



MCKENNA

May 29, 2025

Board of Zoning Appeals
Village of Lake Orion
21 E. Church Street
Lake Orion, MI 48362-3274

Subject : A-25-03 : 37 E Flint Sign Variance Requests
Parcel: OL-99-00-016-509 / OL-09-02-477-019

Board Members:

We have reviewed the above-referenced variance application submitted by Scott Taylor (the "Applicant") who proposes of three (3) sign variances, one for internal illumination and two for dimensional standards. The property is located on the north side of E. Flint Street, between Broadway and Anderson and is zoned DC, Downtown Center. The maximum permitted projecting sign area without special approval is 9 square feet and it must be externally illuminated.

REQUEST

To establish the business and erect the sign, the applicant is requesting three (3) variances from the Sign Ordinance:

1. CHAPTER 155: SIGN REGULATIONS, SECTION 155.06(C) TABLE – DC, NONRESIDENTIAL

| | | |
|--------------------------------------|-------------------|------------------------------------------|
| <u>Maximum Projecting Sign Area:</u> | <u>Permitted:</u> | <u>9 sq ft. without special approval</u> |
| | Existing: | 7.29 sq ft. |
| | Proposed: | 32 sq ft. |
| | Variance: | 23 sq ft. |

2. CHAPTER 155: SIGN REGULATIONS, SECTION 155.07(H) – PROJECTING SIGN REGULATIONS

| | | |
|----------------------------------------|-------------------|---------------|
| <u>Maximum Projecting Sign Height:</u> | <u>Permitted:</u> | <u>12 ft.</u> |
| | Existing: | <12 ft. |
| | Proposed: | 24 ft. |
| | Variance: | 12 ft. |

| | | |
|------------------------------------------|-------------------|-----------------------------------------------------|
| <u>Illumination of Projecting Signs:</u> | <u>Permitted:</u> | <u>External Illumination Only</u> |
| | Existing: | External Illumination |
| | Proposed: | Internal Illumination |
| | Variance: | Internal Illumination of New Projecting Sign |



COMMENTS

Per Section 155.10 of the Village's Sign Ordinance the Board must, prior to acting on a proposed variance, consider and make findings regarding several factors. The Village of Lake Orion Board of Zoning Appeals (BZA) is authorized to grant variances and hear appeals regarding any sign regulation from an interpretation or administrative decision of an official of the Village of Lake Orion or a decision made by the Planning Commission. The BZA shall determine whether the application shall be granted for a variance upon a showing of the following:

- 1) **The variance would not be contrary to the public interest or general purpose and intent of this chapter.**
The variances would not be contrary to the public interest or general purpose and intent of the Sign Ordinance. The building currently has a very large wall sign and a small projecting sign that will be removed and replaced by the proposed projecting sign.
- 2) **The variance does not adversely affect properties in the immediate vicinity of the proposed sign.**
We have no evidence the variances requested would adversely affect the adjacent properties within the immediate vicinity.
- 3) **The petitioner has a practical difficulty resulting from the unusual characteristics of the property that precludes reasonable use of the property.**
The applicant states the current channel letter signage is high on the wall and difficult to read. The proposed sign will allow patrons to see it from all directions, particularly from the Downtown core looking east. The applicant wants to replace the flat wall sign with a vertical projecting sign that also poses as a period art piece, with intricate detailing paying homage to the Lake Orion 'dragon.' The building is one of the larger ones on the strip in width and height, with 'signable' walls located at its far east end.

When determining whether an application complies with the variance standards above, the BZA shall consider the following; however, the BZA may decline to grant a variance even if the following considerations exist:

- 1) **Permitted signage could not be easily seen by passing motorists due to the configuration of existing buildings, trees, or other obstructions, which cannot be legally and/or practically removed.**
The current wall signage is large, and it is placed high on the building, above the street trees and adjacent roof lines. However, it is not obstructed any more than any other business on the block.
- 2) **Permitted signage could not be seen by passing motorists in sufficient time to permit safe deceleration and exit. In determining whether such circumstances exist, the BZA shall consider the width of the road, the number of moving lanes, the volume of traffic, and speed limits.**
The district location is within Downtown Lake Orion, where traffic is typically slower and permitted signage would be able to be seen by passing motorists. The Downtown is pedestrian-oriented and the current wall sign is not conducive to
- 3) **Existing signs on nearby parcels would substantially reduce the visibility or advertising impact of a conforming sign on the premises.**
There are other conforming projecting signs on adjacent business and one awning next door. It is not believed that any of these signs would reduce the visibility or advertising impact of a conforming sign.



- 4) **A conforming sign would require removal/severe alteration to natural features on the premises, including: tree removal, natural topography alteration, wetland filling, or natural drainage course obstruction.**

No removal or alteration of natural features on the premise would be required for a conforming sign to be placed on the building.

- 5) **A conforming sign would obstruct the vision of motorists or otherwise endanger the health or safety of passers-by.**

A conforming sign would not obstruct the vision of motorists or endanger the health or safety of passers-by.

- 6) **The sign is clearly distinguishable from public safety and traffic signs so as to not cause confusion or mislead the public.**

The proposed sign would be clearly distinguishable from the public safety and traffic signs to not cause confusion or mislead the public. The sign would feature historically inspired features, with externally lit bulbs mounted vertically, and craftsmanship-like quality. It will also include the Lake Orion dragon element.

- 7) **The sign is compatible in appearance with the visual character of the surrounding area, i.e. scale and placement to the building, color relationships, and dissimilarity of shape and lettering.**

The new proposed sign will fit the character of the downtown district. The applicant states that they designed the sign to enhance the business visibility and the desired effect that it was placed downtown when the building was built in 1900. There are several other nonconforming, historical signs Downtown that add to the visual character of the area and the scale, placement, and design is more compatible than the existing signage.

- 8) **Such a sign variance may further be granted in those instances in which there has been a demonstrated showing by the applicant that the particular sign sought to be approved is suitable to the village or has some value that comports with the history or development of the community and would not, if a variance were granted, be materially in conflict with applicable underlying district regulations.**

The applicant has done extensive research to incorporate the downtown element and historical charm into the design of the proposed sign. The applicant states that removal of the large, incompatible wall sign and installation of the proposed projecting sign will enhance the area; we are inclined to agree and do not believe the sign would conflict in anyway with underlying district regulations.



RECOMMENDATION

Subject to any additional information presented and discussed by the applicant, Board, and/or the public during the public hearing and incorporated into the record prior to any findings being made, we recommend that the Board of Zoning Appeals **approve the requested variances** for the proposed projecting sign at 37 E Flint, based on finding that:

- 1) The variance would not be contrary to the public interest or general purpose and intent of the Sign Ordinance. The building currently has a very large wall sign and a small projecting sign that will be removed and replaced by the proposed projecting sign.
- 2) We have no evidence the variances requested would adversely affect the adjacent properties within the immediate vicinity.
- 3) The building is relatively large, with “signable” walls located further from the Downtown core, potentially impacting visibility of the business; the proposed sign will enhance visibility for pedestrians and motorists alike.

Recommended Motions:

- 1) **I move to approve** the requested variance of **23 sq. ft.** from the maximum projecting sign area standard to allow a **32 sq. ft.** projecting sign to be installed at 37 E. Flint, based on the findings listed in the Village Planner's report dated May 29, 2025.
- 2) **I move to approve** the requested variance of **12 ft.** from the maximum projecting sign height standard to allow a projecting sign reaching up to **24 ft. above grade** to be installed at 37 E. Flint, based on the findings listed in the Village Planner's report dated May 29, 2025.
- 3) **I move to approve** the requested variance from the standard **prohibiting internally illuminated projecting signs** to allow **an internally illuminated projecting sign** to be installed at 37 E. Flint, based on the findings listed in the Village Planner's report dated May 29, 2025.

Should you have any questions, please reach out to us.

Respectfully,

McKENNA

Gage Belko, AICP
Associate Planner

Alicia Warren
Associate Planner

cc: Village Clerk: Sonja Stout, 21 E. Church Street, Lake Orion, MI 48362
Property Owner: Tom Bailey, 3039 Dixie Highway Waterford, MI



Village of Lake Orion

21 E. Church Street
Lake Orion, Michigan 48362
Tel 248.693.8391
Fax 248.693.5874
www.lakeorion.org

BOARD OF ZONING APPEALS – APPLICATION FOR VARIANCE OR REVIEW

PROPERTY INFORMATION

Site Address: 37 E. FLINT STREET Parcel ID #: 09-02-477-009

Parcel Size (Sq.Ft.): 6,1720 sq ft. Zoning District: _____

Has the property previously been approved for a variance(s)? Yes / No (If yes, indicate date: _____)

OWNER INFORMATION

Property Owner Name: TOM BAILEY Address: 3039 Dixie Highway, Waterford

Property Owner Phone #: 248-276-0300 E-Mail: Tom@SickTheMag.com

APPLICANT INFORMATION (If applicant is **NOT** property owner)

Applicant Name: _____ Address: _____

Applicant Phone #: _____ E-Mail: _____

Applicant is: (i.e. contractor or business owner or architect, etc.) _____

TYPE OF VARIANCE AND/OR REVIEW REQUESTED

Please check one. A request for multiple types of reviews may require a separate form.

____ Appeal of Administrative Order ____ Interpretation of Map ____ Interpretation of Section # _____

☒ Dimensional Variance (required setback, height, lot coverage, lot width, lot size, etc.)

____ Use Variance (specify intended use): _____

____ Variance from Zoning Ordinance Requirement - Section # _____

____ Other (please specify): _____

DIMENSIONAL VARIANCE – REQUESTED DEVIATION FROM REQUIREMENTS

Please complete the table below for each deviation from the dimensional requirements which you are requesting.

| Section # | Type of Dimensional Requirement | Existing Distance | Required Distance | Proposed Distance | Variance (=Required – Proposed) |
|-------------------------|---------------------------------|-------------------|-------------------|-------------------|---------------------------------|
| Example: Table 12.02 | Front Setback | 28 Feet | 25 Feet | 20 Feet | 5 Feet |
| 155.07 | SIGN SIZE | | 12 | 32 | 20 sq ft. |
| 155.07 | SIGN HEIGHT | | 12 | 24 | 12 FT. |
| 155.03 | SIGN ILLUMINATION | | | | |
| | | | | | |

Please only fill out the section for the type of variance or review you are requesting.

**DIMENSIONAL VARIANCES AND VARIANCES FROM ZONING ORDINANCE REQUIREMENTS -
EXPLANATION OF PRACTICAL DIFFICULTIES**

Dimensional Variances, which are deviations from the dimensional zoning requirements, i.e. height, bulk, setback, and variances from other zoning ordinance requirements, such as the amount of investment in a non-conforming property, may only be granted by the Board of Zoning Appeals upon finding that a practical difficulty exists. All of the following conditions must be determined to apply to your case in order to determine that a true practical difficulty exists. (Attach additional sheets if necessary.)

Please explain how: Strict compliance with restrictions governing area, setback, frontage, height, bulk, density, or other non-use matters will unreasonably prevent the owner from using the property for a permitted purpose or will render ordinance conformity unnecessarily burdensome.

A CUSTOM, HANDMADE METAL SIGN, PERIOD CORRECT SIGN THAT INCORPORATES A DRAGON ELEMENT, THE BUSINESS INFORMATION AND REPLACING A LARGE CHANNEL LETTER SIGN THAT IS DIFFICULT TO SEE FROM MOST AREAS IN TOWN.

Please explain how: Granting the variance will provide substantial justice to the applicant, as well as other property owners.

THIS PROJECT IS A TRUE STATEMENT PIECE THAT WILL ENHANCE NOT ONLY THE BUILDING BUT ENTIRE DISTRICT. THIS SIGN WILL ENHANCE BUSINESS VISABILITY AND ESTABLISH A LEVEL OF CLASS & INVESTMENT TO SHOW TO ALL VISITORS.

Please explain how: The variance requested is the minimum variance needed to provide substantial relief to the applicant and/or be consistent with justice to other property owners.

THE NATURE OF THE SIGN INCLUDING THE DESIGN & INVESTMENT REQUIRES A MARQUEE LIKE APPEARANCE TO MAKE THE DESIRED EFFECT OF A SIGN THAT WOULD HAVE BEEN DOWNTOWN WHEN THE BUILDING WAS BUILT IN 1900

Please explain how: The need for the variance is due to unique circumstances peculiar to the property and not generally applicable in the area or to other properties in the same zoning district.

THE CURRENT SIGN IS DIFFICULT TO READ DUE TO THE HEIGHT AND THE FACT THAT THE BUILDING ~~IS~~ IS TOWARDS THE MIDDLE/END OF THE BLOCK. NEW SIGN WILL BE LEGIBLE FROM FLINT STREET AND WILL BE VISIBLE FROM CORNER OF BROADWAY

Please explain how: The problem and resulting need for the variance has been created by strict compliance with the Zoning Ordinance, and not by the applicant or applicant's predecessors; it is not self-created.

THE NEED IS BECAUSE OF THE BUILDING HEIGHT AND THE FACT THAT A NON-PERIOD CORRECT SIGN DOES NOT GET THE JOB DONE ON THIS AWESOME BUILDING. A VERTICAL SIGN/ART PIECE WILL BE A GORGEOUS ADDITION TO THE ENTIRE DISTRICT.

Please explain how: Granting the variance will not impair the public health, safety, comfort, or welfare of the inhabitants of Lake Orion.

THIS PROJECT WILL ENHANCE THE AREA AND ALLOW THE REMOVAL OF THE LARGE, NON PERIOD CORRECT CHANNEL LETTER SIGN THAT CURRENTLY DOES NOT "FIT" IN THE DISTRICT.

USE VARIANCES – EXPLANATION OF UNNECESSARY HARDSHIP

A Use Variance is a variance that permits the use of a property that is otherwise not permitted in a zoning district. The Board of Zoning Appeals may grant a requested use variance only upon finding that an unnecessary hardship exists. Explain below how the requirements in Article 19, Section 19.04 D. 2. Use Variance Review Standard of Zoning Ordinance pertains to your site. (Attach additional sheets if necessary.)

N/A.

APPEALS OF ADMINISTRATIVE ORDERS, INTERPRETATIONS OF MAP OR ZONING ORDINANCE SECTIONS

Per Section 19.04(B), when an applicant believes they have been aggrieved by a decision of the Zoning Administrator, they may appeal the decision to the Board of Zoning Appeals. Per Section 19.04(C), the Board of Zoning Appeals has the authority to hear and decide requests for interpretation of the Zoning Ordinance, including the Zoning Map. In the area below, please state the Section relevant to your appeal or interpretation request. Please state any facts or conditions relevant to your application. (Attach additional sheets if necessary.)

N/A.

ADDITIONAL INFORMATION AND REQUIREMENTS

Section 19.04(F) identifies all information required for a complete application.

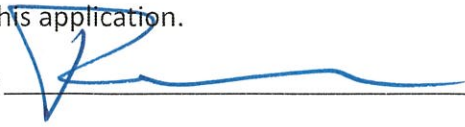
Please place your initials below next to all items included in your application.

If you believe the information is not relevant please place 'N/A' for not applicable next to the item.

- JB 1) A completed application signed by the property owner.
- _____ 2) Proof of ownership.
- NA 3) Property owner authorization for an applicant to act on their behalf.
- JB 4) Project Narrative – A letter to the BZA explaining the variance or review request.
- NA 5) Land Survey – A survey prepared by a professional surveyor.
- NA 6) Site Plan – A set of plans to scale which include all property lines with dimensions, setbacks, existing and proposed structures.
- JB 7) Architectural plans and elevations – A set of drawings illustrating the details of any proposed structures.
- _____ 8) PDF files - A digital PDF version of all documents must be provided either via media source (CD, DVD, USB drive) or email to the Zoning Coordinator.
- _____ 9) Payment of fees.

By signing below you acknowledge all of the following:

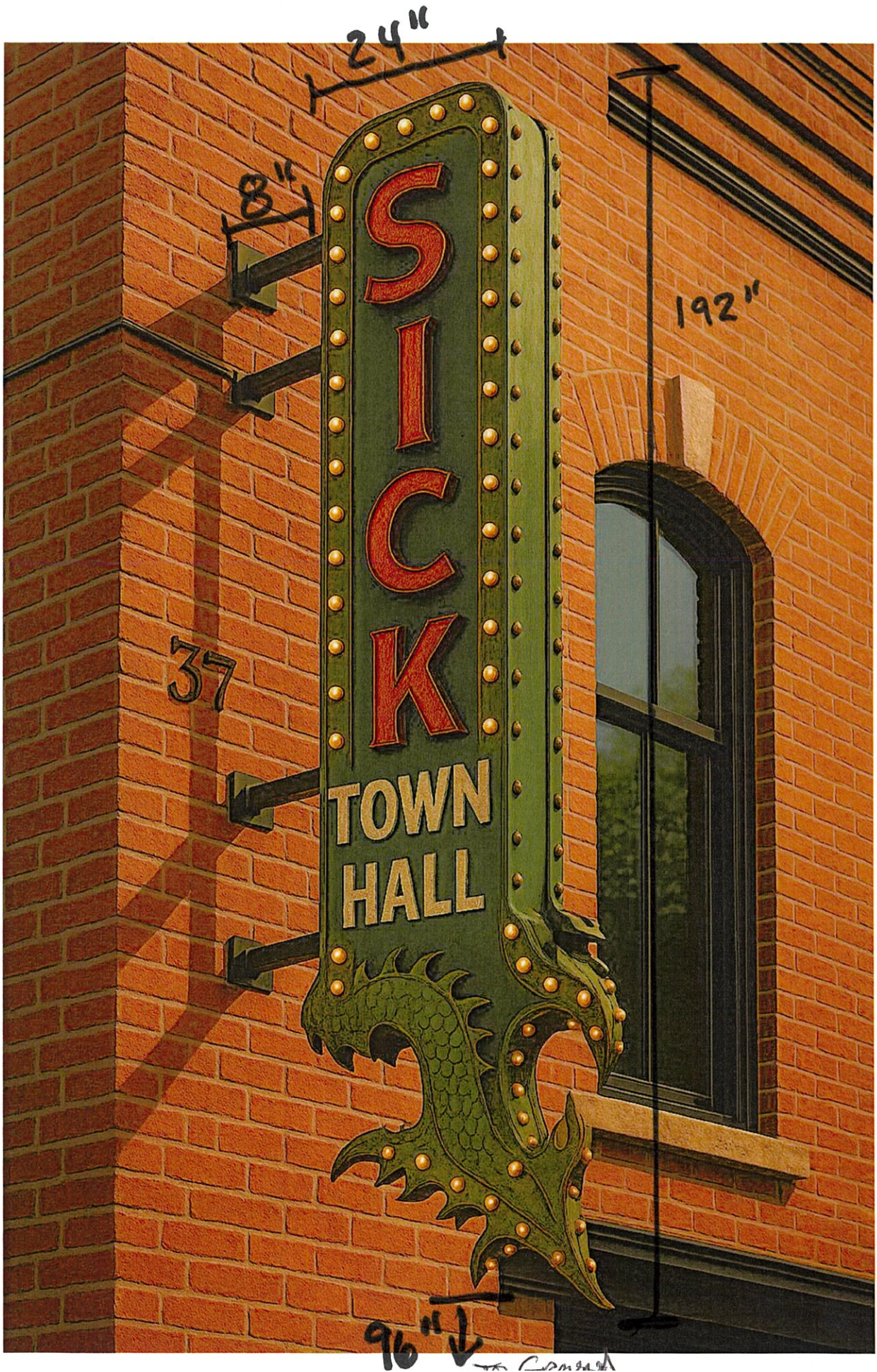
- The undersigned acknowledges that they have read Section 19.04 of the Village of Lake Orion Zoning Ordinance, has received and read the instructions and understands the application process.
- The undersigned acknowledges that in their opinion they believe the additional information included with this application meets the submittal requirements for a variance or review application and accept all responsibility for any lack of required information.
- The undersigned acknowledges that any lack of information which may result in a delay of the review process is the sole responsibility of the applicant.
- The undersigned deposes that the forgoing statements and answers and accompanying information are true and correct.
- The undersigned hereby authorizes Village representatives to enter the subject property in connection with this application.

Signature of Property Owner: 

Date: 5/13/2025

Signature of Applicant: _____

Date: _____





Village of Lake Orion

21 E. Church Street
Lake Orion, Michigan 48362
Tel 248.693.8391
Fax 248.693.5874
www.lakeorion.org

REQUIRED DOCUMENTS

The following lists all documents required for a complete submittal of a BZA application for a variance or review.

A complete application and all associated documents must be submitted 30 DAYS prior to the next available meeting date to be eligible for the agenda.

- ✓ 1. **Completed Village of Lake Orion BZA Variance or Review Application.** (*Must be signed by Property Owner*)
2. **Proof of ownership of property.**
- ✓ 3. **Property owner authorization for an applicant to act on their behalf.**
- ✓ 4. **Project narrative.** *A letter to the BZA explaining the variance or review request.*
5. **Land survey.** *A survey prepared by a professional surveyor.*
- ✓ 6. **Site plan.** *A set of plans to scale which include all property lines with dimensions, setbacks, existing and proposed structures.*
7. **Architectural plans and elevations.** *A set of drawings illustrating the details of any proposed structures.*
8. **PDF files.** *A digital PDF version of all documents must be provided either via media source (CD, DVD, USB drive) or email to the Zoning Coordinator.*
9. **Payment of fees.** *See fee schedule for appropriate fees. Please make separate checks for application and escrow fees payable to the Village of Lake Orion. Additional funds will be required for additional reviews. Escrow balances will be refunded when case is closed.*

ADDITIONAL PERMIT APPLICATIONS AND PROJECT CONSULTATION

The Village Zoning Ordinance and all Village permit application packets are available at the Village of Lake Orion office Monday through Friday from 9:00am to 4:30pm. They are also available online at www.lakeorion.org.

It is highly recommended that you review your project with the Village Planning and Zoning Department prior to submittal. Please contact the Village Zoning Coordinator with any questions at (248) 693-8391 extension 107.

Dear Village of Lake Orion Zoning Board,

May 13, 2025

My name is Scott Taylor. I am a 50 year resident of Orion Township and my partner, Tom Bailey has lived in Orion Township for 25 years. We started Sick Pizza in Oxford in May of 2021 and recently purchased the 313 Pizza Bar. We believe this building, that is shrouded in Lake Orion history, will become a favorite spot for residents and visitors, we plan to offer excellent casual dining food as well as a full-service bar and an excellent event space for locals to utilize and enjoy for all of their special occasions.

I pen this letter to explain the need for a sign variance at this location. The current sign is a channel letter sign that spans the majority of the distance of the tallest structure of our building. The existing sign is over twenty feet in the air and on the wall parallel to Flint Street. We would really like a sign that is period correct to the building, which was built in 1900. The current channel letter sign is a sign more fitting a plaza restaurant not for a building that was the original fire station/police station/town hall. The current sign is very easy to miss even though it measures over 50 square feet. The fact that the current sign is attached to the wall, high in the air makes it difficult to see when driving down Flint Street or from Broadway.

We searched the surrounding communities looking for an example of a sign that would best enhance the building and community. A local theatre has an awesome sign that is vertical and a true piece of art. We found the designer of the sign and had a consultation with him to determine if he could incorporate our ideas and make it a true reality in downtown Lake Orion. A rendering was produced by the artist that incorporated our business name along with a dragon theme because, as we know, in Lake Orion, we are all dragons.

The cost of this project is significantly more than we had allocated for signage for the start up but we felt the impact to our business and the district was worth the investment. The rendering that was produced (attached) is 32 square feet and the ordinance for a projection sign is 12 square feet. We feel that reproducing a true, period correct sign on our facility will greatly enhance our ability to identify our business as well as enhance the historical significance of the building and the district.

This project is a life long goal for a two Orion guys. We are willing to invest the time and dollars into this endeavor as long as we get your go ahead. Thank you for your time and consideration in this matter.

Warmest Regards. Scott Taylor & Tom Bailey – Sick Town Hall.

A handwritten signature in black ink, appearing to be 'S. Taylor', with a stylized flourish at the end.



Village of Lake Orion

21 E. Church Street
Lake Orion, Michigan 48362
Tel 248.693.8391
Fax 248.693.5874
www.lakeorion.org

SIGN PERMIT APPLICATION

PROPERTY INFORMATION

Sign Site Address: 37 E. FLINT STREET Parcel ID #: 09-02-477-009

Name of Business at Sign Location: SICK TOWN HALL Zoning District: _____

OWNER INFORMATION

Property Owner Name: Tom Bailey Address: 3039 DIXIE HIGHWAY, WARREN
Property Owner Phone #: 248-296-0300 E-Mail: Tom@SickTheMag.com

APPLICANT INFORMATION (If applicant is NOT property owner)

Applicant Name: _____ Address: _____

Applicant Phone #: _____ E-Mail: _____

Applicant is: (i.e. contractor or business owner or architect, etc.) _____

TYPE AND QUANTITY OF SIGN(S)

Please indicate the quantity of each type of sign proposed.

Permanent Sign(s): _____ Wall ☒ Projecting _____ Ground Sign _____ Awning _____ Other _____

Temporary Sign(s): _____ Banner _____ Community Event _____ Class 1 (Adjustable Type) _____ Class 2 (A-Frame) _____

Temporary Display Dates: From _____ To _____

Name of Event: _____ Date of Event: _____

ADDITIONAL INFORMATION AND REQUIREMENTS

1) **Location Map:** A map identifying the location of all requested signs on the property or building must be provided or the application WILL NOT be reviewed.

2) **Sign Sketch Plan:** A scaled plan or drawing identifying the size and elements of all requested sign(s) on the property or building must be provided or the application WILL NOT be reviewed.

3) **Orion Township Building Permit:** An Orion Township building permit application must be included in order to erect any permanent signs.

I hereby agree to erect and remove (if applicable) signage exactly as approved on this application:

Signature of Property Owner: [Signature]

Date: 5/13/2025

Signature of Applicant (or Contractor): _____

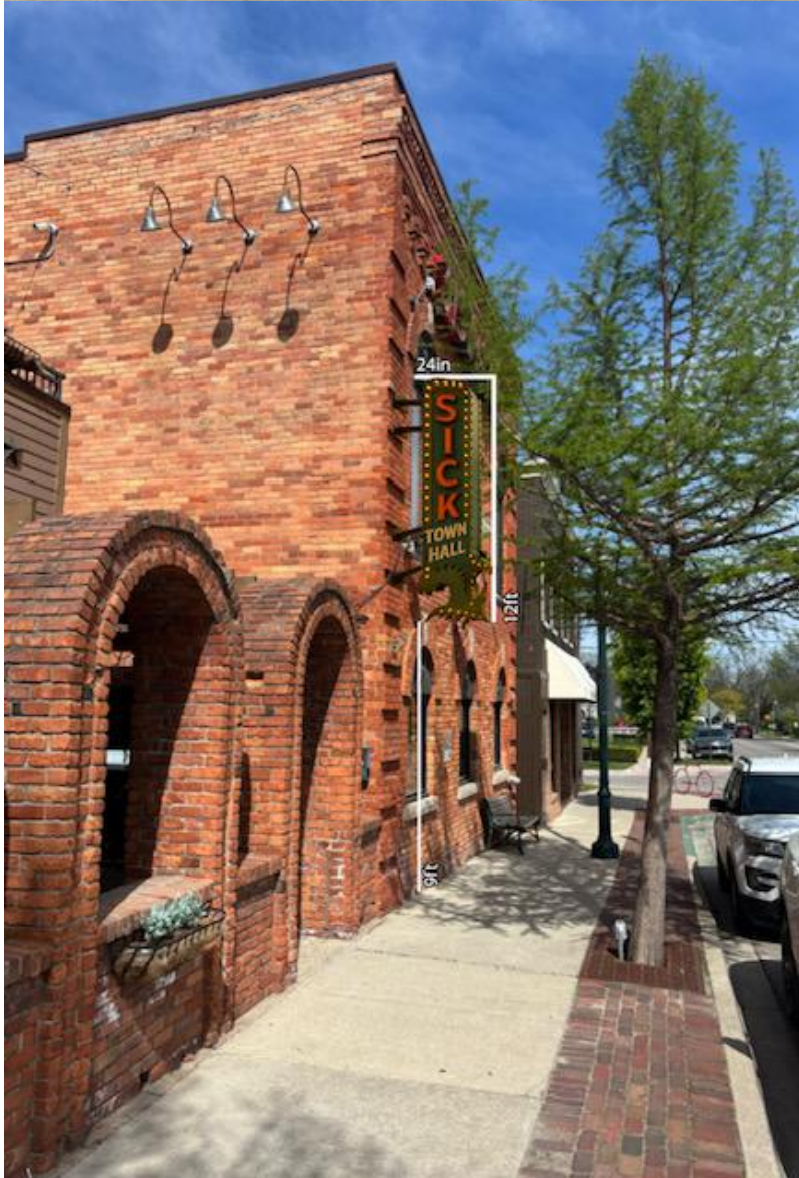
Date: _____

TO BE COMPLETED BY VILLAGE STAFF - Date Received: _____

Fee: _____

Receipt #: _____

Business
Bur.



Lockhart's BBQ

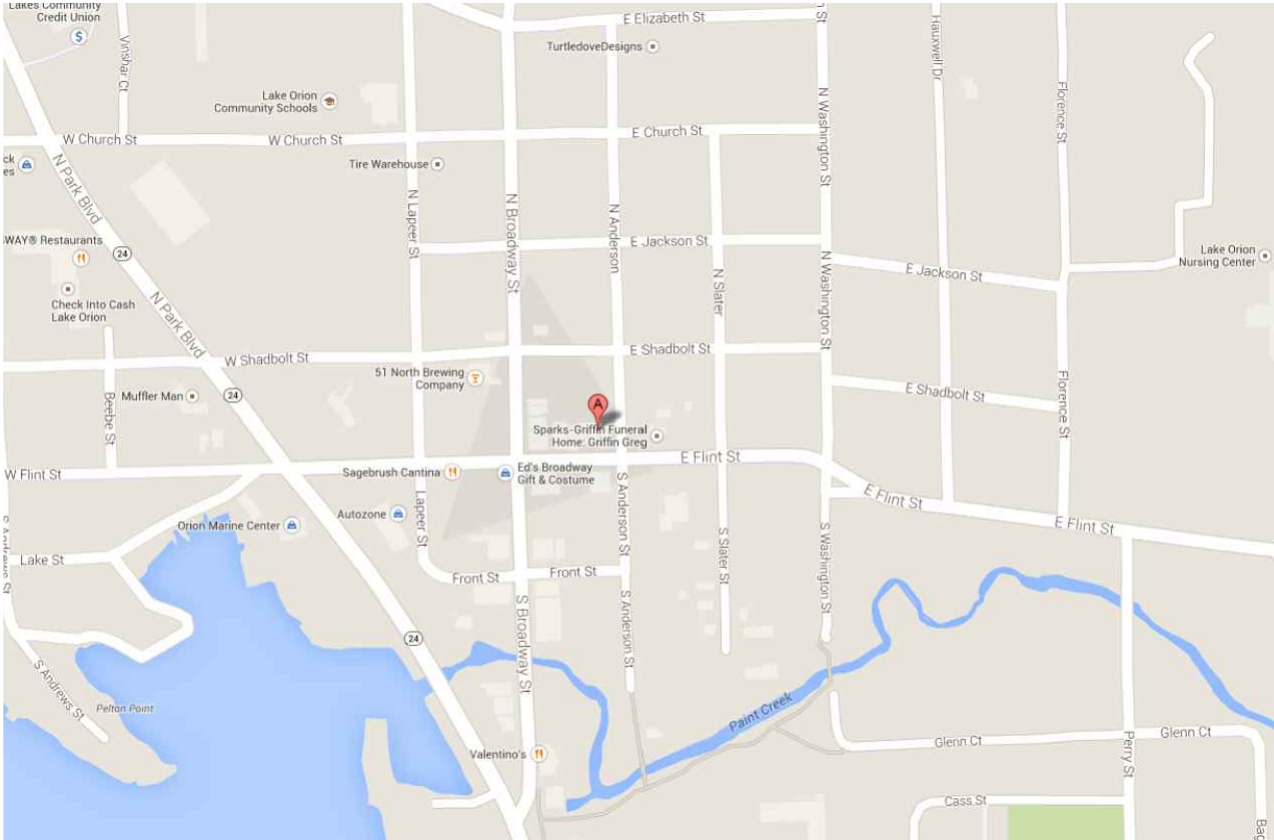
Addition / Renovation

37 East Flint St.

Lake Orion, MI

Sheet Index

| | |
|---------|-------------------------------------|
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| A.509 | Bar Elevations |
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| S.100 | First Floor Structural Plan |



Deferred Submittal Note:

The registered design professional is Jason Krieger, architect

These Construction Documents were prepared for compliance with the Michigan Construction Codes in effect at the time of permit submittal. All engineers, contractors, and suppliers involved with this project shall comply with the same codes, issued and approved code modifications and/or Ann Arbor Construction Boards of Appeals ruling and whenever required shall provide shop drawings and submittals clearly describing compliance to the Registered Design Professional in responsible charge for review and approval.

Client: Lockharts BBQ
37 E. Flint St.
Lake Orion, MI 48362

Project: Renovation

Issued: 8-15-2014 Bank Review

Seal:

Note: Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:



Sheet Title: Title Sheet

Scale: As Noted

Project Number: 14-051

Sheet Number:

G.001

Client:

Lockharts BBQ
37 E. Flint St.
Lake Orion, MI
48362

Project:

Renovation

Issued:

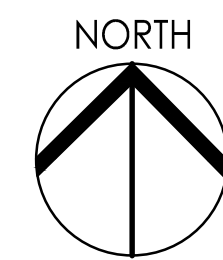
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Seal:

Note:

Do not scale drawings. Use
calculated dimensions only.
Verify existing conditions in field.

