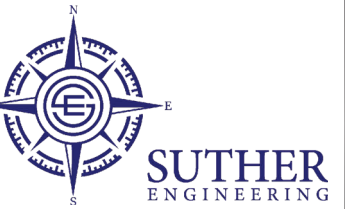


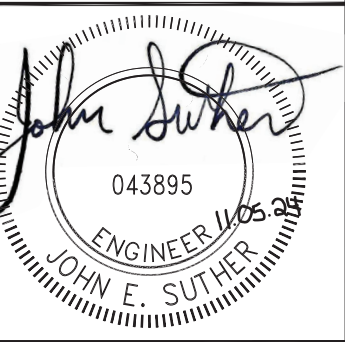
SITE DEVELOPMENT DRAWINGS

LANDIS MULTIFAMILY

COVER SHEET



FIRM No. P-1946
1316 S. MAIN ST. STE D
KANNAPOLIS, NC 28081



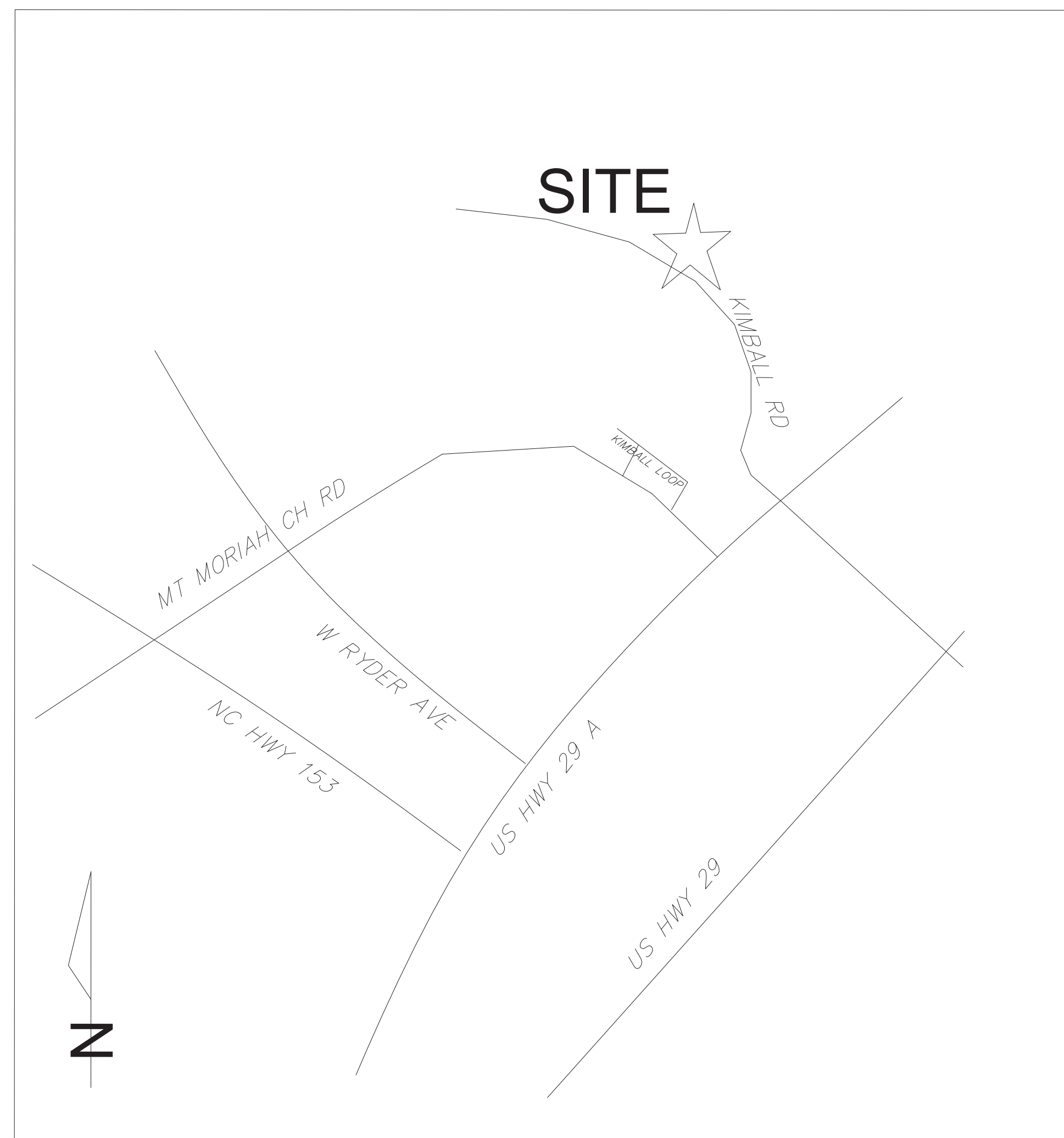
SUBJECT PROPERTY INFO:
 PARCEL ID(S): 1238119
 DEED BOOK & PAGE: DB: 1423 PG: 854
 CURRENT ZONING: MU-1 (LANDIS)
 PROPERTY LOCATION: LANDIS TOWNSHIP, ROWAN COUNTY
 OWNER INFORMATION: DYNAMIC DEVELOPERS OF THE CAROLINAS LLC, 210 OAK AVE, KANNAPOLIS, NC 28081

ENGINEERS NOTES:

1. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF WORK 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
2. THE CONTRACTOR SHALL CONFIRM AT THE TIME OF NOTIFICATION TO THE ENGINEER OF THE COMMENCEMENT OF WORK THE CURRENT DRAWING REVISION AND DOCUMENTS. STATUS OF CURRENT PLANS FROM THE TOWN OF LANDIS AND RELEVANT JURISDICTIONS SHALL ALSO BE CONFIRMED PRIOR TO THE START OF CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN INTERPRETATIONS FOR ANY QUESTIONS REGARDING THESE DRAWINGS PRIOR TO COMMENCEMENT OF WORK OR ORDERING OF MATERIALS AND SHALL BEAR THE COST OF ALL REWORK IF NOT PROPERLY COORDINATED.
4. THE CONTRACTOR SHALL OBTAIN A PERMIT FOR ANY EXCAVATION PERFORMED WITHIN THE PUBLIC RIGHT OF WAY.
5. THE ENGINEER OF RECORD SHALL NOT BE RESPONSIBLE FOR THE ENFORCEMENT OF SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY STANDARDS, LAWS AND REGULATIONS.
6. MEANS AND METHODS OF CONSTRUCTION SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY PROCESS, METHOD, OR ADDITIONAL DESIGN REQUIRED FOR THE INSTALLATION OF PROJECT ELEMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR PERFORMING THE WORK.
7. THE CONTRACTOR SHALL ADJUST ALL PROPOSED AND EXISTING FACILITIES TO FINAL DESIGN GRADE.
8. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THE FIELD DATA AND THE INFORMATION SHOWN HEREIN. ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY WORK DONE WITHOUT PROPER NOTIFICATION AND COORDINATION.
9. THE ENGINEER PREPARING THESE PLANS SHALL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES MUST BE IN WRITING AND MUST BE APPROVED BY THE DESIGN ENGINEER PRIOR TO IMPLEMENTATION.
10. PRIVATE WATER AND SANITARY SEWER SYSTEMS SHALL BE TESTED IN ACCORDANCE WITH N.C.D.E.N.R. REGULATIONS IN THE PRESENCE OF THE ENGINEER OR APPROPRIATE CITY INSPECTOR PRIOR TO ACTIVATION OF FACILITIES.
11. EXISTING SANITARY SEWER AND WATER SYSTEM SHOWN PER PROVIDED SURVEY AND SALISBURY REFERENCE DRAWINGS. EXISTING PUBLIC UTILITY INFORMATION IS SHOWN FOR REFERENCE ONLY AND EXISTING SIZES, INVERTS, AND LOCATIONS SHALL BE FIELD VERIFIED.
12. A LICENSED UTILITY CONTRACTOR OR APPLICABLE CITY PUBLIC WORKS WILL INSTALL THE TAPS AND METERS. THE AUTHORIZED CONTRACTOR PERFORMING THE WORK IS RESPONSIBLE FOR INSTALLING THE TAPS AND METERS TO KANNAPOLIS STANDARDS AND REGULATIONS.
13. SANITARY YARD HYDRANTS SHALL BE "STOP AND DRAIN", "STOP AND WASTE", OR "WEEP HOLE" TYPE HYDRANTS.
14. IF THE CONTRACTOR OPTS TO INSTALL PRECAST STRUCTURES, THE CONTRACTOR SHALL BE REQUIRED TO VERIFY RIM ELEVATION AND LAYOUT OF ALL PIPES, INCLUDING SIZE AND INVERTS OF EXISTING FACILITIES, PRIOR TO THE ORDERING OF MATERIALS.
15. IT SHALL BE THE RESPONSIBILITY OF THE INSTALLER TO ADJUST ALL PRECAST STRUCTURES TO FINISH GRADE IN ACCORDANCE WITH AGENCY SPECIFICATIONS AND MANUFACTURER RECOMMENDATIONS. NO ADDITIONAL PAYMENT WILL BE MADE FOR ADJUSTING FACILITIES TO FINISHED GRADES.
16. FIRE HYDRANTS SHALL BE 10' CLEAR OF ANY OBSTRUCTIONS.
17. FDC LOCATIONS SHALL BE IN ACCORDANCE WITH LANDIS FIRE DEPARTMENTS REQUIREMENTS.
18. FIRE SPRINKLER SIZING AND FDC CONNECTIONS (IF REQ) TO BE SIZED AND LOCATED PER THE RECOMMENDATION OF THE FIRE SPRINKLER CONSULTANT, ALL REFERENCE SHOWN HEREIN ARE FOR SCHEMATIC PURPOSES ONLY.
19. THE CONTRACTOR SHALL FLUSH AND CLEAN ALL ONSITE STORM DRAINAGE AND HULL OFF ALL ACCUMULATED MATERIALS AT THE COMPLETION OF CONSTRUCTION. THE CONTRACTOR SHALL PROTECT DOWN STREAM PROPERTIES AND BMP INSTALLATIONS FROM EXCESSIVE SEDIMENT ACCUMULATION. UPON COMPLETION OF CLEANING, CONTRACTOR SHALL PROVIDE WRITTEN CONFIRMATION TO THE OWNER AND REQUEST INSPECTION OF THE PROJECT BY THE ENGINEER FOR FINAL INSPECTIONS.

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES, AND REGULATIONS.
2. NOTIFY NORTH CAROLINA 811 OR A PRIVATE UTILITY LOCATION SERVICE AT LEAST TWO FULL DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION OR DEMOLITION ACTIVITY.
3. EXISTING UTILITY LINES AND UNDERGROUND FACILITIES, WHERE KNOWN, ARE INDICATED ON THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND IDENTIFYING IN THE FIELD ALL EXISTING UNDERGROUND UTILITIES, PIPELINES AND OTHER INSTALLATIONS PRIOR TO EXECUTING ANY EARTHWORKS OR EXCAVATIONS.
4. BOUNDARY AND TOPOGRAPHIC INFORMATION WAS OBTAINED FROM THE PLAT BOUNDARY REFERENCED AND ROWAN COUNTY DATA AVAILABLE IN THE PUBLIC DOMAIN, INTERNAL SURVEY INFORMATION, AND NORTH CAROLINA LIDAR INFORMATION AVAILABLE IN THE PUBLIC DOMAIN.
5. ARCHITECTURAL DIMENSIONS TO BE VERIFIED BY SURVEYOR. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
6. THE SURVEYOR SHALL REPORT ANY ENCROACHMENTS OR DISCREPANCIES GENERATED BY THE SITE PLAN AGAINST ANY SITE DEVELOPMENT REQUIREMENTS SPECIFIED BY THE SITE PLAN TO THE OWNER, ARCHITECT, OR CIVIL ENGINEER PRIOR TO ANY ACTUAL CONSTRUCTION.
7. ALL STREET INTERSECTIONS, DRIVES, AND CURB GRADES SHALL BE COORDINATED WITH THE TOWN OF LANDIS INSPECTOR.
8. ALL ROAD IMPROVEMENTS ARE TO BE COORDINATED WITH THE TOWN OF LANDIS PLANNING / ENGINEERING DEPARTMENT AND / OR THE NCDOT PRIOR TO CONSTRUCTION.
9. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURBS.
10. CURB AND GUTTER SHOWN ON PLANS MAY BE ADJUSTED BASED UPON FIELD STAKING BY TOWN OF LANDIS ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
11. PE SEALED SHOP DRAWINGS FOR RETAINING WALLS MUST BE SUBMITTED TO THE TOWN PLANNER / ENGINEER AND COUNTY FOR PERMIT PRIOR TO CONSTRUCTION.
12. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE TOWN OF LANDIS ORDINANCE.
13. PRIOR TO BUILDING CO, SURVEYOR SEALED "AS-BUILT" DRAWINGS OF ALL WATER QUALITY BMP'S AND DETENTION/RETENTION SYSTEMS MUST BE PROVIDED IF PRESENT IN THE DESIGN DOCS.
14. PRIOR TO PLAT RECORDATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED.
15. ALL REQUIRED POST CONSTRUCTION CONTROLS AND EASEMENTS (PCCES) MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
16. ANY WORK WITHIN THE CITY OR STATE'S R/W THAT REQUIRES CLOSURE OF THE SIDEWALK OR TRAVEL LANES MUST BE APPROVED BY CONCORD OR NCDOT. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ANY CLOSURES.
17. ALL DIMENSIONS, ELEVATIONS AND COORDINATES ARE IN FEET UNLESS NOTED OTHERWISE. VERTICAL DATUM IS NAD 83.
18. CONTRACTOR SHALL FURNISH ALL EQUIPMENT AND TOOLS AND SHALL BE RESPONSIBLE FOR ACCURATELY LOCATING AND STAKING OUT THE WORK. BENCHMARKS AND REFERENCE LINES SHALL BE CAREFULLY MAINTAINED AND, IF DISTURBED OR DESTROYED, SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
19. CONTRACTOR SHALL PROVIDE ALL SURVEYING AND ENGINEERING SERVICES TO ESTABLISH REFERENCE POINTS, LINES AND GRADES TO CONTROL THE WORK, AND TO MEASURE EXCAVATION AND FILL QUANTITIES BY USE OF RECOGNIZED SURVEY PRACTICES.
20. IF NEEDED GEOTECHNICAL EXPLORATION REPORTS TO INCLUDE BORING AND SOILS DATA AND IS PROVIDED TO THE CONTRACTOR FOR USE. THE BORING LOGS AND TEST DATA SHOULD INDICATE THE CONDITIONS AT THE PARTICULAR LOCATIONS OF THE BORINGS OR TESTING LOCATIONS. IT SHALL NOT BE CONSTRUED THAT BORING LOGS AND OTHER TEST DATA INDICATE THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED THROUGHOUT THE SITE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY INTERPRETATION AND CONCLUSIONS, WHICH THEY MAY MAKE AS TO THE NATURE OF THE MATERIALS TO BE ENCOUNTERED AND THE DIFFICULTY OF PERFORMING THE WORK.
21. THE CONTRACTOR IS RESPONSIBLE FOR MONITORING AND TESTING THEIR WORK TO ENSURE COMPLIANCE WITH THE PROJECT DOCUMENTS. ADDITIONAL TESTS AND INSPECTIONS PERFORMED BY THE OWNER/ENGINEER SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY TO CONFORM TO THE CONSTRUCTION DOCUMENTS.
22. CONTRACTOR SHALL PROVIDE ACCESS TO TESTING AGENCY TO PERFORM MATERIALS TESTING AND INSPECTIONS AND PROVIDE REASONABLE ASSISTANCE, WHEN NEEDED.
23. IF, IN THE JUDGMENT OF THE OWNER/ENGINEER, BASED ON TESTS, THE SUBGRADE OF FILL HAS BEEN PLACED BELOW THE SPECIFIED DENSITY, THE SUBCONTRACTOR WILL BE REQUIRED TO PROVIDE ADDITIONAL COMPACTION AND TESTING AT NO ADDITIONAL COSTS TO THE OWNER/ENGINEER. IN THE CASE OF THIS SITE COMPACTION REQUIREMENTS ARE TO BE SPECIFIED BY THE BUILDING DESIGNER.
24. ALL AREAS NOT SURFACED WITH ASPHALT, CONCRETE OR STONE SHALL BE COVERED WITH 4 INCHES OF COMPACTED TOPSOIL AND SHALL BE PERMANENTLY SEEDED WITHIN (7) CALENDAR DAYS OF ACHIEVING FINAL GRADE. SEE PERMANENT SEEDING NOTES FOR REQUIREMENTS.



NTS VICINITY MAP

PROJECT TEAM

OWNER/DEVELOPER:
 DYNAMIC DEVELOPERS OF CAROLINAS LLC
 210 OAK AVE
 KANNAPOLIS, NC 28081

CIVIL ENGINEER:
 SUTHER ENGINEERING PLLC
 FIRM No. P-1946
 1316 S. MAIN ST SUITE D
 KANNAPOLIS, NC 28081



Know what's below.
 Call before you dig.

1. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR CONTACTING THE APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO BEGINNING CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAGMEN, ETC., AS NECESSARY TO INSURE SAFETY TO THE PUBLIC.
3. ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.
4. SHOWING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.

