

Lansing Towne Centre

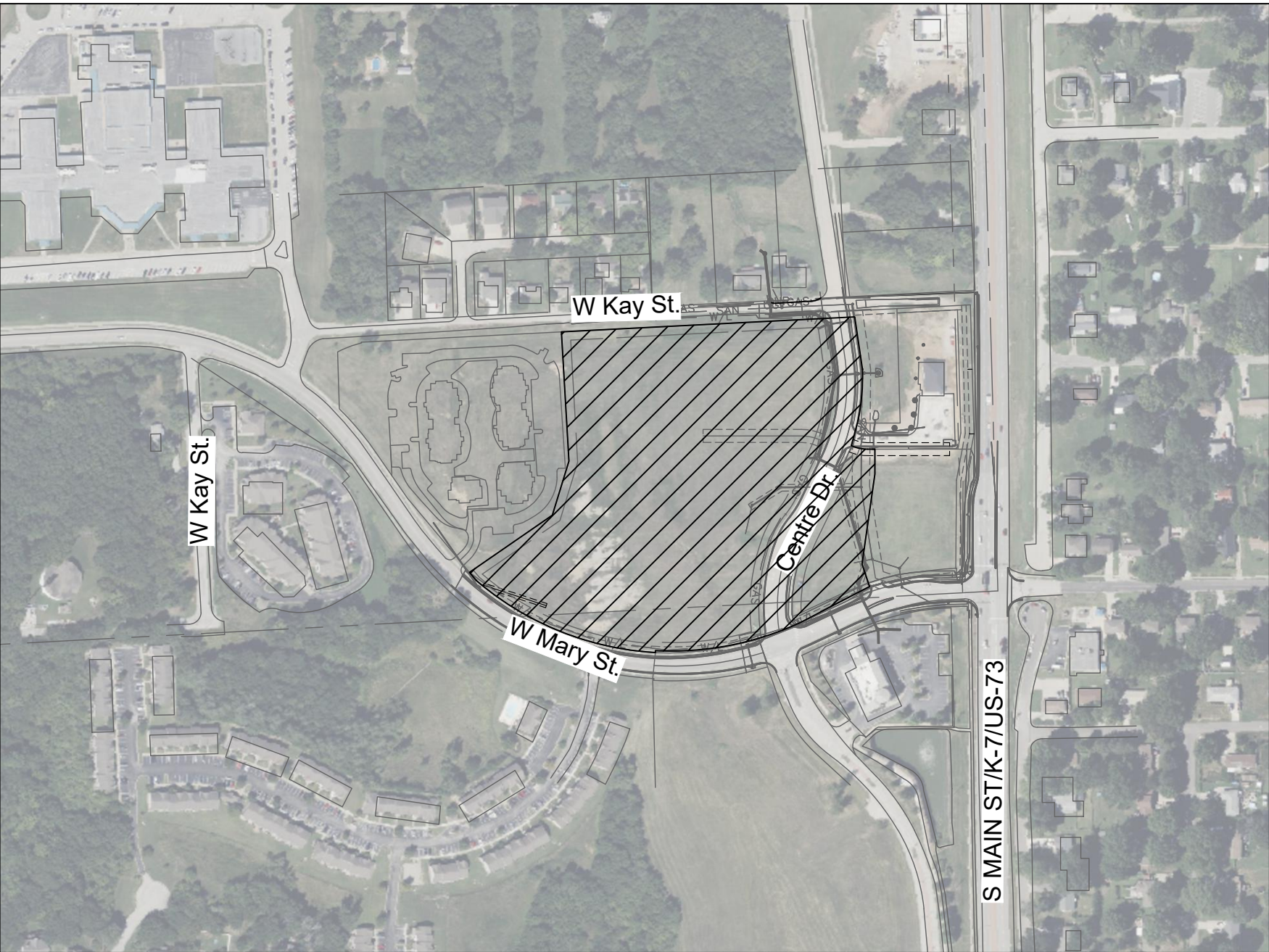
A Development In Lansing, Leavenworth County, KS

Site Development Plans

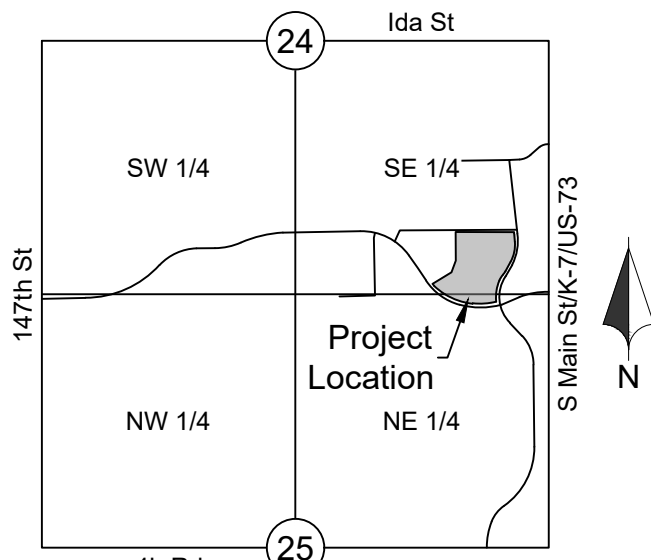
TOTAL AREA: 9.80 ACRES

LEGEND

---	Existing Section Line	---	Proposed Right-of-Way
- - - - -	Existing Right-of-Way Line	=====	Proposed Property Line
---	Existing Lot Line	---	Proposed Lot Line
- - - - -	Existing Easement Line	- - - - -	Proposed Easement
=====	Existing Curb & Gutter	=====	Proposed Curb & Gutter
=====	Existing Sidewalk	=====	Proposed Sidewalk
=====	Existing Storm Sewer	=====	Proposed Storm Sewer
□	Existing Storm Structure	□	Proposed Storm Structure
W/L	Existing Waterline	A	Proposed Fire Hydrant
GAS	Existing Gas Main	W/L	Proposed Waterline
---	Existing Sanitary Sewer	---	Proposed Sanitary Sewer
⊙	Existing Sanitary Manhole	⊙	Proposed Sanitary Manhole
---	Existing Contour Major	---	Proposed Contour Major
---	Existing Contour Minor	---	Proposed Contour Minor
		=====	Future Curb & Gutter



VICINITY MAP
(NTS)



LOCATION MAP
Scale 1" = 2000'
SEC 24-T9S-R22E
SEC 25-T9S-R22E

UTILITY CONTACTS

City of Lansing
Lansing Utilities
Sanitary Sewer
Lan-Del Water District
Kansas Gas
Everygy
Clearwave Fiber
Spectrum
AT&T

(913) 727-3233
(913) 727-3233
(913) 727-2206
(913) 727-3350
(800) 794-4780
(888) 471-5275
(785) 594-5414
(855) 366-7132
(800) 288-2020

Engineer:
Renaissance Infrastructure Consulting
5015 NW Canal St, Suite100
Riverside, MO 64150
816.800.0950

Consultant/Applicant:
Klover Architects
8813 Penrose Lane, Suite 300
Lenexa, KS 66219

Prepared For:
Driven Assets LLC
1601 High Street,
Boulder, CO 80302
214-597-5088



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INCLUDE & MEASURE dimensions - DO NOT SCALE drawings unless otherwise directed.

project title

LANSING TOWNE CENTRE
WEST MARY ST & CENTRE DR
LANSING, LEAVENWORTH COUNTY, KS 66043

project number
25-0106

drawing issuance
FDP SUBMITTAL 02.12.2025

drawing revisions
No. Description: Date:

professional seal

drawing title

Title Sheet

drawing number

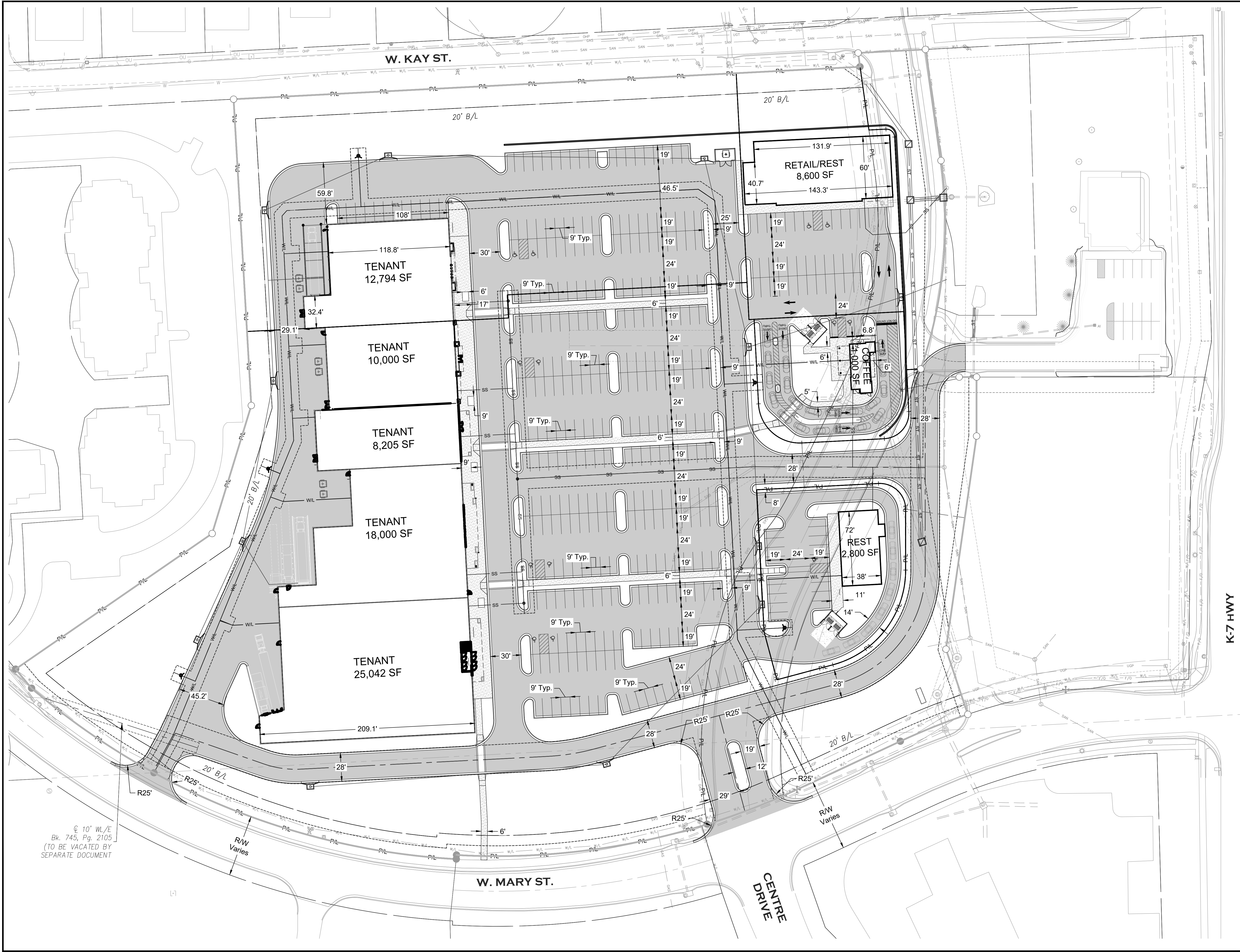
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C03

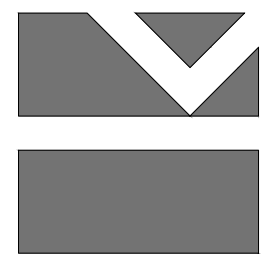
professional seal

gmiller
May 14, 2025 2:43pm
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© 10' WL/E
Bk. 745, Pg. 2105
(TO BE VACATED BY
SEPARATE DOCUMENT





kloverarchitects

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ph: 913.649.8181 • fx: 913.649.1275 • www.klover.net