North Arrow:



Sheet Title:

Life Safety Plan

Scale:





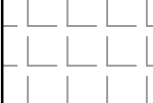

3/16" = 1'-0"

Project Number:

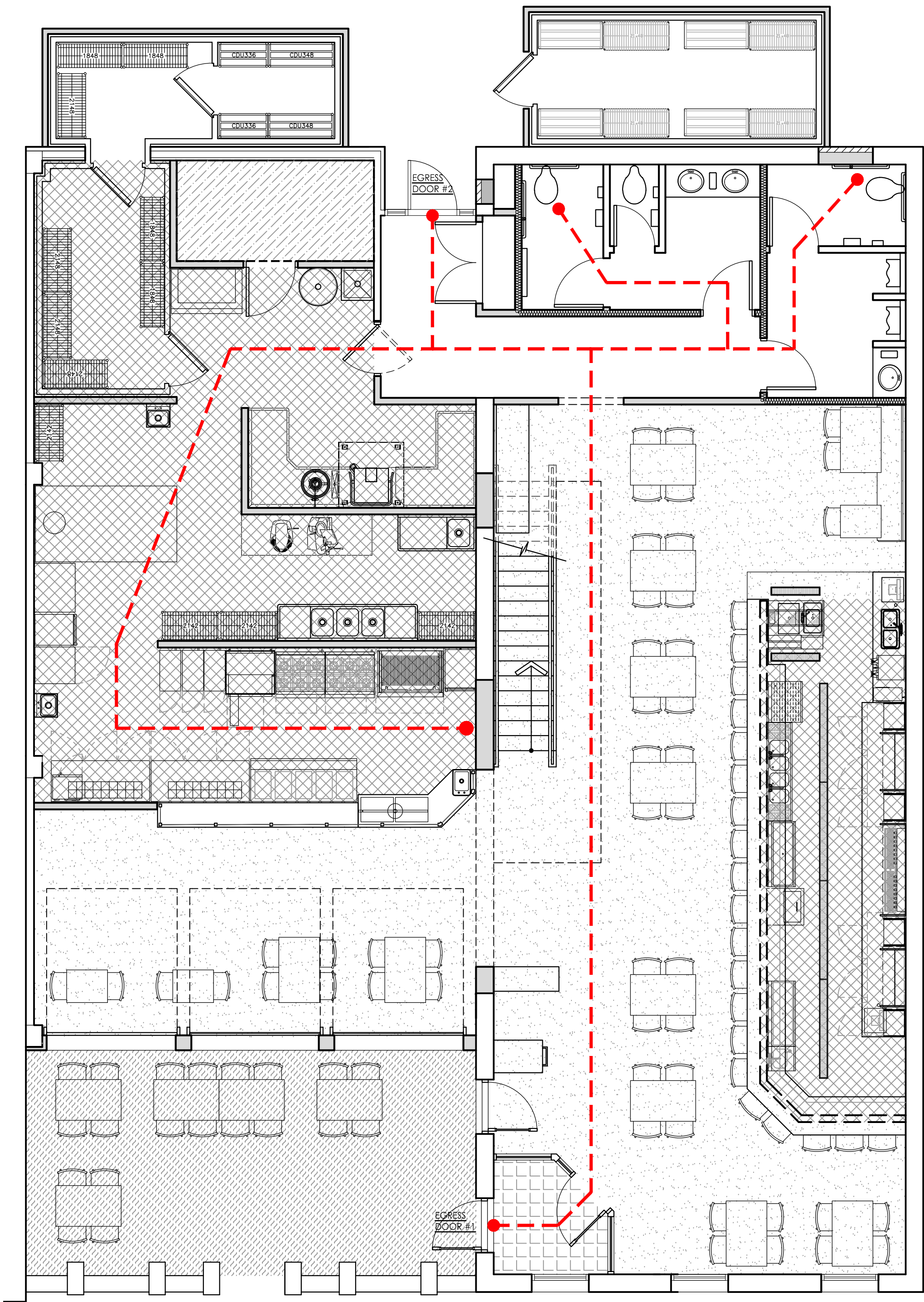
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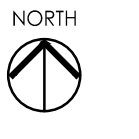
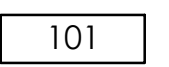

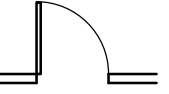
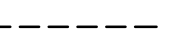









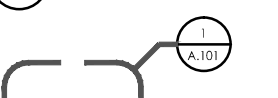











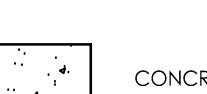







Sheet Number:

G.002

| OCCUPANCY CALCULATIONS (FIRST FLOOR) | | | |
|------------------------------------------------------------------------------------------------------------------------------------|------------------|-----------------|------------|
| * OCCUPANCY BASED ON TABLE 1004.1.1, MBC 2009 | | | |
| ASSEMBLY AREAS | TOTAL (S.F.) | CALC. OCCUPANTS | SEAT COUNT |
|  DINING AREAS 15 SQ. FT./ OCCUPANT | 1,387 SQ. FT. | 93 | 70 |
|  KITCHEN / STAFF AREAS 200 SQ. FT./ OCCUPANT | 1,147 SQ. FT. | 6 | - |
|  MECH. / STORAGE AREAS 300 SQ. FT./ OCCUPANT | N/A SQ. FT. | - | - |
|  OFFICE 100 SQ. FT./ OCCUPANT | 75 SQ. FT. | 1 | - |
|  WAITING AREAS 5 SQ. FT./ OCCUPANT | 44 SQ. FT. | 9 | - |
| TOTAL INTERIOR OCCUPANTS * USED FOR EXITING AND EGRESS CALCULATIONS | | 109 | 70 |
|  PATIO 15 SQ. FT./ OCCUPANT | 382 SQ. FT. | 26 | 20 |
| TOTAL OCCUPANTS * USED FOR EXISTING AND EGRESS CALCULATIONS | | 135 | 90 |
| OCCUPANT LOAD * USED FOR RESTROOM CALCULATIONS | | 135 | |

| PLUMBING FIXTURE CALCULATIONS | | | | | |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----|-------|------------------|-----|-------|
| * FIXTURE COUNT BASED ON TABLE 403.1, MICHIGAN PLUMBING CODE 2009 | | | | | |
| MAXIMUM OCCUPANTS (GREATEST OF OCCUP. CALC. OR SEAT COUNT NUMBERS) = 135 50% MALE & 50% FEMALE = 135 / 2 = 68 EACH 68 / 40 = 1.7 = 2 WC PER RESTROOM (TABLE 403.1) 68 / 200 = 0.34 = 1 LAV. PER RESTROOM (TABLE 403.1) | | | | | |
| REQUIRED: | | | PROVIDED: | | |
| | MEN | WOMEN | | MEN | WOMEN |
| W.C. (1:40) | 2 | 2 | W.C. (1:40) | 1* | 3 |
| URINAL* | - | - | URINAL* | 2* | - |
| LAVATORY (1:200) | 1 | 1 | LAVATORY (1:200) | 1 | 2 |
| * URINAL SUBSTITUTION PER 419.2 - UP TO 2/3 MAXIMUM | | | | | |



| ARCHITECTURAL ABBREVIATION LIST | | | | | | ARCHITECTURAL SYMBOLS | | | | | | | | | | | | | | | |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------|
| ABBREVIATION | DESCRIPTION | ABBREVIATION | DESCRIPTION | ABBREVIATION | DESCRIPTION | ABBREVIATION | DESCRIPTION | SYMBOL | DESCRIPTION | SYMBOL | DESCRIPTION | | | | | | | | | | |
| A/C & VENT A/E AB ACC ACI ACOUS INSUL ACOUS PNL ACS DR ACS PNL ACST ACST SLNT ADA ADDL ADDM ADDM ADJ ADJ ADJS AFF AGGR AHU ALT ALUM ANOD ANSI APC APPROX ARCH ASPH ASTM ATC AUTO AVG | AIR CONDITIONING & VENTILATING ARCHITECT-ENGINEER ANCHOR BOLT ACCESSIBLE AMERICAN CONCRETE INSTITUTE ACOUSTICAL INSULATION ACOUSTICAL PANEL ACCESS DOOR ACCESS PANEL ACOUSTIC ACOUSTIC SEALANT AMERICANS W/ DISABILITIES ACT ADDITIONAL ADDENDUM ADDITION ADJACENT ADJUSTABLE ABOVE FINISHED FLOOR AGGREGATE AIR HANDLING UNIT ALTERNATE ALUMINUM ANODIZED AMERICAN NATIONAL STANDARDS INSTITUTE ACOUSTICAL PANEL CEILING APPROXIMATE ARCHITECTURAL ASPHALT AMERICAN SOCIETY FOR TESTING MATERIALS ACOUSTICAL TILE CEILING AUTOMATIC AVERAGE | E EA EFS EJ ELEC EO ELEV EMBED ENCL ENTR EQ EQUIP ETR EW EWC EWH EWS EYC EXH EXST EXST GR EXP EXPS EXT EXTNG EXTR | EAST EACH EXTERIOR INSULATION & FINISH SYSTEM EXPANSION JOINT ELEVATION ELECTRICAL, ELECTRONIC ELECTRICAL OUTLET ELEVATOR EMBEDMENT ENCLOSURE, ENCLOSED ENTRANCE EQUAL EQUIPMENT EXISTING TO REMAIN EACH WAY ELECTRIC WATER COOLER ELECTRIC WATER HEATER EYE WASH STATION EXCAVATE, EXCAVATION EXHAUST EXISTING EXISTING GRADE EXPANSION EXPOSED EXTERIOR, EXTERNAL EXTINGUISHER EXTRUDED | MACH MAR MAS MATL MAX MBC MECH MEMB MEZZ MFG MFR MIN MISC MO MR MT MTC MTL MULL MWP | MACHINE MARBLE MASONRY MATERIAL MAXIMUM MICHIGAN BUILDING CODE MECHANICAL MEMBRANE MEZZANINE MANUFACTURING MANUFACTURER MINIMUM MISCELLANEOUS MASONRY OPENING MOISTURE RESISTANT MARBLE THRESHOLD METAL TOILET COMPARTMENTS METALLIC, METAL MULLION METAL WALL PANEL | S SAF SB SCHD SDG SECT SH SHI SIM SLDG SLDG WDW SLNT SLV SM SP SPEC SPKR SQ SSK SST STA STAG STC STD STIF STL STOR STRUCT STRUCT STL SUSP SV SW SWD-FR SYM | S-SHAPE STEEL MEMBER SPRAY APPLIED FIREPROOFING SOIL BORING SCHEDULE SIDING SECTION SHOWER SHEET SIMILAR SLIDING SLIDING WINDOW SLANT SHORT VERTICAL SHEET METAL SHAFT PARTITION SPECIFICATION SPRINKLER SQUARE SERVICE SINK STAINLESS STEEL STATION STAGGERED SOUND TRANSMISSION CLASS STANDARD STIFFENER STEEL STORAGE STRUCTURAL STRUCTURAL STEEL SUSPENDED, SUSPENSION SHEET VINYL SWITCH SHEATHING WOOD-FIRE RETARDANT SYMMETRICAL |  PROJECT NORTH - TRUE NORTH IS INDICATED ONLY ON SITE PLAN |  Room name ROOM NUMBER |  DOOR NUMBER |  DOOR - PART OF PROJECT |  EXISTING WALL TO BE REMOVED |  PARTITION TYPE TAG |  FINISH INDICATOR TAG |  KEYED NOTE TAG |  BULLETIN TAG |  ADDENDUM TAG |  WINDOW TAG |  CENTERLINE | | |
| B PL B/B BC BD BEV BF BL BLDG BLDG DAT BLKG BLW BM BOS BOT BR BRKT BRZ BSMT BTWN BULLN BUR | BASE PLATE BACK TO BACK BOTTOM CHORD BOARD BEVELED BARRIER FREE BUILDING LINE BUILDING BUILDING DATUM BLOCKING BELOW BEAM BOTTOM OF STEEL BOTTOM BEDROOM BRACKET BRONZE BASEMENT BETWEEN BULLETIN BUILT-UP ROOFING | FD FE FEC FHC FHR FN FIP FRT FJ FLASH FLG FLK FLND FOC FR FRP FRPP FRPPG FRW FT FTG TURN FIT | FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FIRE HOSE CABINET FIRE HOSE RACK / REEL FINISH, FINISHED FOAMED-IN-PLACE FIXTURE FALSE JOINT FLASHING FLANGE FLOOR FOUNDATION FACE OF COLUMN FIRE RATED FIRE RETARDANT PLYWOOD FIBERGLASS REINFORCED PLASTIC PANEL FIREPROOFING FIRE RETARDANT WOOD FOOT, FEET POINT OF INTERSECTION FOOTING FURNITURE FUTURE | OC OD OF/CI OF/OI OFF OH DR OPH OPNG OPP ORIG OSHA | ON CENTER OUTSIDE DIAMETER, OUTSIDE DIMENSION OWNER FURNISHED / CONTRACTOR INSTALLED OWNER FURNISHED / OWNER INSTALLED OFFICE OVERHEAD DOOR OPPOSITE HAND OPENING OPPOSITE ORIGINAL OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION | T T & G T & R TEL TEMP TERRAZZO THD THK THRESH TOC TOIL TOIL RM TOR TOS TOW TRAN TV TYP | TREAD TONGUE & GROOVE TREAD & RISER TELEPHONE TEMPERATURE TERRAZZO THREAD THICKNESS, THICK THRESHOLD TOP OF CONCRETE (ELEVATION) TOILET TOILET ROOM TOP OF RAIL (ELEVATION) TOP OF STEEL (ELEVATION) TOP OF WALL (ELEVATION) TRANSOM TELEVISION TYPICAL |  BUILDING SECTION CUT |  WALL SECTION / DETAIL CUT: - I.E. DETAIL 1 ON SHEET A.101 - VIEW IS IN DIRECTION OF TAIL |  DETAIL OR PLAN ENLARGEMENT: - I.E. DETAIL 1 ON SHEET A.101 |  COMBINED ROOM ELEVATION SYMBOL |  ROOM ELEVATION SYMBOL |  REVISION CLOUD | | | | | | | | |
| C C TO C CAB CANTILE CB CEM CER CF/CI CF/OI CFMF CHKD CI CIR CJ CL CLG CLN CLO CLR CMU CO CO2 COL COMPO CONC CONF CONN CONSTR CONSTR JT CONT CONTR COORD CORR CPS CPT CPW CRCMF CRIT CRS CT CTB CTR CTRD CTU CU CUH CW | CHANNEL CENTER TO CENTER COMPRESSED AIR CABINET CANTILEVER CATHETERIZE, CATHETER, CATHETERIZATION CATCH BASIN CEMENT CERAMIC CONTRACTOR FURNISHED / CONTRACTOR INSTALLED CONTRACTOR FURNISHED / OWNER INSTALLED COLD-FORMED METAL FRAMING CHECKERED CAST IRON CIRCLE, CIRCULAR, CIRCULATION CONTROL JOINT CENTERLINE CEILING CLOSET CLEAR CONCRETE MASONRY UNIT CO CARBON DIOXIDE COLUMN COMPOSITION CONCRETE CONFERENCE CONNECTION CONSTRUCTION CONSTRUCTION JOINT CONTINUATION, CONTINUE, CONTINUOUS CONTRACTOR COORDINATE CORRIDOR CARPET (SHEET) CARPET, CARPET TILE CARPET (WALL BASE) CIRCUMFERENCE CRITICAL COURSE, COURSES CERAMIC TILE CERAMIC TILE BASE CENTER, CENTRAL CENTERED CONTROL CUBIC CABINET UNIT HEATER COLD WATER | GA GALV GCW GDR GEN GFCI GFRP GI GL GR GR BM GRAD GRL GRIG GYP | GAUGE GALVANIZED GLAZED CURTAIN WALL GUARDRAIL GENERAL GROUND FAULT CIRCUIT INTERRUPTER GLASS-FIBER REINFORCED PLASTIC GALVANIZED IRON GLASS, GLAZING GRADE GRADE BEAM GRADIENT GRILLE GRATING GYPSUM | PB PC PEND PERF PERM PI PL PLAM PLAS PLBG PLT PLTC PLYWD PNL PORC PORT POS PP PR PREFAB PREP PROP PROPT PRTN PSF PSI PT PVC PVG | PUSHBUTTON PIECE, PIECES PENDENT PERFORATED PERMANENT PERM POINT OF INTERSECTION PROPERTY LINE PLASTIC LAMINATE PLAS PLASTER PLUMBING PLATE, PLATED PLASTIC LAMINATE TOILET COMPARTMENTS PLYWOOD PLYWOOD PANEL GENERAL PORCELAIN PORTABLE POSITION PANEL POINT PAIR PREFABRICATED PREPARATION PROPERTY PARTITION POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PAINT POLYVINYL CHLORIDE PAVING | W_X- W W/ W/O W/W WC WD WF WG WH WI WD WP WPG WR WS WT WT WHPRF WWR | WIDE FLANGE SHAPES WIDE, WIDTH WITH WITHOUT WALL TO WALL WATER CLOSET WOOD WASH FOUNTAIN WALL GUARD WALL HYDRANT WROUGHT IRON WINDOW OPENING WORK POINT WATERPROOFING WATER RESISTANT WATERSTOP WEIGHT W-SHAPE MADE FROM W-SHAPE STEEL MEMBER WAITING WEATHERPROOF WELDED WIRE REINFORCEMENT |  DETAIL NUMBER |  DETAIL TITLE - - WHEN PRESENT, TITLE IDENTIFIES CHARACTERISTICS OF THE DETAIL - TILES INDICATED ARE FOR CONVENIENCE ONLY, AND DO NOT NECESSARILY IDENTIFY ALL LOCATIONS WHERE THE DETAIL OCCURS |  DETAIL REFERENCE - - WHEN PRESENT, REFERENCE INDICATION IDENTIFIES SHEETS WHERE THE DETAIL OCCURS - REFERENCES INDICATED ARE FOR CONVENIENCE ONLY, AND DO NOT NECESSARILY INCLUDE ALL LOCATIONS WHERE THE DETAIL OCCURS |  Typical Expansion Assembly 1 1/2" = 1'-0" A.204 | | | | | | | | | | |
| DA DB DBL ACT DR DEG DEMO DEFT DET DF DIA DIAG DIFF DMA DIST DL DMFF DN DR DS DT DW DWG DWL | DATA OUTLET DECIBEL DOUBLE ACTING DOOR DEGREE DEMOLISH, DEMOLITION DEPARTMENT DETAIL DRINKING FOUNTAIN DIAMETER DIAGONAL DIFFUSER DIMENSION DISTANCE DEAD LOAD DAMP-PROOFING DOWN DOOR OPENING DOOR DOWNSPOUT DRAIN TILE DISTILLED WATER DRAWING DOWEL | L LAM LAV LBS LG LH LHR LUN LUR LLH LLV LPT LT LT WT LTG LVR | ANGLE LAMINATED LAVATORY POUNDS LONG LEFT HAND LEFT HAND REVERSE LINEAR LOCKER LONG LEG HORIZONTAL LONG LEG VERTICAL LOW POINT LIGHT LIGHTWEIGHT LIGHTING LOUVER | IBC ID IMWP IN INCL INFO INSUL INV INV EL | INTERNATIONAL BUILDING CODE INSIDE DIAMETER, INSIDE DIMENSION INSULATED METAL WALL PANEL INCH, INCHES INCLUDED, INCLUDING, INCLUSIVE INFORMATION INSULATION, INSULATED INVERT INVERT ELEVATION | JC JT JT JB KIT KP KS | JANITOR'S CLOSET JOINT JUNCTION BOX KITCHEN KICKPLATE KEY SWITCH | YD | YARD |  BRICK |  ALL METAL IN ELEVATION |  BLOCK (CMU) |  STEEL 1. SMALL SCALE 2. LARGE SCALE |  CONCRETE |  ALUMINUM 1. LARGE SCALE |  PRECAST, PLASTER OR SAND |  WOOD BLOCKING 1. CONTINUOUS 2. DISCONTINUOUS |  EARTH OR FILL |  FINISHED WOOD |  GRAVEL 1. SMALL SCALE 2. LARGE SCALE |  INSULATION 1. RIGID 2. LOOSE OR BATT 3. FOAMED-IN-PLACE |

Client:

Lockharts BBQ

37 E. Flint St.

Lake Orion, MI

48362

Project:

Renovation

Issued:

8-15-2014 Bank Review

Seal:

Note:

Do not scale drawings. Use
calculated dimensions only.
Verify existing conditions in field.

North Arrow:

Sheet Title:

Symbols &
Abbreviations

Scale:

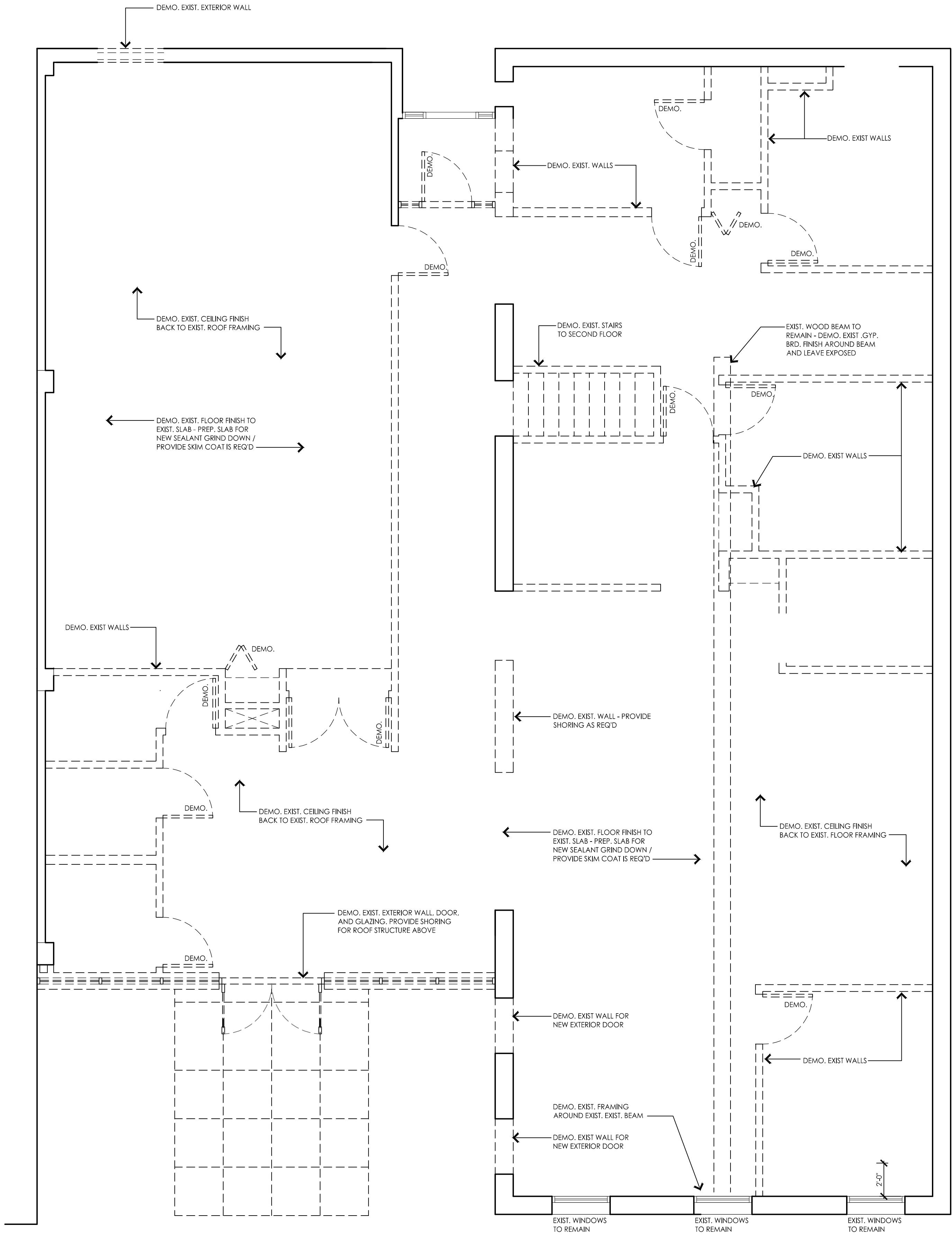
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Project Number:

14-051

Sheet Number:

G.003



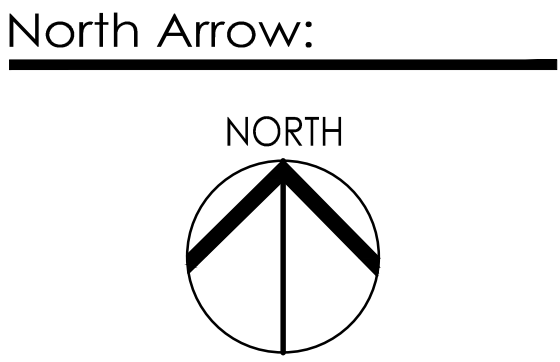
Client:
Lockharts BBQ
37 E. Flint St.
Lake Orion, MI
48362

Project:
Renovation

Issued:
8-15-2014 Bank Review

Seal: _____

Note:
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calculated dimensions only.
Verify existing conditions in field.

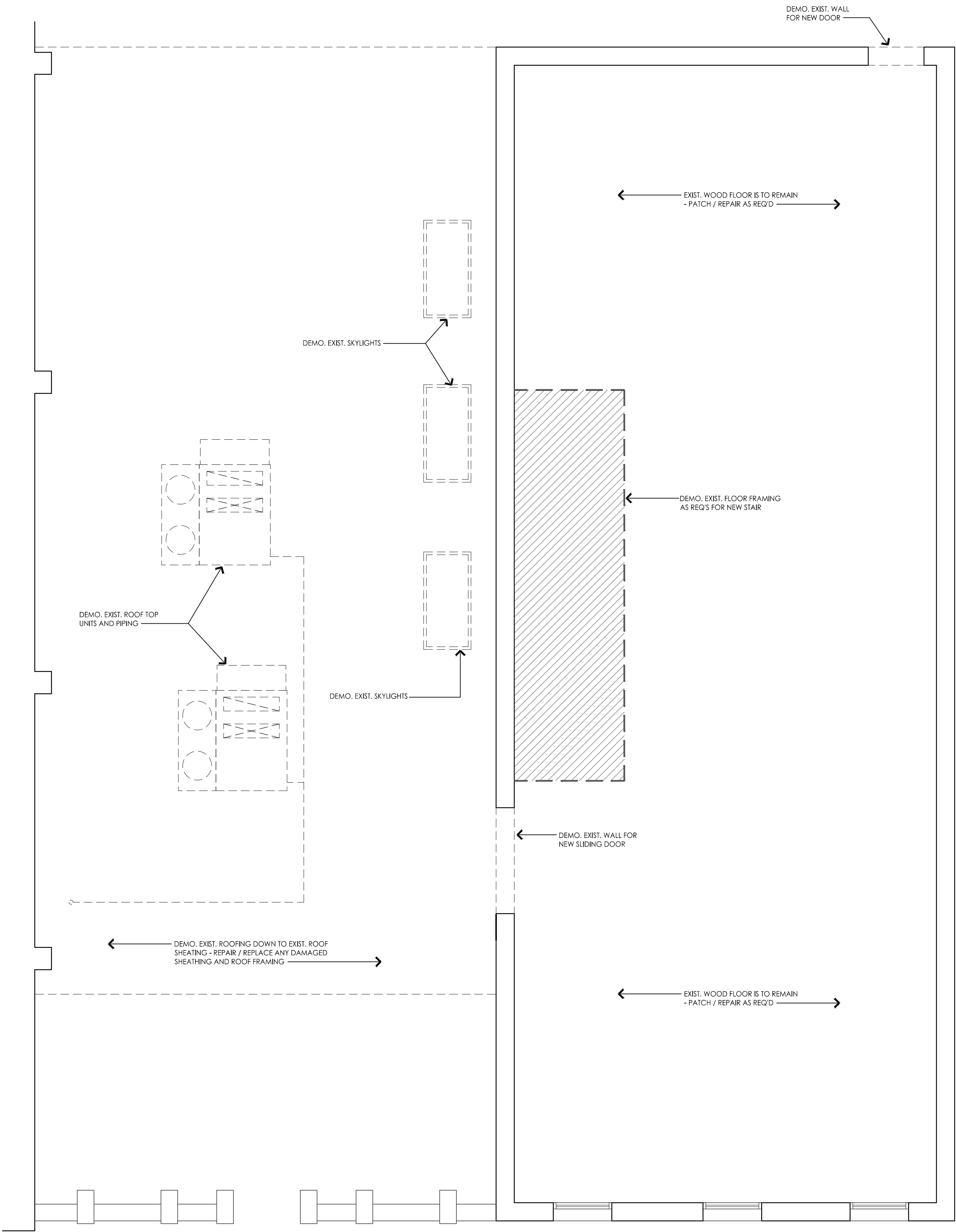


Sheet Title:
**First Floor
Demolition Plan**

Scale:
1/4" = 1'-0"

Project Number:
14-051

Sheet Number:
D.100



Second Floor Demolition Plan

Client: Lockharts BBQ 37 E. Flint St. Lake Orion, MI 48362 Project: Renovation

Issued: 8-15-2014 Bank Review

Seal:

Note: Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:



Sheet Title: Second Floor Demolition Plan

Scale: 1/4" = 1'-0"

Project Number: 14-051

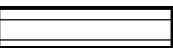
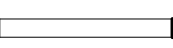




Sheet Number: D.101

General Floor Plan Notes:

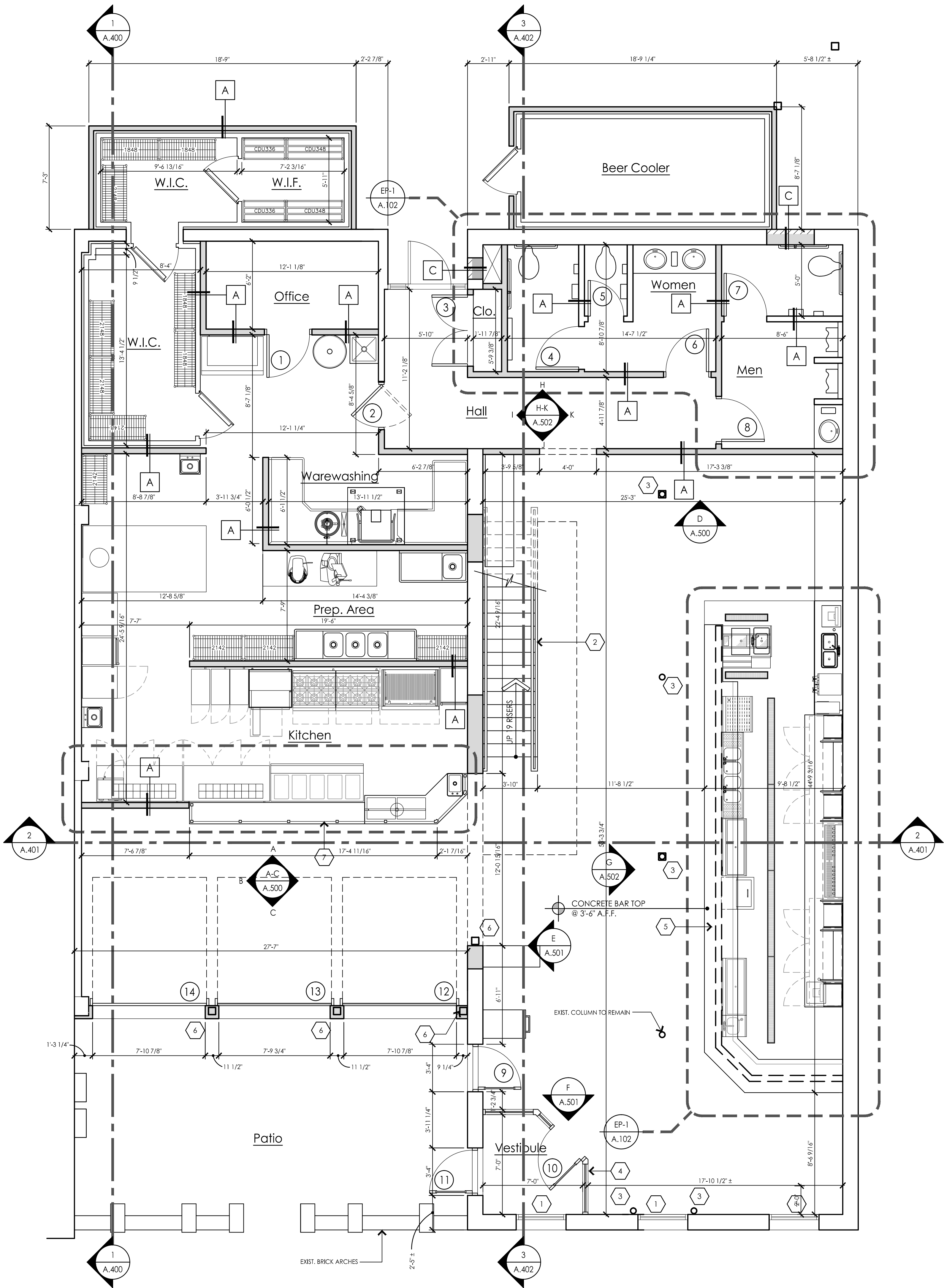
1. CONTRACTOR IS TO NOTIFY ARCHITECTS OR OWNER OF ANY UNFORSEEN CONDITIONS OR IF CONDITIONS DEVIATE FROM INTENT
2. IF THE CONTRACTOR PROCEEDS WITHOUT APPROVAL FROM THE OWNER, IT WILL BE AT THE CONTRACTOR'S EXPENSE
3. CONTRACTOR IS TO VERIFY DIMENSIONS IN FIELD & NOTIFY ARCHITECT OF ANY DISCREPANCIES
4. SEE PLUMBING PLAN ON SHEET ### FOR COORDINATION OF ALL BELOW SLAB PLUMBING LINES
5. ALL F.R.P. IS TO BE INSTALLED PER MANUFACTURER'S SPECS.
6. PATCH & REPAIR ALL HOLES
7. FURNITURE IS TO BE PROVIDED BY OWNER AND INSTALLED BY GC (TYPICAL THROUGHOUT)

Floor Plan Keyed Notes: X

1. EXISTING WINDOWS ARE TO REMAIN. INSPECT AND REPAIR / RE-CAULK IF REQUIRED.
2. NEW STEEL STAIRS TO SECOND FLOOR. PROVIDE GUARDRAIL AND HANDRAIL PER CODE (SEE DETAILS)
3. EXIST. COLUMN TO REMAIN
4. NEW STOREFRONT GLAZING ON HALF-WALL
5. NEW CONC. BAR TOP
6. NEW STEEL COLUMN (SEE STRUCTURAL PLAN)
7. NEW GLASS AND STEEL SNEEZE GUARD ON CONC. C.TOP

| Wall Legend | |
|-----------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|  | EXISTING EXTERIOR WALL; EXIST. EXTERIOR WALL TO REMAIN |
|  | EXISTING INTERIOR WALL; NEW WALL FINISH (SEE FINISH SCHEDULE) ON EXIST. WALL |
|  | INTERIOR WALL; WALL FINISH (SEE FINISH SCHEDULE) ON 5/8" GYP. BRD. EA. SIDE OF 3-5/8" 20 GA. STEEL STUDS AT 16" O.C. - FULL HGT. |
|  | INTERIOR WALL; WALL FINISH (SEE FINISH SCHEDULE) ON 5/8" GYP. BRD. EA. SIDE OF 3-5/8" 20 GA. STEEL STUDS AT 16" O.C. - FULL HGT. (PROVIDE SOUND ATTENUATION INSULATION) |
|  | INTERIOR WALL; 3-5/8" 20 GA. METAL STUDS AT 16" O.C. ON EXIST. WALL W/ 5/8" GYP. BRD. |
|  | EXTERIOR WALL; BRICK FACADE (MATCH EXST.) ON 1" AIRSPACE ON AIR INFILTRATION BARRIER ON 20 GA. STEEL STUDS @ 16" O.C. ON 5/8" GYP. BRD. |

- NOTE:
1. PROVIDE SOUND ATT. BATT. INSULATION AT RESTROOM WALL
 2. PROVIDE NON-COM. BLOCKING AT ALL WALL MOUNTED ITEMS (V.I.F.)



First Floor Plan

Client:

Lockharts BBQ

37 E. Flint St.
Lake Orion, MI
48362

Project:

Renovation

Issued:

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Seal:

Note:

Do not scale drawings. Use
calculated dimensions only.
Verify existing conditions in field.