SHEET INDEX

- C-1.0 COVER SHEET
- C-1.1 GENERAL NOTES
- C-2.0 EXISTING CONDITIONS
- C-3.0 SITE LAYOUT PLAN
- C-4.0 SITE GRADING & DRAINAGE PLAN
- C-4.1 STORM PROFILES
- C-5.0 UTILITY PLAN
- C-6.0 LANDSCAPE PLAN
- C-7.0 SITE DETAILS
- C-7.1 UTILITY DETAILS

PLAN NOTES:

1. PLAN NORTH IS BASED ON NAD83(2011)
2. GEODETIC MONUMENTS WERE SURVEYED AS SHOWN
3. ALL DISTANCES ARE GROUND HORIZONTAL UNLESS OTHERWISE NOTED
4. PROPERTY MAY BE SUBJECT TO BURDENS OR BENEFITS NOT SHOWN ON MAP
5. NO UNDERGROUND UTILITIES WERE LOCATED WITH THIS PLAN. BEFORE DIGGING CALL NO ONE-CALL (1-800-632-4949)
6. ZONING DISTRICTS NOTED ARE PER GIS INFORMATION AVAILABLE TO THE PUBLIC
7. THE SUBJECT PARCEL(S) AND ANY ADJOINING PROPERTY OWNERS NAMES, DEEDS OF RECORD, AND TAX PARCEL IDENTIFICATIONS REFLECT THOSE AVAILABLE TO THIS ENGINEER AS OF THE DATE OF THE PLAN SHOWN
8. SURVEY INFORMATION FOR THIS PLAN SHOWN WAS PROVIDED BY: DON ALLEN & ASSOCIATES PA

REVISION ISSUE

NO	LANDIS	03.05.24
01	DEV. PLAN	05.14.24
02	SUB. PLAN	06.17.24
03	LANDIS COM	11.05.24

LANDIS MULTIFAMILY

SHEET TITLE:

COVER SHEET

SHEET NUMBER:

C-1.0

GENERAL NOTES:

- ALL WORK TO BE DONE IN ACCORDANCE WITH TOWN OF LANDIS, LOCAL WATER AUTHORITY, NCDOT, AND NCDEQ STANDARD SPECIFICATIONS AND PROJECT SPECIFICATIONS. WHEN SPECIFICATIONS ARE IN CONFLICT THE STRICTER SHALL BE HELD.
- THIS PLAN DOES NOT PURPORT TO SHOW ALL EXISTING UTILITIES, LINES, APPURTENANCES, ETC., AND THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES, PIPES, VALVES, ETC., AS SHOWN ARE IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES, LINES, PIPES, ETC., SHOWN OR NOT SHOWN ON THE PLAN, BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, PIPES AND VALVES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS WITH EXISTING OR PROPOSED FACILITIES TO DETERMINE IF AN ITEM WILL NEED TO BE RELOCATED.
- CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO CONSTRUCTION. ANY SIGNIFICANT VARIATIONS SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER.
- THE CONTRACTOR SHALL PROVIDE THE APPROPRIATE BARRICADES, WARNING LIGHTS AND SIGNS TO ENSURE THE SAFETY OF THE PUBLIC AT ALL TIMES.
- DIMENSIONS AS SHOWN, ARE TO FACE OF CURB, FACE OF BUILDING, AND EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- THE EXISTING UTILITIES SHALL REMAIN IN SERVICE UNTIL NEW LINES ARE IN PLACE AND ACTIVATED. THE CONTRACTOR SHALL COORDINATE REMOVAL OF SERVICES WITH THE APPROPRIATE UTILITY COMPANY AND THE OWNER.
- THE ENGINEER HAS MADE NO EXAMINATION TO DETERMINE WHETHER ANY HAZARDOUS OR TOXIC MATERIALS ARE PRESENT OR CONTAINED IN, UNDER, OR ON THE SUBJECT PROPERTY OR ITS WATERS, OR IF ANY HAZARDOUS OR TOXIC MATERIALS HAVE CONTAMINATED THIS OR OTHER PROPERTIES OR ITS WATERS IN ANY WAY WHATSOEVER. NO SUBSURFACE EXAMINATION OF ANY TYPE HAS BEEN MADE BY THE ENGINEER AND ACCORDINGLY, NO OPINION EXPRESSED OR INFERRED ON ALL SUCH MATTERS. FURTHER, NO OPINION IS RENDERED AS TO ANY VIOLATION OF ANY ENVIRONMENTAL LAWS OR REGULATIONS, EITHER FEDERAL, STATE OR LOCAL, RELATED TO THE INFORMATION SHOWN ON THIS PLAN AND THE ENGINEER IS IN NO WAY LIABLE FOR ANY VIOLATION OF SUCH ENVIRONMENTAL LAWS SHOULD THEY EXIST.
- THE CONTRACTOR AGREES THAT THEY SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY KIND OF LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OR ANY WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- AT ALL TIMES, THE CONTRACTOR SHALL PERFORM PROJECT DEMOLITION WITH MINIMAL DISTURBANCE TO THE ADJACENT PROPERTIES. ALL DEBRIS GENERATED DURING THE DEMOLITION PHASE OF THE PROJECT, SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- ALL PAVEMENT STRIPING AND MARKINGS SHALL BE THERMOPLASTIC DONE IN ACCORDANCE WITH NCDOT STD. 1205, LATEST ADDITION.

STORM DRAINAGE NOTES:

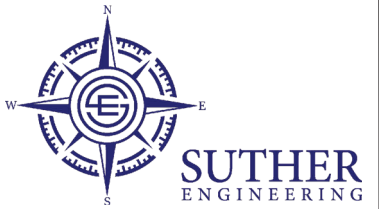
- GENERAL NOTES
 - ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE NCDOT STANDARD SPECIFICATIONS UNLESS OTHERWISE SPECIFIED IN THIS MANUAL. ALL CONCRETE USED FOR DRAINAGE STRUCTURES SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3600 PSI AT 28 DAYS. THIS REQUIREMENT SHALL BE PROVIDED REGARDLESS OF ANY LESSER COMPRESSIVE STRENGTH SPECIFIED IN THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES.
 - REINFORCED CONCRETE PIPE MAY BE USED IN ALL STORM DRAIN APPLICATIONS. HIGH DENSITY POLYETHYLENE PIPE (HDPE) MAY BE SUBSTITUTED FOR PIPE DIAMETERS OF 48 INCHES OR LESS EXCEPT FOR PIPING THROUGH EMBANKMENTS AND PIPING WITH FES AS HDPE FES IS NOT ACCEPTABLE. CULVERTS 60 INCHES IN DIAMETER OR GREATER MAY BE CORRUGATED ALUMINIZED METAL PIPE (CAMP) OR ALUMINUM WITH A MINIMUM 14 GAUGE METAL.
 - ALL PIPE SHALL BE LAID WITH THE BELL OR GROOVE UPGRADE AND THE JOINT ENTIRELY INTERLOCKING.
 - THE MINIMUM COVER FOR ALL PIPES IS TWO (2) FEET MEASURED FROM THE FINAL SURFACE. SPECIAL APPLICATIONS FOR LESS THAN TWO (2) FEET OF COVER WILL BE REVIEWED AND APPROVED BY THE ENGINEER INDIVIDUALLY. THE MAXIMUM COVER FOR STORM DRAINAGE PIPES SHALL AT A MINIMUM COMPLY WITH THE REQUIREMENTS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION HIGHWAY DESIGN BRANCH ROADWAY DESIGN MANUAL, PART 1, SECTION 5, AND "DRAINAGE DESIGN". STORM PIPE DESIGN THAT EXCEEDS THESE CRITERIA MAY BE APPROVED AT THE DISCRETION OF THE COUNTY / DESIGN ENGINEER.
 - ALL PIPES IN STORM DRAIN STRUCTURES SHALL BE FLUSH WITH THE INSIDE WALL.
 - ALL STORM DRAIN STRUCTURES OVER THREE (3) FEET AND SIX (6) INCHES IN HEIGHT MUST HAVE STEPS IN ACCORDANCE WITH STANDARD DETAILS SET FORTH IN THIS MANUAL.
 - THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED UP AND SMOOTHED TO AN ACCEPTABLE STANDARD USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.
 - STORM DRAINAGE PIPING SHALL BE PLACED IN A STRAIGHT ALIGNMENT AT UNIFORM GRADE. NO CHANGES IN ALIGNMENT SHALL BE ALLOWED EXCEPT AT CATCH BASINS, MANHOLES, OR OTHER JUNCTIONS THAT PROVIDE APPROPRIATE CLEAN OUT ACCESS. THE MAXIMUM LENGTH BETWEEN ACCESS POINTS IS 300 LINEAR FEET.
 - ALL FRAMES, GRATINGS, RINGS, COVERS, ETC., MUST CONFORM TO THE STANDARDS SET FORTH IN THE CURRENT EDITION OF THE ROWAN COUNTY LAND DEVELOPMENT STANDARDS MANUAL AND THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) ROADWAY STANDARD DRAWINGS, DETAILS, AND OTHER RESOURCES.
 - ALL GRADED CREEK BANKS AND SLOPES SHALL BE AT A MAXIMUM OF TWO (2) FEET HORIZONTAL TO ONE (1) FOOT VERTICAL (2:1) AND NOT TO EXCEED 10' WITHOUT TERRACING OR THE SLOPES SHALL BE DESIGNED BY A PROFESSIONAL GEOTECHNICAL ENGINEER AND APPROVED BY THE COUNTY ENGINEER ON A CASE BY CASE BASIS.
- HIGH DENSITY POLYETHYLENE PIPE (HDPE)
 - THE PRODUCT USED SHALL BE CORRUGATED EXTERIOR/SMOOTH INTERIOR PIPE (TYPE S), CONFORMING TO THE REQUIREMENTS OF AASHTO SPECIFICATION M294 (LATEST EDITION) FOR CORRUGATED POLYETHYLENE PIPE.
 - BELL AND SPIGOT JOINTS SHALL BE REQUIRED ON ALL PIPES INSIDE THE RIGHT-OF-WAY. BELLS SHALL COVER AT LEAST TWO FULL CORRUGATIONS ON EACH SECTION OF PIPE. THE BELL AND SPIGOT JOINT SHALL HAVE AN "O" RING RUBBER GASKET MEETING ASTM F477 WITH THE GASKET FACTORY INSTALLED, PLACED ON THE SPIGOT END OF THE PIPE. PIPE JOINTS SHALL MEET ALL REQUIREMENTS OF AASHTO M294.
 - ALL HDPE PIPE INSTALLED MUST BE INSPECTED AND APPROVED BY THE COUNTY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. THE COUNTY INSPECTOR MUST BE PRESENT DURING THE BACKFILLING OPERATION AS WELL.
 - BACKFILL MATERIAL USED TO INSTALL HDPE PIPE WITHIN THE STREET RIGHT-OF-WAY SHALL BE SELECT MATERIAL, CLASS II-V, AS DEFINED BY SECTION 1016-3 OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES. UPON SUBMITTAL OF WRITTEN CERTIFICATION OF MATERIAL SUITABILITY BY A LICENSED GEOTECHNICAL ENGINEER, NCDOT CLASS I SELECT MATERIAL MAY BE USED. ALL BACKFILL MATERIAL SHALL BE APPROVED BY THE COUNTY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE STREET RIGHT-OF-WAY.
 - THE MINIMUM LENGTH OF HDPE PIPE PERMITTED FOR USE SHALL BE FOUR (4) FEET. HDPE FLARED END SECTIONS ARE NOT ALLOWED.
 - ALL HDPE PIPE INSTALLED SHALL BE THIRD PARTY CERTIFIED AND SHALL BEAR THE PLASTIC PIPE INSTITUTE'S (PPI) CERTIFICATE STICKER.
 - REINFORCED CONCRETE.
 - ALL CONCRETE SHALL BE AT LEAST 3600 PSI. PRIOR APPROVAL SHALL BE OBTAINED IN ORDER TO USE PRE-CAST STORM DRAINAGE STRUCTURES IN ANY STREET RIGHT-OF-WAY BY NCDOT ENGINEER.
 - CONCRETE PIPE USED WITHIN THE STREET RIGHT-OF-WAY SHALL BE A MINIMUM OF CLASS III REINFORCED CONCRETE PIPE, WITH A MINIMUM DIAMETER OF FIFTEEN (15) INCHES (EIGHTEEN (18) INCHES MINIMUM ON CROSS DRAIN CULVERTS WITHIN THE ETJ). INSTALLATION OF CLASS IV OR HIGHER CONCRETE PIPE SHALL BE IDENTIFIED ON THE AS-BUILT PLAN AND THE COUNTY INSPECTOR SHALL BE GIVEN DOCUMENTATION AND NOTIFICATION OF THIS INFORMATION PRIOR TO CONSTRUCTION.
 - RCP STORM DRAINAGE PIPE SHALL BE SINGLE OFFSET JOINT PIPE WITH PROFILE GASKET, IN ACCORDANCE WITH ASTM C443, UNLESS OTHERWISE SPECIFICALLY NOTED ON THE CONSTRUCTION PLANS.
 - INSTALLATION OF REINFORCED CONCRETE PIPE.
 - ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATIVE MATTER, WASTE, CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
 - MATERIALS DEEMED BY THE ENGINEER AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SELECT BACKFILL MATERIAL.
 - BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER THE PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE PLACED IN LAYERS NOT TO EXCEED EIGHT (8) INCHES. EACH LAYER SHALL BE THOROUGHLY COMPACTED TO 95% OF THE MAXIMUM DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST (A DENSITY OF 100% STANDARD PROCTOR IS REQUIRED FOR THE TOP EIGHT (8) INCHES).
 - COMPACTION REQUIREMENTS SHALL BE ATTAINED BY THE USE OF MECHANICAL COMPACTION METHODS. EACH LAYER OF BACKFILL SHALL BE PLACED LOOSE AND THOROUGHLY COMPACTED IN PLACE.
 - UNDER NO CIRCUMSTANCES SHALL WATER BE PERMITTED TO RISE IN UN-BACKFILLED TRENCHES AFTER THE PIPE HAS BEEN PLACED.

FILL / EMBANKMENT NOTES:

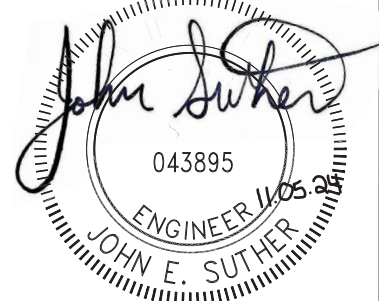
- EMBANKMENT FILL MATERIALS
 - BORROW MATERIAL SHALL BE CLASSIFIED AS ML, MH, CL OR CH SOILS ACCORDING TO THE UNIFIED SOIL CLASSIFICATION SYSTEM (ASTM D2487) OR ANY MIXTURE OF THESE SOILS.
 - BORROW MATERIALS SHALL HAVE A LIQUID LIMIT (LL) BETWEEN 40 AND 60 AND A PLASTICITY INDEX (PI) BETWEEN 15 AND 30 (ASTM D4318).
 - MATERIAL SHALL BE FREE OF TOPSOIL, ORGANIC MATERIAL, ROOTS, STUMPS, BRUSH, ROCKS LARGER THAN 3 INCHES, SUBSOIL, DEBRIS, VEGETATION AND OTHER FOREIGN MATERIAL.
 - ALL MATERIAL CLOUDS SHALL BE BROKEN DOWN WITH TILLERS AND/OR DISCS TO PROVIDE HOMOGENEOUS SOIL THAT IS FREE OF CLAY CLOUDS GREATER THAN 3 INCHES IN DIAMETER.
 - SUBGRADE PREPARATION
 - COMPACT SUBGRADE TO DENSITY REQUIREMENTS FOR SUBSEQUENT FILL MATERIALS. REF. TO STRUCTURAL REQ. IN PROXIMITY TO BUILDING PAD, BEARING TO BE 2000 PSF MIN.
 - CUT OUT SOFT AREAS OF SUBGRADE NOT CAPABLE OF COMPACTION IN PLACE.
 - SCARIFY SUBGRADE SURFACE TO A DEPTH OF 6 INCHES.
 - PROOF ROLL SUBGRADE TO IDENTIFY SOFT SPOTS; FILL AND COMPACT TO DENSITY EQUAL TO OR GREATER THAN REQUIREMENTS FOR SUBSEQUENT FILL MATERIAL.
 - EMBANKMENT FILL SHALL BE CONSTRUCTED AT 3 (HORIZONTAL) TO 1 (VERTICAL) OR AS SHOWN ON THE CONSTRUCTION DRAWINGS. DEMONSTRATION OF APPROPRIATE SAFETY FACTORS AGAINST FAILURE THROUGH GEOTECHNICAL ANALYSIS SHALL BE REQUIRED FOR SLOPES STEEPER THAN 3:1.
- FILL SOILS SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8 INCHES IN THICKNESS AND BE COMPACTED TO A MINIMUM OF 95 PERCENT OF THE SOILS STANDARD PROCTOR (ASTM D698) MAXIMUM DRY DENSITY, OR AS SPECIFIED ON THE CONSTRUCTION DRAWINGS.
 - COMPACTED MOISTURE CONTENT SHALL BE BETWEEN 3 PERCENT BELOW AND 3 PERCENT ABOVE THE OPTIMUM MOISTURE CONTENT FOR ALL FILL PLACED, OR AS OTHERWISE APPROVED BY THE ENGINEER.
 - FILL SOILS SHOULD BE PLACED IN CONTINUOUS, HORIZONTAL LAYERS FROM ABUTMENT TO ABUTMENT.
 - EXISTING SLOPES GREATER THAN 4(HORIZONTAL):1(VERTICAL) SHALL BE BENCHED TO PROMOTE BONDING OF NEWLY PLACED FILL WITH EXISTING SOILS. BENCHING SHALL BE PERFORMED AT MAXIMUM OF 2 FEET VERTICAL INTERVALS AND SHALL EXTEND A MINIMUM OF 4 FEET HORIZONTALLY OR AS SPECIFIED ON DRAWINGS.
 - WITHIN THE UPPER 12 INCHES OF EMBANKMENT, FILL SOILS SHOULD BE COMPACTED TO 100% OF ITS STANDARD PROCTOR (ASTM D698) MAXIMUM DRY DENSITY.
 - FILL AGAINST SUPPORTED STRUCTURES. DO NOT FILL AGAINST UNSUPPORTED STRUCTURES.
 - PLACE FILL SIMULTANEOUSLY ON EACH SIDE OF UNSUPPORTED STRUCTURES UNTIL SUPPORTS ARE IN PLACE.
 - PLACE A MINIMUM OF 6 INCHES OF TOPSOIL ACROSS DAM EMBANKMENT TO PROMOTE VEGETATIVE GROWTH.
 - OUTLET PIPE PIPE FILL PLACEMENT FILL OF THE CULVERTS SHALL BE PLACED AND COMPACTED IN 6-INCH THICK LOOSE LIFTS AROUND THE OUTLET STRUCTURE AND ABOVE THE CULVERTS.
 - COMPACTION SHALL BE PERFORMED BY HAND TAMPERS OR SMALL HAND OPERATED COMPACTORS.
 - COMPACTION SHALL BE AT A MINIMUM 95 PERCENT OF THE STANDARD PROCTOR (ASTM D698) MAXIMUM DRY DENSITY. COMPACTED MOISTURE CONTENT SHALL BE BETWEEN 3 PERCENT BELOW AND 3 PERCENT ABOVE THE OPTIMUM MOISTURE CONTENT FOR ALL FILL PLACED OR AS OTHERWISE APPROVED BY THE ENGINEER.
 - ADDITIONAL COMPACTION OF LIFTS 2 FEET OR GREATER ABOVE CULVERTS SHALL CONFORM TO THE EMBANKMENT FILL PLACEMENT SECTION OF THIS SPECIFICATION.
 - DRAINAGE AREA MUST BE STABILIZED BEFORE FILTRATION CONTROLS AND FILTER MEDIA ARE INSTALLED.
 - FIELD QUALITY CONTROL: PERFORM LABORATORY MATERIAL TESTS IN ACCORDANCE WITH ASTM D422, ASTM D698, ASTM D2216 AND ASTM D4318.
 - TEST AT A FREQUENCY OF EVERY 500 CUBIC YARDS OF EMBANKMENT FILL MATERIAL PLACED, WHEN MATERIALS USED FOR EMBANKMENT FILL CHANGE, AND/OR AS DIRECTED BY THE ENGINEER.
 - SAMPLE SIZE SHALL BE 50 LB.
 - PERFORM IN PLACE COMPACTION TESTS IN ACCORDANCE WITH ASTM D1556 OR ASTM D2937 AND NATURAL MOISTURE CONTENT TEST IN ACCORDANCE WITH ASTM D2216.
 - FREQUENCY OF COMPACTION/NATURAL MOISTURE CONTENT TESTS:
 - EMBANKMENT FILL:
 - EACH LIFT SHALL BE TESTED AT A MINIMUM FREQUENCY OF 1 PER 2,500 SQ. FT.
 - PIPE INSTALLATION:
 - EACH LIFT SHALL BE TESTED AT A MINIMUM FREQUENCY OF 1 PER 30 LF OF PIPE
 - WHEN TESTS INDICATE WORK DOES NOT MEET SPECIFIED REQUIREMENTS, REMOVE WORK, REPLACE AND RETEST.

