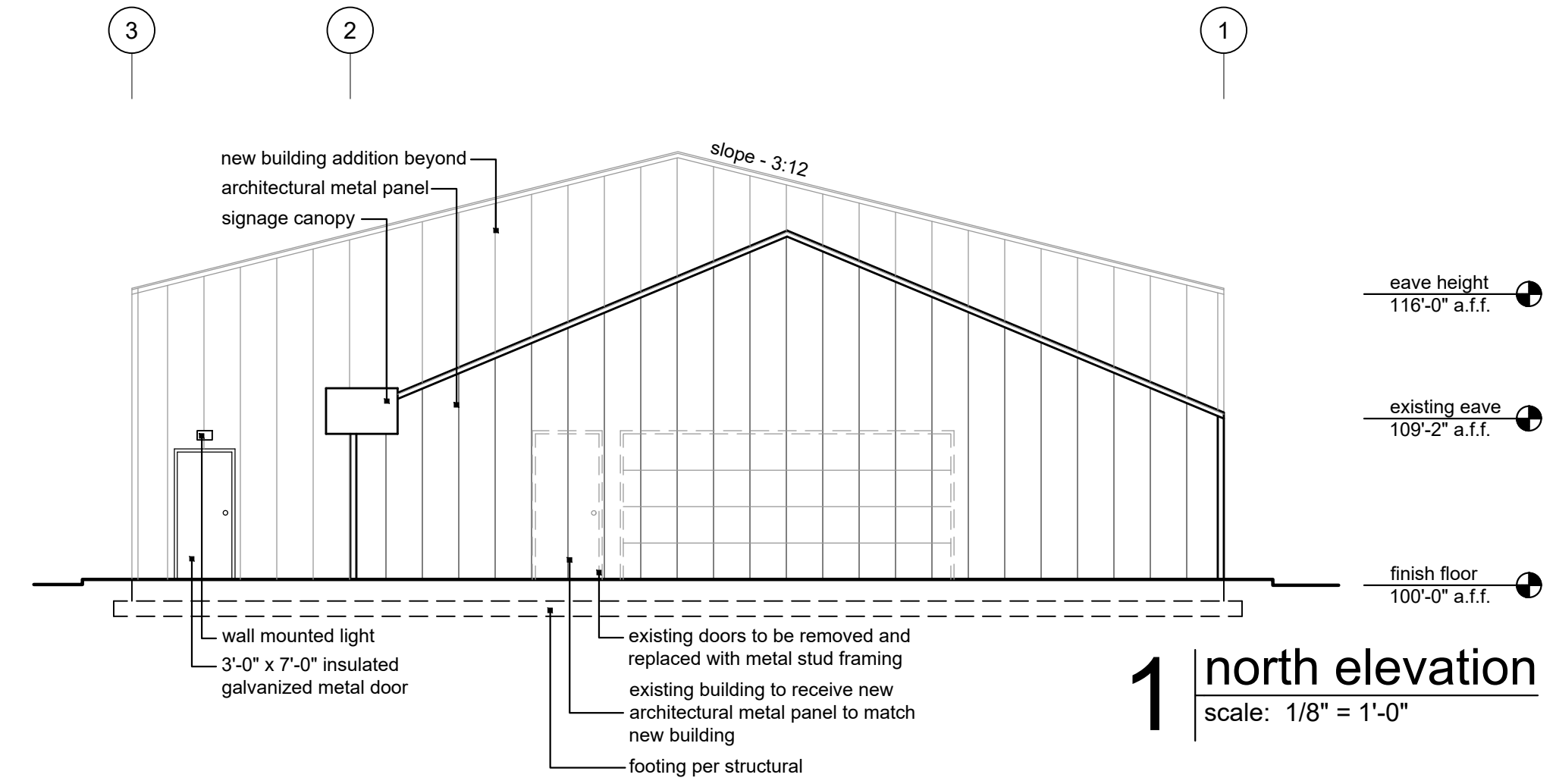
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 555 N Main Street
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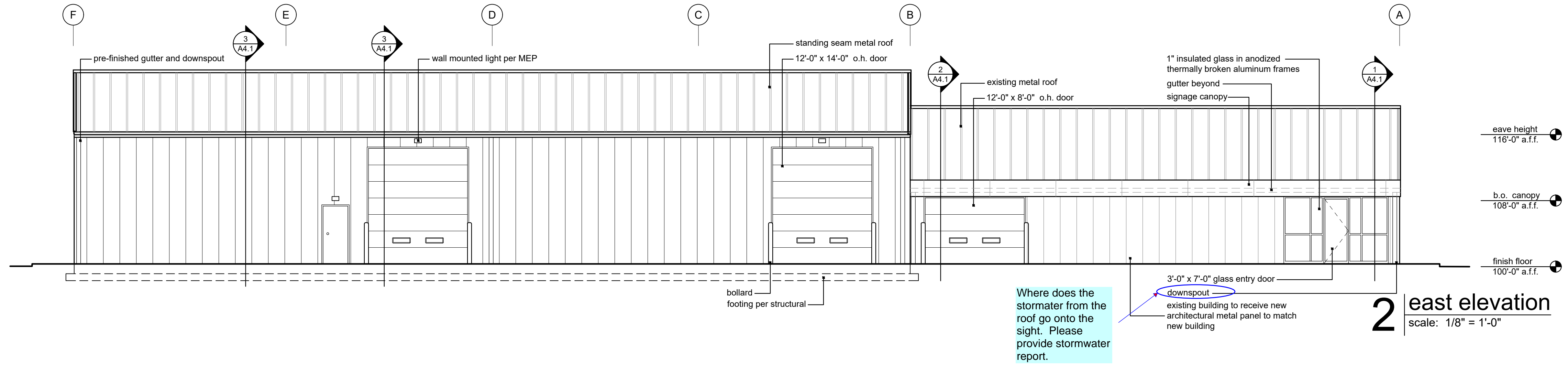
sheet number
A2.2
 drawing type
 preliminary
 project number
 21148

