



July 29, 2024

Planning Commission
Village of Lake Orion
21 E. Church St.
Lake Orion, MI 48362

Subject: VLO-24-02 44 E. Flint, Site Plan Review #2

Commissioners:

We have received a site plan application from Jeff Schmitz (the “applicant/developer”) for the construction of a ±6,700 square feet, 4-story mixed-use building located at 44 E. Flint Street (the “project”). The project is in the Downtown Center (DC) District and Height Overlay District on the southwest corner of E. Flint Street and S. Anderson Street. The project is situated on two parcels (09-02-481-007 and 09-02-481-008). In July 2021, the developer received site plan approval for the construction of a paid parking lot within the project area.

In November 2022, a conceptual mixed-use proposal was brought to the Planning Commission for discussion. Conversations with Village staff picked back up in 2024 to envision a higher and better use for the site. We offer the following comments for your consideration; with underlined text denoting items that require additional information, consideration, or a waiver from the Code.

SUMMARY OF COMPLIANCE

Additional details can be found in the relevant sections of this report. Modifications to the site layout and building design may arise as a result of the most recent staff reviews and future conversations regarding emergency access, shared use, and license agreements; therefore, we recommend that the applicant revise and resubmit materials for further consideration.

Ordinance Standards	Compliance	Comments
1. Required Information	Complies	<u>Additional easement information, provisions, and/or abandonment may be required.</u>
2. Use & Harmonious Design	Complies	<u>Note intent to comply on revised site plan.</u>
3. Dimensional Standards	<u>Can Comply</u>	<u>Modifications required for height allowance; lot combination required.</u>
4. Natural Features / Landscaping	<u>Can Comply</u>	<u>Modifications required; Village Council approval required for ROW.</u>
5. Access & Circulation	<u>Can Comply</u>	<u>Modifications, Engineer approval, and Fire Marshal approval required.</u>
6. Parking & Loading	<u>Can Comply</u>	<u>Waiver and on-street design modifications required; shared use/access agreements required for dumpster.</u>
7. Building Design	Complies	<u>Note canopy clearance; consider alternative lighting.</u>
8. Engineering / SWM	<u>Can Comply</u>	<u>See Engineer’s report dated July 23, 2024.</u>
9. Lighting	<u>Can Comply</u>	<u>Reduction along Anderson and waiver along Flint required.</u>



Site Plan Review

Standards for Site Plan Approval are set forth by Article 19: Administrative Procedures and Standards. This project is reviewed against the Village's [Zoning Ordinance](#), Master Plan, existing site conditions, and sound planning and design principles.

1. REQUIRED INFORMATION

Section 19.02(D) lists the information required of all site plans undergoing Planning Commission review. The revised site plan is reasonably complete; however, we note that additional information regarding existing easements on the site will be required, per the Village Engineer letter dated July 23, 2024. Additional information or materials may be requested by the Planning Commission.

2. USE & HARMONIOUS DESIGN

Standards: *All elements of the site shall be harmoniously and efficiently designed in relation to the topography, size, and type of land, and the character of the adjacent properties and the proposed use. The site will be developed so as not to impede the normal and orderly development or improvement of surrounding properties for uses permitted on such property.*

The site is zoned the DC, Downtown Center District where the proposed mixed-use building is considered to be acceptable should the Project comply with the following applicable standards:

- a. *All business establishments shall be retail, service, or entertainment establishments dealing directly with consumers. All goods produced on the premises shall be sold primarily from the premises where produced.*
- b. *All business, servicing, or processing (except for off-street parking or loading) shall be conducted within completely enclosed buildings, except as a permitted temporary use.*
- c. *Storage of commodities shall be within buildings and shall not be visible to the public from a street or thoroughfare.*

Proposed uses include ground-floor retail, second-floor office/service, and third- and fourth-floor residential; future tenants are unknown at this time. Tenants that serve liquor (bars, restaurants) must go through the special land use approval process prior to the establishment of such use(s) (Sec. 6.02(B)(6)). The applicant response letter states future tenants will comply with the requirements above. A note to this effect shall be included on a revised site plan.

3. DIMENSIONAL STANDARDS

Standards: *The site plan shall comply with the district requirements for minimum floor area, height of building, lot size, yard space, density and all other requirements as set forth in the Schedule of Regulations.*

The project generally complies with the dimensional standards of the DC and Height Overlay Districts; all comments below are subject to an approved lot combination being completed prior to final approval.

Standard	Required	Proposed	Comments
Min. Lot Area	n/a	0.31 ac.	Complies



Standard	Required	Proposed	Comments
Min. Lot Width	n/a	112 ft.	Complies
Max. Front Yard Setback	10 ft	0 ft.	Complies
Max. Side Yard Setback	10 ft.	0 ft.	Complies
Max. Rear Yard Setback	n/a	~43 ft.	Complies
Max. 1 st Floor Area	20,000 sq. ft.	~6,700 sq. ft.	Complies
Max. Building Height	52 ft. / 4 stories	~51 ft. / 4 stories	<u>May Comply (Height Overlay, see below)</u>

Height District Overlay Standards: *When reviewing any proposed building within the Height Overlay District, the Village shall find the proposed location for the structure, its form, and its relationship to adjacent land uses and buildings meets all of the following criteria:*

- a. *Shall be of such orientation to adjacent land uses and buildings as to be context sensitive in design.* The proposed building generally complies with the dimensional standards above and is oriented towards Flint Street, one of the primary retail frontages downtown, consistent with the other buildings along the street. The project would create a more consistent and contextually sensitive street frontage, which is currently interrupted by a parking lot. Additionally, the proposed land uses are consistent with the area and sound planning principles; by incorporating a mix of uses, including residential, the development helps transition from the retail core to the surrounding neighborhoods.
- b. *Shall incorporate building height modulation to reduce the building scale at the street edge(s) or lakefront (where determined), with the fourth (4) story stepped back a minimum of ten (10) feet from the main building face(s).* The fourth-floor walls fronting Flint Street are shown to be stepped back about 8.25 ft. from the front building line along Flint; this must be increased to meet the 10 ft. standard. Along Anderson, the façade must be stepped back in compliance with the 10 ft. requirement.
- c. *Shall incorporate architectural features, including, but not limited to: arches, arcades, porticos, repeating window patterns, and cornices. Blank walls facing streets or public areas shall be prohibited.* The applicant has incorporated several high-quality architectural features, including arches, porticos, repeating window patterns, and cornices to the front (East Flint) elevation. In addition, the Applicant has revised the Anderson Street Elevation to match the front, with a portico and additional glazing. Due to the alleyway's small setback and private ownership, the Applicant is not required or able to include windows, instead providing articulation in the brick façade to create a similar rhythm to the East Flint and Anderson facades. These features may be ideal locations for small-scale murals to further enhance downtown.
- d. *Shall have a discernible base and cap that are clearly defined by horizontal elements along the bottom and top of the building.* The proposal includes a clearly discernible cap, with charcoal-colored metal panels and heavy roof line. The ~4-ft.-high limestone base is not clearly discernible from the rest of the façade, being short relative to the height of the building and similarly lightly colored. This gives the building a monolithic appearance. We continue to recommend a warmer-colored brick or base stone for the building to provide additional contrast to the uniform "verticality" of the building and create a clearly defined horizontal base. This would also serve to soften the building's appearance and enhance compatibility with the surrounding area and historic feel without compromising the contemporary design. The Planning Commission shall be provided with



building materials and color samples for review and approval.

- e. *Screening shall be compatible with the architectural design of the building.*
The plans show the parking lot and transformer screened with an existing 4-ft.-high CMU block wall along the south property line and at the southern corners, which also serves to partially screen the DDA-owned parking lot to the south. The wall is in good condition and the applicant proposes painting the wall to match the building colors; we believe the screening will be compatible with the design of the building.

4. NATURAL FEATURES & LANDSCAPING

Standards: *The existing natural landscape shall be preserved in its natural state as much as possible, by minimizing tree and soil removal and by topographic modifications that result in maximum harmony with adjacent properties. There shall be reasonable visual and sound privacy. Fences, walks, barriers, and landscaping shall be used, as appropriate, for the protection and enhancement of property and the safety and privacy of occupants and users.*

Per Section 15.02, parcels located within the Downtown Center District are exempt from the requirements of Section 15.02, except for the following standards:

- a. *Trees shall be provided to enhance the building and street where determined appropriate by the Planning Commission.*
- b. *Planter boxes or other landscape features shall be incorporated where appropriate.*
- c. *Outdoor utility equipment, such as transformers, shall be screened to the greatest extent possible by fences, walls, planter boxes or landscape features.*

The site plan shows three (3) existing street trees along Flint that will be maintained. The renderings show five (5) planters along Flint St., aligned with the building's columns; these shall be required, shown on the site plan, and maintained by the property owner. Right of way landscape beds are proposed along Anderson St. that connect with existing landscape beds to create a cohesive streetscape, in addition to new curbing and repainted on-street parking to improve pedestrian access and stormwater management. We recommend an additional street tree be placed in the southernmost landscape bed; low shrubs and perennial plantings should be incorporated into the other two modified landscape beds along Anderson. Landscaping within the right of way and removal of on-street parking are subject to review and approval by Village Council via license agreement. A draft license agreement describing the improvements and providing for their continued maintenance, with an exhibit showing their precise location shall be provided for review by the Village Attorney.

The proposed transformer located on the southeast corner of the property, is shown to be screened on two sides (south and east) by the existing 4-ft. block screen wall enclosing the parking area. Boxwood shrubs are proposed for screening the transformer to the west and north, however, these are only 24 inches tall; we recommend a taller species, as typical shrub screening should be no less than 5 feet tall at planting. Further, we recommend that additional upright plantings be included between the transformer and walls to achieve maximum visual buffer.

5. ACCESS & CIRCULATION

Standards: *All buildings or groups of buildings shall be so arranged as to permit convenient and direct emergency vehicle access. The arrangement of public or common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets or pedestrian or bicycle pathways in the vicinity of the site. Streets and drives that are a part of an existing or planned street system serving adjacent developments*



shall be of an appropriate width to the volume of traffic they are planned to carry and shall have a dedicated right-of-way equal to that specified in a recognized source of reference. There shall be a pedestrian circulation system that is insulated as completely as possible from the vehicular circulation system.

- a. **Vehicular Access.** Vehicular access to the site is provided by a two-way, 22-ft.-wide driveway off Anderson Street, leading to off-street residential parking. Clear vision egress out of the site would have been obstructed by the existing 90-degree on-street parking south of the drive. The site plan proposes modifying the on-street parking with a lesser number of angled spaces (as previously recommended during initial review) as well as right-of-way landscape beds that help create a defined access point and improve visibility and access. Although the angled parking provides safer maneuverability into and out of the on-street spaces and lessens the likelihood of pedestrian conflicts, we note that the spaces now project further into the southbound Anderson St. driving lane, about 2.5 ft. more than 90-degree parking spaces would. This potentially encroaches upon the required Fire Dept. aerial access road (Anderson). Unless adequate access can be demonstrated, we recommend that the applicant convert this area back to five (5) 90-degree parking spaces, 9 ft. x 19 ft., with a landscape bed around the existing light pole and bollards. To minimize vehicle encroachment over the sidewalk, wheel stops should be provided. As noted previously, right-of-way improvements are subject to review and approval by the Village Council.

Vehicular and emergency access for the site is subject to further review and approval by the Village Engineer and Fire Marshal. We note that existing overhead wires (and, possibly, the angled on-street parking) pose an emergency access issue which will require additional site modifications. Nothing shall preclude the applicant from exploring shared access opportunities with neighboring parcel owners, including the DDA.

- b. **Cross Access.** There is no vehicular cross access proposed at this time and only one ingress/egress is proposed for the site along the less-trafficked Anderson Street. We do not believe that cross-access is necessary given the location, uses, and geometric constraints of the site; however, nothing shall preclude the applicant from exploring shared access opportunities with neighboring parcel owners.
- c. **Pedestrian Connectivity.** The existing right-of-way sidewalks along Flint and Anderson will be maintained and a 7-ft. concrete walk along the south side of the building provides access to the Anderson sidewalk and rear parking area. Pedestrian access is maintained to the parking lot and dumpster enclosure within the DDA parking lot to the south as well as to the western alleyway, which has ownership split across three (3) parcels, including one owned by the Village. The 5-ft. sidewalk along Anderson is now shown to be curbed for pedestrian safety, accessibility (14.04(B)(3)), and stormwater management. As noted in Item 5a above, the on-street parking layout requires further modification; however, curbing shall be maintained in this area connecting from the entrance drive to the existing curb at the corner of Flint and Anderson. As a matter of public welfare, curbing and sidewalk modifications do not require separate approval by the Village Council, provided these improvements are approved by the Village Engineer.

6. PARKING & LOADING

Standards: *Off-street parking, loading, and unloading areas and outside refuse storage areas, or other storage areas that face or are visible from adjacent homes, or from public thoroughfares, shall be screened by walls, fencing or landscaping of effective height.*

- a. **Parking Spaces.** Because the project is a mixed-use building, the applicant needs to provide an adequate number of off-street parking spaces per use; however, in the DC District, off-street parking is not required for office or retail uses. Therefore, only parking for multifamily residential is required at a rate of two (2) spaces per dwelling unit. With ten units, 20 spaces are required; 19 are shown on the plan, with one space dedicated for barrier-free, van-accessible parking. The Planning Commission may modify parking



requirements and we recommend their approval of this lesser amount of parking. This is based on the development's location in the downtown core, which encourages walkability and the use of other non-motorized transportation. The anticipated occupancy of a multiple family building – single adults, couples, and small families – with eight (8) two-bedroom units and two (2) one-bedroom units is lower when compared to an equivalent number of single-family homes, which carry the same 2:1 parking requirement.

- b. **Dimensions and Layout.** The 19 off-street parking spaces are entirely within the site, dimensioned at 9 ft. x 19 ft. with a 22-ft.-wide maneuvering lane, as required by the ordinance.
- c. **Loading Space.** One 10 ft. x 50 ft. off-street loading space is required (Sec. 14.05(C)) for retail space between 2,000-20,000 square feet; however, loading should not be closer than 50 ft. to a residentially zoned or used parcel. A residential use is across Anderson with the site itself being mixed-use. An existing loading space along Flint Street (approximately 9 ft x 39 ft) is proposed to be maintained. The Planning Commission may modify loading requirements and we recommend that the Commission approve this smaller on-street loading space to accommodate smaller delivery and postal trucks. It is not anticipated that future tenants will require large semi-truck deliveries; however, should the need arise, a second on-street loading space (~ 9 ft. x 30 ft.) exists to the west, in front of the alley and Hanson's and the applicant should relocate their loading space to abut the existing loading space to the west, effectively creating a shared loading space nearly 70 ft. long. Further, about 10 feet of alley width is owned by the Village and could accommodate short-term deliveries.
- d. **Trash Enclosure.** An off-site dumpster is shown in the DDA-owned parking lot to the south, with pedestrian access from the development site. Details for the enclosure walls and gates must be provided and comply with the design standards found in Section 13.21. The DDA has indicated an interest in working with the applicant to establish shared use and access agreements for the dumpster. Draft agreements must be provided for review by the Village Attorney.

7. BUILDING DESIGN & ARCHITECTURE

Standards: *Building design and architecture shall relate to and be harmonious with the surrounding neighborhood in terms of texture, scale, mass, proportion, materials, and color. Buildings should be designed with stylistic harmony and aim to serve people of all ages and abilities.*

In addition to the specific requirements of the Height Overlay District, the building must comply with the development standards of the Downtown Center District (6.03(C)); standards requiring compliance are summarized as follows:

- a. **Complementary Character.** The Village Downtown is historic, with several excellent examples of preserved and enhanced buildings. The proposed development incorporates arches, porticoes, masonry coursework, and is oriented to the street as a tribute to this character. Per previous recommendations, the Applicant has adequately updated the design of the building to add architectural interest along Anderson.
- b. **Windows.** On street-facing facades, the minimum percentage of glazing on the ground floor is 50%, with windows raised two feet from the ground; on upper stories, it is 30%, with upper story windows having a vertical orientation. The Applicant has revised the elevations, exceeding the required standards.
- c. **Canopies.** Cloth fabric canopies are encouraged, while metal canopies are discouraged. This is not prescriptive language, and we believe the proposed metal canopies are satisfactory for the building. A note shall be included on the elevations stating 7.5-foot clearance from the sidewalk.
- d. **Lighting.** Fixtures should be harmonious with the existing street lighting. The proposed sconce lighting is very sleek and relatively large; although compatible with the style of the building, we recommend more



traditional fixtures such as gooseneck or lantern-type lighting to complement the historic character of the area.

- e. **Facades.** Flat facades are prohibited. Per previous recommendations, the Applicant has revised the building's elevations to prevent flat facades. The applicant has incorporated several high-quality architectural features, including arches, porticos, repeating window patterns, and cornices.

8. ENGINEERING / STORMWATER MANAGEMENT

Standards: *Appropriate measures shall be taken to ensure that the removal of stormwater will not adversely affect adjoining properties or the capacity of the public storm drainage system and shall comply with State and Federal standards. Provisions shall be made for the construction of stormwater facilities, and the prevention of erosion and dust. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicles or pedestrian traffic and will not create nuisance ponding in paved areas. Adequate services and utilities and improvements shall be available or provided, located and constructed with sufficient capacity and durability to properly serve the development. All utilities shall be located underground. Where possible and practical, drainage design shall recognize existing natural drainage patterns.*

We provide comments for additional landscaping and curbing within this report to support stormwater management for and around the site; these modifications and all stormwater and utility requirements must be verified and addressed to the satisfaction of the Village Engineer. In addition to preliminary and final site plan review, the project must undergo a detailed engineering review, prior to being reviewed and permitted by the Building Department.

9. LIGHTING

Standards: *Exterior lighting shall be so arranged so that it is deflected away from adjoining properties and so that it does not impede vision of drivers along adjacent streets.*

Findings: Both building-mounted and freestanding pole lighting are proposed for the development; a photometric plan and fixture cut sheets have been provided. Illumination requirements are as follows:

Lighting Category	Standard	Proposed	Comments
Max. Height of Fixtures	22 ft.	15 ft.	Complies.
Max. Illumination at Any Given Point	10 fc.	7.4 fc.	Complies.
Max. Illumination at the Property Line	0.5 fc.	5.0 fc.	Can Comply: reduction and waiver required.

The Planning Commission may modify lighting requirements in considering possible off-site impacts and the character of the proposed use. We recommend that the lighting along Anderson be reduced to 1.0 fc at the street edge of the sidewalk, to minimize off-site impacts. We recommend the Planning Commission grant a waiver for the proposed illumination levels along Flint, which serves as a primary downtown corridor.



RECOMMENDATION

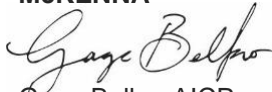
The applicant has worked to address many of the comments from the first round of reviews. Although some items remain outstanding, these can be addressed without altering the layout or function of the site. We recommend that the Planning Commission grant preliminary site plan approval for the proposed mixed-use development located at 44 E. Flint Street, subject to the following conditions:

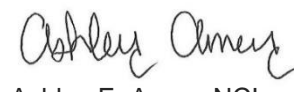
- Easements, utilities, and preliminary engineering items shall be addressed to the satisfaction of the Village Engineer; the project will require subsequent, detailed engineering review (Item 1, 9).
- Notes shall be included regarding future compliance with relevant use standards. (Item 2)
- A lot combination shall be approved and recorded prior to construction. (Item 3)
- The fourth floor shall be stepped back 10 feet from the primary façade along Flint and Anderson. (Item 3)
- The building shall have a discernable base utilizing warm tones for contrast. (Item 3)
- Sidewalk planters, right of way landscaping, and taller shrub screening shall be installed. (Item 4)
- Five (5) on-street parking spaces along Anderson shall be maintained at 90-degrees and curbed.
- A license agreement shall be drafted for proposed right of way landscaping and on-street parking modifications, to be reviewed by the Village Attorney and approved by the Village Council. (Item 4, 5)
- Emergency access shall be addressed to the satisfaction of the Fire Marshal. (Item 5)
- 19 off-street parking spaces, including one barrier-free space shall be provided. (Item 6)
- One (1) loading zone, 9 ft. x 39 ft. shall be located adjacent to an existing on-street loading zone. (Item 6)
- A shared use and access agreement shall be drafted for the dumpster enclosure, to be reviewed by the Village Attorney, and executed by the DDA. (Item 6)
- Construction details and cross sections shall be provided for the dumpster enclosure (Item 6).
- A dimension shall be added demonstrating canopy clearance of at least 7.5 ft. (Item 8).
- Illumination levels shall be reduced to 1.0 fc along Anderson and shall not exceed 5.0 fc along Flint (Item 9)
- Traditional light fixtures shall be provided along Flint and Anderson. (Item 9).

If you have any questions, please do not hesitate to contact us. Thank you.

Respectfully submitted,

McKENNA


Gage Belko, AICP
Associate Planner


Ashley E. Amey, NCI
Assistant Planner

CC: **Village Manager**, Mr. Darwin McClary (mcclaryd@lakeorion.org)
Village Clerk, Ms. Sonja Stout (stouts@lakeorion.org)
21 E. Church Street, Lake Orion, MI 48362



CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

July 23, 2024

Planning Commission
Village of Lake Orion
21 E. Church St.
Lake Orion, MI 48362

Re: 44 E. Flint Street
Site Plan Review #2
NFE Job No. N930

Dear Commissioners:

We have reviewed the Site Plan for the above referenced site. Our review is consistent with the requirements of Article 19 of the Zoning Ordinance, Section D – Required Information and relevant sections of the Zoning Ordinance related to the zoning district. We have the following comments:

1. We note that some but not always all of the existing utilities, easements, and key information is shown on various sheets of the site plan set. Please include all existing utilities, easements and relevant information as underlying topo on the plans when submitting for engineering review.
2. We note that no dimensions are shown between the property lines and building walls as stated in the response letter, but the lot dimensions and building plan dimensions match, resulting in a zero lot line offset along the east and west property lines. The architectural plans note that there is also a zero lot line offset from the north property line (front).
3. We recommend the site plan set clearly state the proposed changes in parking count on the adjacent DDA parking lot to the south as well as the on-street parking along Anderson. It appears that 3 spaces will be lost on Anderson and at least 2 spaces lost in the DDA lot. Please clarify.
4. Additionally, it appears that the proposed angle parking on Anderson may narrow the traveled portion of the street to less than 26' in width, which is the minimum width required by fire code for an aerial access road. Please provide dimensions and show the existing parking spaces on the east side of the street. Approval by the Fire Marshal for emergency apparatus access is required.
5. We note the Fire Marshal's first review letter indicated the existing overhead wires along Flint Street would have to be relocated for aerial apparatus. The site plans do not indicate any relocation along Flint Street.
6. Proposed storm water management consists of constructing a new manhole over the existing 36" storm sewer in Anderson Street with a new storm sewer extending to a new catch basin in the site parking lot. The site is less than one acre in size and thus does not fall under the stormwater detention requirements of Village Ordinance 23.29.
7. The proposed building is placed over the existing electrical easement (L. 15526, P. 468, 470, 472). Information provided indicates that the easement grantee is the Village of Lake Orion. If the Village is able to abandon these easements, the encumbrance would be eliminated.
8. An existing sanitary sewer easement (L7058, p 371) is indicated within the proposed building footprint. Design engineer has stated in their response that additional investigation is underway to verify whether a live sanitary service line exists in this vicinity. If so, provision must be made for continuing sanitary service access, and if the easement is no longer necessary, it must be legally abandoned.

NOWAK & FRAUS ENGINEERS

48680 VAN DYKE, SUITE 200
SHELBY TOWNSHIP, MI 48317

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PHONE: 586.739.0939

9. We note that the existing landscaped island in the DDA parking lot south of this site will be replaced with the proposed trash enclosure, as shown on sheet C-3, though the existing underlying landscaping is not shown.
10. The proposed trash enclosure indicates a 6' masonry wall along three sides with gates in the front. Provide details and cross section.
11. The proposed water service line is shown connecting to a 6" water main in Flint Street. This line is abandoned. The correct connection would be to the 12" main shown on the survey.
12. The nearest hydrant is now shown as required, located at the SE corner of Flint and Anderson.
13. We note that the engineering site plans and architectural site plans are not completely consistent with one another, in particular at the southwest corner of the site where access to the trash enclosure is proposed and at the power pole on the west property line, where architectural plans call for its relocation. This pole is located offsite; any offsite work will require a temporary construction easement from the affected parcel(s).
14. Proposed finish floor elevations are now shown as required. We note that the westernmost door to the section with finished floor elevation 982.90 is shown with a step down into the building. At this point the preliminary grading also indicates the sidewalk sloping toward the building. At engineering submittal, we recommend sloping away from the building for proper surface drainage.
15. Design engineer has acknowledged that a parcel combination of Parcel 09-02-481-007 and 09-02-481-008 must be completed prior to construction.