UTILITY NOTES:

- General Utility Notes
- Concrete blocking (3000 psi) to be placed at all bends or as required unless Mega Lugs or restrained joints are used.
 - Standard depth of cover to be 3 feet except at valve or hydrant locations or other special situations. Cover is based on elevation below edge or pavement or as indicated on the plans.
 - Provide poured in place concrete pads (18" x 18" x 6") (or concrete "donuts" may be used as an alternative at the discretion of the SRU Inspector) at all valve boxes.
 - Extensions for valve boxes, when required, are to be valve boxes or DIP (no PVC or C-900).
 - All pavement cuts, concrete or asphalt, are to be replaced according to The Town of Landis and Salisbury Rowan Utilities Standard Details and/or as required by the North Carolina Department of Transportation.
 - Pavement cuts are to be replaced immediately after backfilling of initial cut either with permanent replacement or a temporary replacement of 10' of base if approved by the Town (for Town maintained streets) or DOT (for state maintained streets).
 - Repairs to main breaks: (a) Solid sleeves to be used for connecting spigot ends shall be of the long body type. (b) All repairs shall be inspected by Town before backfilling.
 - In any instance where it will be necessary to have the water shut off on existing mains in order to make a tie-in, the work must be done by Town forces or a contractor working for the Town, scheduled 48 hours to 7 days in advance depending on the location and types of businesses that will be affected.
 - When a water main crosses an existing sewer main, the contractor is to replace the sewer pipe spanning the ditch with ductile pipe when the following conditions occur:
 - Anytime a water main is installed under a sewer main.
 - When a water main is over a sewer main and the vertical distance between the two mains is 18" or less (minimum 12" clearance between water and sewer lines - only allowed when other utilities prevent the 18" minimum separation).
 - Water mains shall be installed with a minimum of 10' horizontal separation or 18" vertical separation from sewer lines. Where this is not possible, both the water line and sewer line shall be ductile iron pipe.
 - Water lines shall be disinfected and hydrostatically tested in accordance with all State and SRU requirements.
 - All plans shall meet all Federal, State, Town of Landis, and Utilities owner regulations, design criteria, and construction standards.
 - Water services/meter boxes are not to be located in driveways.



FIRM No. P-1946
1316 S. MAIN ST. STE D
KANNAPOLIS, NC 28081



SUBJECT PROPERTY INFO:

PARCEL ID(S):
1238119
DEED BOOK & PAGE:
DB: 1423 PG: 854

CURRENT ZONING:
MU-1 (LANDIS)

PROPERTY LOCATION:
LANDIS TOWNSHIP
ROWAN COUNTY

OWNER INFORMATION:
DYNAMIC DEVELOPERS OF THE
CAROLINAS LLC
210 OAK AVE
KANNAPOLIS, NC 28081

PLAN NOTES:

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REVISION ISSUE

NO	REVISION	DATE
00	LANDIS	03.05.24
01	DEV. PLAN	05.14.24
02	SUB. PLAN	06.17.24
03	LANDIS COM	11.05.24

LANDIS MULTIFAMILY

SHEET TITLE:

GENERAL NOTES

SHEET NUMBER:

C-1.1

SSMH
RIM: 767.58'
INV. - 870.33'

ROBERT MCGALLIARD
PID: 123B089
DB /PG: 683 / 335
ZONE: SFR-3 (LANDIS)

JOSEPH SELMA
PID: 123 090
DB /PG: 952 / 346
ZONE: RU (CHINA GROVE)

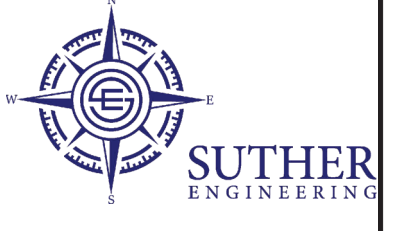
W.L. KIMBALL ESTATE
PID: 123B119
ZONE: MU-1 (LANDIS)
1.05 AC.

LARRY W PAGE FLP
PID: 123B113
DB /PG: 807 / 562
ZONE: MU-1 (LANDIS)

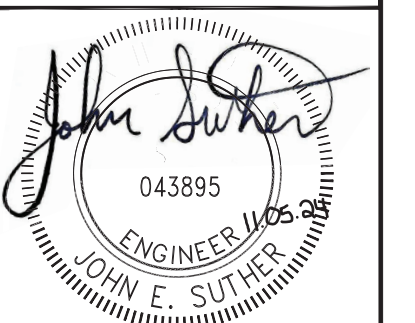


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ROWAN COUNTY
OWNER INFORMATION:
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210 OAK AVE
KANNAPOLIS, NC 28081

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REVISION ISSUE		
00	LANDIS	03.05.24
01	DEV. PLAN	05.14.24
02	SUB. PLAN	06.17.24

LANDIS MULTIFAMILY

SHEET TITLE:
EXISTING CONDITIONS

SHEET NUMBER:

C-2.0

KIMBALL ROAD
S.R. - 1211 60' PUBLIC RIGHT OF WAY

EXISTING 8" SS

SSMH
RIM: 782.43'
INV. 773.68'

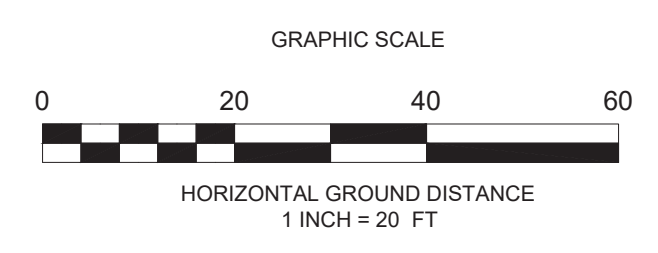
24" RCP
INV. - 772.5'

12" RCP
INV. - 782.87'

DI
RIM: 785.25'
INV. - 784.16'

DI
RIM: 787.80'
INV. - 786.66'

12" RCP
INV. - 788.84'



SITE NOTES:

1. ALL DIMENSIONS SHOWN ARE FROM EDGE OF PAVEMENT TO EDGE OF PAVEMENT OR FACE OF BUILDING TO FACE OF BUILDING.
2. THIS PLAN DOES NOT CONSTITUTE A BOUNDARY SURVEY OR SUBDIVISION SURVEY. ALL SUBDIVISION PLATS SHALL BE NOTED AND CERTIFIED BY A LICENSED PROFESSIONAL SURVEYOR.
3. ALL STRIPING WITHIN THE RIGHT OF WAY SHALL CONFORM TO THE LANDIS UDO & LDM STANDARD DETAILS.
4. ALL WORK AND MATERIALS SHALL CONFORM TO THE LANDIS UDO & LDM STANDARD DETAILS, CITY/COUNTY REGULATIONS, LOCAL AND STATE CODES, O.S.H.A. STANDARDS, AND ANY OTHER GOVERNING BODY HAVING JURISDICTION OVER THE PERFORMANCE AND INSTALLED MATERIALS OF THE PROJECT.
5. EXISTING STRUCTURES, PIPES, UTILITIES, ETC. ARE TO BE ABANDONED, REMOVED, OR RELOCATED AS NECESSARY TO PERFORM THE SHOWN SCOPE OF WORK. ALL COSTS FOR SUCH WORK SHALL BE INCLUDED IN THE BASE BIDS BY CONTRACTORS. THE CONTRACTORS SHALL BE RESPONSIBLE FOR THE RELOCATIONS AND COORDINATION OF SUCH RELOCATIONS WITH THE UTILITY OWNER / PROVIDERS. THIS INCLUDES BUT IS NOT LIMITED TO: ALL UTILITIES, STORM DRAINAGE, STREET SIGNS, TRAFFIC SIGNALS, POLES, ETC., AS REQUIRED TO PERFORM THE SHOWN SCOPE OF WORK.

SITE DEVELOPMENT DATA

PROPOSED AREA QUANTITIES

AREA BEING DEVELOPED: 1.05 AC.
 AREA IN RIGHT OF WAY: 0.138 AC
 DISTURBED AREA: 0.993 AC
 PROPOSED IMPERVIOUS: 23,067 SF , 0.53 AC.
 BUILDINGS: 7,346 SF
 PAVING: 14,024 SF
 SIDEWALK: 1,697 SF

IMPERVIOUS % : 58.1 %
 MAX IMP. % = NONE
 NCDEQ DENSITY: < 1 ACRE DISTURBED (EXEMPT)
 BMP CONTROLS: NO
 JURISDICTION: PHASE II LOCAL - LANDIS
 NCDEQ REGION: MOORESVILLE

DIMENSIONAL STANDARDS LANDIS:

MINIMUM LOT WIDTH: 24 FT
 MINIMUM LOT AREA: 6000 SF
 BUILD TO LINE FROM ROW MINIMUM: 16 FT
 SIDE YARD SETBACK: 0 FT
 REAR SETBACK MINIMUM: 12 FT
 LANDSCAPE BUFFER: RESIDENTIAL TO RESIDENTIAL - NONE
 RIGHT OF WAY - 60 FT

SITE MATERIALS NOTES:

PAVING
 HEAVY DUTY ASPHALT PAVING: AREAS INSIDE R/W
 PROFILE:
 8" AGG. BASE COURSE (ABC)
 2.5" 119.0C INT. COURSE
 1.5" S9.5B SURF. COURSE
 LIGHT DUTY ASPHALT PAVING: DRIVE & PARKING
 PROFILE:
 6" AGG. BASE COURSE (ABC)
 2" S9.5B SURF. COURSE

SIDEWALKS:
 PROFILE:
 4" 3500 PSI MIN. CONC. W/ AIR

CURB & GUTTER :
 18" CURB & GUTTER - 3500 PSI CONC. W/AIR

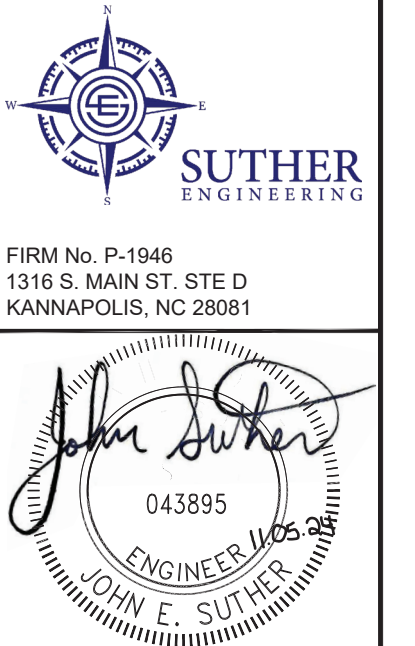
PARKING NOTES:

REQUIRED PARKING:
 BUILDING: 15 UNIT; 2 BED PER UNIT - MULTIFAMILY
 PARKING REQ:
 MIN: 1 PER UNIT
 MAX: 2 PER UNIT

PROVIDED: 26 SPACES: 1.73 PER UNIT
 BREAKDOWN: 2 HANDICAP
 24 STD.

OPEN SPACE:

OPEN SPACE REQ. - LDO 21.2-1(C) TBL 21.1 - 7500 SF
 OPEN SPACE PROVIDED -
 LDO 21.2-4, 21.2-7(D) PLAZA - 7627 SF



SUBJECT PROPERTY INFO:
 PARCEL ID(S): 123B119
 DEED BOOK & PAGE: DB: 1423 PG: 854
 CURRENT ZONING: MU-1 (LANDIS)
 PROPERTY LOCATION: LANDIS TOWNSHIP, ROWAN COUNTY
 OWNER INFORMATION: DYNAMIC DEVELOPERS OF THE CAROLINAS LLC, 210 OAK AVE, KANNAPOLIS, NC 28081

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REVISION ISSUE	
00	LANDIS 03.12.24
01	DEV. PLAN 05.14.24
02	SUB. PLAN 06.17.24
03	LANDIS COM 11.05.24

LANDIS MULTIFAMILY

SHEET TITLE: SITE LAYOUT PLAN

SHEET NUMBER: C-3.0

SCREENED DUMPSTER ENCLOSURE

JOSEPH SELMA
 PID: 123 090
 DB /PG: 952 / 346
 ZONE: RU (CHINA GROVE)

ROBERT MCGALLIARD
 PID: 123B089
 DB /PG: 683 / 335
 ZONE: SFR-3 (LANDIS)

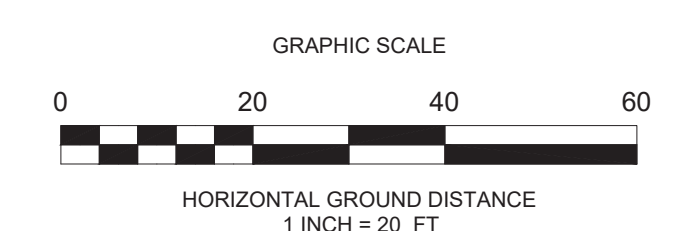
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 PID: 123B119
 ZONE: MU-1 (LANDIS)

LARRY W PAGE FLP
 PID: 123B113
 DB /PG: 807 / 562
 ZONE: MU-1 (LANDIS)

SSMH
 RIM: 782.43'
 INV - 773.68'



- SE-BOC
- SE-SIDEWALK
- SE-BUILDING
- SE-SETBACKS
- SE-LANDSCAPE BUFFERS
- SS-SEWER
- W-WATER-LINE
- EX-OP-OVERHEAD-PWR
- EX-ROW



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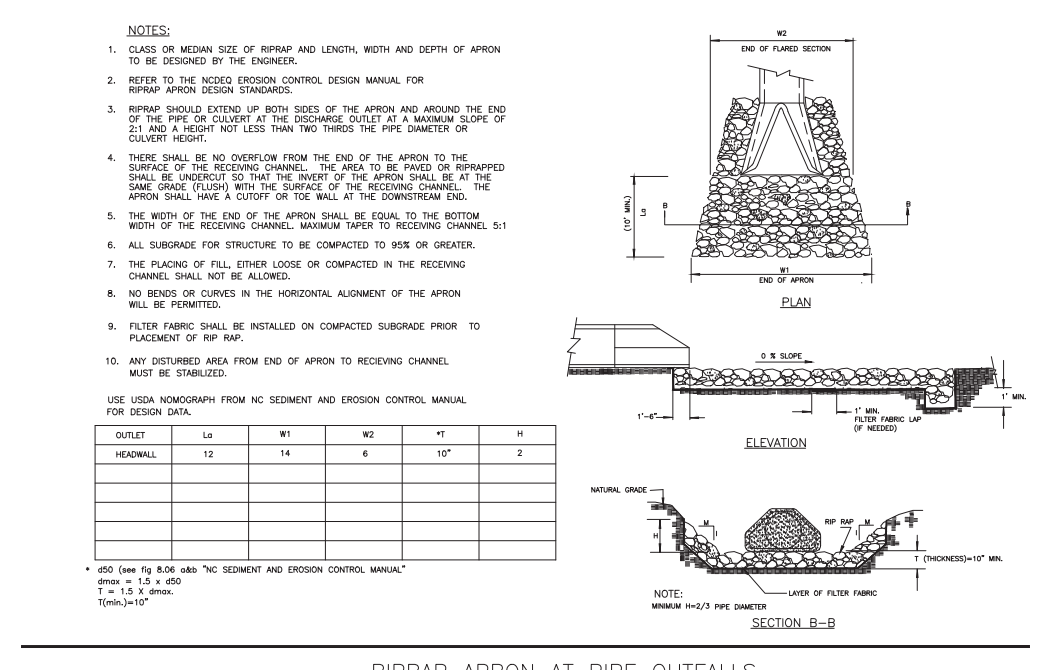
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NO	DESCRIPTION	DATE
00	LANDIS	03.05.24
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03	LANDIS COM	11.05.24

LANDIS MULTIFAMILY

DN STRUCTURE	UP STRUCTURE	DOWN INVERT (FT)	UP INVERT (FT)	LENGTH (FT)	SLOPE (%)	MATERIAL	SIZE (IN)
YI-2	YI-1	772.50	773.51	65.76	1.536	Concrete	15.0
YI-2	EX CULVERT	772.50	779.25	60.08	11.235	Concrete	24.0
YI-3	YI-2	771.67	772.30	49.66	1.269	Concrete	24.0
CI-1	YI-3	768.94	771.47	94.60	2.674	Concrete	24.0
DI-1	CI-1	765.14	768.74	71.92	5.005	Concrete	24.0
DI-1	CI-2	765.64	766.02	24.77	1.534	Concrete	18.0
HEADWALL OUT	DI-1	764.14	765.14	9.57	10.454	Concrete	24.0