North Arrow:



Sheet Title:

First Floor Plan

Scale:

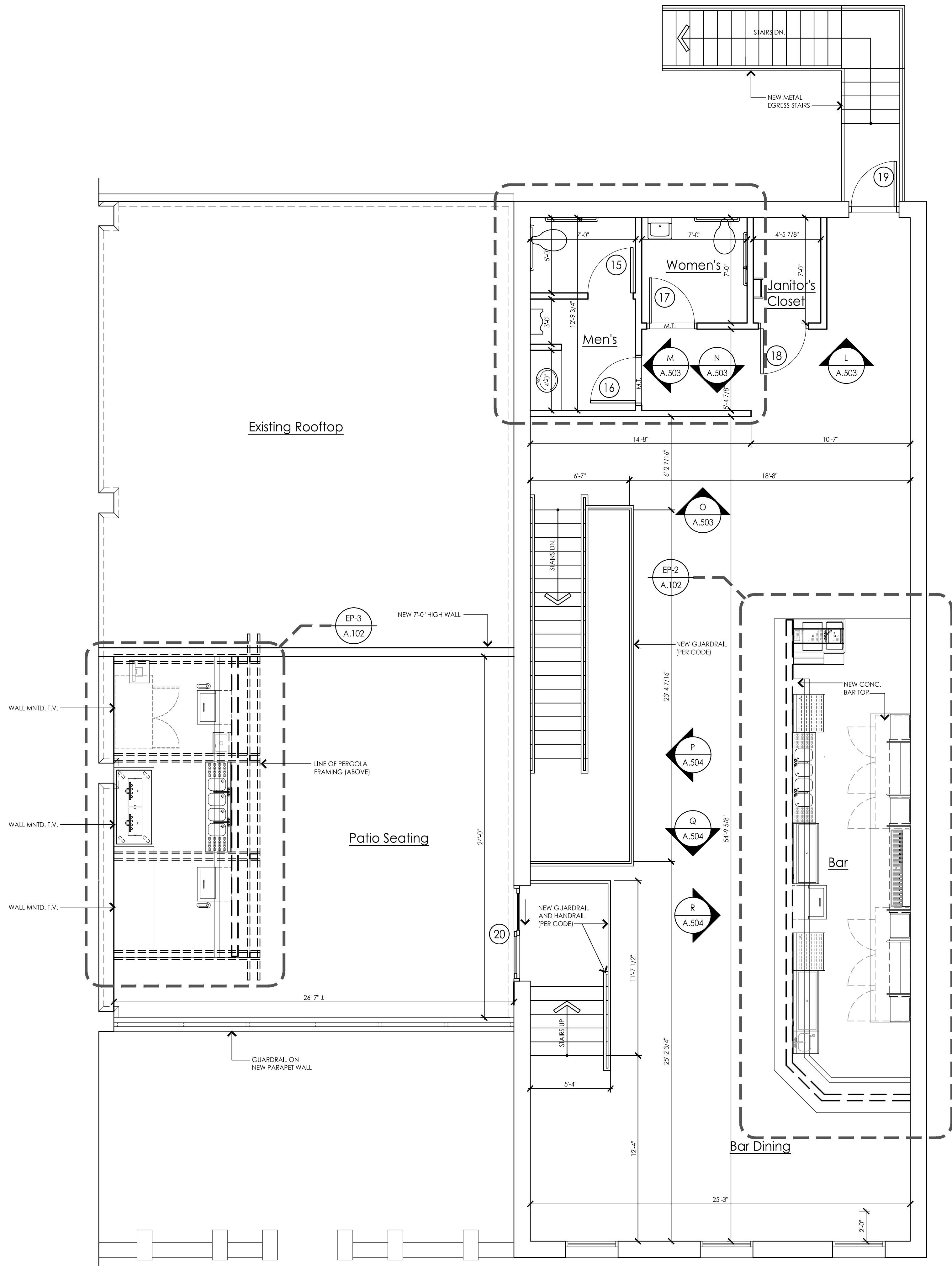
1/4" = 1'-0"

Project Number:

14-051

Sheet Number:

A.100



Second Floor Plan

Client: Lockharts BBQ
37 E. Flint St.
Lake Orion, MI 48362
Project: Renovation

Issued: 8-15-2014 Bank Review

Seal:

Note: Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:



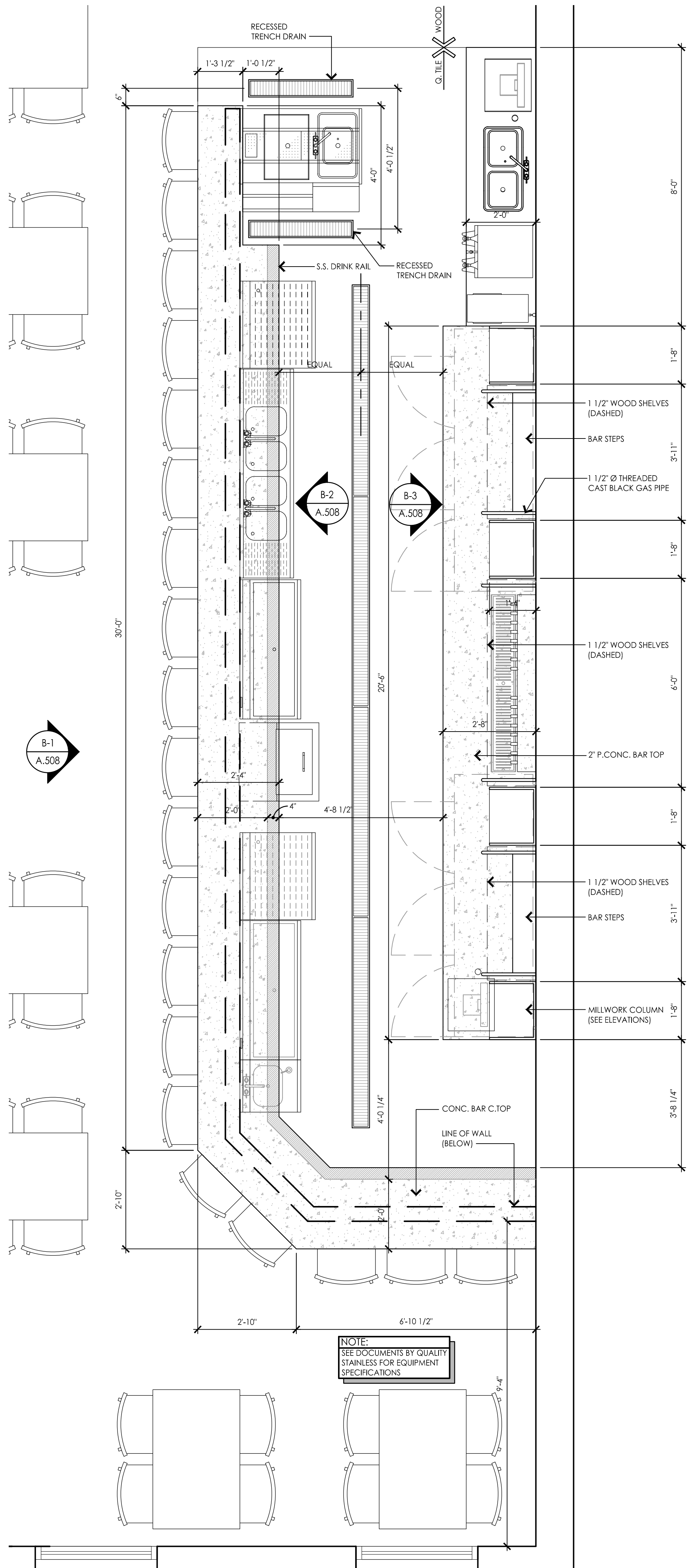
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Project Number: 14-051

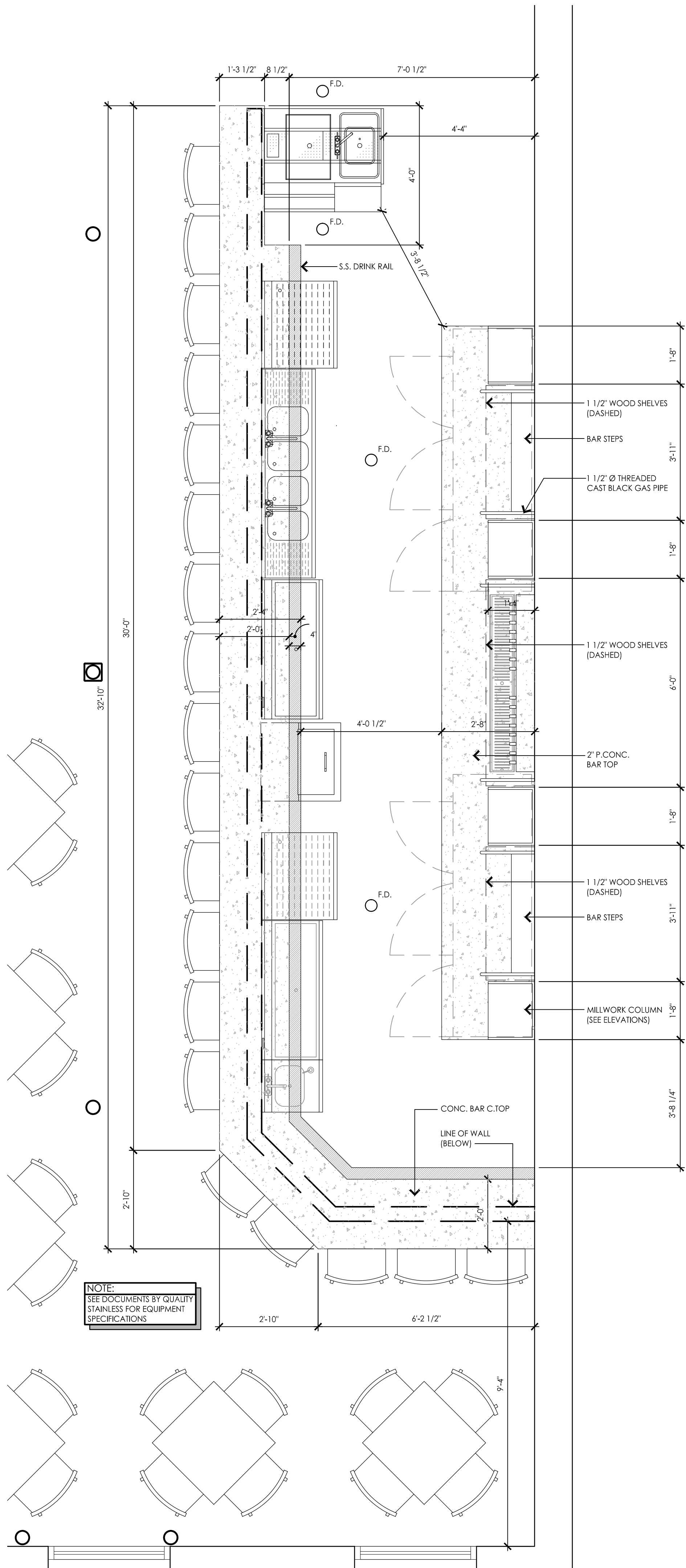
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A.101



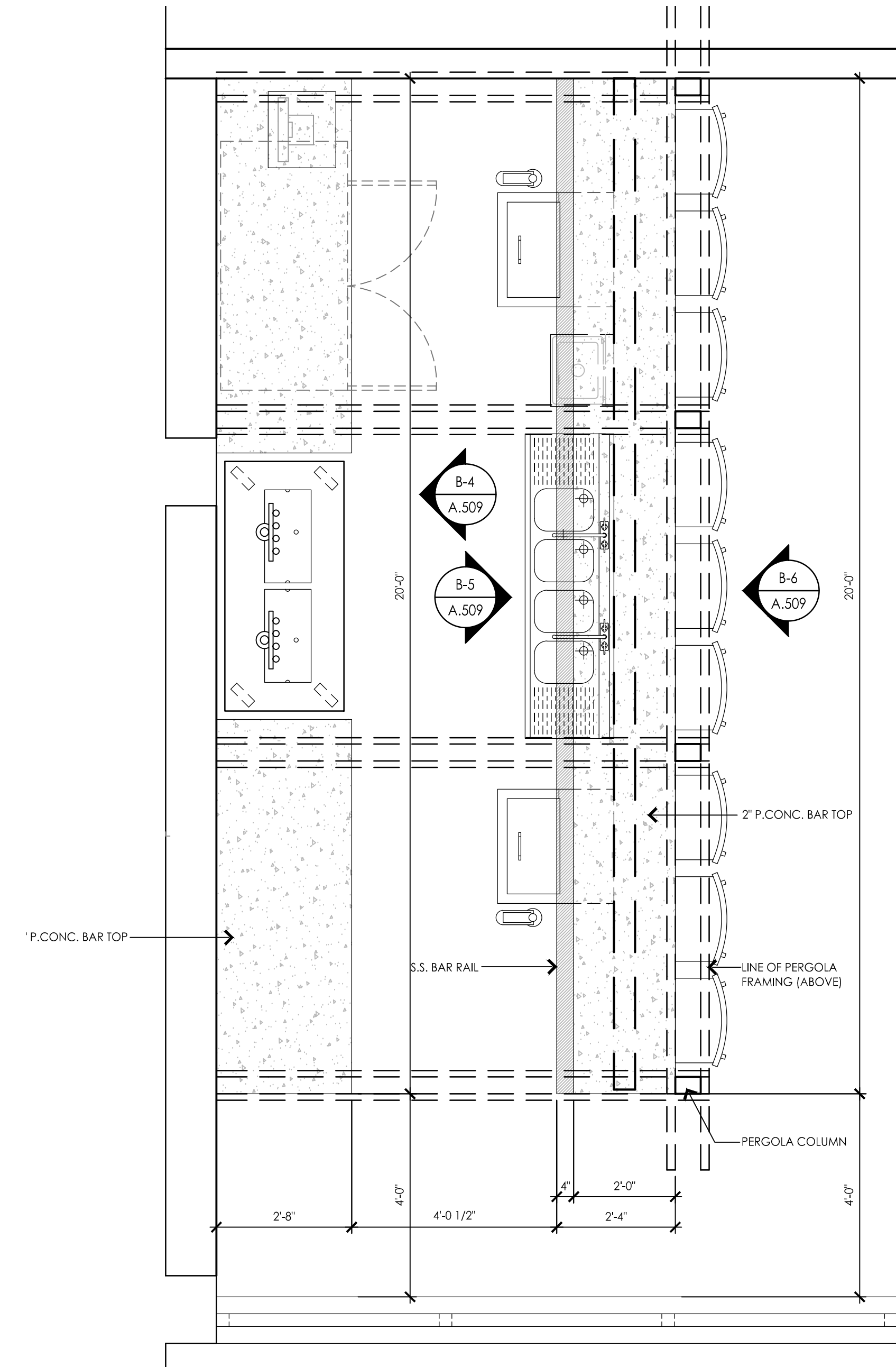
EP-1
A.100

Enlarged Plan @ First Floor Bar



EP-2
A.101

Enlarged Plan @ Second Floor Bar



EP-3
A.101

Enlarged Plan @ Second Floor Patio Bar

Client:
Lockharts BBQ
37 E. Flint St.
Lake Orion, MI
48362

Project:
Renovation

Issued:
8-15-2014 Bank Review

Seal:

Note:
Do not scale drawings. Use
calculated dimensions only.
Verify existing conditions in field.

North Arrow:

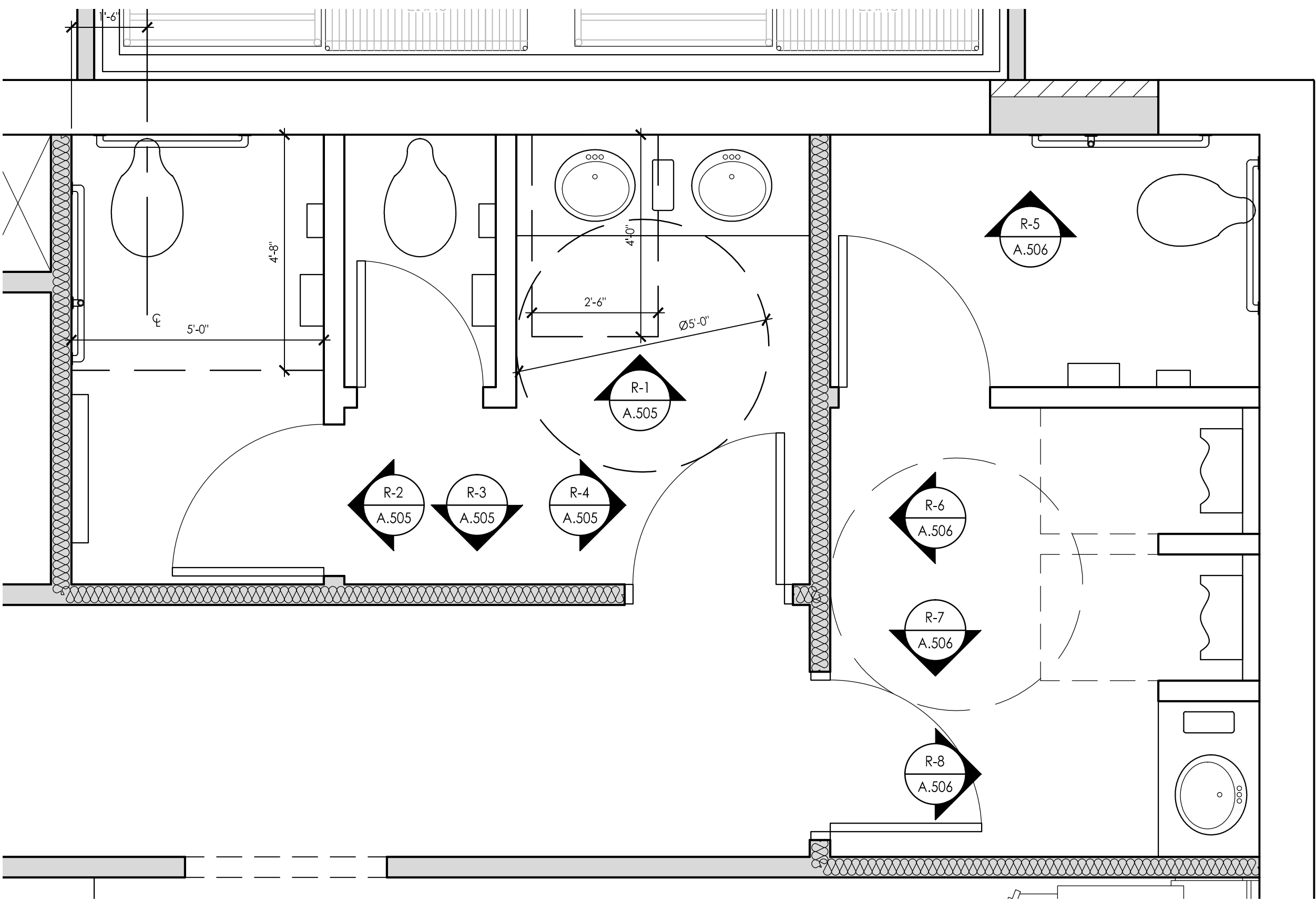
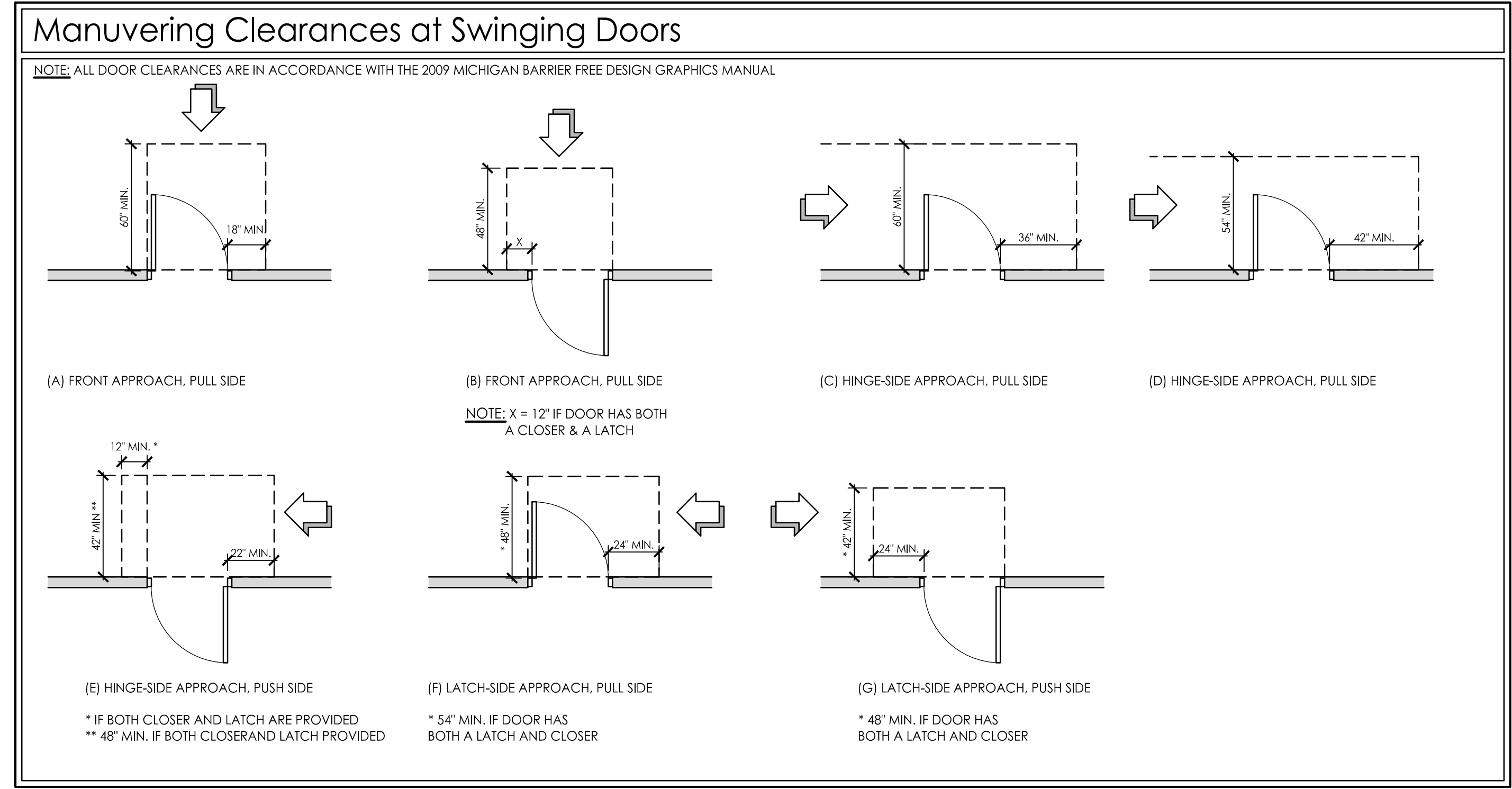
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Sheet Title:
**Enlarged Floor
Plans**

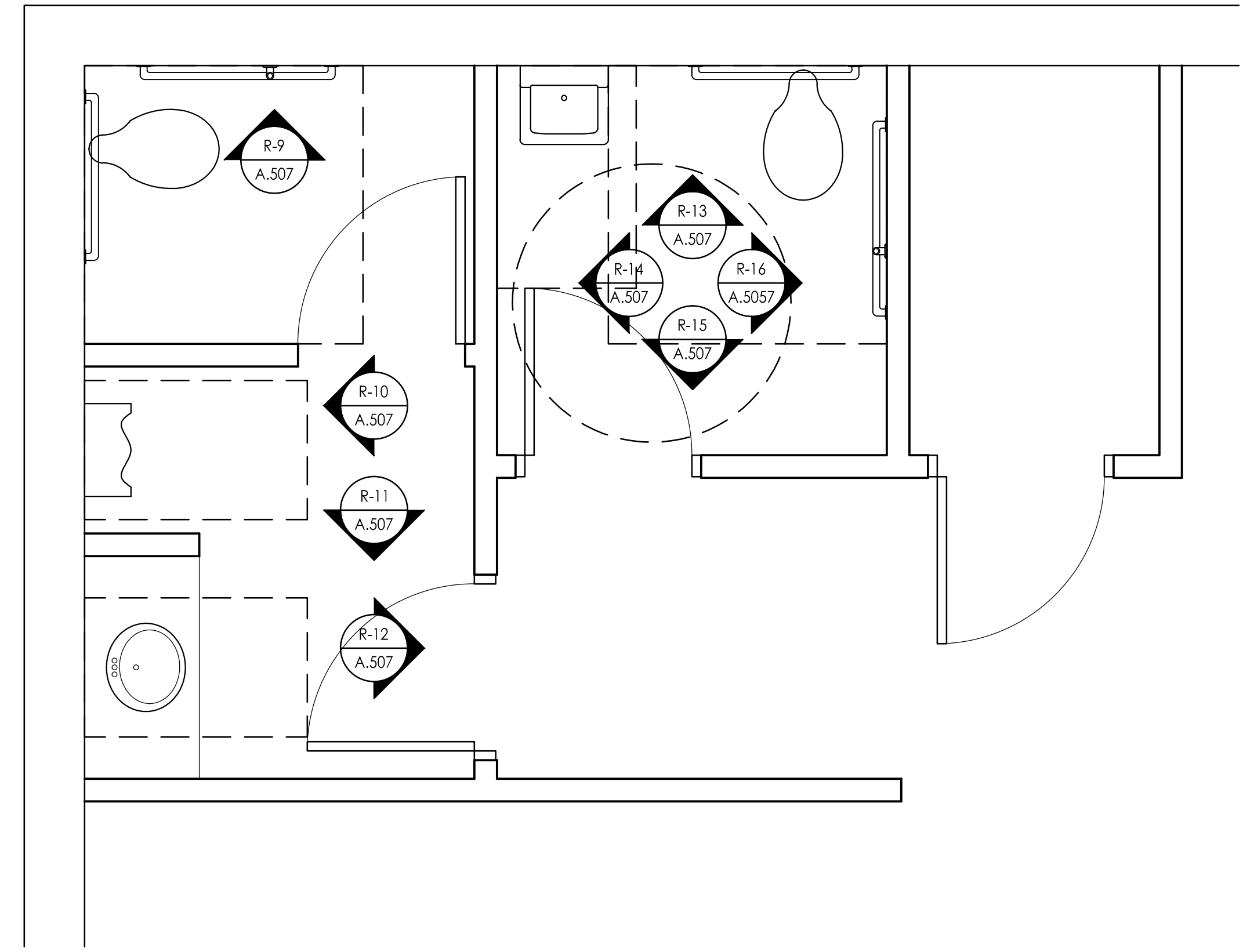
Scale:
1/2" = 1'-0"

Project Number:
14-051

Sheet Number:



EP-4
A.100
Enlarged Plan @ First Floor Restrooms



EP-5
A.101
Enlarged Plan @ First Floor Restrooms

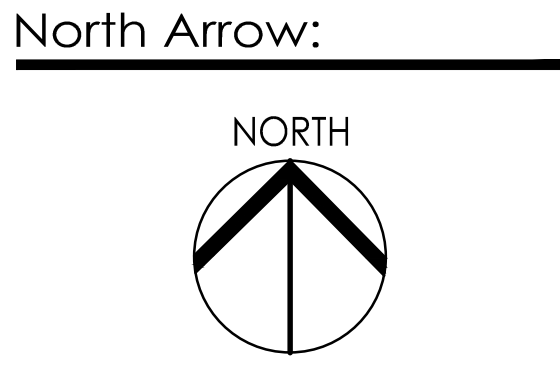
Client:
Lockharts BBQ
37 E. Flint St.
Lake Orion, MI
48362

Project:
Renovation

Issued:
8-15-2014 Bank Review

Seal:

Note:
Do not scale drawings. Use
calculated dimensions only.
Verify existing conditions in field.



Sheet Title:
**Enlarged Floor
Plans**

Scale:
1/2" = 1'-0"

Project Number:
14-051

Sheet Number:

Client:
Lockharts BBQ
37 E. Flint St.
Lake Orion, MI
48362

Project:
Renovation

Issued:
8-15-2014 Bank Review

Seal: _____

Note:
Do not scale drawings. Use
calculated dimensions only.
Verify existing conditions in field.

North Arrow: _____



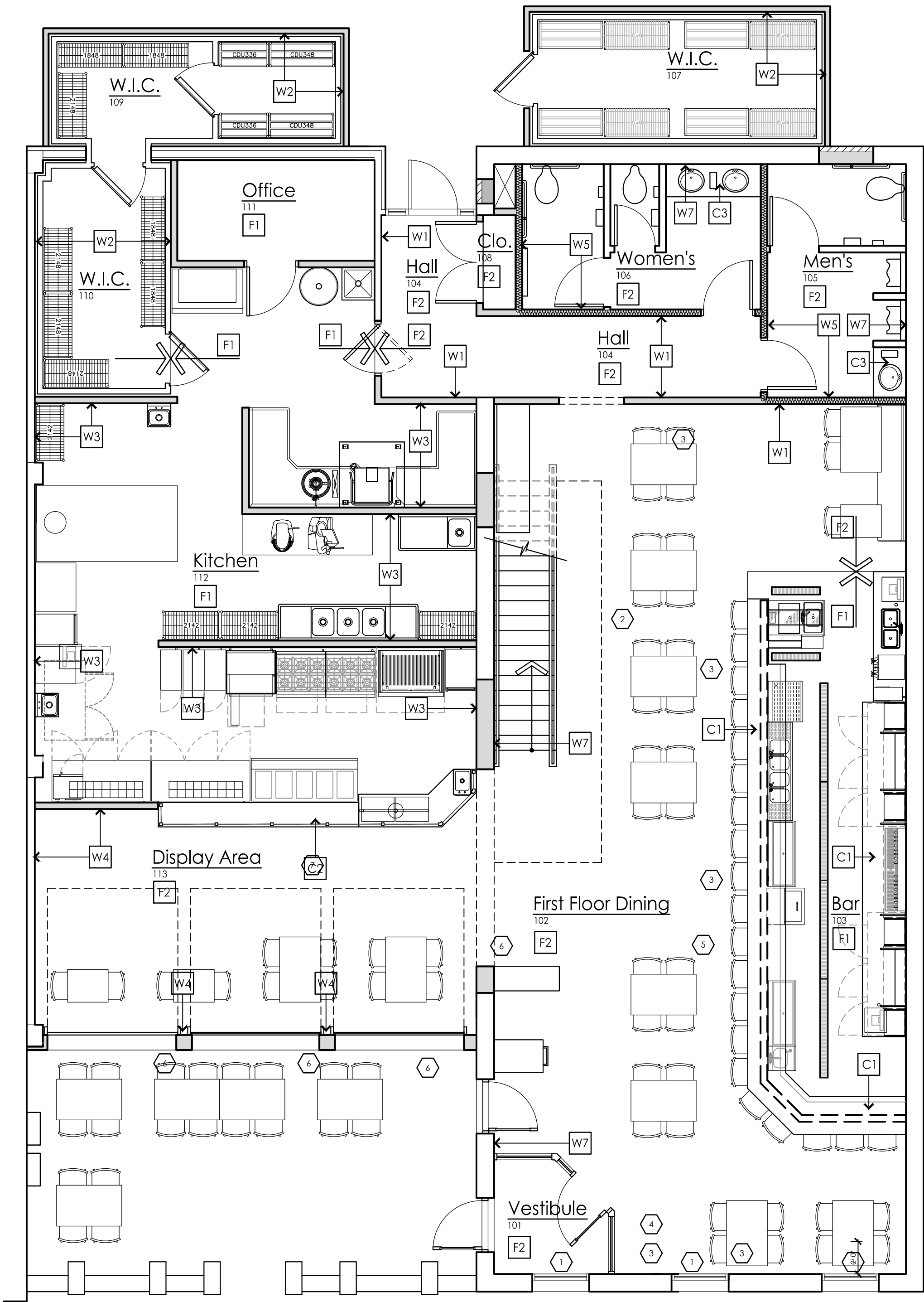
Sheet Title:
Finish Floor Plans

Scale:
1/4" = 1'-0"

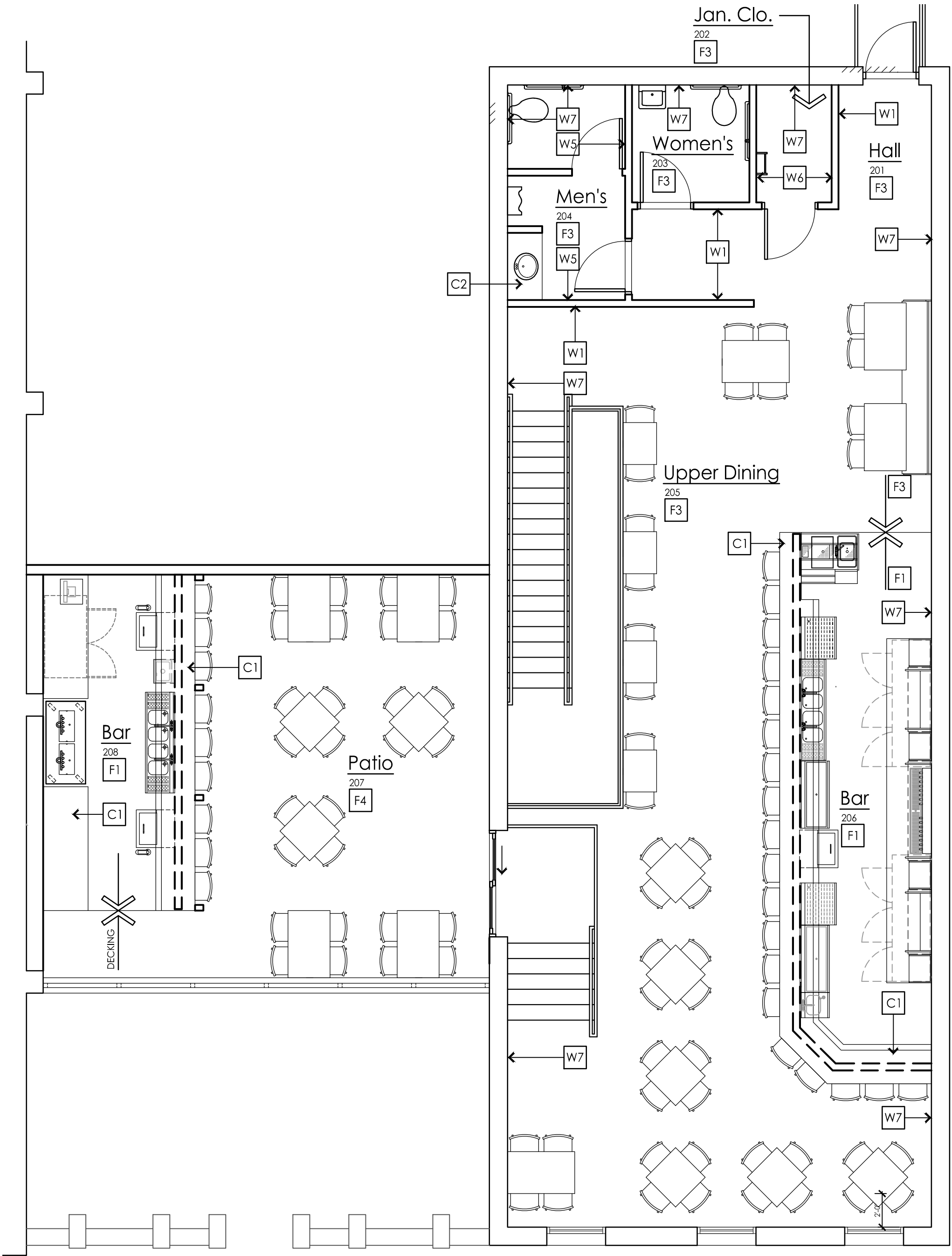
Project Number:
14-051

Sheet Number:

A.103



First Floor Finish Plan



Second Floor Finish Plan

| Room Finish Schedule | | | | | | | | |
|----------------------|--------------------|--------------|----------------|-----------------|----------------|----------------|----------------|----------------------------|
| ROOM NO. | ROOM NAME | FLOOR | BASE | WALLS | | | | CEILING / HEIGHT |
| | | | | NORTH | EAST | SOUTH | WEST | |
| 101 | VESTIBULE | CONC. (F2) | CONC. (F2) | | | | | GYP. BRD. / 8'-0" |
| 102 | FIRST FLOOR DINING | CONC. (F2) | SEE INT. ELEV. | W1 | W7 | W7 | W7 | EXPOSED CEILING / 10'-0" ± |
| 103 | BAR | EPOXY (F1) | SEE INT. ELEV. | SEE INT. ELEV. | SEE INT. ELEV. | SEE INT. ELEV. | SEE INT. ELEV. | EXPOSED CEILING / 10'-0" ± |
| 104 | HALL | CONC. (F2) | B1 | W1 | W1 | W1 | W1 | GYP. BRD. / 9'-0" |
| 105 | MEN'S | CONC. (F2) | SEE INT. ELEV. | W7 | W7 | W5 | W5 | GYP. BRD. / 9'-0" |
| 106 | WOMEN'S | CONC. (F2) | SEE INT. ELEV. | W7 | W5 | W5 | W5 | GYP. BRD. / 9'-0" |
| 107 | WALK-IN-COOLER | RUBBER (F5) | RUBBER (F5) | BY MANUFACTURER | | | | |
| 108 | CLOSET | CONC. (F2) | B1 | P-2 | P-2 | P-2 | P-2 | EXPOSED CEILING / 10'-0" ± |
| 109 | WALK-IN-COOLER | RUBBER (F5) | RUBBER (F5) | BY MANUFACTURER | | | | |
| 110 | WALK-IN-COOLER | RUBBER (F5) | RUBBER (F5) | BY MANUFACTURER | | | | |
| 111 | OFFICE | EPOXY (F1) | B1 | P-2 | P-2 | P-2 | P-2 | LAY-IN (VINYL) / 9'-0" |
| 112 | KITCHEN | EPOXY (F1) | | W3 | W3 | W3 | W3 | LAY-IN (VINYL) / 9'-0" |
| 113 | DISPLAY | CONC. (F2) | SEE INT. ELEV. | W4 | W7 | W4 | W4 | EXPOSED CEILING / 12'-2" ± |
| 201 | HALL | H.WOOD (F3) | SEE INT. ELEV. | W1 / W7 | W7 | W1 | W1 | EXPOSED CEILING / 15'-2" ± |
| 202 | JANITOR'S CLOSET | EPOXY (F1) | B1 | W6 | W6 | W6 | W6 | EXPOSED CEILING / 15'-2" ± |
| 203 | WOMEN'S | TILE (F6) | SEE INT. ELEV. | W7 | W5 | W5 | W5 | GYP. BRD. / 9'-0" |
| 204 | MEN'S | TILE (F6) | SEE INT. ELEV. | W7 | W5 | W5 | W7 | GYP. BRD. / 9'-0" |
| 205 | UPPER DINING | H.WOOD (F3) | SEE INT. ELEV. | W1 | W7 | W7 | W7 | EXPOSED CEILING / 15'-2" ± |
| 206 | BAR | EPOXY (F1) | SEE INT. ELEV. | SEE INT. ELEV. | SEE INT. ELEV. | SEE INT. ELEV. | SEE INT. ELEV. | EXPOSED CEILING / 15'-2" ± |
| 207 | PATIO | DECKING (F4) | SEE INT. ELEV. | SEE INT. ELEV. | SEE INT. ELEV. | SEE INT. ELEV. | SEE INT. ELEV. | N/A |
| 208 | BAR | EPOXY (F1) | SEE INT. ELEV. | SEE INT. ELEV. | SEE INT. ELEV. | SEE INT. ELEV. | SEE INT. ELEV. | WOOD TRELLIS / 10'-9" |

| Door Schedule | | | | | | | | |
|---------------|------------------------------|------|-------|----------|-----------------|----------|-----------|-------------|
| DOOR NO. | DOOR SIZE / LOCATION | DOOR | | | FRAME | | HDWR SET | NOTES |
| | | TYPE | MATL | FINISH | MATL | FINISH | | |
| 1 | 3'-0" X 8'-0" / VESTIBULE | B | ALUM. | PRE-FIN. | ALUM. | PRE-FIN. | BY MANUF. | A,B,C,D,E,F |
| 2 | 14'-8" x 7'-0" / BANQUETTE | A | WOOD | | BY MANUFACTURER | | | |
| 3 | 14'-8" x 7'-0" / BANQUETTE | A | WOOD | | BY MANUFACTURER | | | |
| 4 | 14'-8" x 7'-0" / BANQUETTE | A | ALUM. | | BY MANUFACTURER | | | |
| 5 | 3'-0" X 8'-0" / MENS | D | WOOD | STAIN | H.M. | PAINT | TBD | B,D,E |
| 6 | 3'-0" X 8'-0" / WOMENS | D | WOOD | STAIN | H.M. | PAINT | TBD | B,D,E |
| 7 | 3'-0" X 8'-0" / CORRIDOR | C | WOOD | STAIN | H.M. | PAINT | TBD | B,D |
| 8 | 3'-0" X 8'-0" / JANITORS | C | WOOD | STAIN | H.M. | PAINT | TBD | B,D |
| 9 | 3'-0" X 8'-0" / STORAGE | C | WOOD | STAIN | H.M. | PAINT | TBD | B,D |
| 10 | 3'-0" X 7'-0" / MENS | D | WOOD | STAIN | WOOD | STAIN | TBD | B,D,E |
| 11 | 3'-0" X 7'-0" / WOMENS | D | WOOD | STAIN | WOOD | STAIN | TBD | B,D,E |
| 12 | 2'-4" X 7'-0" / WOMENS | D | WOOD | STAIN | WOOD | STAIN | TBD | B,D,E |
| 13 | 3'-0" X 7'-0" / BANQUET | D | WOOD | STAIN | WOOD | STAIN | TBD | B,D,E |
| 14 | 3'-0" X 7'-0" / EXIST. VEST. | E | WOOD | STAIN | H.M. | PAINT | TBD | B,D |
| 15 | 3'-0" X 7'-0" / BANQUET | D | WOOD | STAIN | WOOD | STAIN | TBD | B,D,E |

- Door Notes:
- A. ALL DOOR HARDWARE FINISH AND CONSTRUCTION TO BE BY MANUF.
 - B. ALL HARDWARE FINISH TO MATCH EXIST.
 - C. MANUF. IS TO PROVIDE SHOP DRAWINGS TO ARCHITECT PRIOR TO FABRICATION
 - D. ALL DOORS & WINDOWS ARE MATCH EXIST.
 - E. DOOR IS TO BE ADA COMPLIANT. VERIFY WITH MANUF. AND ADJUST R.O. AS REQUIRED. SUBMIT SHOP DRAWINGS FOR ARCHITECT TO REVIEW
 - F. PROVIDE METAL/INSULATED DOOR @ EXTERIOR

| Finish Schedule | | | | |
|----------------------|----------------------------|------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------|-----------------------------------------------------------------------|
| SYMBOL | LOCATION | DESCRIPTION | MANUFACTURER | FINISH / COLOR |
| W (WALLS) | | | | |
| W-1 | SEE PLAN & INT. ELEVATIONS | GYP. BRD. (PAINT - P-2) W/ CEDAR WOOD PANELING (SEE INTERIOR ELEV. FOR DETAILS) | | WOOD: S1 / BASE: B1 GYP. BOARD: SEE INTERIOR ELEVATIONS |
| W-2 | BEHIND WALK-IN-COOLER | GYP. BRD. (PRIME ONLY) W/ 18" CEMENT BRD. BASE | | |
| W-3 | SEE PLAN & INT. ELEVATIONS | F.R.P. FULL HGT. (S.S. AS NOTED) - INSTALL PER MANUF. SPECS, INSTALL OVER 1/2" PLYWD. SHEATHING (CEMENT BRD. AS NOTED) | | S.S.: 20 GA. 304 SERIES, #4 (180 GRIT) FINISH Q. BASE: MATCH FLOOR |
| W-4 | SEE PLAN & INT. ELEVATIONS | CEDAR FULL HGT. WOOD PANELING | | WOOD: S1 BASE: B1 |
| W-5 | SEE PLAN & INT. ELEVATIONS | TILE WAINSCOT W/ GYP. BRD. & CEDAR WOOD TRIM | | WOOD: S1 / BASE: B2 TILE: T-2 |
| W-6 | SEE PLAN & INT. ELEVATIONS | GYP. BRD. (PAINT) OVER 5'-0" HIGH F.R.P. WAINSCOT | | PAINT: P-2 |
| W-7 | SEE PLAN & INT. ELEVATIONS | EXISTING BRICK FACADE TO REMAIN | | |
| F (FLOORS) | | | | |
| F-1 | SEE PLAN | EPOXY QUARTZ SEAMLESS FLOORING SYSTEM W/ ROLLED BASE | DUR-A-QUARTZ (OR EQUIV.) | QUARTZ BLEND TO BE SELECTED |
| F-2 | SEE PLAN | EXISTING CONCRETE FLOORING W/ SEALER | | NATURAL COLOR CLEAR COAT FINISH |
| F-3 | SEE PLAN | EXISTING WOOD FLOORING (RE-FINISH) | | EXIST. FLOORING TO BE RE-FINISHED |
| F-4 | PATIO SEATING | COMPOSITE DECKING | TREX DECKING (TRANSCEND) | VINTAGE LANTERN |
| F-5 | WALK-IN-COOLER | RUBBER FLOORING - SMOOTH SIDE UP - RUN 6" UP WALL W/ 2" CHANNEL TERMINATION | | PROTECT-ALL WET AREA SYSTEM / GRAY |
| F-6 | SEE PLAN | 13" x 20" PORCELAIN TILE | DALTILE - CONCRETE CONNECTION | STEEL STRUCTURE GROUT - MAPEI CHARCOAL 47 |
| S (COATING / STAINS) | | | | |
| S-1 | WOOD STAIN | POLYURETHANE VARNISH | SHERWIN WILLIAMS | WOOD CLASSICS WATERBORNE POLYURETHANE VARNISH |
| S-2 | CONCRETE SEALER | CLEAR CONCRETE PROTECTIVE SEALER | SEAL KRETE (OR EQUIV.) | CLEAR COAT SATIN FINISH |
| S-3 | WOOD STAIN | INTERIOR WATER BASED STAIN | SHERWIN WILLIAMS | MIXWAX - ONYX |
| S-4 | WOOD STAIN | INTERIOR WATER BASED STAIN | SHERWIN WILLIAMS | MIXWAX - T.B.D. |
| P (PAINTS) | | | | |
| P-1 | CEILING (THROUGHOUT) | PAINT GYP. BRD. AND EXPOSED CLG. (1) COAT PRIMER WITH (2) COATS PAINT | SHERWIN WILLIAMS BOND PLEX WATERBASED ACRYLIC COATING B71 T 204 | SW6992 INKWELL |
| P-2 | SEE INTERIOR ELEVATIONS | (1) COAT PRIMER W/ (2) COATS PAINT | SHERWIN WILLIAMS DURATION-HOME INTERIOR LATEX SATIN | SW7039 VIRTUAL TAUPE |
| C (COUNTERTOPS) | | | | |
| C-1 | BAR | CONCRETE | | NATURAL COLOR W/ SEALER |
| C-2 | RESTROOMS | CONCRETE | | STAINED BLACK |
| C-3 | SEE PLAN | STAINLESS STEEL | | |
| T (TILE) | | | | |
| T-1 | RESTROOMS | 13 X 20 PORCELAIN TILE | DALTILE - CONCRETE CONNECTION | STEEL STRUCTURE GROUT - MAPEI CHARCOAL 47 |
| T-2 | RESTROOMS | 6 1/2 X 6 1/2 PORCELAIN TILE | DALTILE - CONCRETE CONNECTION | STEEL STRUCTURE GROUT - MAPEI CHARCOAL 47 |
| B (BASE) | | | | |
| B-1 | SEE INTERIOR ELEVATIONS | 4" VINYL BASE | ROPPE | PINNACLE: 100 BLACK |
| B-2 | SEE INTERIOR ELEVATIONS | TILE BASE | DALTILE - CONCRETE CONNECTION | STEEL STRUCTURE 6X13 COVE BASE |

krieger klatt
ARCHITECTS
architecture interiors consulting
1412 East Eleven Mile Road, Royal Oak, MI 48067
Phone: 248.414.9270 Fax: 248.414.9275 Web: kriegerklatt.com

Client:
Lockharts BBQ
37 E. Flint St.
Lake Orion, MI
48362

Project:
Renovation

Issued:
8-15-2014 Bank Review

Seal:

Note:
Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

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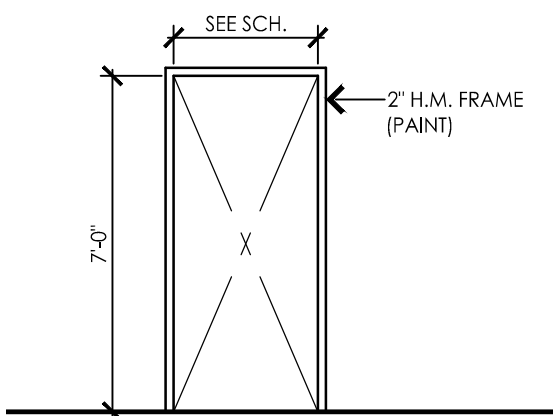
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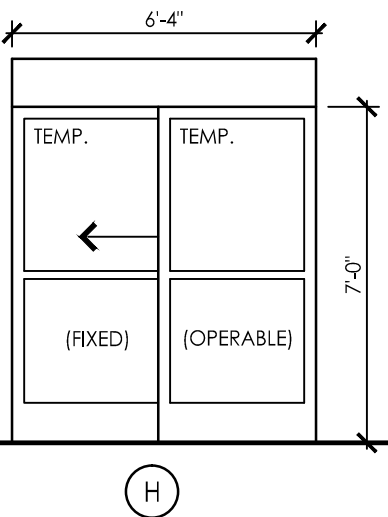
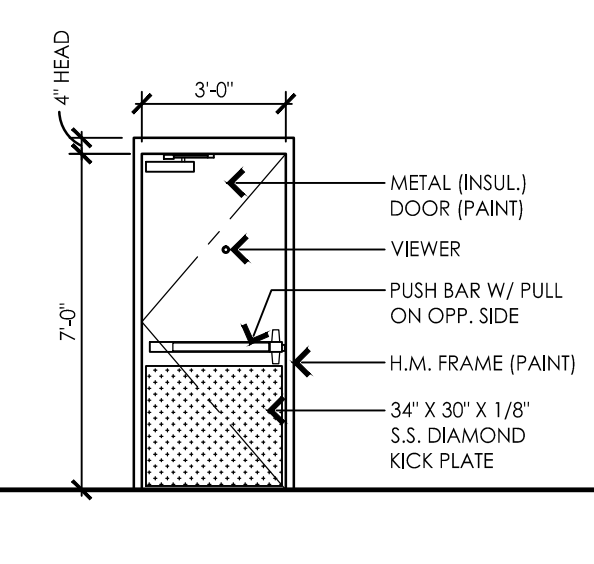
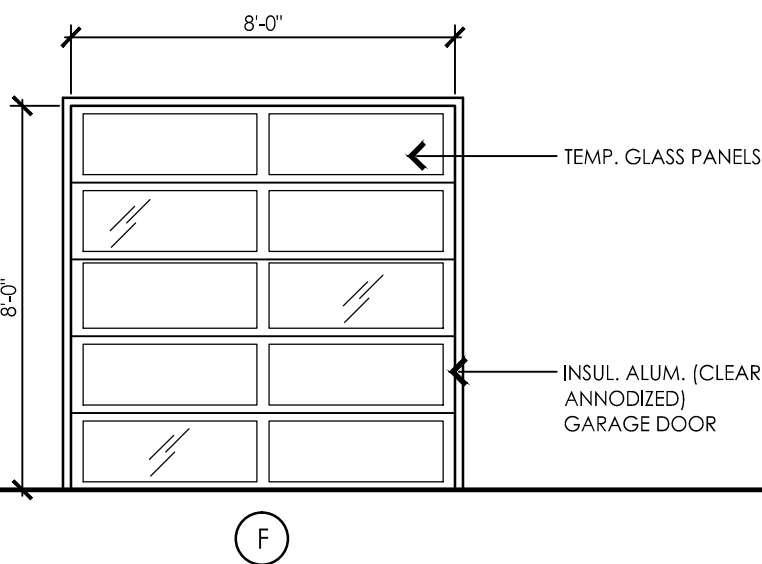
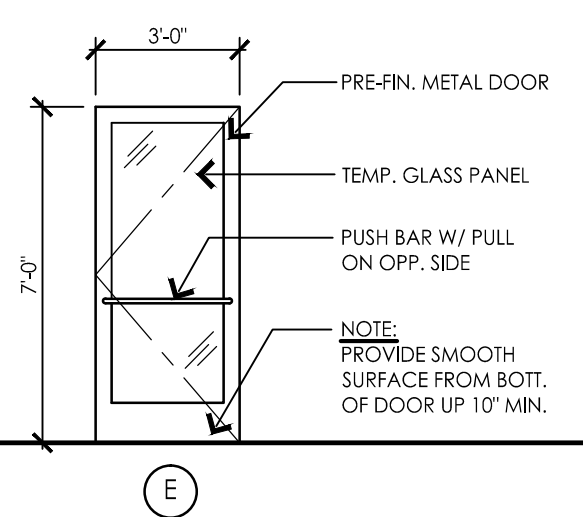
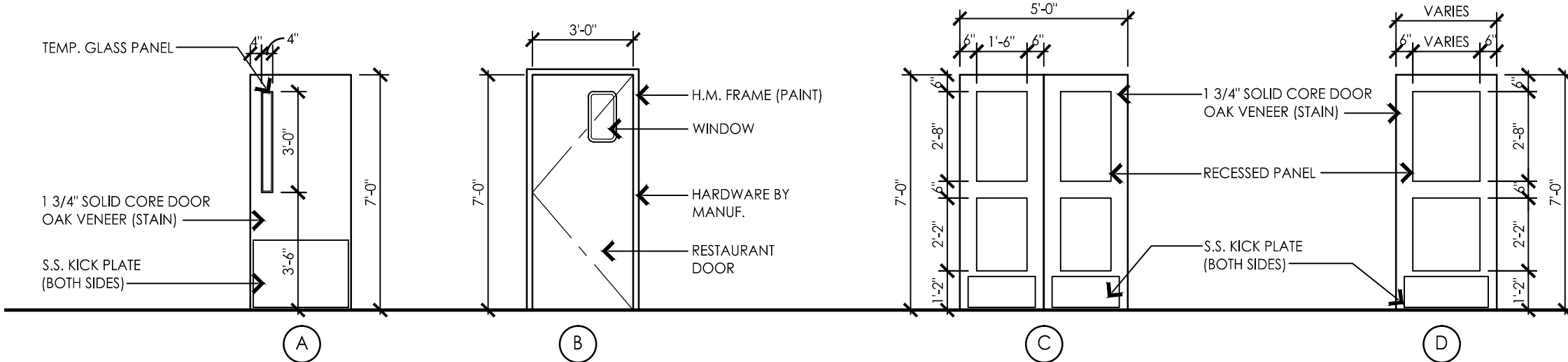
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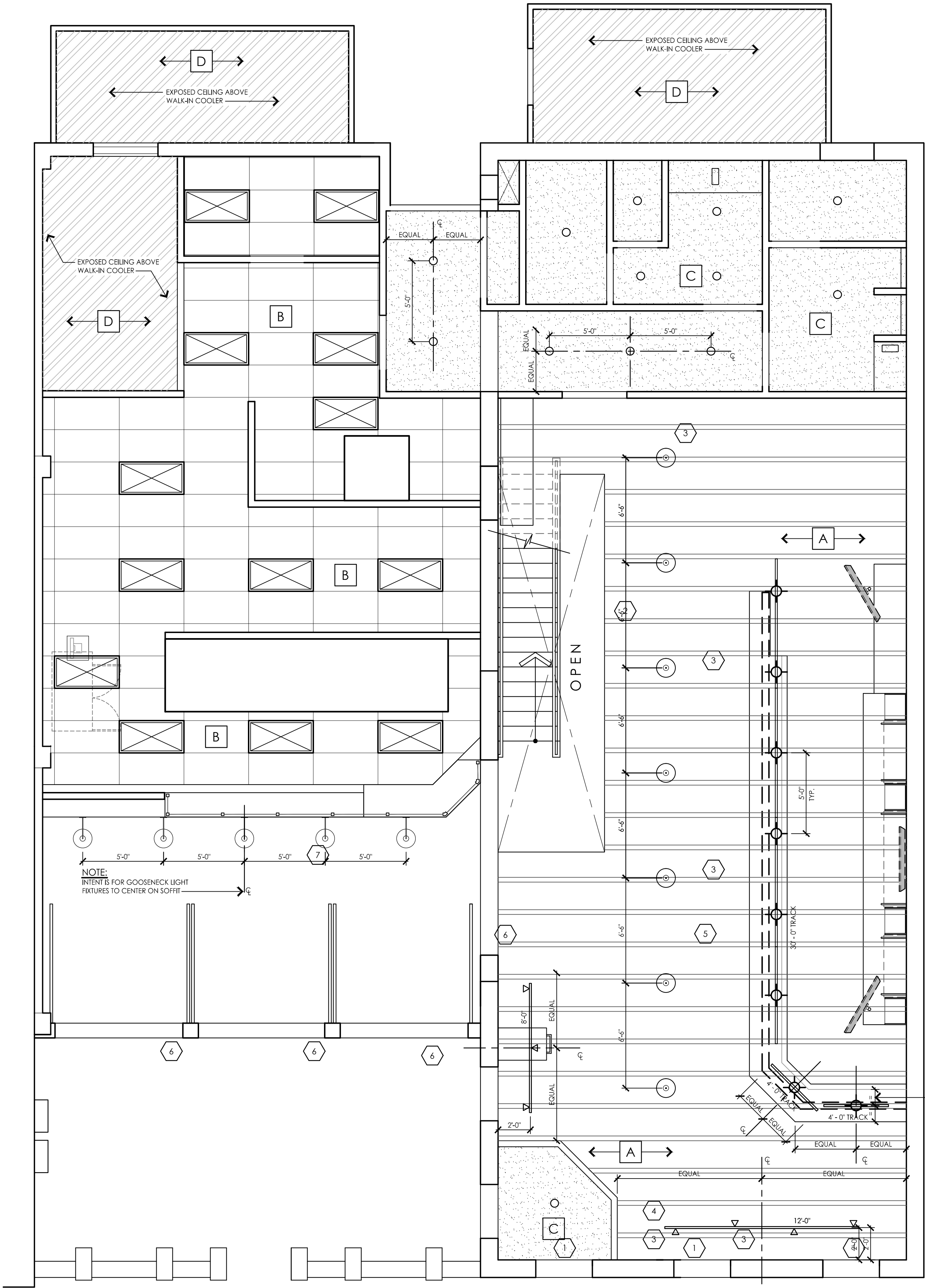
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Frame Styles
Scale: 1/4" = 1'-0"





Ceiling Plan Keyed Notes:

- POLE MOUNTED T.V. FROM STRUCTURE ABOVE - RUN ALL WIRES DOWN THROUGH POLE TO T.V.
- WALL MOUNTED T.V. - INSTALL MOUNT PER MANUF. INSTRUCTION

Ceiling Plan General Notes:

- COORDINATE ALL ITEMS W/ MECH. PLANS
- SEE LIGHTING PLAN ON SHEET E.### FOR EXIT / EMERGENCY LIGHTS
- ALL FIXTURES THAT ARE 'BY TENANT' SHALL BE PROVIDED BY TENANT & INSTALLED BY TENANT G.C.
- T.V. TO BE POLE MOUNTED FROM STRUCTURE ABOVE. ADJUST ACTUAL HEIGHT IN FIELD. INSTALL SO THE BOTTOM OF THE TELEVISION IS #'-#" A.F.F. VERIFY ACTUAL HEIGHT IN FIELD WITH OWNER AND ARCHITECT.
- G.C. IS TO INCLUDE ALL UNISTRUT, THREADED ROD, CLAMPS AND OTHER MSC. ITEMS REQUIRED TO SUSPEND ALL CEILING MOUNTED ITEMS
- G.C. IS TO CLEAN EXIST. CEILING.
- AT EXPOSED CEILING AREAS, RUN ALL NEW WIRING, CONDUIT AND MECHANICAL DUCT WORK IN A NEAT AND CLEAN MANNER
- G.C. IS TO PROVIDE ALLOWANCE TO RUN RED FIRE ALARM WIRE IN CONDUIT AND PAINT CONDUIT TO MATCH EXPOSED CEILING - VERIFY WITH FIRE ALARM INSPECTOR IF RED FIRE ALARM WIRE CASING CAN BE PAINTED TO MATCH EXPOSED CEILING. IF SO, G.C. IS TO ISSUE CREDIT FOR CONDUIT TO OWNER
- FOR ALL NIGHT, EXIT AND EMERGENCY LIGHTS SEE SHEET E.###

Ceiling Plan Scope of Work

- CLEAN, SCRAPE AND CEILING BACK TO THE ORIGINAL CONCRETE FINISH.
- CLEAN & WRAP ALL EXISTING DRAIN PIPING FROM ABOVE. ENSURE NO DRIPPING WILL OCCUR.
- INTENT IS TO LEAVE NEW DUCT WORK, CONDUIT, AND CEILING FINISHES AS EXPOSED FINISHES.
- AT AREA OF LOWER HANGING ELECTRICAL PIPING, THE ARCHITECT WILL PROVIDE A HANGING FIXTURE.

Ceiling Finish Legend

| TAG | SYMBOL | DESCRIPTION | HEIGHT / LOCATION |
|-----|--------|---------------------------------------------------------------------------|---------------------------------|
| A | | EXISTING EXPOSED FRAMING AND CEILING (PAINT) | VER. W/ INTER. ELEV. |
| B | | 2' X 4' VINYL COATED CEILING TILES (WHITE) IN PRE-FIN. METAL GRID (WHITE) | 9'-0" / KITCHEN & BACK-OF-HOUSE |
| C | | GYP. BRD. CEILING (PAINT) | 9'-0" / AS NOTED ON PLANS |
| D | | WALK-IN COOLER CEILING - BY MANUFACTURER | BY MANUFACTURER |
| E | | | |

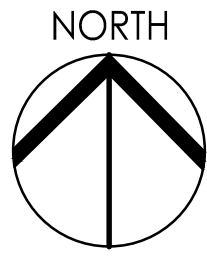
Client:
Lockharts BBQ
37 E. Flint St.
Lake Orion, MI
48362
Project:
Renovation

Issued:
8-15-2014 Bank Review

Seal:

Note:
Do not scale drawings. Use
calculated dimensions only.
Verify existing conditions in field.

North Arrow:



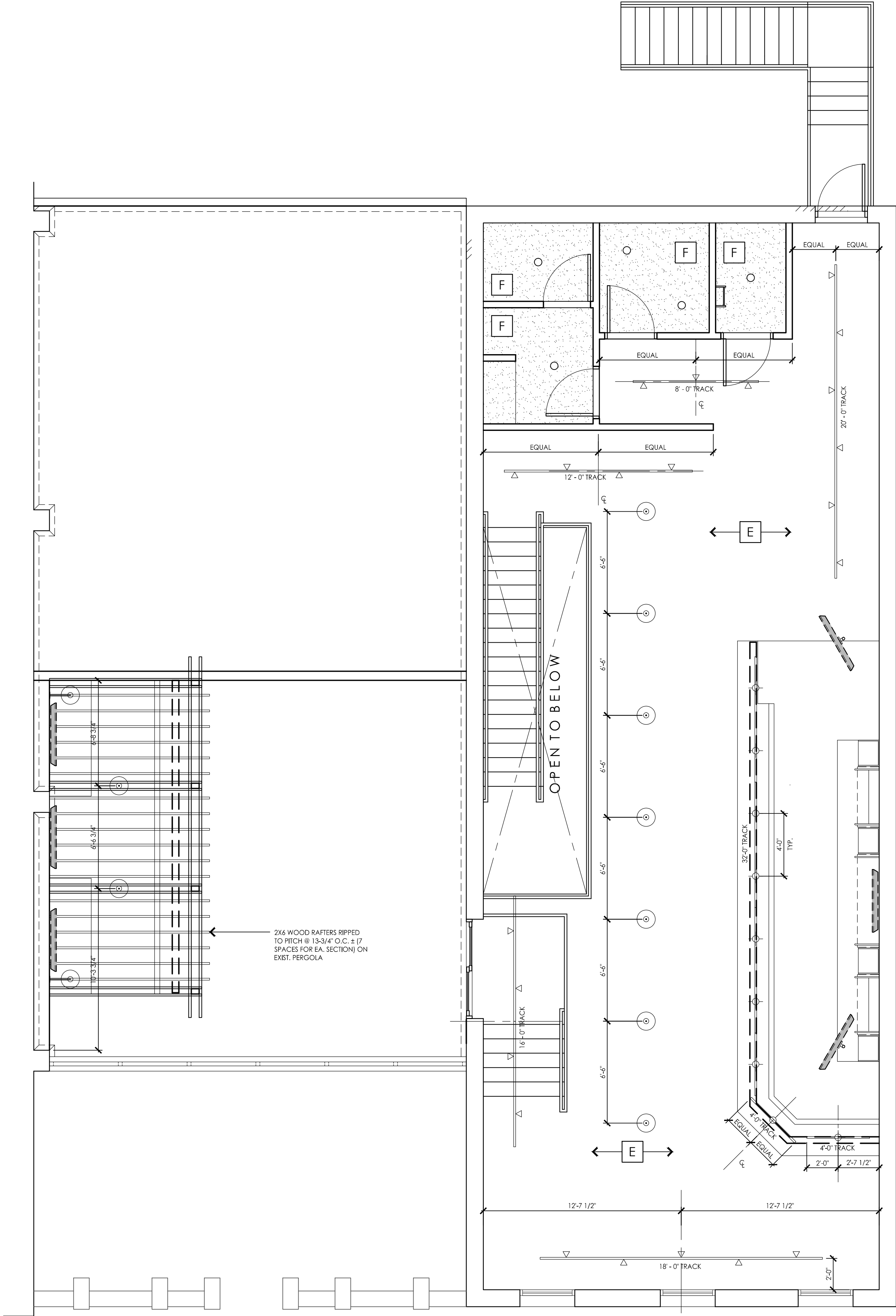
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Reflected Ceiling
Plan

Scale:
1/4" = 1'-0"

Project Number:
14-051

Sheet Number:

A.200



Ceiling Plan Keyed Notes:

- POLE MOUNTED T.V. FROM STRUCTURE ABOVE - RUN ALL WIRES DOWN THROUGH POLE TO T.V.
- WALL MOUNTED T.V. - INSTALL MOUNT PER MANUF. INSTRUCTION

Ceiling Plan General Notes:

- COORDINATE ALL ITEMS W/ MECH. PLANS
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- FOR ALL NIGHT, EXIT AND EMERGENCY LIGHTS SEE SHEET E.###

Ceiling Plan Scope of Work

- CLEAN, SCRAPE AND CEILING BACK TO THE ORIGINAL CONCRETE FINISH.
- CLEAN & WRAP ALL EXISTING DRAIN PIPING FROM ABOVE. ENSURE NO DRIPPING WILL OCCUR.
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| Ceiling Finish Legend | | | |
|-----------------------|--------|---------------------------------------------------------------------------|---------------------------------|
| TAG | SYMBOL | DESCRIPTION | HEIGHT / LOCATION |
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| B | | 2' X 4' VINYL COATED CEILING TILES (WHITE) IN PRE-FIN. METAL GRID (WHITE) | 9'-0" / KITCHEN & BACK-OF-HOUSE |
| C | | GYP. BRD. CEILING (PAINT) | 9'-0" / AS NOTED ON PLANS |
| D | | WALK-IN COOLER CEILING - BY MANUFACTURER | BY MANUFACTURER |
| E | | | |

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Note:

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North Arrow:



Sheet Title:

Second Floor
Reflected Ceiling
Plan

Scale:

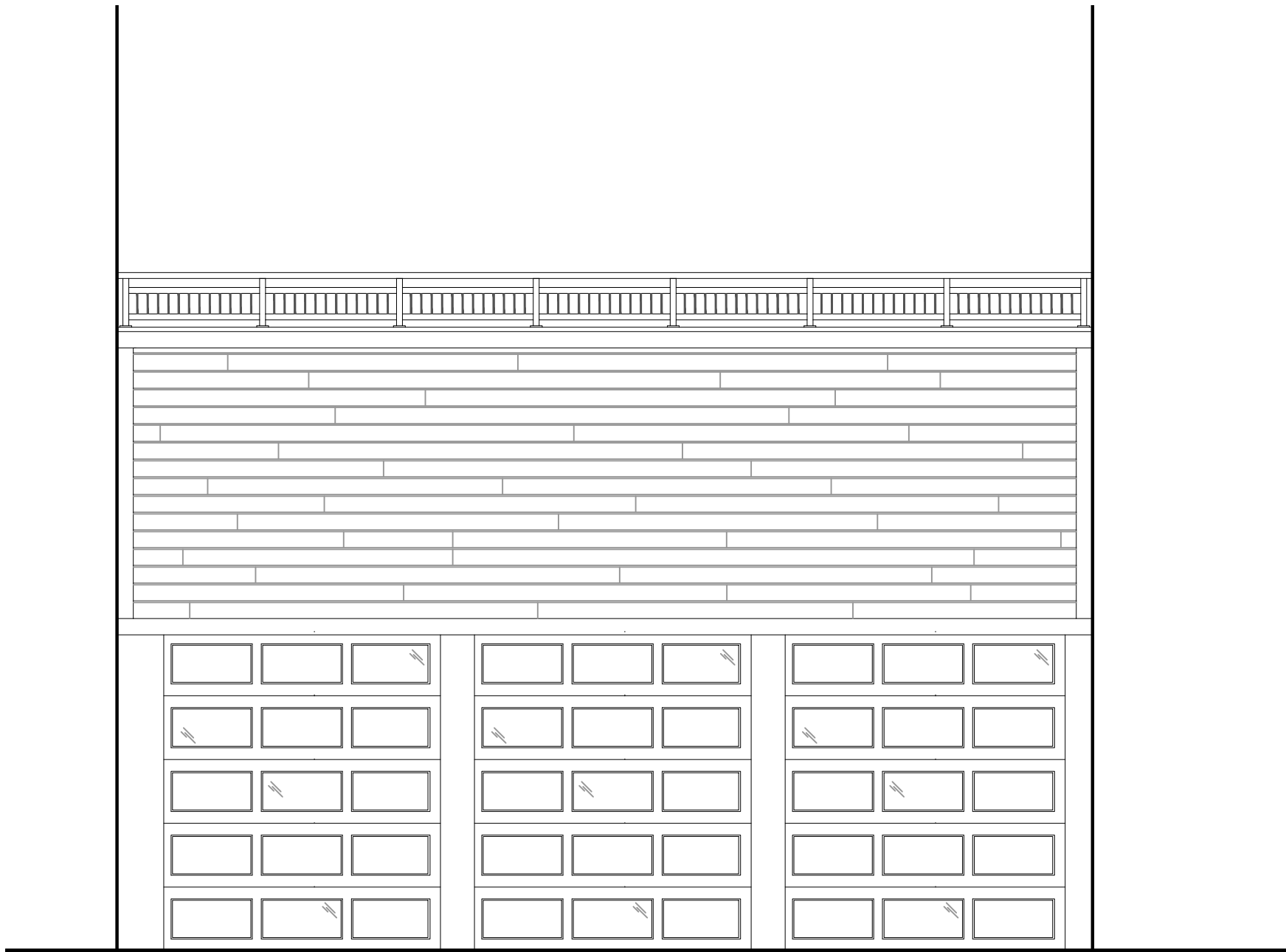
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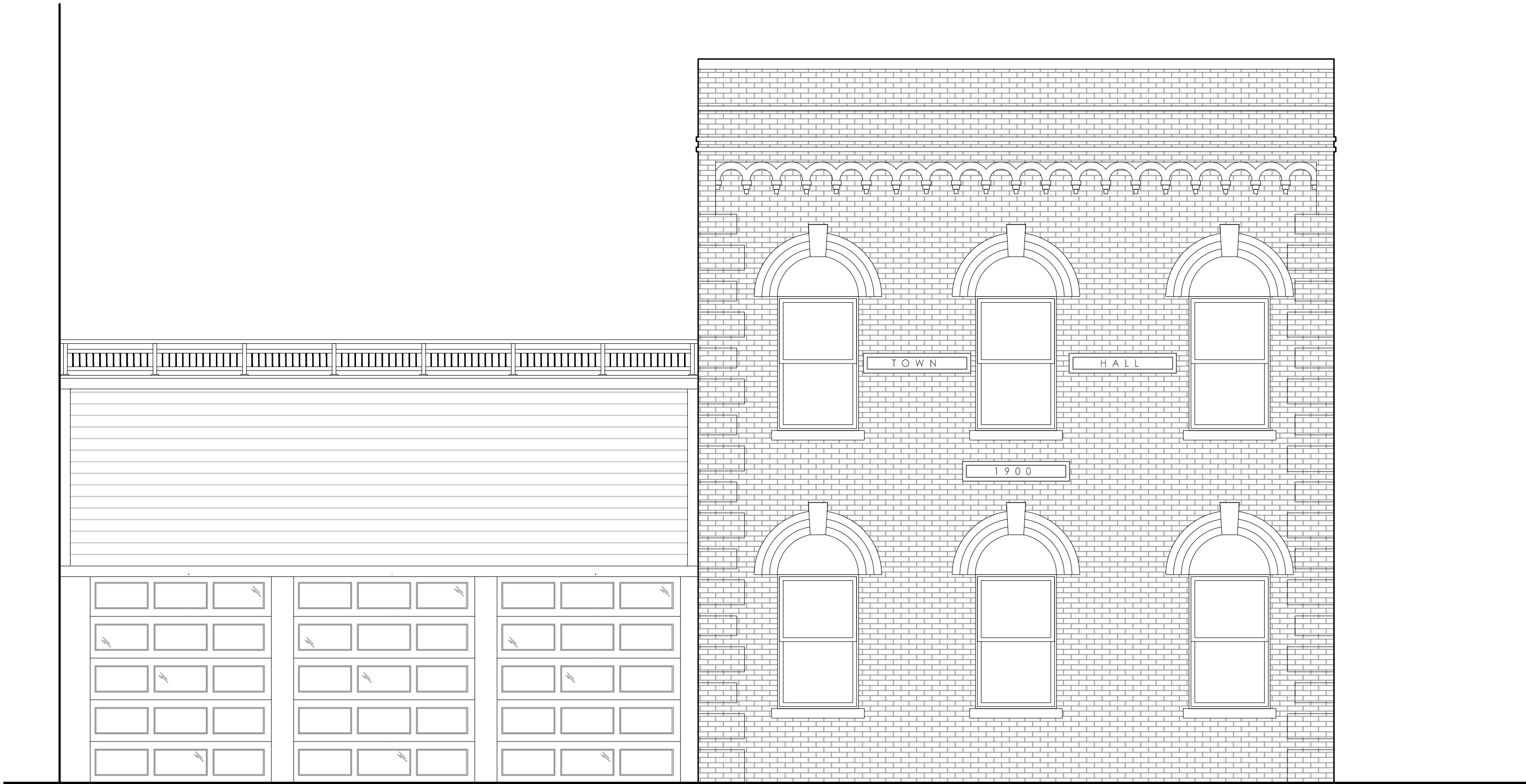
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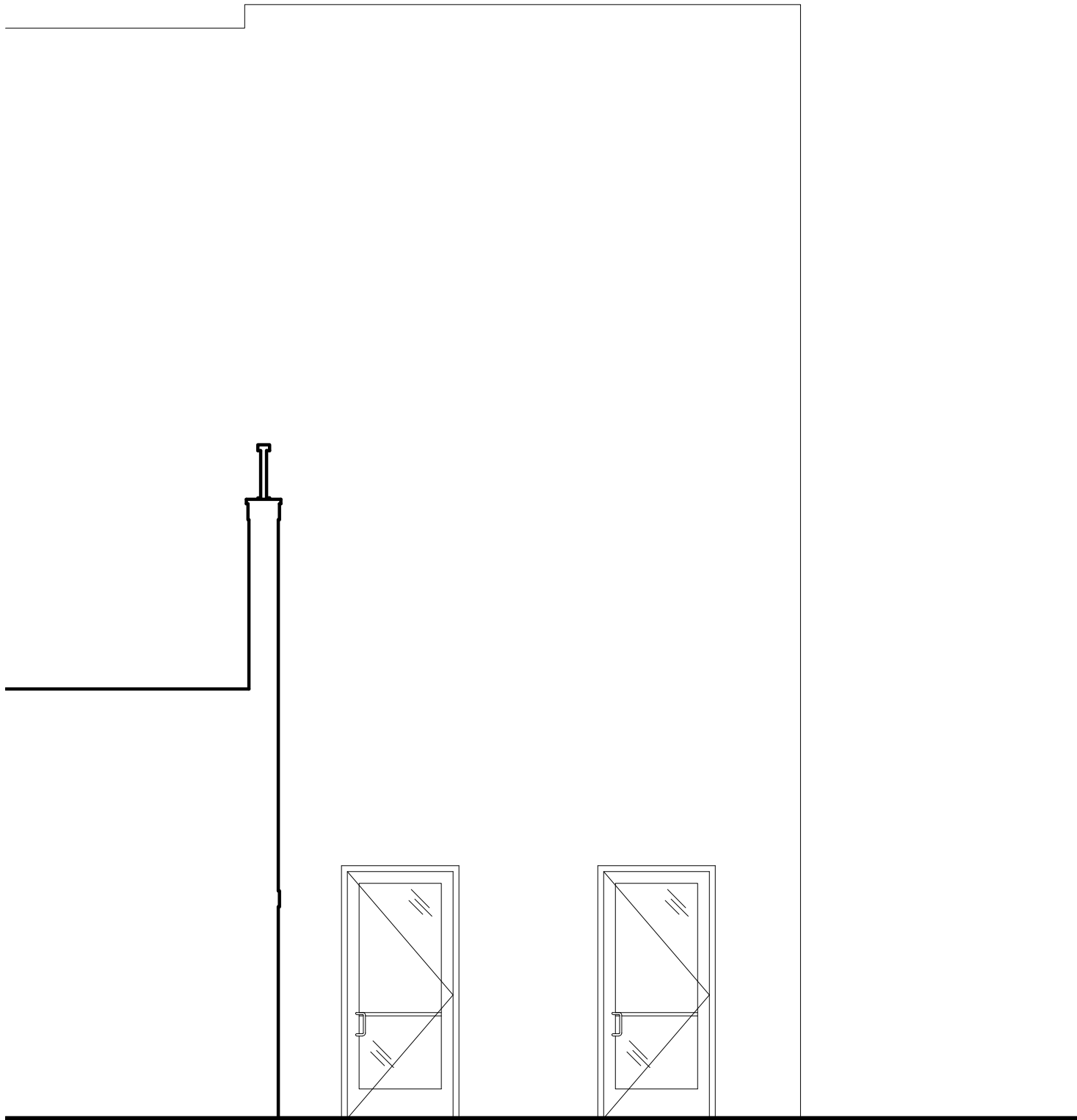
A.201



South (Front) Elevation @ New Facade



South (Front) Elevation



West (Side) Elevation



North (Rear) Elevation

krieger klatt
ARCHITECTS
architecture interiors consulting
1412 East Eleven Mile Road, Royal Oak, MI 48067
Phone: 248.414.9270 Fax: 248.414.9275 Web: kriegerklatt.com

Client:

Lockharts BBQ
37 E. Flint St.
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Seal:

Note:

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North Arrow:

Sheet Title:

Exterior
Elevations

Scale:

1/4" = 1'-0"

Project Number:

14-051

Sheet Number:

A.300

Client:
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Renovation

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Seal:

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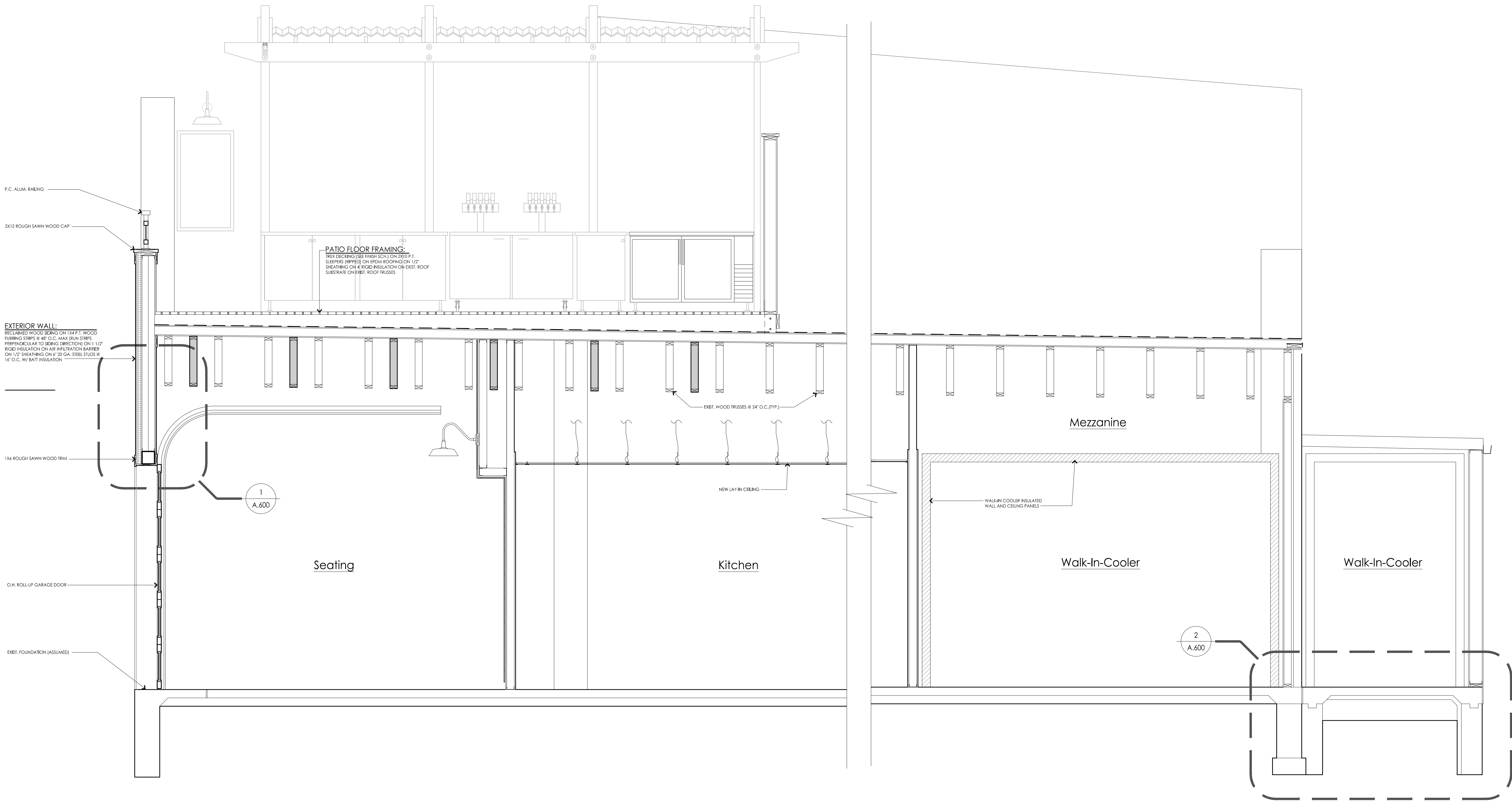
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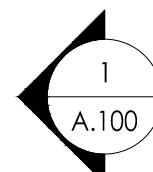
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Sheet Number:

A.400



Building Section



Client:
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Project:
Renovation

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Note:
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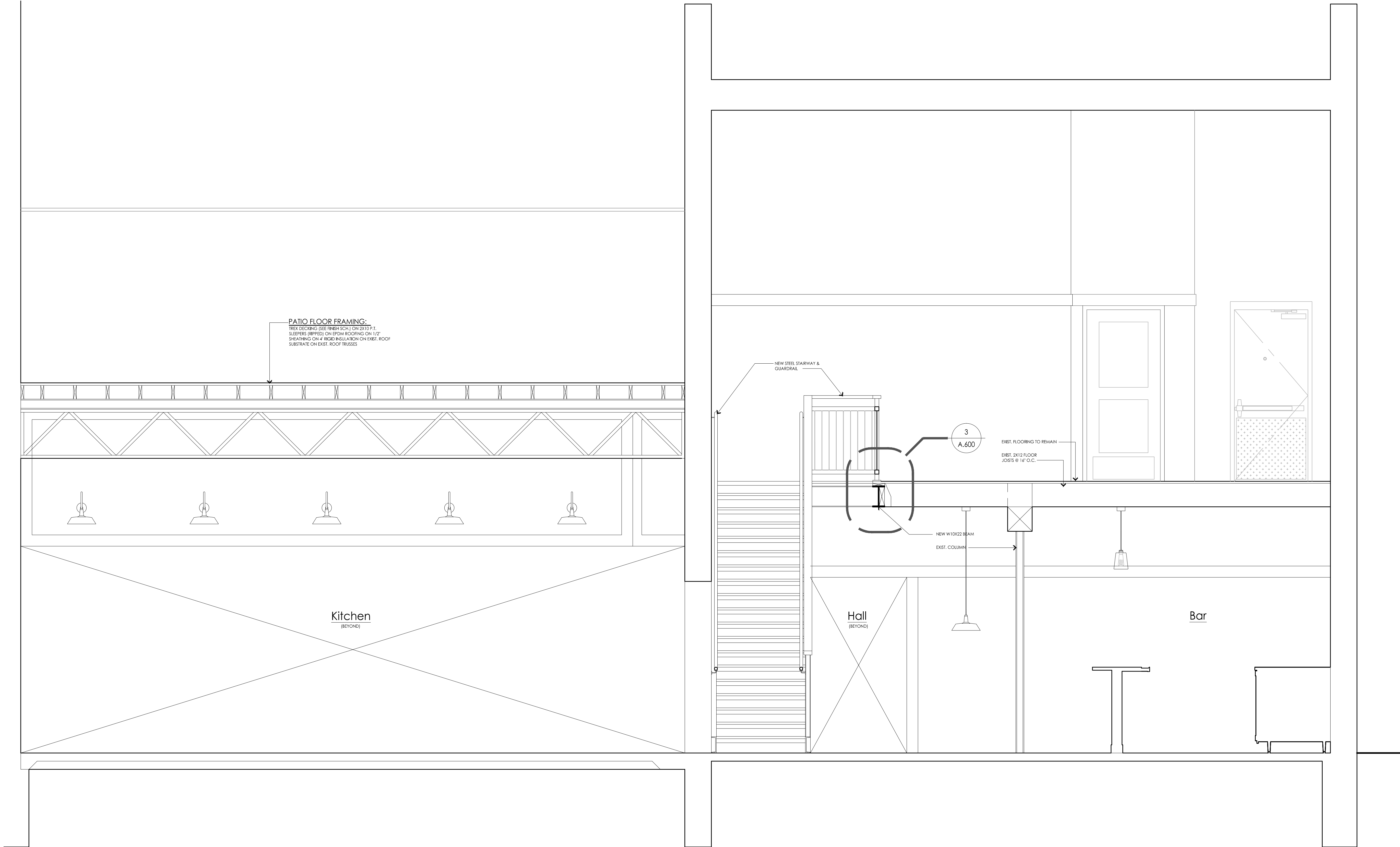
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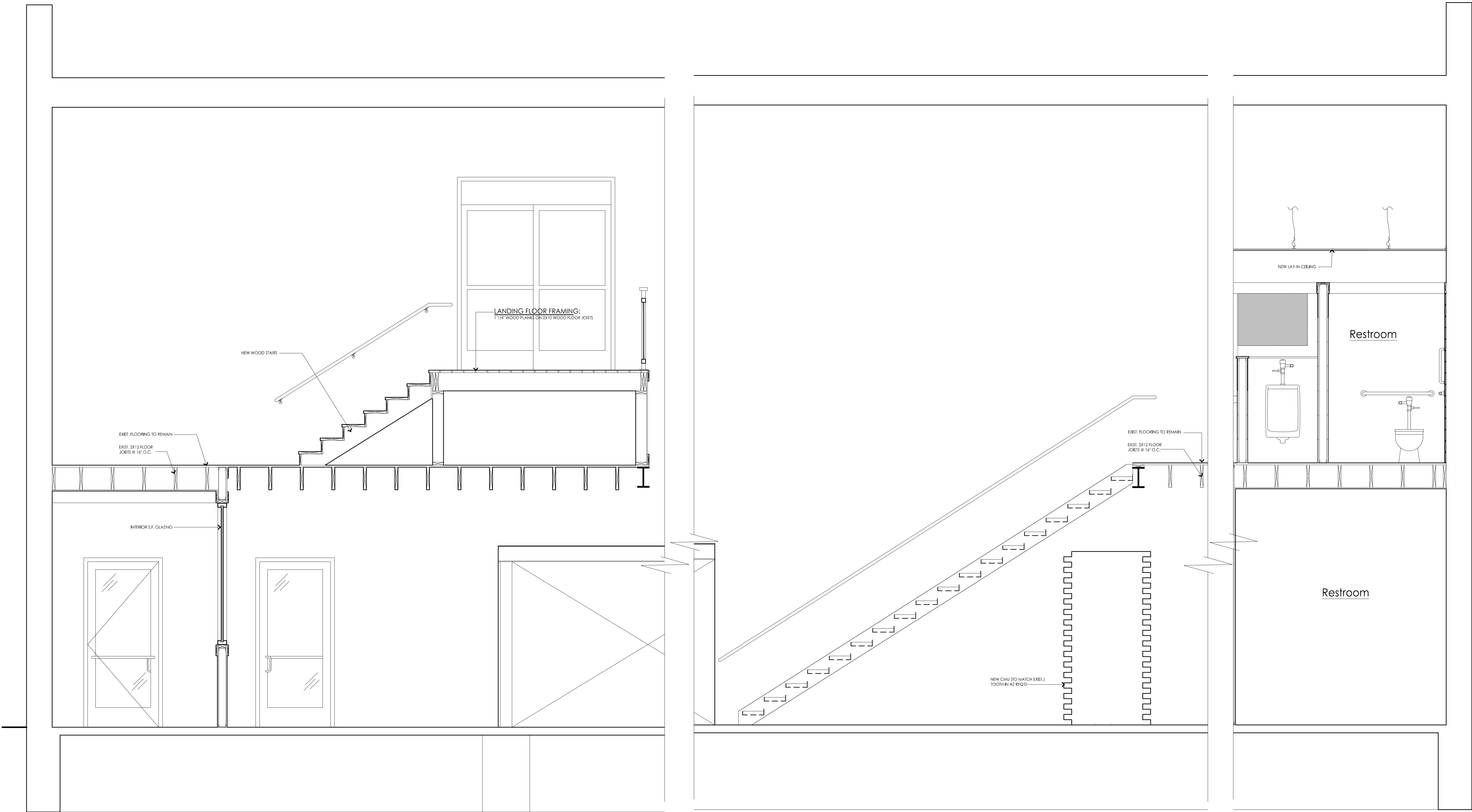
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Sheet Number:

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2
A.100 Building Section



Client:
Lockharts BBQ
37 E. Flint St.
Lake Orion, MI
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Project:
Renovation

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Seal: _____

Note:
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Verify existing conditions in field.

North Arrow: _____

Sheet Title:
Building Section

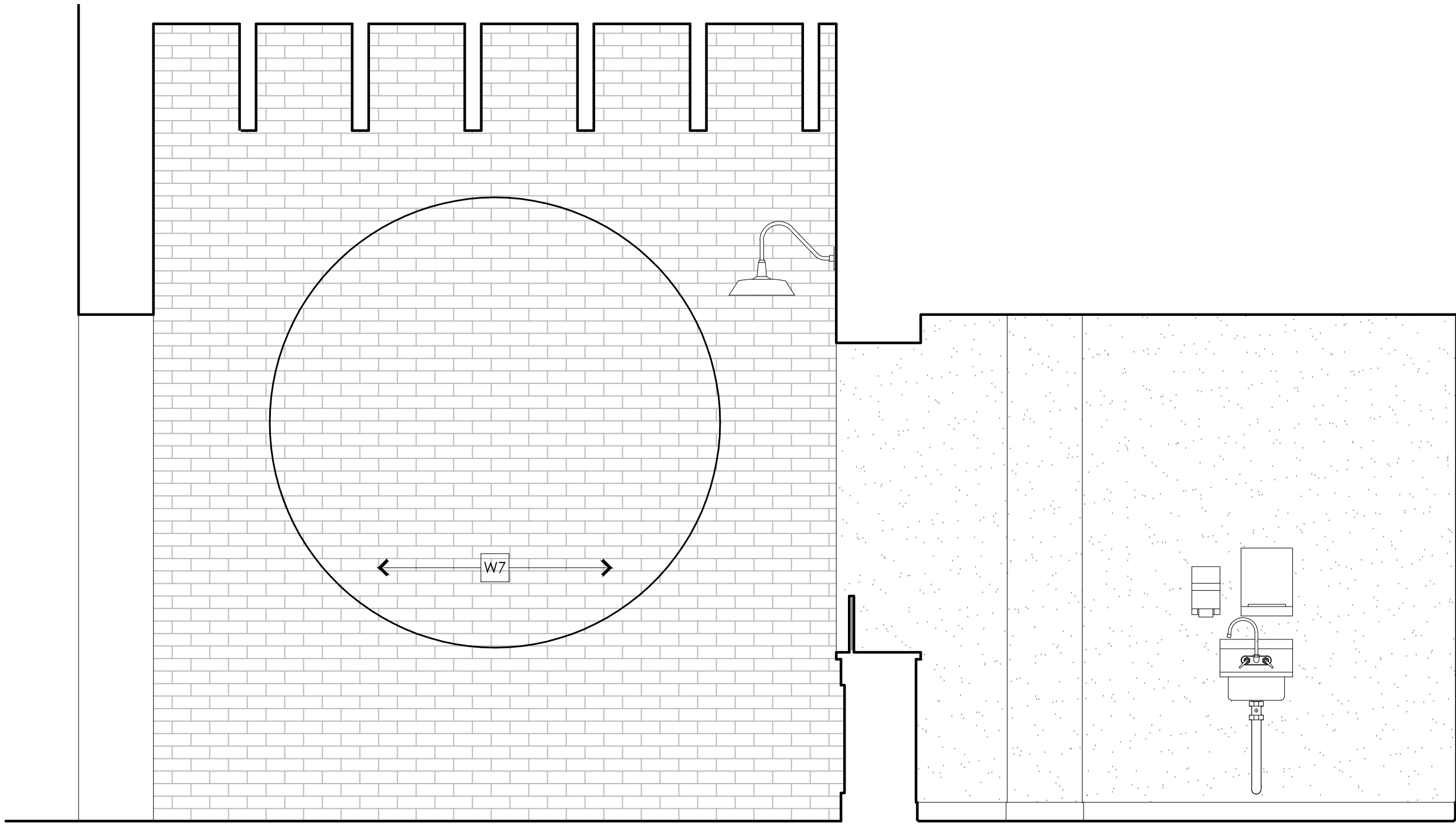
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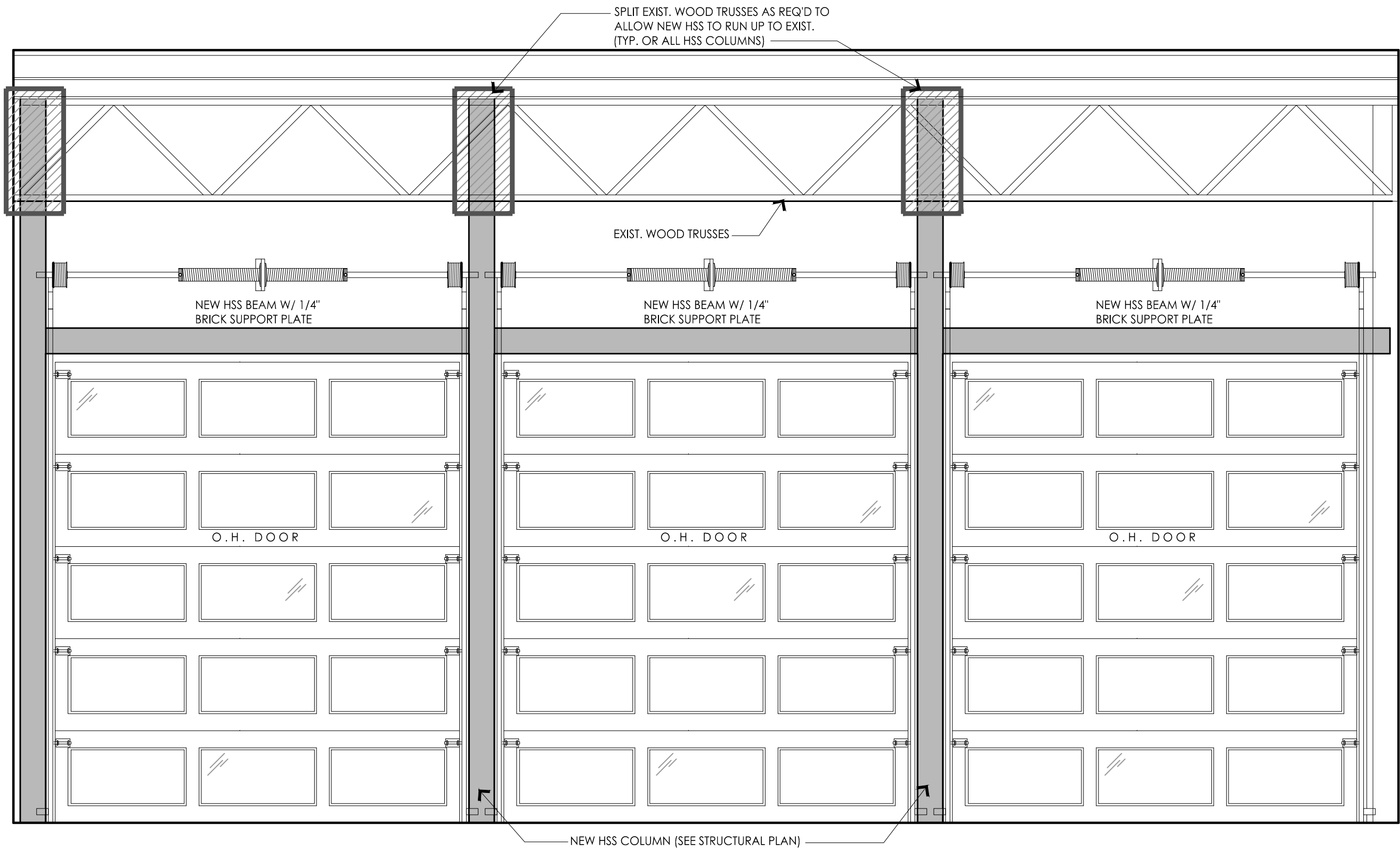
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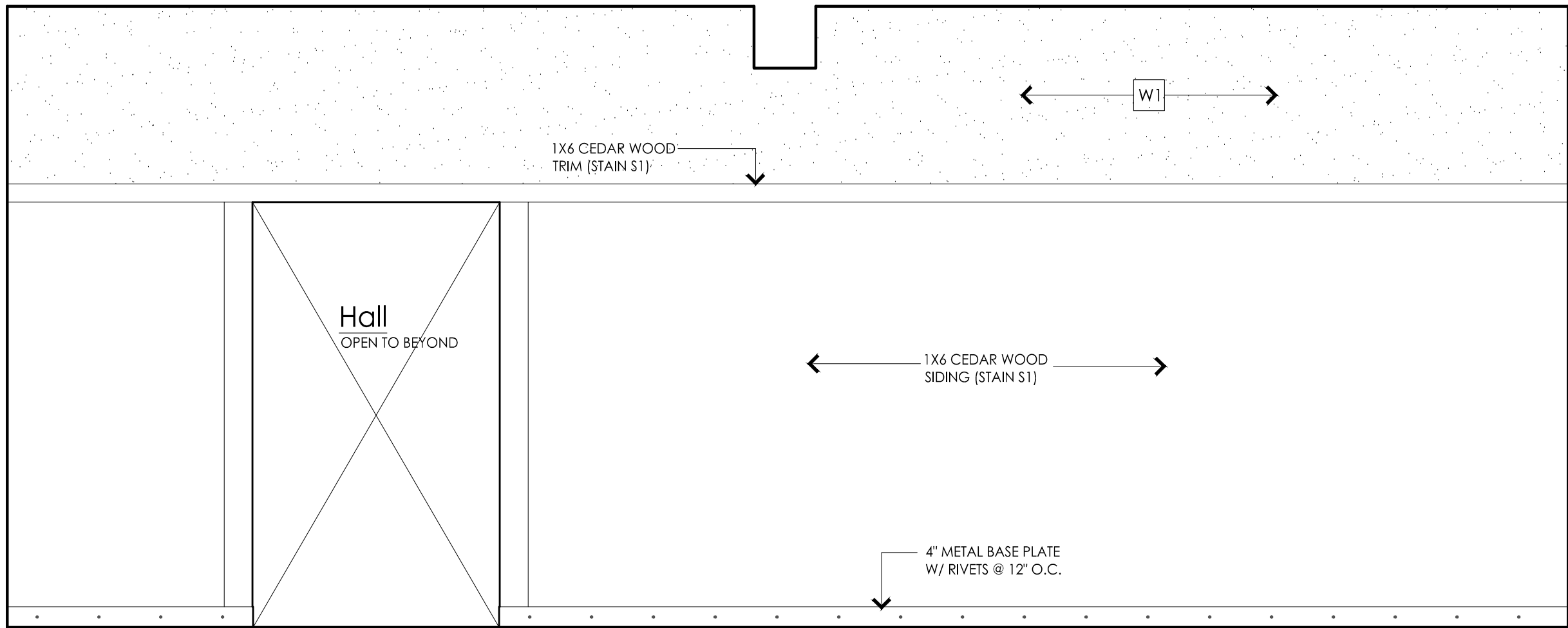
A
A.100
Interior Elevation



B
A.100
Interior Elevation



C
A.100
Interior Elevation



D
A.100
Interior Elevation

Client:
Lockharts BBQ
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Project:
Renovation

Issued:
8-15-2014 Bank Review

Seal:

Note:
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calculated dimensions only.
Verify existing conditions in field.