Complete Engineering Plans meeting the requirements of Ordinance 31.26, Design and Construction Standards must be submitted for review, and no construction shall begin prior to engineering approval.

We recommend that the plan be revised and resubmitted subject to the above comments. If you have any questions, please do not hesitate to call.

Sincerely,

Nowak & Fraus Engineers



Wendy E. Spence, PE

CC: Gage Belko, McKenna
Wesley Sanchez, DPW Director
Todd Stanfield, Lake Orion Police
Jeffrey Williams, Fire Marshall, Orion Township Fire Department
John Pender, Assistant Fire Chief
David Goodloe, Building Official, Orion Township
Sonja Stout, Clerk, Lake Orion

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Charter Township of Orion

3365 Gregory Rd., Lake Orion MI 48359
www.oriontownship.org

Fire Department

Phone: (248) 391-0304, ext. 2000

Fax: (248) 309-6993

To: Darwin McClary, Village Manager
From: Jeff Williams, Fire Marshal
Re: 44 E. Flint – Commercial / Multi Family Development
Date: 7/24/2024

The Orion Township Fire Department has completed its review of the application for 44 E. Flint for the limited purpose of compliance with Village of Lake Orion's Ordinance's, Michigan Building Code, and all applicable Fire Codes.

Based upon the application and documentation provided, the Fire Department has the following recommendation:

Approved
Approved with Requirements (See below)
X Not approved

Requirements:

1. Where the vertical distance between the grad plane and the highest roof surface exceeds 30 feet, an approved aerial access road measuring 26 feet shall be provided on site. This measurement shall be exclusive of shoulders and shall be located within the immediate vicinity of the building. The location of the road shall be not less than 15 feet and no greater than 30 feet from the building. It is the fire department's recommendation that Anderson Street be modified to meet these requirements.
2. Overhead utilities and power lines shall not be located over aerial fire apparatus access road or between the aerial fire apparatus access road and the building, removal or revised overhead utility information shall be explained on the revised plans.

If there are any questions, the Fire Department may be reached at 248-391-0304 ext. 2004.

Sincerely,

Jeffrey Williams

Jeff Williams, Fire Marshal
Orion Township Fire Department



Village of Lake Orion

21 E. Church Street
Lake Orion, Michigan 48362
Tel 248.693.8391
Fax 248.693.5874
www.lakeorion.org

SITE PLAN and / or SPECIAL LAND USE APPLICATION

PROPERTY INFORMATION

Site Address: 44 E. Flint St.

Parcel ID # (Refer to Tax Bill): 09-02-481-008 / 09-02-481-007

Zoning District: DC-Downtown Center

PROPERTY OWNER INFORMATION

Name: Jeff Schmitz Address, City, Zip: 155 Romeo, Suite 300 Rochester, MI 48307

Phone #: 248-650-9850 Owner E-Mail: angela.innaimo@jcapitol.com

APPLICANT INFORMATION (If applicant is **NOT** property owner)

Name: _____ Address, City, Zip: _____

Phone #: _____ Applicant E-Mail: _____

Applicant is: (i.e. contractor or business owner or architect, etc.) Owner

APPLICANT REQUEST

Site Plan Approval: _____

Use Permitted After Special Approval: _____

Use Type Requiring Special Approval: _____

REQUIRED INFORMATION

Please place your initials below to acknowledge that all applicable items are included with your application.

JS 1) Final Site Plan. Two (2) Copies not less than 24 inches by 36 inches in size that meet the requirements of Section 19.02.D. Including, but not limited to:

a. Dimensioned floor plans and building elevations

b. Hard surface plan identifying parking areas with dimensions and number of spaces provided

c. General landscape and lighting plan

d. Location of trash receptacle and method of screening

_____ 2) Project Narrative. A Narrative must accompany Special Land Use applications that identifies the detailed use of the property under review.

JS 3) Property Owner Verification.

JS 4) Digital copies of all documents. (Digital copies are used for Planning Commission review. They may be submitted via email to the Planning & Zoning Coordinator at zoning@lakeorion.org, through Dropbox, or using an external USB drive.)

JS 5) Village, Planning, Engineering, and Attorney fees as necessary.

By signing below you acknowledge all of the following:

- The undersigned acknowledges that any lack of information which may result in a delay of the review process is the sole responsibility of the applicant.
- The undersigned deposes that the forgoing statements and answers and accompanying information are true and correct.
- The undersigned hereby authorizes Village representatives to enter the subject property in connection with this application, if necessary.

Signature of Property Owner: _____

Date: _____

Signature of Applicant/Contractor: _____

Date: _____

TO BE COMPLETED BY VILLAGE STAFF:

Date Received: _____

of Hard Copies Received: _____

Electronic Copies Included: Y / N

Fee: _____

Receipt #: _____

Anticipated Meeting Date: _____

WARRANTY DEED

Drafted by: Jeffery S. Schmitz, 155 Romeo Road, Rochester, MI 48307

When recorded return to: JS Capitol Equities, LLC, a Michigan limited liability company, 155 Romeo Road, Rochester, MI 48307

THE GRANTOR(s): **Sharon L. Schaar Trust u/a/d July 5, 2004**

Whose address is: 919 Loretto,, Lake Orion, MI 48362

Conveys and warrants to: **JS Capitol Equities, LLC, a Michigan limited liability company**

Whose address is: 155 Romeo Road, Rochester, MI 48307

the following described premises: **See attached Exhibit A.**

Tax Parcel No: **09-02-481-008, Primary parcel, 09-02-481-007, Parking parcel**
Commonly known as: **44 E. Flint Street, Lake Orion, MI 48362**

for the sum of **Two Hundred Seventy Five Thousand Dollars and No Cents (\$275,000.00)**

COUNTY Transfer Tax: \$302.50 /
STATE Transfer Tax: \$2,062.50 /

Subject to easements, reservations and restrictions of record.

Grantor: Sharon L. Schaar Trust u/a/d July 5, 2004
Grantee: Jeffrey S. Schmitz, on behalf of an entity to be formed
Page 2 of 3

Dated: August 24, 2018

Signed and Sealed:

Sharon L. Schaar Trust u/a/d July 5,
2004

Sharon L. Schaar Trustee
by Sharon L. Schaar, Trustee

STATE OF MICHIGAN }
COUNTY OF Oakland } ss

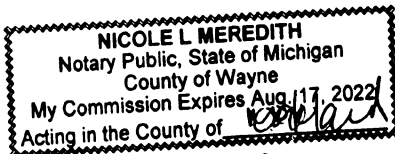
On this 24th day of August, 2018, before me personally appeared, Sharon L. Schaar Trust u/a/d July 5, 2004 by Sharon L. Schaar, Trustee, to me known to be the person(s) described in and who executed the foregoing instrument and acknowledged that he/she/they executed the same as his/her/their free act and deed.

Notary Public: Nicole L Meredith

Printed Name: Nicole L Meredith

Wayne County, MI

My Commission Expires: 8/17/2022



OAKLAND

Grantor: Sharon L. Schaar Trust u/a/d July 5, 2004
Grantee: Jeffrey S. Schmitz, on behalf of an entity to be formed
Page 3 of 3

EXHIBIT A

Land situated in the Village of Lake Orion, County of Oakland, State of Michigan, more particularly described as:

Lot 1 and Lot 2, Block 3, of "Hemingway's Plat", according to the plat thereof recorded in Liber 1, Page(s) 34 of Plats, Oakland County Records.

Subject to an easement over the South 20 feet of said Lot 1, for ingress and egress to said Lot 2.

Tax Parcel No: 09-02-481-008, Primary parcel, 09-02-481-007, Parking parcel
Commonly known as: 44 E. Flint Street, Lake Orion, MI 48362



PHILIP R. SEAVER TITLE COMPANY, Inc.

WARRANTY DEED Statutory Form
CL 1976, MCL 551 MSA 26.57

KNOW ALL MEN BY THESE PRESENTS, That under Trust Agreements dated _____ of the Lakeside Clinic, P.C. Profit Sharing Retirement Plan dated _____ and under the Lakeside Clinic, P.C. Pension Retirement Plan dated _____

Convey(s) and Warrant(s) to Richard A. McNeil and Betty McNeil, his wife

whose address is 44 East Flint Street, Lake Orion, Michigan 48035

the following described premises located in the Village of Lake Orion
County of Oakland and State of Michigan, to wit:

Lot 2, Block 3, Hemingway's Plat of the Village of Orion, now Lake Orion,
Oakland County, Michigan, according to the Plat thereof as recorded in
Liber 1, page 34 of Plats, Oakland County Records.

Subject to an easement for sanitary sewer purposes over the Northwest corner
of said lot to a building known as 2 South Broadway, Lake Orion, Michigan.
Said easement to be used for maintenance of sanitary sewer line only, and
for no other purposes.

for the full consideration of TWENTY THOUSAND AND 00/100 (\$20,000.00) DOLLARS
subject to Subject to easements and restrictions of record, and acts and
omissions of parties other than the grantor, from the 1st day of
April, A.D., 1976

Dated this _____

day of _____

1976

Witnesses:

Signed and Sealed:

Bonnie S. Gidycz
Bonnie S. Gidycz
Sandy L. Sengile
Sandy L. Sengile

L. Nicholas Treinen (L.S.)
L. Nicholas Treinen, Trustee of the Trust
Agreements of the Lakeside Clinic P.C. Profit
Sharing Retirement Plan and of the Lakeside
Clinic P.C. Pension Retirement Plan (L.S.)
Raymond W. Klein (L.S.)
Raymond W. Klein, Trustee of the Trust
Agreements of the Lakeside Clinic P.C. Profit
Sharing Retirement Plan and of the Lakeside
Clinic P.C. Pension Retirement Plan (L.S.)

STATE OF MICHIGAN

COUNTY OF Oakland

The foregoing instrument was acknowledged before me this _____ day of _____ 1976
by L. Nicholas Treinen and Raymond W. Klein, Trustees of the Trust Agreements of the
Lakeside Clinic P.C. Profit Sharing Retirement Plan and of the Lakeside Clinic P.C. Pension
My commission expires _____

JOANNE S. GOODRICH
Notary Public, Oakland County, Mich.
My Commission Expires Feb. 22, 1978

JOANNE S. GOODRICH
Notary Public, Oakland County, Mich.
My Commission Expires Feb. 22, 1978

Instrument Drafted by L. Nicholas Treinen

Business Address 1420 South Lapeer Road, Lake Orion, 48035

County Treasurer's Certificate

City Treasurer's Certificate

Recording Fee 3.00

State Transfer Tax 22.00

Tax Paid # 09-02-431-007

When recorded return to _____

Send subsequent tax bills to _____

ST 4694
NOV 3 1977

15526472

09-02-481-007

09-02-481-008

EASEMENT

Jul 18 95 123279

KNOW ALL MEN BY THESE PRESENTS, That Richard A. McNeil
and Betty McNeil, his wife whose address is
44 East Flint Street, Lake Orion, MI 48362
party of the first part, for and in consideration of the sum of One (\$1.00)
Dollar and 00/100 paid to
Richard A. McNeil and Betty McNeil, his wife
by the VILLAGE OF LAKE ORION, party of the second part, whose address
is 37 East Flint Street, Lake Orion, Michigan 48362, do hereby grant to the
said party of the second part, the right to move men, equipment and
materials on and through and the right to store equipment, material and
excavated matter on the following described PERMANENT ELECTRICAL
EASEMENT;

SEE EXHIBIT "A"

The premises so disturbed by reason of the exercise of any of the
foregoing powers shall be reasonably restored to its original condition by the
party of the second part.

This instrument shall be binding upon and inure to the benefit of the
parties hereto, their heirs, representatives, successors, and assigns and the
covenants contained herein shall run with the land.

IN WITNESS WHEREOF, the undersigned hereunto affixed their
signatures this 11TH day of AUGUST A.D. 19 92.

In The Presence Of:
WITNESS

Deborah A. Wald
Deborah A. Wald
Martin A. Carlson
Martin A. Carlson

Richard A. McNeil
Betty McNeil
Betty McNeil, His Wife
(L.S.)
(L.S.)
(L.S.)

STATE OF MICHIGAN }
COUNTY OF Oakland } SS.

\$ 9.00 MISCELLANEOUS RECORDING
\$ 2.00 REMONUMENTATION
18 JUL 95 3:55 P.M. RECEIPT 688
19 JUL 95 10:00 A.M. CLERK OF DEEDS
A.D. 1995

On this eleventh day of August
me, a Notary Public in and for said County, personally appeared Richard A.
McNeil and Betty McNeil to me known,
to be the person(s) described in and who executed the within instrument, who
then acknowledged the same to be their own free act and deed.

William K. Carlson
Notary Public, Oakland County, Michigan

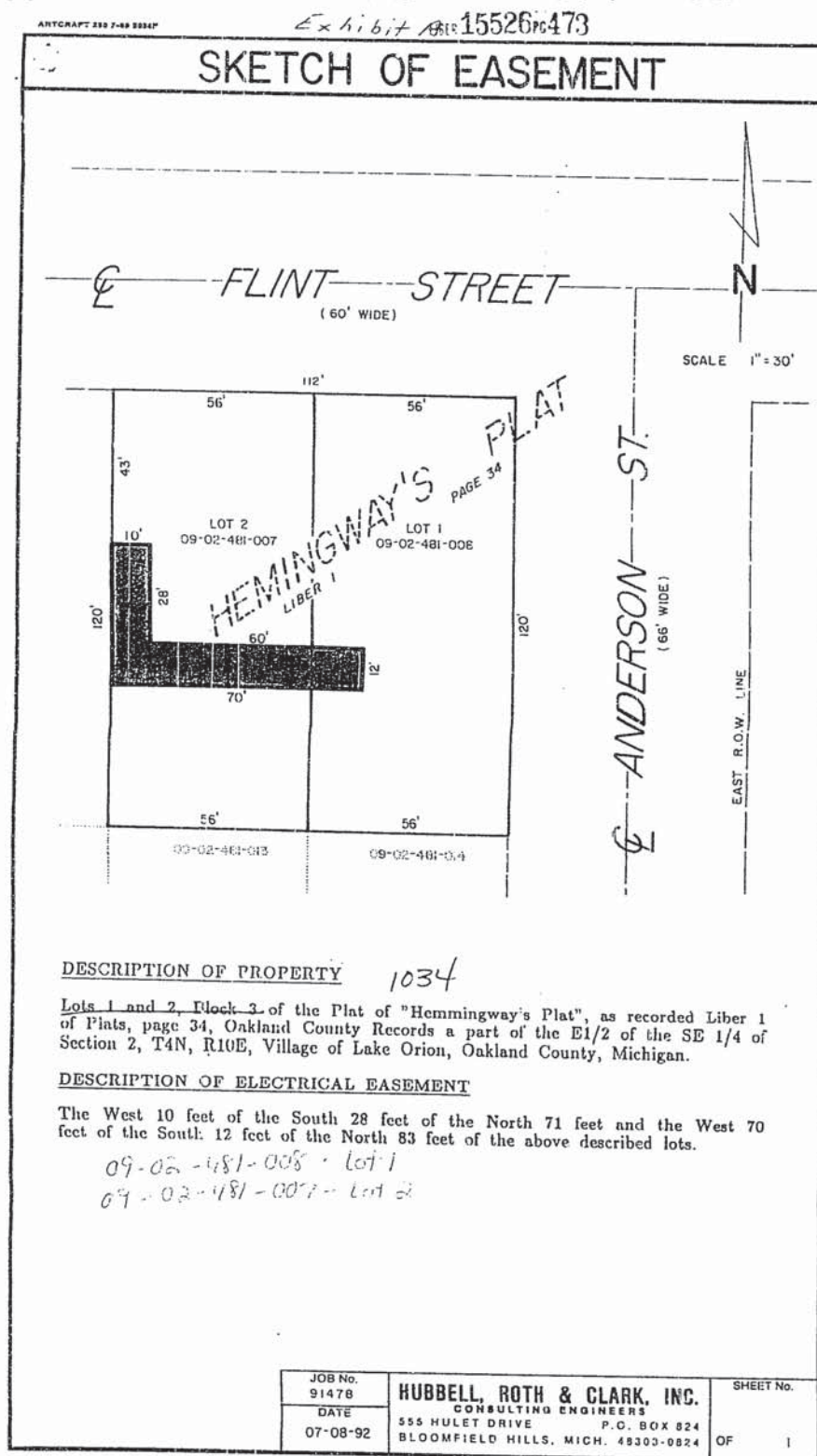
My Commission Expires 8/13/94

(Individuals)

Prepared by: G. W. Hubbell
Hubbell, Roth & Clark, Inc.
555 Hulet Drive
Bloomfield Hills, MI. 48013-4963

Return to:
Village of Lake Orion
37 East Flint Street
Lake Orion, Michigan 48362

O.K. - J.S.



15526466

09-02-481-007

09-02-481-008

EASEMENT

JUL 18 5 12 28 276

KNOW ALL MEN BY THESE PRESENTS, That Richard A. McNeil
and Betty McNeil, his wife whose address is
44 East Flint Street, Lake Orion, MI 48362
 party of the first part, for and in consideration of the sum of Five Dollars
and no/100 (5/100) paid to
Richard A. McNeil and Betty McNeil, his wife
 by the VILLAGE OF LAKE ORION, party of the second part, whose address
 is 37 East Flint Street, Lake Orion, Michigan 48362, do hereby grant to the
 said party of the second part, the right to move men, equipment and
 materials on and through and the right to store equipment, material and
 excavated matter on the following described PERMANENT ELECTRICAL
 EASEMENT;

SEE EXHIBIT "A"

The premises so disturbed by reason of the exercise of any of the
 foregoing powers shall be reasonably restored to its original condition by the
 party of the second part.

This instrument shall be binding upon and inure to the benefit of the
 parties hereto, their heirs, representatives, successors, and assigns and the
 covenants contained herein shall run with the land.

IN WITNESS WHEREOF, the undersigned hereunto affixed their
 signatures this 18th day of October A.D. 19 93.

In The Presence Of:
 WITNESS

Jane Depitt
Jane Depitt
Mary H. Simmons
Mary H. Simmons

Richard A. McNeil (L.S.)
Betty McNeil (L.S.)
Betty McNeil, His Wife (L.S.)
(L.S.)

STATE OF MICHIGAN }
 COUNTY OF Oakland } SS.

\$ 3.00 MISCELLANEOUS RECORDING
 \$ 2.00 REINDEMENTATION
 18 JUL 95 3:55 P.M. RECEIVED 404
 1400 RECEIVED - OAKLAND COUNTY
 1400 ALLEN - CLERK/RECORDS OF DEEDS

On this 18th day of October, A.D. 19 93, before
 me, a Notary Public in and for said County, personally appeared Richard A.
McNeil and Betty McNeil to me known,
 to be the person(s) described in and who executed the within instrument, who
 then acknowledged the same to be their own free act and deed.

MARY H. SIMMONS
 NOTARY PUBLIC, OAKLAND COUNTY, MICH.
 MY COMMISSION EXPIRES 05-20-96

Mary H. Simmons
 Notary Public, Oakland County, Michigan

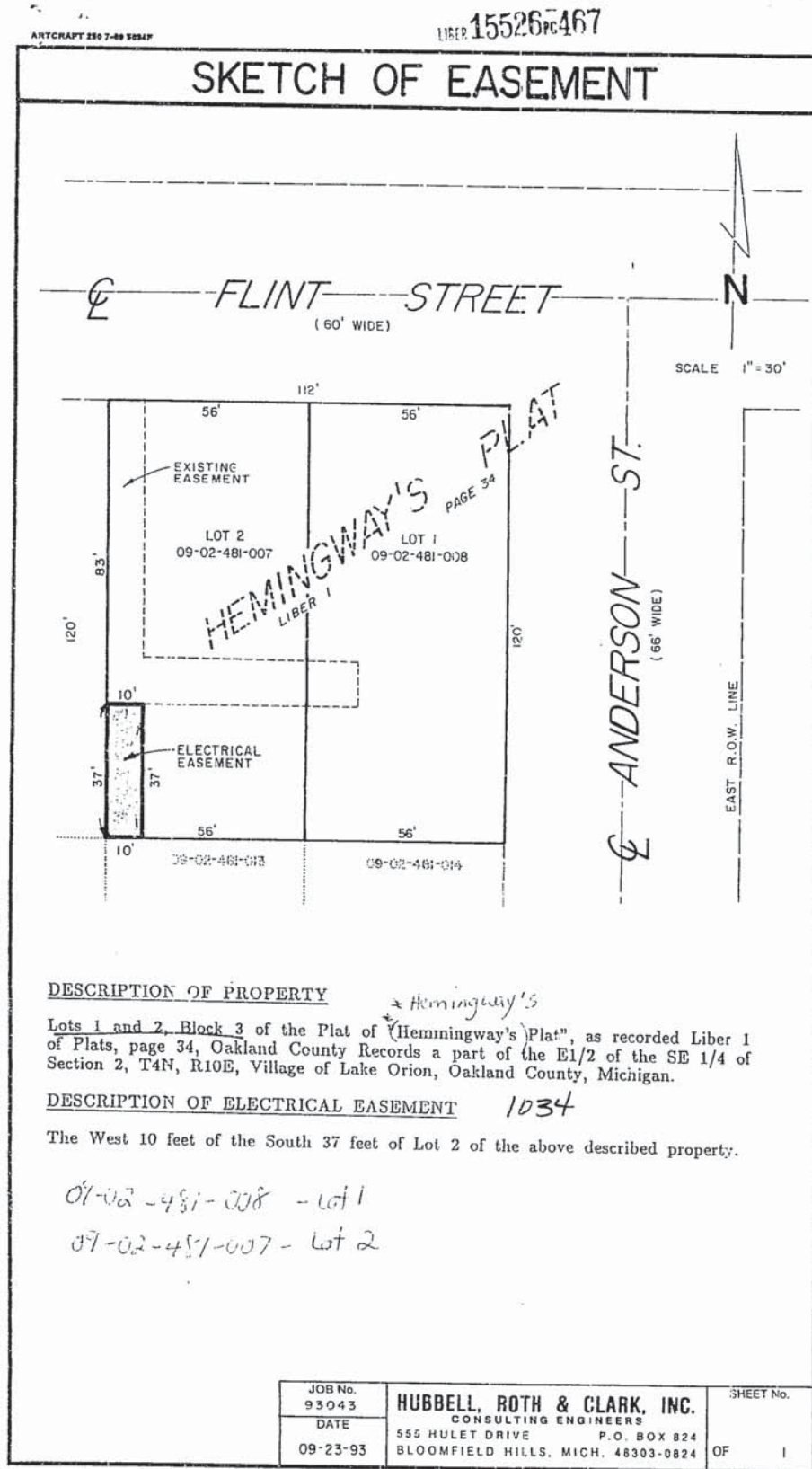
My Commission Expires 05-20-96

(Individuals)

Prepared by: C. W. Hubbell
 Hubbell, Roth & Clark, Inc.
 555 Hulet Drive
 Bloomfield Hills, MI. 48013-4963

Return to:
 Village of Lake Orion
 37 East Flint Street
 Lake Orion, Michigan 48362

O.K. - J.S.



4-10
2

LIBER 4245 PAGE 446
WARRANTY DEED
STATUTORY FORM

16337

61 57005

KNOW ALL MEN BY THESE PRESENTS: That Robert Ingram, survivor of John L. and Ellen L. Ingram, his deceased husband, whose death certificate is attached hereto,

Convey and Warranty to Robert L. DeBell and Grace L. DeBell, his wife,

whose Street Number and Postoffice address is 474 Park Island Rd., Lake Orion, Michigan

the following described premises situated in the Village of Oak Union County of Michigan and State of Michigan, to-wit:

Lot 1, Block 2, Laramie and Plat of Village of Oak Union, Oakland County, Michigan, as shown on the plat thereof as recorded in Block 1 of Atlas, Date 24, Oakland County records, said plat is located on the West 1/2 of Section 2, Town 4 North, Range 10 East, 3rd Meridian, Michigan



together with all and singular the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining, for the sum of \$1.00 One Dollar(s)

And other valuable considerations:

subject to (1) covenants and building restrictions of record; and (2) any and all of the same which have accrued since March 15, 1954, that the grantor of this certain land contract is unaware of which to be noted is given.

Dated this 7th day of November A.D. 1961

Signed, Sealed and Delivered in Presence of:

Signed and Sealed:

Philip S. Jacobusert
Philip S. Jacobusert

Robert Ingram (L.S.)

Harold V. Ingram
Harold V. Ingram

(L.S.)
(L.S.)
(L.S.)

STATE OF MICHIGAN
County of OAKLAND

On this 7th day of November A.D. 1961 before me personally appeared Robert L. DeBell and Grace L. DeBell

to me known to be the person described in and who executed the foregoing instrument and acknowledged that he executed the same as his free act and deed.

