

APPLICANT
MOCERI COMPANIES
3005 UNIVERSITY DRIVE
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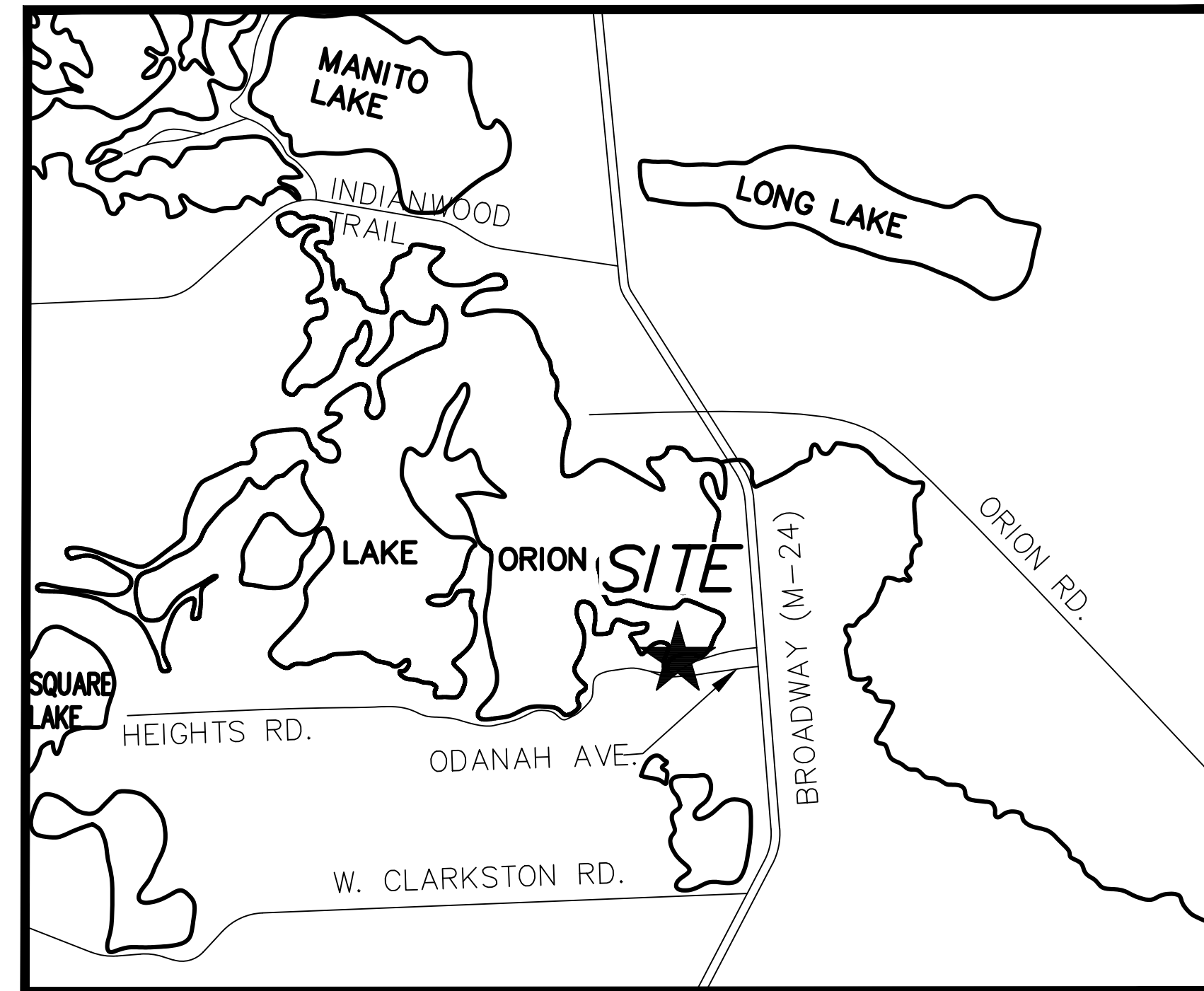
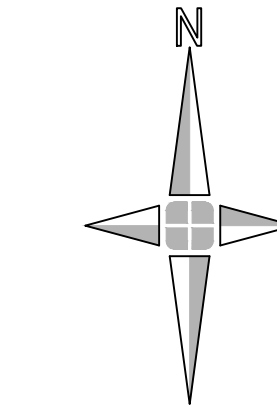
ENGINEER
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GENERAL NOTES:

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE VILLAGE OF LAKE ORION, OAKLAND COUNTY WATER RESOURCES COMMISSIONER, AND THE MICHIGAN DEPARTMENT OF ENVIRONMENT, GREAT LAKES AND ENERGY.
- ALL WORK WITHIN THE OAKLAND COUNTY ROAD COMMISSION OR MDOT RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH SUPPLEMENTAL PERMIT SPECIFICATIONS AND BY PERMIT ONLY.
- ALL PERMITS REQUIRED SHALL BE OBTAINED BY THE CONTRACTOR. ALL PERMIT FEES, BONDS, AND INSURANCE REQUIRED BY THE ISSUING AGENCIES SHALL BE PROVIDED BY THE CONTRACTOR, AND MUST BE KEPT CURRENT. THE CONTRACTOR IS RESPONSIBLE FOR ALL OTHER FEES, INSPECTION COSTS, ETC., AND SHALL ADHERE TO ALL REQUIREMENTS SET FORTH IN SAID PERMITS.
- 72 HOURS PRIOR TO EXCAVATION, THE CONTRACTOR SHALL NOTIFY MISS DIG (1-800-482-7171) FOR LOCATION OF UNDERGROUND AND CABLE FACILITIES, AND SHALL NOTIFY REPRESENTATIVES OF OTHER UTILITIES LOCATED IN THE VICINITY OF THE WORK.
- UTILITY INFORMATION SHOWN ON THE PLANS WAS OBTAINED FROM UTILITY OWNERS AND MAY OR MAY NOT BE ACCURATE AND COMPLETE. CONTRACTOR SHALL VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES WHICH MIGHT HAVE AN EFFECT ON THIS PROJECT, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.
- THE UTILITY POLES SHOWN ON THESE DRAWINGS ARE INTENDED TO SHOW ONLY THE LOCATION OF EXISTING POLES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE QUANTITY AND DIRECTION OF OVERHEAD LINES.
- THE CONTRACTOR SHALL PROVIDE FOR CONTROLLED ACCESS TO THE SITE FOR USE BY THE VARIOUS WORK FORCES, EMERGENCY VEHICLES, OCCUPANTS, VISITORS, ETC. THROUGHOUT CONSTRUCTION. THIS ACCESS MUST PROVIDE FOR THE REMOVAL OF MUD FROM VEHICLES TIRES. ROADWAYS AND DRIVEWAYS SHALL BE MAINTAINED AND OPEN FOR EMERGENCY VEHICLES AT ALL TIMES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE RESIDENTS AND BUSINESSES, WHOSE DRIVEWAYS ARE AFFECTED BY HIS SCHEDULE, 24 HOURS IN ADVANCE. CONTRACTOR SHALL SCHEDULE CONSTRUCTION AT NON-PEAK USE HOURS AND SHALL MINIMIZE DRIVEWAY CLOSURE BY EXPEDITING CONSTRUCTION.
- DURING CONSTRUCTION, CONTRACTOR MAY ENCOUNTER SPRINKLER HEADS, PIPING, LIGHTING, AND BURIED ELECTRICAL CABLE, MAILBOXES, FENCES, SIGNS, ETC. CONTRACTOR SHALL REPLACE AND/OR RESTORE ALL COMPONENTS OF SUCH SYSTEMS. THIS WORK SHALL BE INCIDENTAL TO THE PROJECT.
- RIGHT-OF-WAYS AND FRONT OF LOTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED BY TOPSOIL, SEED AND MULCH.
- THE CONTRACTOR IS REQUIRED TO CONFINE CONSTRUCTION ACTIVITIES TO THE LIMITS OF THE SITE AS SHOWN ON THE CONSTRUCTION PLANS. ANY DAMAGE OR DISRUPTION TO ADJACENT SITES IS THE RESPONSIBILITY OF THE CONTRACTOR TO CORRECT IMMEDIATELY. NO OFF-SITE WORK SHALL BE PERFORMED OUTSIDE OF PUBLIC RIGHTS-OF-WAY OR DEDICATED EASEMENTS WITHOUT PRIOR WRITTEN APPROVAL OF THE PROPERTY OWNER.
- GREAT CARE SHALL BE TAKEN TO AVOID DAMAGE TO VEGETATION OUTSIDE THE CLEARING AND GRUBBING LIMITS. NO DRIVING OR PARKING OF VEHICLES AND/OR STORAGE OF MATERIALS AND SUPPLIES SHALL BE PERMITTED OUTSIDE THE LIMITS OF CONSTRUCTION.
- THE PROTECTION OF EXISTING TREES, AS REQUIRED, SHALL BE SOLELY THE CONTRACTOR'S RESPONSIBILITY.
- FINAL CLEANUP AND RESTORATION SHALL CONSIST OF FINE GRADING OF CONSTRUCTION AREAS, REMOVAL OF CONSTRUCTION SIGNS, ETC. TOPSOIL SHALL BE SPREAD OVER ALL DISTURBED AREAS, FOLLOWED BY SEED, FERTILIZER AND EROSION MAT OR STRAW MULCH, OR AS FURTHER REQUIRED BY THE LANDSCAPING PLANS AND SPECIFICATIONS. ALL REQUIRED RESTORATION ITEMS NOT SPECIFICALLY IDENTIFIED AS A PAY ITEM SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- ALL RESTORATION SHALL BE SPECIFIED ON THE PLANS AND IN THE SPECIFICATIONS. NON PAY ITEMS SHALL BE INCIDENTAL TO THE PROJECT.
- THE CONTRACTOR AND/OR HIS SUBCONTRACTORS SHALL NOTIFY THE VILLAGE OF LAKE ORION, ORION TOWNSHIP FIRE DEPARTMENT, THE ORION TOWNSHIP POLIC DEPARTMENT, MDOT AND THE OAKLAND COUNTY ROAD COMMISSION TWO (2) WEEKS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE NECESSARY SIGNS, BARRICADES, AND LIGHTS TO PROTECT THE TRAFFIC AND THE WORK AS DIRECTED BY THE FIELD ENGINEER OR THE ROADWAY JURISDICTIONAL AGENCY. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD.)
- ALL LOT MARKERS AND MONUMENT POINTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEWATERING REQUIRED TO CONSTRUCT THE PROPOSED UTILITIES AND SHALL BE DONE PER APPROVED DEWATERING PLAN. COST OF DEWATERING SHALL BE INCIDENTAL TO THE PROJECT.



LOCATION MAP

NOT TO SCALE

APPROVALS AND PERMITS

NAME	SUBMITTAL DATE	APPROVAL DATE	PERMIT NO.
SITE PLAN	02.29.2024	-	-
VILLAGE ENGINEERING APPROVAL	-	-	-
VILLAGE SANITARY APPROVAL	-	-	-
OAKLAND COUNTY SANITARY APPROVAL	-	-	-
VILLAGE WATERMAIN APPROVAL	-	-	-
OCWRC SESC PERMIT	-	-	-
RCOC UTILITY PERMIT	-	-	-
RCOC APPROACH PERMIT	-	-	-
EGLE WETLAND PERMIT	-	-	-

PROPERTY DESCRIPTION

(PER TAX RECORD)

LOTS 22 & 23 OF THE CUTCHEON SUBDIVISION, LIBER 27, PAGE 8 OF PLATS, OAKLAND COUNTY RECORDS.

SNUG HARBOR

SITE AND CONSTRUCTION PERMIT PLANS

PARCEL NO. 09-11-403-006

VILLAGE OF LAKE ORION, OAKLAND COUNTY, MICHIGAN



Engineers
Surveyors
Planners
Landscape Architects

1025 East Maple Road
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- C2 TOPOGRAPHIC AND BOUNDARY SURVEY
- C3 SITE AND PAVING PLAN
- C4 GRADING AND UTILITY PLAN
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LANDSCAPE AND LIGHTING

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- L2 LANDSCAPE DETAILS
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ARCHITECTURAL

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- X SHEETS SANITARY SEWER DETAILS AND NOTES
- X SHEET SOIL EROSION AND SEDIMENTATION CONTROL DETAILS
- X SHEET STORM DRAIN NOTES AND DETAILS
- X SHEETS WATER MAIN STANDARD DETAILS

Executive:	MP
Manager:	NS
Designer:	NS
Quality Control:	MP
Section:	11
T-04-N R-10-E	

Professional Seal:



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Developed For:

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3500 UNIVERSITY DRIVE
AUBURN HILLS, MI
48326
248.340.9400

COVER SHEET

SNUG HARBOR
VILLAGE OF LAKE ORION
OAKLAND COUNTY
MICHIGAN

Date: 02.29.2024
Scale: NA
Sheet: C1
Project: 20107.40

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SITE AND PAVING PLAN

SNUG HARBOR
VILLAGE OF LAKE ORION
OAKLAND COUNTY
MICHIGAN

Date: 02.29.2024
Scale: 1"=10'
Sheet: C3
Project: 20107.40

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SITE PLAN NOTES:

SITE AREA: 12,878 SF, 0.296 ACRES
ZONING: MU, MIXED USE
ALLOWED DENSITY: 15 RESIDENCES/ACRE
15 RESIDENCES / ACRE x 0.296 ACRES: 4.43 RESIDENCES

PROPOSED RESIDENCES:
TOWNHOMES 2 RESIDENCES
STACKED FLATS 2 RESIDENCES
TOTAL 4 RESIDENCES

PROPOSED BEDROOM BREAKDOWN:
2-BEDROOM RESIDENCES 2 RESIDENCES
3-BEDROOM RESIDENCES 2 RESIDENCES
TOTAL 4 RESIDENCES

OPEN SPACE: 4,067 SF / 0.089 ACRES
31.5%

MAXIMUM COVERAGE:

PARKING:
REQUIRED: MULTI-FAMILY REQUIREMENTS
2 SPACES PER UNIT
4 x 2 = 8 SPACES
TOTAL REQUIRED: 8 SPACES

PROVIDED:
GARAGE SPACES 6 SPACES
DRIVEWAY SPACES 6 SPACES
TOTAL SPACES 12 SPACES

NOTES:

- SNUG HARBOR IS PROPOSED MULTI-FAMILY RESIDENCE COMMUNITY.
- TRASH RECEPTACLES WILL BE STORED IN THE RESIDENCE GARAGES AND ROLLED OUT ON GARBAGE DAY.