North Arrow:

Sheet Title:
**Interior
Elevations**

Scale:
1/2" = 1'-0"

Project Number:
14-051

Sheet Number:

Client:
Lockharts BBQ
37 E. Flint St.
Lake Orion, MI
48362
Project:
Renovation

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8-15-2014 Bank Review

Seal:

Note:
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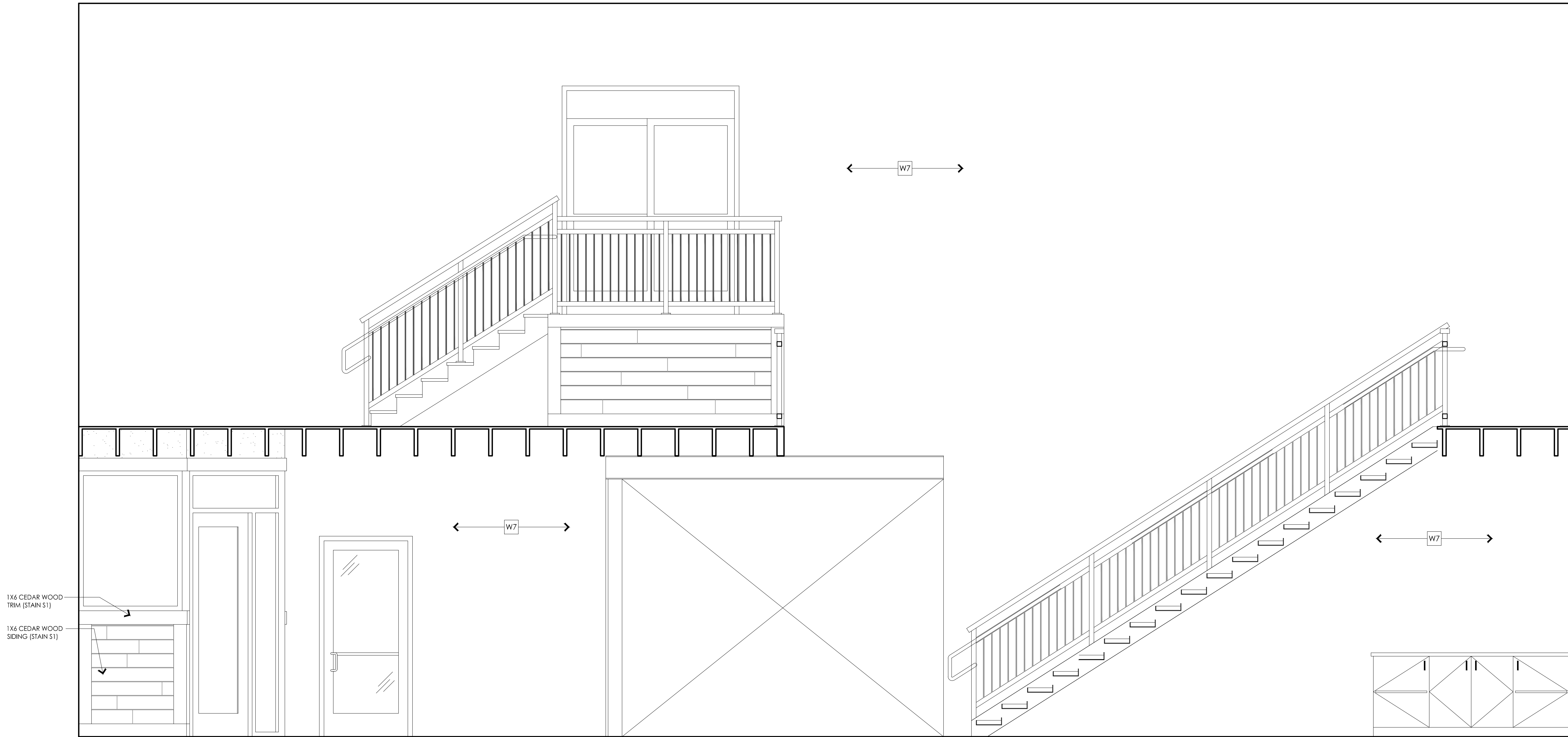
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Elevations

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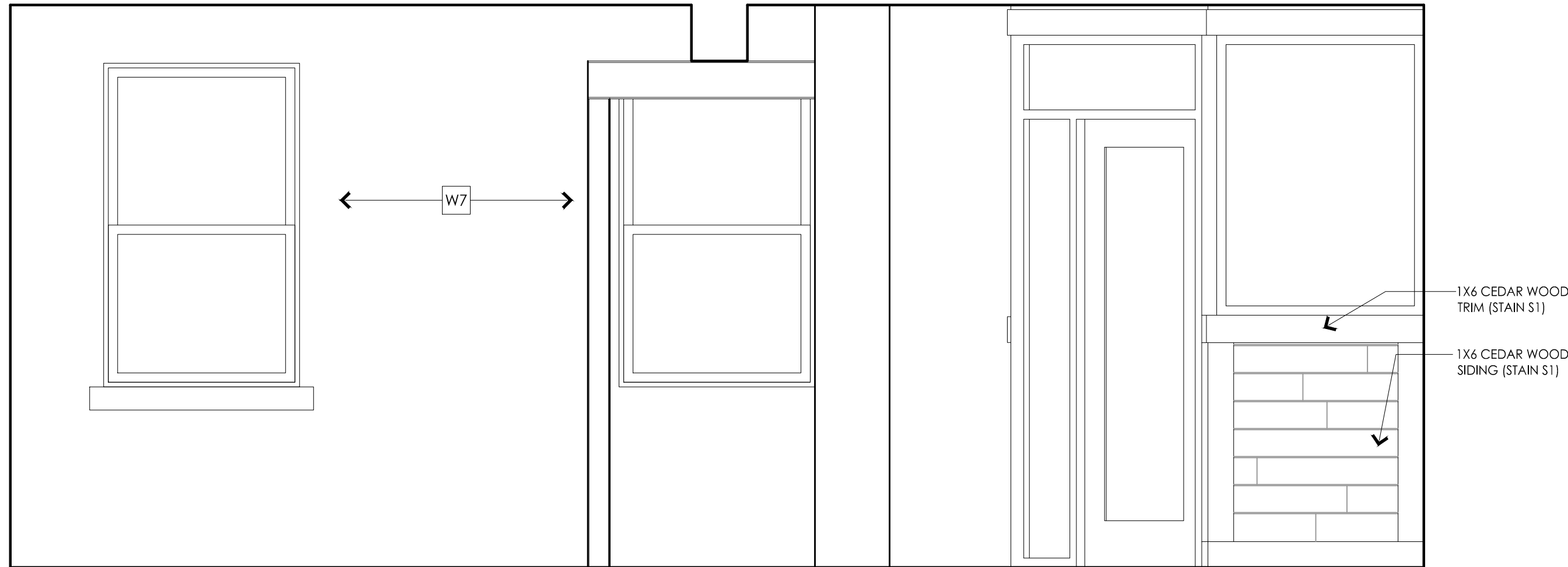
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Sheet Number:

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Interior Elevation
E
A.100



Interior Elevation
F
A.100

Client:
Lockharts BBQ
37 E. Flint St.
Lake Orion, MI
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Project:
Renovation

Issued:
8-15-2014 Bank Review

Seal:

Note:
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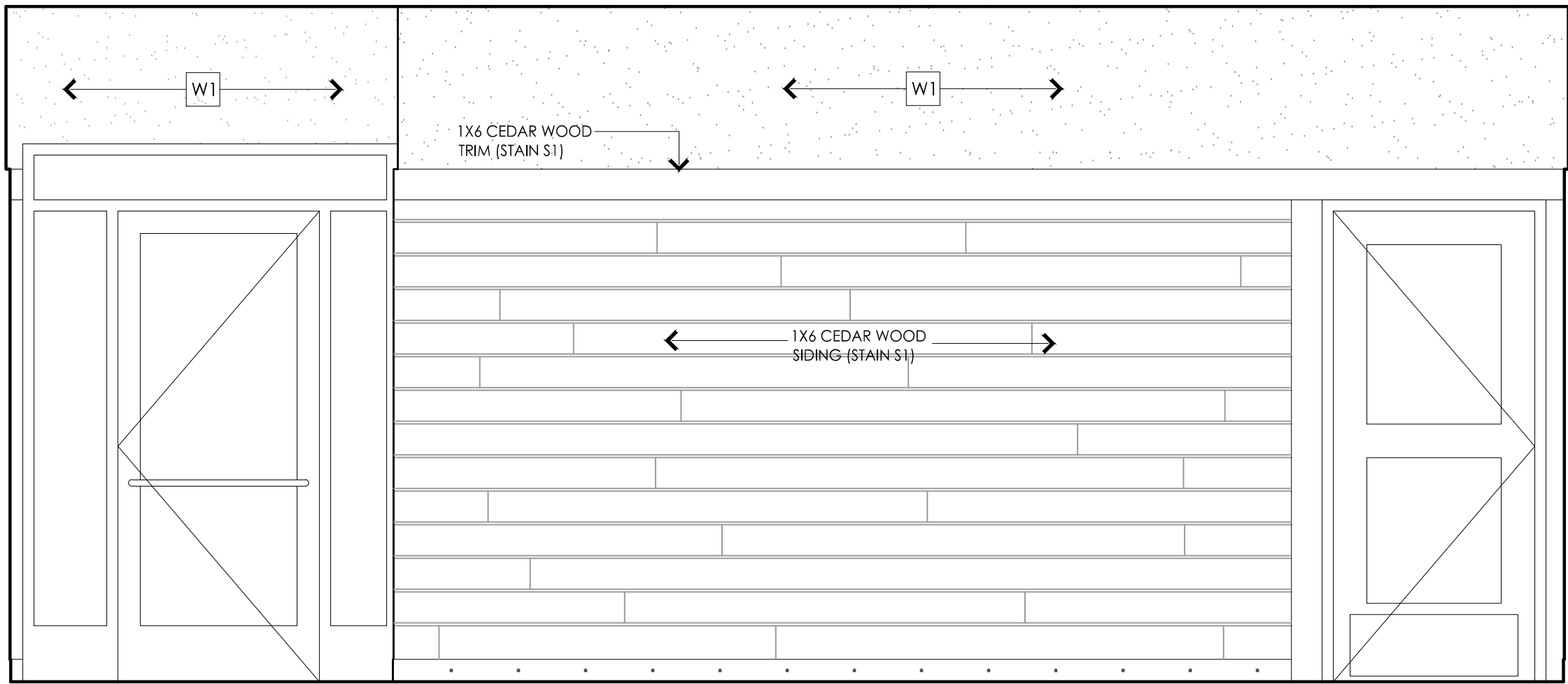
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Elevations

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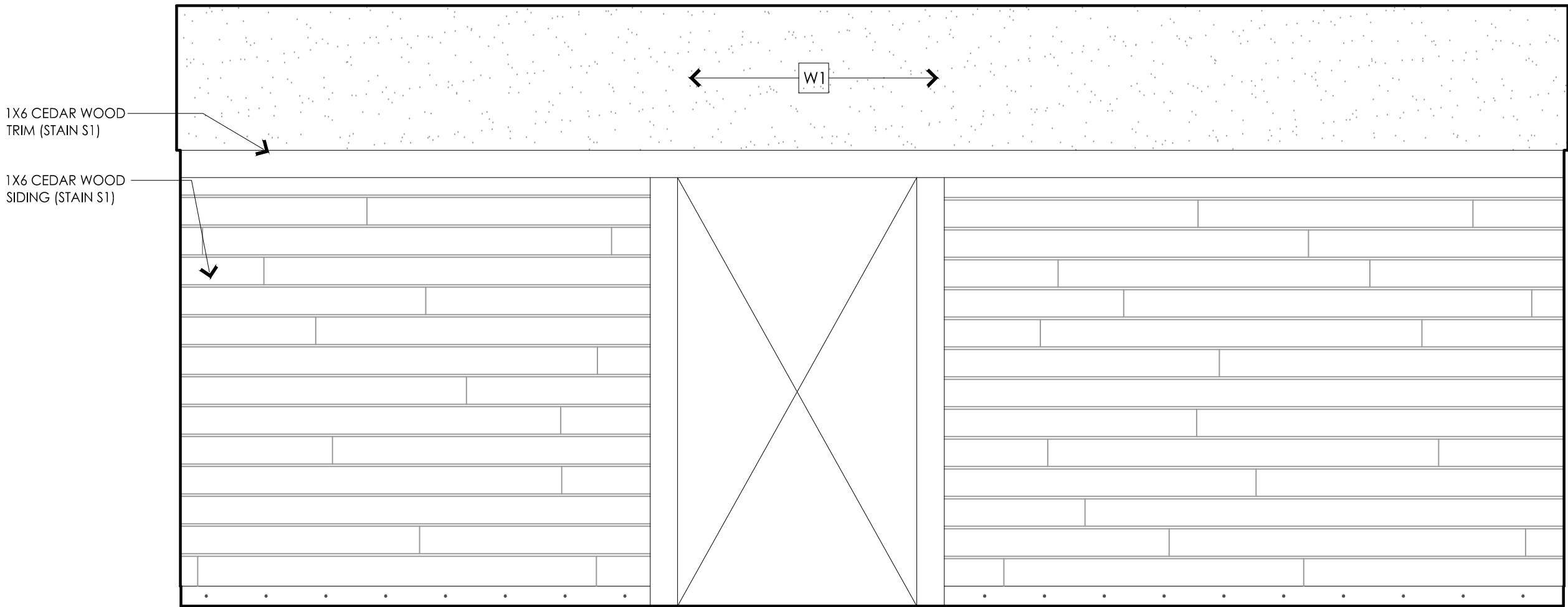
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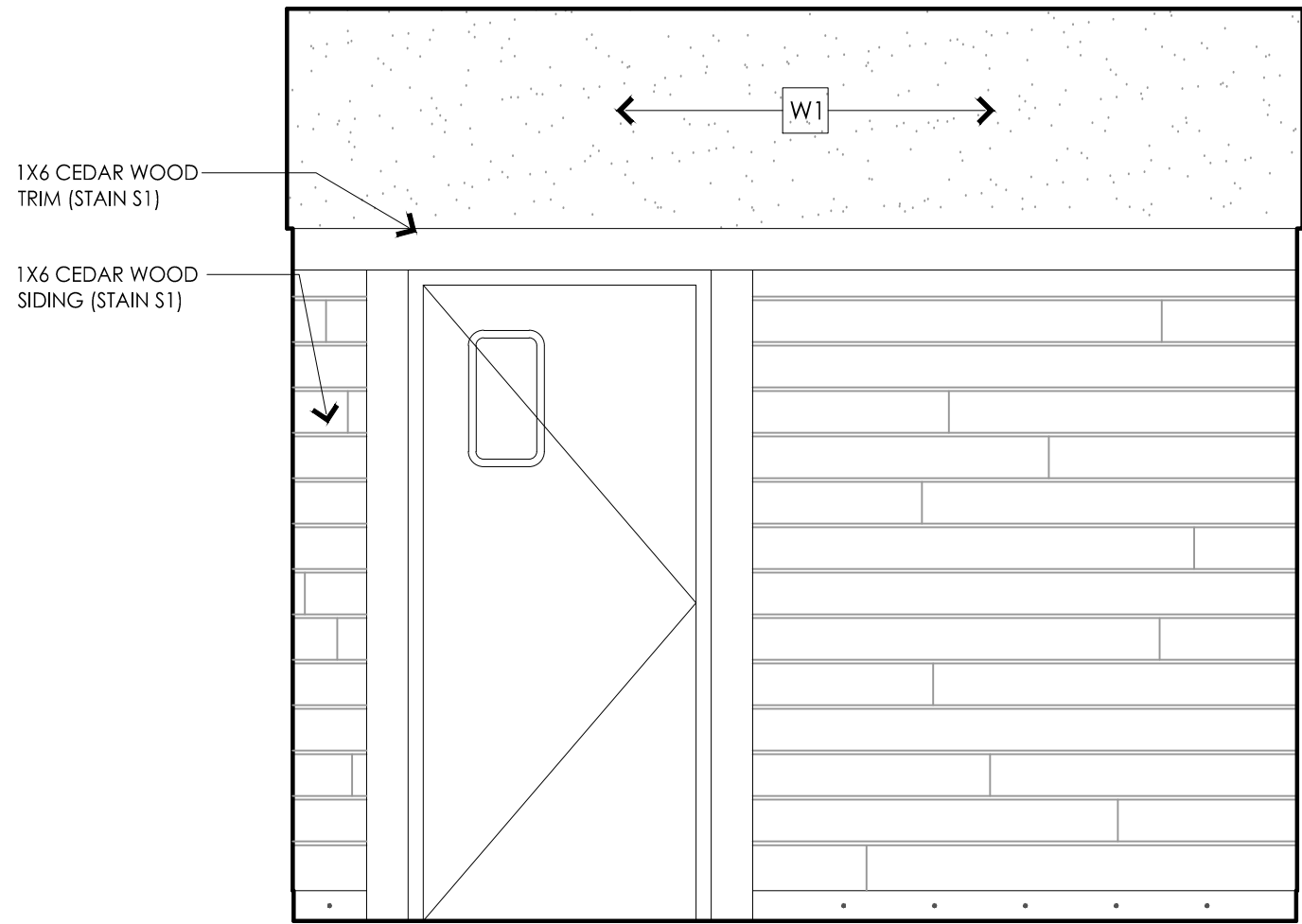
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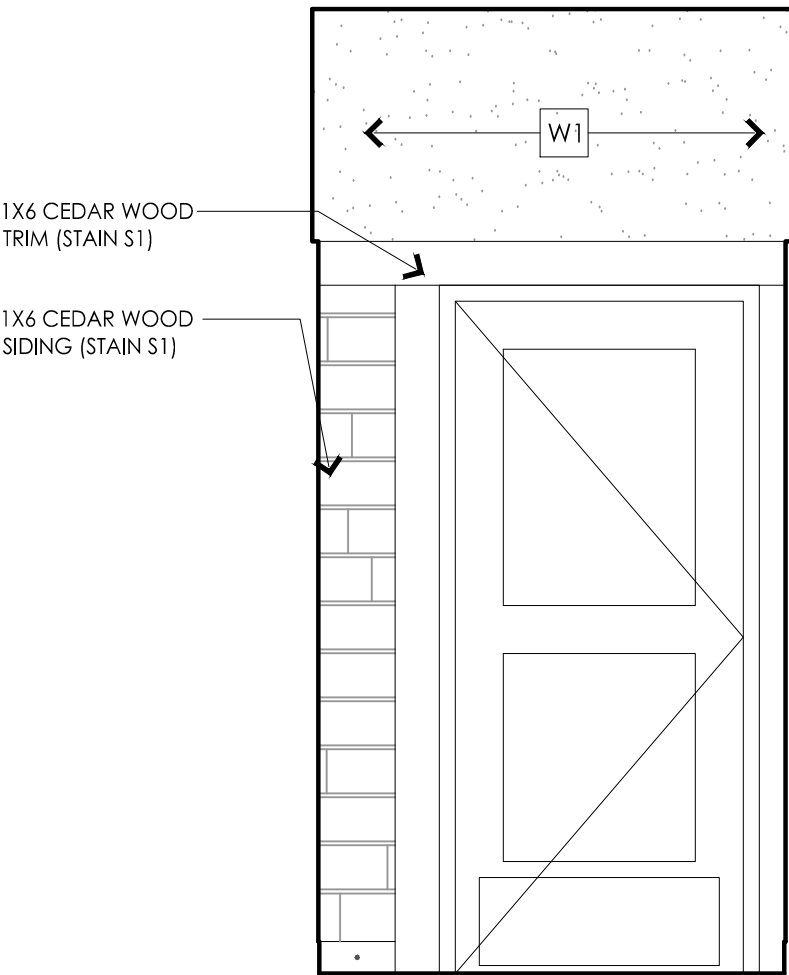
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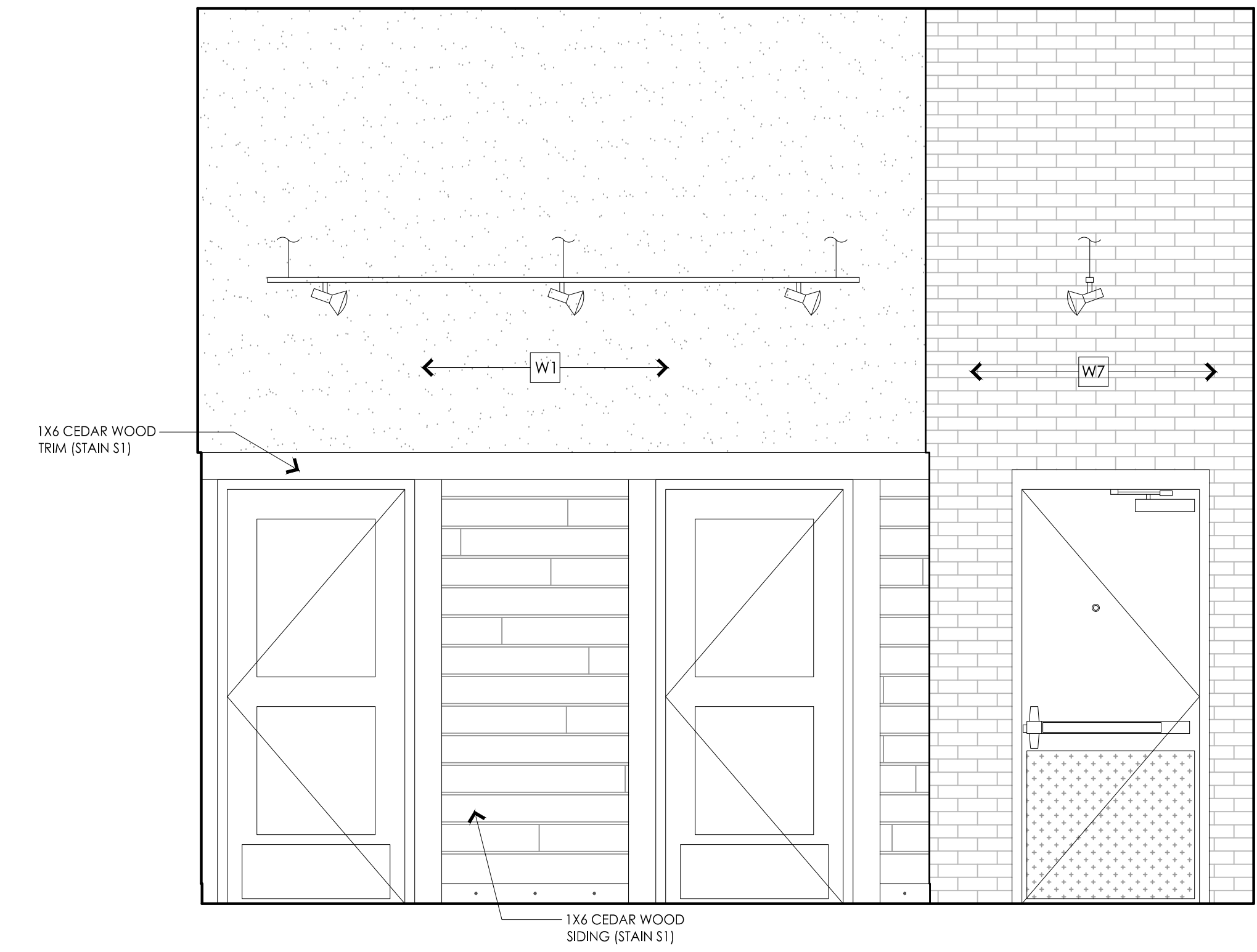
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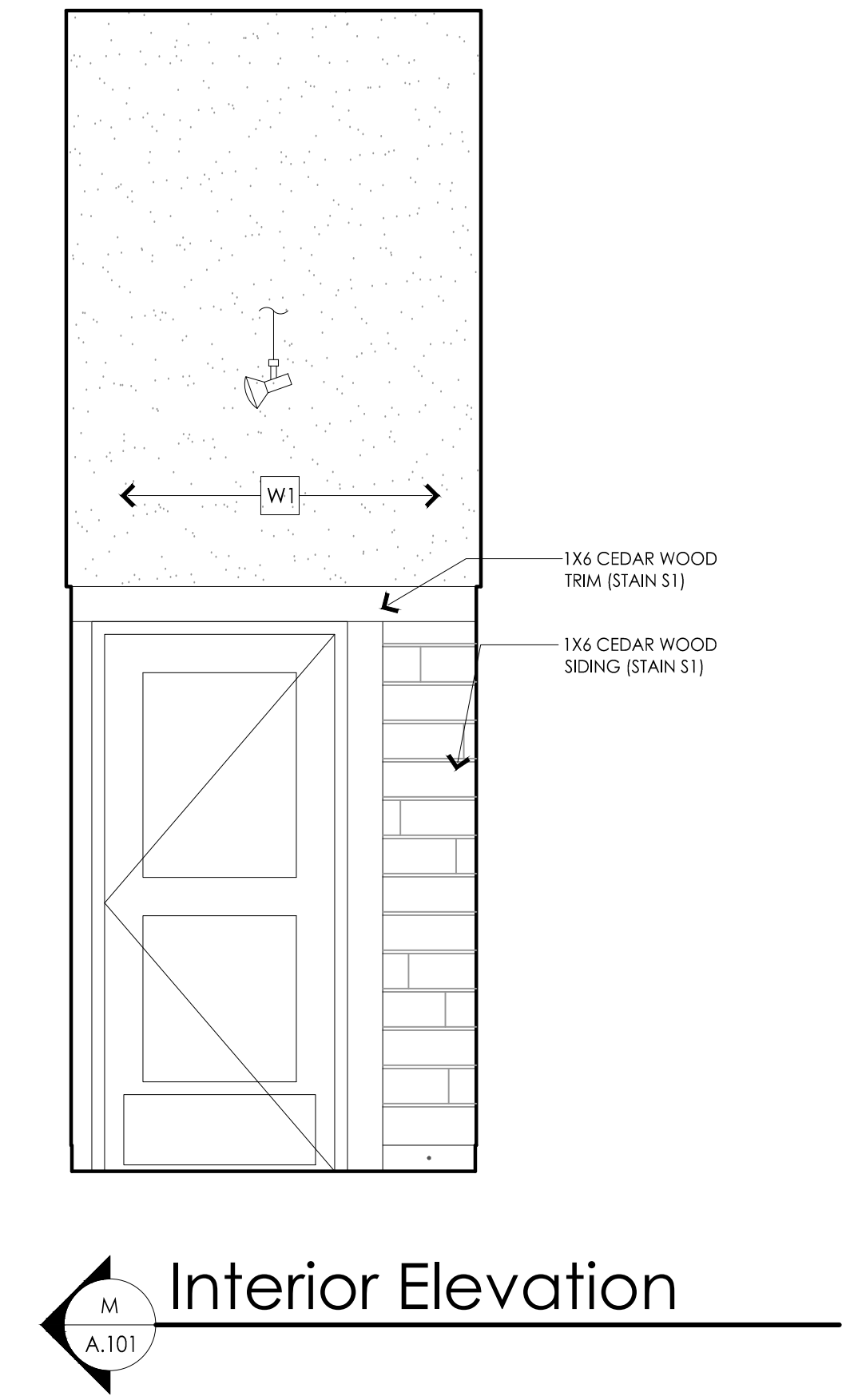
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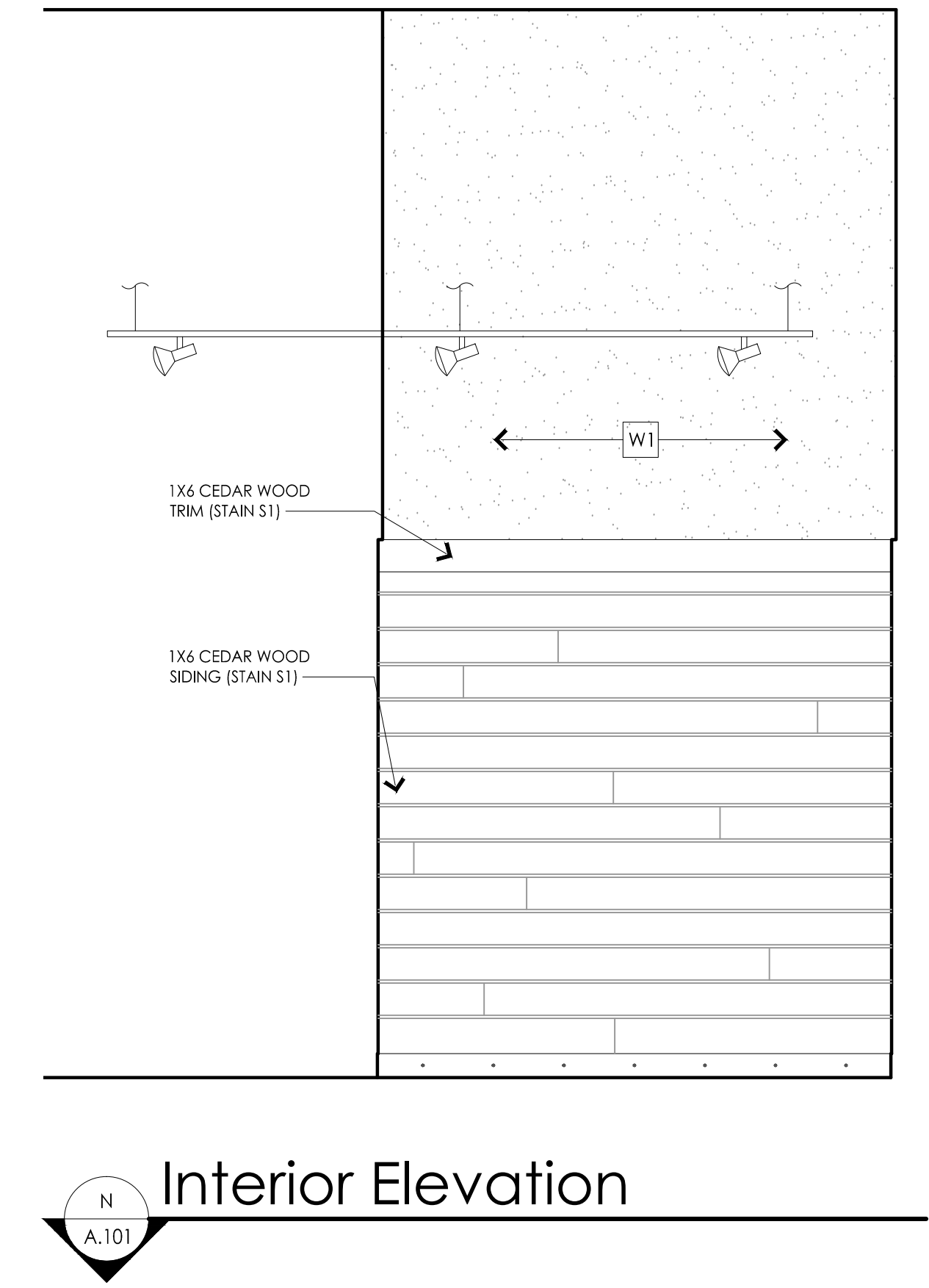
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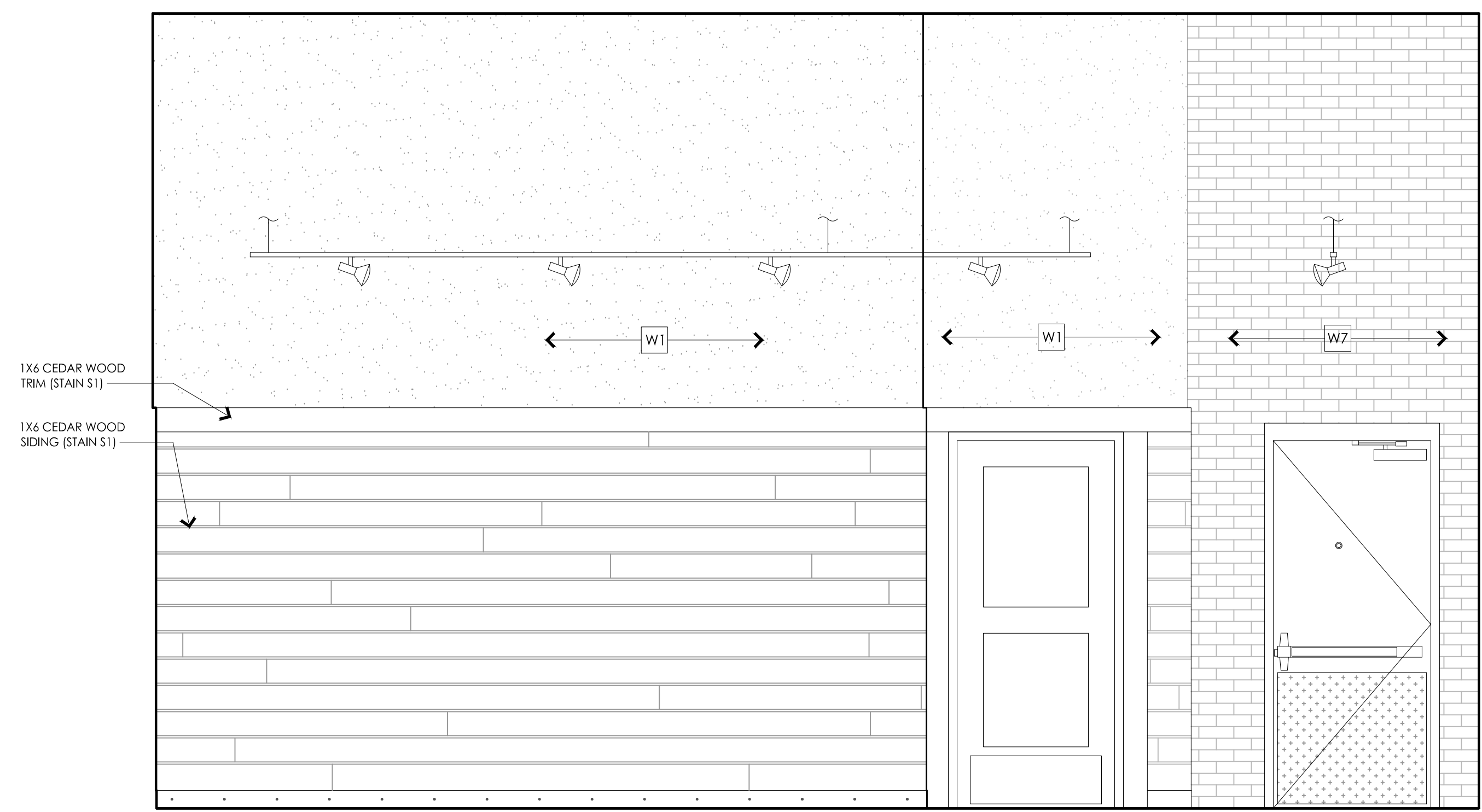
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A.101 Interior Elevation



M
A.101 Interior Elevation



N
A.101 Interior Elevation



O
A.101 Interior Elevation

Client:
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48362
Project:
Renovation

Issued:
8-15-2014 Bank Review

Seal: _____

Note:
Do not scale drawings. Use
calculated dimensions only.
Verify existing conditions in field.