Philip S. Jacobusert
Philip S. Jacobusert

My Commission expires 1st day of January, A.D. 1963 Notary Public, State of Michigan

PRINT, TYPEWRITE OR STAMP names of persons executing this instrument; also names of the Witnesses and Notary Public immediately underneath such names.

County Treasurer's Certificate

City Treasurer's Certificate

When recorded return to:

Mr. & Mrs. Robert L. DeBell
474 Park Island Rd., Lake Orion, Mich.

BURTON ABSTRACT AND TITLE COMPANY HAS OPERATED CONTINUOUSLY SINCE 1886

MAKE YOUR REAL ESTATE TRANSFERS SAFE BY USING BURTON TITLE INSURANCE

NOV 9 1961

4245

446-447

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KNOW ALL
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whose Street
the following
and State of

MARGIN RESERVED FOR BINDING
WRITE PLAINLY WITH UNFADING INK - THIS IS A PERMANENT RECORD

10337

CERTIFICATE OF DEATH
MICHIGAN DEPARTMENT OF HEALTH
Bureau of Records and Statistics

SOCIAL SECURITY NO. NONE
If veteran, name was NONE **USER 4245 PAGE 447**

DECEASED
FULL NAME Allen LeRoy Griggs Local File No. 2

PLACE OF DEATH Oakland
County Oakland
Township Lake Orion
City or village Flint St.
Name of hospital 202 E. Flint St.
(If not in hospital, give street address.)
Length of stay: In hospital 0 In this community 32 Yrs

Sex Male Color or Race White Single, Married, Widowed or Divorced Married

NAME OF HUSBAND or WIFE
Name Label C. Griggs Age, if alive 58
Birth date of deceased MAY 31, 1884
Age: Years 59 Months 7 Days 14 If less than one day hrs. min.

Birthplace Peck, Michigan
Usual occupation Druggist
Industry or business Drug Store

PREVIOUS (Name George A. Griggs
Birthplace Peck, Michigan
Maiden name Martha McCauley
Birthplace Ontario, Canada

Informant Mrs. Allen Griggs
Address 202 E. Flint St.

(Burial) reinterment or removal (Circle the word which applies)
Place Oakland Twp. (Oakland County)
Cemetery East Lawn Date Feb. 17, 44

Funeral director's signature Voorhees-Dunlopson
Address Pontiac, Michigan
Filed Feb. 16, 1944 N. Letts Local Registrar

USUAL RESIDENCE OF DECEASED:
State MI County Oakland
Township Lake Orion
City or village Flint St.
Street No. 202 E. Flint St.
Citizen of foreign country? No
If yes name country None

MEDICAL CERTIFICATION
Date of death Feb. 14th 19 44
I hereby certify that I attended the deceased from Oct 14
is 43 to Feb. 14 19 44 I last saw him alive on 19
Date stated above at 5:15 P.M. Duration
Immediate cause of death Coronary Occlusion
Pulmonary Edema
Angina Pectoris

Other contributory causes of importance
Arterial Sclerosis

Major findings and date:
Of operations None
Of autopsy None

In case of violence, state if accidental, homicide or suicide
Date 19
Where did injury occur? (Specify city, county, or state)
In industry, home or public place?
Was disease or injury related to occupation of deceased? No
Signature C. J. Hathaway M.D.
Address Lake Orion

BURTON ABSTRACT AND TITLE COMPANY HAS OPERATED CONTINUOUSLY SINCE 1866

together with
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subject to
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Signed, Seal

STATE OF
COUNTY OF
On this
appeared

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PRINT, TYPE
of

When record

II

QUIT CLAIM DEED

STATUTORY FORM

KNOW ALL MEN BY THESE PRESENTS: That Grace M. McNeil, a married woman,

Quit Claim to Richard A. McNeil, a married man,

whose Street Number and Postoffice address is 44 E. Flint Street, Lake Orion, Michigan,

the following described premises situated in the Village of Orion County of Oakland and State of Michigan, to-wit:

Lot 1, Block 3 of Hemingway's Plat of Village of Orion (now Lake Orion), Oakland County, Michigan, according to the Plat thereof as recorded in Liber 1 of Plats, Page 34, Oakland County Records, said plat is located on the east 1/2 of the southeast 1/4 of Section 2, Town 4 north, Range 10 east, Orion Township, Michigan.

Subject to an easement over the south twenty feet (20 ft.) to afford ingress and egress to Lot 2, Block 3 of Hemingway's Plat.

(This deed is given in pursuance of a certain property settlement agreement executed between Grace Marie McNeil, plaintiff, vs. Richard Allan McNeil, defendant, being case No. B-62893, in the Circuit Court for the County of Oakland, In Chancery).

together with all and singular the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining, for the sum of - - - - - One Dollar (\$1) and other valuable considerations;

Dated this 27th day of July, A.D. 1962.

Signed, Sealed and Delivered in Presence of:

Signed and Sealed:

Lawrence J. Moloney
Lawrence J. Moloney

Grace M. McNeil
Grace M. McNeil (L.S.)

Gloria M. Parventer
Gloria M. Parventer

Grace M. McNeil
Grace M. McNeil (L.S.)

STATE OF MICHIGAN
County of Oakland

On this 27th day of July, A.D. 1962, before me personally appears Grace M. McNeil, a married woman,

to me known to be the person described in and who executed the foregoing instrument and acknowledged that she executed the same as her free act and deed.

My Commission expires 3-2- A.D. 1965 *Lawrence J. Moloney*
Notary Public, Oakland County, Michigan

*PRINT, TYPEWRITE OR STAMP
names of persons executing this instrument; also names of the Witnesses and Notary Public immediately under each signature.
See Act 103, P. A. 1937.

When recorded return to:
Grantee herein.

SEP 26 1962

LIBER 4350 PAGE 695

MAKE YOUR REAL ESTATE TRANSFERS SAFE BY USING BURTON TITLE INSURANCE

RECORDED
OAKLAND COUNTY
REGISTER OF DEEDS-RECORDS
182 SEP 23 PM 1 50

150
7/10 Rev.

BURTON ABSTRACT AND TITLE COMPANY HAS OPERATED CONTINUOUSLY SINCE 1896

4-10
2

LIBER 4350 PAGE 696

62 51725

QUIT CLAIM DEED
STATUTORY FORM

KNOW ALL MEN BY THESE PRESENTS: That Richard A. McNeil, a married man

Quit Claim to Richard A. McNeil and Betty Jane McNeil, his wife,

whose Street Number and Postoffice address is 44 East Flint St., Lake Orion, Michigan

the following described premises situated in the Village of Lake Orion County of Oakland and State of Michigan, to-wit:

Lot 1, Block 3 of Hemingway's Plat of Village of Orion (now Lake Orion), Oakland County, Michigan, according to the Plat thereof as recorded in Liber 1 of Plats, Page 34, Oakland County Records, said plat is located on the east $\frac{1}{2}$ of the southeast $\frac{1}{4}$ of Section 2, Town 4 North, Range 10 East, Orion Township, Michigan.

Subject to an easement over the south twenty feet (20 ft.) to afford ingress and egress to Lot 2, Block 3 of Hemingway's Plat.

together with all and singular the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining, for the sum of One Dollar(s) and other valuable considerations;

Dated this 26th day of September A.D. 19 62

Signed, Sealed and Delivered in Presence of:

Signed and Sealed:

Philip S. Tschirhart
Philip S. Tschirhart

Richard A. McNeil (L.S.)
Richard A. McNeil

Betty J. Ford
Betty J. Ford

(L.S.)

(L.S.)

(L.S.)

STATE OF MICHIGAN }
County of Oakland }

On this 26th day of September A.D. 19 62 before me personally appeared Richard A. McNeil, a married man,

A.D. 19 62 before me personally

to me known to be the person described in and who executed the foregoing instrument, acknowledged that he executed the same as his free act and deed.

My Commission expires March 9, A.D. 19 63 Notary Public, Oakland County, Michigan

*PRINT, TYPEWRITE OR STAMP names of persons executing this instrument, also names of the Witnesses and Notary Public immediately underneath such signatures. See Act 103, P. 1, 1937.

When recorded return to:

Grantees

BURTON / ABSTRACT AND TITLE COMPANY HAS OPERATED CONTINUOUSLY SINCE 1888

MAKE YOUR REAL ESTATE TRANSFERS SAFE BY USING BURTON TITLE INSURANCE

SEP 26 1962

LIBER 4350 PAGE 696

RECORDED
OAKLAND COUNTY RECORDS
INDEXED
SEP 27 1962

160
S. Rev.

STONEFIELD

July 15, 2024

Carol P. Thurber, PE, CFM
Nowak & Fraus Engineers
48680 Van Dyke, Suite 200
Shelby Township, MI 48317

RE: Site Plan Review
Proposed Mixed-Use Building
Parcel ID: 0902481008
44 East Flint Street
Village of Lake Orion, Oakland County, Michigan

Carol,

Our office is submitting documents on behalf of the Applicant to address the outstanding conditions of the Board's Resolution including comments contained within the latest Site Plan review letter. Please find the following items enclosed:

ITEM DESCRIPTION	DATED	COPIES	PREPARED BY
Site Development Plans	07-15-2024	1	Stonefield Engineering & Design
Record of Easements		1	

The following is an itemized response to the comments contained within the NF Engineers Site Plan Review Letter dated May 22, 2024. For the sake of brevity, any comments that are statements of fact or have been previously addressed are not included in the response below:

1. The Site plan must be prepared superimposed on the topographic information, indicating the property lines (with bearings and distances), all existing easements, and all existing and proposed utilities.

The site plan has been superimposed onto a survey of the site. The property lines, bearings and distances, and existing easements are indicated on Sheet C-2 of the Site Development Plans. The existing and proposed utilities are indicated on Sheet C-5 of the Site Development Plans.

2. No scale is indicated on the Site Plan title block.

A scale has been provided on all sheets of the Site Development Plans.

3. Show proposed dimensions between building wall and property lines. A temporary construction easement may be required from adjacent private property owner.

Dimensions between the building walls and property lines have been provided. Please refer to Sheet C-3 of the Site Development Plans.

STONEFIELDENG.COM

555 S OLD WOODWARD AVE, SUITE 12L, BIRMINGHAM, MI 48009 248.247.1115 T. 201.340.4472 F.

4. If the building wall is placed on the east property line, the existing parking blocks in Anderson Street must be relocated eastward to act as wheel stops and prevent vehicles from overhanging the existing 4' wide sidewalk.

The existing wheel stops have been removed and new concrete curb has been proposed along the existing eastern sidewalk. The curb accommodates new angled parking spaces which are intended to prevent vehicle overhang along the existing sidewalk. Please refer to Sheet C-3 of the Site Development Plans.

5. Parcel 09-02-481-007 is incorrectly labeled as -008.

The parcel ID has been updated to show the correct label. Please refer to Sheet C-2 of the Site Development Plans.

6. The proposed pavement material for the parking area must be indicated on the Site Plan.

The proposed pavement material has been indicated on the site plan. Please refer to Sheet C-3 of the Site Development Plans.

7. No storm water management is indicated on the site plan. No surface area from a parking area shall be permitted to drain on to adjoining property or across a public sidewalk.

Storm water management has been proposed. Please refer to Sheet C-4 of the Site Development Plans.

8. The proposed building is placed over the existing electrical easement (L. 15526, P. 468, 470, 472). Provide information regarding the easement that permits the construction of a building within the easement.

The developer has been in coordination with the Village to abandon / reroute this easement as necessary. Please refer to the Record of Easements document provided.

9. An existing sanitary sewer easement (L7058, p 371) is indicated within the proposed building footprint. Provide information regarding the easement that permits the construction of a building within the easement.

Additional investigation is underway to determine if there is a sewer lateral that conflicts with the building footprint. Should there be, the developer will work with the respective property owner to relocate as necessary.

10. The proposed transformer, curbing and concrete pad are indicated over the Ingress / Egress easement (L 4350, P. 596).

With the merging of the titles for both properties, the need for the existing ingress / egress easement would be eliminated and could therefore be terminated. Please refer to the Record of Easements document provided.

11. A six foot tall masonry screen wall is proposed at the south end of the west property line, with just a pedestrian opening to maintain access to the raised porch area of the existing building to the west. A wall on the property line would create a space approximately 1 foot wide and three feet deep between the existing porch and the new screen wall, which we do not recommend for safety and maintenance.

The previously proposed 6 FT tall masonry screen wall is no longer being proposed. Please refer to Sheet C-3 of the Site Development Plans.

12. No Landscape plan is provided. It appears that at least one tree will be removed for the construction of the building.

A landscape plan has been proposed. Please refer to Sheet C-6 of the Site Development Plans.

13. Provide a pavement cross section for the proposed pavements.

A pavement cross section detail has been provided. Please refer to Sheet C-7 of the Site Development Plans.

14. Indicate proposed site utilities, including proposed sanitary sewer lead, water service and fire protection.

All proposed site utilities are indicated. Please refer to Sheet C-5 of the Site Development Plans.

15. It must be demonstrated that adequate fire hydrant protection can be provided for the proposed building. Show nearest hydrants.

A fire department connection has been provided on the building and the dimension to the nearest fire hydrant is shown. Please refer to Sheet C-5 of the Site Development Plans.

16. Expand topographic survey to show features to 100' beyond the site boundary per Article 19 requirements. Show existing screen wall along east property line. Show zoning of adjacent parcels, including across rights-of-way.

The topographic survey has been updated to show features 100 FT beyond the property lines. Please refer to Sheet C-2 of the Site Development Plans. The existing screen wall is shown on the site plan. Please refer to Sheet C-3 of the Site Development Plans. The zoning of adjacent parcels has been shown on both the cover sheet and on the existing conditions survey of the area. Please refer to Sheets C-1 and C-2 respectively of the Site Development Plans.

17. No method or location for trash removal is indicated on the site plan.

A trash enclosure has been proposed off-site near the southwest corner of the site parcel. Proper coordination with the adjacent property owner will be conducted prior to construction. Please refer to Sheet C-3 of the Site Development Plans.

18. The presence or absence of wetlands and / or 100-year floodplain must be noted on the Site Plan.

The site is not located within wetlands or the 100-year floodplain. Please refer to Sheet C-1 of the Site Development Plans for an overall location map and a note confirming such.

19. A proposed finish floor elevation of the building is not indicated on the plan. An elevation change of approximately 1 foot occurs across the frontage of the building. Slopes to the sidewalk must meet ADA requirements.

Finish floor elevations have been provided along with a preliminary grading plan. ADA requirements are met where necessary. Please refer to Sheet C-4 of the Site Development Plans.

20. We recommend that the proposed sidewalk adjacent to the parking be at least 7 foot in width to accommodate car overhang.

The proposed sidewalk adjacent to the parking spaces on site is 7 FT wide. Please refer to Sheet C-3 of the Site Development Plans.

21. A parcel combination of Parcel 09-02-481-007 and 09-02-481-008 must be completed prior to construction.

Noted.

Should you have any questions regarding the submission items or responses above please do not hesitate to contact our office.

Regards,



Eric Williams, PE
ewilliams@stonefieldeng.com
Stonefield Engineering and Design, LLC



Joe Delmotte
jdelmotte@stonefieldeng.com
Stonefield Engineering and Design, LLC

V:\DET\2024\DET-240125 JS Capital - 44 East Flint Street, Lake Orion, MI\Correspondence\Outgoing\Municipal\2024-07-09_Municipal Response Letter.docx

06.26.2024 **07.08.2024 (AMENDED)**

Planning Commission
Village of Lake Orion
21 E. Church Street
Lake Orion, MI 48362

Re: VLO-24-02 – 44 E. Flint, Site Plan Review #1

Thank you for your review of the 44 E. Flint project. This letter is to address the following review comments below.

Site Plan Review

Use & Harmonious Design

- A. The applicant must note that goods produced on-site will primarily be sold on the premises. Further, tenants that serve liquor (bars, restaurants) must go through the special land use approval process prior to the establishment of such uses (s) (Sec. 6.02 (B) (6)).
 - a. The first and second floor tenants are not known at this time but, they will comply with this section of the zoning ordinance.
- B. The applicant must note that all business, servicing, and processing will be conducted indoors.
 - a. The first and second floor tenants are not known at this time but, they will comply with this section of the zoning ordinance.
- C. The applicant must note that the storage of commodities will be indoors and screened from the view of Flint and Anderson Streets.
 - a. The first and second floor tenants are not known at this time but, they will comply with this section of the zoning ordinance.

Dimensional Standards

The project generally complies with the dimensional standards of the DC and Height Overlay Districts; all comments below are subject to an approved lot combination being completed prior to final approval.

- A. The fourth-floor walls fronting Flint Street are shown to be stepped back 7 feet from the front building line; this must be increased to meet this standard and repeated along Anderson Street.
 - a. The 4th Floor walls (and stacking walls on floors 2 & 3) are setback 8'-3 5/8" from East Flint Street and ~~7'-3 5/8" from Anderson Street~~. Due to the design of the building and using best construction practices, stacking the walls from floor 2-4 is the best option for the building. We stepped the walls back to allow for a functional patio space on all floors and feel that the intent of the ordinance is being met. **There is no fourth floor setback from Anderson St.**

- B. The sides facing Anderson Street and the alley (adjacent to Hanson's) shall have the same level of articulation as the Flint-facing side to meet this standard.
 - a. We have added the same level of design to the Anderson Street elevation to match the front (East Flint) elevation. The alley side of the property will be built with a near 0' setback. Per the MBC we are not allowed to add windows on this façade. We did include some articulation in the brick façade to create a similar rhythm and enhance this elevation. The rear façade was also revised to create a simple vertical pattern with the parking space openings on the first floor and the windows on the upper floors.
- C. The ~4-ft. -high limestone base is not clearly discernible from the rest of the façade, being short relative to the height of the building and similarly lightly colored. We recommend a warmer, naturally colored primary masonry brick for the building to provide additional contrast with the limestone base. This would serve to soften the building's appearance and enhance compatibility with the surrounding area and historic feel without compromising the contemporary design.
 - a. We disagree and feel that the smooth limestone base with similarly colored brick above creates a subtle material change that is both pleasing to the eye and enhances the building design with this visual break.
- D. The applicant must provide a note and cross-section indicating the screening wall material will match the building.
 - a. ~~The screen wall detail will be on the SPA set of drawings and the exterior finish will match the masonry on the building.~~
(AMENDED) No new masonry screen walls are proposed for this development. See response to Engineering comment #11.

Natural Features & Landscaping

- A. The site plan depicts renderings with landscape planters and street trees along Flint; a general landscape plan is required to identify these elements. The three existing street trees must be protected or replaced if removed. It is recommended that additional right of way landscaping be provided at the vehicle entrance to the site, just south of the five on-street parking spaces, within a curbed landscape bed to assist with stormwater management, protect the existing pole (remove bollards), and enhance the area with additional foliage and screening of the building and parking. As discussed further below, it is also recommended that the applicant replace the two southern on-street parking spaces with additional landscaping, including one street tree, to permit clear vision while exiting the site and creating a defined, enhanced driveway – two additional off-street parking spaces are proposed along Flint Street as part of this project.
 - a. We have added the landscaping and curb to the north section of the curb cut and eliminated parking on the south curb cut area while replacing it with landscaping. All final landscaping design will be submitted with the SPA set of drawings.
- B. ROW landscaping and on-street parking removal are subject to review and approval by Village Council.
 - a. Noted. At the direction of this letter, we are removing 3 existing perpendicular (not functional) parking spaces on Anderson Street, converting the remaining 4 parking spaces on Anderson Street to angled spaces, and adding 2 additional parallel spaces on East Flint Street. All on-street parking and ROW landscaping will be presented to the Village Council for review and approval.

- C. This screening wall must match the primary building material. Further, the transformer must be screened to the north, where it is visible from Anderson Street.
- a. ~~All screen wall exterior finishes will match the building masonry.~~ We disagree and think that the transformer should be open on the north side so it can be properly serviced.
(AMENDED) No new masonry screen walls are proposed.

Access & Circulation

- A. Vehicular Access - Vehicular access to the site is provided by a two-way, 22-ft-wide driveway off Anderson Street, leading to off-street residential parking. Clear vision egress will be obstructed by the on-street parking to the south; it is recommended that these two parking spaces be replaced with a curbed right of way landscape bed, with an additional street tree, to create a defined access point, promote clear vision, assist with stormwater management, and enhance the area. Two additional on-street parking spaces are provided along Flint Street as part of this project. ROW landscaping and on-street parking modifications (reductions) are subject to review and approval by the Village Council.
- a. We agree and have removed the 2 parking spaces south of the Anderson Street curb cut.
- B. Vehicular and emergency access for the site is subject to further review and approval by the Village Engineer and Fire Marshal. Nothing shall preclude the applicant from exploring shared access opportunities with neighboring parcel owners, including the DDA.
- a. **Noted.** Please note that the building will be suppressed with a NFPA 13/13R sprinkler system as required per code.
- C. Pedestrian Connectivity - The sidewalk along Anderson must be dimensioned; this sidewalk shall be curbed at the street for pedestrian safety, accessibility (14.14 (B) (3)), and stormwater management, and, if necessary, widened to a minimum of 7 ft. to limit vehicle encroachment. Curbing should be cohesive with any additional right of way landscape beds, as previously discussed. As a matter of public welfare, curbing and sidewalk modifications do not require separate approval by the Village Council, provided these improvements are approved by the Village Engineer.
- a. The angled spaces on Anderson Street should provide some relief to the existing condition of on street parking encroaching into the 5' sidewalk that is located in the City ROW. All ROW parking will be presented to the Village Council and Engineering Department for review and approval.
- D. Parking & Loading - Dimensions and Layout : The 20 off-street parking spaces are entirely within the site, dimensioned at 9 ft. X 19 ft. with a 22-ft-wide maneuvering lane; a scale must be provided to verify all site plan dimensions. As proposed, passenger parking is tight, particularly for the two west-most parking spaces, which run a high risk of conflict with the alley wall, building columns, and/or parked vehicles. Although the required off-street parking is shown, we recommend that the Planning Commission grant a waiver for a reduction of up to 5 spaces, effectively requiring 1.5 spaces per dwelling unit. In doing so, additional maneuvering (and landscaping) space would be afforded; this may also free up space for an alternative trash enclosure location as discussed. Further, as mentioned, nothing shall preclude the applicant from pursuing cross access opportunities with neighboring parcel owners.

- a. The parking lot has been revised and now contains 19 parking spaces. Access to the southern (city owned) parking lot and west (neighboring alley) parcels has been maintained while also maximizing the parking on site.
- E. Loading Space - One 10 ft X 50 ft loading space is required (Sec 14.05 (C)) for retail space between 2,000-20,000 square feet; however, loading should not be closer than 50 ft. to a residentially zoned or used parcel. With a residential use across Anderson and the site itself being mixed-use residential, we recommend the loading requirements be waived or lessened (i.e., 10 ft X 25 ft.) by the Planning Commission; otherwise, this must be shown on a revised plan.
 - a. ~~No loading space is being proposed.~~
(AMENDED) No onsite loading space is designated due to safety concerns, however, an existing striped section within the Flint St. ROW is to remain & can be utilized as a loading space for this development.
- F. Trash Enclosure - A dumpster is not shown on the site plan. The DDA owns the parking lot to the south and has indicated an interest in working with the applicant to establish shared dumpster use and access within its lot. It is encouraged that these discussions continue; the potential location of the shared dumpster (and screening) must be shown on the plan and a signed shared access and use agreement shall be executed prior to final approval. Alternative trash enclosure design shall be prepared in the event a shared dumpster cannot be achieved.
 - a. A plan has been prepared for the southern parking lot to contain multiple dumpsters. This will be presented to the Village Council for review.

Building Design & Architecture

- A. Complementary Character - The Village Downtown is historic, with several excellent examples of preserved and enhanced buildings. The proposed development incorporates arches, porticoes, masonry coursework, and is oriented to the street as a tribute to this character. These elements should be repeated on all publicly visible facades. The massing and height of the building requires that additional complementary details be considered. We recommend incorporating warm-toned brick wherever possible, horizontal banding, and distinctive quoins on all corners.
 - a. As mentioned above, we have altered the East, South and West facades to create a cohesive building design.
- B. Windows - On street-facing facades, the minimum percentage of glazing on the ground floor is 50%, with windows raised two feet from the ground; on upper stories, it is 30%, with upper story windows having a vertical orientation. The Flint-facing façade comes slightly below the required standards, requiring ground floor windows to be raised and slightly more glazing. We believe vertical orientation is achieved with archways and mullions.
 - a. ~~The Flint Street façade has not changed since the original submittal.~~
(AMENDED) Refer to updated glazing calculations on Sheet A.200 for compliance.
- C. The Anderson-facing façade requires additional glazing, primarily on the ground floor. Distinctive mullions, archways, and window framing/coursework should be incorporated to bring depth to this façade.
 - a. The Anderson Street façade has been revised and glazing calculations have been updated accordingly.