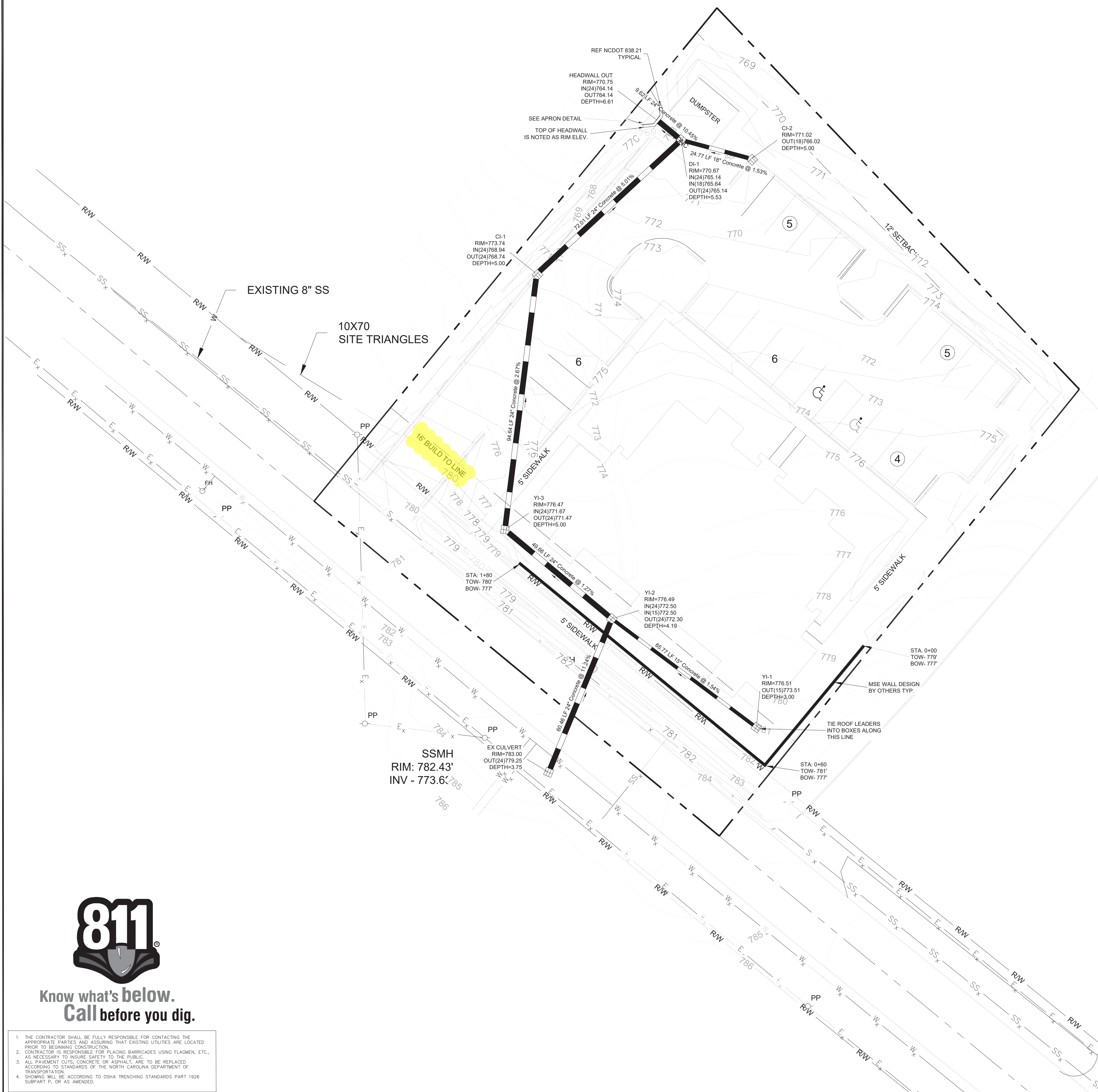
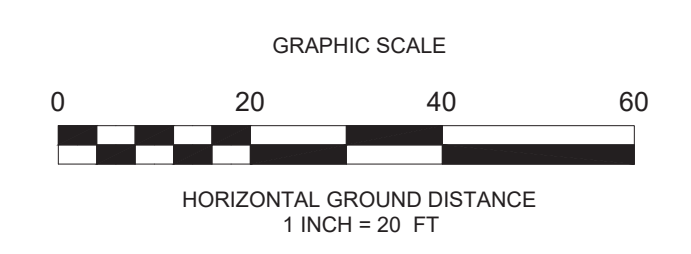
NAME	RIM ELEV(FT)	INVERT-IN ELEV(FT) (1)	INVERT-IN ELEV(FT) (2)	INVERT-OUT ELEV(FT)	STRUCTURE ID
CI-2	771.02	N/A	N/A	766.02	DI 840.14 12"-24"
YI-1	776.51	N/A	N/A	773.51	DI 840.14 12"-24"
EX CULVERT	783.00	N/A	N/A	779.25	DI 840.14 12"-24"
YI-2	776.49	772.50	772.50	772.30	DI 840.14 12"-24"
YI-3	776.47	771.67	N/A	771.47	DI 840.14 12"-24"
CI-1	773.74	768.94	N/A	768.74	DI 840.14 12"-24"
DI-1	770.67	765.14	765.64	765.14	DI 840.14 12"-24"
HEADWALL OUT	770.75	764.14	N/A	N/A	Outfall-Wall1



LEGEND

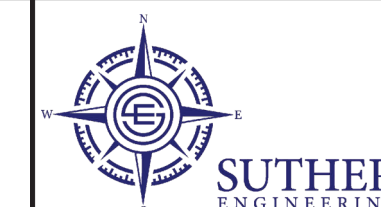
These standard symbols will be found in the drawing.

- SE-BOC
- SE-SIDEWALK
- SE-BUILDING
- SE-SETBACKS
- SE-LANDSCAPE BUFFERS
- EX-SEWER
- EX-EOP
- EX-WATER-LINE
- EX-OVERHEAD-PWR
- EX-ROW
- SE-WALLS
- SE- STORM PIPE
- SE-CONTOURS

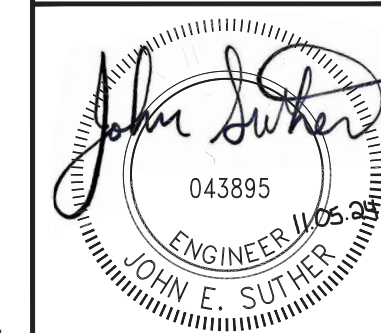


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REVISION ISSUE

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01	DEV. PLAN	05.14.24
02	SUB. PLAN	06.17.24

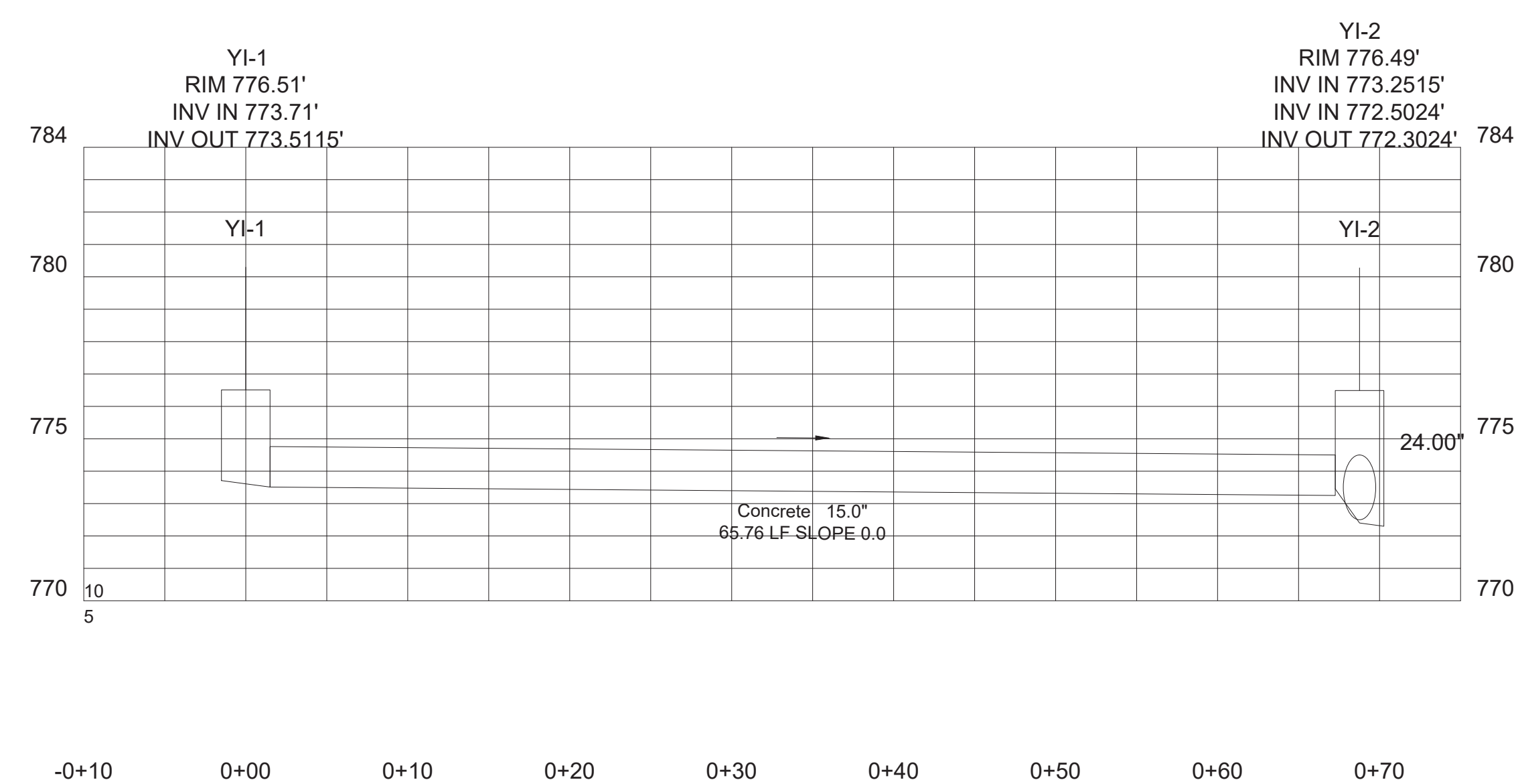
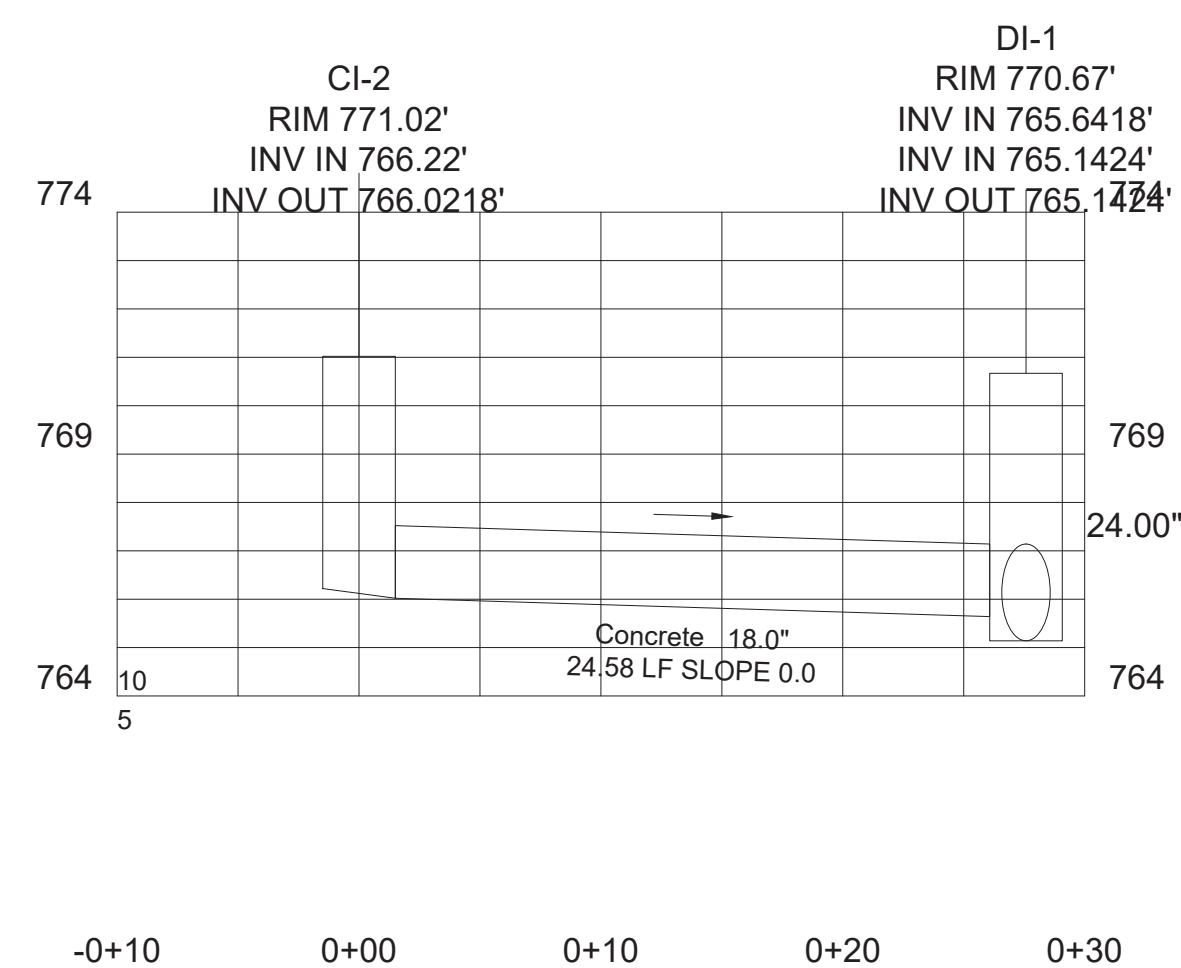
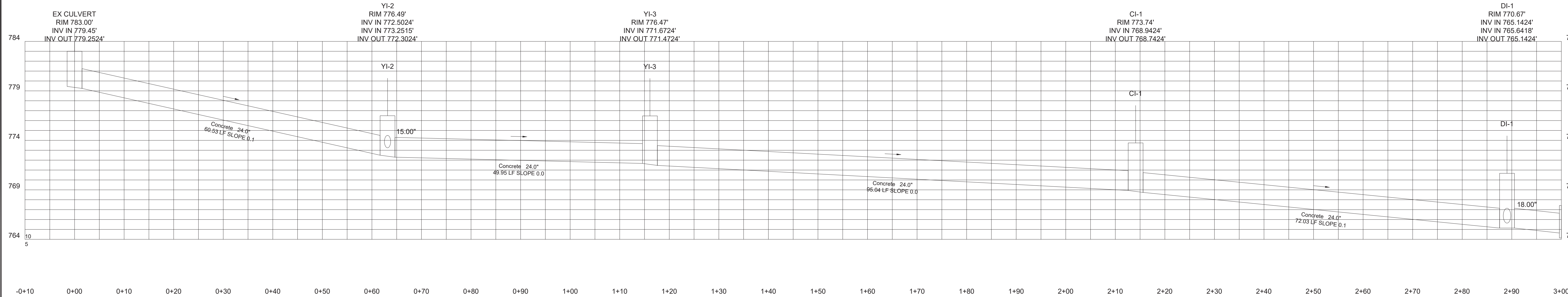
LANDIS MULTIFAMILY

SHEET TITLE:

STORM PROFILES

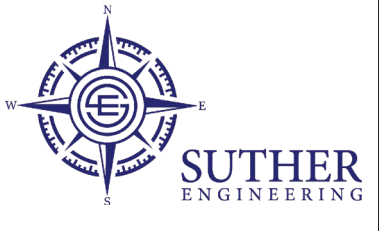
SHEET NUMBER:

C-4.1

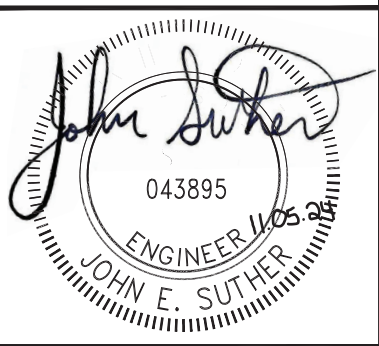


GENERAL NOTES SITE UTILITIES

- All water and sanitary sewer work shall be in accordance with the Town of Landis Land Development Standards and standard specifications for wastewater collection and distribution for the Salisbury-Rowan Utilities. Contractor shall have a copy of these specifications on-site at all times.
- All existing water and sewer mains are owned and operated by the Town of Landis. The site inspector must be contacted at least 48 hrs prior to making any connection to the existing system.
- Sanitary sewer laterals and water meter locations are approximate and are subject to relocation due to field locations. Under no circumstance will cleanouts and meters be located in driveways, sidewalks or under pavement of any type.
- Water meters shall meet Town of Landis standards. Contractor is responsible for installing meter boxes and purchasing meters. Contractor shall coordinate with site inspector to have water meters delivered to the Town of Landis.
- The developer will be responsible for paying applicable water and sewer connection fees before Zoning Clearance Permits are issued.
- Contractor is fully responsible for contacting all appropriate parties assuring that utilities are located prior to commencement of construction. Call North Carolina 811 (1-800-632-4949) for utility locating services as required by law prior to commencement of any work. Contractor shall verify location and depth of all utilities prior to construction.
- Contractor shall be responsible for sewer overflows that occur due to activities initiated by them and shall be responsible for, but not limited to, the costs associated with performing remedial work or environmental impacts and/or the paying of fines assessed by regulatory agencies and/or third-party claims.
- Water & Sewer mains shall have a minimum cover of 36".
- Bedding for PVC sewer mains and laterals should be NCDOT Class B Bedding.
- Unless otherwise noted, waterlines shall be PVC C900 for 6" - 12" diameter and PVC SDR 13.5 for 2" - 4" diameter per Salisbury-Rowan Utilities standards.
- Laterals shall have a No-Hub cap and stainless-steel No-Hub band at the clean out.
- Ductile iron pipe shall be required for both water and sanitary sewer if the following clearances are not met:
 - Waterline crossing under sanitary sewer (for any clearance).
 - 18" vertical clearance for waterline installed above sewer line.
 - 10' horizontal separation for waterline parallel to sewer line (or 18" vertical separation in separate ditches).
 - For waterline, 18" clearance with storm drains.
 - For waterline, 12" clearance with gas mains, telephone ducts and underground cables.
 - For sanitary sewer, 18" clearance with storm drains.
- Regardless of pipe material, a minimum 12" separation shall be required for water and sewer between other piping.
- Initial connection to the existing water main shall be in accordance with the Town of Landis detail for a temporary by-pass connection for filling new water mains. The temporary jumper connection shall be removed and the waterline connected to the existing system only after the proposed system has been pressure tested, chlorinated and accepted by the Town of Landis. No other connections will be allowed to the system until the proposed system has been accepted.
- Notify the city of any work being performed on the weekends. No work requiring testing or observation by the city will be permitted without written permission.
- Noise Ordinance: 7:00am to 9:00pm - Weekdays, 8:00am to 9:00pm Weekends.