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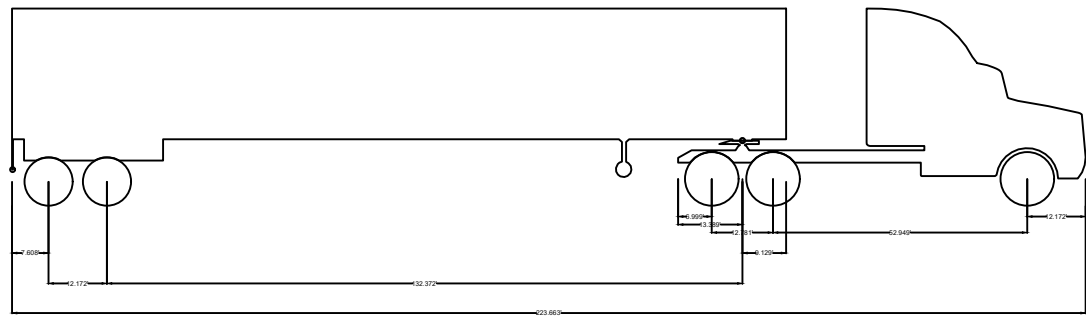
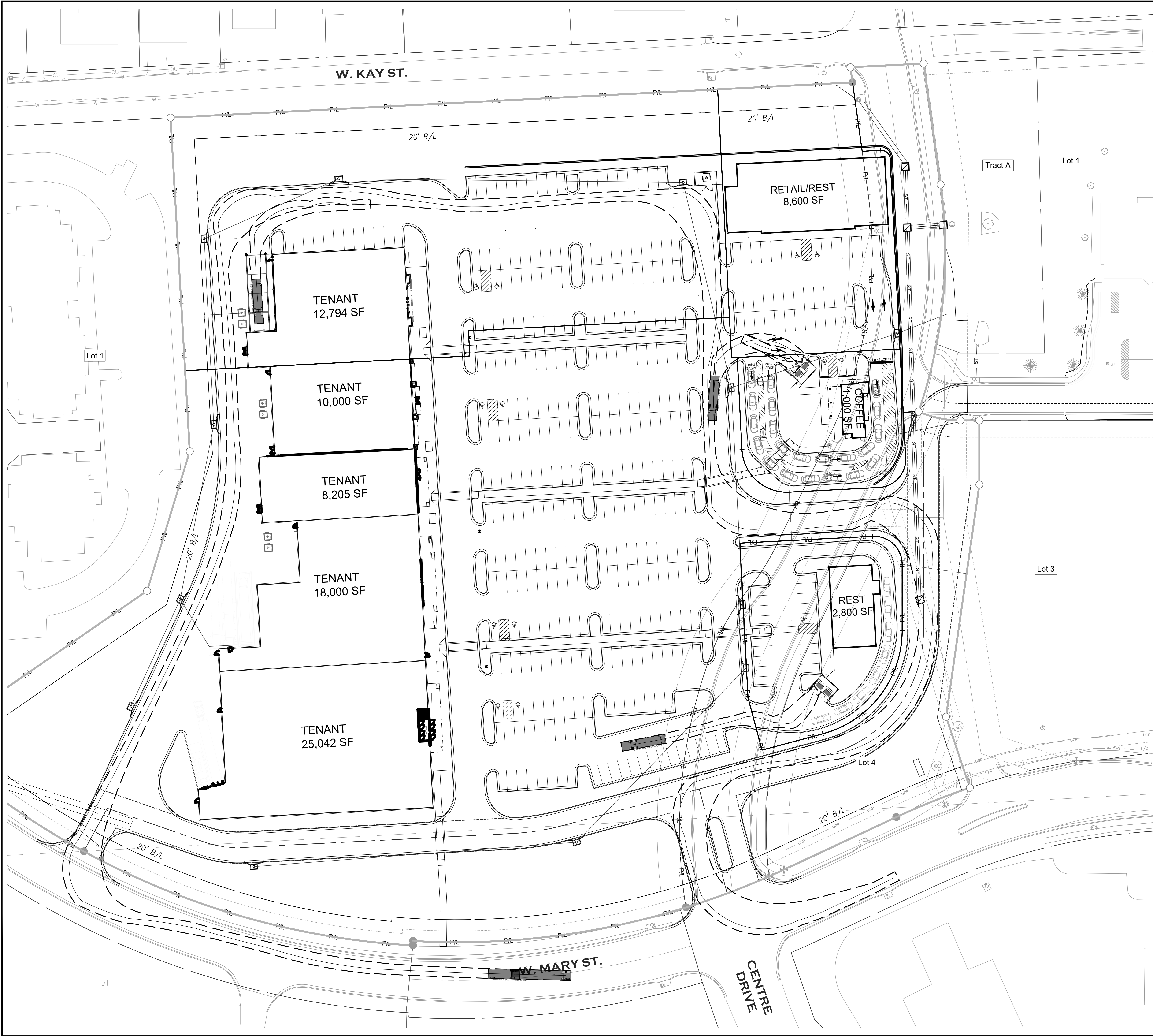
drawing revisions
No. Description: Date:

professional seal

drawing title
Dimension Plan

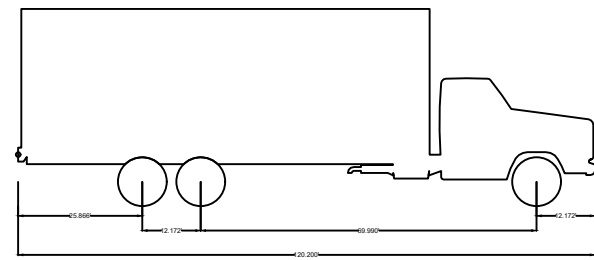
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C04

gmiller
May 14, 2025-2:43pm
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Name: Trailer 1 (L53)
Width [ft]: 8.500
Height [ft]: 13.500
Front track [ft]: 8.500
Back track [ft]: 8.500

Vehicle library: AASHTO2011_IMPERIAL
Name: Interstate Semitrailer (WB-67)
Width [ft]: 8.500
Height [ft]: 13.500
Front track [ft]: 8.500
Back track [ft]: 8.500
Total vehicle length [ft]: 73.500
Average steering angle: 28.683°
Turn time (sec.): 6.0
Turning radius (curb to curb) [ft]: 44.403
Turning radius (wall to wall) [ft]: 46.300



Vehicle library: AASHTO2011_IMPERIAL
Name: Single-Unit Truck (SU-40)
Width [ft]: 8.000
Height [ft]: 13.500
Front track [ft]: 8.000
Back track [ft]: 8.000
Total vehicle length [ft]: 39.500
Average steering angle: 31.926°
Turn time (sec.): 6.0
Turning radius (curb to curb) [ft]: 50.714
Turning radius (wall to wall) [ft]: 52.800

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WEST MARY ST & CENTRE DR
LANSING, LEAVENWORTH COUNTY, KS 66043

project number
25-0106

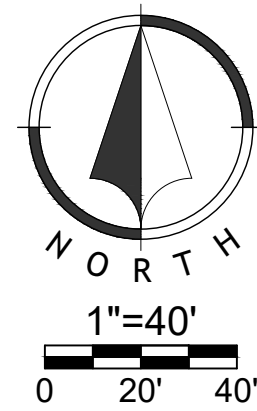
drawing issuance
FDP SUBMITTAL 02.12.2025

drawing revisions
No. Description: Date:

professional seal

drawing title
Truck Maneuver Plan
drawing number

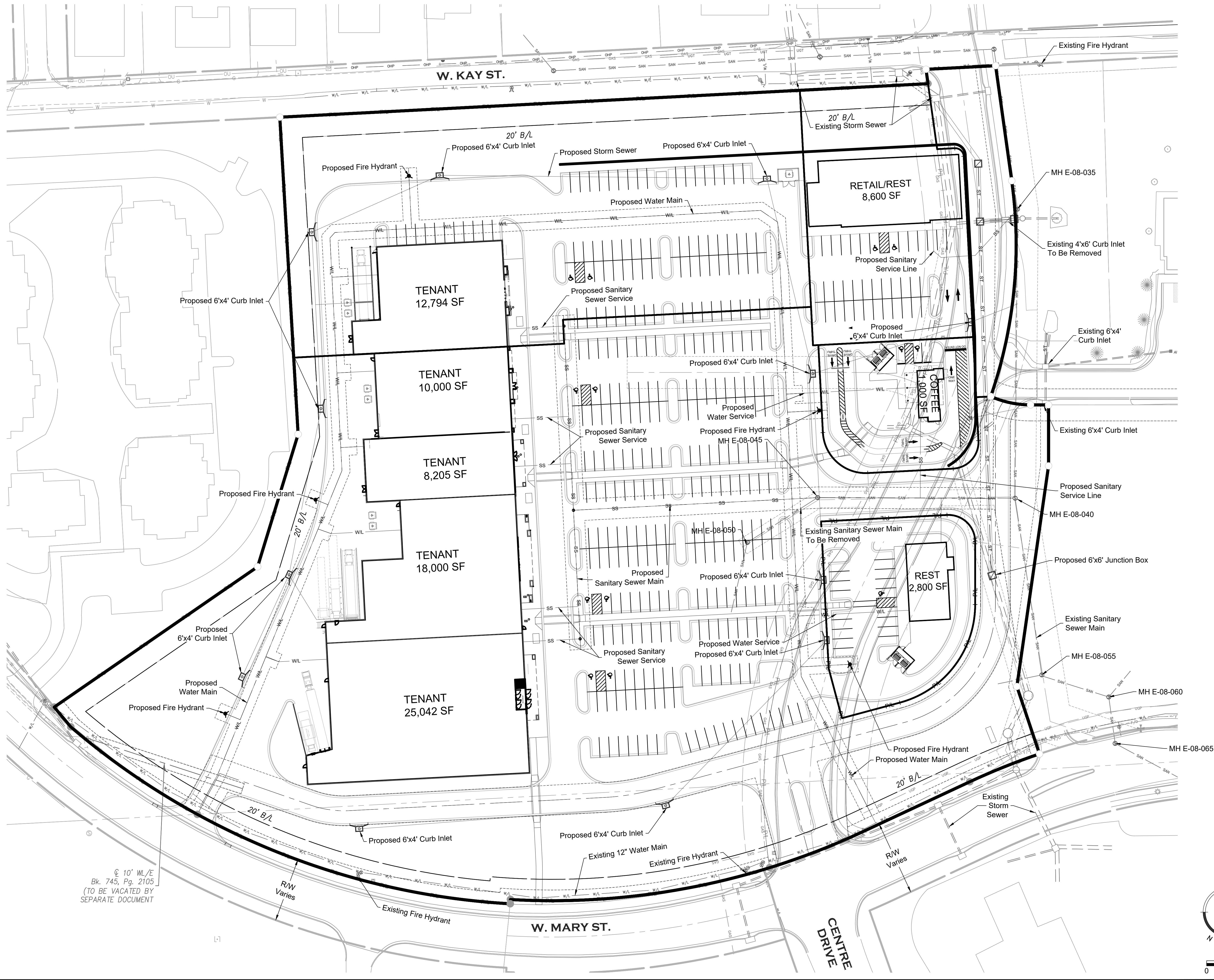
C05



gmiller
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SEPARATE DOCUMENT

L-1



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LANSING, LEAVENWORTH COUNTY, KS 66043

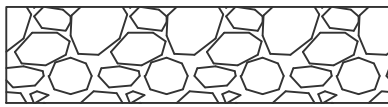
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drawing revisions
No. Description: Date:

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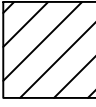
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Utility Plan
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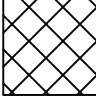
EROSION CONTROL LEGEND



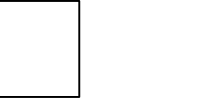
Stabilized Construction Entrance



Staging Area



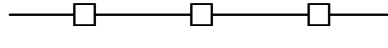
Stockpile Area



Concrete Washout



Limits of Disturbance



Perimeter Silt Fence

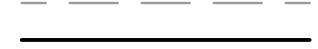


Inlet Protection

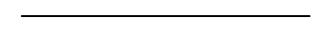
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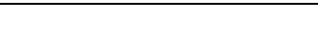
Existing Major Contour



Existing Minor Contour



Proposed Major Contour

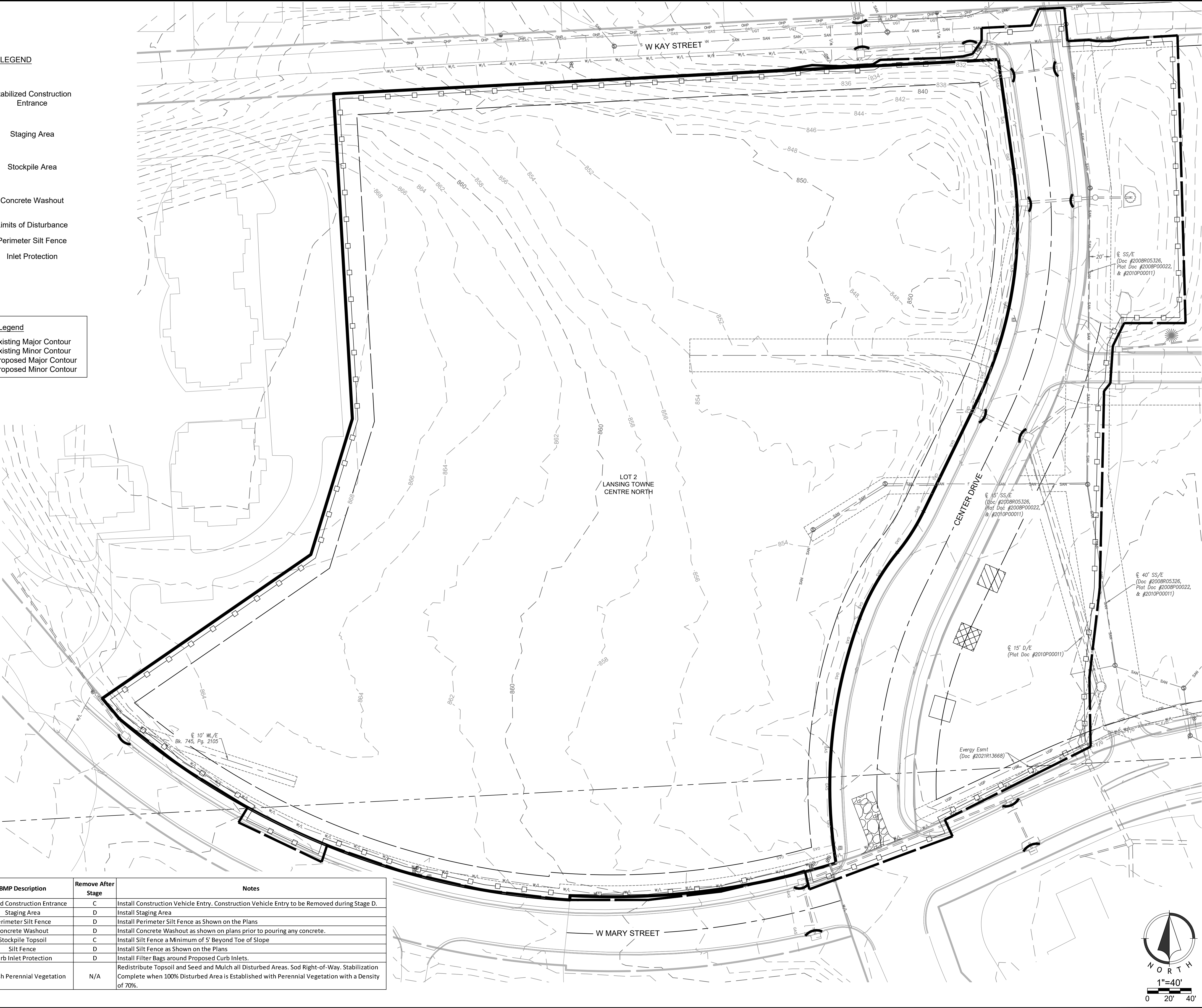


Proposed Minor Contour

NOTE:

City ROW restoration ordinance requires placement of SOD within ROW

Phases	Project Stage	BMP Plan Ref. No.	BMP Description	Remove After Stage	Notes
Phase I	A-Prior to Land Disturbance	1	Stabilized Construction Entrance	C	Install Construction Vehicle Entry. Construction Vehicle Entry to be Removed during Stage D.
		2	Staging Area	D	Install Staging Area
		3	Perimeter Silt Fence	D	Install Perimeter Silt Fence as Shown on the Plans
		4	Concrete Washout	D	Install Concrete Washout as shown on plans prior to pouring any concrete.
Phase II	B-Mass Grading	5	Stockpile Topsoil	C	Install Silt Fence a Minimum of 5' Beyond Toe of Slope
	C-Site Construction	6	Silt Fence	D	Install Silt Fence as Shown on the Plans
		7	Curb Inlet Protection	D	Install Filter Bags around Proposed Curb Inlets.
Phase III	D-Final Stabilization	8	Establish Perennial Vegetation	N/A	Redistribute Topsoil and Seed and Mulch all Disturbed Areas. Sod Right-of-Way. Stabilization Complete when 100% Disturbed Area is Established with Perennial Vegetation with a Density of 70%.



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LANSING, LEAVENWORTH COUNTY, KS 66043

project number
25-0106

drawing issuance
FDP SUBMITTAL 02.12.2025

drawing revisions
No. Description: Date:

professional seal

drawing title
Erosion Control Plan I

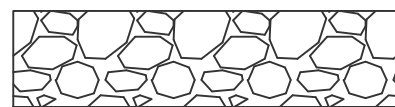
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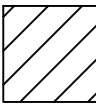
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		3	Perimeter Silt Fence	D	Install Perimeter Silt Fence as Shown on the Plans
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Phase II	B-Mass Grading	5	Stockpile Topsoil	C	Install Silt Fence a Minimum of 5' Beyond Toe of Slope
	C-Site Construction	6	Silt Fence	D	Install Silt Fence as Shown on the Plans
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NOTE:
City ROW restoration ordinance requires placement of SOD within ROW

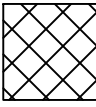
EROSION CONTROL LEGEND



Stabilized Construction Entrance



Staging Area



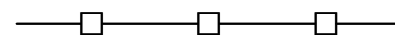
Stockpile Area



Concrete Washout



Limits of Disturbance



Perimeter Silt Fence



Inlet Protection

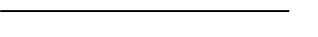
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Existing Major Contour



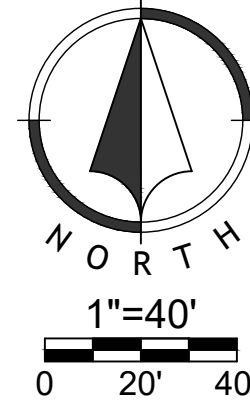
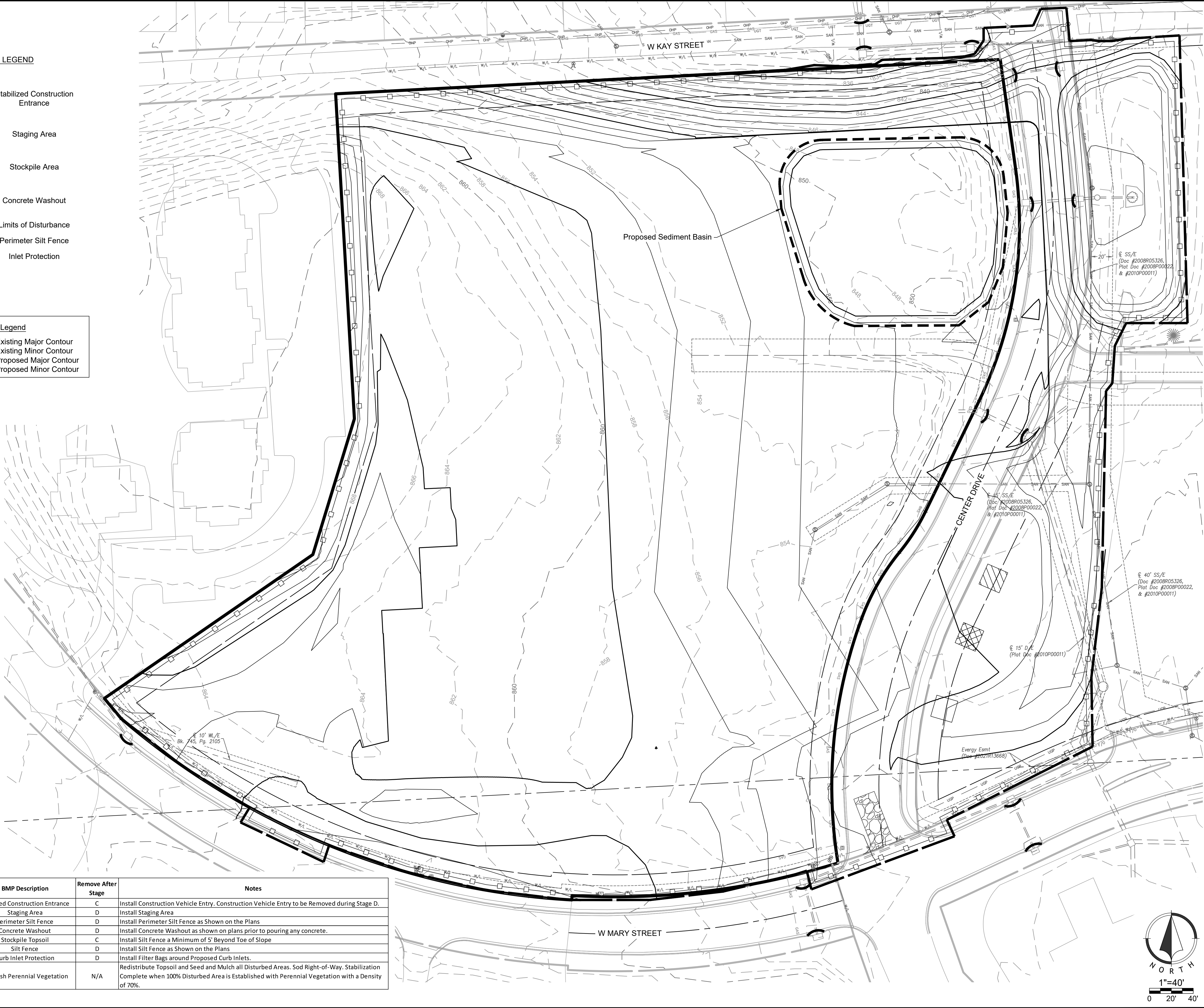
Existing Minor Contour



Proposed Major Contour



Proposed Minor Contour



gmiller
May 14, 2025-2:44pm
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EROSION CONTROL LEGEND

- — — Limits of Disturbance
— □ — □ — Perimeter Silt Fence

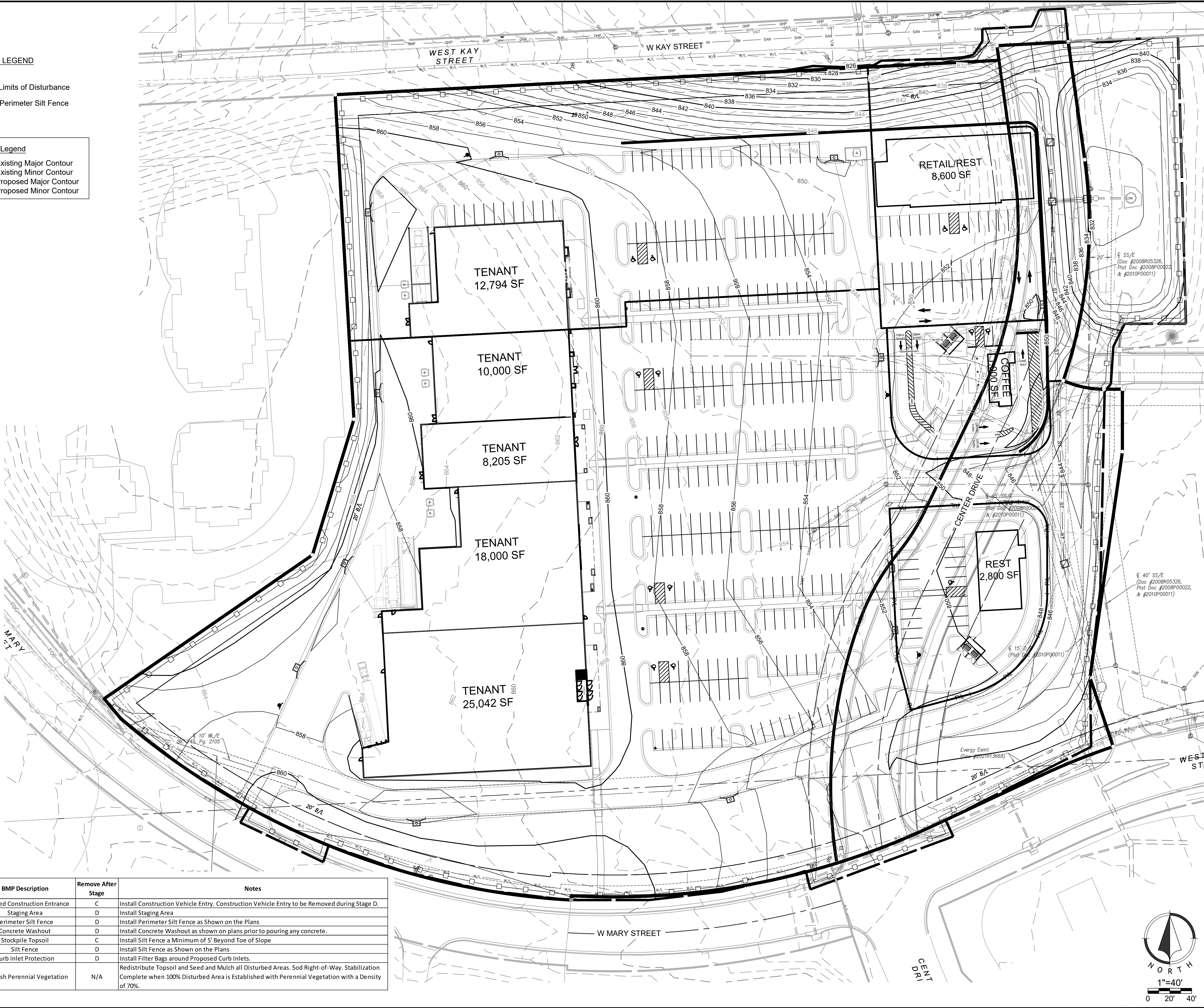
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- Existing Major Contour
--- Existing Minor Contour
— Proposed Major Contour
— Proposed Minor Contour