- D. Canopies - Cloth fabric canopies are encouraged, while metal canopies are discouraged. This is not prescriptive language, and we believe the proposed metal canopies are satisfactory for the building. These shall provide 7.5-ft. clearance from the sidewalk.
 - a. **Noted**

- E. Lighting - Fixtures should be harmonious with the existing street lighting. The proposed sconce lighting is very sleek and relatively large; we recommend more traditional fixtures such as gooseneck or lantern-type lighting to complement the historic character of the area.
 - a. **We feel that the proposed light fixture fits the building aesthetic and will also seamlessly blend in with the downtown.**

- F. Facades - Flat facades are prohibited. Architectural detailing on the Flint-facing façade must be incorporated on the Anderson-facing and alley-facing facades; the archways, reliefs, and patterns, should be replicated on public-facing corners. Currently, the alley-facing façade is entirely blank; windows should be incorporated wherever possible. Where windows are not possible or practical, modulation of the brick through reliefs and patterns must be included.
 - a. **As mentioned above, the East, South, and West facades have been updated to create a cohesive building design.**

Engineering / Stormwater Management

- A. We provide comments for additional landscaping and curbing within this report to support stormwater management for and around the site; these modifications and all stormwater and utility requirements must be verified and addressed to the satisfaction of the Village Engineer. In addition to preliminary site plan review, the project must undergo final site plan review, including a detailed engineering review, prior to being reviewed and permitted by the Building Department.
 - a. **Noted**

Lighting

- A. Max. Height of Fixtures: Unknown
May Comply: Mounting height not specified
 - a. **Mounting heights will be noted on the SPA documents**

- B. Max. Illumination at the Prop Line: 0.8 fc
Can Comply: Reduction and waiver required
 - a. **Alternate fixtures will be researched to reduce/eliminate light pollution on adjacent properties.**

- C. The Planning Commission may modify lighting requirements in considering possible off-site impacts and the character of the proposed use. We recommend that the lighting along Anderson be reduced, to minimize off-site impacts. We recommend the Planning Commission grant a waiver for proposed illumination along Flint.
 - a. **Noted**

NFE Job No. N930, 44 E. Flint, Site Plan Review #1

Engineering Comments

1. The Site plan must be prepared superimposed on the topographic information, indicating the property lines (with bearings and distances), all existing easements, and all existing and proposed utilities.
 - a. Civil Engineered drawings will be submitted with the SPA set of documents.
2. No scale is indicated on the Site Plan title block.
 - a. Civil Engineered drawings will be submitted with the SPA set of documents.
3. Show proposed dimensions between building wall and property lines. A temporary construction easement may be required from adjacent private property line.
 - a. Civil Engineered drawings will be submitted with the SPA set of documents.
4. If the building wall is placed on the east property line, the existing parking blocks in Anderson Street must be relocated eastward to act as wheel stops and prevent vehicles from overhanging the existing 4' wide sidewalk.
 - a. Civil Engineered drawings will be submitted with the SPA set of documents.
5. Parcel 09-02-481-007 is incorrectly labeled as -008.
 - a. Civil Engineered drawings will be submitted with the SPA set of documents.
6. The proposed pavement material for the parking area must be indicated on the Site Plan.
 - a. Civil Engineered drawings will be submitted with the SPA set of documents.
7. No storm water management is indicated on the site plan. No surface area from a parking area shall be permitted to drain on to adjoining property or across a public sidewalk.
 - a. Civil Engineered drawings will be submitted with the SPA set of documents.
8. The proposed building is placed over the existing electrical easement (L. 15526, P. 468, 470, 472). Provide information regarding the easement that permits the construction of a building within the easement.
 - a. Civil Engineered drawings will be submitted with the SPA set of documents.
9. An existing sanitary sewer easement (L7058, p 371) is indicated within the proposed building footprint. Provide information regarding the easement that permits the construction of a building within the easement.
 - a. Civil Engineered drawings will be submitted with the SPA set of documents.
10. The proposed transformer, curbing and concrete pad are indicated over the Ingress/ Egress easement (L 4350, P. 596).
 - a. Civil Engineered drawings will be submitted with the SPA set of documents.

11. A six foot tall masonry screen wall is proposed at the south end of the west property line, with just a pedestrian opening to maintain access to the raised porch area of the existing building to the west. A wall on the property line would create a space approximately 1 foot wide and three feet deep between the existing porch and the new screen wall, which we do not recommend for safety and maintenance.
 - a. ~~Civil Engineered drawings will be submitted with the SPA set of documents.~~
(AMENDED) No new screen walls are proposed. The existing 4' high masonry screen walls are to remain & be painted to match the building color. Refer to arch site plan on C.100.
12. No Landscape plan is provided. It appears that at least one tree will be removed for the construction of the building.
 - a. Civil Engineered drawings will be submitted with the SPA set of documents.
13. Provide a pavement cross section for the proposed pavements.
 - a. Civil Engineered drawings will be submitted with the SPA set of documents.
14. Indicate proposed site utilities, including proposed sanitary sewer lead, water service and fire protection.
 - a. Civil Engineered drawings will be submitted with the SPA set of documents.
15. It must be demonstrated that adequate fire hydrant protection can be provided for the proposed building. Show nearest hydrants.
 - a. Civil Engineered drawings will be submitted with the SPA set of documents.
16. Expand topographic survey to show features to 100' beyond the site boundary per Article 19 requirements. Show existing screen wall along east property line. Show zoning of adjacent parcels, including across rights-of-way.
 - a. Civil Engineered drawings will be submitted with the SPA set of documents.
17. No method or location for trash removal is indicated on the site plan.
 - a. Civil Engineered drawings will be submitted with the SPA set of documents.
18. The presence or absence of wetlands and/ or 100-year floodplan must be noted on the Site Plan.
 - a. Civil Engineered drawings will be submitted with the SPA set of documents.
19. A proposed finish floor elevation of the building is not indicated on the plan. An elevation change of approximately 1 foot occurs across the frontage of the building. Slopes to the sidewalk must meet ADA requirements.
 - a. Civil Engineered drawings will be submitted with the SPA set of documents.
20. We recommend that the proposed sidewalk adjacent to the parking be at least 7 foot in width to accommodate car overhang.
 - a. Civil Engineered drawings will be submitted with the SPA set of documents.
21. A parcel combination of Parcel 09-02-481-007 and 09-02-481-008 must be completed prior to construction.
 - a. Civil Engineered drawings will be submitted with the SPA set of documents.

Orion Township Fire Department Review

Fire Marshal Comments

- A. All existing and proposed water mains and fire hydrant location and sizes shall be indicated on the plans.
 - a. Civil Engineered drawings will be submitted with the SPA set of documents.

- B. Fire Department Connections (FDC) for sprinklers or standpipes shall be located with respect to hydrants, landscaping and fire department access roads. The Fire Department Connections shall be so located that the fire apparatus and hose connection to supply the system will not obstruct access to the building for other fire apparatus. The Fire Department Connection shall be located on the street side of the building or facing approved fire apparatus access roads, fully visible and recognizable for the street, fire apparatus access road or nearest point of the fire department vehicle access. The FDC location shall be indicated on the plans.
 - a. Civil Engineered drawings will be submitted with the SPA set of documents.

- C. The building is required to be equipped with a standpipe system installed in accordance with section 905 of the IFC and shall have a fire hydrant within 100 feet of the fire department connection.
 - a. Acknowledged

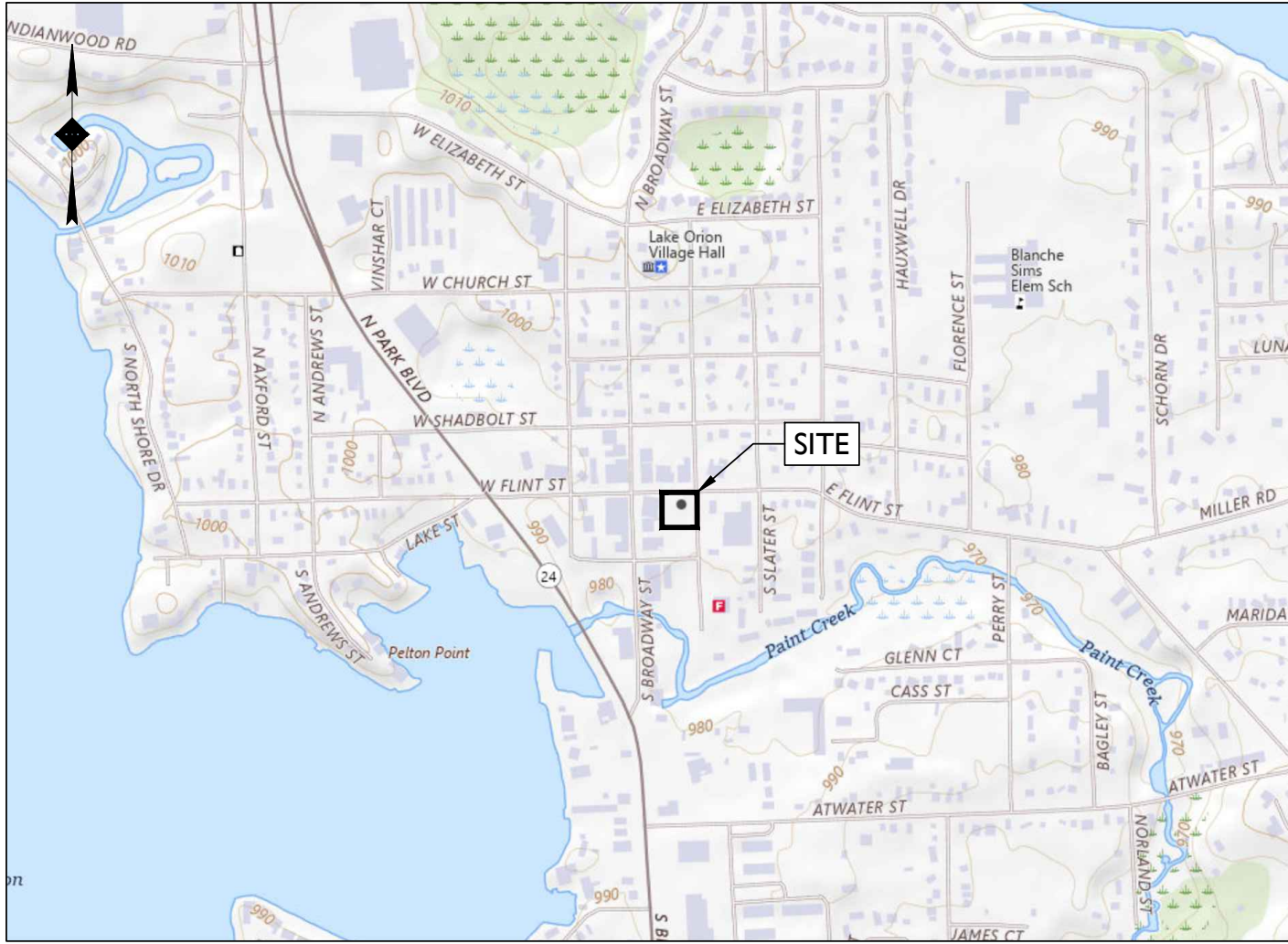
- D. Overhead utilities and power lines shall not be located over aerial fire apparatus access road or between the aerial fire apparatus access road and the building, removal or revised overhead utility shall be explained on the revised plans.
 - a. Civil Engineered drawings will be submitted with the SPA set of documents.

If you have any further comments, concerns, or questions; please do not hesitate to contact me.

Thank you,



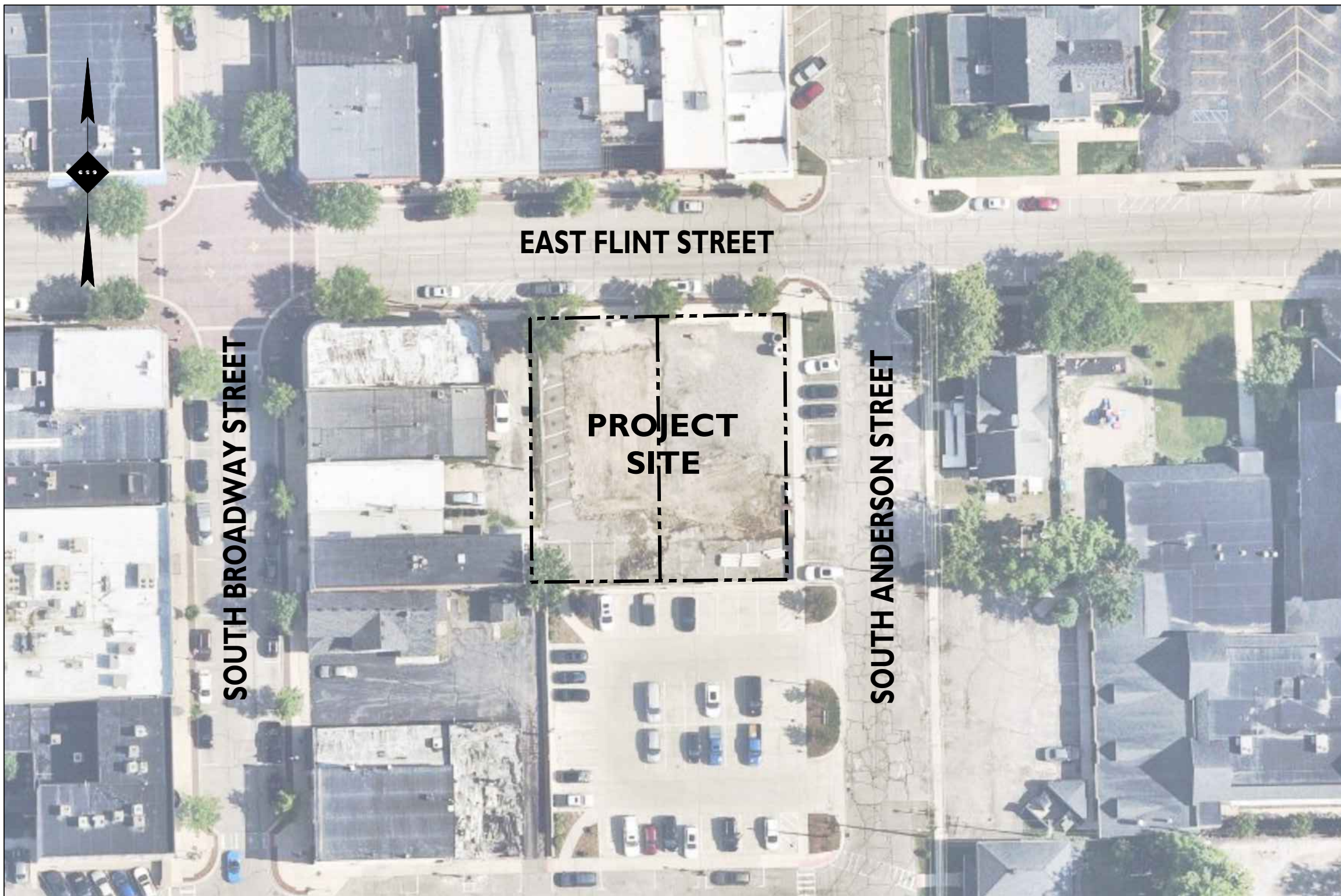
Jeff Klatt,
AIA Krieger Klatt Architects, Inc.



SOURCE: USGS NATIONAL MAPPER

LOCATION MAP

SCALE: 1" = 800'±



SOURCE: NEARMAP, DATE RETRIEVED 07/09/2024

AERIAL MAP

SCALE: 1" = 50'±

SITE DEVELOPMENT PLANS FOR 44 EAST FLINT STREET PROPOSED MIXED-USE BUILDING

PARCEL ID: 09-02-481-007 & 09-02-481-008

44 EAST FLINT STREET
VILLAGE OF LAKE ORION
OAKLAND COUNTY, MICHIGAN

THE SITE DOES NOT FALL WITHIN THE 100-YEAR
FLOODPLAIN OR CONTAIN ANY WETLANDS

APPLICANT

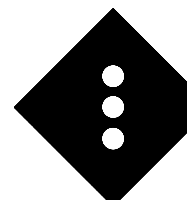
JS CAPITOL GROUP
155 ROMEO ROAD, SUITE 300
ROCHESTER, MI 48307
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ARCHITECT

KREIGER KLATT ARCHITECTS
2120 E 11 MILE ROAD
ROYAL OAK, MI 48067
248.414.9270
JEFF@KREIGERKLATT.COM

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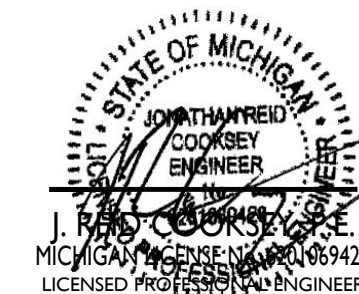
555 S. Old Woodward, Suite 12L, Birmingham, MI 48009

Phone 248.247.1115

SITE DEVELOPMENT PLANS

44 EAST FLINT STREET
PROPOSED MIXED-USE BUILDING

PARCEL ID: 09-02-481-007 & 09-02-481-008
44 EAST FLINT STREET
VILLAGE OF LAKE ORION
OAKLAND COUNTY, MICHIGAN



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SCALE: AS SHOWN PROJECT ID: DET-240125

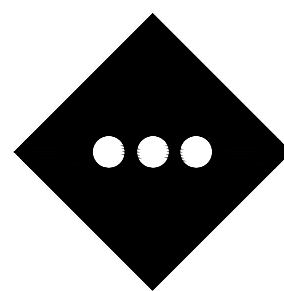
TITLE:

COVER SHEET

DRAWING:

C-1

PLANS PREPARED BY:



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Phone 248.247.1115



Know what's below
Call before you dig.

PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - TOPOGRAPHICAL SURVEY PREPARED BY AB-SB LAND SURVEY, P.C., DATED 03/07/2021
 - ARCHITECTURAL PLANS PREPARED BY KRIEGER KLATT ARCHITECTS, DATED 07/08/2024
 - AERIAL MAP PROVIDED BY NEARMAP, DATE RETRIEVED 07/09/2024
 - ZONING MAP PROVIDED BY VILLAGE OF LAKE ORION, DATE RETRIEVED 07/09/2024
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

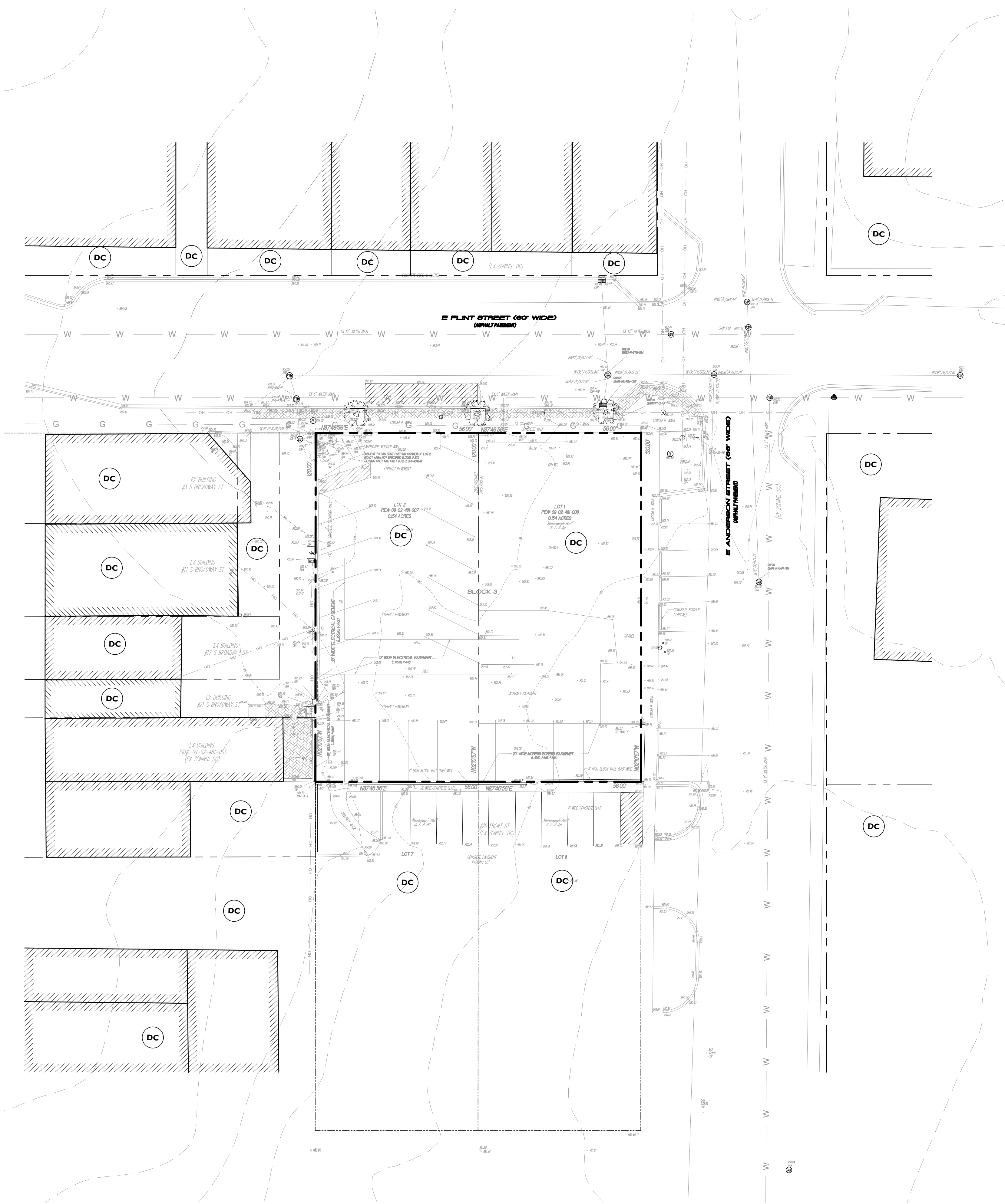
SHEET INDEX

DRAWING TITLE	SHEET #
COVER SHEET	C-1
EXISTING CONDITIONS PLAN	C-2
SITE PLAN	C-3
GRADING & STORMWATER MANAGEMENT PLAN	C-4
UTILITY PLAN	C-5
LANDSCAPING PLAN	C-6
CONSTRUCTION DETAILS	C-7

ADDITIONAL SHEETS

DRAWING TITLE	SHEET #
TOPOGRAPHIC SURVEY	1 OF 1

\\070104057424925 IS CAPITAL - 44 EAST FLINT STREET, LAKE ORION, MI 48067.DWG



GENERAL NOTES

—Utility information as shown herein are compilation of field observation and City's records, therefore no guarantee could be given as to their exact location and depth. An excavation might be needed in order to determine utility position.

—All measurements as shown herein are existing.

—All symbols as shown herein are not to scale.

—While surveying the property as shown herein, entire site was covered with snow and ice. AB—SB Land Survey, P.C. shell not be held liable if some of the site features were omitted.

—All measured elevations are expressed in North American Vertical Datum as of 1988. (NAVD88)

—AB—SB Land Survey, P.C retains the sole ownership of this document as an instrument of service and it can not be reused nor reproduced without written permission and additional compensation.
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LEGAL DESCRIPTION

#44 E Flint Street, Lake Orion, MI, 48362

Part of the E ½ of the SE 1/4 of Section 2, Town 4 North, Range 10 East, Village of Lake Orion, Oakland County, Michigan, being more particularly described as follows:
LOT 1 of BLOCK 3 of "Hemingway's Plat", as being recorded in Liber 1 of Plats, on Page 34, Oakland County Records.
Containing: 6,720 Square Feet—0.154 Acres, more or less.
Parcel Identification Number:# 09-02-481-008.
Subject to the rights of a public and any easements and/or restrictions of record or otherwise.

Vacant, E Flint Street, Lake Orion, MI, 48362

Part of the E ½ of the SE 1/4 of Section 2, Town 4 North, Range 10 East, Village of Lake Orion, Oakland County, Michigan, being more particularly described as follows:
LOT 2 of BLOCK 3 of "Hemingway's Plat", as being recorded in Liber 1 of Plats, on Page 34, Oakland County Records.
Containing: 6,720 Square Feet—0.154 Acres, more or less.
Parcel Identification Number:# 09-02-481-007.
Subject to the rights of a public and any easements and/or restrictions of record or otherwise.

TOTAL LAND AREA
13,440 ± SQUARE FEET
0.308 ± ACRES

FLOOD NOTE

Subject property as depicted herein,
DOES NOT LIE in a Special Flood
Hazard Area (SFHA), according to Flood
Insurance Rate Map (FIRM) No. 260588,
Panel No. 0236, Suffix "F", being
effective as of September 29, 2006.