PAVING NOTES:

- THE PAVING CONTRACTOR SHALL BE REQUIRED TO COORDINATE THE INSTALLATION OF GAS, ELECTRIC, PHONE, CABLE, SPRINKLERS, ETC. IN SUCH A MANNER THAT WILL FACILITATE THEIR PROPER INSTALLATION PRIOR TO PLACING THE PAVEMENT MATERIALS. ENSURE THAT ALL REQUIRED PIPES, CONDUITS, CABLES AND SLEEVES ARE PROPERLY PLACED AND THAT THE TRENCHES ARE PROPERLY BACKFILLED AND COMPACTED.
- BUTT JOINTS SHALL BE PLACED AT ALL LOCATIONS WHERE AN EXISTING ASPHALT PAVEMENT SURFACE IS BEING DISTURBED BY REMOVALS AND/OR THE INSTALLATION OF NEW ASPHALT PAVEMENT.
- ALL PAVEMENT AREAS SHOULD BE CLEARED AND GRUBBED BY REMOVING SURFACE VEGETATION, TOPSOIL, DEBRIS AND OTHER DELETERIOUS MATERIALS.
- PROPOSED AGGREGATE BASE SHALL EXTEND A MINIMUM OF 1 FOOT BEYOND THE PAVEMENT EDGE/BACK OF CURB.
- BARRIER FREE SIGNAGE SHALL BE PLACED IN FRONT OF EVERY DESIGNATED BARRIER FREE STALL. THE CONTRACTOR SHALL COORDINATE STANDARD AND VAN ACCESSIBILITY SIGNAGE AS INDICATED ON THE PLANS.
- ALL BARRIER FREE RAMPS, WALK, LANDINGS AND CURBS SHALL BE A.D.A. COMPLIANT AND MEET MDOT STANDARD PLAN R-28.
- DIMENSIONS ARE TO FACE OF CURB.

AREA, HEIGHT, BULK AND PLACEMENT REGULATIONS:

SETBACKS	PROPOSED	REQUIRED
FRONT (MINIMUM)	10'	10'
FRONT (MAXIMUM)	33.7'	25'
WATER	25'	25'
SIDE	2'	0'
MAX. LOT COVERAGE	42%	50%

BUILDING HEIGHT: 28' - 7 3/4"

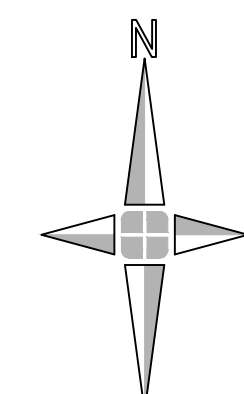
EXISTING
TOTAL AREA - 12,878 SF
IMPERVIOUS AREA - 3,819.64 SF, 29.7%
PERVIOUS AREA - 9,058.36, 70.3%

PROPOSED
IMPERVIOUS TOTAL - 8,128 SF, 63.1%
IMPERVIOUS PAVEMENT - 2,701 SF
IMPERVIOUS BUILDING - 5,427 SF

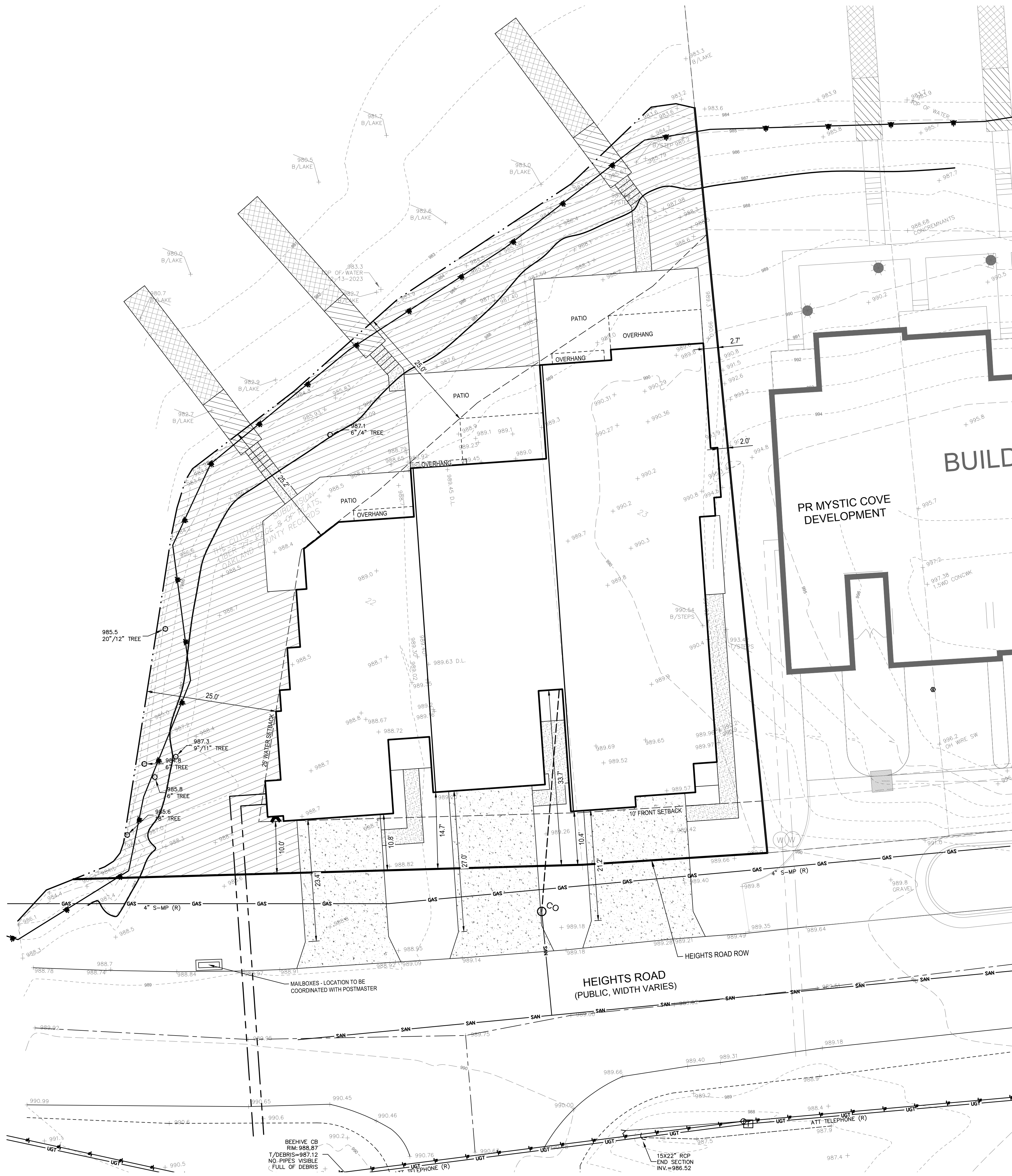
PERVIOUS TOTAL - 4,750 SF, 36.9%

LEGEND

	PR GATE VALVE AND WELL
	PR HYDRANT
	PR VALVE AND BOX
	PR WATERMAIN
	PR STORM CATCH BASIN
	PR STORM MANHOLE
	PR STORM REAR YARD
	PR STORM END SECTION
	PR GROUTED RIP RAP
	PR STORM SEWER
	PR PERFORATED UNDERDRAIN
	PR CLEAN OUT
	PR SANITARY MANHOLE
	PR SANITARY SEWER
	PR UNDERGROUND ELECTRIC SERVICE
	PR LIGHT FIXTURE (SEE LIGHTING PLAN FOR TYPE OF FIXTURE)
	PR TRANSFORMER
	PR UNDERGROUND GAS SERVICE
	PR UNDERGROUND TELEPHONE SERVICE
	PR UTILITY CROSSING
	PR CONTOUR MINOR (1')
	PR CONTOUR MAJOR (5')
	PR SPOT ELEVATION
	PR SWALE
	PR CURB AND GUTTER
	PR REVERSE CURB AND GUTTER
	PR OPEN SPACE AREA
	PR CONCRETE WALK
	PR CONCRETE DRIVE



SCALE: 1" = 10'



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GRADING AND UTILITY PLAN

SNUG HARBOR
VILLAGE OF LAKE ORION
OAKLAND COUNTY
MICHIGAN

Date:	02.29.2024
Scale:	1"=10'
Sheet:	C4
Project:	20107.40

LEGEND

- PR GATE VALVE AND WELL
- PR HYDRANT
- PR VALVE AND BOX
- PR WATERMAIN
- PR STORM CATCH BASIN
- PR STORM MANHOLE
- PR STORM REAR YARD
- PR STORM END SECTION
- PR GROUTED RIP RAP
- PR STORM SEWER
- PR PERFORATED UNDERDRAIN
- PR CLEAN OUT
- PR SANITARY MANHOLE
- PR SANITARY SEWER
- PR UNDERGROUND ELECTRIC SERVICE
- PR LIGHT FIXTURE (SEE LIGHTING PLAN FOR TYPE OF FIXTURE)
- PR TRANSFORMER
- PR UNDERGROUND GAS SERVICE
- PR UNDERGROUND TELEPHONE SERVICE
- PR UTILITY CROSSING
- PR CONTOUR MINOR (1')
- PR CONTOUR MAJOR (5')
- PR SPOT ELEVATION
- PR SWALE
- PR CURB AND GUTTER
- PR REVERSE CURB AND GUTTER

SESC LEGEND

- SILT FENCE (SP-2 OR SP-2A)
- INLET FILTER
- CURB INLETS (SI-2 OR SI-2A)
- PAVEMENT INLETS (SI-4 OR SI-4A) RY (SI-3 OR SI-3A)
- NATURAL STONE RIP RAP (E-7)
- MUD MAT (SP-9)
- RESTRICTED OUTLET STRUCTURE (SO-2)

GRADING NOTES:

- EXCESS EXCAVATION SHALL BE DISPOSED OF BY THE CONTRACTOR. COST OF DISPOSAL WILL BE INCIDENTAL TO THE PROJECT.
- THE FINAL SUB-GRADE SHALL BE THOROUGHLY PROOF-ROLLED UNDER THE OBSERVATION OF THE SOILS ENGINEER.
- NO FROZEN MATERIAL SHALL BE PERMITTED AS BACKFILL UNDER ANY ROADWAY, DRIVEWAY OR PARKING AREA.
- PRIOR TO THE START OF ANY FILLING, THE CONTRACTOR SHALL REMOVE ALL TOPSOIL AND ALL OTHER UNACCEPTABLE SOIL FROM THE FILL AREAS, AND PROPERLY BACKFILL WITH ACCEPTABLE SOIL.
- GENERAL GRADING REQUIREMENTS ARE AS FOLLOWS:
 - A. FINISH GRADE AT EXISTING BUILDING SHALL MATCH BRICK LEDGES, DOORWAYS OR BASEMENT WINDOWS
 - B. MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING: 5% WITHIN THE FIRST 10' AND 2% AFTER.
 - C. PAVEMENT SLOPES (1.0% MINIMUM, 4.0% MAXIMUM) UNIFORMLY BETWEEN FINISH GRADE ON PLANS
 - D. LAWN AREAS ± 2% MINIMUM TO 33% MAXIMUM
- PRIOR TO THE PLACEMENT OF ANY BASE ASPHALT OR LEVELING COURSE, THE CURBS SHALL BE PARTIALLY BACKFILLED AND THE SUB-GRADE SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF THE SOILS ENGINEER.
- ALL SIDEWALK AND PATHWAYS IN ANY PUBLIC R.O.W. SHALL BE INSPECTED BY THE AGENCY WITH JURISDICTION.

ABBREVIATIONS:

- PW - PERMANENT WATER ELEVATION
- HW - HIGH WATER / 100 YEAR STORM ELEVATION
- WS - WATER SURFACE ELEVATION
- FB - FREEBOARD ELEVATION
- CD - CURB DROP FOR WALK
- T/C - TOP OF CURB
- G - GUTTER
- T/W - TOP OF WALK
- B/W - BOTTOM OF WALK
- T/A - TOP OF ASPHALT
- BR - BOTTOM OF RAMP
- TR - TOP OF RAMP
- R - RAMP
- L - LANDING
- T/WALL - TOP OF WALL
- B/WALL - BOTTOM OF WALL

UTILITY NOTES:

- REFER TO ARCHITECTURAL PLANS TO COORDINATE ALL:
 - A. WATER SUPPLY, METERING, SPRINKLER AND FDC PIPING, DESIGN AND COORDINATION
 - B. BUILDING SEWER, BUILDING DRAIN DESIGN AND CONNECTIONS TO CLEAN OUTS AND ROOF CONNECTORS
 - C. GAS, ELECTRIC AND COMMUNICATION SERVICES, AND LIGHTING DETAILS
 - D. ALL BUILDING ACCESS WALKS AND ENTRY DETAILS, INCLUDING SUPPORTED SLABS
 - E. ALL WORK TO CONSTRUCT THE BUILDING AND ALL ITEMS CONNECTED TO IT
- ALL TRENCHES WITHIN A ONE ON ONE SLOPE OF PAVEMENT SHALL BE BACKFILLED WITH SAND (MDOT CLASS II MINIMUM) AND MECHANICALLY COMPACTED IN NOT MORE THAN 9" LAYER TO 95% MAXIMUM DRY DENSITY PER MODIFIED PROCTER COMPACTION TEST ASTM D-1557. COMPACTED SAND BACKFILL SHALL ALSO BE PROVIDED FOR ALL SEWER TRENCHES LOCATED UNDER, OR WITHIN, THREE FEET OF PAVEMENT.
- A MINIMUM VERTICAL CLEARANCE OF 18 INCHES IS REQUIRED AT UTILITY CROSSINGS (MEASURED FROM THE OUTSIDE OF PIPE TO THE OUTSIDE OF PIPE). POSITIVE PROVISIONS SHALL BE MADE TO ENSURE THAT ALL UTILITY TRENCHES ARE FREE DRAINING DURING ALL PHASES OF CONSTRUCTION.
- THE MINIMUM SLOPE FOR A BUILDING LEAD IS 1%. LEADS SHALL ONLY BE CONNECTED TO THE MAIN LINE WITH WYES.
- ALL STORM SEWER PIPE SHALL BE CONSTRUCTED WITH RUBBER GASKET (PREMIUM) JOINTS, UNLESS ALTERNATE APPROVED BY CITY ENGINEER.
- THE CONTRACTOR SHALL COORDINATE THE REMOVAL OF ALL UTILITY LINES AND STRUCTURES, AS OUTLINED ON THE DEMOLITION PLAN, WITH THE INSTALLATION OF UTILITY IMPROVEMENTS.
- CONTRACTOR SHALL BE REQUIRED TO COORDINATE THE INSTALLATION OF GAS, ELECTRIC, PHONE, CABLE, SPRINKLERS ETC., IN SUCH A MANNER THAT WILL FACILITATE THEIR PROPER INSTALLATION PRIOR TO PLACING THE PAVEMENT MATERIALS. ENSURE THAT ALL REQUIRED PIPES, CONDUITS, CABLES AND SLEEVES ARE PROPERLY PLACED AND THAT THE TRENCHES ARE PROPERLY BACKFILLED AND COMPACTED.
- THE CONTRACTOR SHALL REMOVE UTILITIES, WHICH HAVE BEEN ABANDONED IN PLACE, AS REQUIRED TO COMPLETE INSTALLATION OF NEW UTILITIES. WHENEVER ABANDONED UTILITIES ARE CUT, CONTRACTOR SHALL COMPLETELY CAP BOTH ENDS TO PREVENT THE INFILTRATION OF SOILS.
- NO CONNECTION MAY BE MADE TO ANY EXISTING WATER MAIN UNTIL THE NEW MAIN HAS PASSED ALL PRESSURE AND BACTERIOLOGICAL TESTING.
- ROADWAY, DRIVEWAY AND PARKING AREA CROSSINGS SHALL BE TEMPORARILY CONDITIONED IMMEDIATELY AFTER CROSSING BY PLACING 8" OF MDOT 22A GRAVEL OR SLAG AGGREGATE, AND SHALL BE MAINTAINED IN GOOD, DUST FREE CONDITION UNTIL PAVEMENT RESTORATION IS MADE.
- WATERMAIN SHALL HAVE A MINIMUM OF 5.5 FEET OF COVER.

BENCH MARK DATA

- NAV88 DATUM
- BENCH MARK NO. 1
ARROW ON HYDRANT LOCATED EAST NORTHEAST ±120 FEET FROM THE NORTHEAST CORNER OF BUILDING ADDRESS 440 S BROADWAY ELEVATION = 990.95' (OUT OF DRAWING SCOPE)
- BENCH MARK NO. 2
SET MAG NAIL IN SOUTH FACE OF A UTILITY POLE LOCATED EAST ±60 FEET FROM THE SOUTHEAST BUILDING CORNER OF ADDRESS 458 S BROADWAY AND NORTHWEST ±20 FROM THE NORTHWEST BUILDING CORNER OF 468 S BROADWAY. ELEVATION = 994.59' (OUT OF DRAWING SCOPE)
- BENCH MARK NO. 3
SET MAG NAIL IN NORTH FACE OF A UTILITY POLE LOCATED ±45 FEET FROM THE SOUTHWEST CORNER OF ADDRESS 32 HEIGHTS ROAD. ELEVATION = 997.27' (OUT OF DRAWING SCOPE)
- BENCH MARK NO. 4
ARROW ON HYDRANT LOCATED ON THE SOUTH SIDE OF HEIGHTS ROAD AT HOUSE NO. 69 HEIGHTS RD. ELEVATION = 990.43' (OUT OF DRAWING SCOPE)

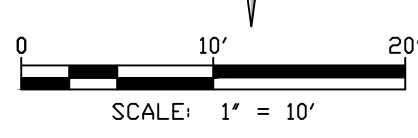
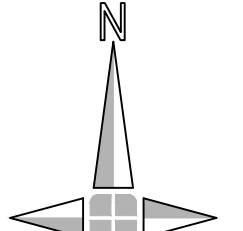
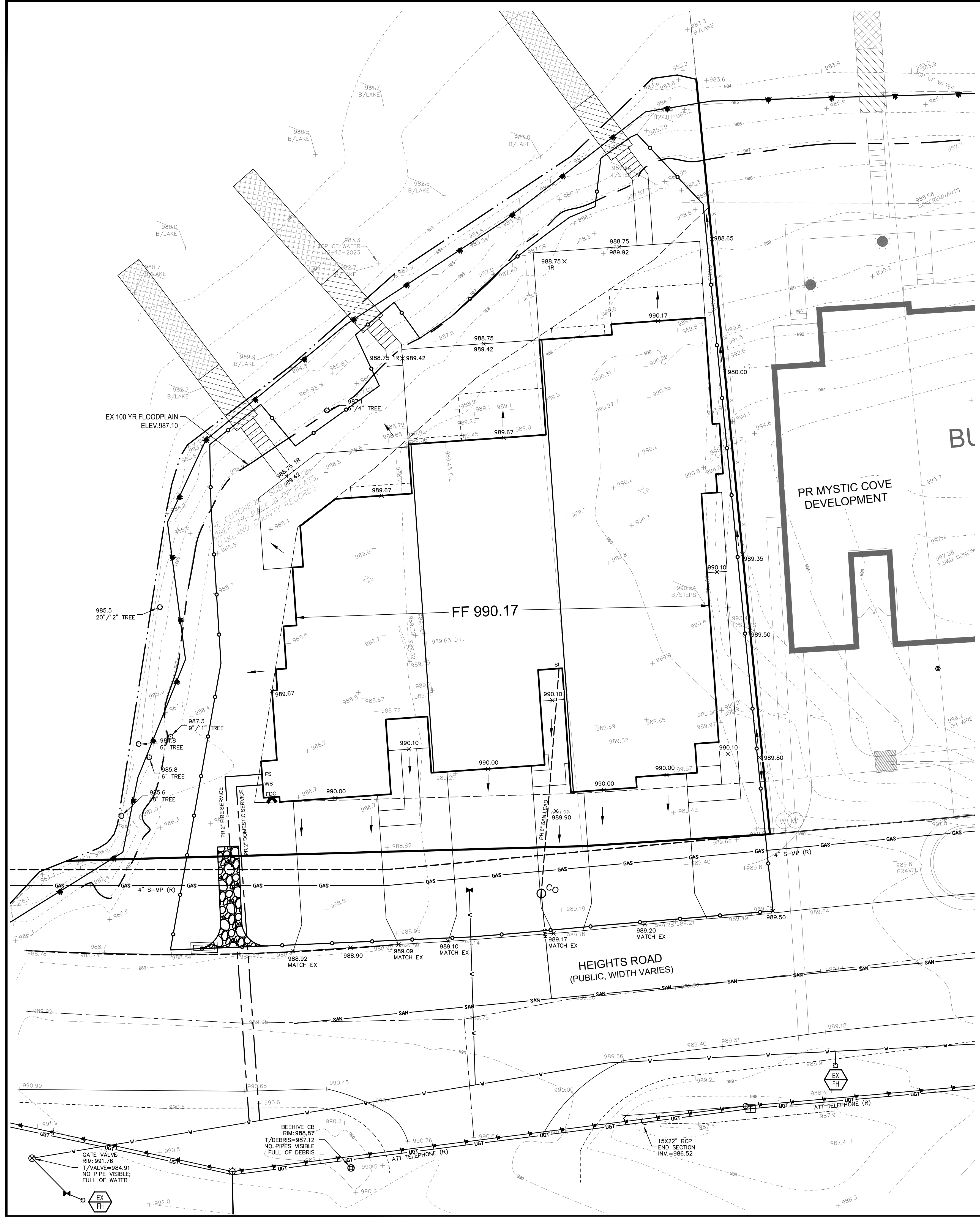
UTILITIES

CONNECT NOTE: **CONNECT**

CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT ALL PROPOSED CONNECTIONS AND CROSSINGS AND SUPPLY ELEVATIONS AND LOCATIONS TO THE DESIGN ENGINEER TO CONFIRM OR ADJUST DESIGN.

NOTES:

- CGM - COMPACTED CL II GRANULAR MATERIAL



SOIL EROSION AND SEDIMENTATION CONTROL NOTES:

- CONTRACTOR SHALL COMPLY WITH REQUIREMENTS OF THE SOIL EROSION AND SEDIMENTATION CONTROL ACT OF THE STATE OF MICHIGAN, PART 91 OR ACT 451, OF THE PUBLIC ACTS OF 1994 AND THE REQUIREMENTS OF OAKLAND TOWNSHIP AND THE OAKLAND COUNTY WATER RESOURCE COMMISSION.
- A SOIL EROSION AND SEDIMENTATION CONTROL PERMIT WILL BE REQUIRED FROM THE OAKLAND COUNTY WATER RESOURCES COMMISSION'S OFFICE.
- THE CONTRACTOR SHALL CONDUCT OPERATIONS IN A MANNER THAT WILL REDUCE ACCELERATED EROSION TO THE PRACTICAL MINIMUM AND PREVENT DAMAGING SILTATION TO EXISTING SEWERS AND WATER COURSES LEADING FROM THE WORK SITE.
- THE CONTRACTOR SHALL CONDUCT WORK IN SUCH A MANNER AS TO PREVENT THE ENTRY OF FUELS, OILS, BITUMINOUS MATERIALS, CHEMICALS, SEWERAGE OR OTHER HARMFUL MATERIALS INTO NEARBY LAKES AND STREAMS.
- WASTE DISPOSAL AREAS SHALL BE SELECTED BY THE CONTRACTOR WITH FULL CONSIDERATION OF EROSION AND SEDIMENT CONTROL, SELECTION OF DISPOSAL SITE, AND CONTROL OF OPERATIONS AND THE RESTORATION OF SAID AREAS SHALL BE SUBJECT TO THE APPROVAL OF THE ENGINEER.
- EXCAVATION FROM THE RIGHT-OF-WAY, CHANNELS, OR OTHER MATERIAL SHALL NOT BE DEPOSITED IN OR NEAR RIVERS, STREAMS OR PONDS WHERE IT MAY ENTER THE WATERWAY.
- AT THE COMPLETION OF EACH DAY'S CONSTRUCTION, CARE SHALL BE TAKEN TO ENSURE THAT MINIMAL EROSION WILL OCCUR IN TRENCHES AND TO STOCKPILED MATERIALS UNTIL RESUMPTION OF WORK.
- CONTRACTOR SHALL CONFINE OPERATIONS TO THE MINIMUM AMOUNT OF WORKING SPACE PRACTICAL TO MINIMIZE SOIL EROSION.
- THE PROJECT WILL BE CONTINUALLY INSPECTED BY THE ENGINEER FOR EROSION CONTROL COMPLIANCE. DEFICIENCIES WILL BE CORRECTED BY THE CONTRACTOR IMMEDIATELY UPON NOTICE OF SUCH DEFICIENCIES. FAILURE TO CORRECT THE DEFICIENCIES MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER AND THERE WILL BE NO CONTRACT TIME EXTENSION GRANTED FOR THIS TYPE OF STOPPAGE.
- TEMPORARY SOIL EROSION CONTROL MEASURES CONSISTING OF SILT FENCE, INLET FILTERS, MULCHING, AND GEOTEXTILE AND STONE SHALL BE IMPLEMENTED THROUGHOUT THE ENTIRE CONSTRUCTION PHASE OF THE PROJECT, AND SHALL BE REMOVED BY THE CONTRACTOR AFTER THE PERMANENT SOIL EROSION MEASURES HAVE BEEN COMPLETED.
- STRAW MULCH WITH NETTING TIE DOWN, HIGH VELOCITY MULCH BLANKET OR OTHER APPROVED MULCH SHALL BE PLACED ON DISTURBED SLOPES WHERE DIRECTED BY THE ENGINEER.
- STREET SWEEPING OR MUD REMOVAL SHALL BE PERFORMED DAILY FOR MUD TRACKED ONTO PUBLIC STREETS.
- SILT FENCE SHALL BE INSTALLED AND MAINTAINED ALONG THE DOWN-SLOPE SURFACE, PERPENDICULAR TO THE DIRECTION OF SHEET FLOW, FOR ALL OPEN-CUT SEWER INSTALLATION AREAS.
- PERMANENT SOIL EROSION MEASURES CONSISTING OF STORM SEWER, BIOTREATMENT STRUCTURES, AND THE MIXTURE SEED AND MULCH BLANKET SHALL BE COMPLETED WITHIN 5 CALENDAR DAYS OF FINAL GRADING. IN THE EVENT IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE THE AREA DUE TO SITE CONDITIONS AND/OR SEASONAL LIMITATIONS, THE TEMPORARY MEASURES SHALL REMAIN IN FORCE AND SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME AS IT IS PRACTICAL TO COMPLETE THE PERMANENT SOIL EROSION CONTROL MEASURES.
- THE ENGINEER SHALL HAVE FULL AUTHORITY TO TEMPORARILY SUSPEND WORK IN THE EVENT THAT ANY OF THE ABOVE REQUIREMENTS ARE NOT BEING MET BY THE CONTRACTOR, OR IF CONDITIONS INDICATE THAT ADDITIONAL TEMPORARY CONTROL MEASURES ARE WARRANTED, IN THE OPINION OF THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SOIL EROSION CONTROL MEASURES WITHIN THE CONSTRUCTION AREA UNTIL FULL COMPLETION OF THE PROJECT.
- THE SOIL EROSION CONTROLS WILL BE MAINTAINED WEEKLY AND AFTER EVERY STORM EVENT BY THE CONTRACTOR.
- ACTIVITIES WITHIN WETLAND LIMITS AND CONSERVATION EASEMENT WILL REQUIRE PERMIT FROM MDEQ.

NOTE:

- NO EROSION CONTROL MATTING IS PERMITTED IN THE WETLAND AREAS PER EGLE PERMIT. EROSION CONTROL BLANKETS WITHOUT PLASTIC ARE ALLOWED IN THE UPLAND.