FIRM No. P-1946
1316 S. MAIN ST. STE D
KANNAPOLIS, NC 28081



SUBJECT PROPERTY INFO:
 PARCEL ID(S):
 DEED BOOK & PAGE:
 DB: 1423 PG: 854
 CURRENT ZONING:
 MU-1 (LANDIS)
 PROPERTY LOCATION:
 LANDIS TOWNSHIP
 ROWAN COUNTY
 OWNER INFORMATION:
 DYNAMIC DEVELOPERS OF THE
 CAROLINAS LLC
 210 OAK AVE
 KANNAPOLIS, NC 28081

PLAN NOTES:

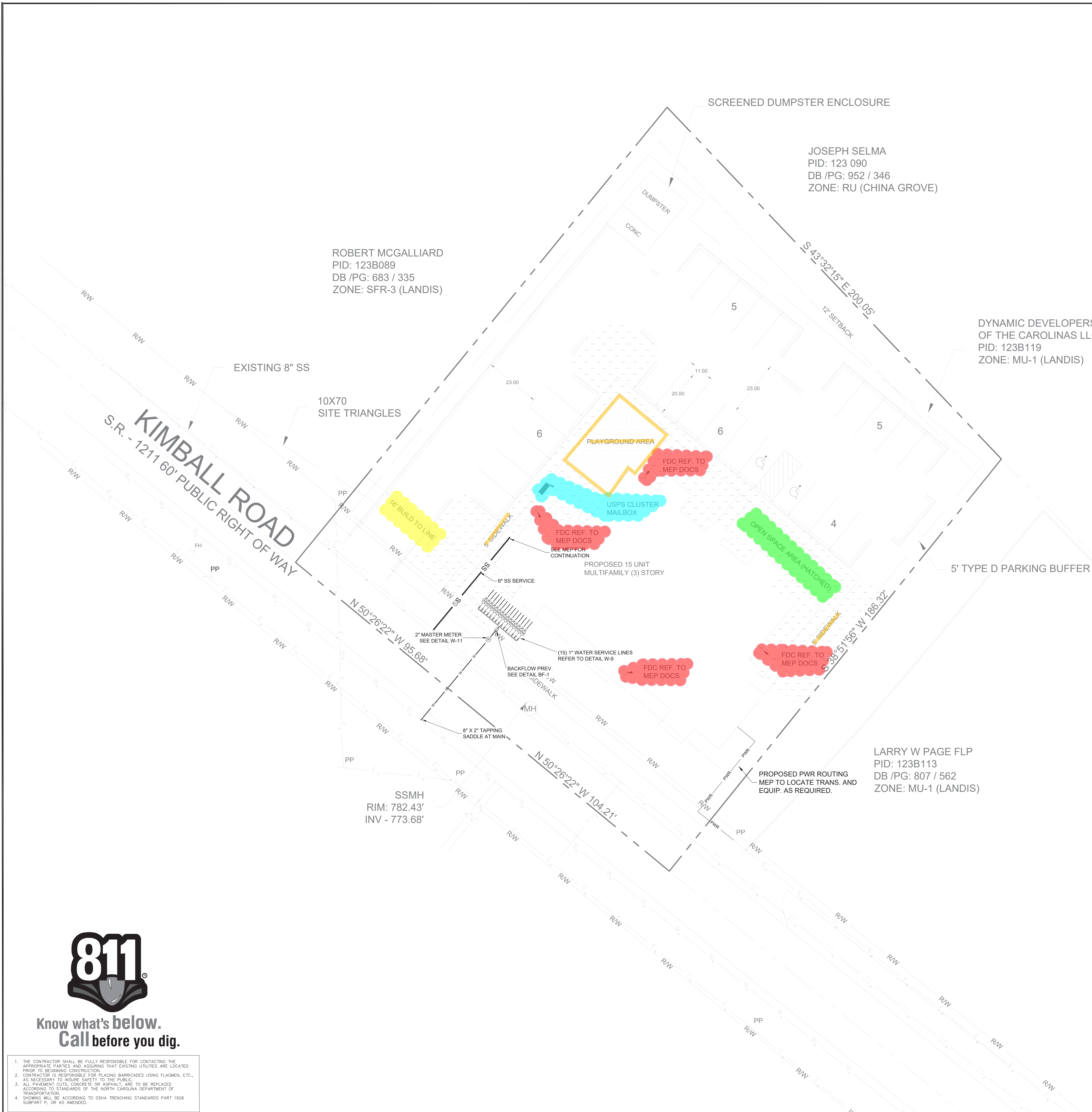
- PLAN NORTH IS BASED ON NAD83(2011)
- GEODEIC MONUMENTS WERE SURVEYED AS SHOWN
- ALL DISTANCES ARE GROUND HORIZONTAL UNLESS OTHERWISE NOTED
- PROPERTY MAY BE SUBJECT TO BURDENS OR BENEFITS NOT SHOWN ON MAP
- NO UNDERGROUND UTILITIES WERE LOCATED WITH THIS PLAN. BEFORE DIGGING CALL NO ONE-CALL (1-800-632-4949)
- ZONING DISTRICTS NOTED ARE PER GIS INFORMATION AVAILABLE TO THE PUBLIC
- THE SUBJECT PARCEL(S) AND ANY ADJOINING PROPERTY OWNERS NAMES, DEEDS OF RECORD, AND TAX PARCEL IDENTIFICATIONS REFLECT THOSE AVAILABLE TO THIS ENGINEER AS OF THE DATE OF THE PLAN SHOWN
- SURVEY INFORMATION FOR THIS PLAN SHOWN WAS PROVIDED BY: HARRISBURG SURVEYING

REVISION ISSUE

NO	LANDIS	03.05.24
00	LANDIS	03.05.24
01	DEV. PLAN	05.14.24
02	SUB. PLAN	06.17.24
03	LANDIS COM	11.05.24

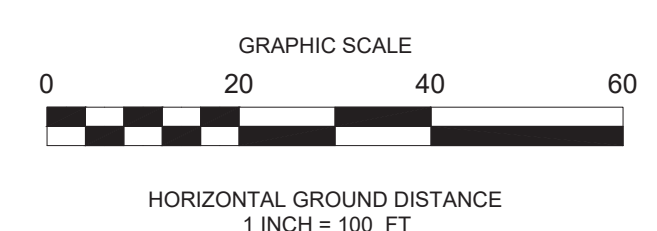
LANDIS MULTIFAMILY

SHEET TITLE:
UTILITY PLAN
 SHEET NUMBER:
C-5.0



LEGEND

- These standard symbols will be found in the drawing.
- SE-BOC
 - SE-SIDEWALK
 - SE-BUILDING
 - SE-SETBACKS
 - SE-LANDSCAPE BUFFERS
 - EX-SEWER
 - EX-EOP
 - EX-WATER-LINE
 - EX-OVERHEAD-PWR
 - EX-ROW
 - SE-SS
 - SE-WATER
 - SE-PWR



Know what's below. Call before you dig.

- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR CONTACTING THE APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAGMEN, ETC., AS NECESSARY TO INSURE SAFETY TO THE PUBLIC
- ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION
- SHOWING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART F, OR AS AMENDED.

REVISION ISSUE	
00	LANDIS 03.05.24
01	DEV. PLAN 05.14.24
02	SUB. PLAN 06.17.24
03	LANDIS COM 11.05.24

PERIMETER BUFFER YARD:
 PER 11.6-1 & LANDIS PRE-APP MEETING
 RESIDENTIAL TO RESIDENTIAL NOT BUFFERED

STREET YARDS:
 1 LARGE MATURING TREE PER 80 LF; THIS PROJECT HAS OVERHEAD POWER SO RATE WILL BE 1 SMALL MATURING TREE AT 1 PER 40 LF
 95 LF @ 40 FT PER TREE = 2 TREES REQUIRED (MEASURED OUTSIDE OF NCDOT SITE TRIANGLES)

PARKING LOT PLANTING AREAS:
 (1) DECIDUOUS TREE PER 1500 SF = 9 TREES REQ.
 75% LARGE MATURING TREES REQ.
 (4) SHRUBS PER 1500 SF = 37 REQ.

TYPE D PARKING BUFFER:
 2 UNDERSTORY TREES PER 100 LF: $\frac{750}{100} \times 2 = 7$ TREES
 18 SHRUBS PER 100 LF: $\frac{750}{100} \times 18 = 65$ SHRUBS

TOTAL REQUIRED:
 (7) LARGE MATURING TREES
 (9) DECIDUOUS UNDERSTORY TREES
 (102) SHRUBS

PROVIDED:
 (8) LARGE MATURING TREES
 (9) DECIDUOUS UNDERSTORY TREES
 (102) SHRUBS

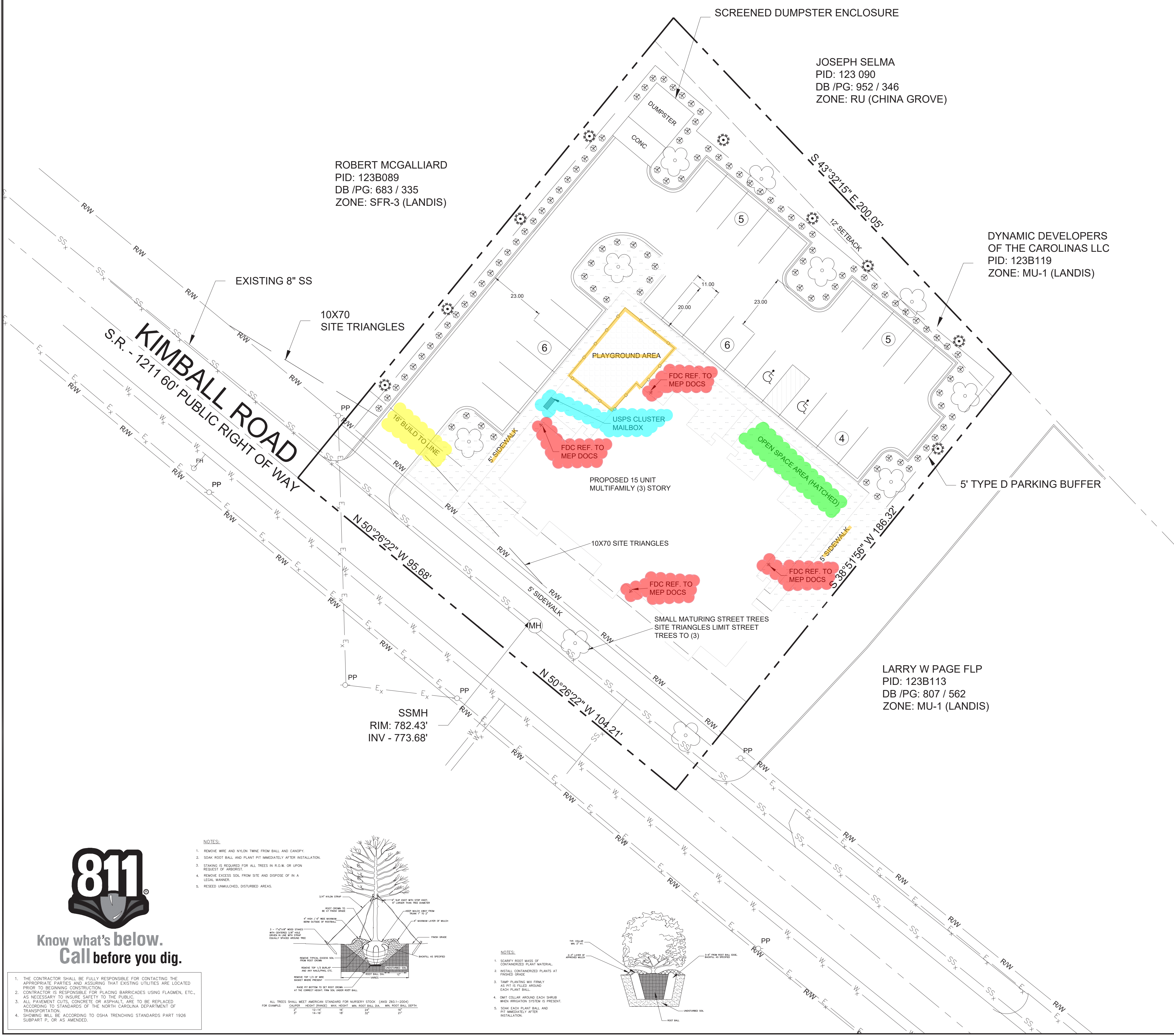
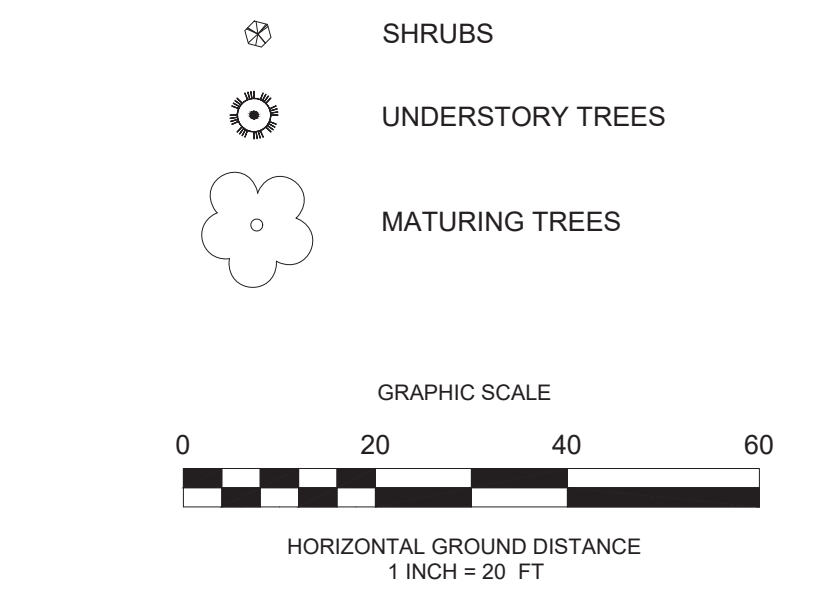
LANDSCAPE PLANT MATERIALS AND STANDARDS.

- PLANTINGS SHALL BE PER THE APPROVED SPECIES LIST FOR THE TOWN OF LANDIS UDO
- ALL NEW TREES MUST HAVE STRAIGHT TRUNKS WITH STRONG CENTRAL LEADERS INTACT TO THE TOP OF THE CROWN UNLESS MULTI-STEM TREES ARE SPECIFIED. ALL REQUIRED TREES SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY. HAVE NORMAL GROWTH HABITS. HAVE WELL-DEVELOPED BRANCHES. BE VIGOROUS AND HAVE FIBROUS ROOT SYSTEMS. TREES WITH CO-DOMINANT BRANCHING WILL NOT BE ACCEPTED. TREES THAT HAVE BEEN SHEARED, TOPPED OR CUT BACK TO MULTIPLY THE BRANCHING STRUCTURE WILL NOT BE ACCEPTED. TREES SHALL BE FREE OF ABRASIONS, DAMAGE, DISEASE, PESTS, AND CRACKS. ALL PRUNING CUTS ON THE TRUNK SHALL BE MORE THAN ONE HALF THE DIAMETER OF THE CENTRAL LEADER AT THE HEIGHT WHERE THE CUT WAS MADE. ROOT FLARES SHALL BE LOCATED AT GRADE. TREES WITH MORE THAN 2" OF SOIL COVERING THE ROOT BALL/FLARE WILL NOT BE ACCEPTED.
- THE MINIMUM TREE SIZE AT PLANTING SHALL BE PER TABLE 5.3.F(2) AS FOLLOWS:
 - SHADE TREES: 2.5" CALIPER - MIN. 12' TALL
 - ORNAMENTAL TREES: 1.5" CALIPER - MULTI-STEM
 - ORNAMENTAL TREES: 2" CALIPER - SINGLE-STEM
 - EVERGREEN TREES: N/A CALIPER - MIN. 6' TALL
 - SHRUBS: 3 GALLON CONTAINER - MIN. 18" TALL
- ALL STRAPPING AND TOP 3" OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 3" OF THE BURLAP FROM ROOT BALL.
- FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL, SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL, OR TILL AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES (WITHIN ENTIRE MINIMUM AREA OF 274 SQUARE FEET PER TREE)
- LARGE MATURING TREES MAY NOT BE PLANTED WHERE THERE ARE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
- ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES.
- ATTENTION LANDSCAPER: NOTIFY URBAN FORESTER OF ANY SIGN, POWER LINE, OR OTHER CONFLICTS BEFORE PLANTING NEW TREES. LARGE MATURING TREES MUST BE A MINIMUM 25' TO 30' FEET FROM THE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
- NO UTILITY OR LIGHT POLES TO BE INSTALLED IN TREE ISLANDS.