SYMBOL

- UTILITY POLE
- OVER HEAD WIRE
- CHAIN LINK FENCE
- PAVEMENT CATCH BASIN/CBP
- CATCH BASIN
- EX. SANITARY M.H.
- EX. GATE VALVE & WATER
- EX. STORM M.H.
- EX. ELECTRIC MANHOLE
- EX. HYDRANT
- WATER SHUT OFF
- ELECTRIC METER
- TRANSFORMER
- PAVERS
- LIGHT POLE
- ELEVATION
- FINISH FLOOR
- FINISH GRADE
- P.I.D.
- GP
- TR-8-8
- T/R
- L/P
- TWA/BWA
- BM
- NAVD88
- EX
- INV
- CH-X
- FI/FCI
- SG
- CP

DESCRIPTION

SURVEY NOTES:

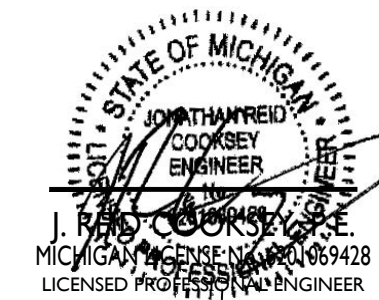
- THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

20' 0' 20' 40'
GRAPHIC SCALE IN FEET
1" = 20'

SITE DEVELOPMENT PLANS

44 EAST FLINT STREET PROPOSED MIXED-USE BUILDING

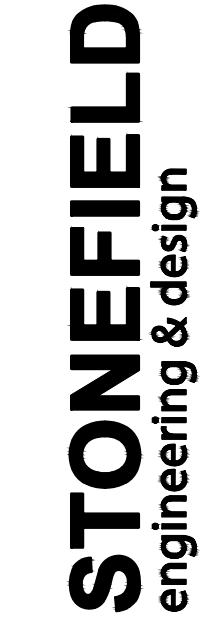
PARCEL ID: 09-02-481-007 & 09-02-481-008
44 EAST FLINT STREET
VILLAGE OF LAKE ORION
OAKLAND COUNTY, MICHIGAN



SCALE: 1" = 20' PROJECT ID: DET-240125

TITLE:
EXISTING CONDITIONS
PLAN

DRAWING:
C-2



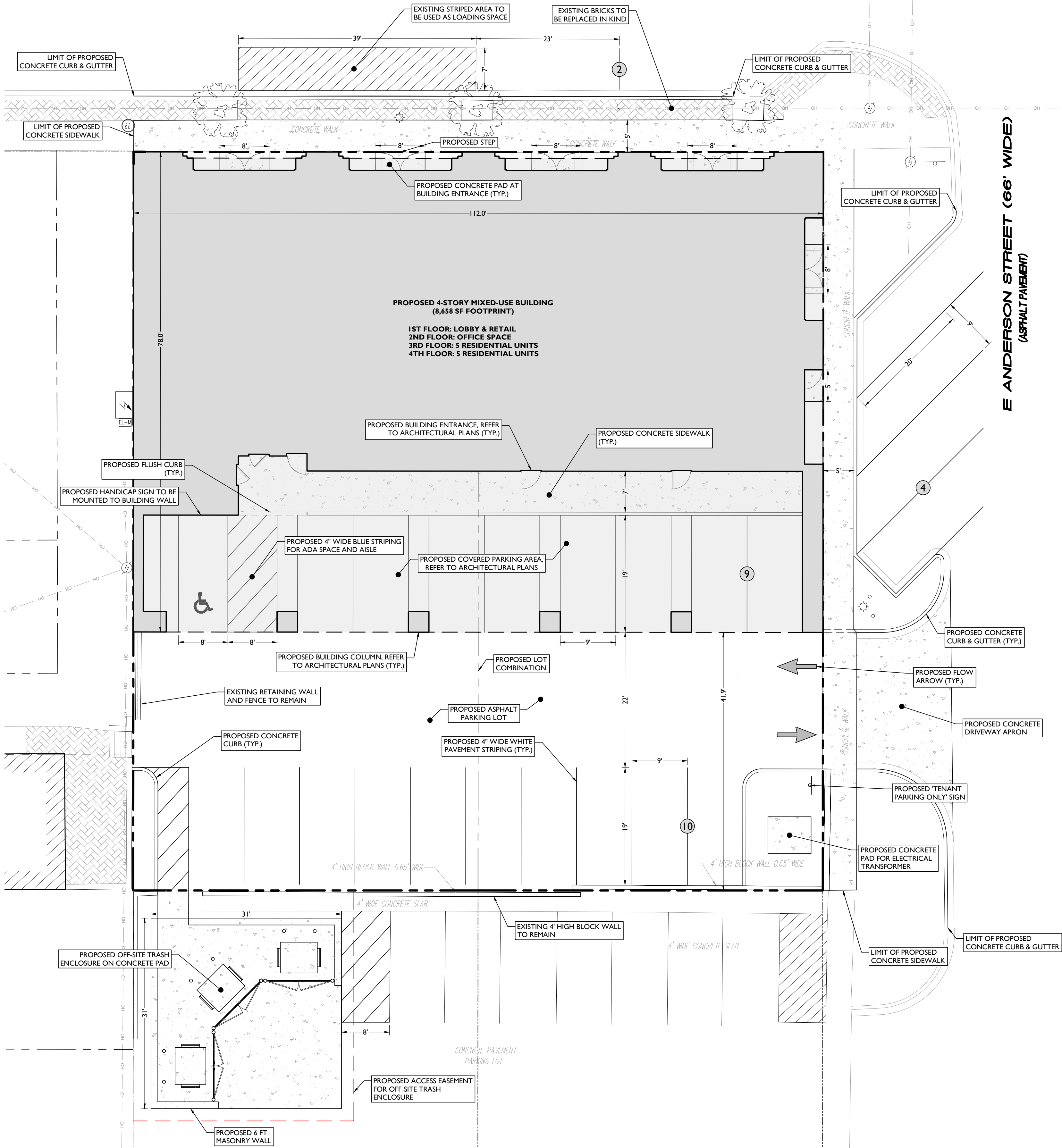
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www.stonefielddesign.com
555 S. Old Woodward, Suite 12L, Birmingham, MI 48009
Phone 248.247.1115

NOT APPROVED FOR CONSTRUCTION

FOR SITE PLAN APPROVAL	DATE	BY	DESCRIPTION
	07/15/2024		

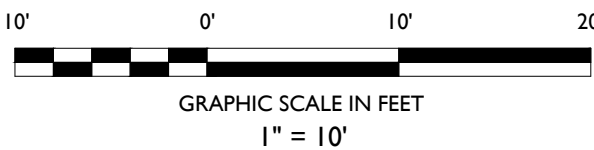
E FLINT STREET (60' WIDE)
(ASPHALT PAVEMENT)

E ANDERSON STREET (66' WIDE)
(ASPHALT PAVEMENT)



SYMBOL	DESCRIPTION
	PROPERTY LINE
	PROPOSED CONCRETE CURB & GUTTER
	PROPOSED CONCRETE CURB
	PROPOSED FLUSH CURB
	PROPOSED SIGN
	PROPOSED BUILDING
	PROPOSED BUILDING OVERHANG
	PROPOSED CONCRETE
	PROPOSED BUILDING DOORS

- GENERAL NOTES**
- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
 - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
 - ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
 - THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
 - THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
 - THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
 - THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 - THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
 - THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
 - SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.

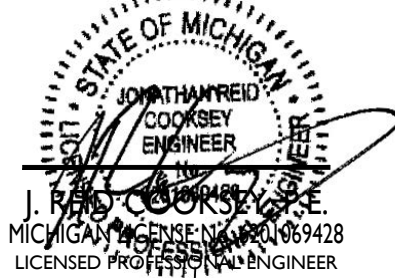


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44 EAST FLINT STREET
PROPOSED MIXED-USE BUILDING



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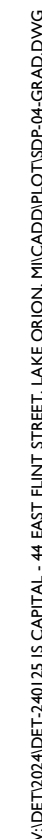
SCALE: 1" = 10' PROJECT ID: DET-240125

TITLE:

SITE PLAN

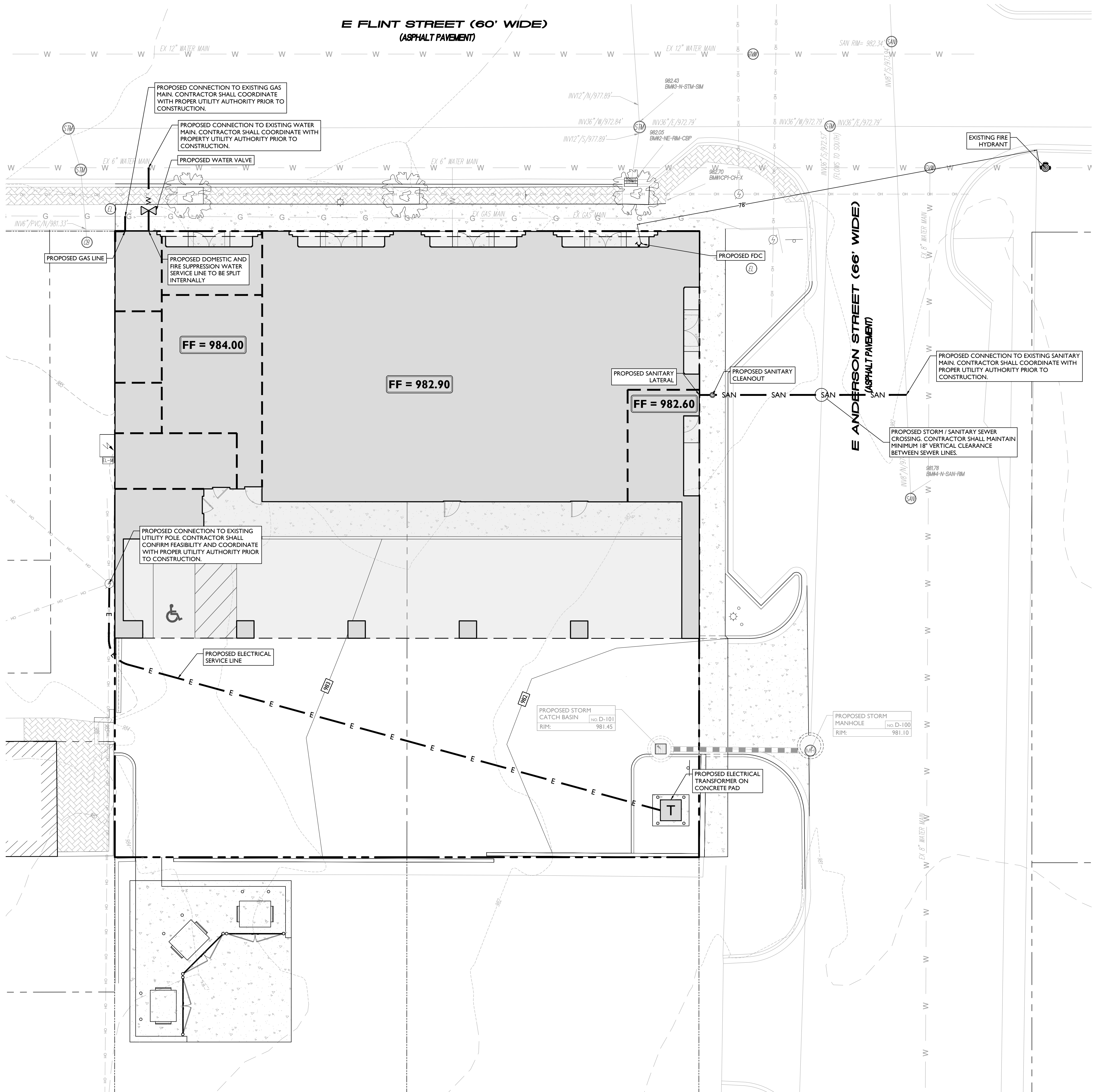
DRAWING:

C-3



C-4

NOTED: 44 EAST FLINT STREET, LANE ORIGIN, ROAD CENTERLINE BUILDING



BENCHMARKS

SITE BENCH MARK NO. 1:
TOP OF CHISELED "X" IN
CONCRETE WALK, BEING
8.5 FEET NWLY FROM THE
NE CORNER OF LOT 1 OF
THE SUBJECT PROPERTY.
EL=982.70' (NAVD88).

SITE BENCH MARK NO. 2:
NE RIM OF PAVEMENT
CATCH BASIN, BEING 15.9
FEET NWLY FROM THE NE
CORNER OF LOT 1 OF THE
SUBJECT PROPERTY.
EL=982.05' (NAVD88).

SITE BENCH MARK NO. 3:
NORTH RIM OF A STORM
MANHOLE, BEING 10 FEET
NLY FROM BM#2.
EL=982.43' (NAVD88).

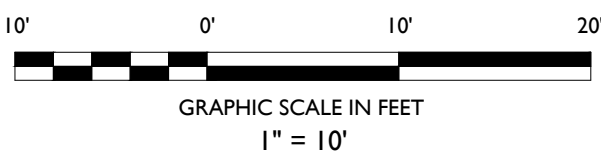
SYMBOL

---	PROPERTY LINE
SAN	PROPOSED SANITARY LATERAL
W	PROPOSED DOMESTIC WATER SERVICE
E	PROPOSED ELECTRIC CONDUITS
G	PROPOSED GAS LINE
⊗	PROPOSED VALVE
⊙	EXISTING FIRE HYDRANT
⋈	PROPOSED FIRE DIRECT CONNECTION (FDC)
○	PROPOSED SANITARY CLEANOUT
T	PROPOSED TRANSFORMER ON CONCRETE PAD WITH BOLLARDS

DESCRIPTION

DRAINAGE AND UTILITY NOTES

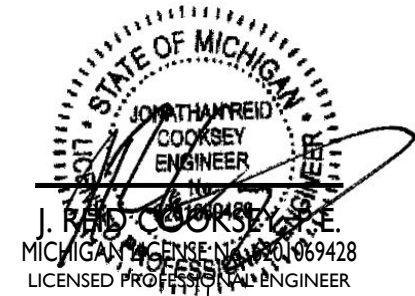
1. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
2. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
3. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
4. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
5. ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
6. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
7. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
8. CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP-GRADE.
9. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
10. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.



SITE DEVELOPMENT PLANS

**44 EAST FLINT STREET
PROPOSED MIXED-USE BUILDING**

PARCEL ID: 09-02-481-007 & 09-02-481-008
44 EAST FLINT STREET
VILLAGE OF LAKE ORION
OAKLAND COUNTY, MICHIGAN



SCALE: 1" = 10' PROJECT ID: DET-240125

TITLE:

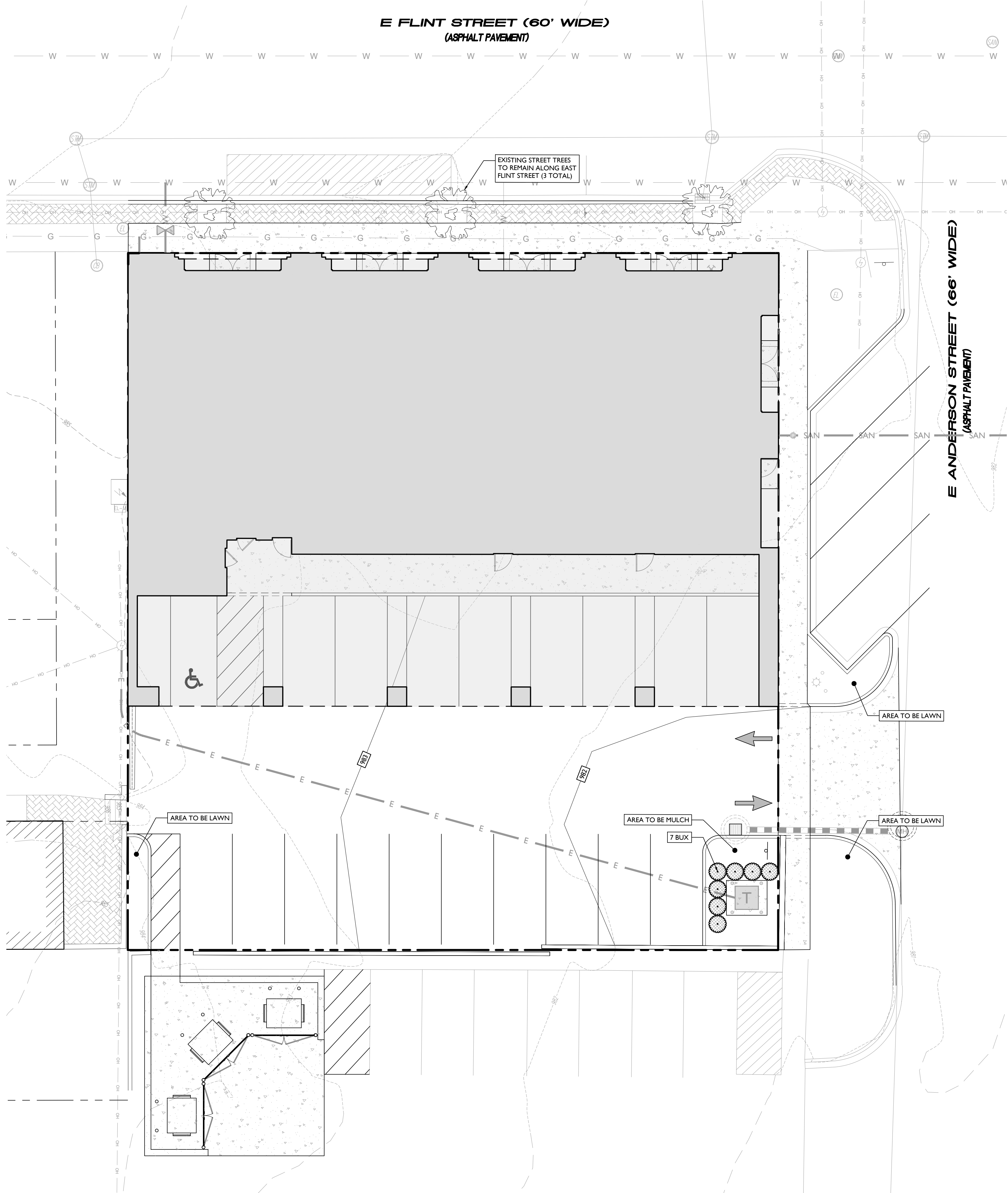
UTILITY PLAN

DRAWING:

C-5

FOR SITE PLAN APPROVAL
DATE
BY
DESCRIPTION

V:\071014057\240125 15 CAPITAL - 44 EAST FLINT STREET LAKE ORION, MI\040510107.DWG



LANDSCAPING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 15.02.C.	DC DOWNTOWN LANDSCAPING PARCELS IN DC - DOWNTOWN DISTRICT ARE EXEMPT FROM LANDSCAPING REQUIREMENTS EXCEPT FOR:	
§ 15.02.C.1.	TREES REQUIRED TO ENHANCE BUILDING AND STREET	COMPLIES
§ 15.02.C.2.	PLANTER BOXES OR OTHER LANDSCAPE FEATURES REQUIRED WHERE APPROPRIATE	COMPLIES
§ 15.02.C.3.	OUTDOOR UTILITY EQUIPMENT SHALL BE SCREENED	COMPLIES

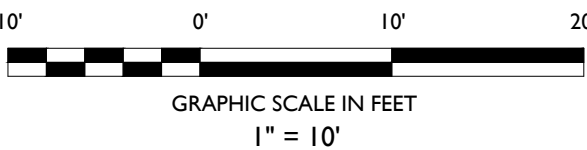
PLANT SCHEDULE						
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
EVERGREEN SHRUBS						
	BUX	7	BUXUS X 'GREEN MOUNTAIN'	GREEN MOUNTAIN BOXWOOD	18" - 24"	POT
	SEM	5	BUXUS SEMPERVIRENS 'SUFFRUTICOSA'	SUFFRUTICOSA COMMON BOXWOOD	18" - 24"	POT

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.



Know what's below
Call before you dig.

- LANDSCAPING NOTES**
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
 - THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
 - THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
 - THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.



SITE DEVELOPMENT PLANS

44 EAST FLINT STREET
PROPOSED MIXED-USE BUILDING

PARCEL ID: 09-02-481-007 & 09-02-481-008
44 EAST FLINT STREET
VILLAGE OF LAKE ORION
OAKLAND COUNTY, MICHIGAN



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SCALE: 1" = 10' PROJECT ID: DET-240125

TITLE:

LANDSCAPING PLAN

DRAWING:

C-6

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Phone 248.247.1115

NOT APPROVED FOR CONSTRUCTION

DATE

ISSUE

DESCRIPTION

FOR SITE PLAN APPROVAL

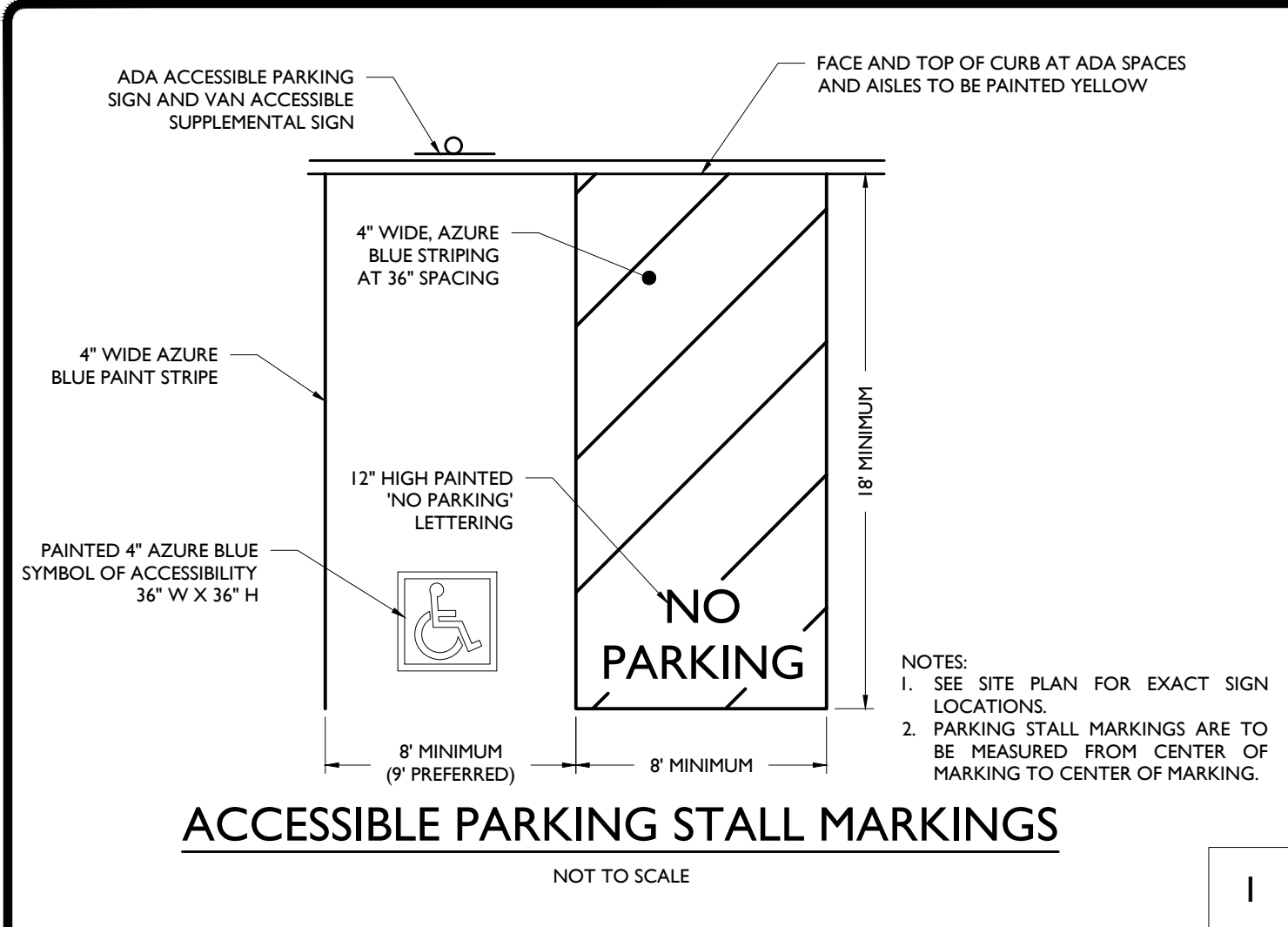
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ISSUE