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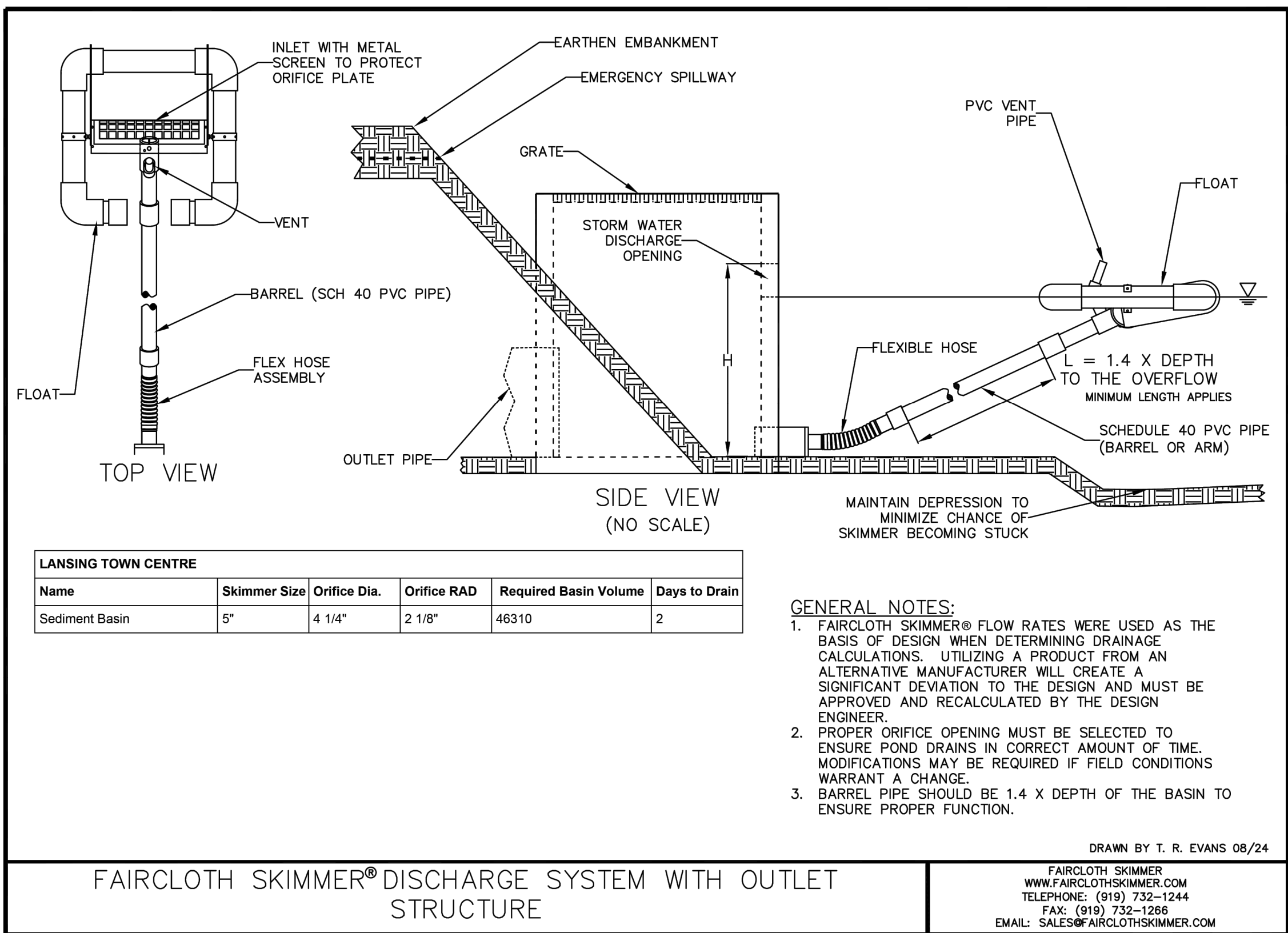
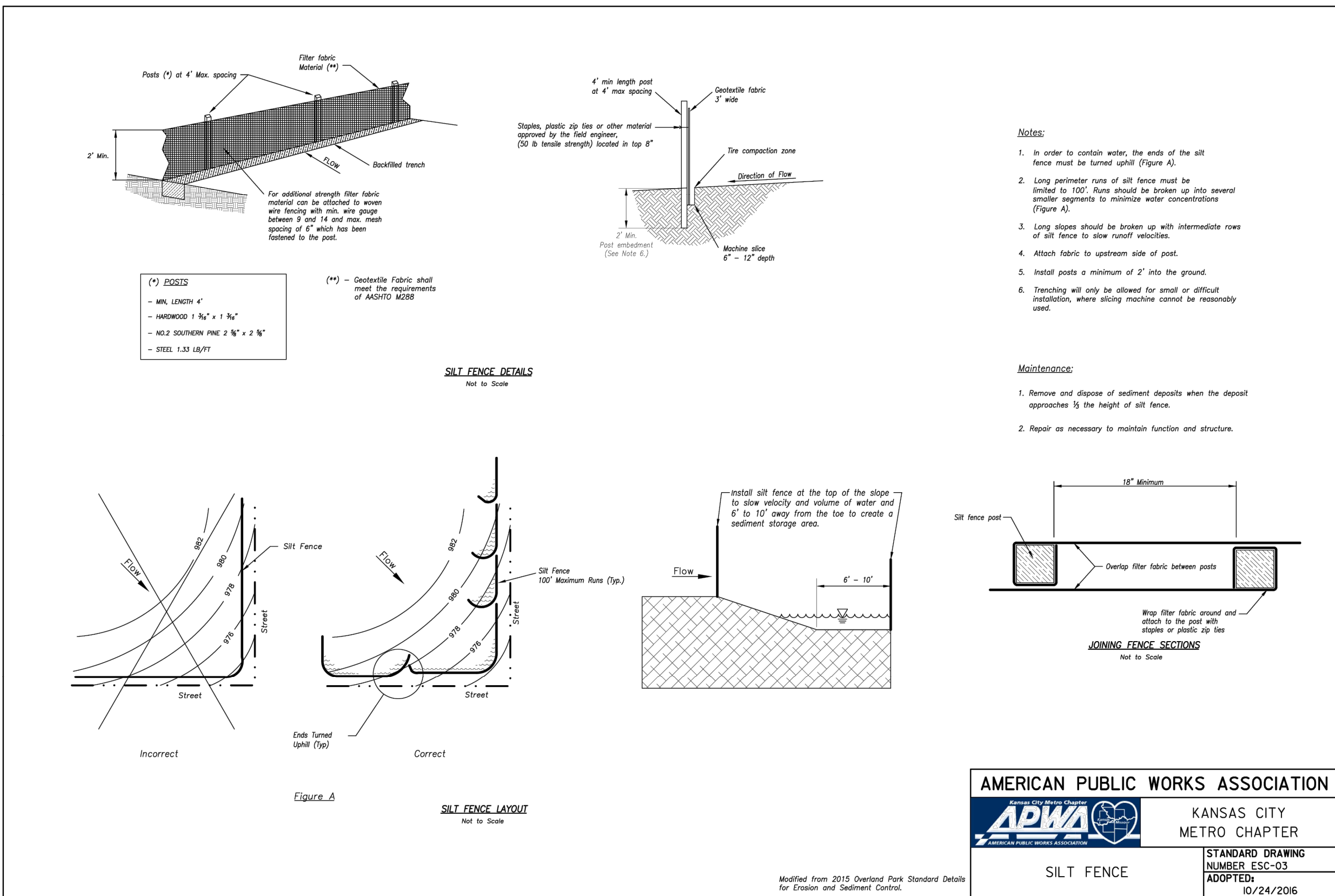
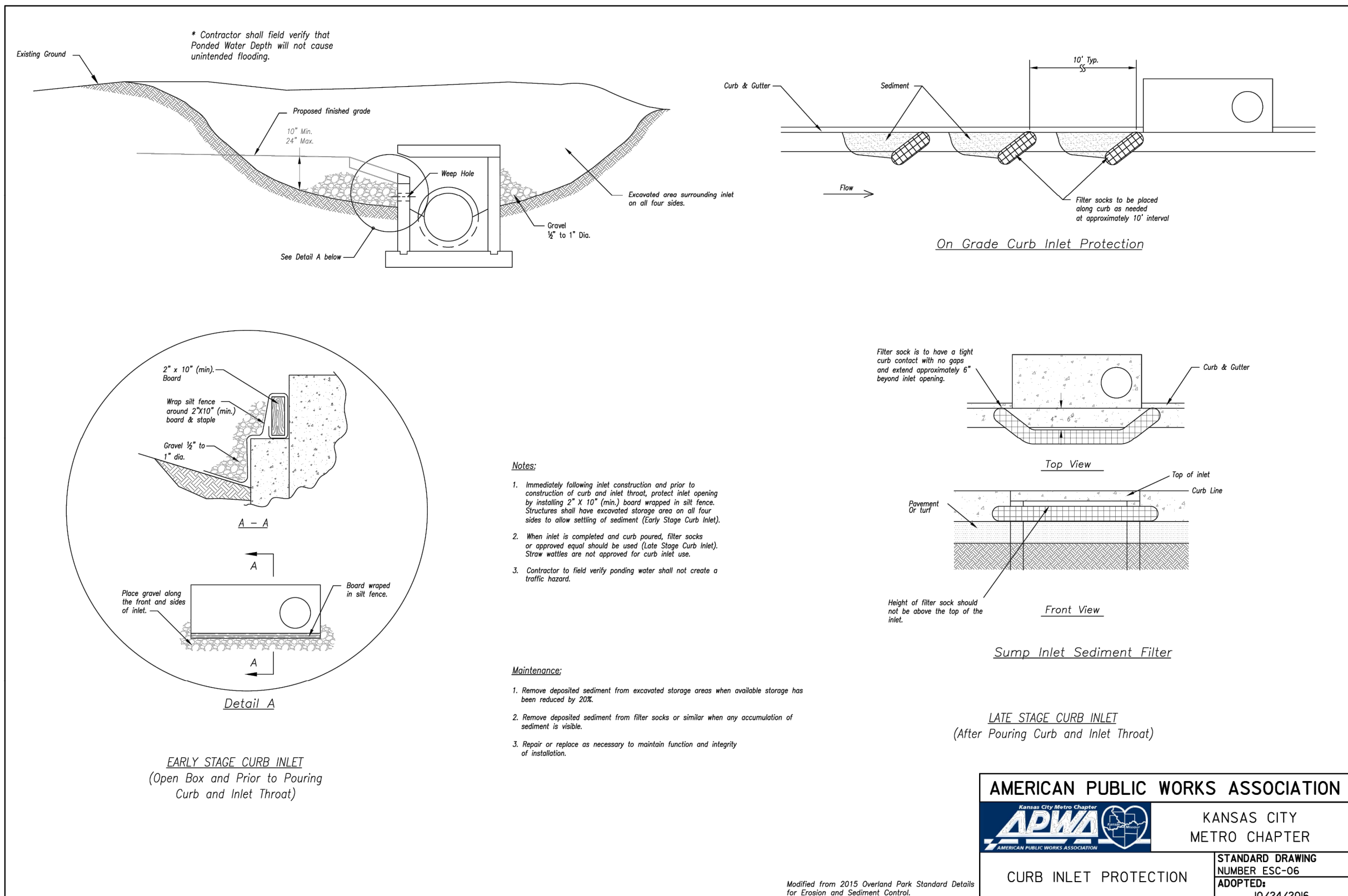
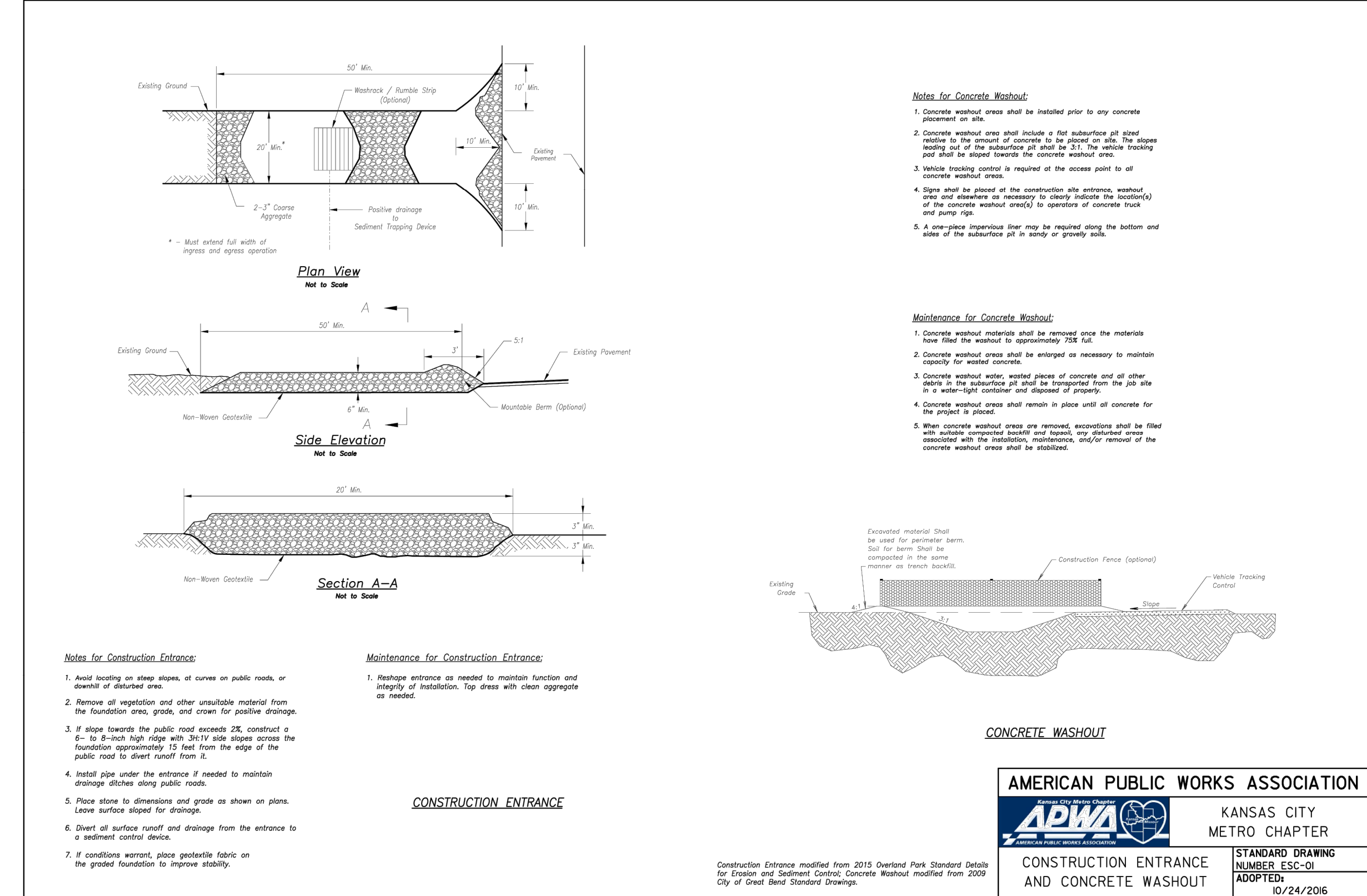
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WEST MARY ST & CENTRE DR
LANSING, LEAVENWORTH COUNTY, KS 66043