SOIL GUIDANCE FOR TREE PLANTING

- SOILS FOR PLANTING SHOULD BE PREPARED IN ONE OF THE FOLLOWING WAYS:
 - PREPARING THE EXISTING SOIL FOR PLANTING BY TILLING TO A DEPTH OF 18" AND ADDING SOME NEW PLANTING MIX AND/OR ORGANIC MATTER. THIS OPTION MAY ALSO REQUIRE THE REMOVAL OF SOME EXISTING SOIL ALONG WITH OTHER MITIGATION WORK AND SOIL AMENDMENTS TO IMPROVE SOIL STRUCTURE.
 - REMOVING ALL EXISTING SOIL FROM AN ORDINANCE REQUIRED PLANTING AREAS AND REPLACING IT WITH NEW PLANTING MIX AND OTHER SOIL AMENDMENTS.
 - DETERMINATION OF SOIL REQUIREMENTS WILL BE AT THE DISCRETION OF HARRISBURG ENGINEERING STAFF OR URBAN FORESTRY STAFF AND/OR CITY ARBORIST STAFF. STAFF WILL INSPECT SOIL AT THE TIME OF PLANTING TO DETERMINE REQUIRED SOIL AMENDMENTS.
- PLANTING MIX USED SHALL HAVE UNIFORM COMPOSITION THROUGHOUT, WITH A MIXTURE OF SUBSOIL TO BE FREE OF STONES, LUMPS, LIVE PLANTS AND THEIR ROOTS, STICKS, AND OTHER EXTRANEUS MATTER. IT SHALL CONTAIN NO MAN-MADE MATERIALS UNLESS OTHERWISE SPECIFIED. PLANTING MIX SHALL NOT BE USED WHILE IN A FROZEN OR MUDDY CONDITION.
- UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS, NEW/ADDED PLANTING MIX SHALL CONTAIN THE FOLLOWING SPECIFIED PERCENTAGES OF CONSTITUENTS:
 - CLAY MIN. 10% MAX. 40%
 - SAND MIN. 20% MAX. 50%
 - SILT MIN. 20% MAX. 50%
 - ORG. MAT. MIN. 5% MAX. 10%
- ORGANIC MATTER (ORG. MAT.) IS DEFINED AS COMPOST / HUMUS SUCH AS SAWDUST OR LEAF MOLD THAT HAS COMPLETED THE DECOMPOSITION PROCESS. PERCENTAGE OF ORGANIC MATTER SHALL BE DETERMINED BY LOSS ON IGNITION OF MOISTURE FREE SAMPLED DRIED AT 65 DEGREES.
- PLANTING SOILS SHALL HAVE AN ACIDITY RANGE OF pH 5.5 TO 7.0
- PLANTING SOILS SHALL HAVE A CATION EXCHANGE CAPACITY (CEC) FROM 5 TO 25 CMOL+/KG(ME/100G)
- PLANTING SOILS SHALL HAVE A NORMAL CONTENTS OF NITROGEN, PHOSPHOROUS, POTASSIUM, CALCIUM, MAGNESIUM, SULFUR, AND PROPER MICRO-NUTRIENT LEVELS. NUTRIENT LEVELS MUST SATISFY GROWING NEEDS (AS RECOMMENDED BY A LAB REPORT) OF THE EXISTING OR PLANNED PLANT MATERIAL.
- LAB TESTING MAY BE REQUIRED TO VERIFY THE QUALITY OF EXISTING SOILS, PLANTING SOILS AND OTHER SOIL AMENDMENTS.

OPEN SPACE:
 OPEN SPACE REQ. - LDO 21.2-1(C) TBL 21.1 - 7500 SF
 OPEN SPACE PROVIDED: - LDO 21.2-4, 21.2-7(C) FORECOURT - 7627 SF



ROBERT MCGALLIARD
 PID: 123B089
 DB /PG: 683 / 335
 ZONE: SFR-3 (LANDIS)

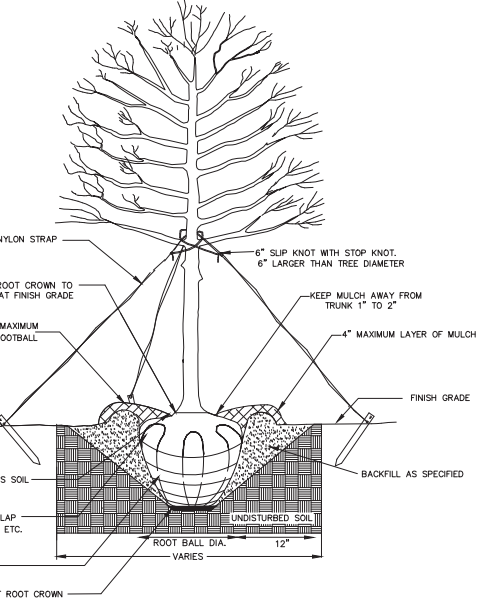
JOSEPH SELMA
 PID: 123 090
 DB /PG: 952 / 346
 ZONE: RU (CHINA GROVE)

DYNAMIC DEVELOPERS OF THE CAROLINAS LLC
 PID: 123B119
 ZONE: MU-1 (LANDIS)

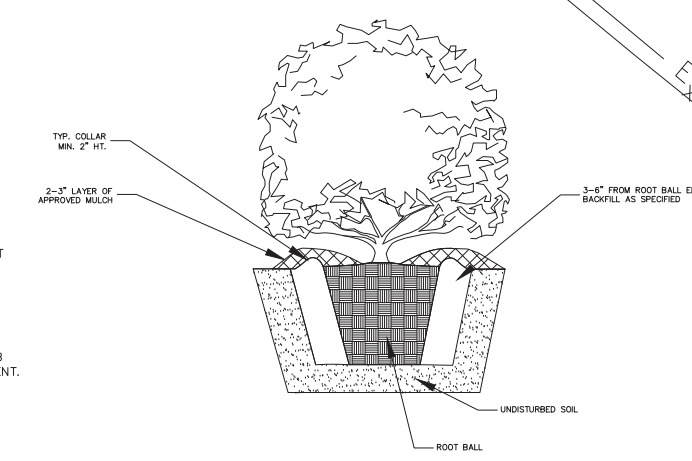
LARRY W PAGE FLP
 PID: 123B113
 DB /PG: 807 / 562
 ZONE: MU-1 (LANDIS)

SSMH
 RIM: 782.43'
 INV - 773.68'

- NOTES:**
- REMOVE WIRE AND NYLON TRUNK FROM BALL AND CANOPY.
 - SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
 - STAKING IS REQUIRED FOR ALL TREES IN R.O.W. OR UPON REQUEST OF ARBORIST.
 - REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF IN A LEGAL MANNER.
 - RESEED UNPAVED, DISTURBED AREAS.



- NOTES:**
- SCAFFOLD ROOT MASS OF CONTAINERIZED PLANT MATERIAL.
 - INSTALL CONTAINERIZED PLANTS AT FINISHED GRADE.
 - TAMP PLANTING MIX FIRMLY AS IT IS FILLED AROUND EACH PLANT BALL.
 - OMIT COLLAR AROUND EACH SHRUB IN-OR ORBITATION SYSTEM IS PRESENT.
 - SOAK EACH PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.



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 4. SHOWING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.

REVISION ISSUE		
NO	DATE	BY
00	LANDIS	03.12.24
01	DEV. PLAN	05.14.24
02	SUB. PLAN	06.17.24

LANDIS MULTIFAMILY

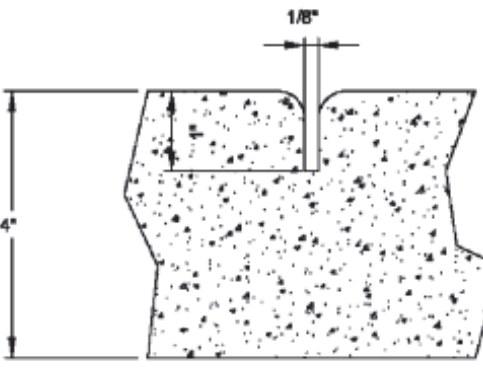
SHEET TITLE: SITE DETAILS

SHEET NUMBER:

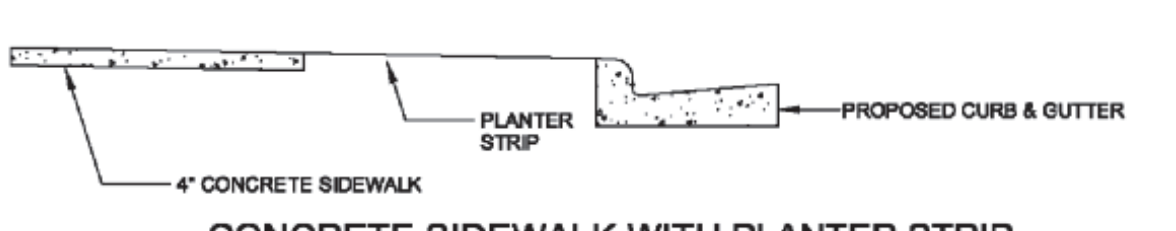
C-7.0

GENERAL NOTES:

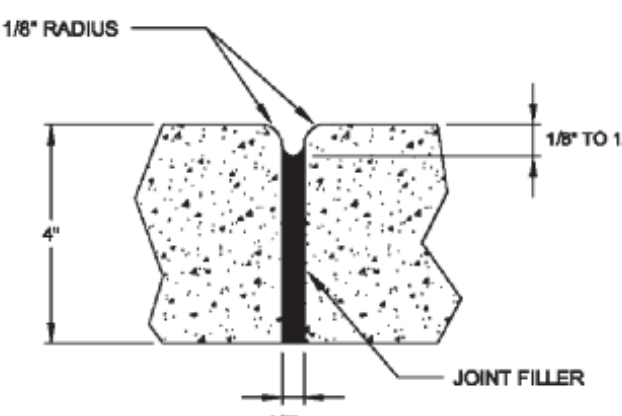
1. A GROOVE JOINT 1" DEEP WITH 1/8" RADI SHALL BE REQUIRED IN THE CONCRETE SIDEWALK AT 8' INTERVALS. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 45' INTERVALS NOT TO EXCEED 57' AND MATCHING EXPANSION/CONSTRUCTION JOINT IN ADJACENT CURB. A SEALED 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.
2. SIDEWALK AT DRIVEWAY ENTRANCES TO BE 6" THICK.
3. WIDTH OF SIDEWALK ON ALL STREETS SHALL BE A MINIMUM OF 5'.
4. CONCRETE COMPRESSIVE STRENGTH SHALL BE 3600 PSI. IN 28 DAYS.
5. ZONING CONDITIONS MAY REQUIRE ADDITIONAL WIDTH SIDEWALKS WHICH SHALL SUPERSEDE THESE STANDARD DIMENSIONS SHOWN.



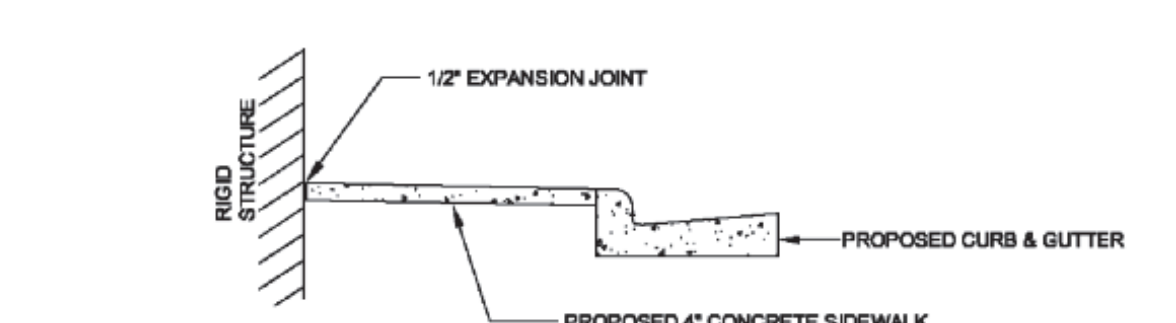
GROOVE JOINT IN SIDEWALK



CONCRETE SIDEWALK WITH PLANTER STRIP



TRANSVERSE EXPANSION JOINT IN SIDEWALK



DETAILS SHOWING EXPANSION JOINTS FOR CONCRETE SIDEWALK

TOWN OF	STANDARD	STANDARD NO.	REVISIONS
LANDIS, NC	CONCRETE SIDEWALK	3.01	NO DATE BY COMMENT


ACCESSIBLE PARKING REQUIREMENTS

TOTAL PARKING SPACES PROVIDED	MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED	MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED TO BE VAN ACCESSIBLE
1 TO 25	1	1
26 TO 50	2	1
51 TO 75	3	1
76 TO 100	4	1
101 TO 150	5	1
151 TO 200	6	1
201 TO 300	7	1
301 TO 400	8	1
401 TO 500	9	2
501 TO 1000	2% OF TOTAL	1 IN EVERY 8 ACCESSIBLE SPACES
1001 AND OVER	20 PLUS 1 FOR EACH 100 OVER 1000	1 IN EVERY 8 ACCESSIBLE SPACES


SECTION 4.1.2 (B) OF THE AMERICANS WITH DISABILITIES ACT (ADA) SEE 4.1.2 (G) FOR MEDICAL CARE FACILITIES

NOTES:


1. ALL 12"x18" ACCESSIBLE SIGNS (R7-5a & R7-1) SHALL BE MOUNTED AT 7 FEET FROM GRADE TO BOTTOM EDGE OF SIGN FACE (MUTCD). MOUNTING HEIGHT CAN BE REDUCED TO 5 FEET IF PLACED IN AN AREA BETWEEN SIDEWALK AND BUILDING FACE IN WHICH PEDESTRIANS ARE NOT EXPECTED TO USE.
2. REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) U.S. DEPARTMENT OF TRANSPORTATION AND NORTH CAROLINA DEPARTMENT OF TRANSPORTATION SUPPLEMENT.
3. IF ACCESSIBLE ROUTE IS A RAISED SIDEWALK AREA, THEN RAMPS ARE REQUIRED AT LOADING ZONE AREA.



A
VAN ACCESSIBLE
R7-5a 12x18"
MUTCD R7-5a 12x18"



B
NO PARKING DISABLED LOADING ONLY
MUTCD R7-1 12x18"
REQUIRED ACCESSIBLE RESERVED PARKING SIGN

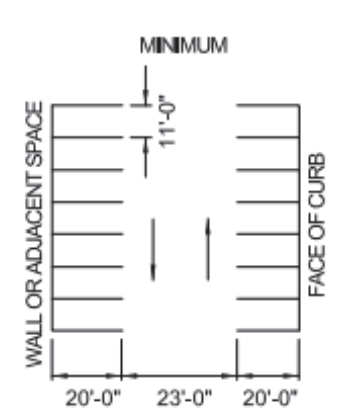


C
RESERVED PARKING
MUTCD R7-5a 12x18"
MAXIMUM PENALTY \$ 250

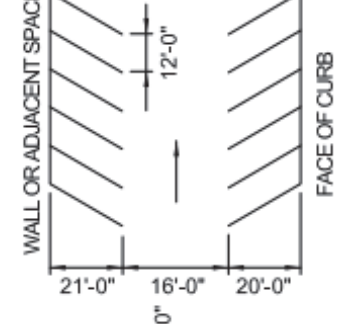
TOWN OF	STANDARD	STANDARD NO.	REVISIONS
LANDIS, NC	ACCESSIBLE PARKING AND SIGNAGE	2.11	NO DATE BY COMMENT

PARKING STANDARDS

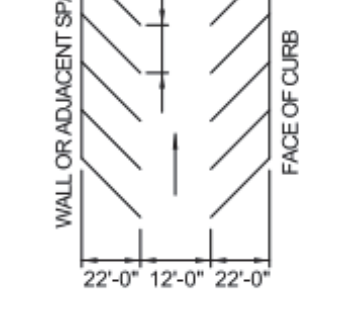
PARKING ANGLE 90° (TWO WAY OPERATION ONLY)



PARKING ANGLE 60° (ONE WAY OPERATION ONLY)



PARKING ANGLE 45° (ONE WAY OPERATION ONLY)

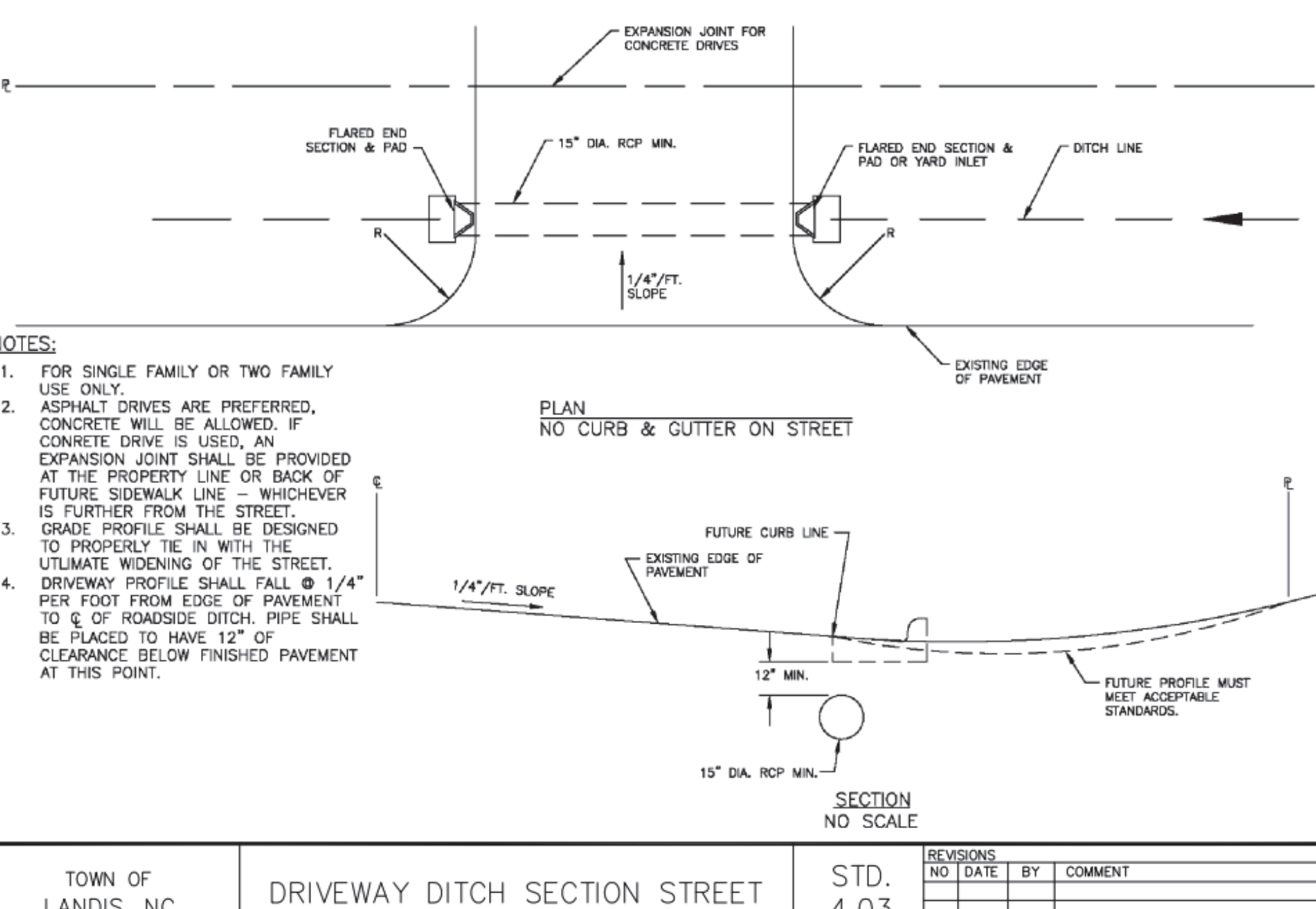


NOTES:

1. FOR ACCESSIBLE PARKING STANDARDS SIGNAGE SEE ADDITIONAL STANDARDS.
2. PAVEMENT MARKINGS SHALL BE 4" WHITE PAINT.
3. ALTERNATIVE PARKING ANGLES, AISLE WIDTHS, AND OPERATION (TWO-WAY ANGLED PARKING OR REVERSE-ANGLE PARKING) WILL BE CONSIDERED ON A CASE-BY-CASE BASIS.