1 floor plan
 scale: 1/8" = 1'-0" north

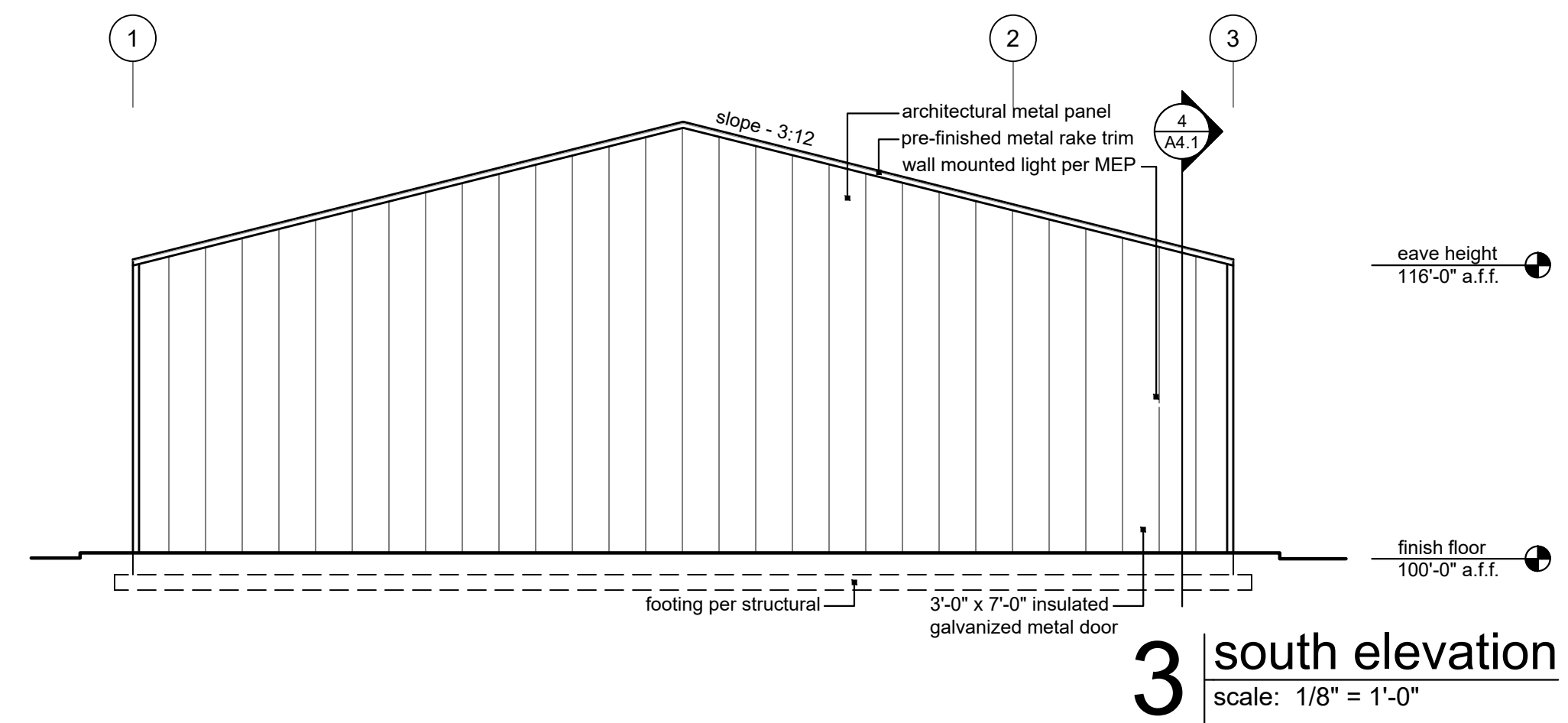
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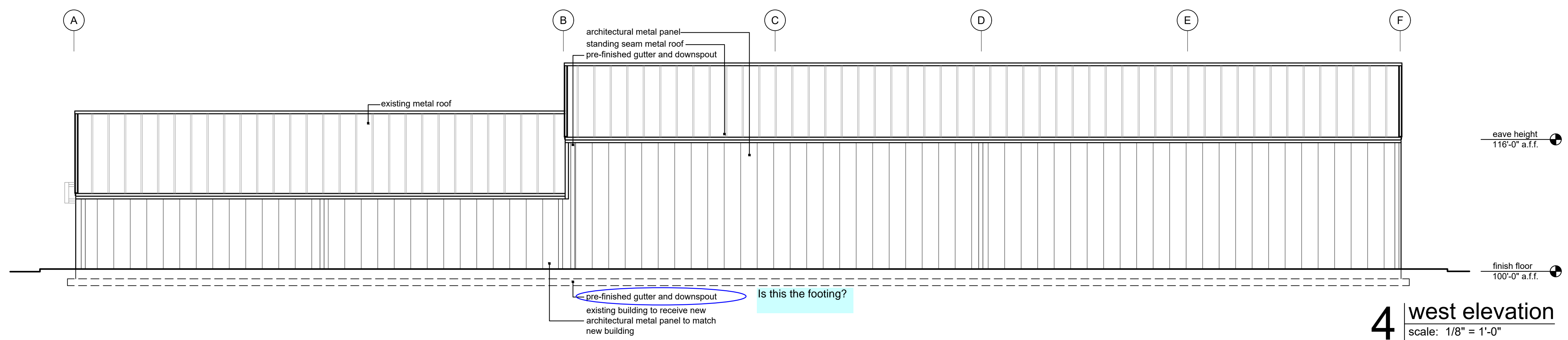
1 north elevation
 scale: 1/8" = 1'-0"



2 east elevation
 scale: 1/8" = 1'-0"



3 south elevation
 scale: 1/8" = 1'-0"



4 west elevation
 scale: 1/8" = 1'-0"

A Proposed Body Shop Addition and Remodel for

Main Street Dodge

555 Main Street
 Lansing, Kansas

date
 11.15.2021
 drawn by
 kka
 checked by
 dae
 revisions

sheet number

A3.1

drawing type
 preliminary
 project number
 21148