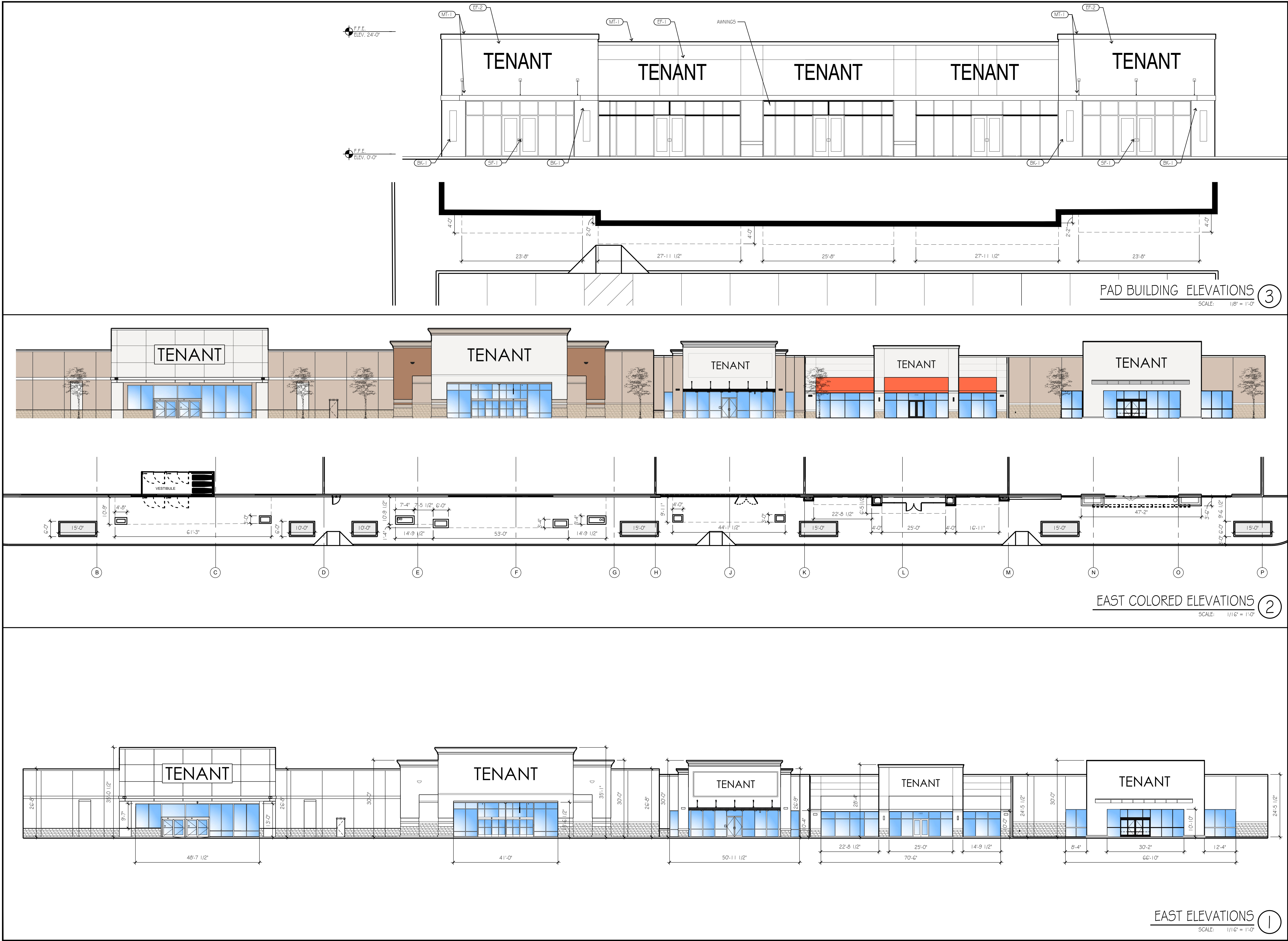
project number
25-0106
drawing issuance
FDP SUBMITTAL 02.12.2025
drawing revisions
No. Description: Date:

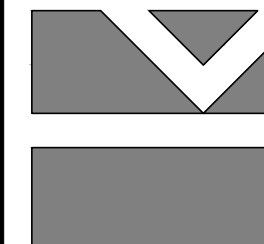
professional seal

drawing title
Erosion Control Plan III
drawing number

C10







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RELATED DOCUMENTS: This Drawing is a single component of an integrated set of Construction Documents. General and Supplementary Conditions of the Contract, General Requirements, Specifications and other Drawings may affect the Work described. Failure to review and integrate the design intent of the whole of the Construction Documents does not relieve the Contractor from providing a complete Project.

COMPLY WITH all laws, codes, ordinances and regulations with authorities having jurisdiction and with requirements of the Landlord, if applicable. Do not start Work until all permits and required approvals are obtained.

VERIFY ACTUAL CONDITIONS and dimensions prior to construction. Commencement of work constitutes verification and acceptance of all existing conditions. Application of a material or equipment item to Work without the design intent of the whole of the Construction Documents is the responsibility of the Contractor for satisfactory installation.

DIMENSIONS SHOWN are to finish face of a material unless otherwise indicated. CALCULATE & MEASURE dimensions - DO NOT SCALE drawings unless otherwise directed.

project title

project number
23035.001

drawing issuance
PDP SUBMITTAL 04.11.25

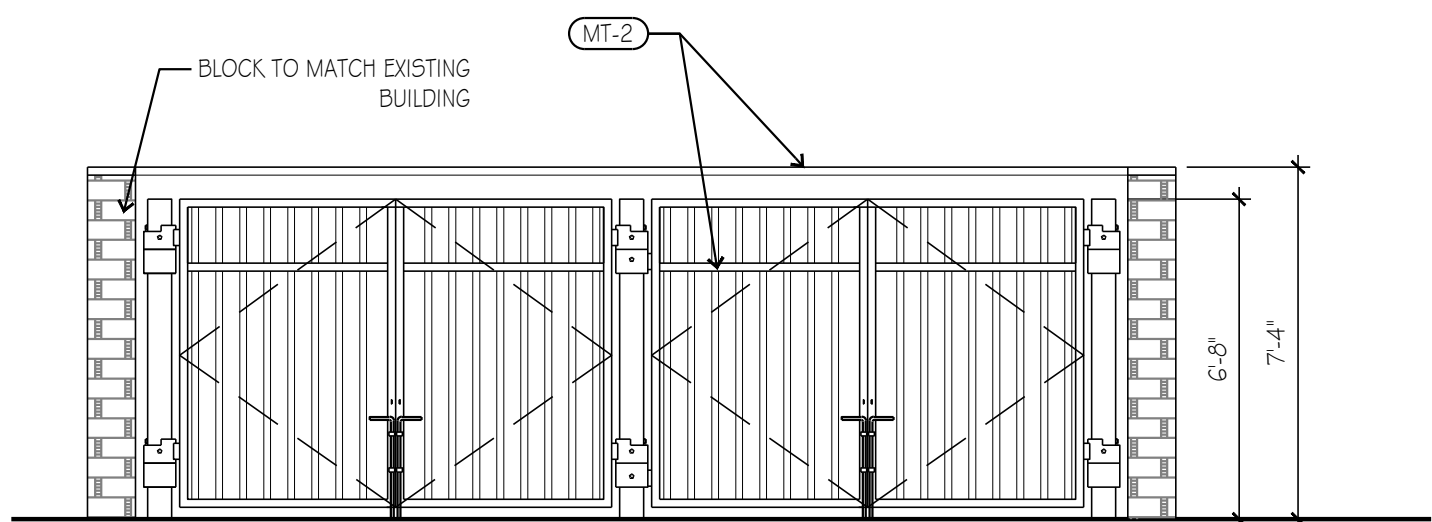
drawing revisions
No. Description: Date:

professional seal

drawing title
EXTERIOR ELEVATIONS

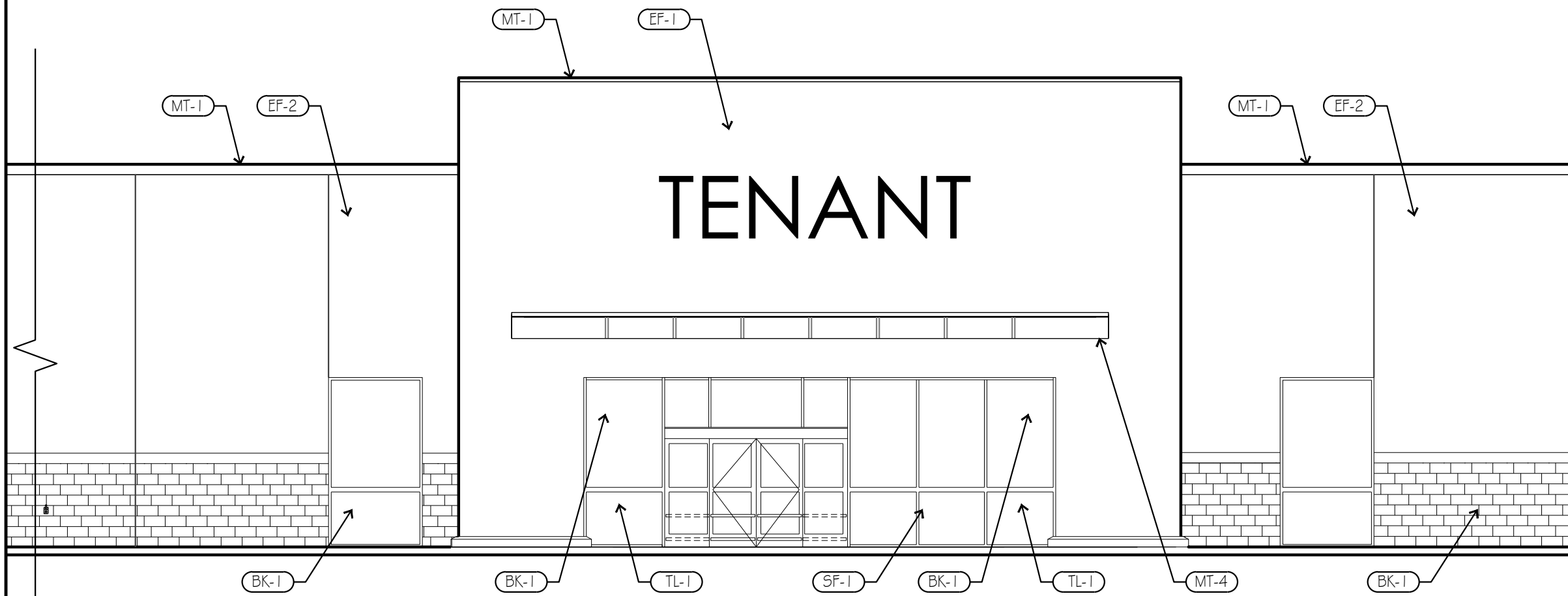
drawing number
A200

FINISH LEGEND:			
ITEM	DESCRIPTION	MANUF / COLOR	REMARKS
BK-1	CMU BLOCK	BEIGE / TAN	---
EF-1	EIPS	WHITE	WATER DRAINAGE EIPS
EF-2	EIPS	BEIGE	WATER DRAINAGE EIPS
EF-3	EIPS	TAN	WATER DRAINAGE EIPS
EF-4	EIPS	BLUE (MARSHALL'S)	WATER DRAINAGE EIPS
EF-5	EIPS	BLUE (ROSS)	WATER DRAINAGE EIPS
MT-1	METAL PANELS/FLASHING	WHITE	PREFINISHED NON-CORRUGATED METAL
MT-2	METAL PANELS/FLASHING	TAN	PREFINISHED NON-CORRUGATED METAL
MT-3	METAL PANELS/FLASHING	BLUE	PREFINISHED NON-CORRUGATED METAL
MT-4	METAL PANELS/FLASHING	BLACK	PREFINISHED NON-CORRUGATED METAL
MT-5	METAL PANELS/FLASHING	GREY	PREFINISHED NON-CORRUGATED METAL
SF-1	STOREFRONT 1	NEW GREY STOREFRONT	---
SF-2	STOREFRONT 1	NEW BLACK STOREFRONT	---
TL-1	EXTERIOR TILE	GREY	---
LT-1	LIGHT	UP-DOWN WALL SCONCE	---
LT-2	LIGHT	HALO LIT WALL SCONCE	---
RF-1	CANOPY	ORANGE	---
ST-1	STONE	---	---