SITE DATA:

AREA OF DISTURBANCE:	0.28 ACRES
DISTANCE TO NEAREST LAKE OR STREAM:	LAKE ORION LOCATED ON THE PROPERTY
SOIL TYPES:	59 - URBAN LAND, 60B.C - URBAN LAND-MARLETTE COMPLEX
TEMPORARY SOIL EROSION MEASURES:	SILT FENCE, MUD MAT, MULCH BLANKET, DUST CONTROL
PERMANENT SOIL EROSION MEASURES:	TOPSOIL, SEED, & MULCH, NATIVE VEGETATION, RIP RAP

MAINTENANCE SCHEDULE:

THE CONTRACTOR SHALL INSPECT SESC MEASURES WEEKLY UNDER NORMAL CONDITIONS, WITHIN 24 HOURS OF EACH RAIN EVENT, AND DAILY DURING A PROLONGED RAIN EVENT BY DESIGNATED CONTRACTOR.

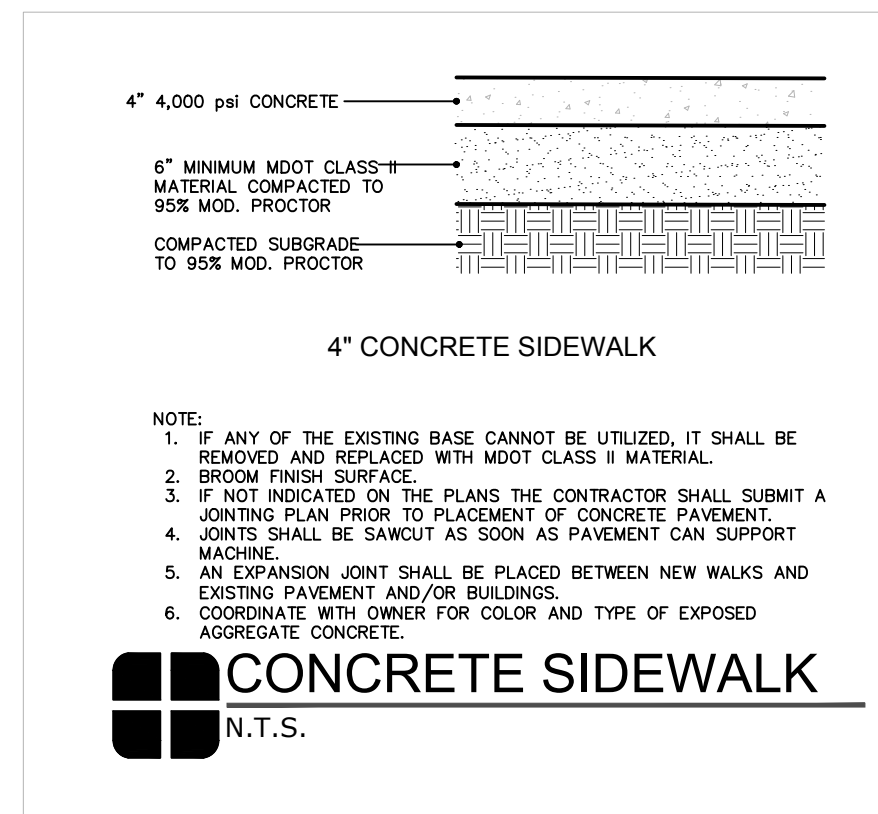
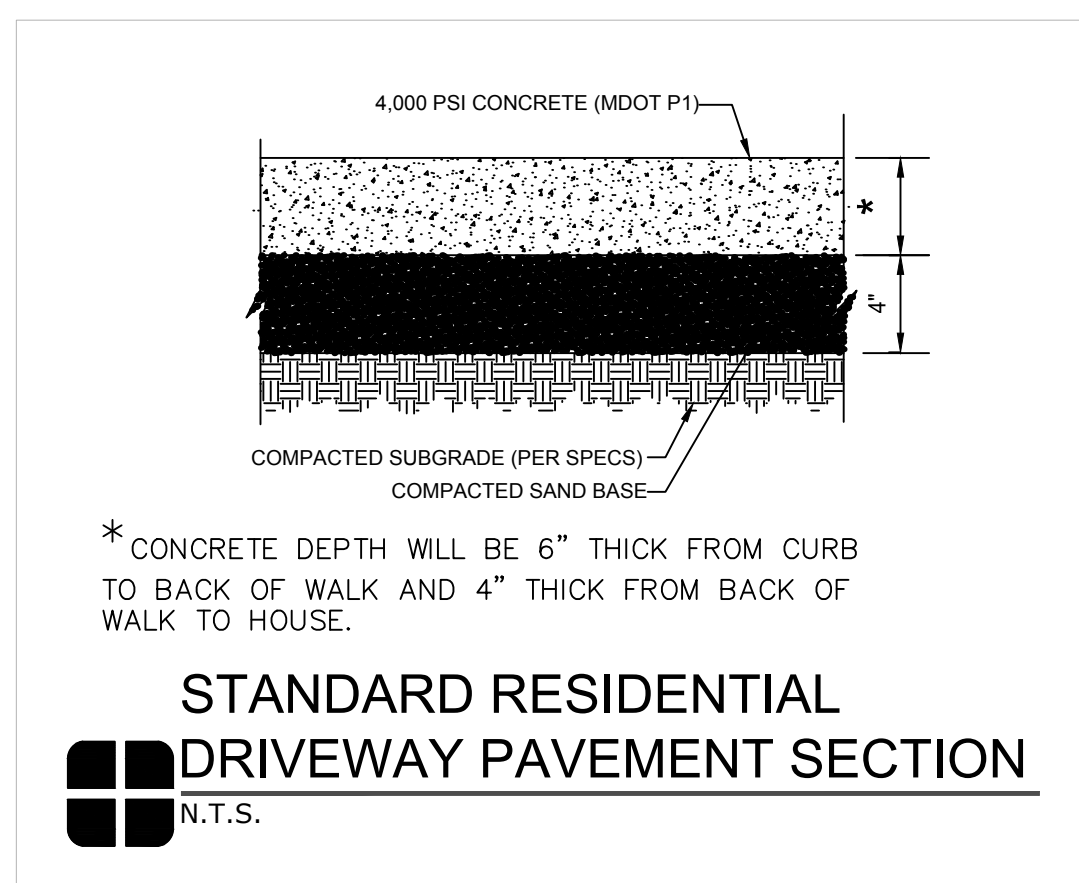
MEASURE	MAINTENANCE SCHEDULE
SILT FENCE	INSTALL AT THE START OF CONSTRUCTION PER PLAN. REMOVE ACCUMULATED SEDIMENTS WHEN DEPTH REACHES $\frac{1}{3}$ TO $\frac{1}{2}$ THE HEIGHT OF THE FENCE. FABRIC SHALL BE REPLACED IF DAMAGED.
DUST CONTROL	WATER SHALL BE APPLIED TO EXPOSED AREAS BY THE CONTRACTOR IN THE EVENT OF EXCESSIVE AIRBORNE DUST. DUST CONTROL SHALL BE APPLIED AS DIRECTED BY THE ENGINEER OR SOIL EROSION PERMITTING AGENCY.
VEGETATION (PERM)	SEED SHALL BE WATERED AND MULCH MAINTAINED UNTIL VIGOROUS TURF HAS BEEN ESTABLISHED.
MUD MAT	INSTALL AT THE START OF CONSTRUCTION PER PLAN. REMOVE ACCUMULATED SEDIMENTS, ADD STONE AS NEEDED AND REQUIRED BY THE ENGINEER, AND REPLACE GEOTEXTILE IF DAMAGED.

UTILITY PIPE MATERIALS:

LEADS:
SL - SANITARY LEAD, 6" PVC SDR 23.5
WS - WATER LEAD, SDR9 POLY BLUE PVC 200 PSI PIPE
OR APPROVED EQUAL
FS - FIRE LEAD, COPPER TYPE "K"

CONSTRUCTION SEQUENCE:

- MOBILIZATION
- INSTALL SILT FENCE AND INLET FILTERS AT EXISTING CATCH BASINS PER PLAN
- REMOVALS PER PLAN
- EARTHWORK OPERATIONS
- UTILITY INSTALLATION
- PAVEMENT INSTALLATION
- RESTORATION
- SITE CLEAN UP
- REMOVE SESC MEASURES AFTER STABILIZATION



Sanitary Sewer Basis of Design
Project Name Snug Harbor
Project Number 20107.40

Prepared By NMS
Working Date 02.26.2024

MH 103-105						
Multi-Family	0.60 per unit	x	4	= 2.4		
					Total = 2.4	REU
Population=	2.44 people per REU					
= 2.4	REU	x	2.44	people per REU		
= 6	people					
Average Flow=	Population x Per Capita Capacity					
= 6	people	x	100	gpcpd		
= 600.00	gpd = 0.0009 cfs					
= 0.42	gpm					
Peaking Factor=	18	+	√ 6	people	/	1,000
	4	+	√ 5.86	people	/	1,000
= 4.43						
Peak Flow=	Population x Per Capita Capacity x Peaking Factor					
= 6	people	x	100	gpcpd	x	4.43
= 2,596.86	gpd = 0.0040 cfs					
= 1.80	gpm					

The selected size of the proposed sewer (8" pipe @ 0.4% = 0.76 cfs) is adequate for the calculated flows.



Watermain Basis of Design
Project Name Snug Harbor
Project Number 20107.40

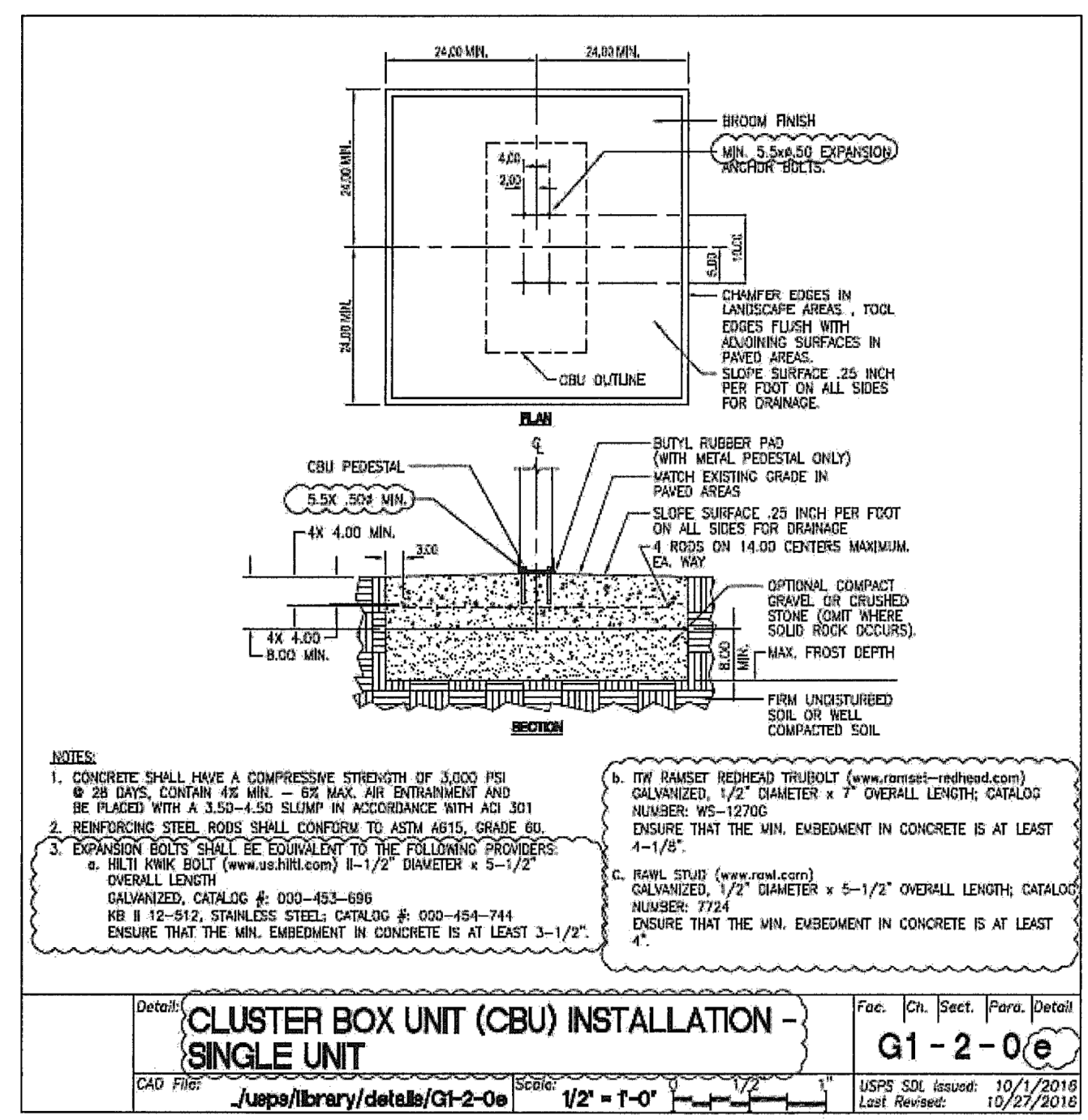
Prepared By NMS
Working Date 02.26.2024

Multi-family	0.60 per unit	x	4	= 2.4		
					Total = 2.4	REU
Population=	2.44 people per REU					
= 2.4	REU	x	2.44	people per REU		
= 6	people					
Average Flow=	Population x Per Capita Capacity					
= 6	people	x	100	gpcpd		
= 600.00	gpd = 0.0009 cfs					
= 0.42	gpm					
Peak Flow=	Population x Per Capita Capacity x 2					
= 6	people	x	100	gpcpd	x	2.00
= 1,171.20	gpd = 0.0012 mgd					
= 0.81	gpm					



Developers & Builders Guide

APPENDIX A - Cluster Box Unit Installation Single Unit



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Manager: NS
Designer: NS
Quality Control: MP
Section: 11
T-04-N R-10-E

Professional Seal:



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02.29.2024	SUBMIT FOR SITE PLAN APPROVAL

Developed For:

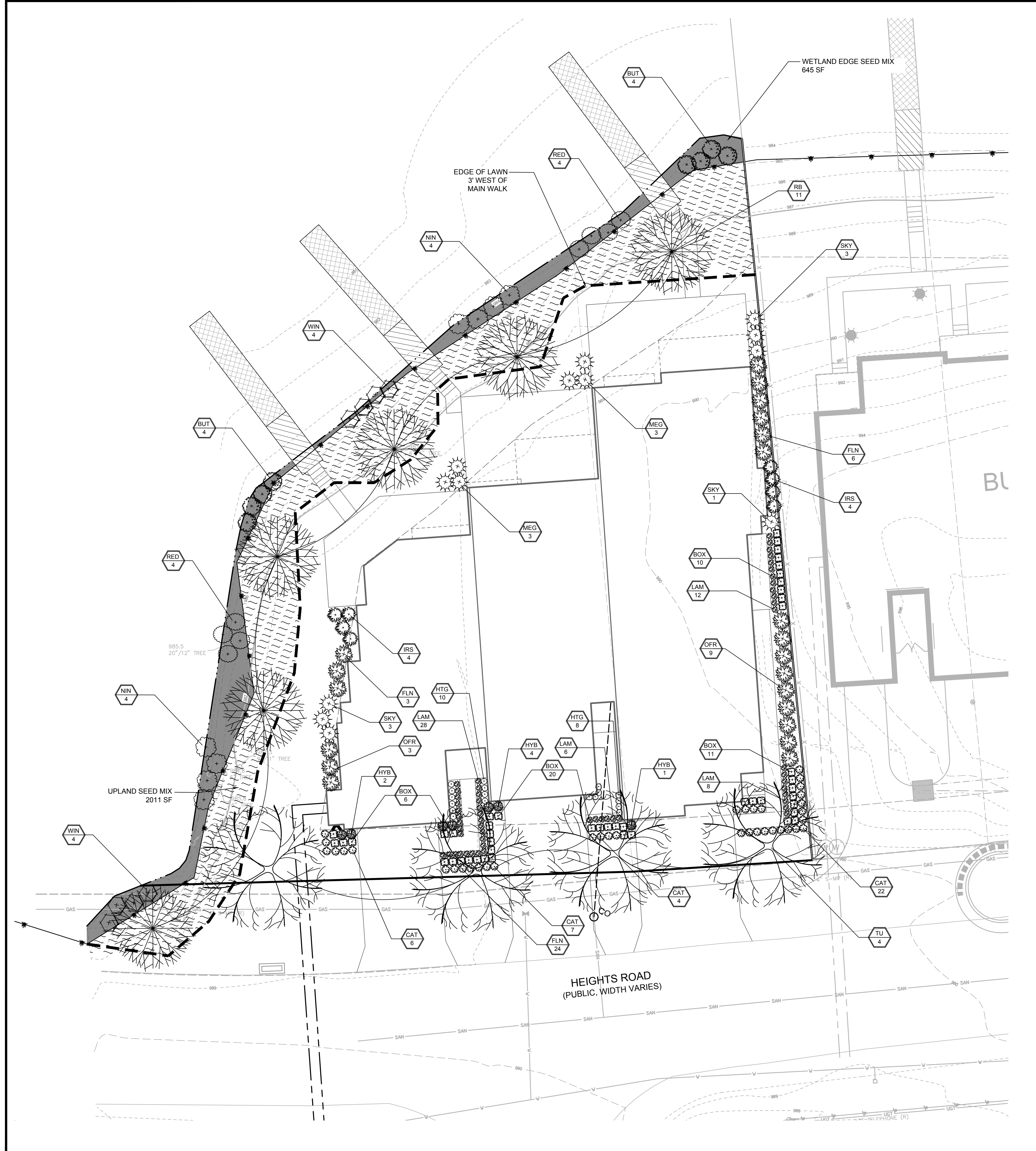
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3500 UNIVERSITY DRIVE
AUBURN HILLS, MI
48326
248.340.9400

SITE NOTES AND DETAILS

SNUG HARBOR

VILLAGE OF LAKE ORION
OAKLAND COUNTY
MICHIGAN

Date: 02.29.2024
Scale: NA
Sheet: C5
Project: 20107.40



PLANT LIST:

NO.	COMMON NAME	BOTANICAL NAME	SIZE	SYMBOL
18	HORSETAIL GRASS	EQUISETUM HYEMALE	1 GAL. POT	HTG
8	JAPANESE IRIS	IRIS ENSATA	1 GAL. POT	IRS
7	STARRY STARRY NIGHT HIBISCUS	HIBISCUS STARRY NIGHT	1 GAL. POT	HYB
12	OVERDAM FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA OVERDAM	3 GAL. POT	OFR
54	ORCHID FROST LAMTUM	LAMIUM MACULATUM ORCHID FROST PPAF11122	1 GAL. POT	LAM
39	PURRSIAN BLUE CATMINT	NEPETA FAASSENII 'PURRSIAN BLUE'	2 GAL. POT	CAT
6	ENCORE MAIDEN GRASS	MISCANTHUS SINENSIS 'ENCORE'	3 GAL. POT	MEG

NO.	COMMON NAME	BOTANICAL NAME	SIZE	SYMBOL
9	FINE LINE	RHAMNUS FRANGULA	5-6 FT. B&B	FLN
47	SPRINTER BOXWOOD	BUXUS MICROPHYLLA 'BULTHOUSE' PP25896	30" DIA. B&B	BOX
7	SKYROCKET JUNIPERS	JUNIPERUS SCOPULORUM 'SKYROCKET'	4-9 FT. B&B	SKY
8	BUTTONBUSH	CEPHALANTHUS OCCIDENTALIS	1 GAL. POT	BUT
8	RED-OSIER DOGWOOD	CORNUS STOLONIFERA	1 GAL. POT	RED
8	NINEBARK	PHYSCARPUS OPULIFOLIUS	1 GAL. POT	NIN
8	WINTERBERRY	ILEX VERTICILLATA	1 GAL. POT	WIN

NO.	COMMON NAME	BOTANICAL NAME	SIZE	SYMBOL
4	ARNOLD TULIP TREE	LIRIODENDRON TULIPIFERA 'ARNOLD'	3" CAL. B&B	TU
11	RIVER BIRCH	BETULA NIGRA	3" CAL. B&B	RB

WETLAND EDGE SEED MIX:

BOTANICAL NAME	COMMON NAME
CAREX CRISTATELLA	CRESTED OVAL SEDGE
CAREX LURIDA	BOTTLEBRUSH SEDGE
CAREX VULPINOIDEA	FOX SEDGE
ELEOCHARIS PALUSTRIS	SPIKERUSH
ELYMUS VIRGINICUS	VIRGINIA WILD RYE
GLYCERIA STRIATA	FOWL MANNA GRASS
LEERSIA ORYZOIDES	RICE CUTGRASS
SCIRPUS ATROVIRENS	GREEN BULRUSH
SCIRPUS CYPERNUS	WOOLGRASS
SPARGANIUM EURYCARPUM	BURREED
Avena sativa	COMMON OATS
Lolium multiflorum	ANNUAL RYE

FORBS:

ACORUS CALAMUS	SWEET FLAG
VERBESINA ALTERNIFOLIA	WINGSTEM
ALISMA SPP.	WATER PLANTAIN
ASPLEPIAS INCARNATA	SWAMP MILKWEED
ASTER PUNICEUS	BRISTLY ASTER
BIDENS SPP.	BEGGAR'S TICK
HELENIUM AUTUMNALE	SNEEZEWEED
IRIS VIRGINICA	BLUE FLAG IRIS
LOBELIA SIPHILITICA	GREAT BLUE LOBELIA
PELTANDRA VIRGINICA	ARROW ARUM
RUBICEKIA LACINIATA	WILD GOLDEN GLOW
SAGITTARIA LATIFOLIA	ARROWHEAD
CASSIA HEBECARPA	WILD SENNA
ITALICTRUM DASYCARPUM	LATE MEADOW RUE
VERBENA HASTATA	VERVAIN

UPLAND SEED MIX:

BOTANICAL NAME	COMMON NAME
CALAMAGROSTIS CANADENSIS	BLUEJOINT GRASS
CAREX CRISTATELLA	CRESTED OVAL SEDGE
CAREX LURIDA	BOTTLEBRUSH SEDGE
CAREX SPP.	PRAIRIE SEDGE SPECIES
CAREX STIPATA	COMMON FOX SEDGE
CAREX VULPINOIDEA	BROWN FOX SEDGE
ELYMUS CANADENSIS	CANADA WILD RYE
ELYMUS VIRGINICUS	VIRGINIA WILD RYE
GLYCERIA STRIATA	FOWL MANNA GRASS
JUNCUS EFFUSUS	COMMON RUSH
JUNCUS TENNIS	PATH RUSH
Avena sativa	COMMON OAT

FORBS:

ALISMA SUBCORDATUM	COMMON WATER PLANTAIN
EUTHAMIA GRAMMIFOLIA	COMMON GRASS-LEAVED
GOLDENROD	
IRIS SPP.	BLUE FLAG SPECIES
LAIATRIS SPIGATA	MARSH BLAZING STAR
LOBELIA SIPHILITICA	GREAT BLUE LOBELIA
LYCOPUS AMERICANUS	COMMON WATER HOREHOUND
MIMULUS RINGENS	MONKEY FLOWER
NYCTANTHEMUM VIRGINIANUM	COMMON MOUNTAIN MINT
RUBICEKIA HIRTA	BLACK-EYED SUSAN
RUBICEKIA TRILOBA	BROWN-EYED SUSAN
ZIZIA AUREA	GOLDEN ALEXANDERS

NOTE:

- 1. NO EROSION CONTROL MATTING IS PERMITTED IN THE WETLAND AREAS PER EGLE PERMIT. EROSION CONTROL BLANKETS WITHOUT PLASTIC ARE ALLOWED IN THE UPLAND.
- 2. WATER'S EDGE SHRUBS PER EGLE PERMIT. ALTERNATE VARIETIES LISTED BELOW ARE ALLOWED IF NECESSARY DUE TO AVAILABILITY. QUANTITY OF SPECIMENS SHOULD BE THE SAME AND THERE SHOULD BE A MINIMUM OF THREE NATIVE SPECIES INSTALLED.

giffels webster

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Designer:	NS
Quality Control:	MP
Section:	11
T-04-N R-10-E	

Professional Seal:



DATE:	ISSUE:
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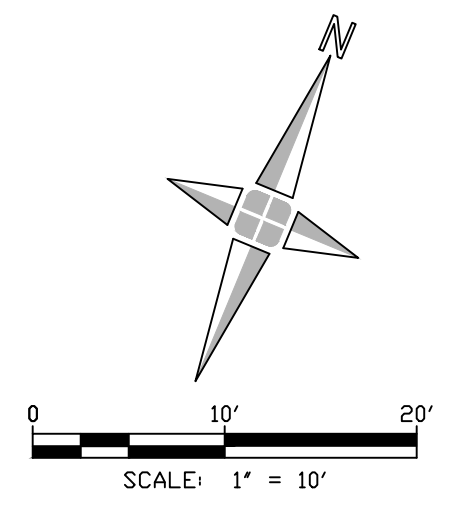
LANDSCAPE PLAN

SNUG HARBOR
VILLAGE OF LAKE ORION
OAKLAND COUNTY
MICHIGAN

Date:	02.29.2024
Scale:	1"=10'
Sheet:	L1
Project:	20107.40

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LANDSCAPE DETAILS

SNUG HARBOR

VILLAGE OF LAKE ORION
OAKLAND COUNTY
MICHIGAN

Date:	02.29.2024
Scale:	NA
Sheet:	L2
Project:	20107.40

PLANT NOTES:

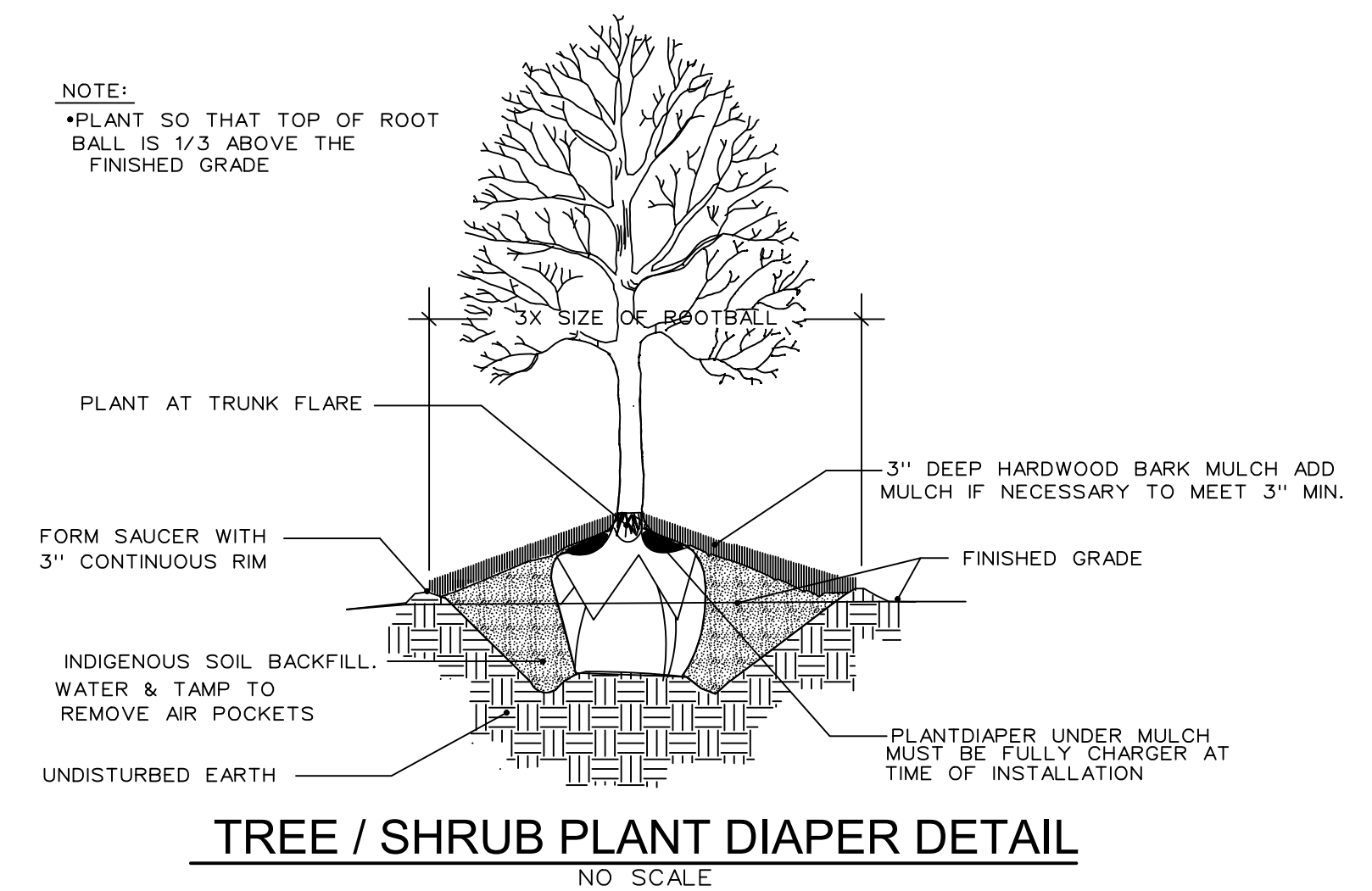
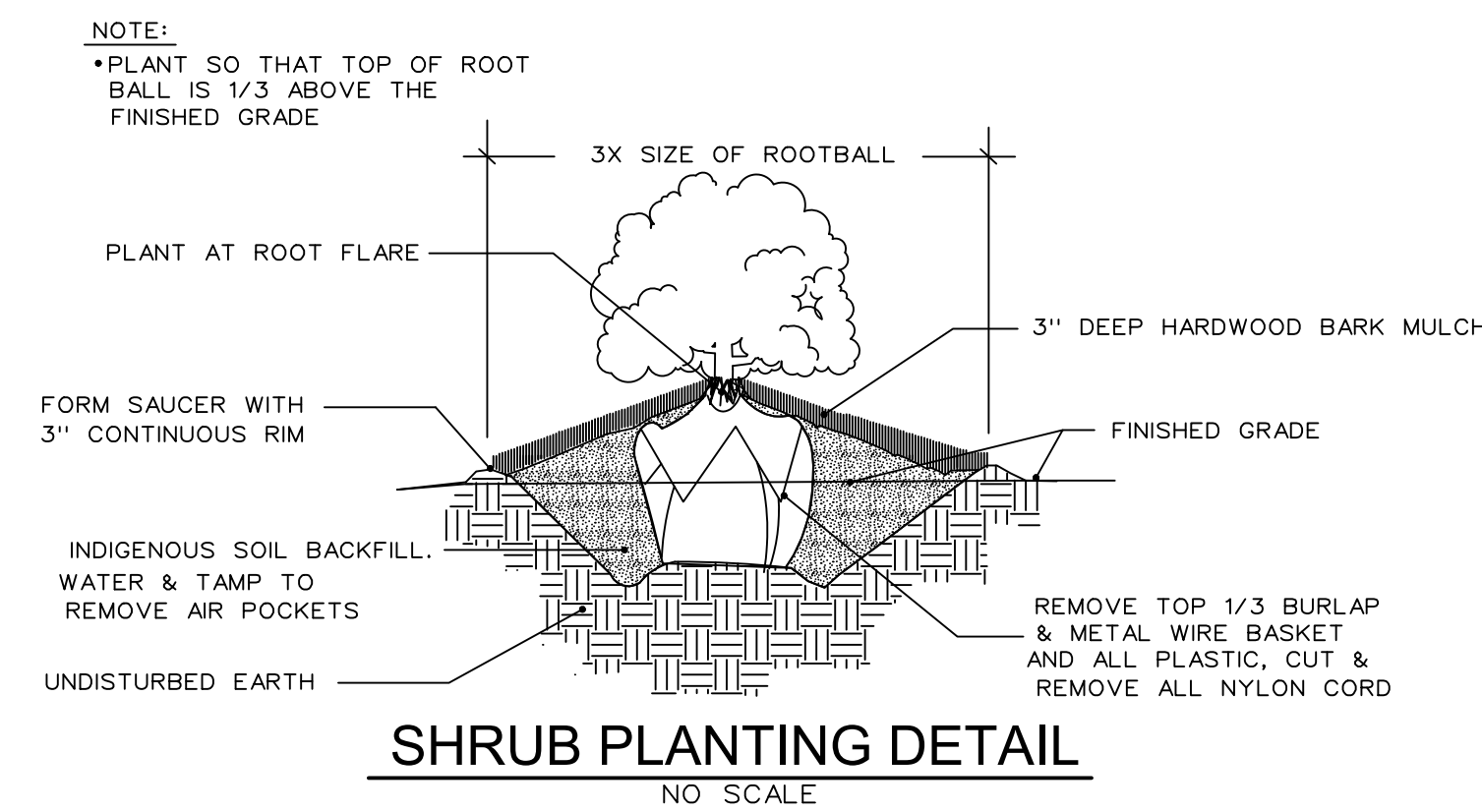
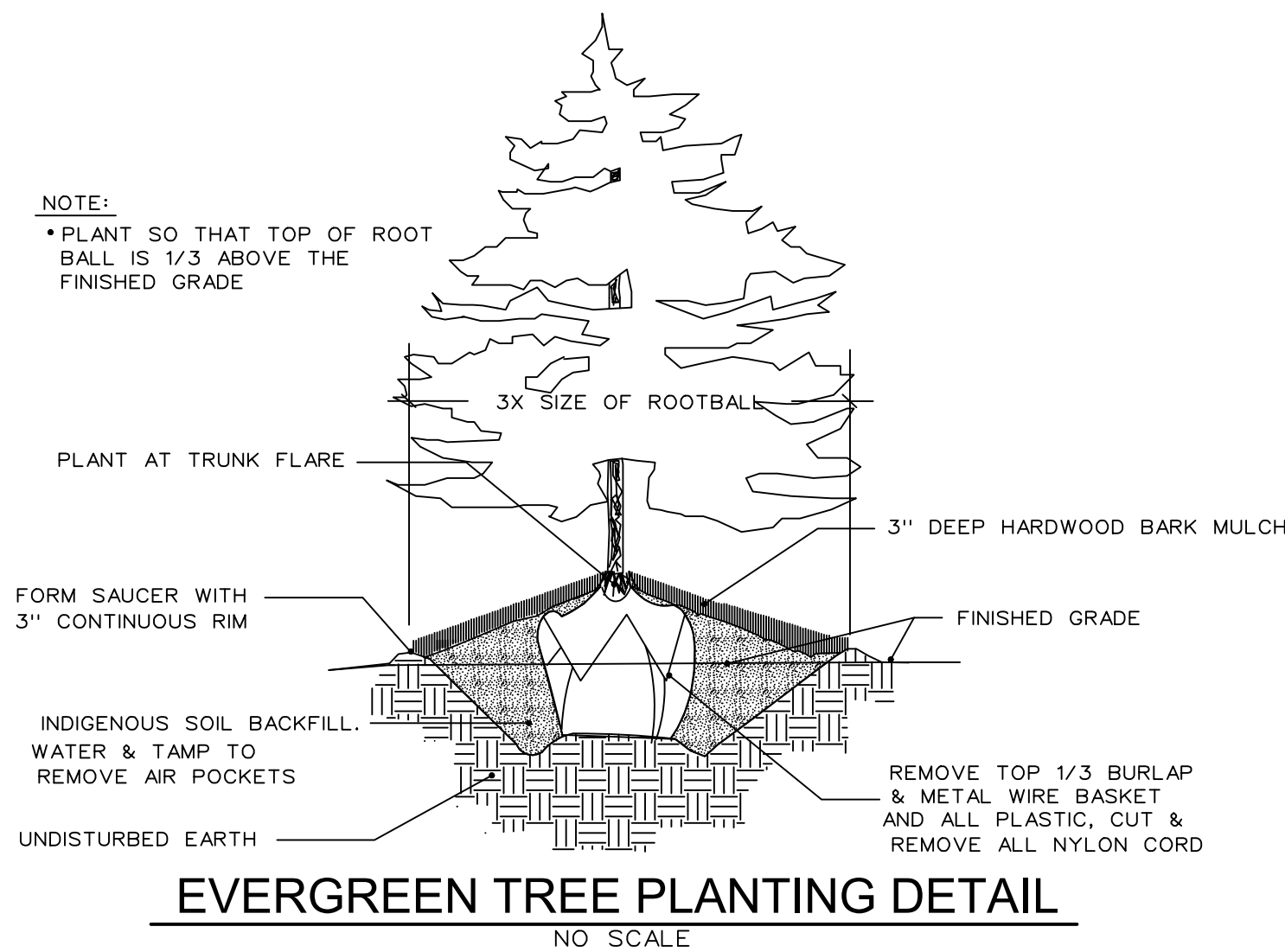
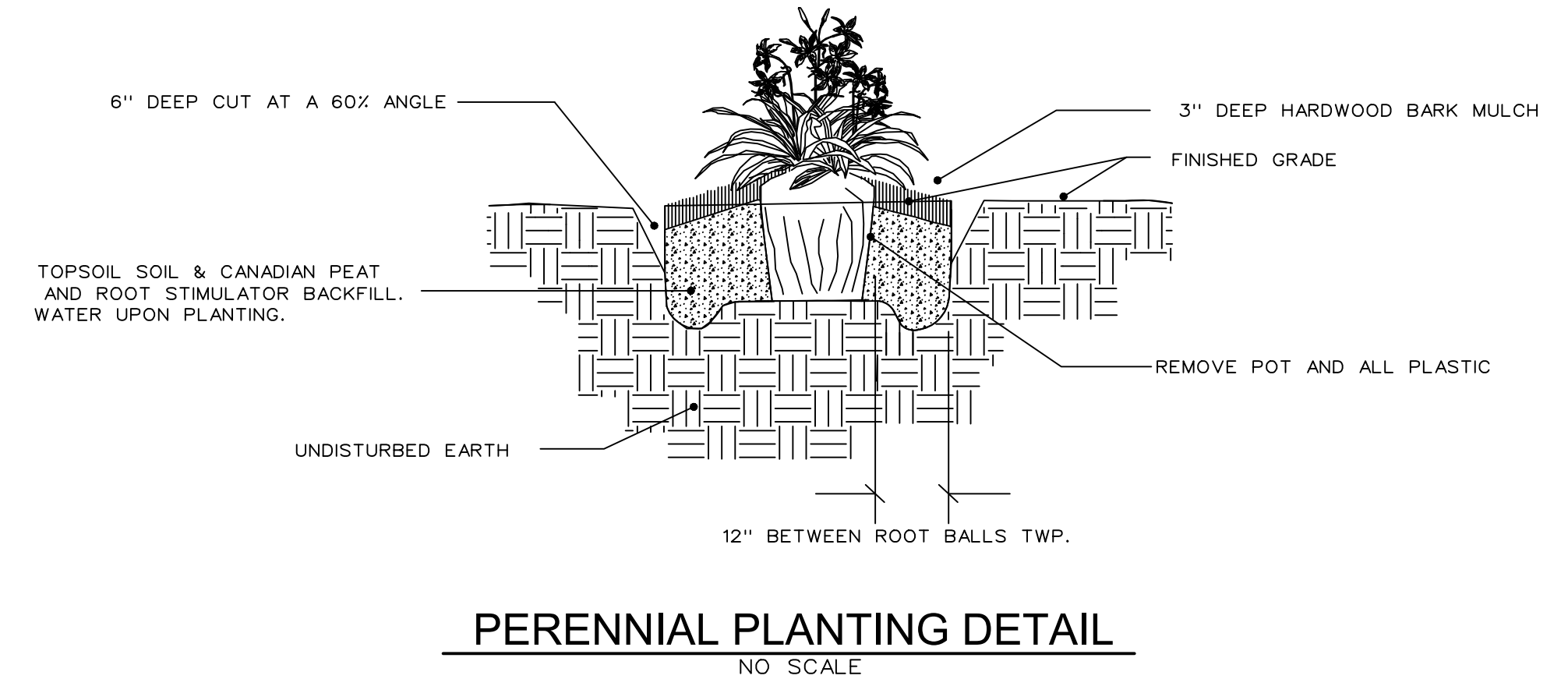
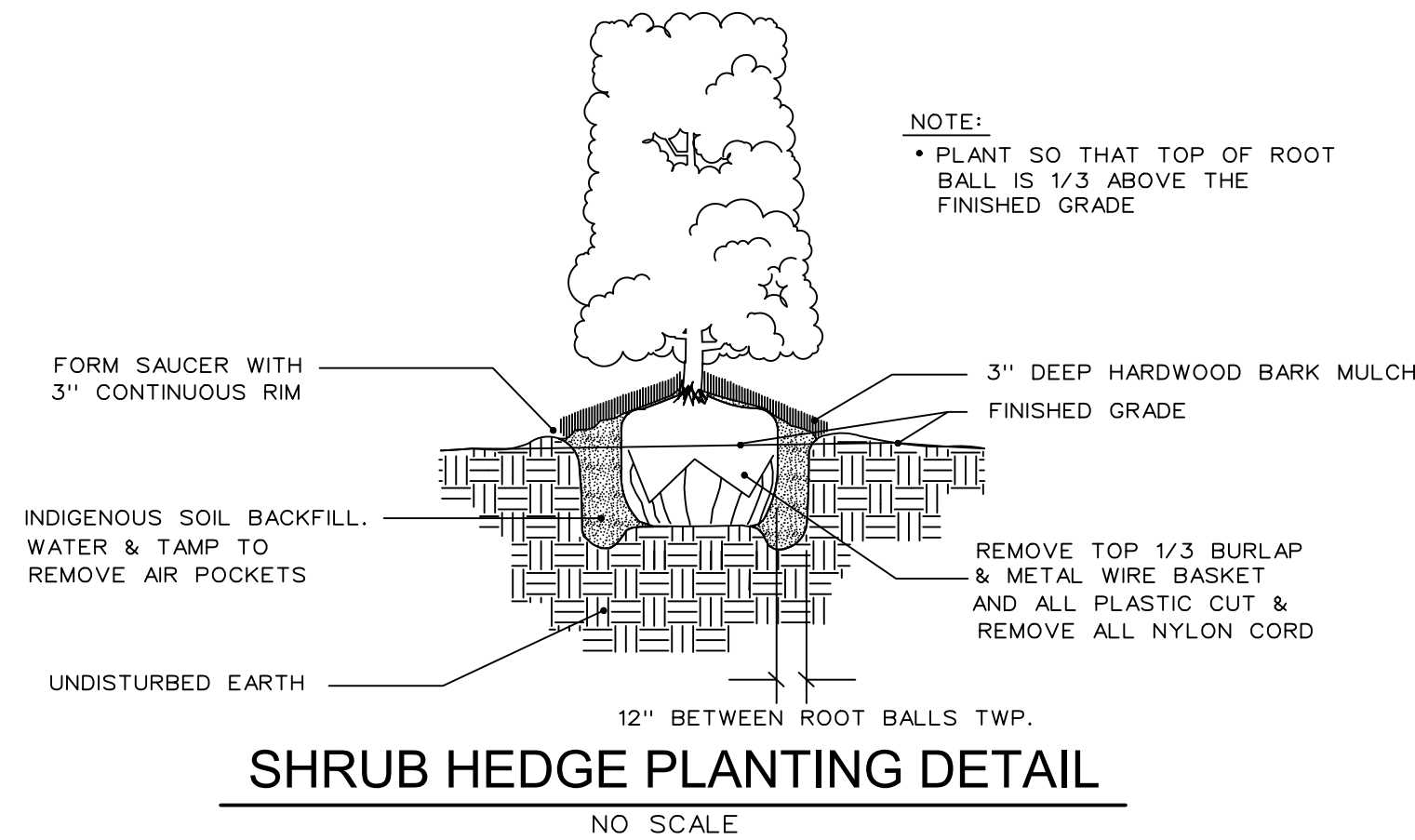
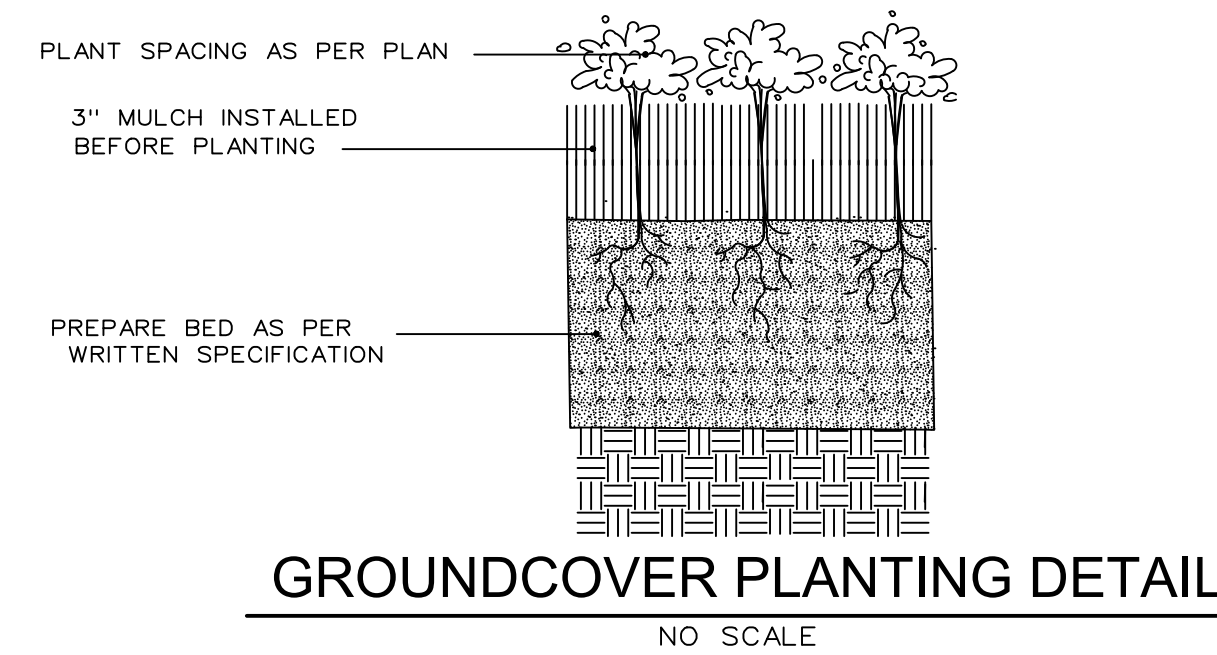
- Plant materials shall be sound, healthy vigorous, free from plant diseases and insects or their eggs, and shall have normal, healthy root systems. Caliper measurements shall be taken 6" above the ground level. All other measurements shall be in accordance with the latest edition of "American Standard for Nursery Stock" (ANSI Z-60.1 + A3002004.)
- Planting bed soil for annuals shall be screened topsoil. To deter weed growth during the establishment of annual, & perennial bed, apply a pre-emergent ("Preen" or equal) after planting 2-3 times per growing season, at a rate per recommendation of product manufacturer.
- Planting pockets shall be no deeper than the height of the root ball, saucer shall be made on the edges of the plant pocket.
- All tree wrap shall be removed upon planting.
- Mulch shall be shredded hardwood bark, free from deleterious materials and suitable as a top dressing of planting beds and individual tree plantings.
- Trees shall be mulched with minimum of 3" deep hardwood bark mulch.
- Grass seed shall be certified turf grass seed complying with A.S.P.A. specifications, and free of weed seeds and undesirable native grasses. Seeded areas shall not be permitted to dry out. All lawn areas shall be fertilized and watered as required during the first growing season to maintain a dense and vigorous growing lawn.
- Plants shall be guaranteed for two complete growing seasons (24 months). Dead material shall be replaced as needed prior to the expiration of the guarantee period, in accordance with the local ordinance requirements.
- Contractor shall provide in writing a list of recommended maintenance procedures for the first two (2) growing seasons.
- Remove top 1/3 of burlap on root ball or all if wrapped in plastic covering and/or nylon cord.
- Plant materials shall be used in compliance with the provisions of the local ordinance and shall be nursery grown, free of pests and diseases, hardy in this county, in conformance with the standards of the American Association of Nurserymen, and shall have passed inspections required under state regulations. In addition, plant materials shall conform to the standard of the county cooperative extension service.