TOWN OF	STANDARD	STANDARD NO.	REVISIONS
LANDIS, NC	PARKING STANDARDS	2.01	NO DATE BY COMMENT

DRIVEWAY DITCH SECTION STREET

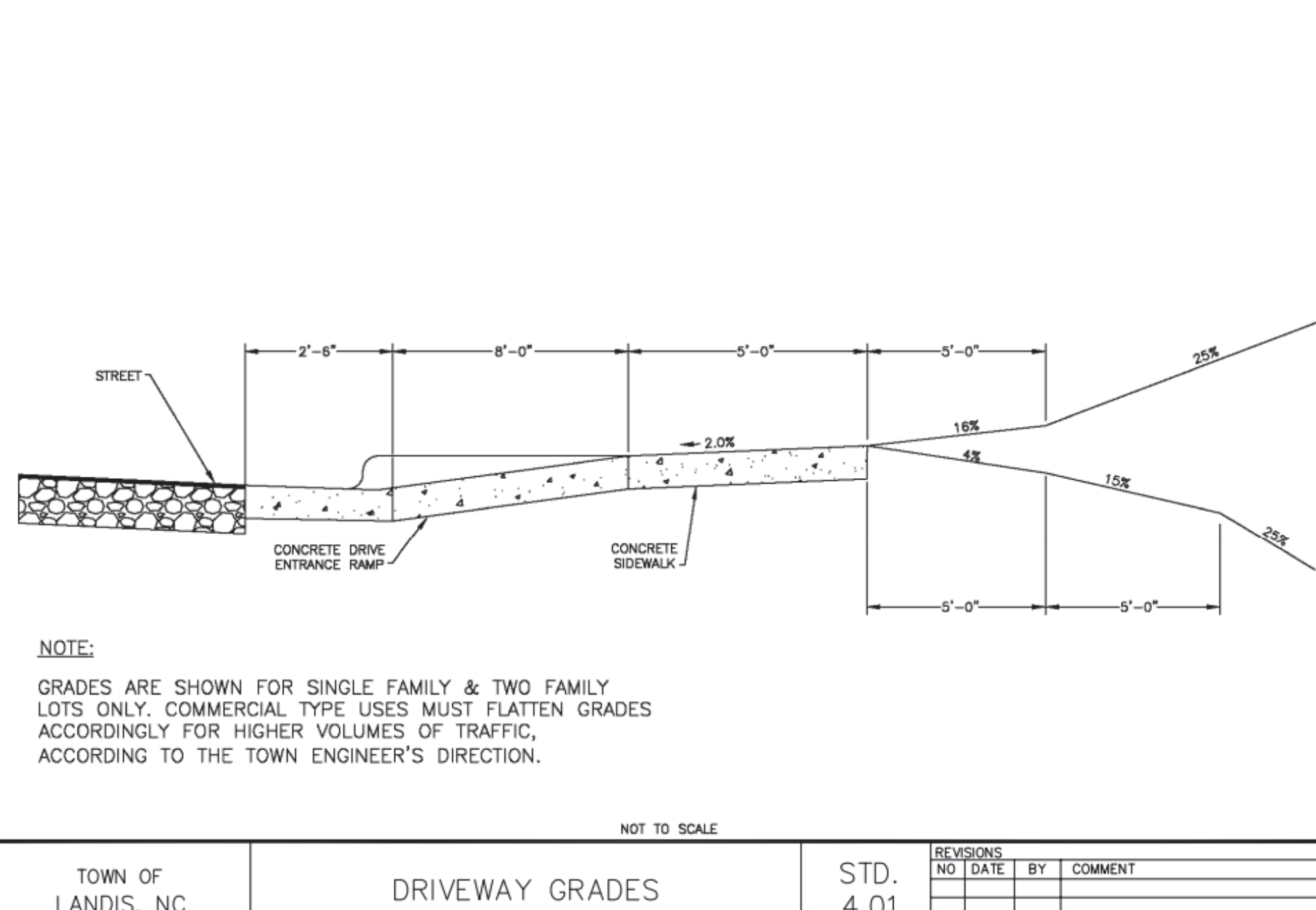


NOTES:

1. FOR SINGLE FAMILY OR TWO FAMILY USE ONLY.
2. ASPHALT DRIVES ARE PREFERRED, CONCRETE WILL BE ALLOWED. IF CONCRETE DRIVE IS USED, AN EXPANSION JOINT SHALL BE PROVIDED AT THE PROPERTY LINE OR BACK OF FUTURE SIDEWALK LINE - WHICHEVER IS FURTHER FROM THE STREET.
3. GRADE PROFILE SHALL BE DESIGNED TO PROPERLY TIE IN WITH THE ULTIMATE WIDENING OF THE STREET. DRIVEWAY PROFILE SHALL FALL @ 1/4" PER FOOT FROM EDGE OF PAVEMENT TO C&G OF ROADSIDE DITCH. PIPE SHALL BE PLACED TO HAVE 12" OF CLEARANCE BELOW FINISHED PAVEMENT AT THIS POINT.