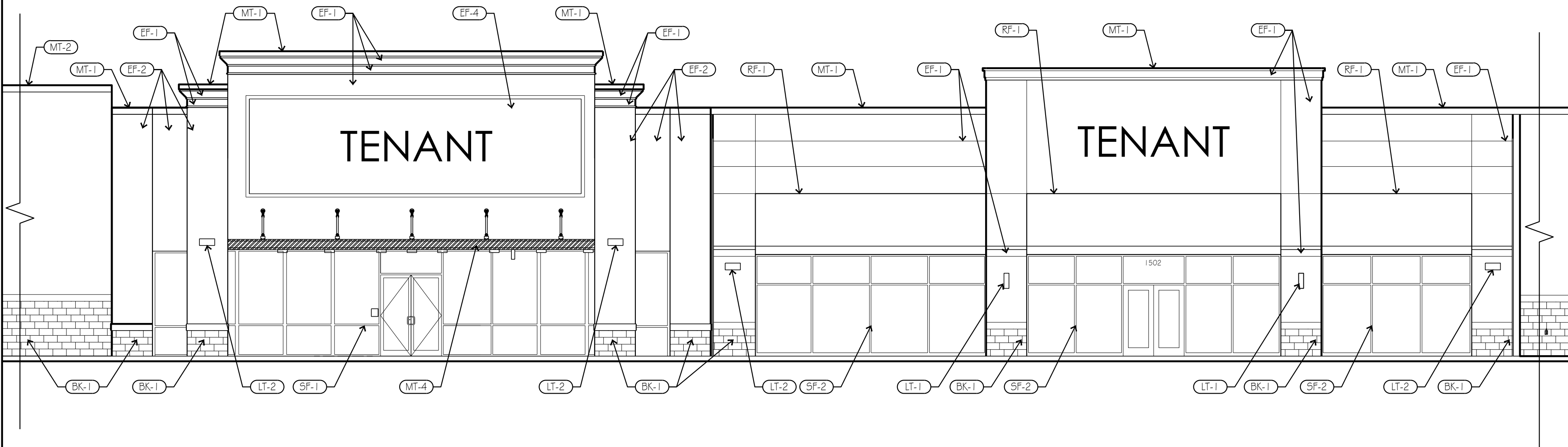
TYP. TRASH ENCLOSURE ELEVATION ④

SCALE: 1/4"=1'-0"



EAST ELEVATIONS ③

SCALE: 1/8"=1'-0"

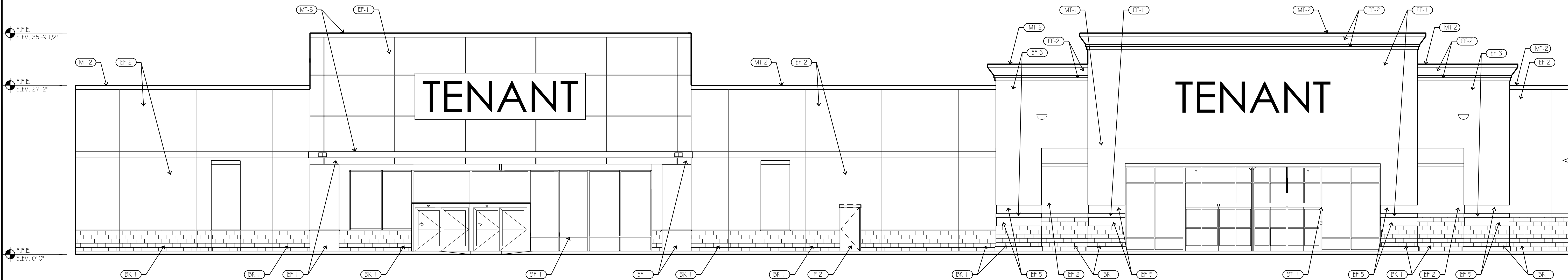


NOT USED ④

SCALE:

EAST ELEVATIONS ②

SCALE: 1/8"=1'-0"



EAST ELEVATIONS ①

SCALE: 1/8"=1'-0"

LANDSCAPE CALCULATIONS

Streetscape & Frontage

Required: 1 large tree / 40' of lot frontage

Provided:

W Mary Street (999') = 25 street trees
W Kay Street (686') = 17 street trees

Foundation

Required: 1 ornamental tree & 5 shrubs / 25' building frontage; side elevations on corner lots shall provide this standard on at least 50% of the building

Provided:

Lot 5 (206' bldg frontage) = 8 ornamentals + 42 shrubs
Lot 7 (132' bldg frontage) = 5 ornamentals + 26 shrubs

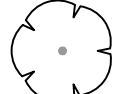
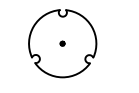
Parking

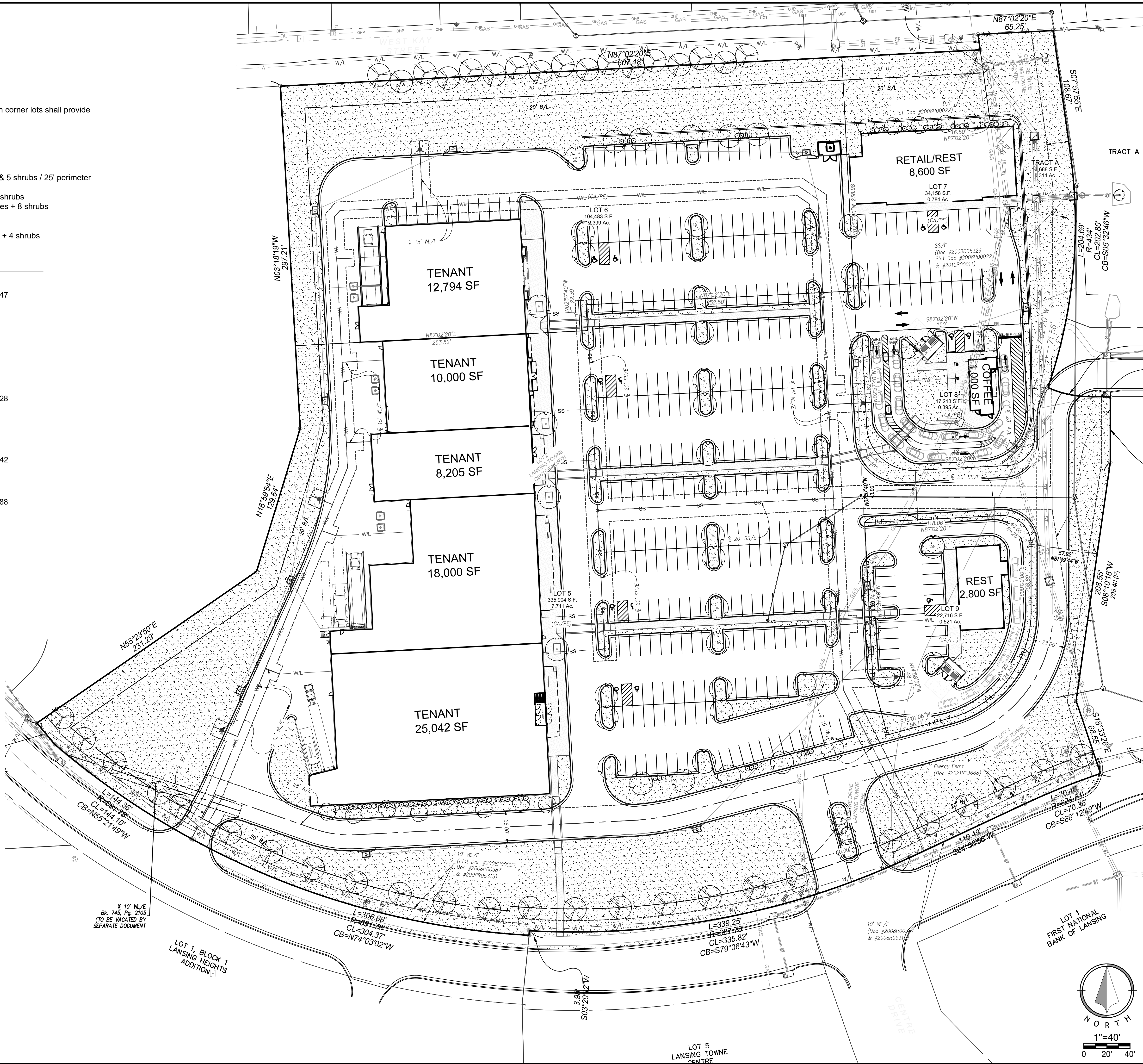
Required: 1 large tree / 40' parking perimeter & 1 large tree / 40 parking spaces & 5 shrubs / 25' perimeter

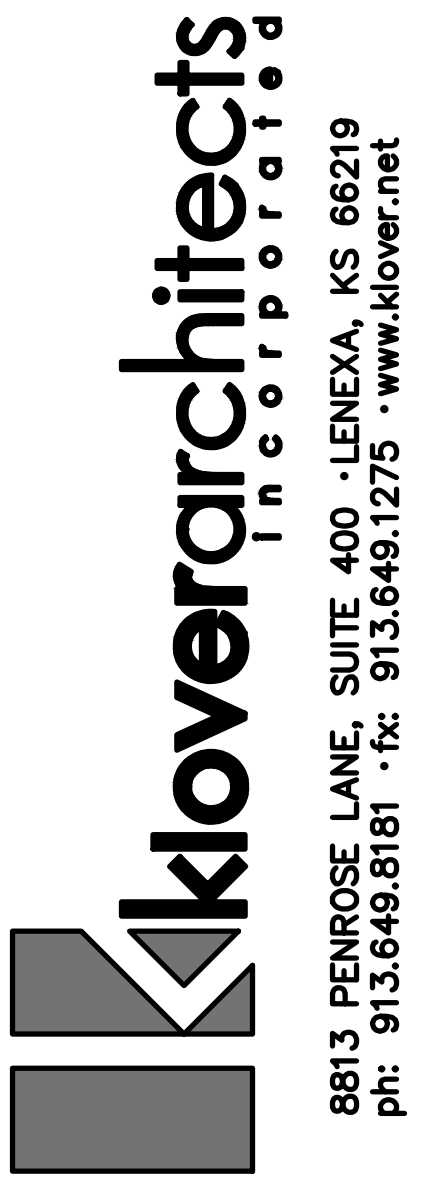
Provided:

Lot 5 (226 stalls + 198' perimeter) = 6 island trees + 5 perimeter trees + 8 shrubs
Lot 6 (90 stalls + 180' perimeter) = 3 parking island trees + 5 perimeter trees + 8 shrubs
Lot 7 (38 stalls) = 1 parking island tree
Lot 8 (3 stalls) = 1 island tree
Lot 9 (18 stalls + 80' perimeter) = 1 parking island tree + 2 perimeter trees + 4 shrubs

CONCEPT PLANT SCHEDULE

	SHADE TREE 2.5" Cal. B&B Celtis occidentalis 'Prairie Sentinel' / Prairie Sentinel Hackberry Ginkgo biloba 'Princeton Sentry' / Princeton Sentry Ginkgo Nyssa sylvatica 'Wildfire' / Black Gum Platanus x acerifolia / London Plane Tree Quercus bicolor / Swamp White Oak Quercus robur 'Regal Prince' / Regal Prince English Oak Quercus robur x alba 'Crimschmidt' TM / Crimson Spire Oak Zelkova serrata 'City Sprite' TM / City Sprite Zelkova	47
	ORNAMENTAL TREE 1.5" Cal. B&B Cercis canadensis 'Forest Pansy' TM / Forest Pansy Redbud Magnolia grandiflora 'Brackens Brown Beauty' / Bracken's Beauty Southern Magnolia Malus x 'Spring Snow' / Spring Snow Crab Apple	28
	STREET TREE 2.5" Cal. B&B	42
	SHRUBS AND GRASSES 3-5 Gal. 24" Ht. Min. Aronia melanocarpa 'Morton' TM / Iroquois Beauty Black Chokeberry Buxus x 'Green Velvet' / Boxwood Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass Cornus stolonifera 'Arctic Fire' / Arctic Fire Dogwood Hypericum frondosum 'Sunburst' / Sunburst Hypericum Itea virginica 'Henry's Garnet' / Henry's Garnet Sweetspire Juniperus chinensis 'Gold Lace' / Gold Lace Juniper Juniperus horizontalis 'Hughes' / Hughes Juniper Juniperus scopulorum 'Skyrocket' / Skyrocket Juniper Miscanthus sinensis 'Gracillimus' / Maiden Grass Miscanthus sinensis 'Morning Light' / Eulalia Grass Panicum virgatum 'Haense Herms' / Haense Herms Switch Grass	88
	TURFGRASS Turfgrass Sod Fescue Mix; RE: Notes / Fescue Sod	