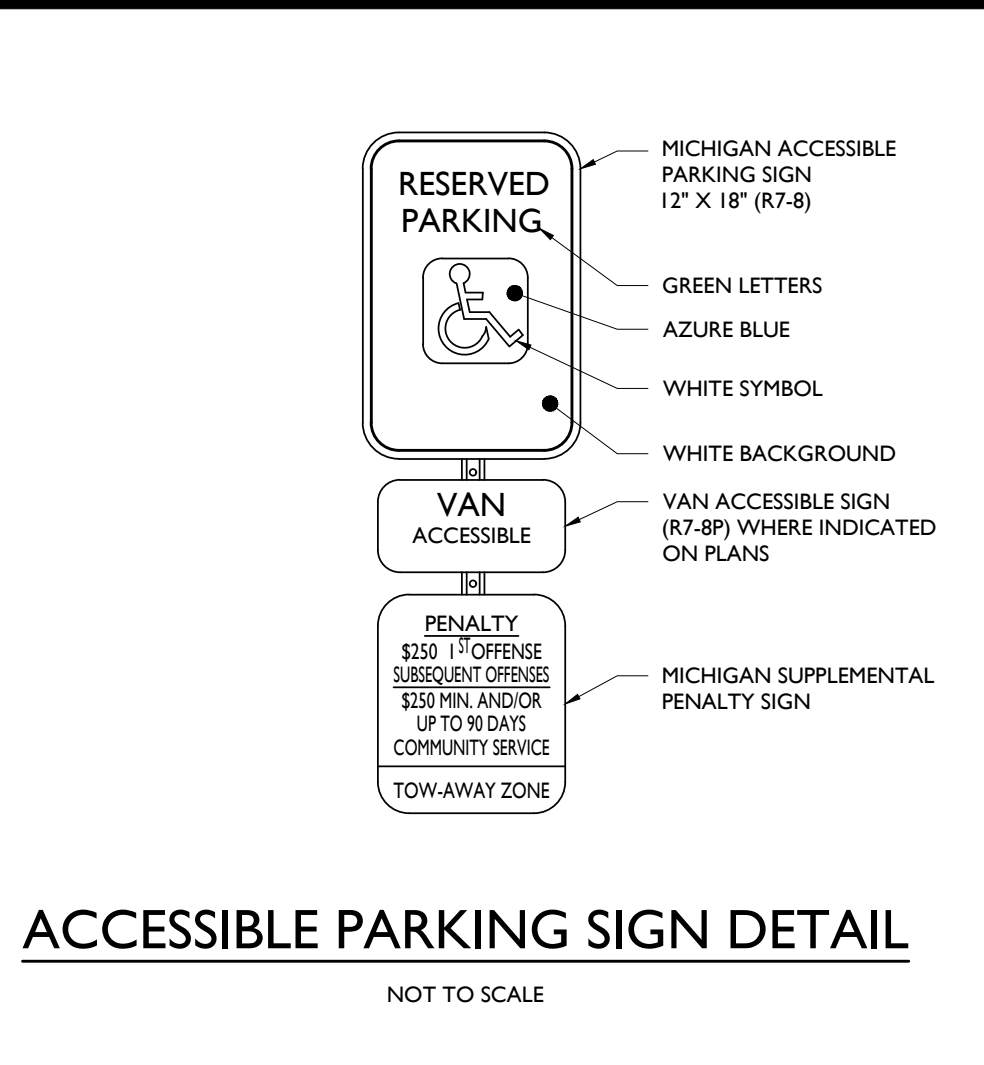
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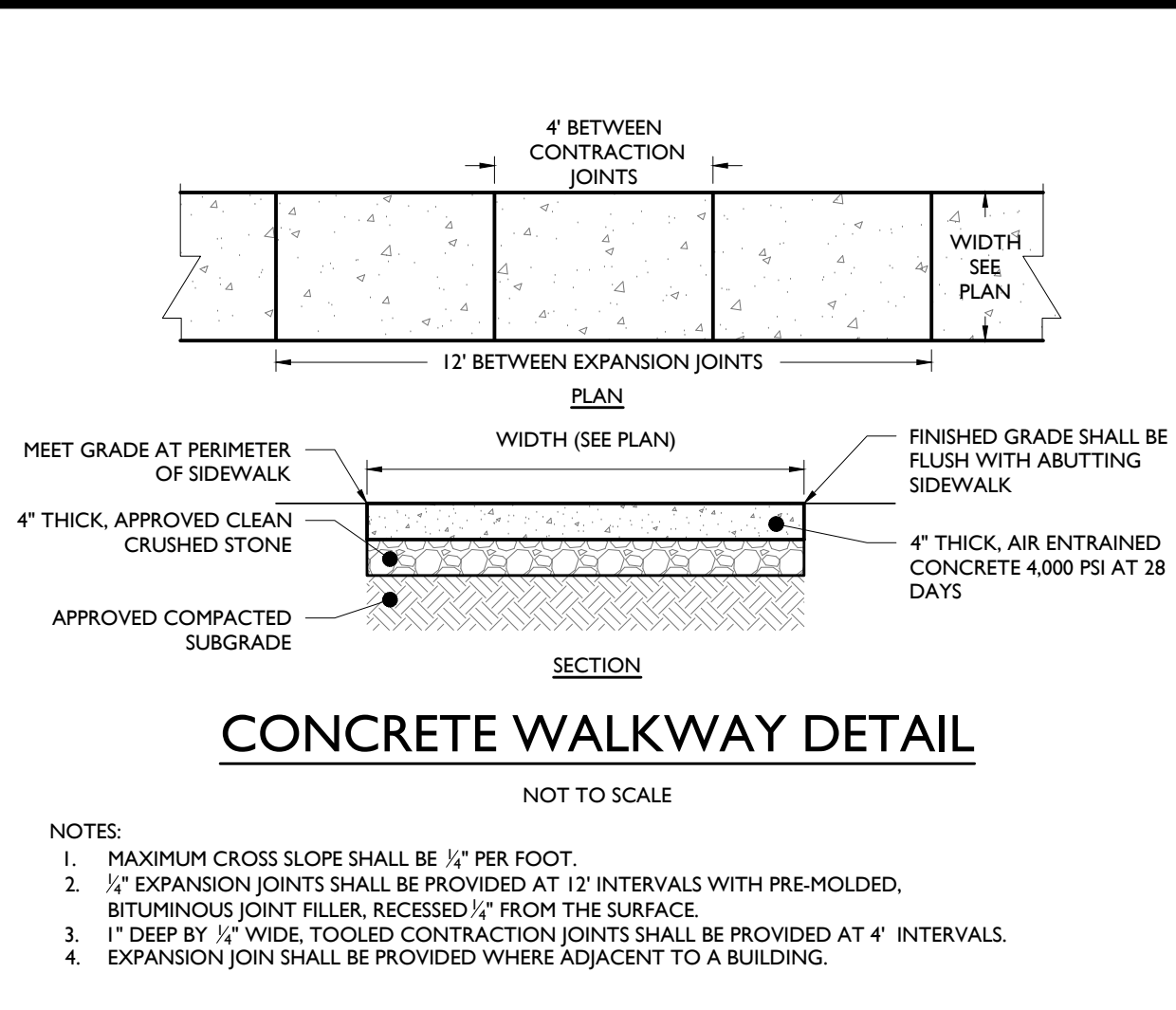
\\07010405724925\5 CAPITAL - 44 EAST FLINT STREET LAKE ORION, MICHIGAN\LOT 20P-2\2017.DWG



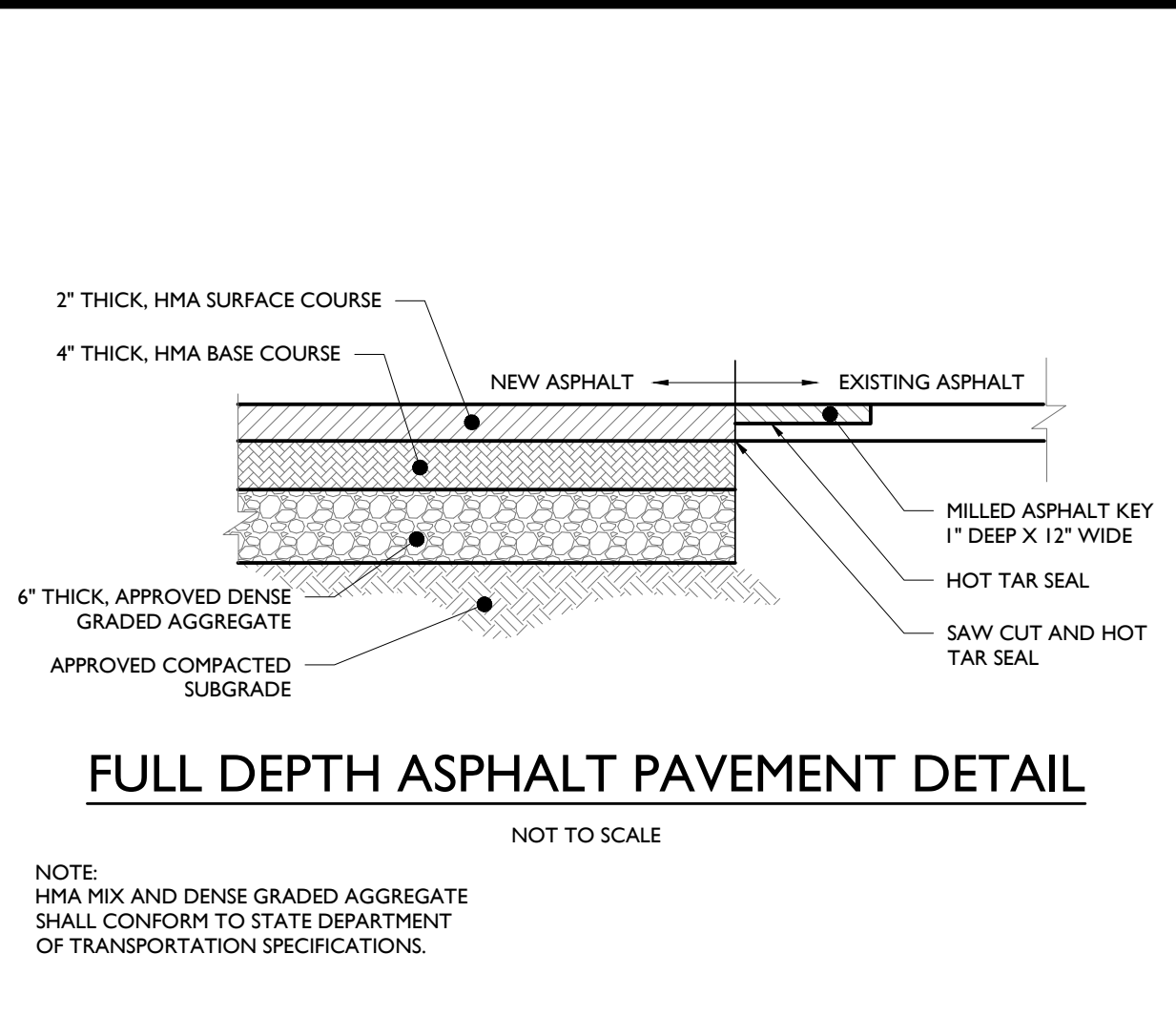
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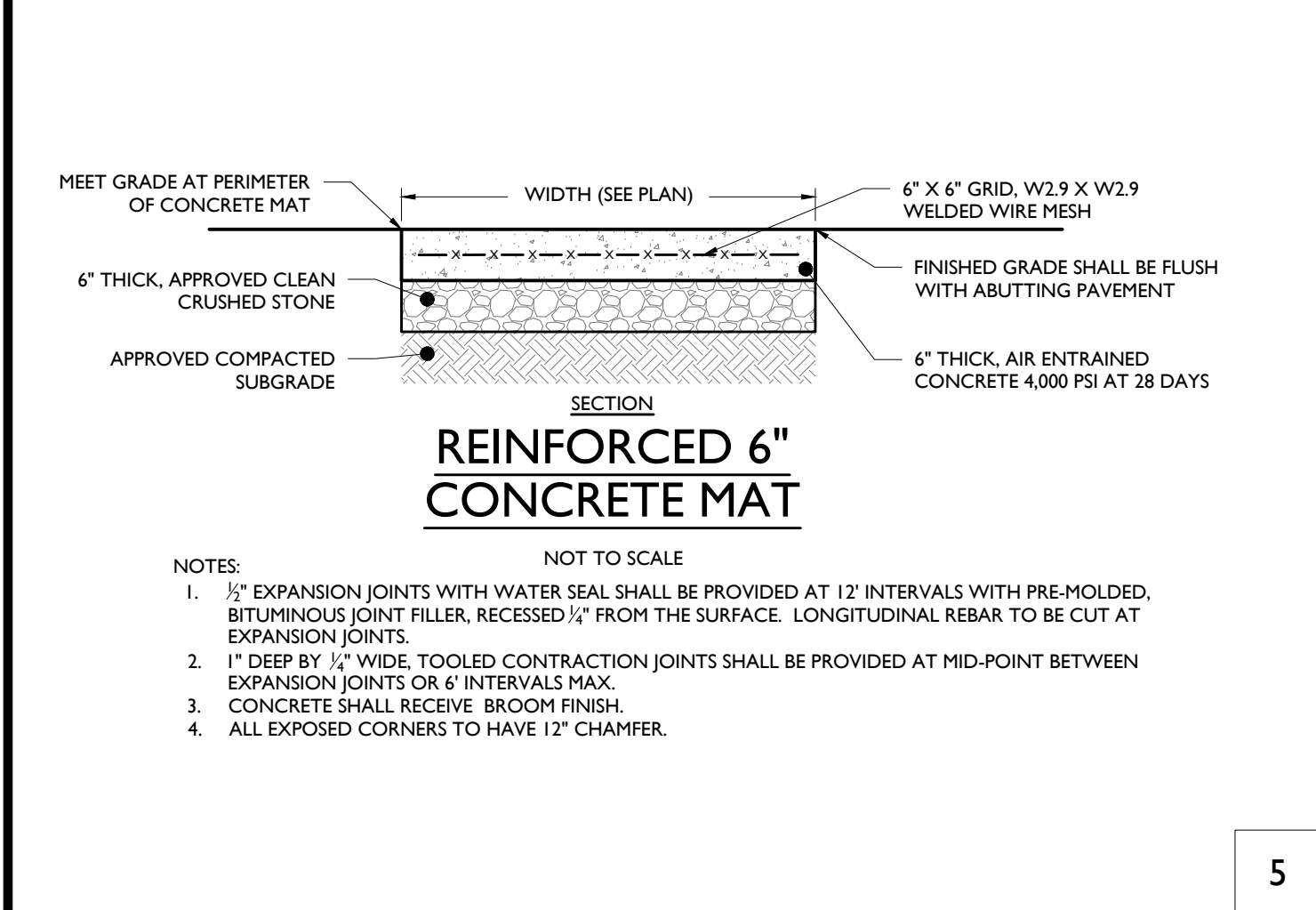
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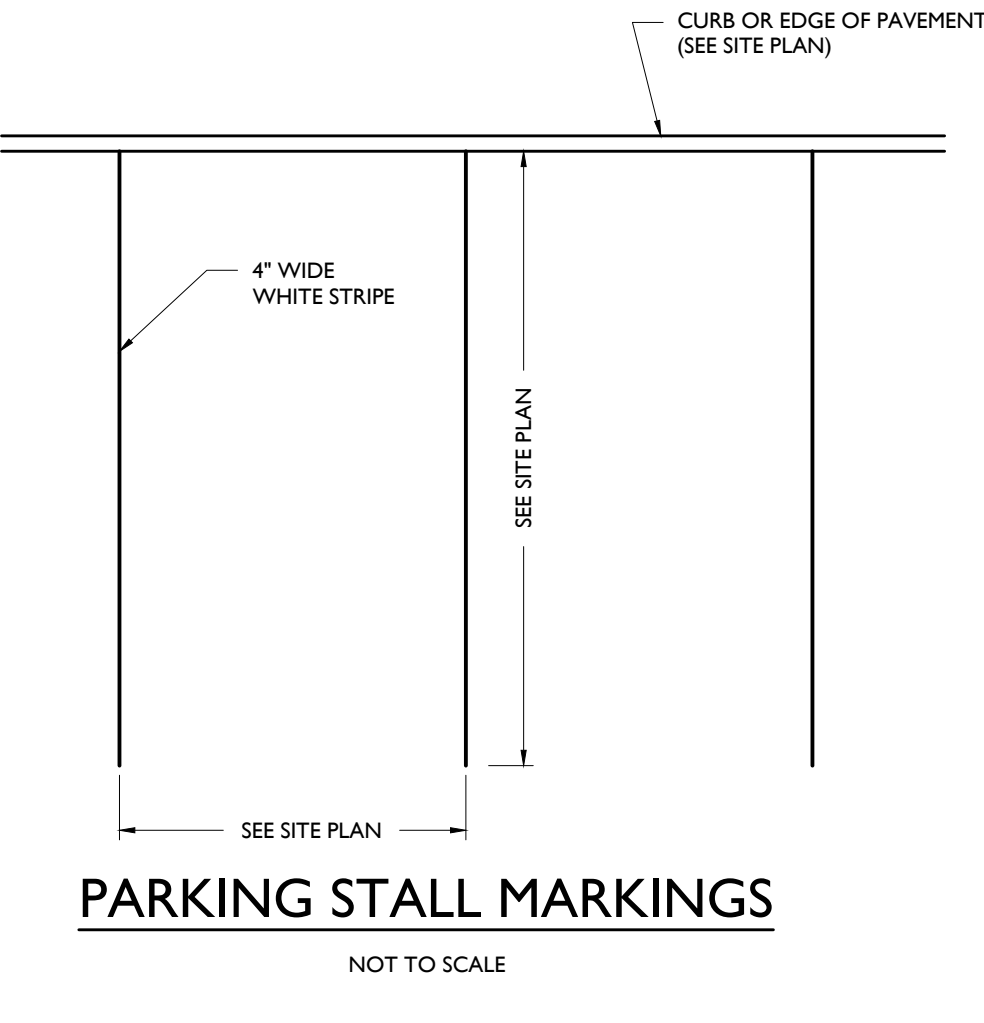
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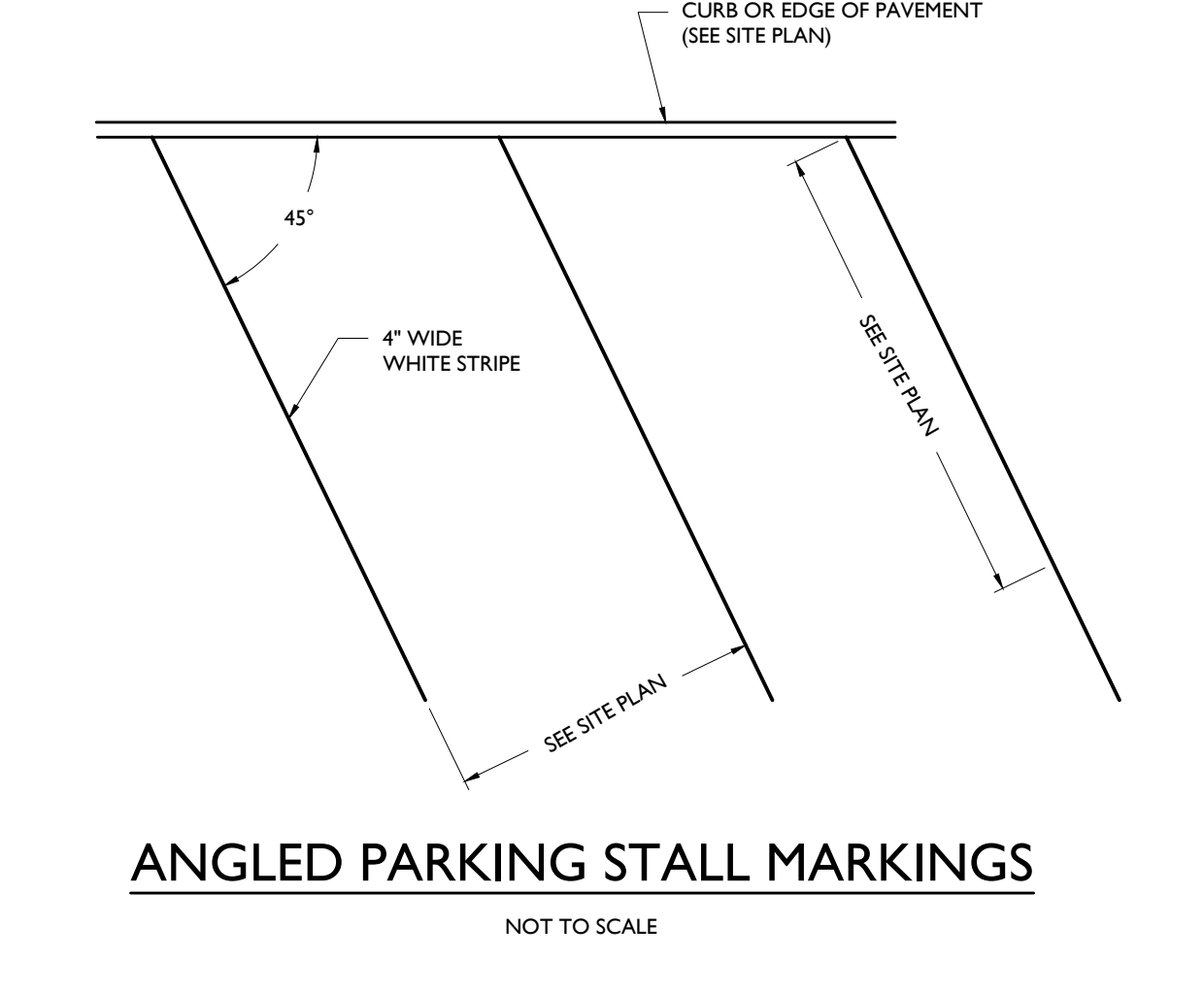
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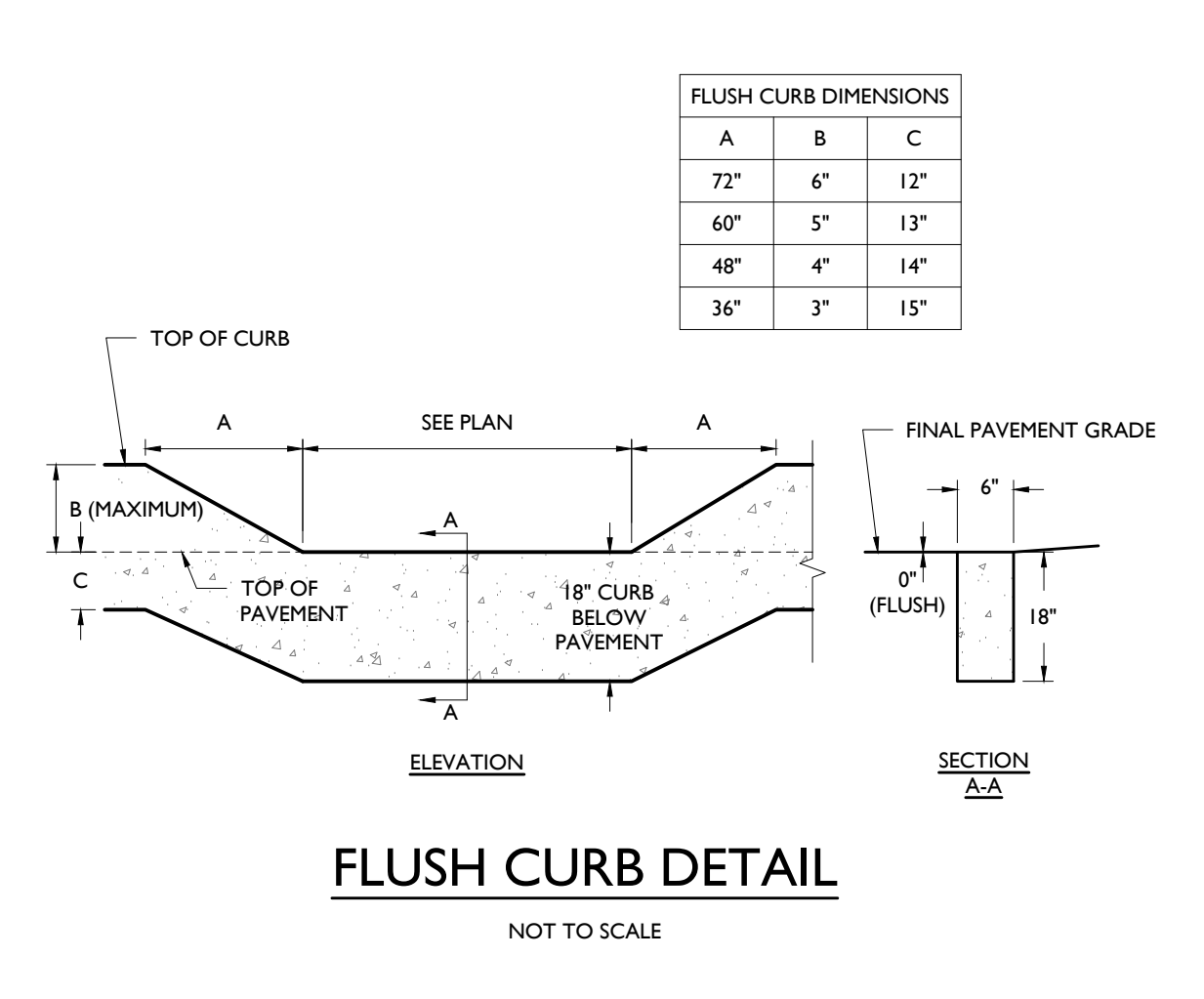
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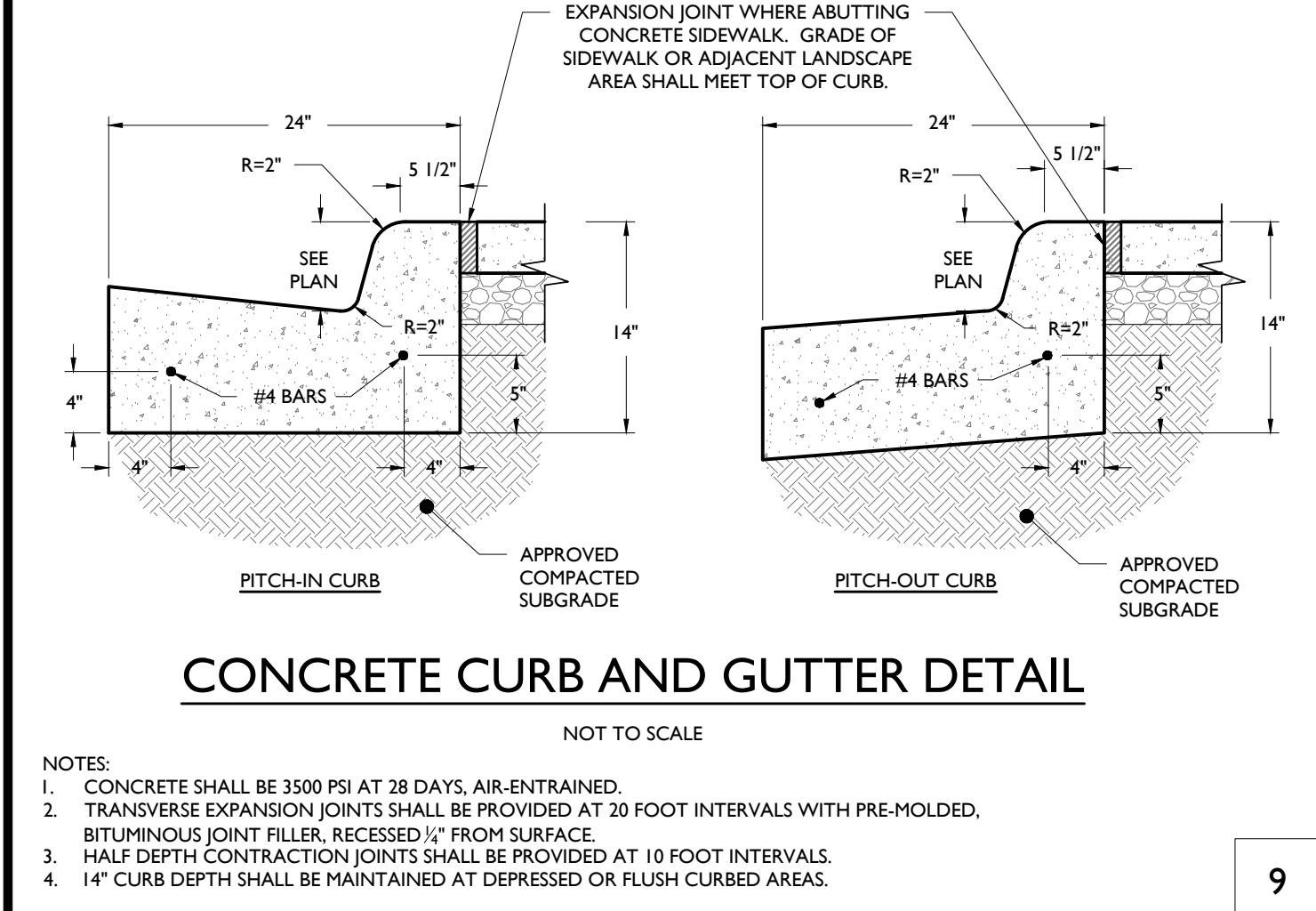
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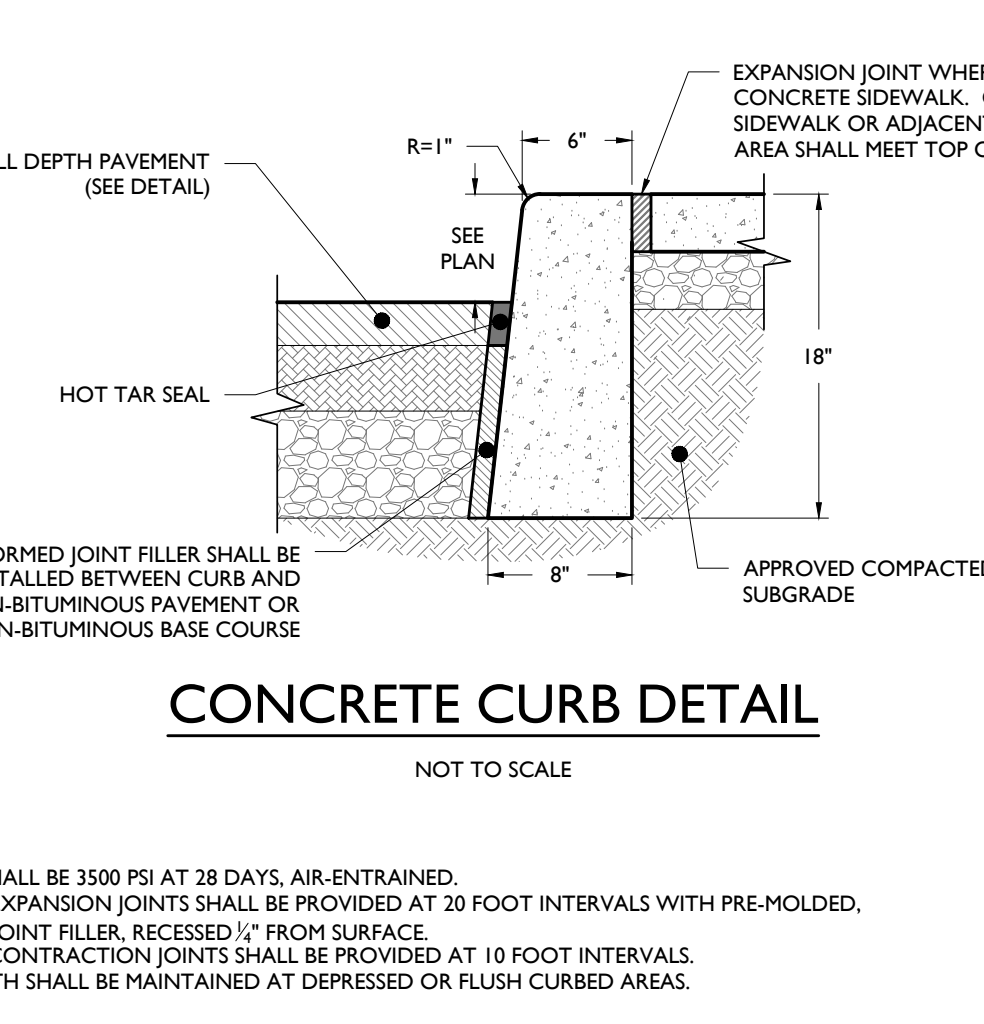
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8