TOWN OF	STANDARD	STANDARD NO.	REVISIONS
LANDIS, NC	DRIVEWAY DITCH SECTION STREET	4.03	NO DATE BY COMMENT

DRIVEWAY GRADES

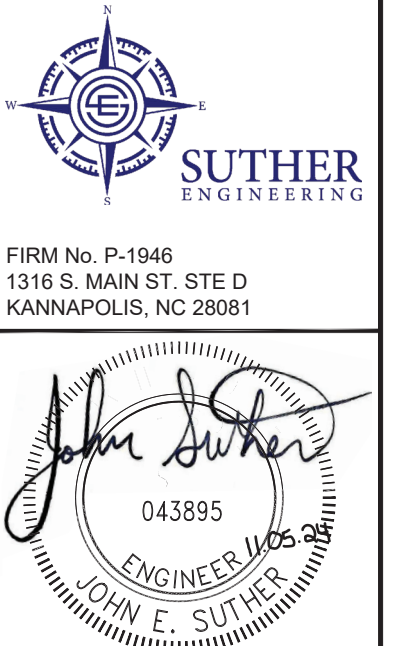
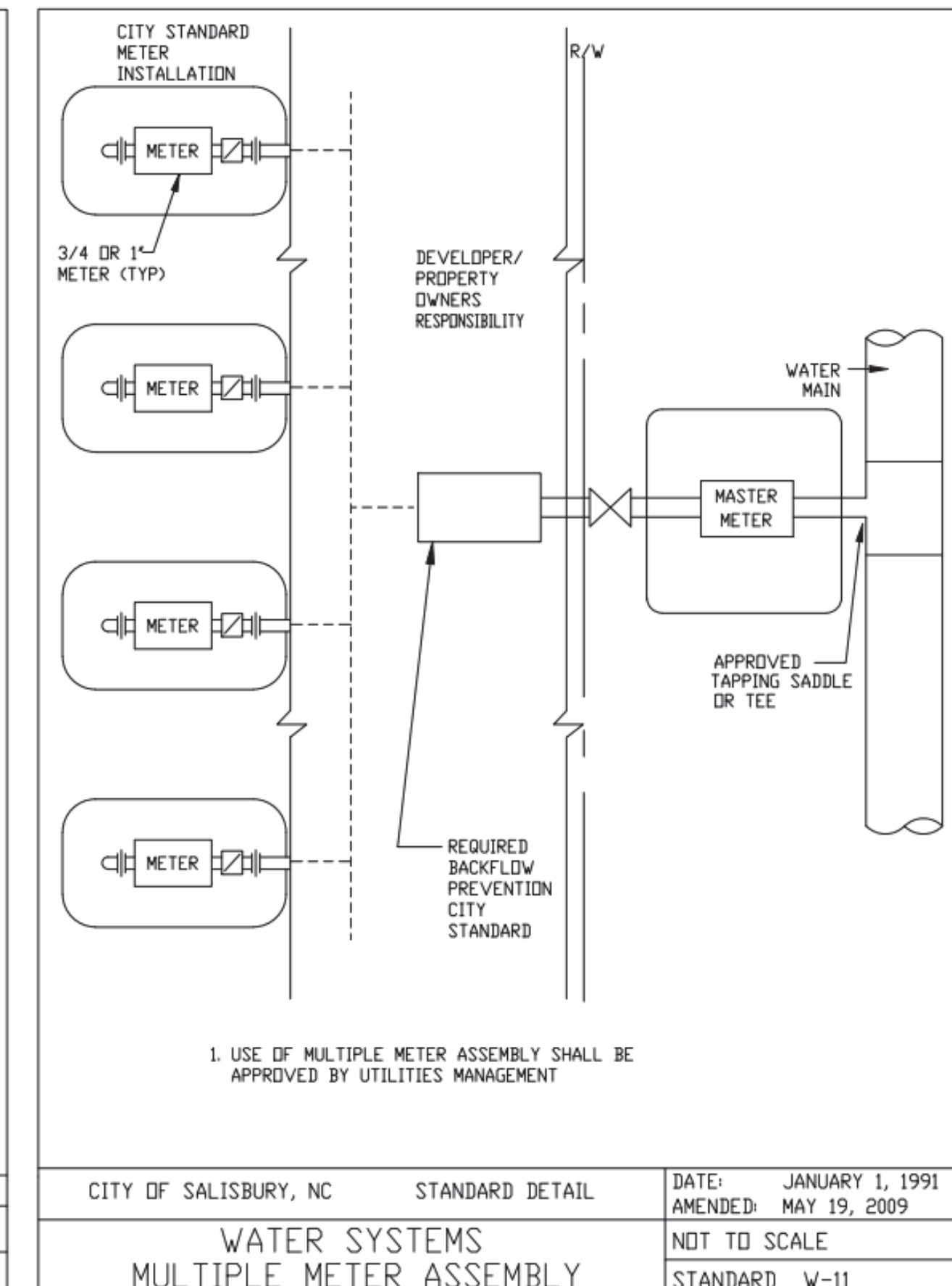
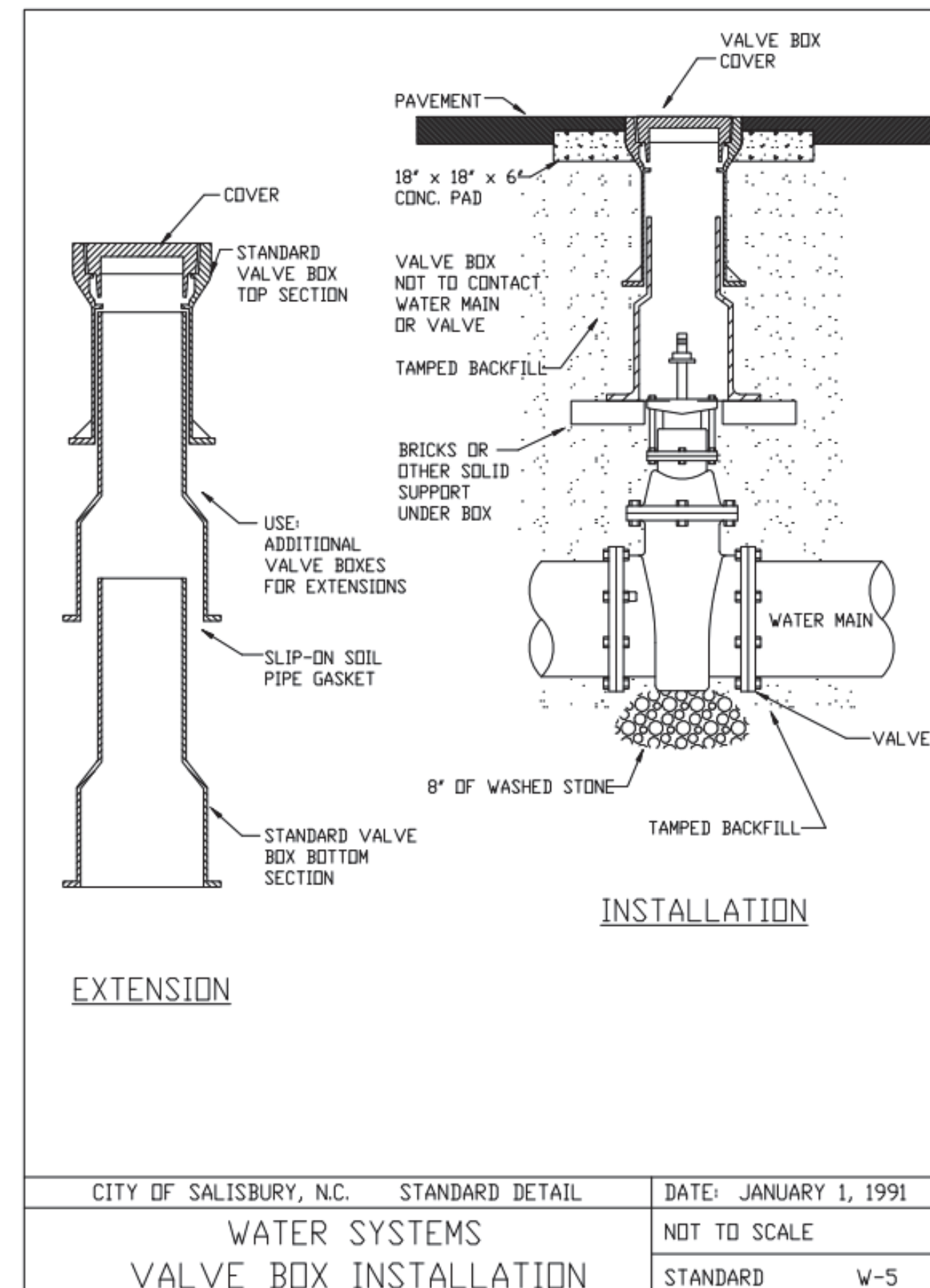
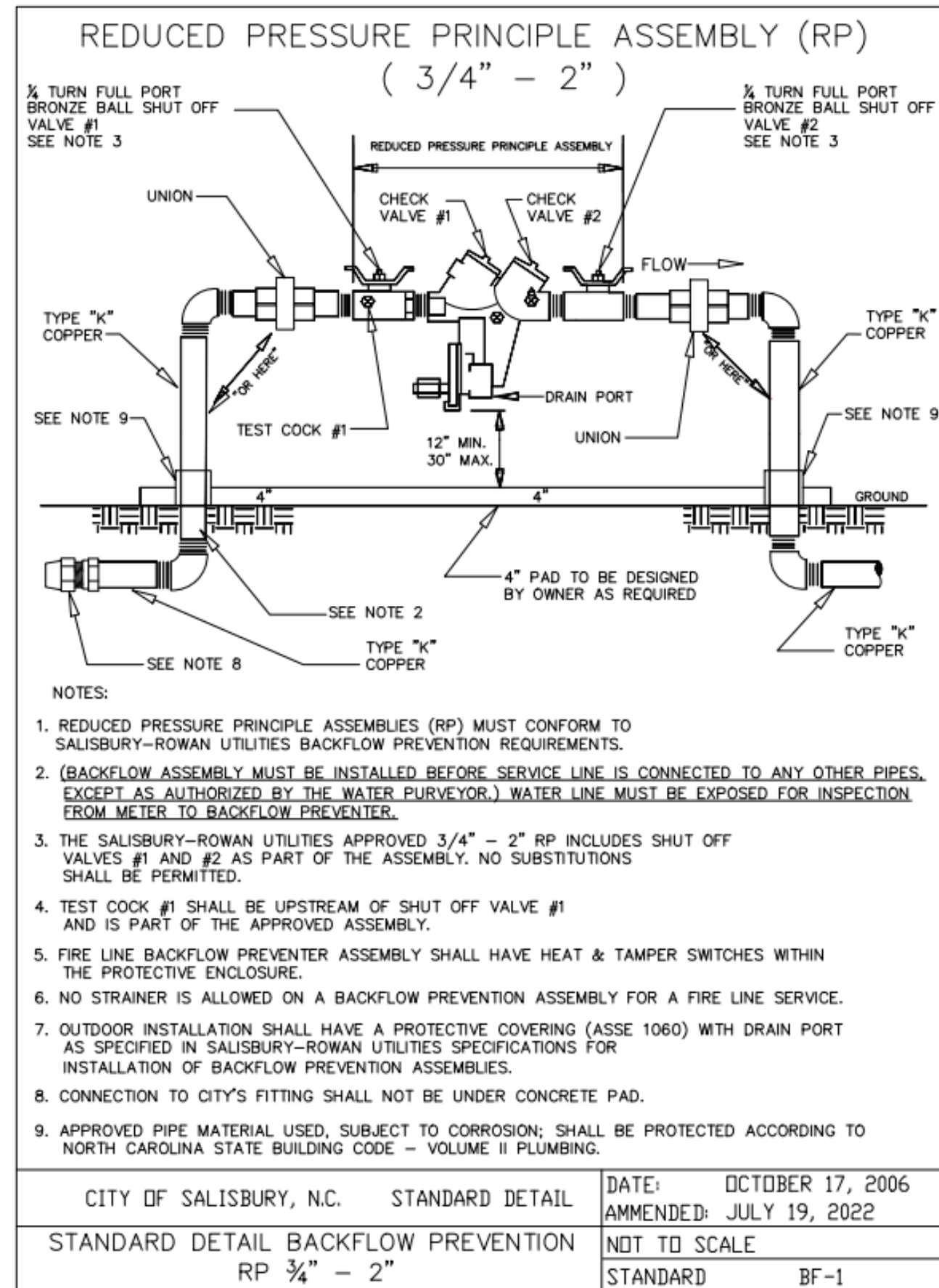
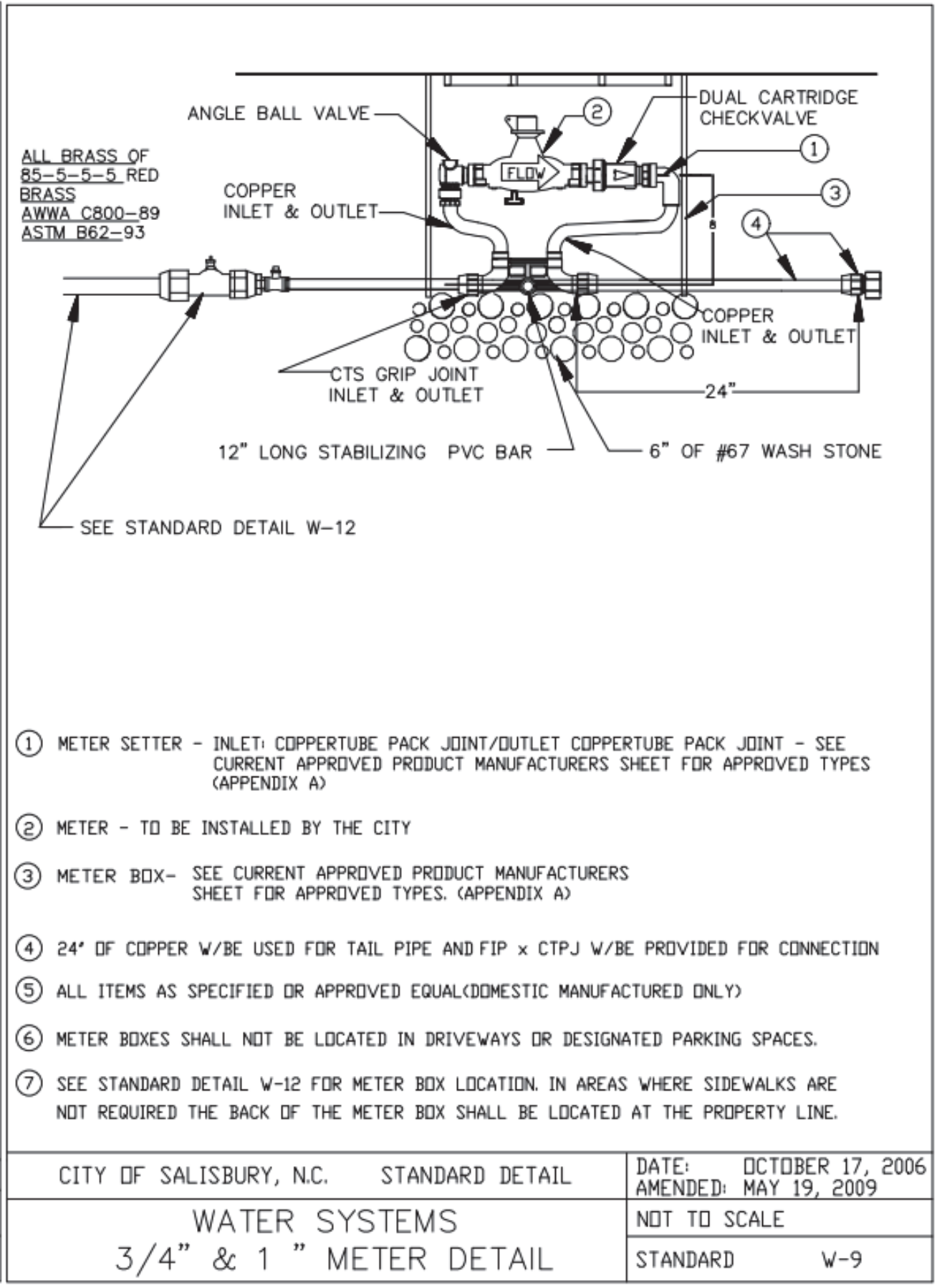
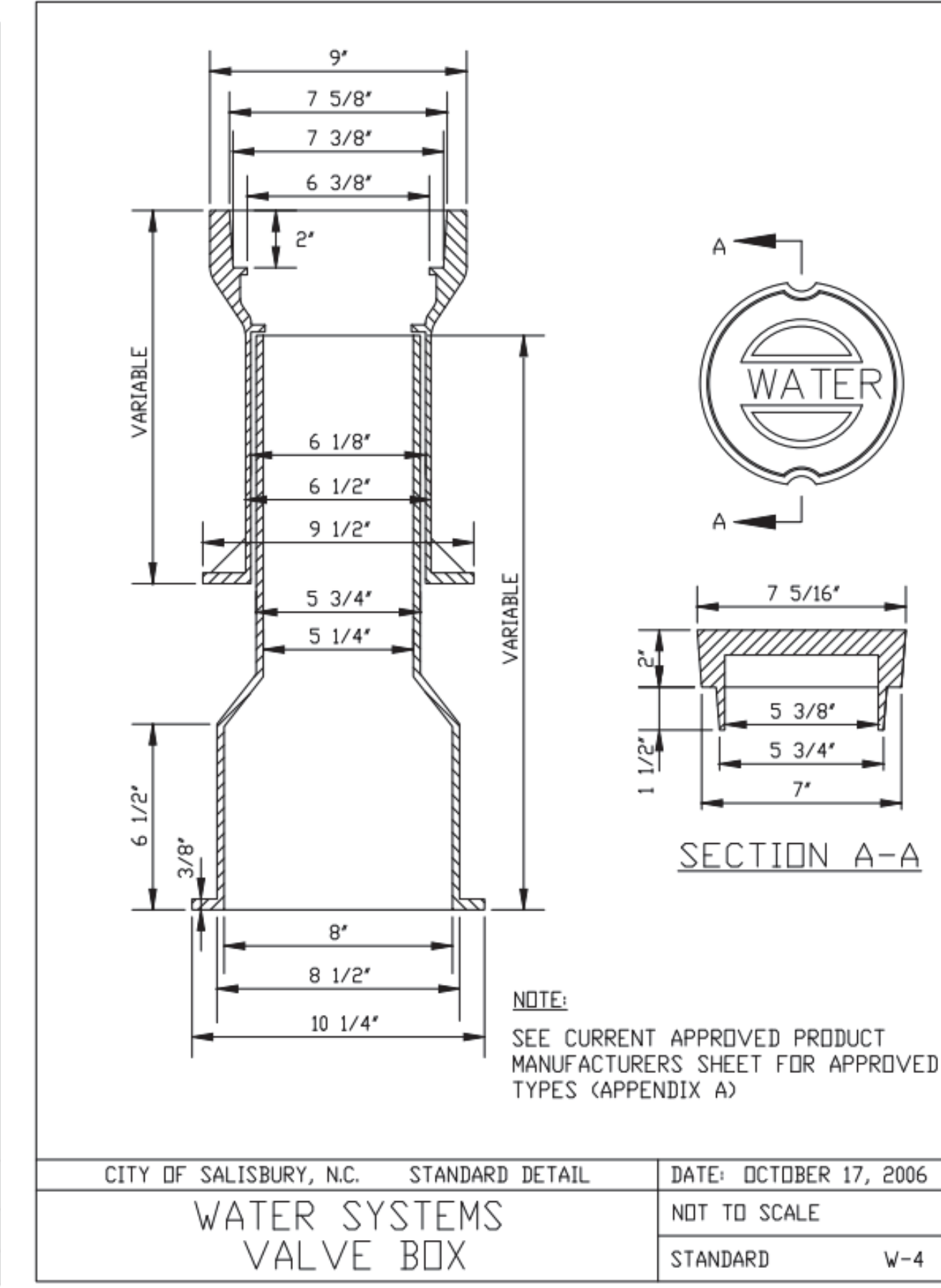
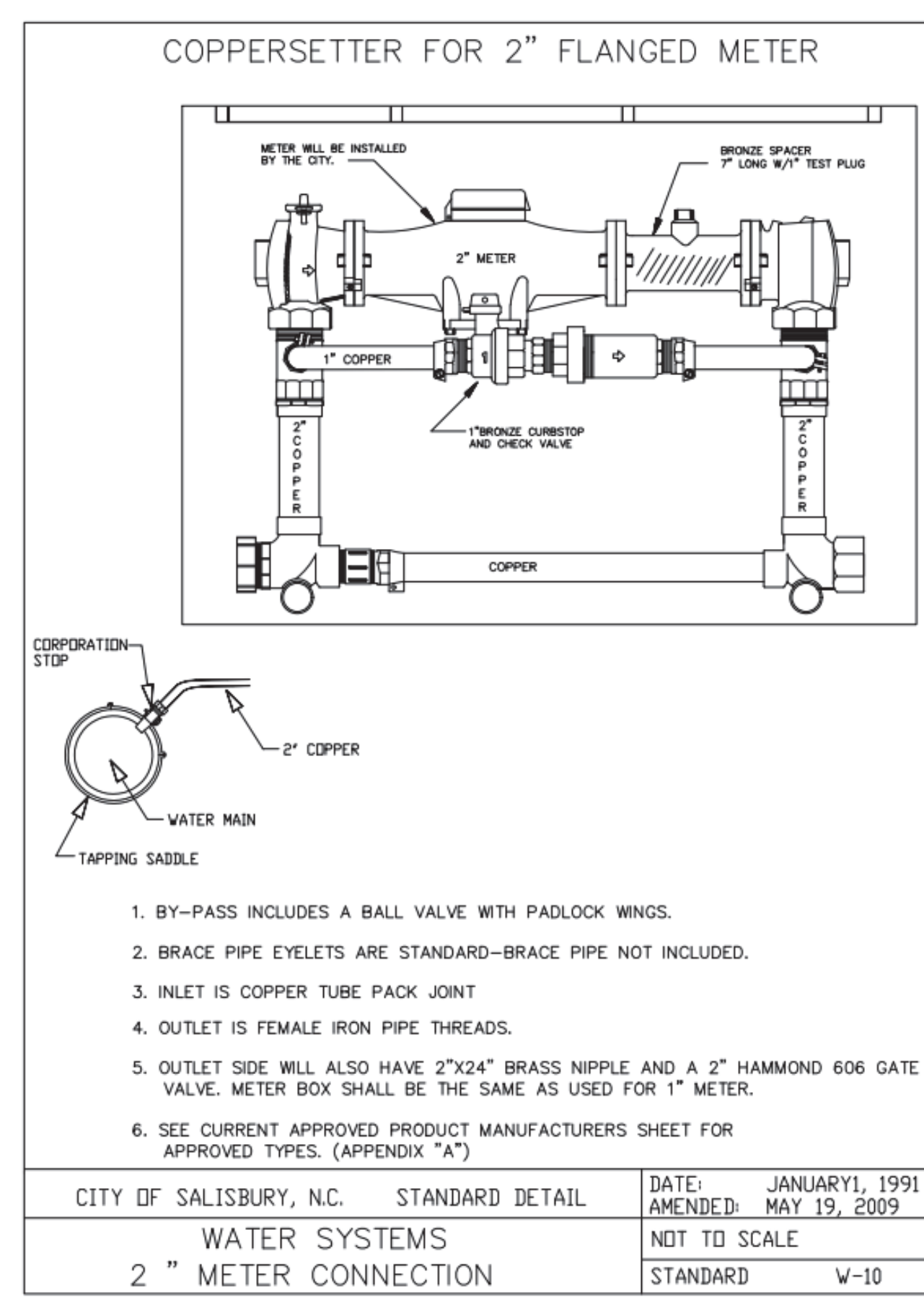
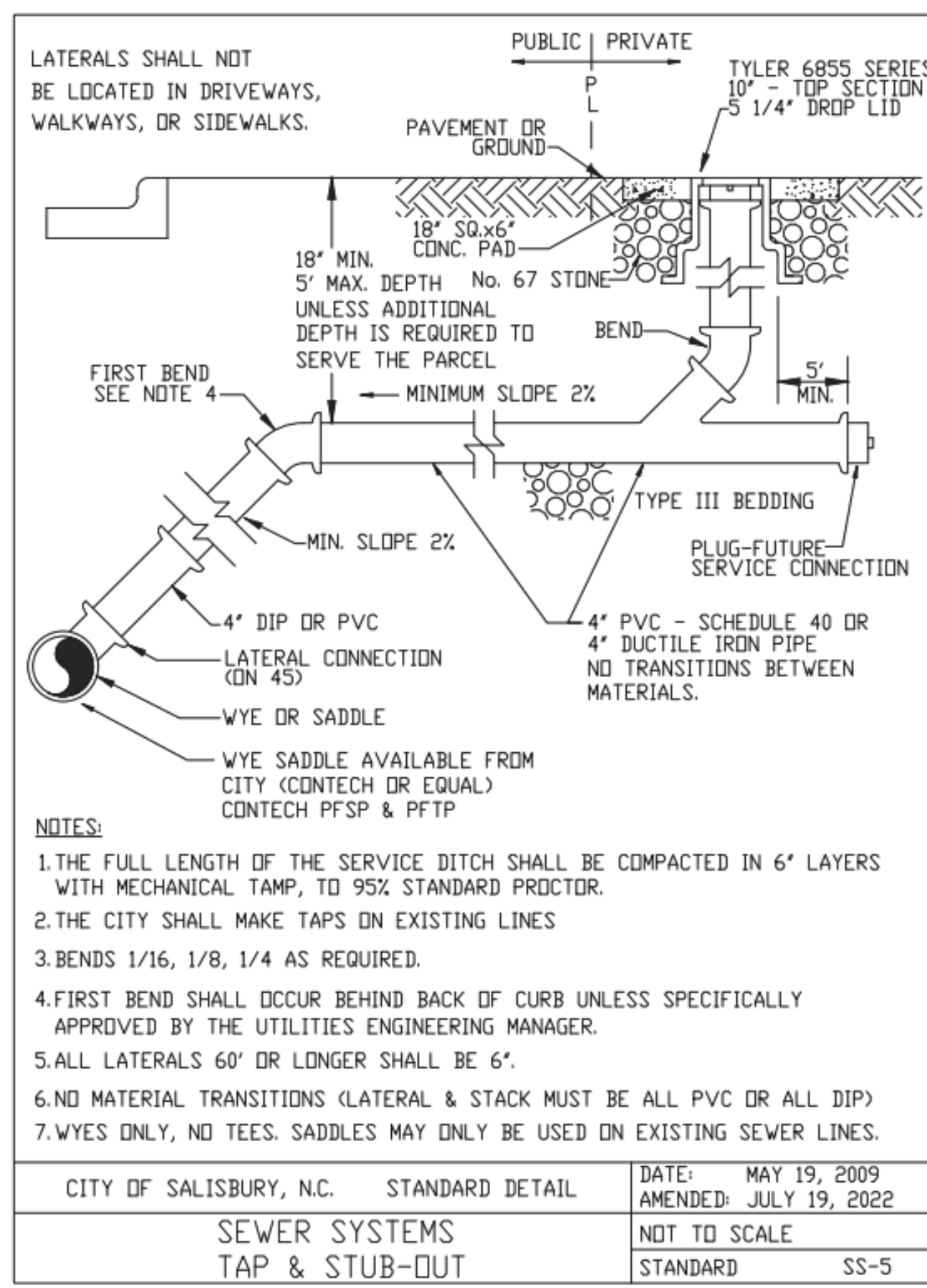


NOTE:

GRADES ARE SHOWN FOR SINGLE FAMILY & TWO FAMILY LOTS ONLY. COMMERCIAL TYPE USES MUST FLATTEN GRADES ACCORDINGLY FOR HIGHER VOLUMES OF TRAFFIC, ACCORDING TO THE TOWN ENGINEER'S DIRECTION.

NOT TO SCALE

TOWN OF	STANDARD	STANDARD NO.	REVISIONS
LANDIS, NC	DRIVEWAY GRADES	4.01	NO DATE BY COMMENT



SUBJECT PROPERTY INFO:

PARCEL ID(S): 1238119

DEED BOOK & PAGE: DB: 1423 PG: 854

CURRENT ZONING: MU-1 (LANDIS)

PROPERTY LOCATION: LANDIS TOWNSHIP, ROWAN COUNTY

OWNER INFORMATION: DYNAMIC DEVELOPERS OF THE CAROLINAS LLC, 210 OAK AVE, KANNAPOLIS, NC 28081

- PLAN NOTES:
1. PLAN NORTH IS BASED ON NAD83(2011)
 2. GEODETIC MONUMENTS WERE SURVEYED AS SHOWN
 3. ALL DISTANCES ARE GROUND HORIZONTAL UNLESS OTHERWISE NOTED
 4. PROPERTY MAY BE SUBJECT TO BURDENS OR BENEFITS NOT SHOWN ON MAP.
 5. NO UNDERGROUND UTILITIES WERE LOCATED WITH THIS PLAN. BEFORE DIGGING CALL NO ONE-CALL (1-800-632-4949)
 6. ZONING DISTRICTS NOTED ARE PER GIS INFORMATION AVAILABLE TO THE PUBLIC
 7. THE SUBJECT PARCEL(S) AND ANY ADJOINING PROPERTY OWNERS NAMES, DEEDS OF RECORD, AND TAX PARCEL IDENTIFICATIONS REFLECT THOSE AVAILABLE TO THIS ENGINEER AS OF THE DATE OF THE PLAN SHOWN
 8. SURVEY INFORMATION FOR THIS PLAN SHOWN WAS PROVIDED BY: HARRISBURG SURVEYING

REVISION ISSUE		
00	LANDIS	03.12.24
01	DEV. PLAN	05.14.24
02	SUB. PLAN	06.17.24

LANDIS MULTIFAMILY

SHEET TITLE: UTILITY DETAILS

SHEET NUMBER:

C-7.1