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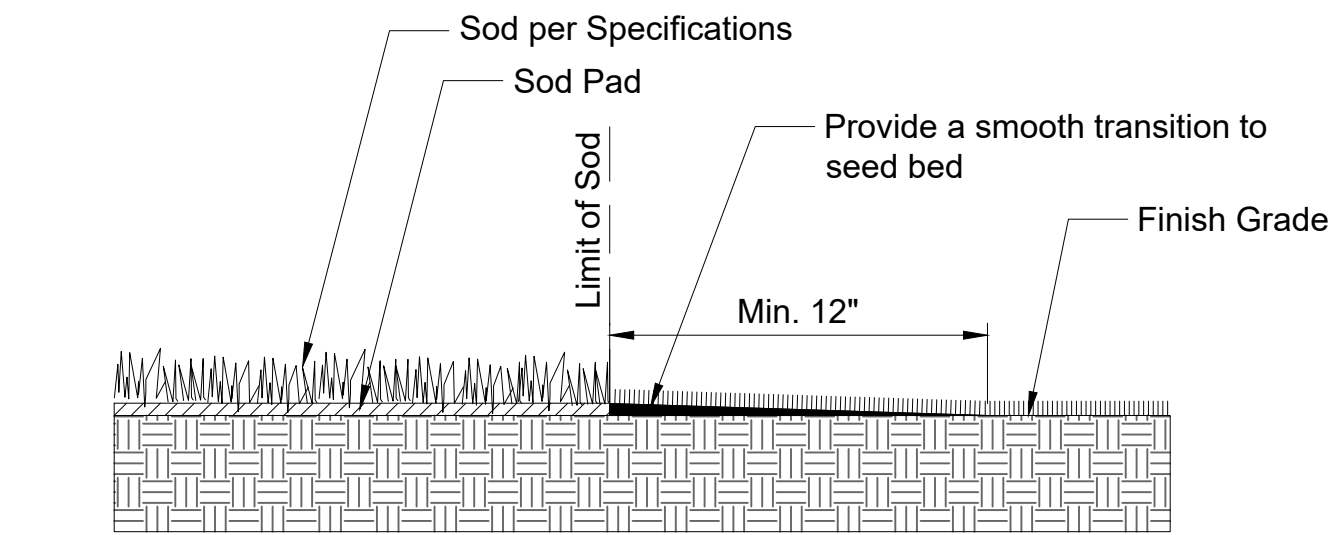
drawing title Landscape Plan

drawing number L01

LANDSCAPE NOTES

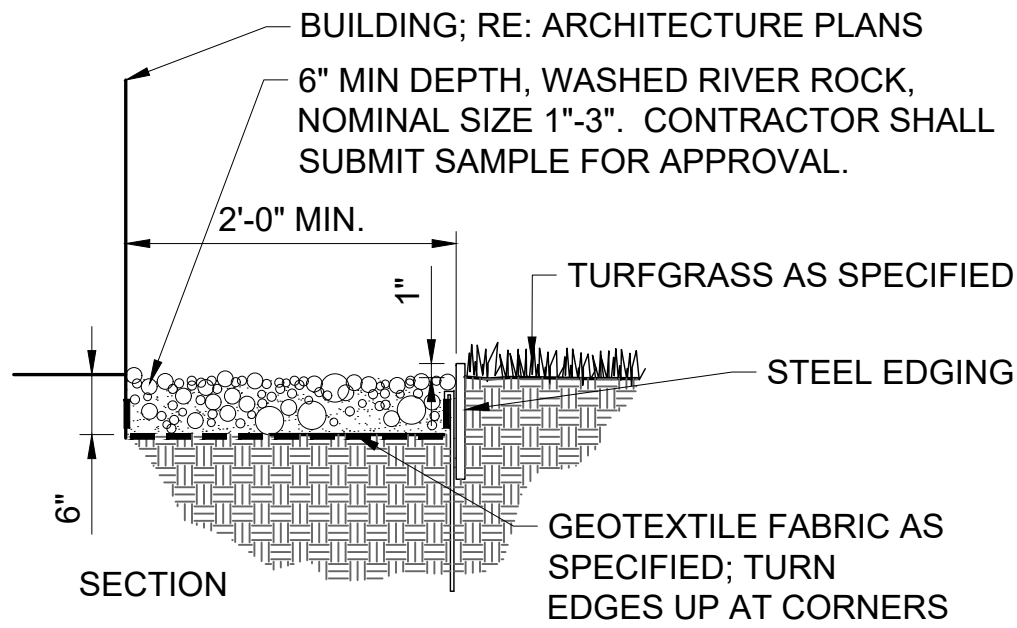
1. LOCATE UTILITIES PRIOR TO COMMENCING LANDSCAPE OPERATIONS. ALL TREES SHALL BE FIELD POSITIONED AS TO AVOID CONFLICTS WITH EXISTING AND PROPOSED UTILITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
2. CONTRACTOR SHALL STAKE ALL PLANTING AREAS IN THE FIELD PRIOR TO PLANTING FOR APPROVAL OF THE OWNER OR THEIR REPRESENTATIVE.
3. QUANTITIES SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO BIDDING AND SHALL BE RESPONSIBLE FOR ALL QUANTITIES FOR THEIR BID. ANY DISCREPANCIES WITH THE PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE PLAN QUANTITIES SHALL SUPERCEDE SCHEDULED QUANTITIES.
4. PLANT SYMBOLS ON LANDSCAPE PLAN ARE SHOWN AT FULL MATURE SIZE. ACTUAL PLANT SIZES AT INSTALLATION MAY BE SMALLER AND SHALL BE THE MINIMUM PLANTING SIZE SPECIFIED IN PLANT SCHEDULE.
5. ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY AND SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 THE 'AMERICAN STANDARD FOR NURSERY STOCK'.
6. ALL PLANTING BEDS & NATIVE GRASS STANDS SHALL BE EDGED AS SHOWN IN PLAN.
7. PREPARE PLANTING BEDS AND INCORPORATE AMENDMENTS ACCORDING TO PLANS.
8. SHREDDED HARDWOOD MULCH, PER SPECIFICATIONS SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL PLANTING BEDS AND AROUND ALL TREES. SINGLE TREES AND SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND.

9. ALL TREES SHALL BE STAKED PER DETAIL.
10. ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A ONE FOOT (1') CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT.
11. THE LANDSCAPE CONTRACTOR SHALL NOT COMMENCE WORK UNTIL THE SITE IS FREE OF DEBRIS CAUSED BY ON-GOING CONSTRUCTION OPERATIONS. REMOVAL OF DEBRIS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. LANDSCAPE WORK SHALL NOT BEGIN UNTIL THE LANDSCAPE ARCHITECT AND OWNER HAVE GIVEN WRITTEN APPROVAL FOR SUCH. THERE SHALL BE NO DELAYS DUE TO LACK OF COORDINATION FOR THIS ACTIVITY.
12. THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SODDING/SEEDING OPERATIONS.
13. ALL AREAS DISTURBED DURING CONSTRUCTION AND NOT DESIGNATED FOR OTHER PLANTINGS OR HARDSCAPE SHALL BE SODDED WITH TURF TYPE FESCUE.
14. ALL LANDSCAPE AREAS SHALL BE IRRIGATED. TURF AREAS SHALL BE IRRIGATED BY SPRAY OR ROTOR. PLANT BEDS SHALL BE IRRIGATED BY DRIP IRRIGATION. IRRIGATION SYSTEM SHALL INCLUDE AUTOMATIC RAIN-SENSOR DEVICE. IRRIGATION SHOP DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR FOR APPROVAL PRIOR TO CONSTRUCTION.
15. ALL DECORATIVE GRAVEL SHALL BE INSTALLED OVER GEOTEXTILE FABRIC (MIRAFI 140N OR APPROVED EQUAL).



- NOTES:
1. CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION FROM SODDED AREAS TO SEEDED AREAS.

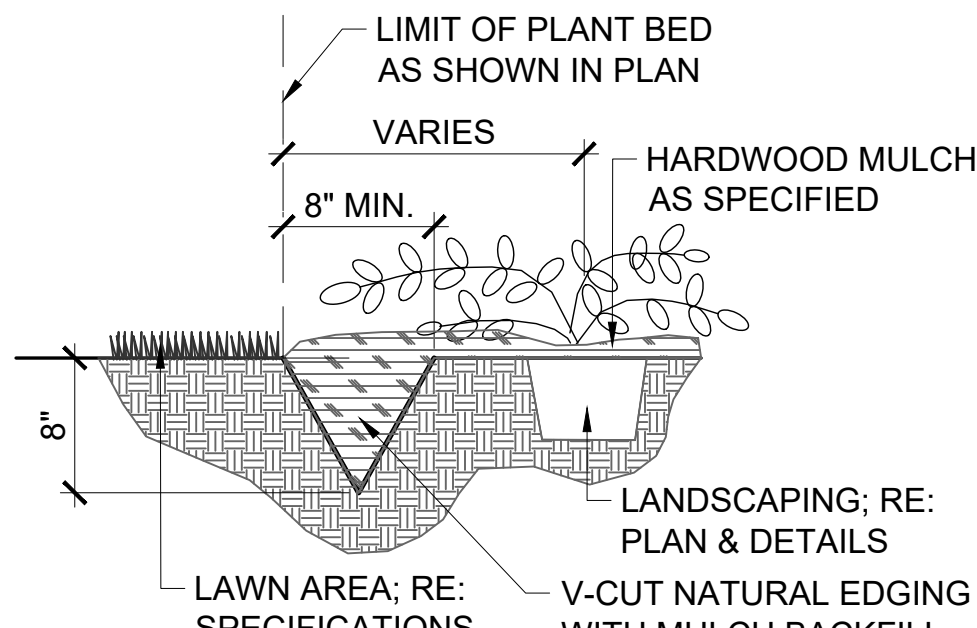
SEED TO SOD TRANSITION DETAIL



- NOTES:
1. SET ALL EDGING 1" ABOVE FINISH GRADE AS SHOWN.
 2. EDGING SHALL ABUT ALL CONCRETE CURBS AND WALKS PERPENDICULAR AND FLUSH WITH TOP OF CONCRETE
 3. ALL JOINTS SHALL BE SECURELY STAKED
 4. CONTRACTOR SHALL CUT TOP EDGES AS NEEDED TO BE PARALLEL WITH GRADE.
 5. ALL GRAVEL SHALL BE INSTALLED OVER A GEOTEXTILE FABRIC (MIRAFI 140N OR APPROVED EQUAL).
 6. GRAVEL SHALL BE APPROVED BY OWNER PRIOR TO INSTALLATION. FILTER FABRIC SHALL NOT BE VISIBLE AFTER GRAVEL INSTALLATION.

MOW EDGE DETAIL - NTS

- NOTES:
1. CONTRACTOR SHALL LOCATE AND MARK ALL PLANTBED LOCATIONS PRIOR TO EXCAVATING FOR FINAL APPROVAL BY OWNER OR LANDSCAPE ARCHITECT.
 2. TRANSITION TO MULCH CONTAINMENT DETAIL AT ALL LOCATIONS ADJACENT TO CURBS & SIDEWALKS. RE: DETAIL, THIS SHEET.
 3. CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS PRIOR TO TRENCHING OR LANDSCAPE INSTALLATION.