GENERAL NOTES:

- All Construction shall conform to the current standards and specifications of local ordinances.
- All areas not built, landscaped, or paved upon shall be seeded or sodded. Terra seed system or approved equal is encouraged.
- Contractor to provide tree gaters, one per tree as shown on plan, to convey water for the first two years.
- Two (2) year guarantee period begins at Final Inspection of landscape material by the City's representative, a landscape architect or nurseryman, and prior to the authorization of the occupancy permit. This is the first of two (1 of 2) required City inspections of the Landscape Plan installation.
- Building Department will not release construction bonds until City approved landscape architect or nurseryman has inspected the site and approved the installation of landscape plans. Final bond will not be released until the two (2) year guarantee expires and final inspection is made.
- Owner is then responsible for care and maintenance of all plants upon return of bonds. All plant material is to be maintained for the natural life of the plant. No removal of any plants material is permitted without replacement.

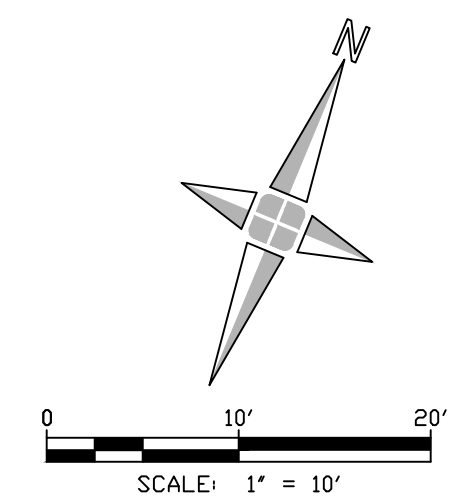
LANDSCAPE CONTRACTOR'S "TWO-YEAR IRRIGATION REQUIREMENT PERIOD"

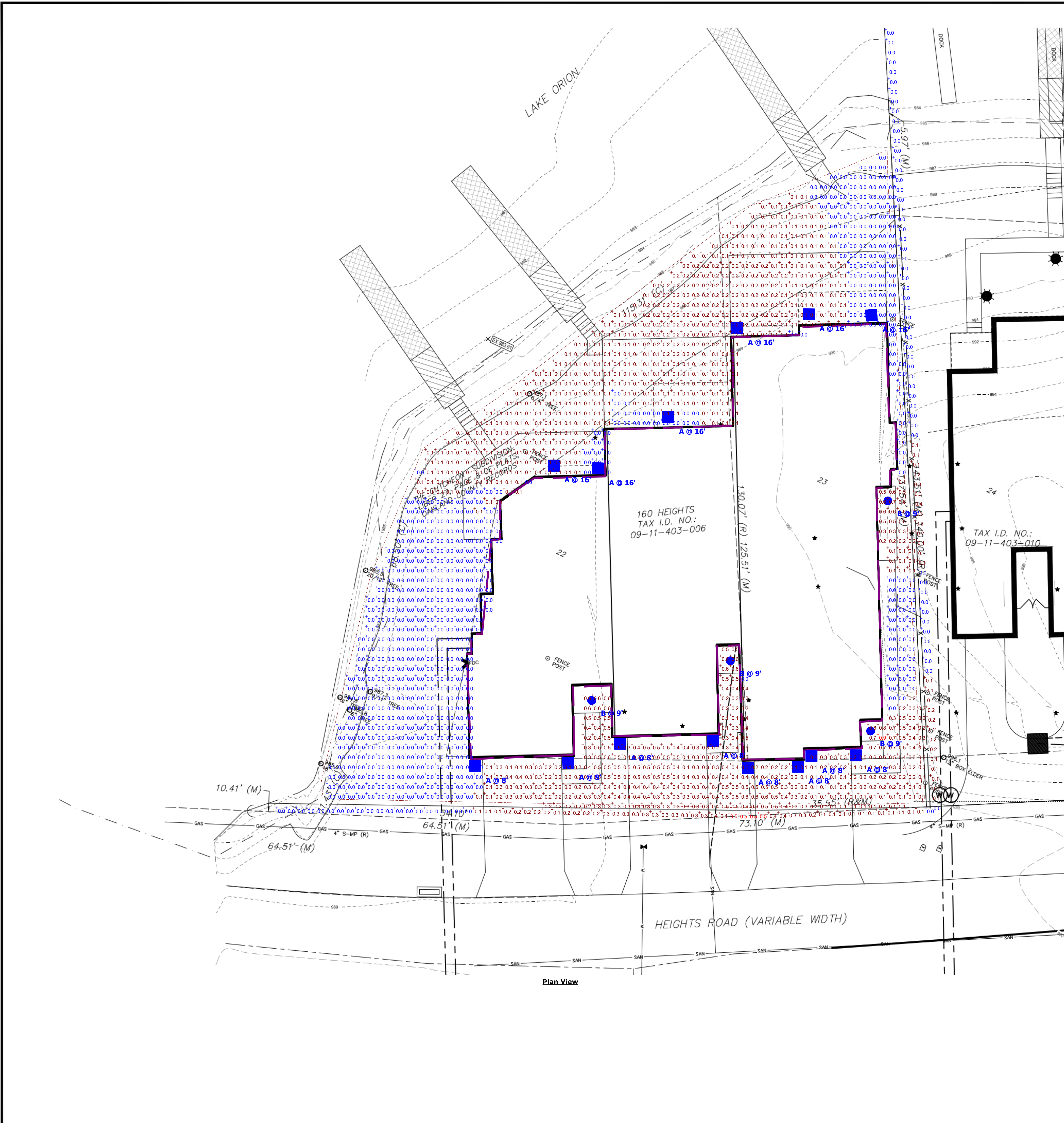
It shall be the responsibility of the landscape contractor to program and periodically adjust the irrigation system (provided by others) as required to ensure delivery of proper and adequate water supply to all plant material, and seeded lawn areas serviced by the same irrigation system, to ensure the establishment of healthy plant material and lawn for their first year of growth. Following the landscape contractor's two-year irrigation requirement period, the contractor shall provide the owner with suggested irrigation maintenance schedule for their use.



LAWN SEED MIX:

- 30% PERENNIAL RYGRASS
- 20% PARK KENTUCKY BLUEGRASS
- 45% CREEPING RED FESCUE
- 5% ANNUAL RYEGRASS
- 4*/1000 S.F. SEEDING RATE





Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Wattage	Plot
	A		14	Lithonia Lighting	OLCS 8 DDB	OUTDOOR CAST SCONCE W/DR3 FROSTED LENS; BROWN	8.93	
	B		4	Lithonia Lighting	CLF1 (40A19)	6" LENSED DOWNLIGHT WITH FLUSH OPAL PLASTIC LENS.	40	

Description	Symbol	Avg	Max
Property Line	+	0.1 fc	0.5 fc
Within Property Boundary	+	0.1 fc	0.9 fc

Mounting Height Note
 Mounting height is measured from grade to face of fixture. Pole height could be calculated as the mounting height less base height.

General Note
 The Engineer and/or Architect must determine applicability of the layout to existing/future field conditions. This lighting layout represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with illuminating engineering society approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps, and other variable field conditions. Mounting heights indicated are from grade and/or floor up.

These lighting calculations are not a substitute for independent engineering analysis of lighting system suitability and safety. The Engineer and/or Architect is responsible to review for Michigan Energy Code and Lighting Quality Compliance.

Unless exempt, project must comply with lighting controls requirements defined in ASHRAE 90.1 2013.

Drawing Note
 This drawing was generated from an electronic image for estimation purpose only. Layout to be verified in field by others. Site to comply with all lighting requirements.