9



10

NOT APPROVED FOR CONSTRUCTION

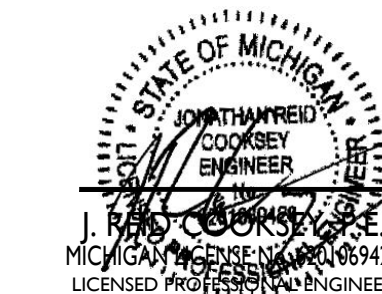
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SITE DEVELOPMENT PLANS

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PARCEL ID: 09-02-481-007 & 09-02-481-008
44 EAST FLINT STREET
VILLAGE OF LAKE ORION
OAKLAND COUNTY, MICHIGAN



STONEFIELD
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SCALE: AS SHOWN PROJECT ID: DET-240125

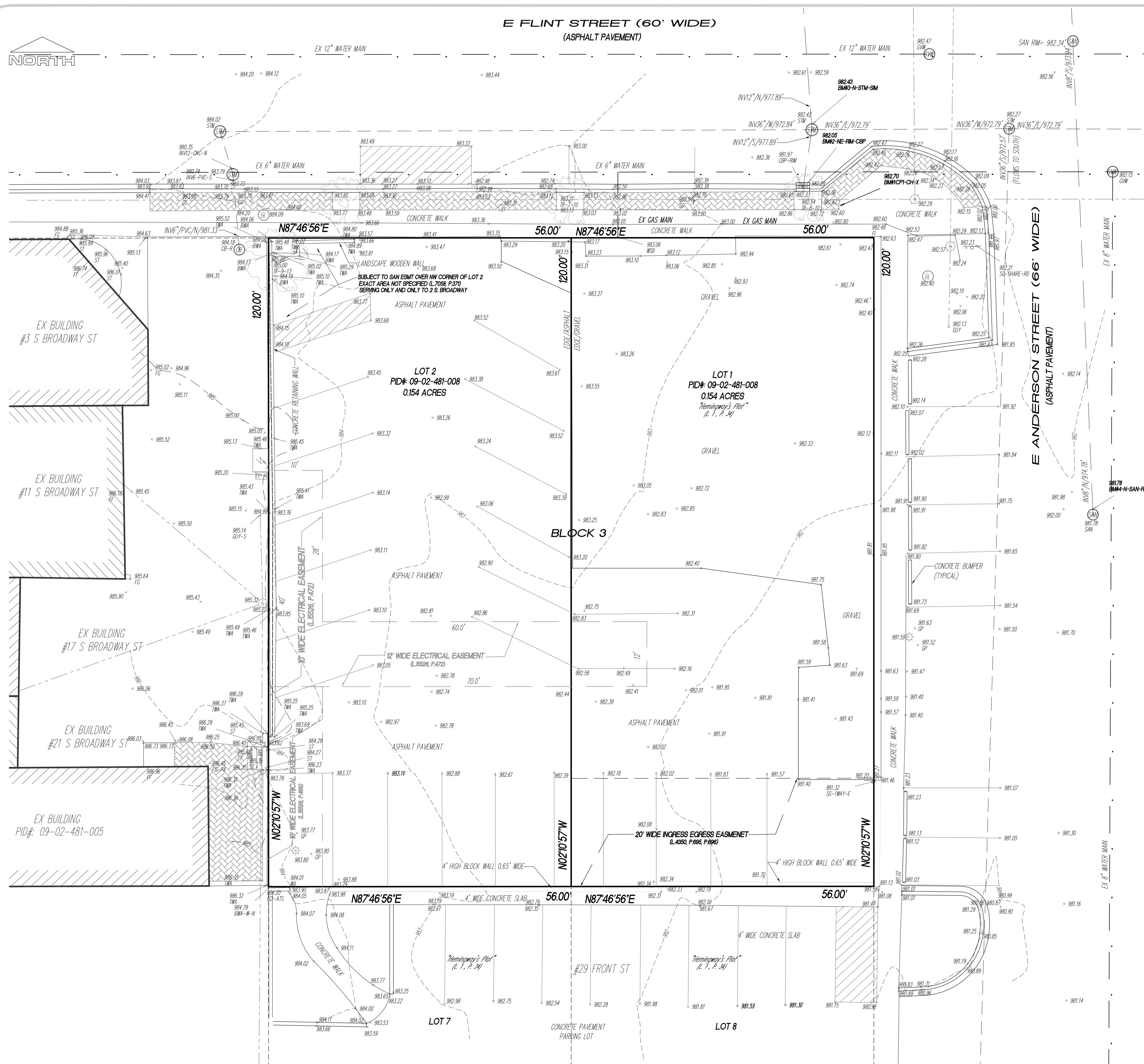
TITLE:

**CONSTRUCTION
DETAILS**

DRAWING:

C-7

TOPOGRAPHIC SURVEY



LEGEND

- UTILITY POLE
- OVER HEAD WIRE
- CHAIN LINK FENCE
- PAVEMENT CATCH BASIN/CBP
- CATCH BASIN
- EX. SANITARY M.H.
- EX. GATE VALVE & WATER
- EX. STORM M.H.
- EX. ELECTRIC MANHOLE
- EX. HYDRANT
- WATER SHUT OFF
- ELECTRIC METER
- TRANSFORMER
- PAVERS
- LIGHT POLE
- ELEVATION
- FINISH FLOOR
- FINISH GRADE
- PARCEL IDENTIFICATION NUMBER
- GUARD POST
- TR-8-8
- TREE-8" TRUNK-8FT SPREAD
- TOWN/RANGE
- L/P
- TWA/BWA
- BM
- NAVD88
- EX
- INV
- CH-X
- FI/CI
- SG
- CP

WSO
EL-M
FF
FG
P.I.D.
GP
TR-8-8
T/R
L/P
TWA/BWA
BM
NAVD88
EX
INV
CH-X
FI/CI
SG
CP

BENCH MARK INFORMATION

Site Bench Mark No. 1:
Top of chiseled "X" in concrete walk, being 8.5 feet NW'LY from the NE corner of LOT 1 of the subject property. EL=982.70' (NAVD88).

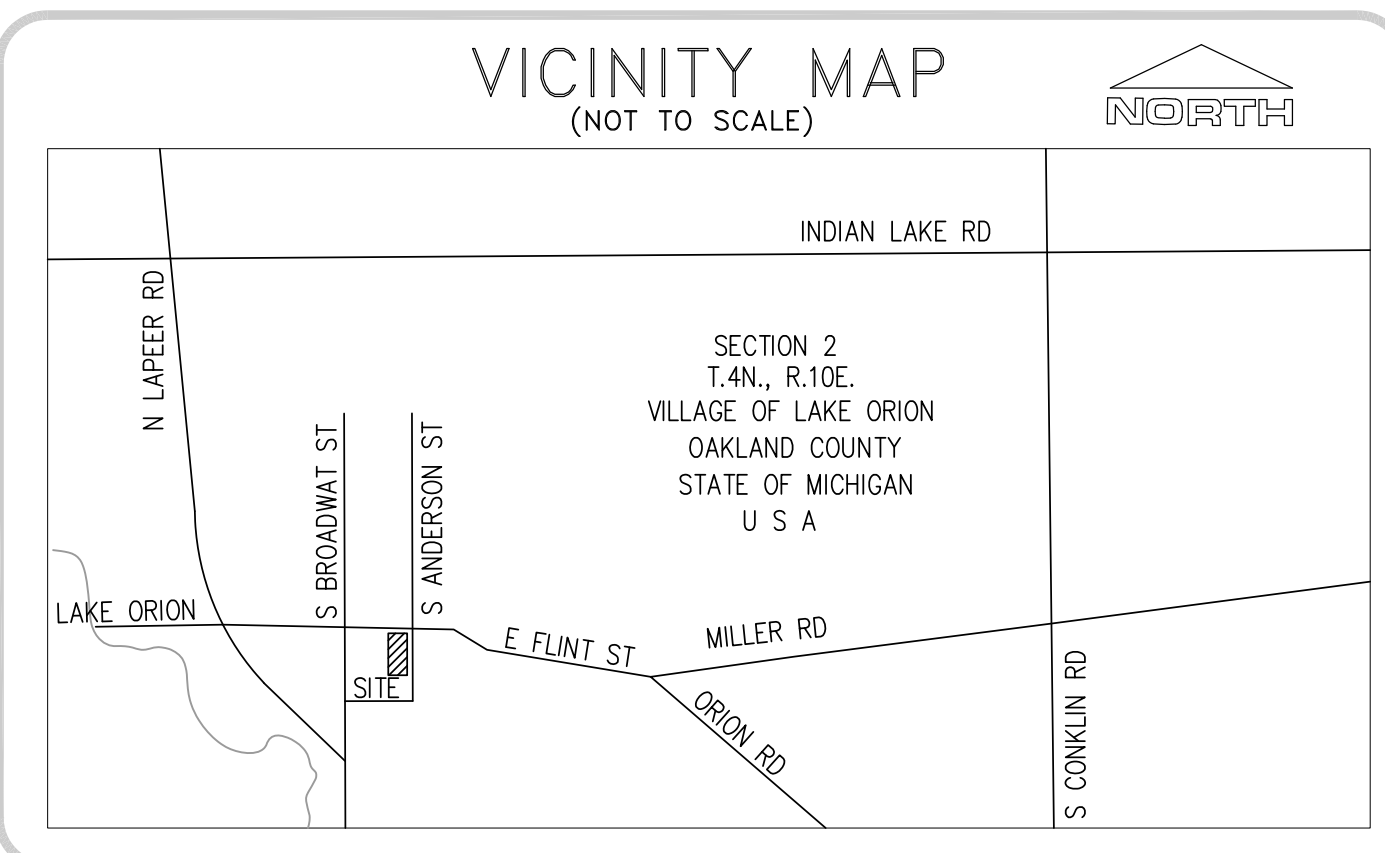
Site Bench Mark No. 2:
NE rim of pavement catch basin, being 15.9 feet NW'LY from the NE corner of LOT 1 of the subject property. EL=982.05' (NAVD88).

Site Bench Mark No. 3:
North rim of a storm manhole, being 10 feet N'LY from BM#2. EL=982.43' (NAVD88).

TOTAL LAND AREA
13,440 ± SQUARE FEET
0.308 ± ACRES

FLOOD NOTE

Subject property as depicted herein, DOES NOT LIE in a Special Flood Hazard Area (SFHA), according to Flood Insurance Rate Map (FIRM), No. 260588, Panel No. 0236, Suffix "F", being effective as of September 29, 2006.



GENERAL NOTES

-Utility information as shown herein are compilation of field observation and City's records, therefore no guarantee could be given as to their exact location and depth. An excavation might be needed in order to determine utility position.

-All measurements as shown herein are existing.

-All symbols as shown herein are not to scale.

-While surveying the property as shown herein, entire site was covered with snow and ice. AB-SB Land Survey, P.C. shall not be held liable if some of the site features were omitted.

-All measured elevations are expressed in North American Vertical Datum as of 1988. (NAVD88)

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LEGAL DESCRIPTION

#44 E Flint Street, Lake Orion, MI, 48362
Part of the E 1/2 of the SE 1/4 of Section 2, Town 4 North, Range 10 East, Village of Lake Orion, Oakland County, Michigan, being more particularly described as follows:
LOT 1 of BLOCK 3 of "Hemingway's Plat", as being recorded in Liber 1 of Plats, on Page 34, Oakland County Records. Containing: 6,720 Square Feet---0.154 Acres, more or less. Parcel Identification Number:# 09-02-481-008.
Subject to the rights of a public and any easements and/or restrictions of record or otherwise.

Vacant, E Flint Street, Lake Orion, MI, 48362
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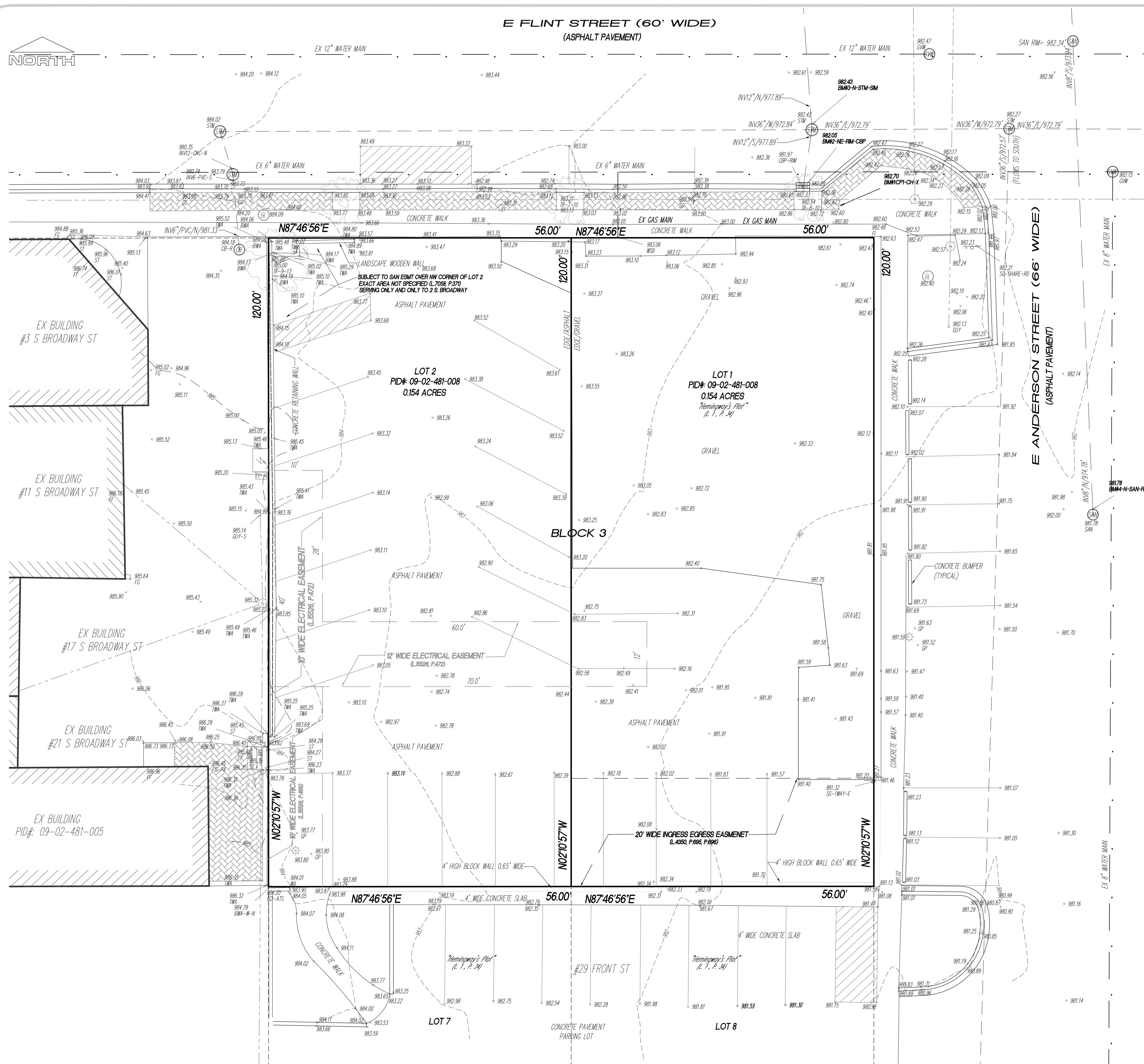


Mende Bezanovski, P.S. 49430
Professional Surveyor in the State of Michigan

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TEL: (586) 822-4984 FAX: (586) 591-5930
info@ab-sb-landsurvey.com
www.ab-sb-landsurvey.com

SCALE: 1" = 10'	PAGE: 1 OF 1
JOB NUMBER: 2021-02-04-127-SS	DRAWN: MB
FIELD: MB	CHECKED: MB
REVISIONS:	DATE: 03-07-2021
CLIENT: TRI-COUNTY ENGINEERING	
ADDRESS: 44 E Flint Street Lake Orion, MI, 48362	TEL: (810)-394-7887 FAX: (586)-566-4642

TOPOGRAPHIC SURVEY



LEGEND

- UTILITY POLE
- OVER HEAD WIRE
- CHAIN LINK FENCE
- PAVEMENT CATCH BASIN/CBP
- CATCH BASIN
- EX. SANITARY M.H.
- EX. GATE VALVE & WATER
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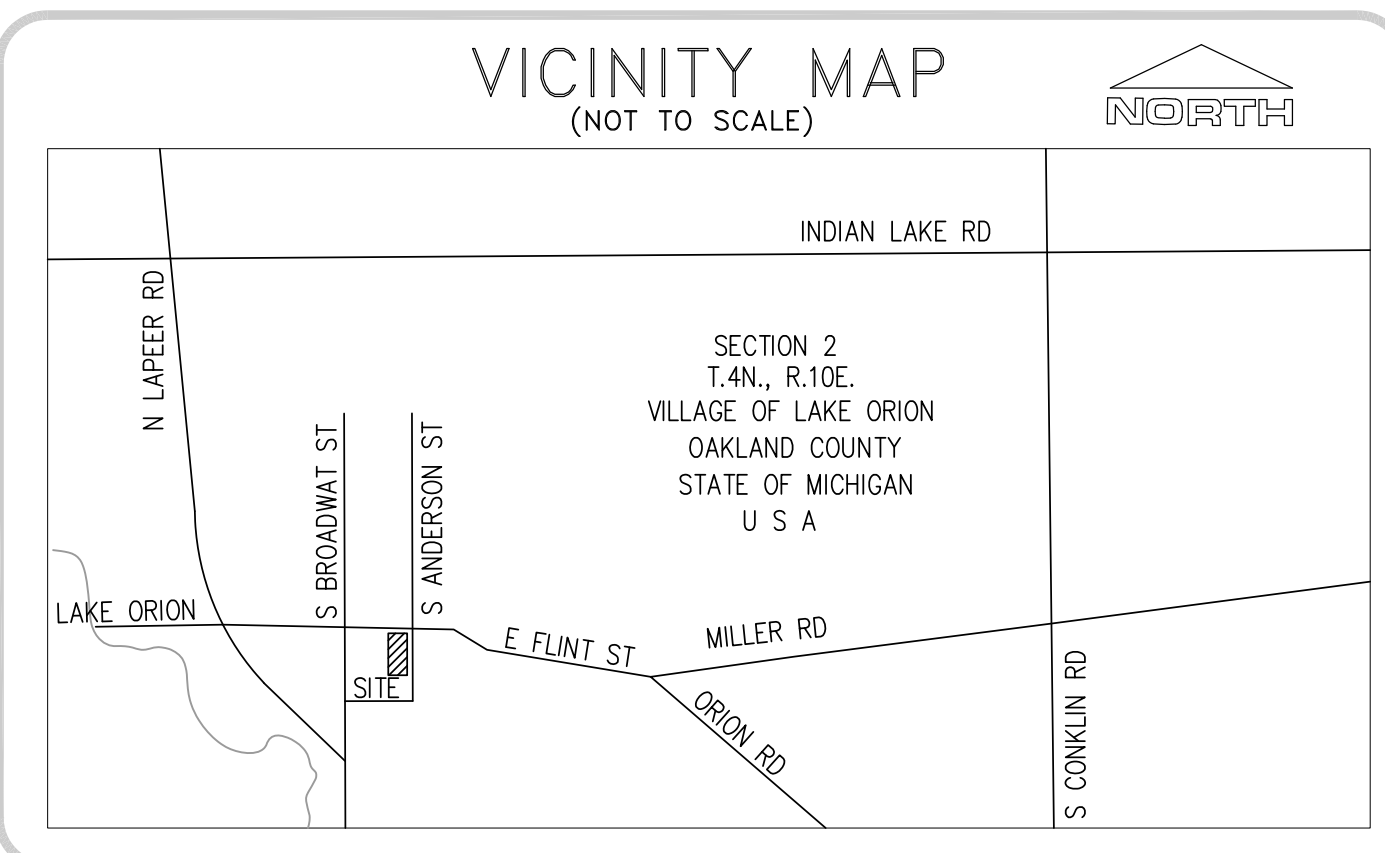
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0' 5' 10' 20'

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CLIENT: TRI-COUNTY ENGINEERING	
ADDRESS: 44 E Flint Street Lake Orion, MI, 48362	TEL: (810)-394-7887 FAX: (586)-566-4642

[illegible]

Note:

Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North

A circular diagram with a vertical line and two diagonal lines forming a triangle at the top. The word "North" is written above the circle.