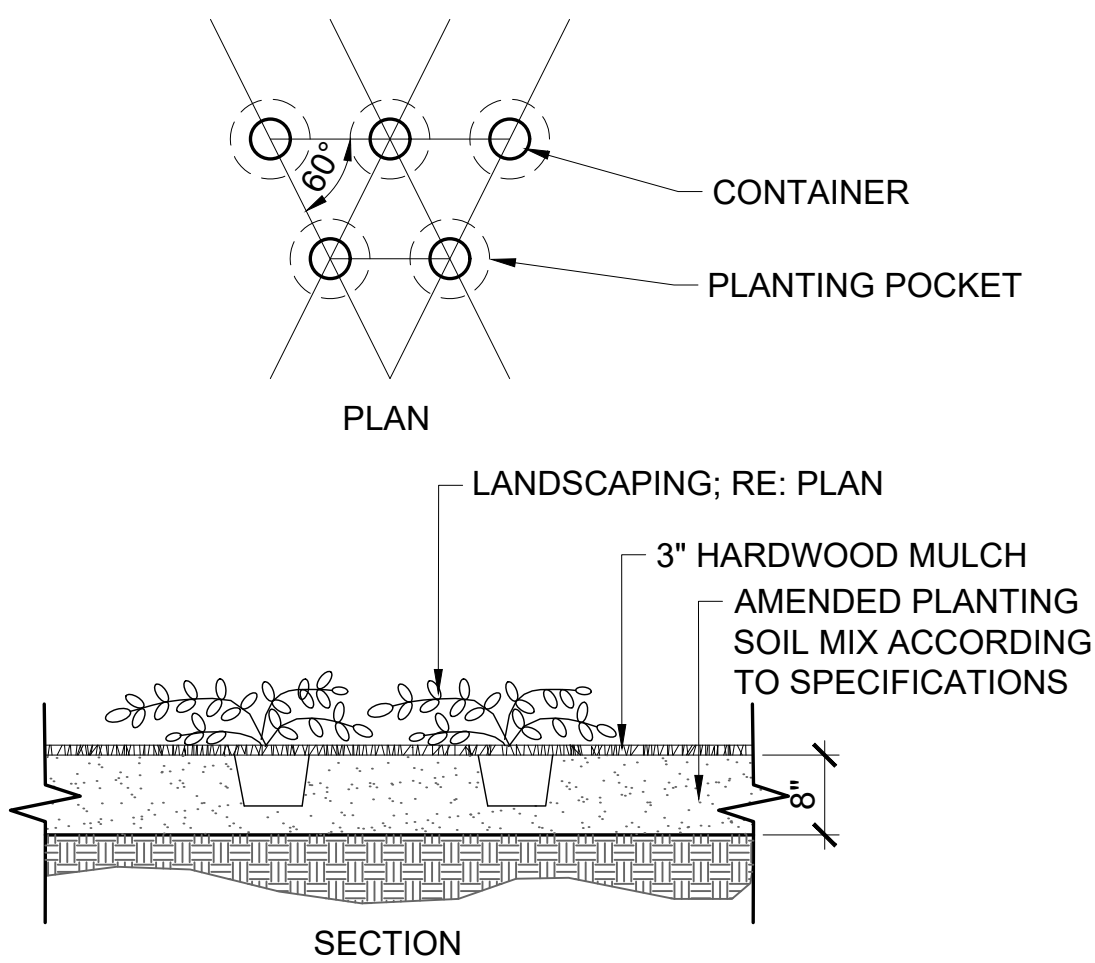


V-CUT NATURAL EDGE DETAIL - NTS

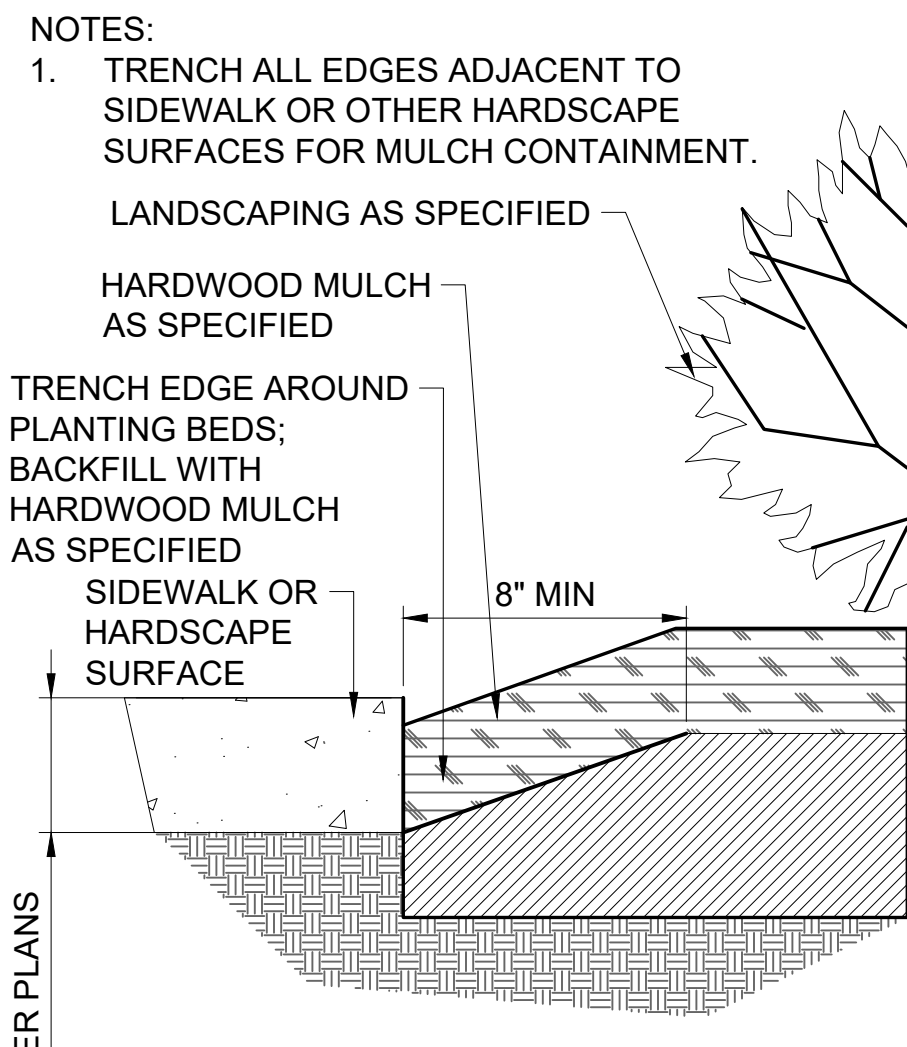


UTILITY BOXES SHALL BE CLUSTERED AS MUCH AS POSSIBLE

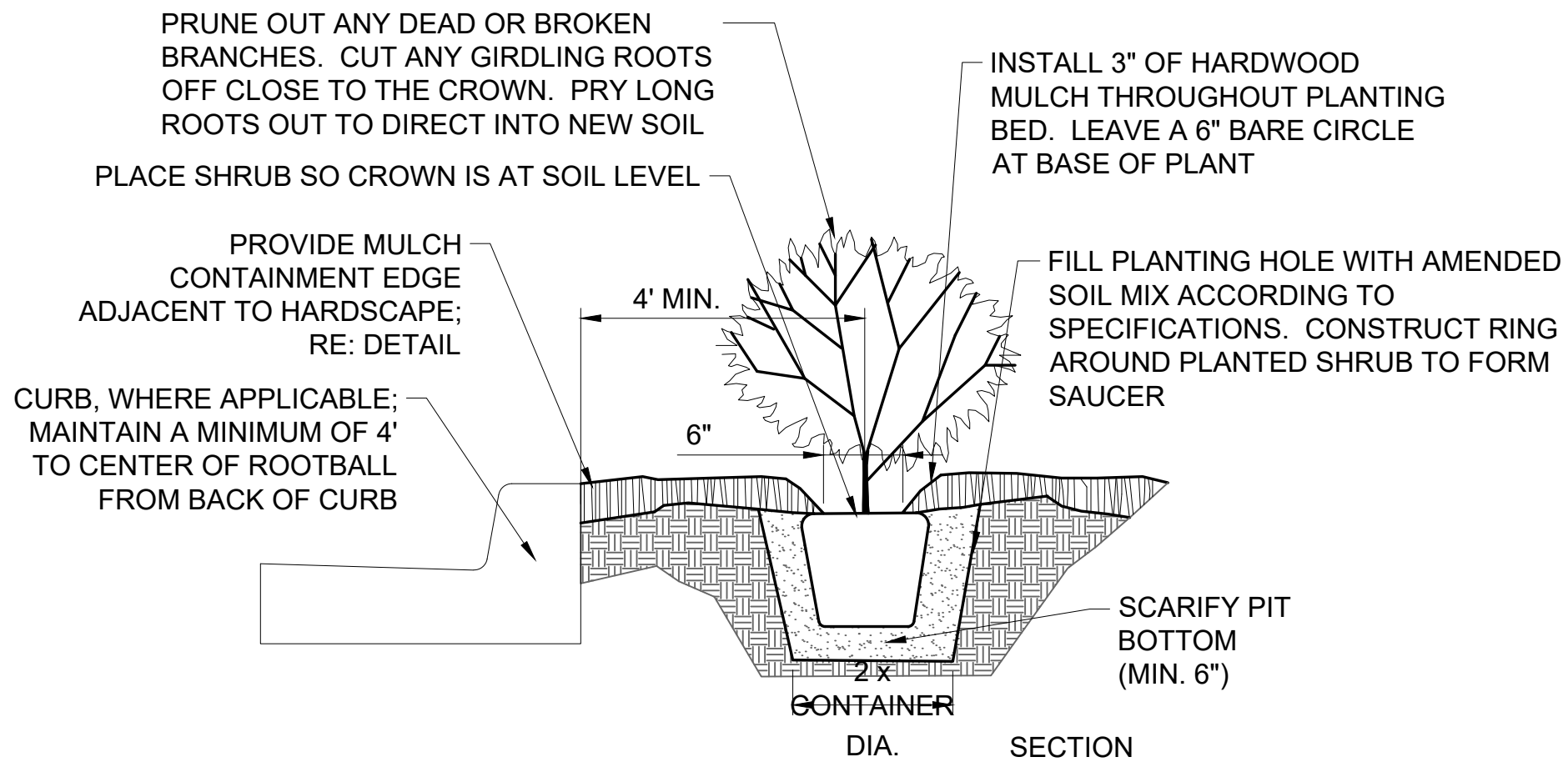
TYPICAL UTILITY BOX SCREENING DETAILS - NTS



CONTAINER PLANTING DETAIL - NTS

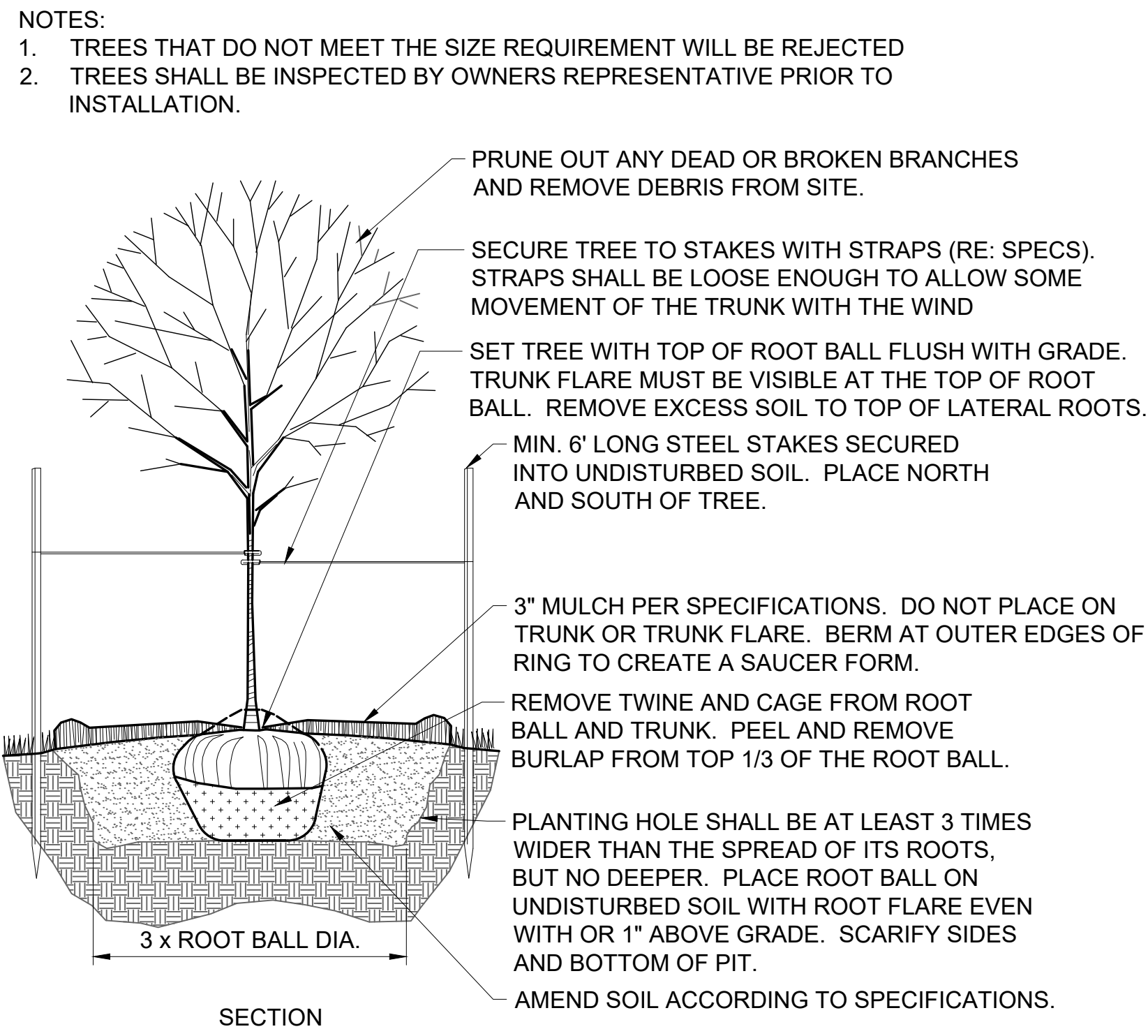


MULCH CONTAINMENT DETAIL - NTS



- NOTES:
1. REFER TO SPECIFICATIONS FOR TOPSOIL BACKFILL MIX.
 2. CONTRACTOR TO WATER THOROUGHLY AFTER PLANTING
 3. INSTALLATION TO BE IN ACCORDANCE WITH PLANTING SPECIFICATIONS
 4. WHERE ADJACENT TO CURB, MAINTAIN THE MINIMUM OFFSET SHOWN. FOR SHRUBS LARGER THAN 4' MATURE DIAMETER, PROVIDE A GREATER OFFSET EQUAL TO 1/2 OF THE MATURE DIAMETER MINIMUM.

SHRUB PLANTING DETAIL - NTS



DECIDUOUS TREE PLANTING DETAIL - NTS