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DATE:	ISSUE:
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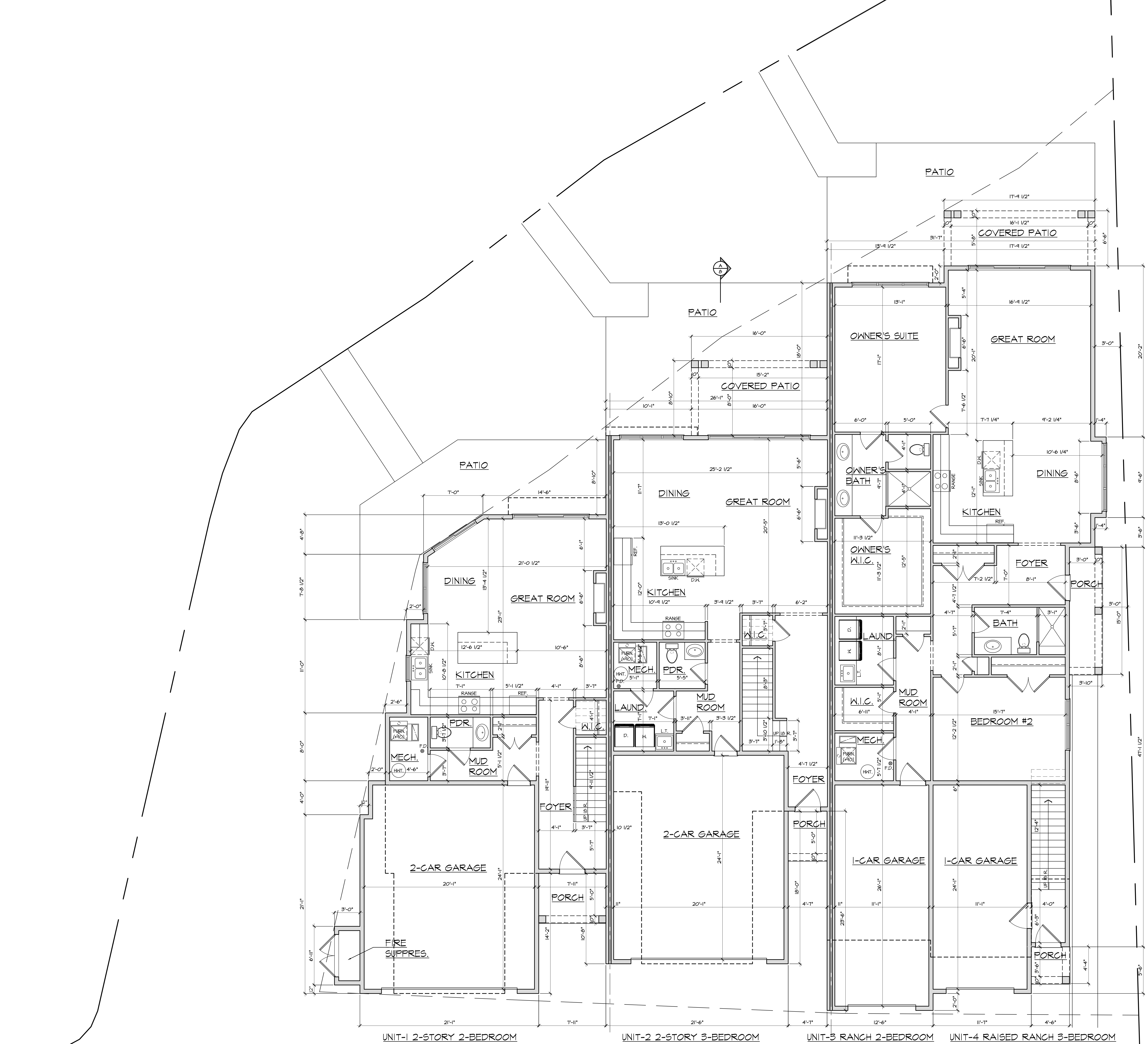
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LIGHTING PLAN

SNUG HARBOR

VILLAGE OF LAKE ORION
 OAKLAND COUNTY
 MICHIGAN

Date: 08.05.2022
 Scale:
 Sheet: LI-1
 Project: 20107.40



UNIT-1 2-STORY 2-BEDROOM UNIT-2 2-STORY 3-BEDROOM UNIT-3 RANCH 2-BEDROOM UNIT-4 RAISED RANCH 3-BEDROOM
FIRST FLOOR PLAN - FOR LEASE PRODUCT 4-UNITS
 SCALE: 1/4" = 1'-0"

**UNIT #1 2-STORY
2 BEDROOM
SQUARE FOOTAGE**
 1ST FLOOR = 897 SQUARE FEET
 2ND FLOOR = 1026 SQUARE FEET
 TOTAL = 1923 SQUARE FEET

**UNIT #2 2-STORY
3 BEDROOM
SQUARE FOOTAGE**
 1ST FLOOR = 1020 SQUARE FEET
 2ND FLOOR = 1191 SQUARE FEET
 TOTAL = 2211 SQUARE FEET

**UNIT #3 1-STORY
2 BEDROOM
SQUARE FOOTAGE**
 1ST FLOOR = 1806 SQUARE FEET

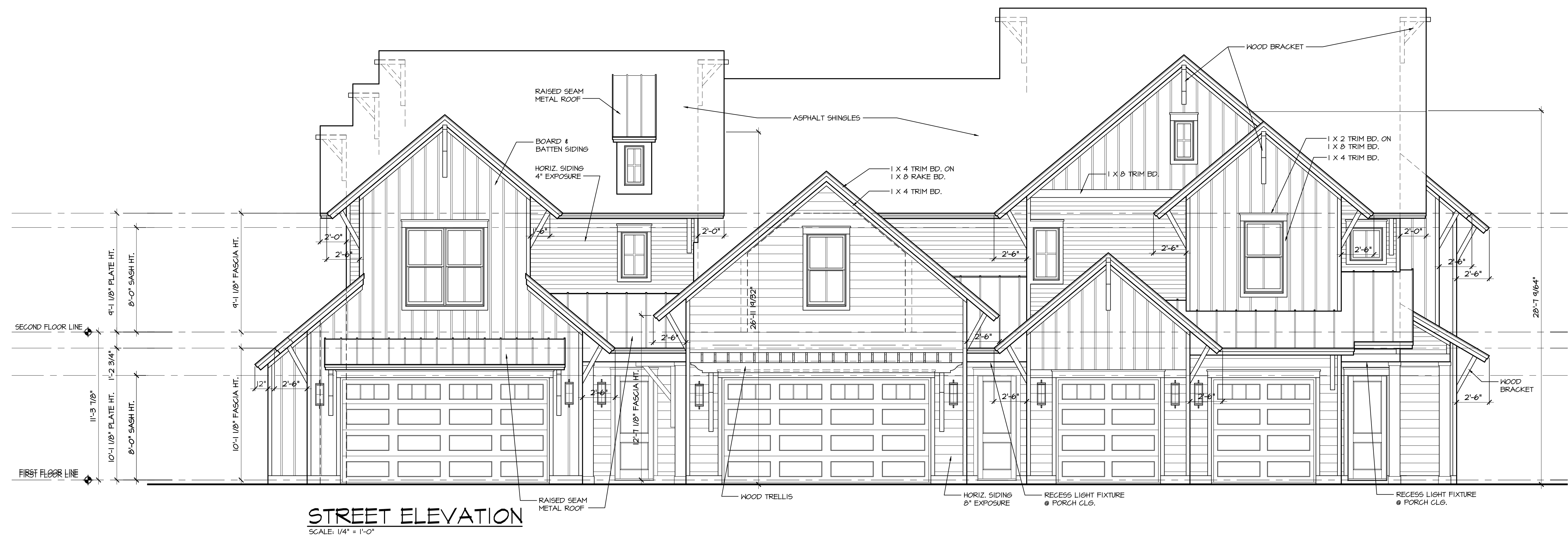
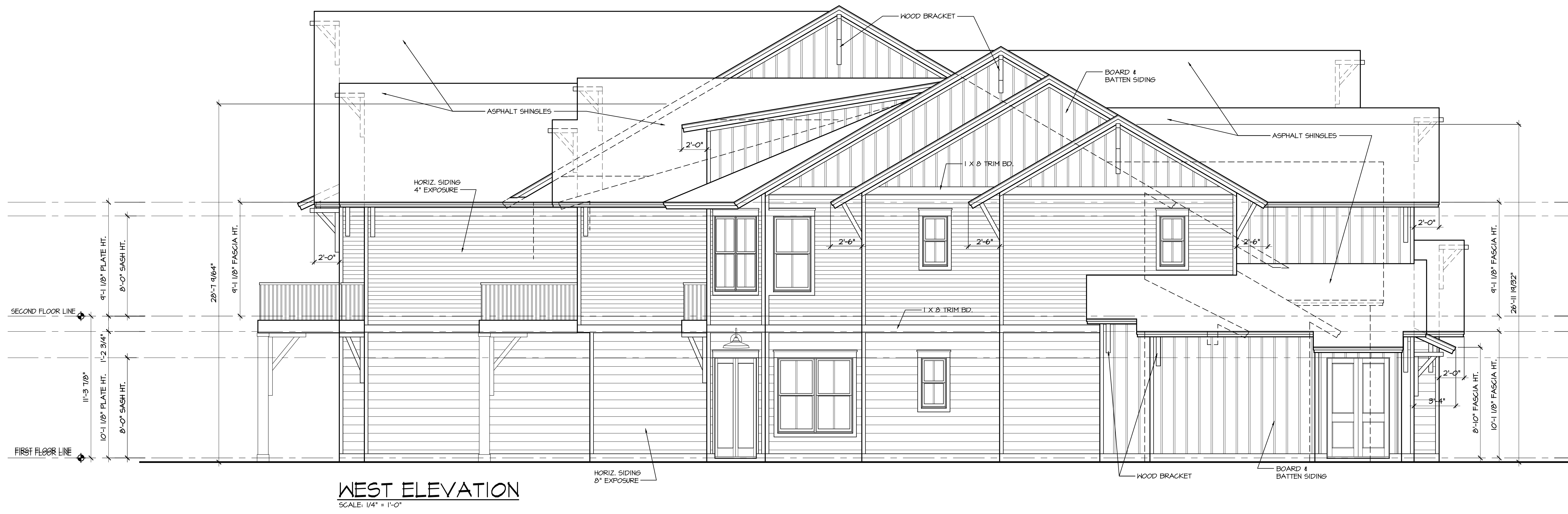
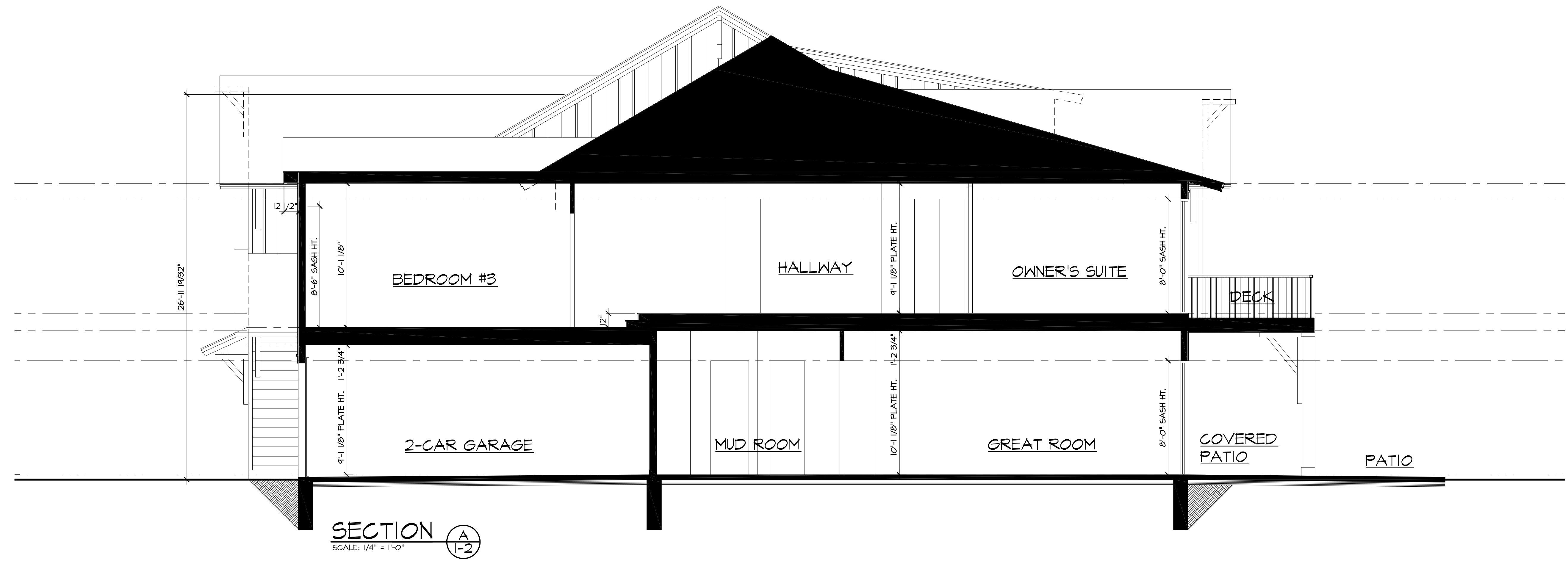
**UNIT #4 2ND STORY
3 BEDROOM
SQUARE FOOTAGE**
 1ST FLOOR = 189 SQUARE FEET
 2ND FLOOR = 2066 SQUARE FEET
 TOTAL = 2255 SQUARE FEET

ALL WINDOW NUMBERS REFER TO GENERIC SIZES (NO SPECIFIC MANUFACTURER)
 EXAMPLE:
 2040-2 = 2'-0" X 4'-0", 2-WIDE WINDOW UNIT

ALL DOOR NUMBERS REFER TO GENERIC SIZES (NO SPECIFIC MANUFACTURER)
 EXAMPLE:
 3080 = 3'-0" X 8'-0"

NOTE:
 ALL FIRST FLOOR CEILING HEIGHTS TO BE 10'-1 1/8" HIGH UNLESS NOTED OTHERWISE.







EAST ELEVATION
SCALE: 1/4" = 1'-0"



LAKE ELEVATION
SCALE: 1/4" = 1'-0"

Review Set:	02/21/24
Permit:	
Final Set:	
Revisions:	

Drawn:	B.J.H.
Checked:	X.X.
Scale:	