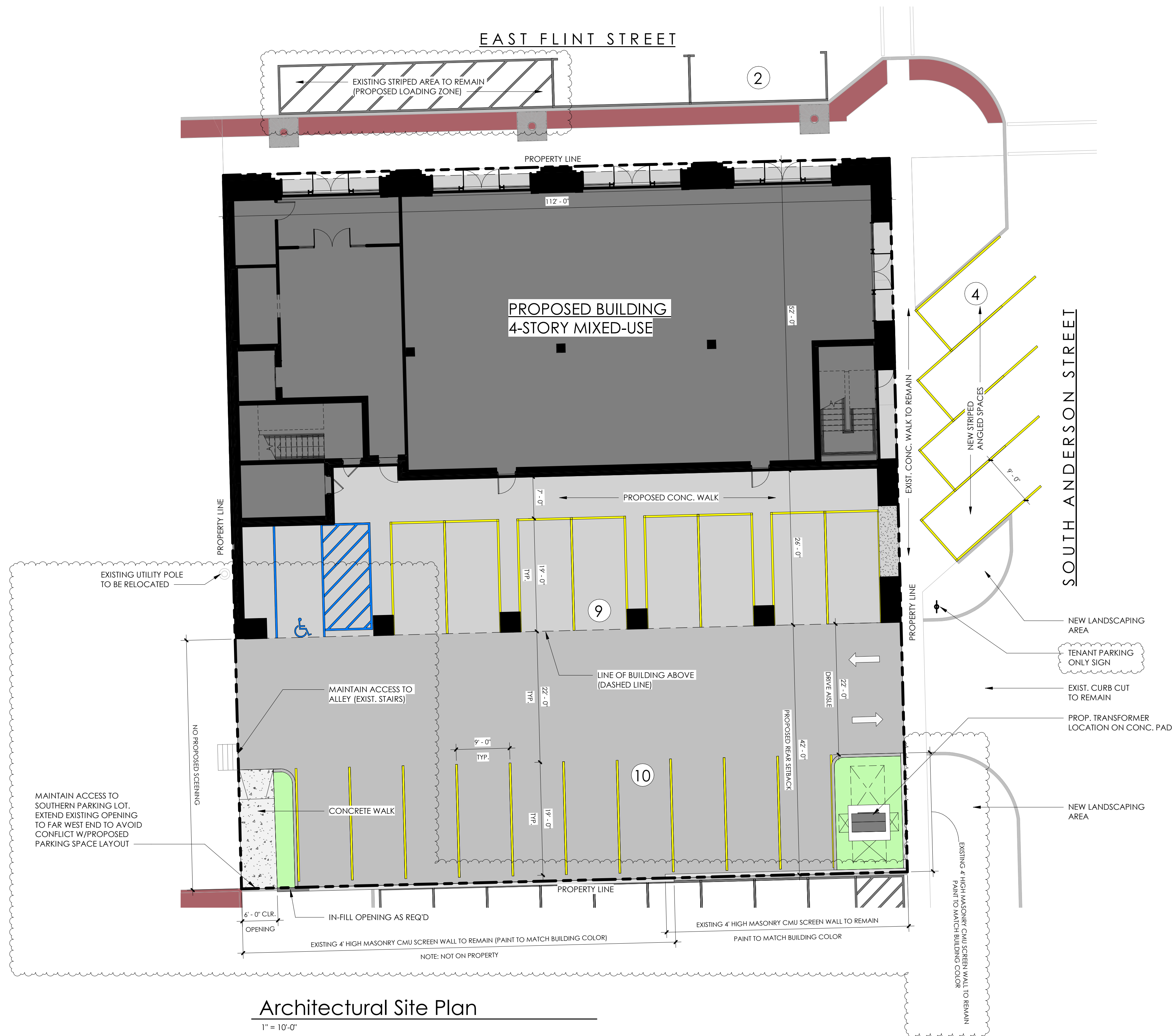
Sheet Title:

Architectural Site
Plan

Project Number

C.100

PRELIMINARY NOT FOR CONSTRUCTION



Zoning Information	
PROJECT ADDRESS:	
44 EAST FLINT STREET LAKE ORION, MI 48362	
CURRENT ZONING:	DC (DOWNTOWN CENTER) W/ HEIGHT OVERLAY DISTRICT
LOT AREA:	13,440 SQ.FT. (0.31 ACRES)
ZONING REQUIREMENTS:	
ZONING INFORMATION BELOW IS BASED ON DC ZONING DISTRICT	
FRONT SETBACK:	0' MINIMUM, 10' MAXIMUM
PROP. FRONT SETBACK:	0'-0"
REAR SETBACK:	0' MINIMUM
PROP. REAR SETBACK:	42'-0"
SIDE SETBACK:	10' MINIMUM
SIDE STREET SETBACK:	0' MINIMUM, 10' MAXIMUM
PROP. EAST SETBACK:	0'-0"
PROP. WEST SETBACK:	0'-0"
ZONING REQUIREMENTS (CONT.):	
MAX. LOT COVERAGE:	100%
PROP. LOT COVERAGE:	8,386 / 13,440 = 62.4%
MIN./MAX. BLDG. HEIGHT:	3-STORIES; 36'-0"
	4-STORIES; 52'-0" (HEIGHT OVERLAY DISTRICT)
PROP. BLDG. HEIGHT:	4-STORIES; 52'-0"
MAX. DENSITY:	NONE
VEHICLE PARKING REQUIREMENTS:	
REQUIRED PARKING:	
MULTI-FAMILY RESIDENTIAL:	2 SPACE PER UPPER LEVEL DWELLING UNIT
OFFICE:	NONE REQUIRED IN DC ZONING DISTRICT
RETAIL:	NONE REQUIRED IN DC ZONING DISTRICT
MULTI-FAMILY RESIDENTIAL:	10 UNITS X 2 =20 SPACES 20 SPACES REQUIRED
TOTAL REQUIRED PARKING:	20 PARKING SPACES
PROVIDED PARKING:	19 PARKING SPACES

[illegible][illegible]

VESTA
AT7792
WALL

PRODUCT

AT7792 W
White

AT7792 BK
Black

AT7792 BR
Brushed Nickel

SPECIFICATION DETAILS

Finish Dimensions	W 4" H 7" D 3.5"
Adjustable Dimensions	Yes
Light Source	AC LED (included)
Warranty	5 Year
Total Lumens	1200lm
Color Temperature	3000K
Adjustable Lumens	Yes (0-100%)
On/Off	On/Off
Dimmer	Yes
Material	Aluminum, Steel
Weight	1.05 lb
Product Color Design	White, Black, Brushed Nickel, Stainless Steel, Gunmetal Gray
UL Listed Info	
Listing	UL94, V-0, UL94, UL94 (UL listed)
RoHS Compliant	Yes
AAA Certified	Yes
Material	Aluminum
Mounting Orientation	Adjustable
Material Finish	Brushed Nickel
Energy Star	Yes
Energy Star Design	UL E-18, UL E-19, UL E-20
Power Type	Wired, Battery, Wireless

*For complete information, please visit www.kichdecoration.com/gallery

DESCRIPTION

Transform simplicity with versatile purpose is offered with this wall sconce that measures 4 inches in length. This sconce incorporates an ethically sourced mounting aluminum square affixed in the middle of the rectangular base of frontal platform. The concealed LED, features the mounting square creating pool of light on the wall. Sconce is available in three different finishes: Black or white powder coating and brushed nickel.

KICCO

CANADA: 1-888-848-8888 • SURREY, BC V4N 4W4


USA: 800 E. 12TH STREET WILSONVILLE, OR 97150

www.kicco.ca/kicco-usa

www.kicco.ca/kicco-usa

COMMENT


KICCO



WDG2 LED

Architectural Wall Sconce

Precision Reflective Optic



Specifications

Depth (D) 1.57"

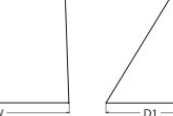
Depth (DD) 2.17"

Height (H) 1.57"

Weight 11.57 lb

Weight 13.54 lb

(without dangle)



Color

Temp

WDG2 LED Family Overview

Intensity	Type	Mounting Kit	Color	Qty	Size	Weight	Mounting Kit Weight	Family Weight
WDG2100	Recessed/Track	RM	100	100	1.50	1.00	1.00	1.00
WDG2150	Recessed/Track	RM	150	150	1.50	1.00	1.00	1.00
WDG2200	Recessed/Track	RM	200	200	1.50	1.00	1.00	1.00
WDG2250	Recessed/Track	RM	250	250	1.50	1.00	1.00	1.00
WDG2300	Recessed/Track	RM	300	300	1.50	1.00	1.00	1.00
WDG2350	Recessed/Track	RM	350	350	1.50	1.00	1.00	1.00
WDG2400	Recessed/Track	RM	400	400	1.50	1.00	1.00	1.00
WDG2450	Recessed/Track	RM	450	450	1.50	1.00	1.00	1.00
WDG2500	Recessed/Track	RM	500	500	1.50	1.00	1.00	1.00
WDG2550	Recessed/Track	RM	550	550	1.50	1.00	1.00	1.00
WDG2600	Recessed/Track	RM	600	600	1.50	1.00	1.00	1.00
WDG2650	Recessed/Track	RM	650	650	1.50	1.00	1.00	1.00
WDG2700	Recessed/Track	RM	700	700	1.50	1.00	1.00	1.00
WDG2750	Recessed/Track	RM	750	750	1.50	1.00	1.00	1.00
WDG2800	Recessed/Track	RM	800	800	1.50	1.00	1.00	1.00
WDG2850	Recessed/Track	RM	850	850	1.50	1.00	1.00	1.00
WDG2900	Recessed/Track	RM	900	900	1.50	1.00	1.00	1.00
WDG2950	Recessed/Track	RM	950	950	1.50	1.00	1.00	1.00
WDG3000	Recessed/Track	RM	1000	1000	1.50	1.00	1.00	1.00
WDG3050	Recessed/Track	RM	1050	1050	1.50	1.00	1.00	1.00
WDG3100	Recessed/Track	RM	1100	1100	1.50	1.00	1.00	1.00
WDG3150	Recessed/Track	RM	1150	1150	1.50	1.00	1.00	1.00
WDG3200	Recessed/Track	RM	1200	1200	1.50	1.00	1.00	1.00
WDG3250	Recessed/Track	RM	1250	1250	1.50	1.00	1.00	1.00
WDG3300	Recessed/Track	RM	1300	1300	1.50	1.00	1.00	1.00
WDG3350	Recessed/Track	RM	1350	1350	1.50	1.00	1.00	1.00
WDG3400	Recessed/Track	RM	1400	1400	1.50	1.00	1.00	1.00
WDG3450	Recessed/Track	RM	1450	1450	1.50	1.00	1.00	1.00
WDG3500	Recessed/Track	RM	1500	1500	1.50	1.00	1.00	1.00
WDG3550	Recessed/Track	RM	1550	1550	1.50	1.00	1.00	1.00
WDG3600	Recessed/Track	RM	1600	1600	1.50	1.00	1.00	1.00
WDG3650	Recessed/Track	RM	1650	1650	1.50	1.00	1.00	1.00
WDG3700	Recessed/Track	RM	1700	1700	1.50	1.00	1.00	1.00
WDG3750	Recessed/Track	RM	1750	1750	1.50	1.00	1.00	1.00
WDG3800	Recessed/Track	RM	1800	1800	1.50	1.00	1.00	1.00
WDG3850	Recessed/Track							

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Area	✖	1.9 fc	7.4 fc	0.4 fc	18.5:1	4.8:1
Parking Property Line	+	0.5 fc	0.8 fc	0.2 fc	4.0:1	2.5:1
Overall	■	0.8 fc	7.4 fc	0.0 fc	N/A	N/A

General Note

1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
2. SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
3. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

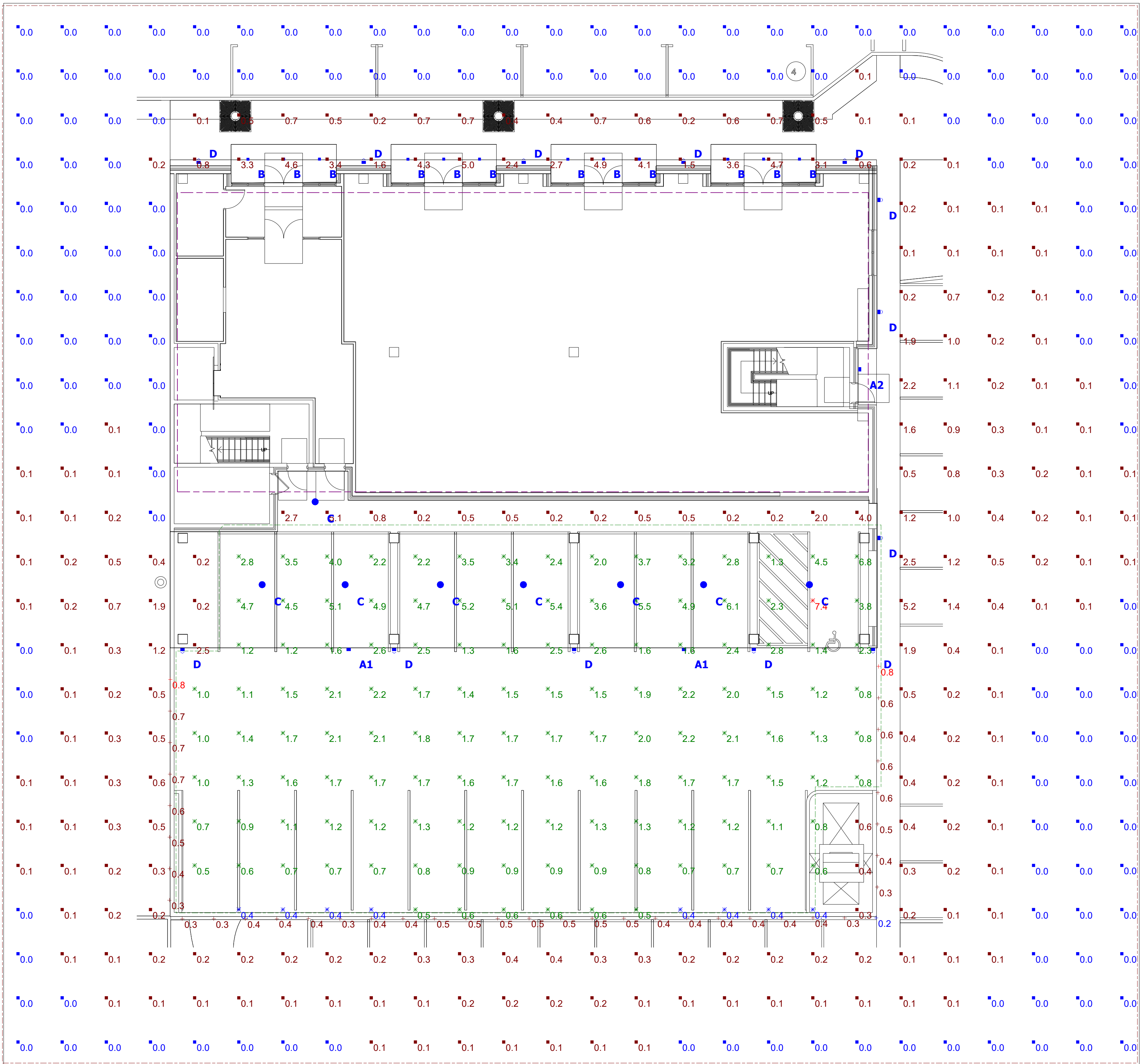
UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIRMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

Alternates Note
THE USE OF FIXTURE ALTERNATES MUST BE
RESUBMITTED TO THE CITY FOR APPROVAL.






Ordering Note
FOR INQUIRIES CONTACT GASSER BUSH AT
QUOTES@GASSERBUSH.COM OR 734-266-
6705.

Drawing Note
THIS DRAWING WAS GENERATED FROM AN ELECTRONIC
IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE
VERIFIED IN FIELD BY OTHERS.

Mounting Height Note
MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.



Plan View
Scale - 1" = 10ft

Schedule								
Symbol	Label	QTY	Manufacturer	Catalog	Description	Lamp Output	LLF	Input Power
	A1	2	Lithonia Lighting	WDGE2 LED P4 40K 70CRI TFTM	WDGE2 LED WITH P4 - PERFORMANCE PACKAGE, 4000K, 70CRI, TYPE FORWARD THROW MEDIUM OPTIC	4742	0.9	46.6589
	A2	1	Lithonia Lighting	WDGE2 LED P1 40K 70CRI T2M	WDGE2 LED WITH P1 - PERFORMANCE PACKAGE, 4000K, 70CRI, TYPE 2 MEDIUM OPTIC	1427	0.9	11.1658
	B	12	Gotham Architectural Lighting	EVO2SQ 40/02 AR LD WD	EVO 2 INCH RECESSED DOWNLIGHT, SQUARE, 4000K, 250 LUMENS, CLEAR, MATTE-DIFFUSE, WIDE, 80 CRI	280	0.9	3.38
	C	8	Lithonia Lighting	LDN6 40/07 LO6AR LD	6IN LDN, 4000K, 750LM, CLEAR, MATTE DIFFUSE REFLECTOR, CRI80	679	0.9	8.91
	D	13	Kuzco Lighting	AT7972-WH	Wall Mounted	5146	0.9	96.7

15' - 0" A.F.F.

9' - 0" AFF

01 02 03 04 05

[illegible]

7' - 0" A E E

Designer
K5
Date
05/03/2024
Scale
Not to Scale
Drawing No.
#24-29039_V1

Note:

Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

A compass rose with a circle in the center. Four lines extend from the center to the edge, labeled 'North' at the top, 'South' at the bottom, 'East' on the right, and 'West' on the left.

Project Number: _____

Project Number

Scale: _____

A.101

Architectural floor plan of the first floor of a building. The plan shows a large central 'Retail' area (3477 SF) with a green stippled pattern. To the left is a 'Lobby' (576 SF) with a white stippled pattern, containing a 'Vestibule', 'Riser', 'Mail/Pkg.', 'Elev.', and 'Elec.' rooms. A 'West Stair' is also located in the lobby area. To the right of the lobby is an 'East Stair'. The bottom portion of the plan is a dark grey 'FLOOR ABOVE (SHADED AREA)' with a 'CONC. WALK' and vertical dimensions of 19'-0" and 17'-0". The plan is bounded by grid lines A-I horizontally and 1-4 vertically. Various dimensions are provided throughout the plan, including room sizes and overall building dimensions. A north arrow is located in the bottom right corner.

First Floor Plan

J.S. Capitol Group
155 Romeo Rd., Suite 300
Rochester, MI 48307

44 East Flint
44 East Flint St.
Lake Orion, MI 48362

[illegible]

Do not scale drawings. Use
calculated dimensions only.
Verify existing conditions in
field.

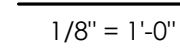
North

A compass rose with a circle in the center. Four lines extend from the center to the top, bottom, left, and right edges of the circle. The top line is labeled 'North', the bottom line is labeled 'South', the left line is labeled 'East', and the right line is labeled 'West'.

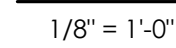
Second-Third Floor Plans

Project Number

A.102



UNIT MIX			
	1 BEDROOM	2 BEDROOM	TOTAL
3RD FLOOR	1 UNITS	4 UNITS	5 UNITS
4TH FLOOR	1 UNITS	4 UNITS	5 UNITS
TOTAL	2 UNITS	8 UNITS	10 UNITS



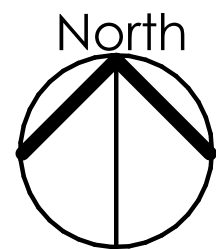
[illegible]

Seal: _____

Note:

Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow: _____



Sheet Title:
Fourth Floor Plan

Project Number:

Project Number

Scale:

Sheet Number: _____

A.103



UNIT MIX			
	1 BEDROOM	2 BEDROOM	TOTAL
3RD FLOOR	1 UNITS	4 UNITS	5 UNITS
4TH FLOOR	1 UNITS	4 UNITS	5 UNITS
TOTAL	2 UNITS	8 UNITS	10 UNITS

J.S. Capitol Group
155 Romeo Rd., Suite 300
Rochester, MI 48307

44 East Flint
44 East Flint St.
Lake Orion, MI 48362

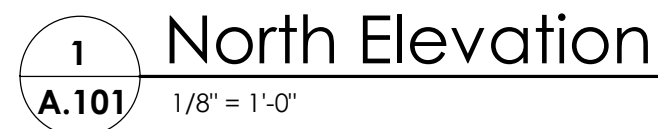
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Do not scale drawings. Use
calculated dimensions only.
Verify existing conditions in
field.

Exterior Elevations

Project Number

A.200



Note:

Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:

Project Number: _____
Project Number _____

Scale: _____

Sheet Number: A.201



Client:

J.S. Capitol Group
155 Romeo Rd., Suite 300
Rochester, MI 48307

Project:

44 East Flint
44 East Flint St.
Lake Orion, MI 48362

[illegible]

Seal:

Note:

Do not scale drawings. Use
calculated dimensions only.
Verify existing conditions in
field.

North Arrow:

Sheet Title:

Exterior Renderings

Project Number:

Project Number

Scale:

Sheet Number:

A.300



View of front facade from E. Flint St.



View from intersection of S. Anderson St. and E. Flint St.



View across front facade from parking



View of commercial space entry

J.S. Capitol Group
155 Romeo Rd., Suite 300
Rochester, MI 48307

44 East Flint
44 East Flint St.
Lake Orion, MI 48362

[illegible]

Do not scale drawings. Use
calculated dimensions only.
Verify existing conditions in
field.

Exterior Renderings

Project Number

A.301



PRELIMINARY NOT FOR CONSTRUCTION