North Arrow: _____

Sheet Title:
Interior
Elevations

Scale:
1/2" = 1'-0"

Project Number:
14-051

Sheet Number:

Client:
Lockharts BBQ
37 E. Flint St.
Lake Orion, MI
48362

Project:
Renovation

Issued:
8-15-2014 Bank Review

Seal:

Note:
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calculated dimensions only.
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North Arrow:

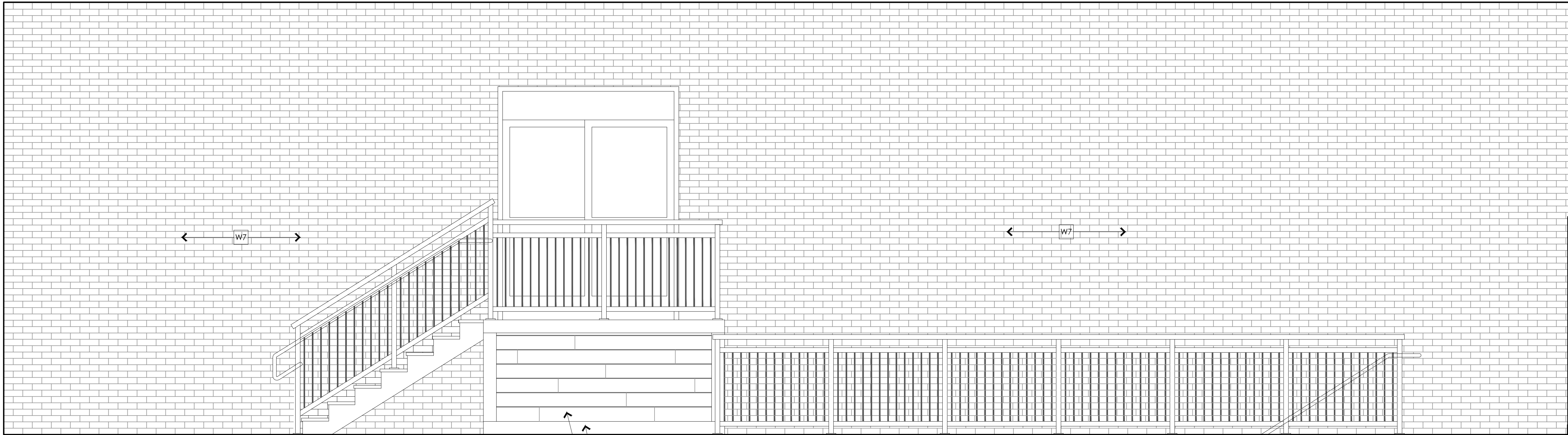
Sheet Title:
Interior
Elevations

Scale:
1/2" = 1'-0"

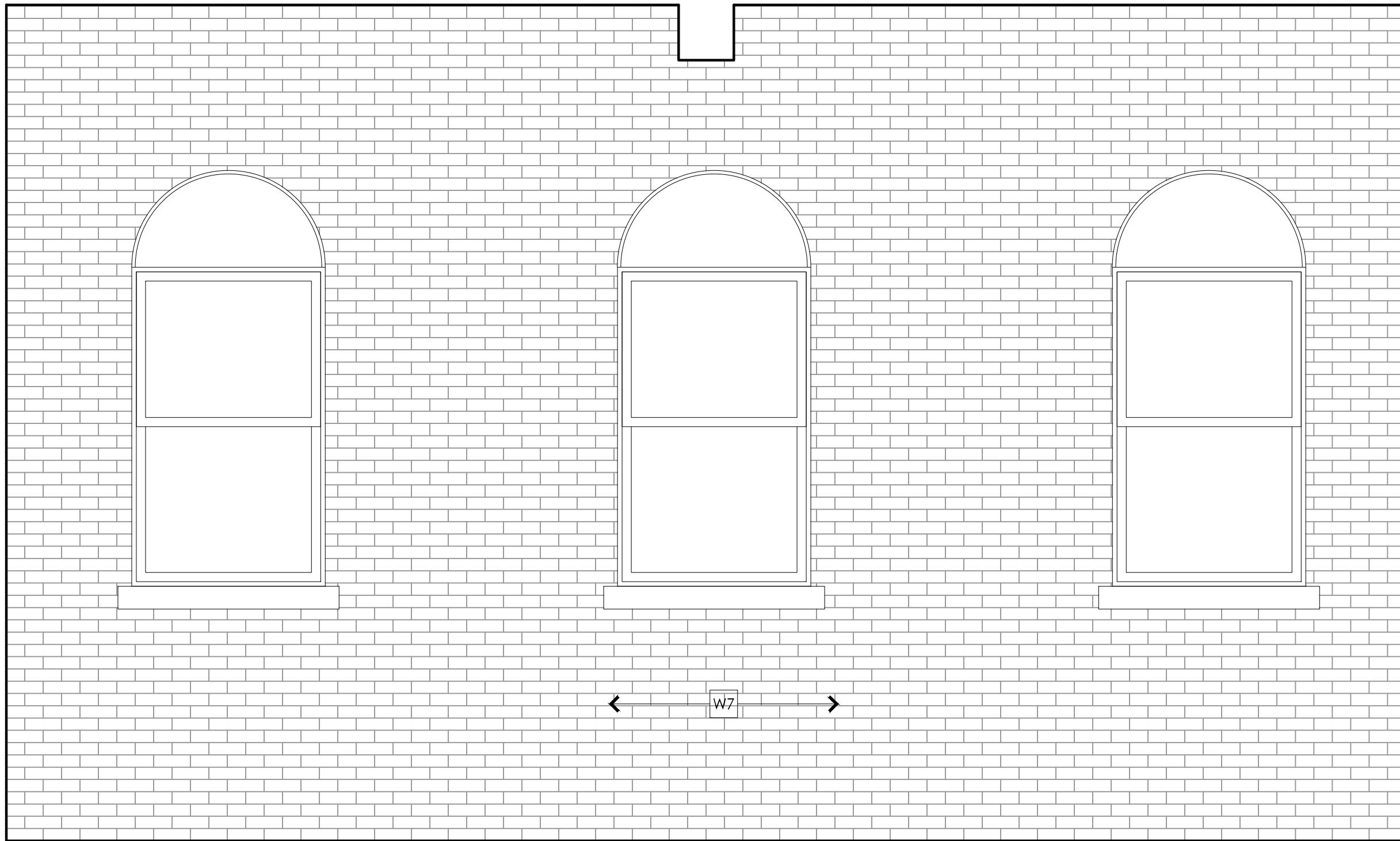
Project Number:
14-051

Sheet Number:

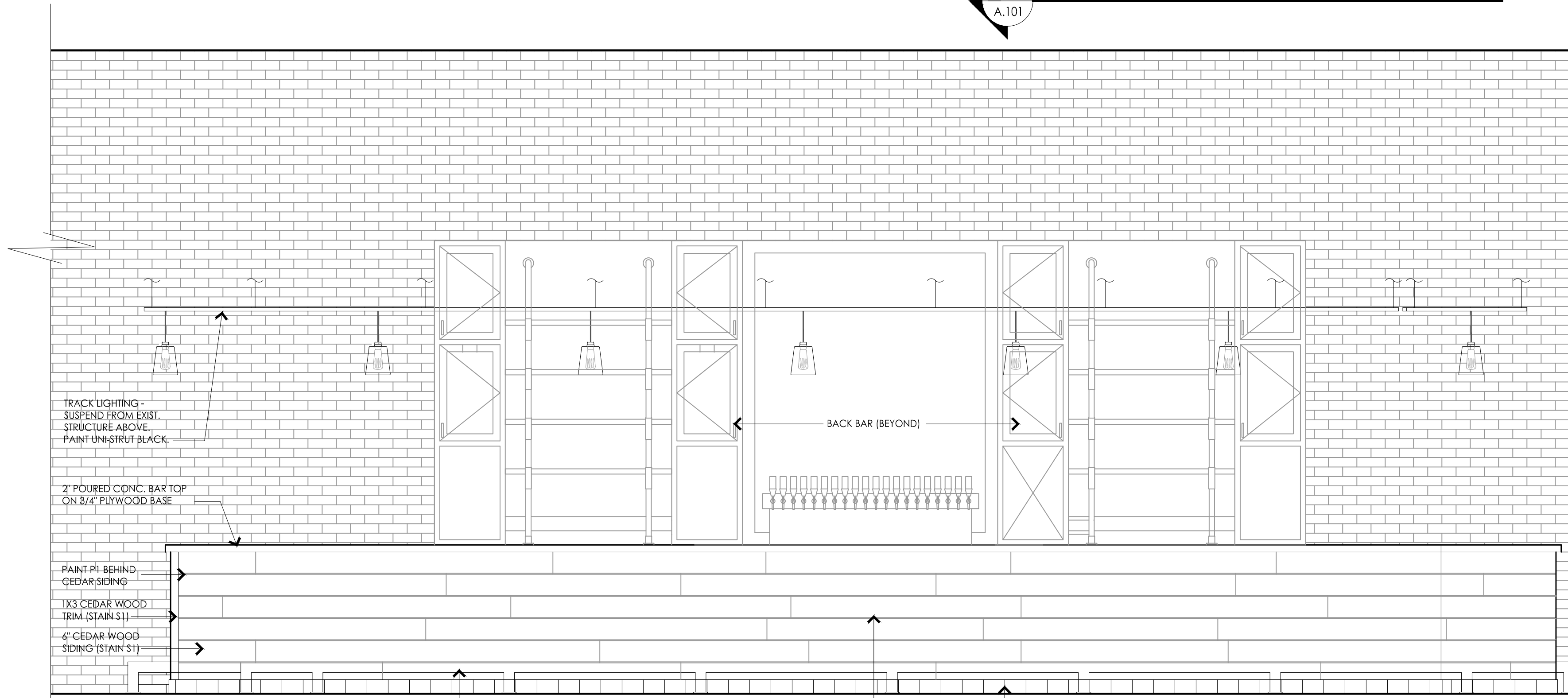
A.504



Interior Elevation



Interior Elevation



Interior Elevation

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Lake Orion, MI
48362

Project:

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Seal:

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North Arrow:

Sheet Title:

Restroom
Elevations

Scale:

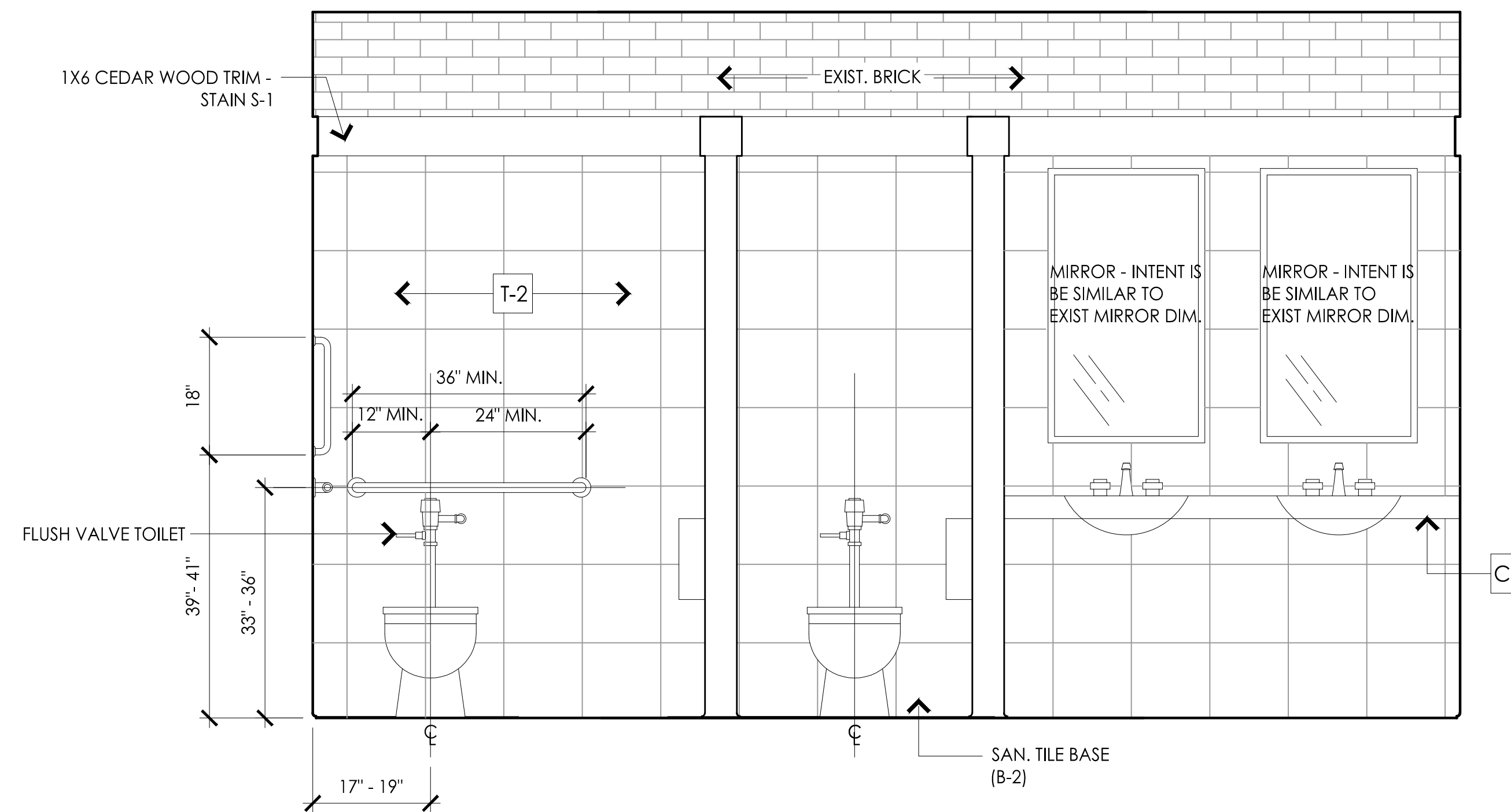
1/2" = 1'-0"

Project Number:

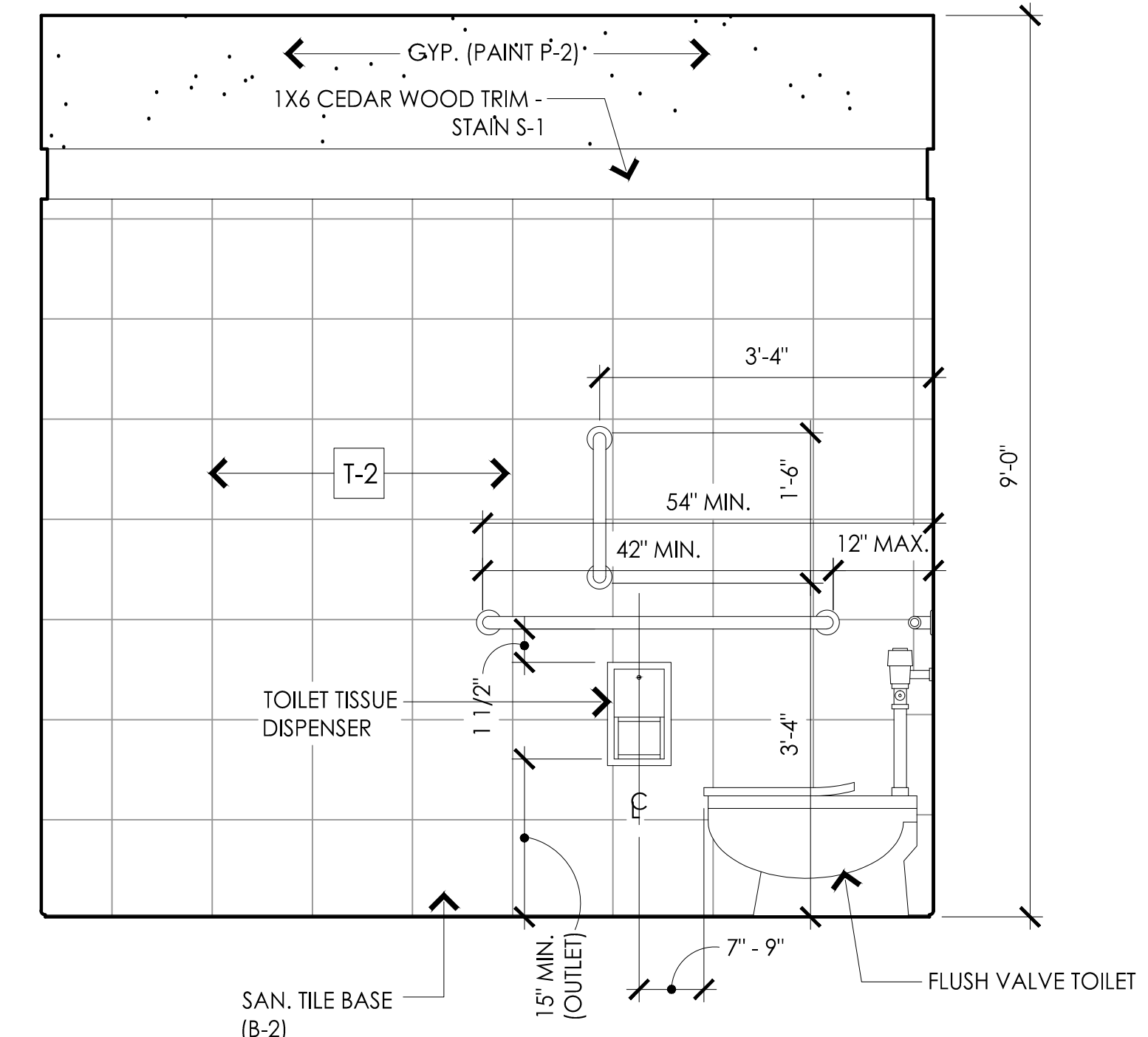
14-051

Sheet Number:

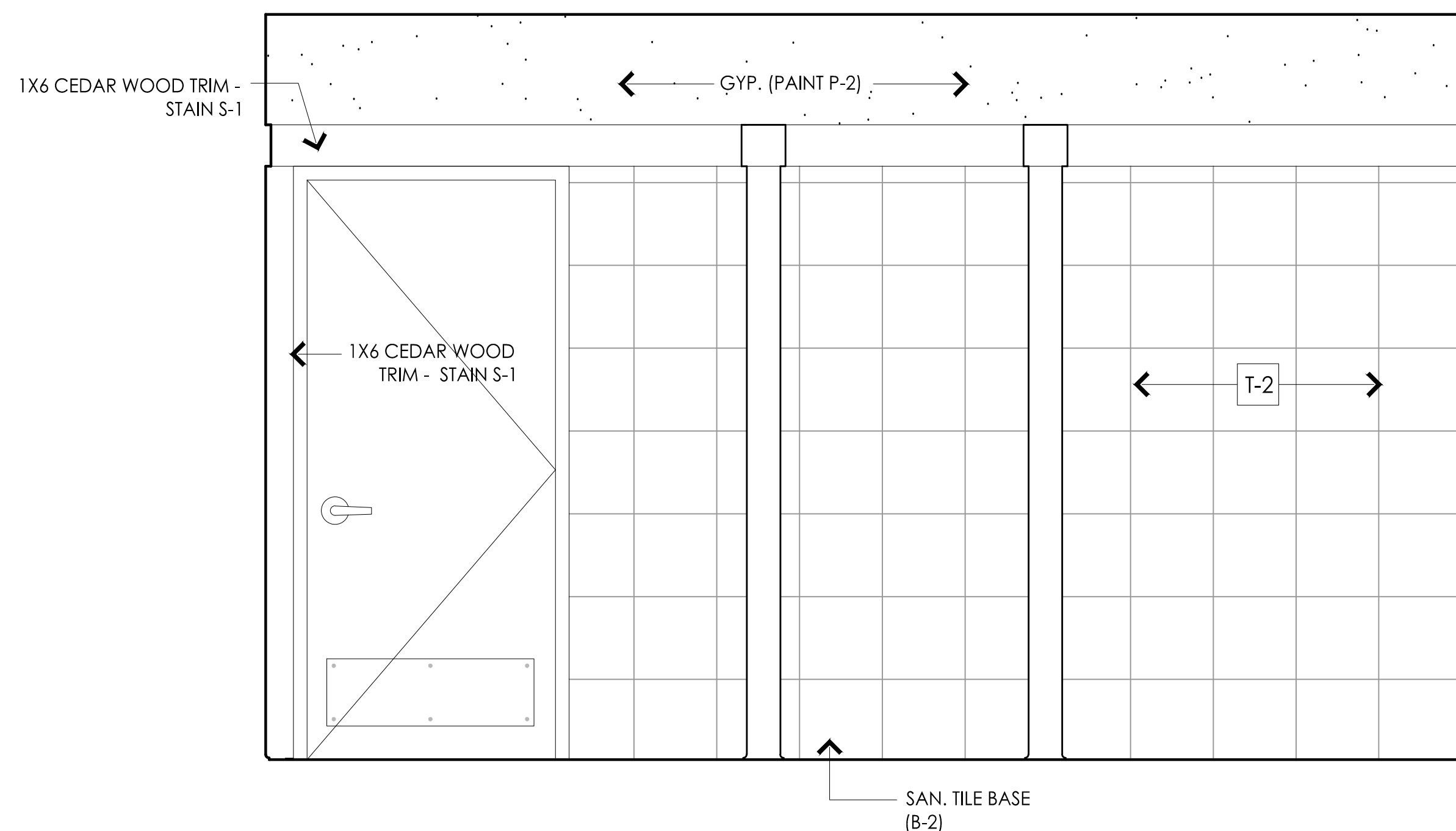
A.505



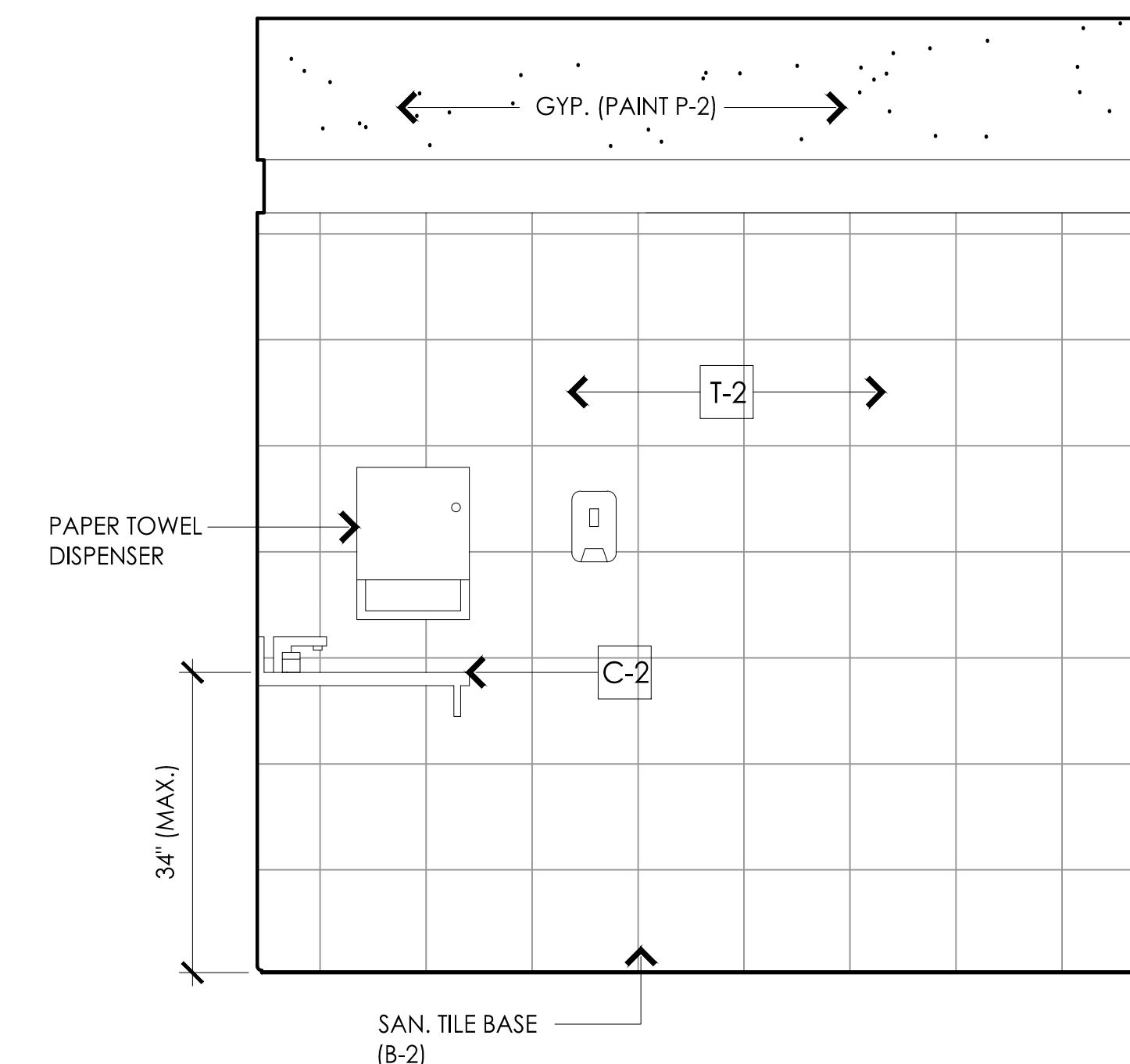
Interior Elevation
R-1
A.102.1



Interior Elevation
R-2
A.102.1



Interior Elevation
R-3
A.102.1



Interior Elevation
R-4
A.102.1

Lockharts BBQ

37 E. Flint St.
Lake Orion, MI
48362

Renovation

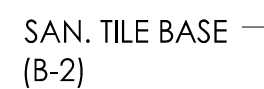
8-15-2014 Bank Review

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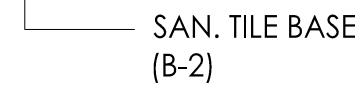
Restroom

$$1/2'' = 1'-0''$$

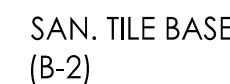
14-051



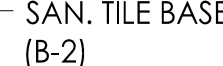
A.102.1



A.102.1



A.102.1



A.102.1

Client:
Lockharts BBQ
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Renovation

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North Arrow:

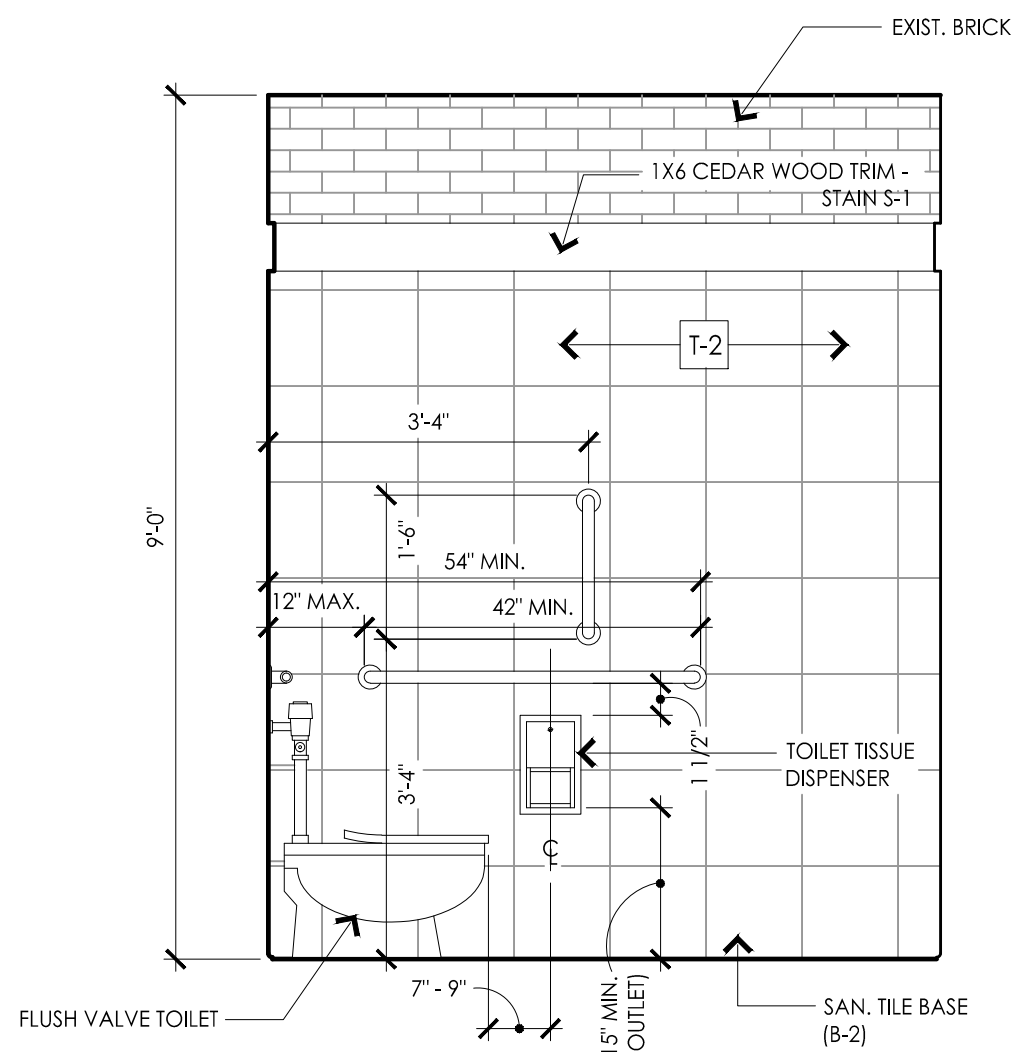
Sheet Title:
Restroom
Elevations

Scale:
1/2" = 1'-0"

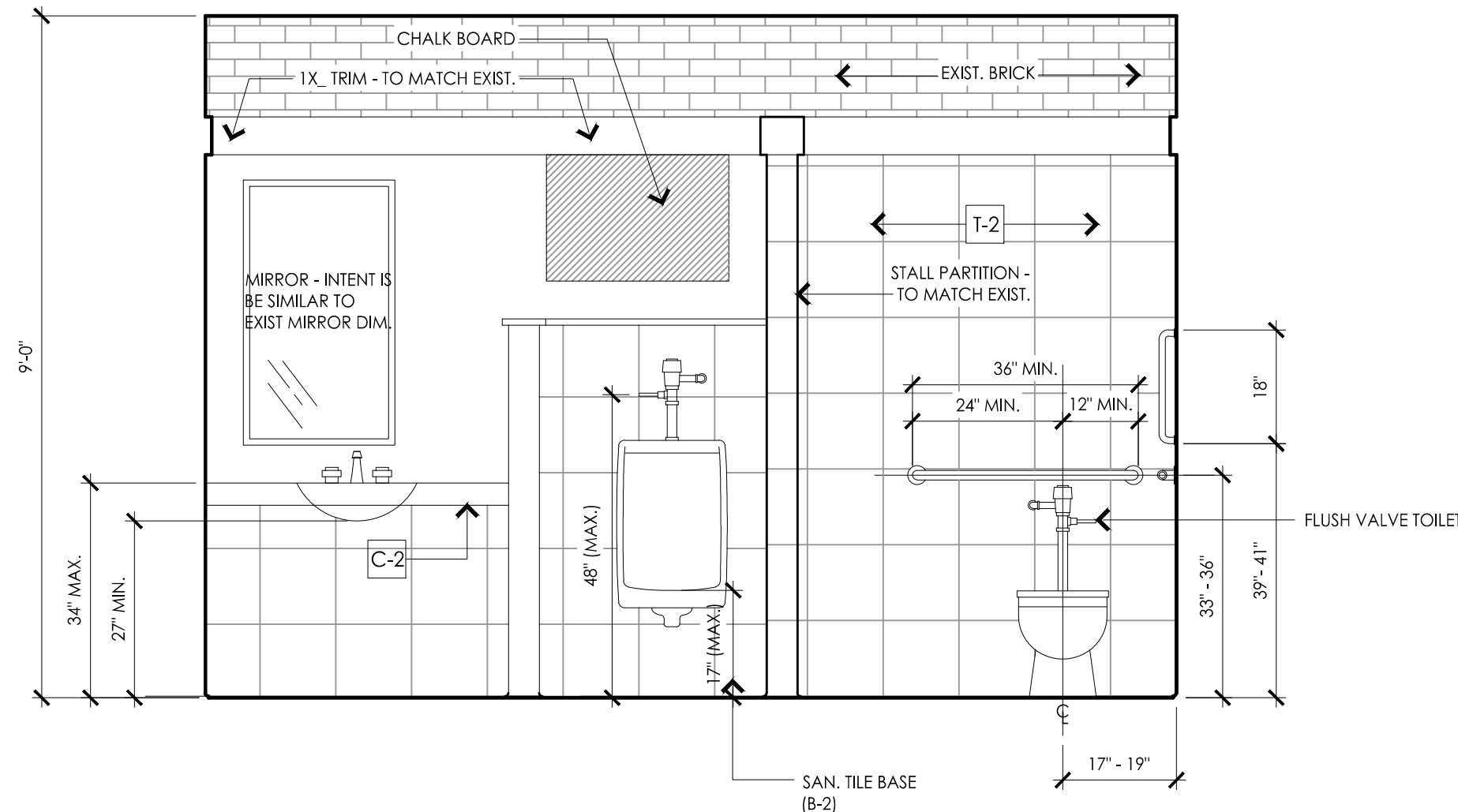
Project Number:
14-051

Sheet Number:

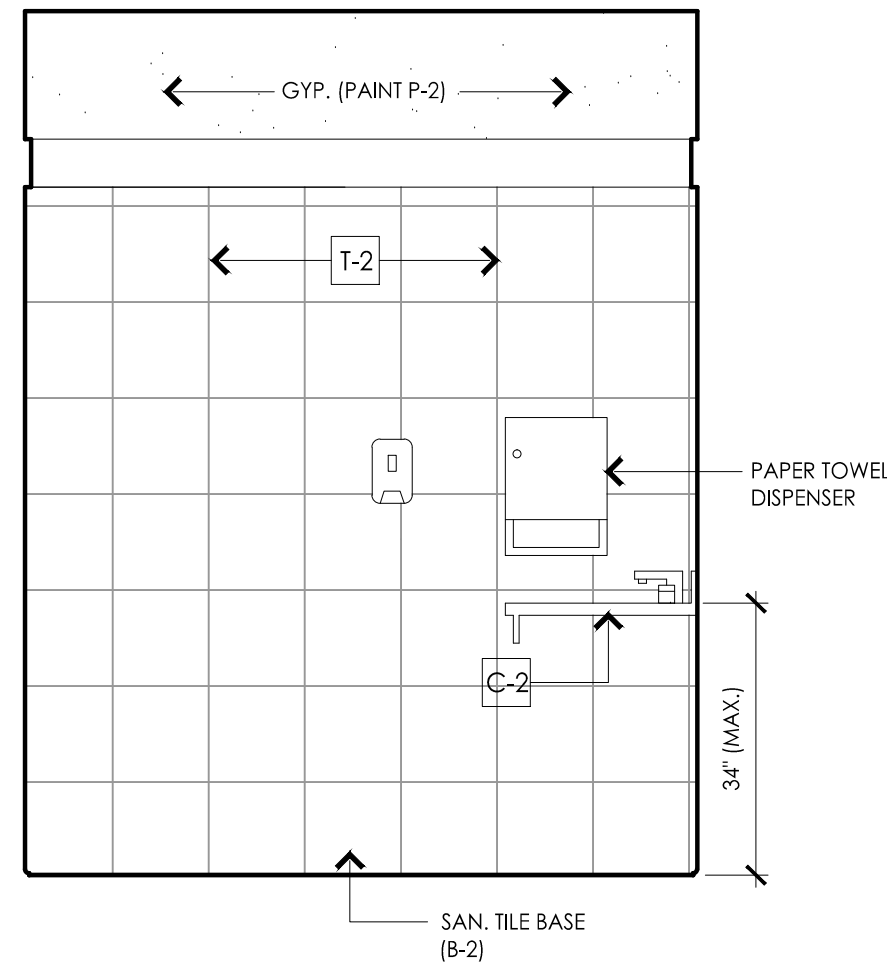
A.507



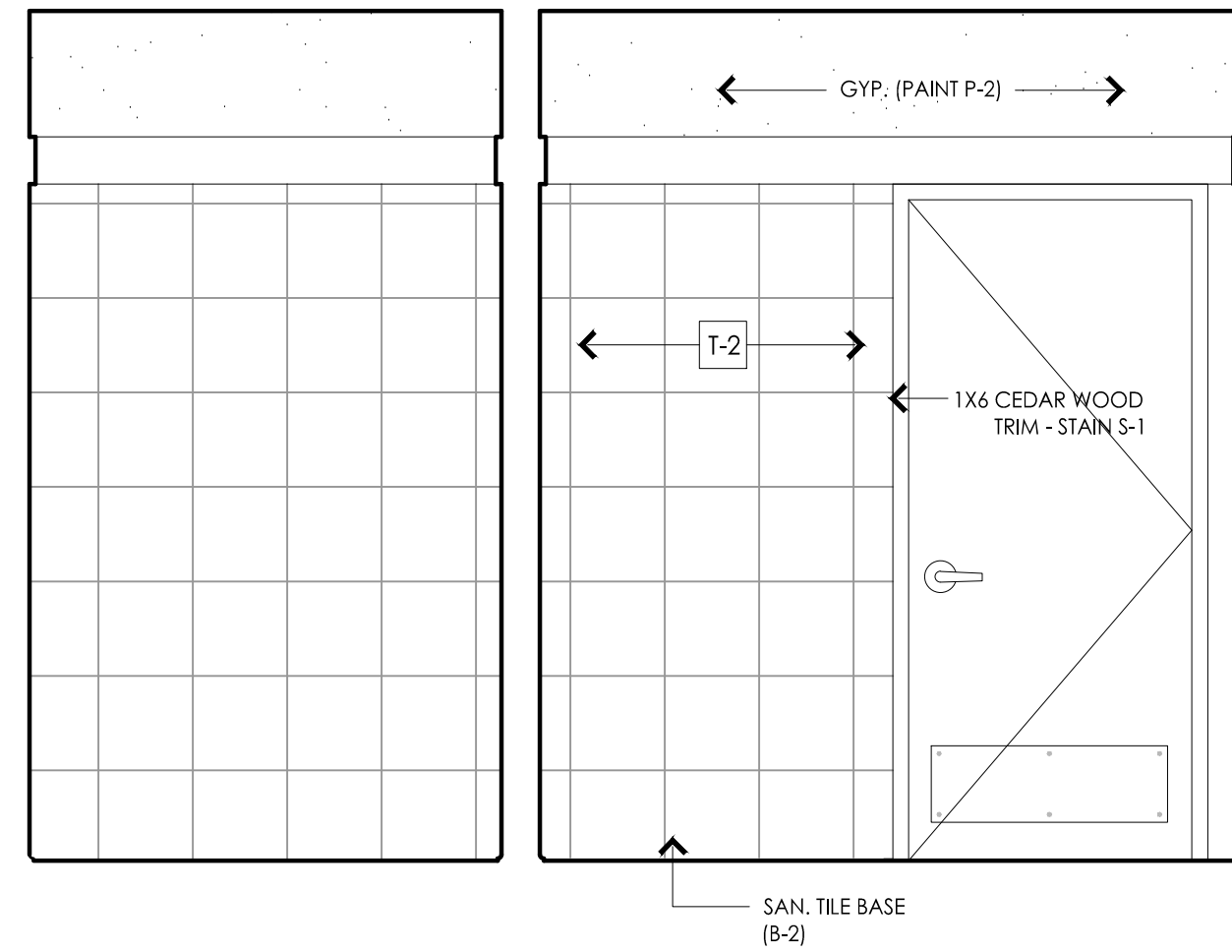
R-9
A.102.1
Interior Elevation



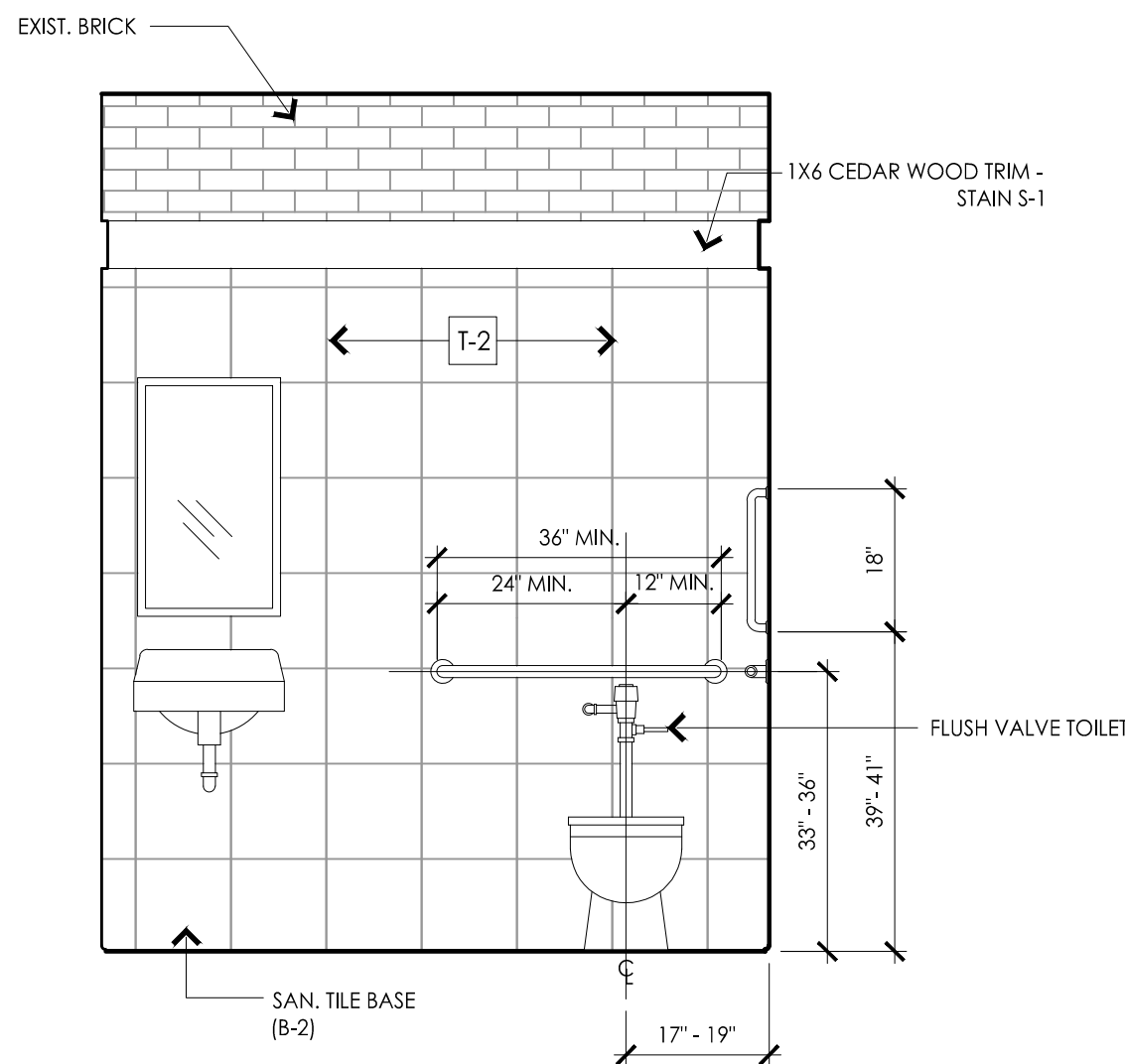
R-10
A.102.1
Interior Elevation



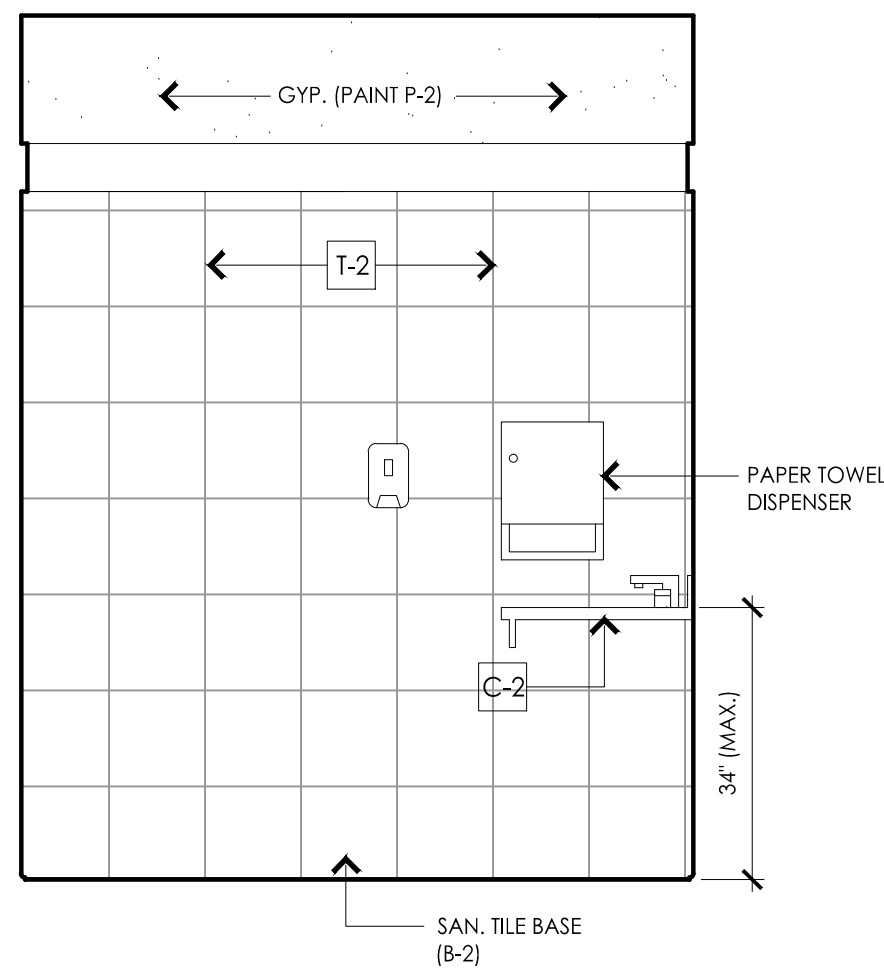
R-11
A.102.1
Interior Elevation



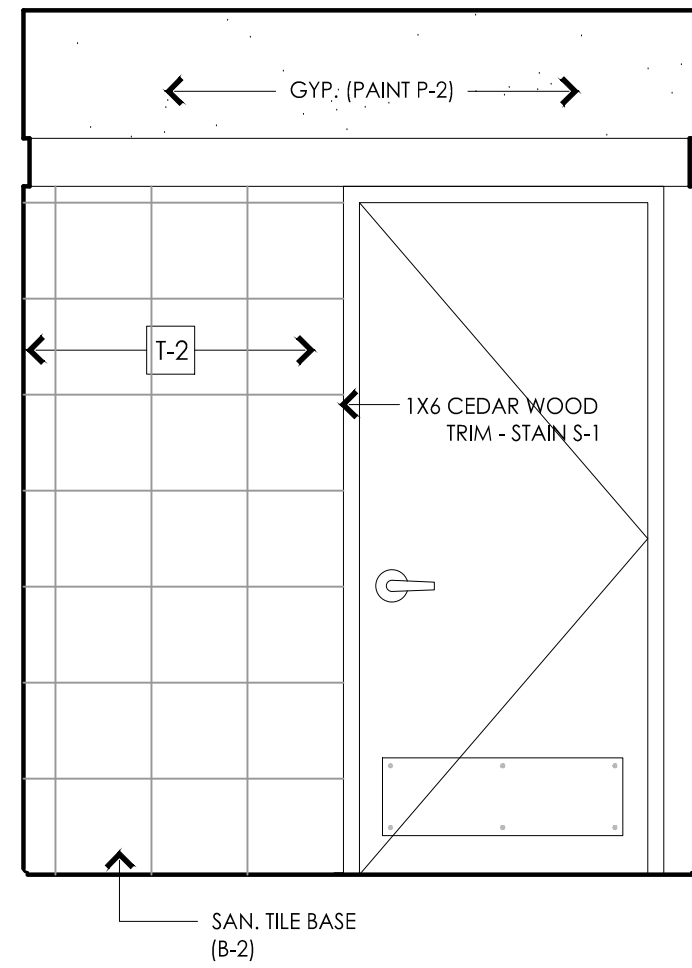
R-12
A.102.1
Interior Elevation



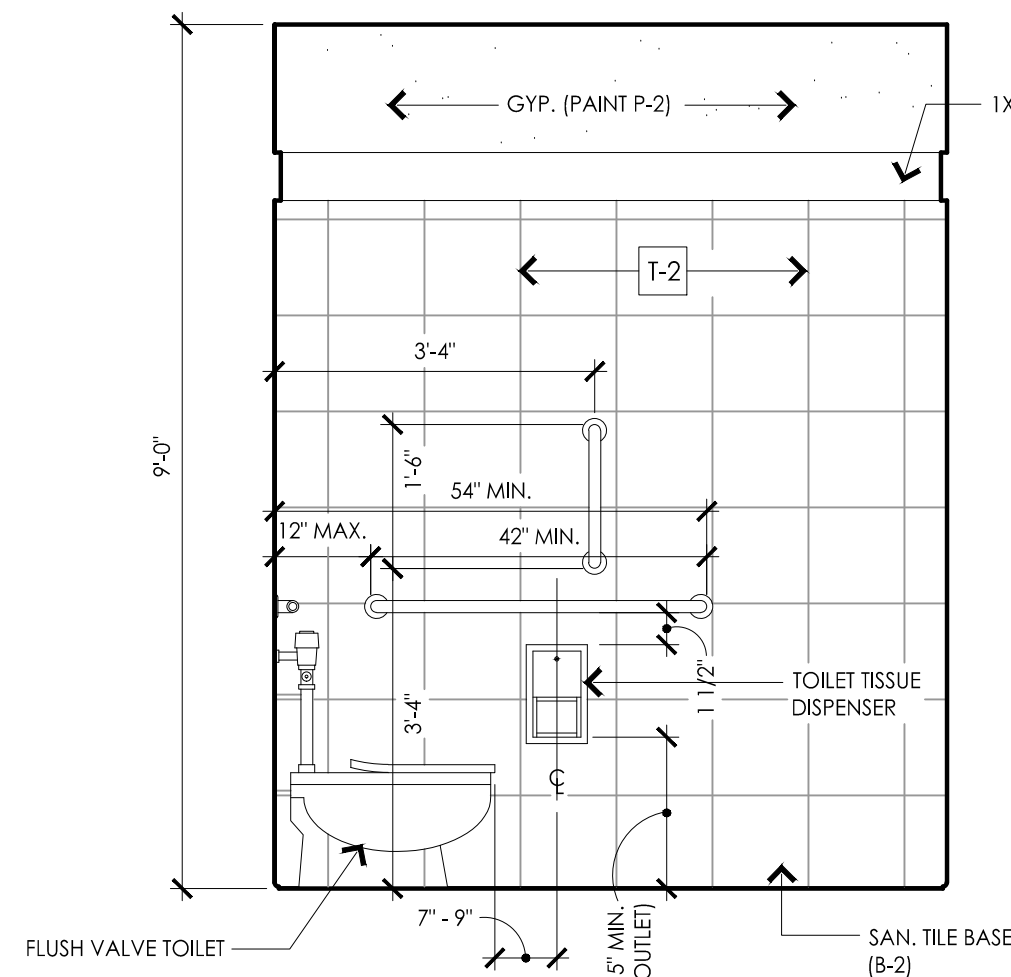
R-13
A.102.1
Interior Elevation



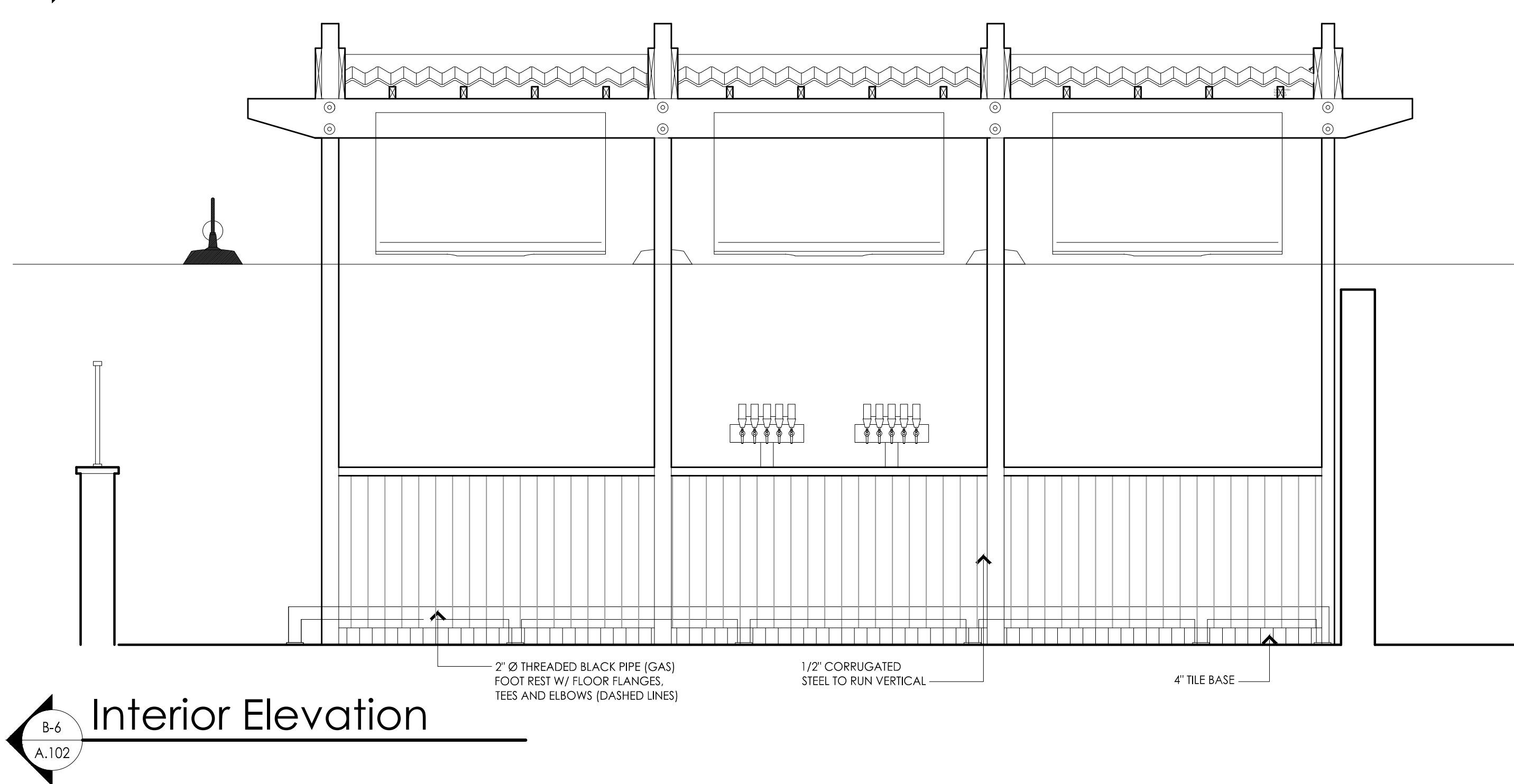
R-14
A.102.1
Interior Elevation



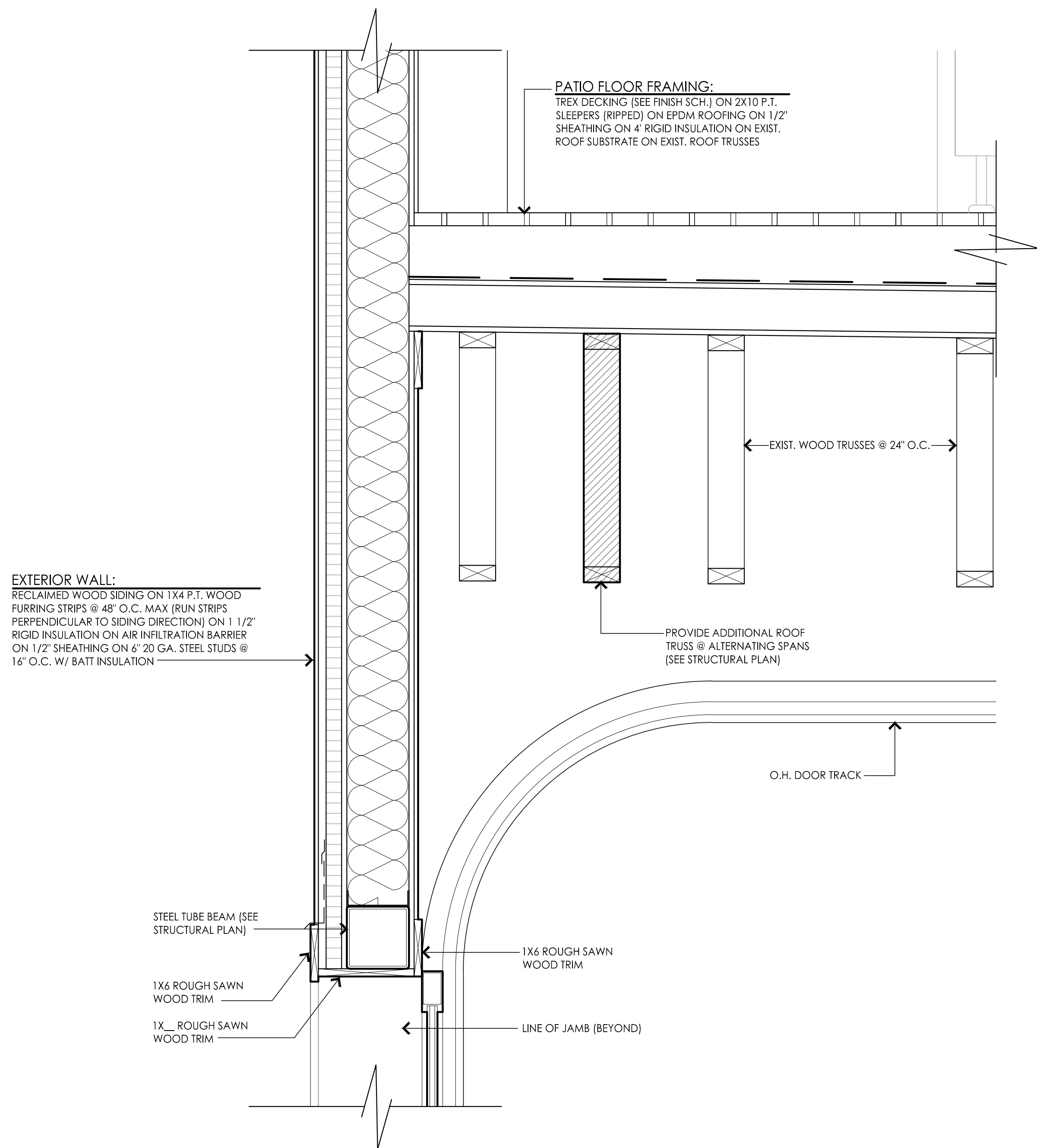
R-15
A.102.1
Interior Elevation



R-16
A.102.1
Interior Elevation



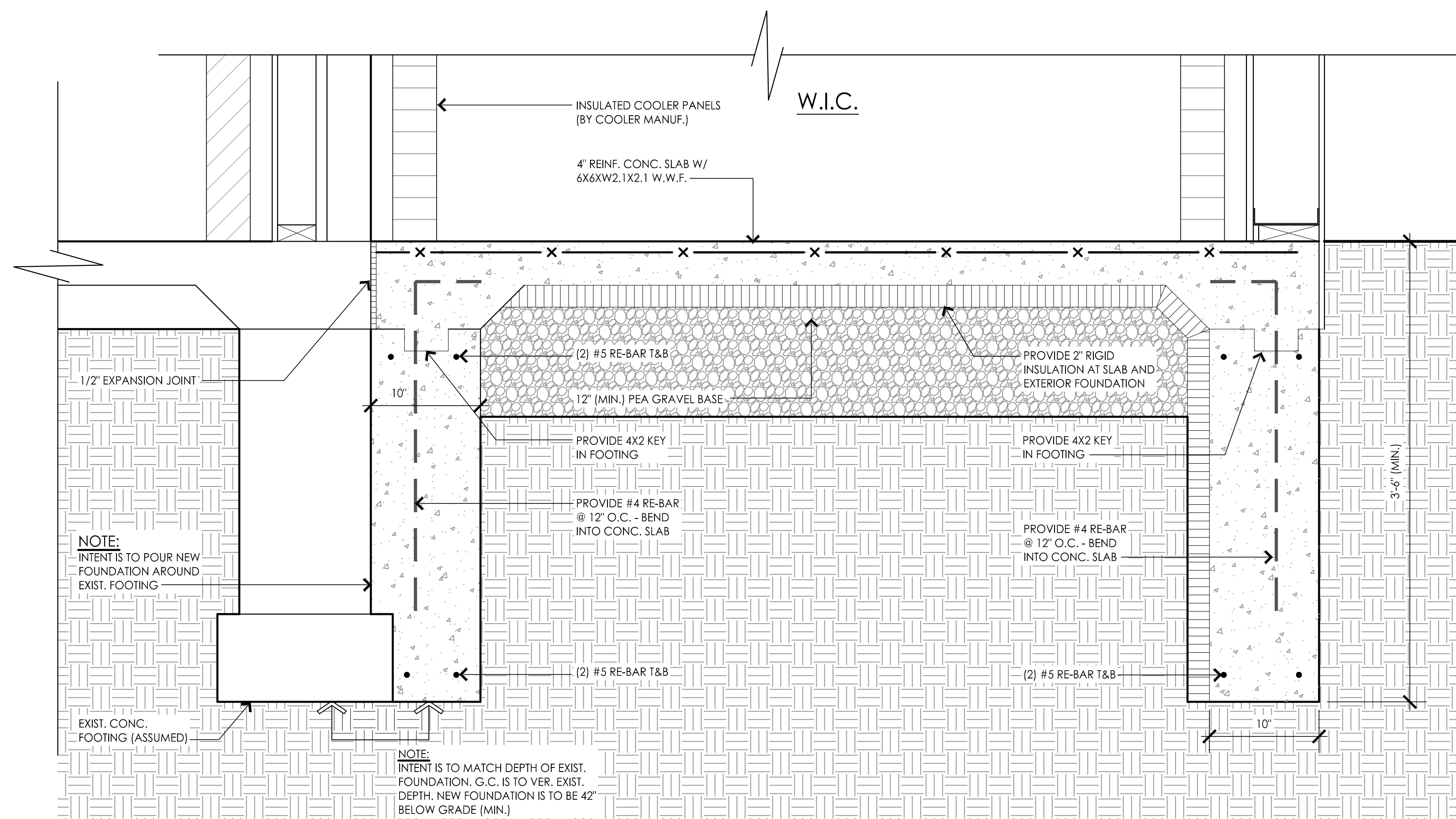
A.509



1
A.400

O.H. Door Head Detail

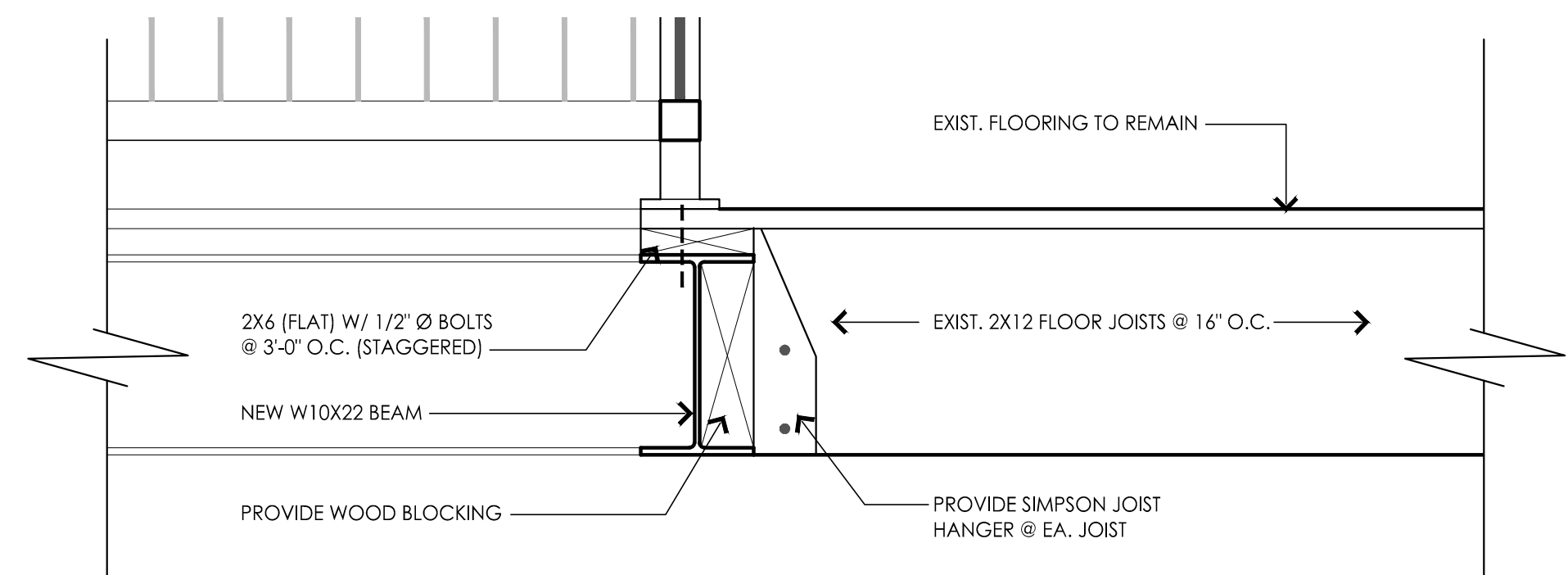
Scale: 1 1/2" = 1'-0"



2
A.400

Detail @ W.I.C. Slab

Scale: 1 1/2" = 1'-0"



3
A.401

Detail @ W.F. Connection

Scale: 1 1/2" = 1'-0"

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North Arrow:

Sheet Title:

Building Details

Scale:

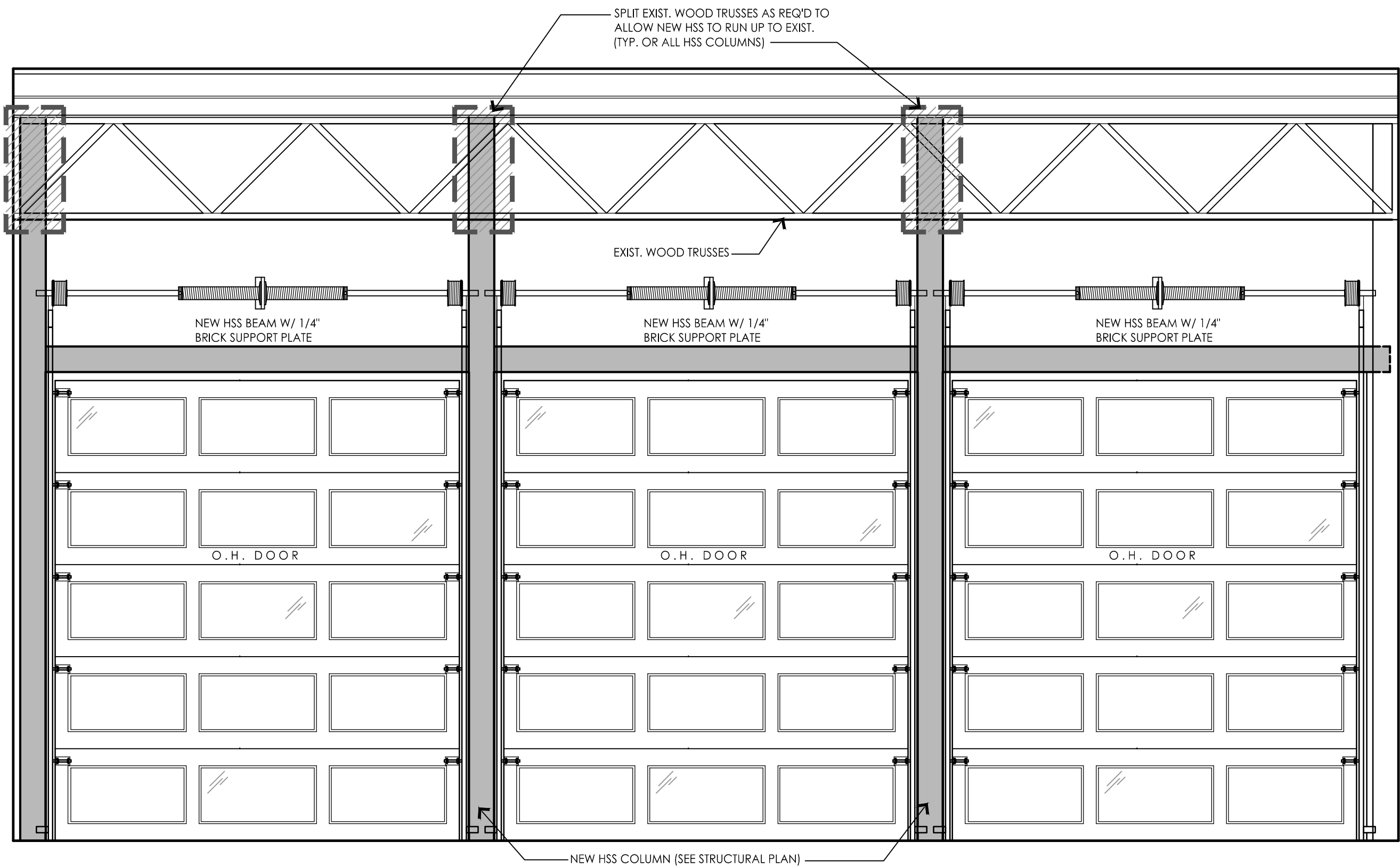
As Noted

Project Number:

14-051

Sheet Number:

A.600

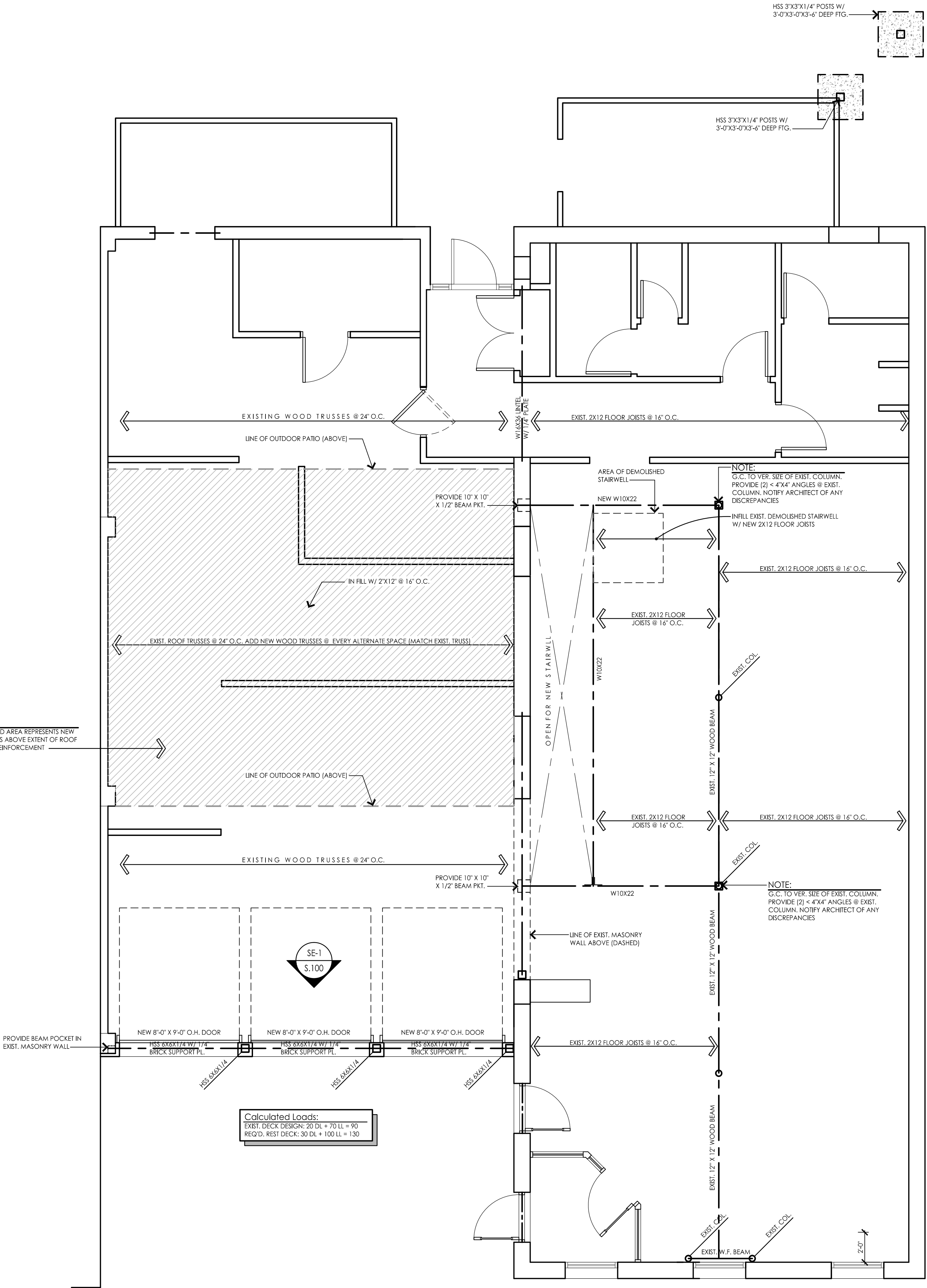


Elevation of O.H. Door Wall

Scale: 1/4" = 1'-0"

| Structural Legend | |
|-------------------|--------------------------------------------------------------------------------------------------------------------|
| | BEARING WALL INDICATES LOAD BRG. WALL (2X6 AS NOTED ON PLAN) |
| | INDICATES POINT LOAD: NO. OF STUDS REFERS TO JACK STUDS. PROVIDE (1) KING STUD FULL HGT. EACH SIDE U.N.O. |
| | PIPE COL. - SIZE AS NOTED ON PLAN |
| | L.V.L. OR LUMBER HEADER |
| | STEEL BEAM |

NOTE:
HATCHED AREA REPRESENTS NEW
SLEEPERS ABOVE EXTENT OF ROOF
TRUSS REINFORCEMENT



First Floor Structural Plan

Scale: 1/4" = 1'-0"

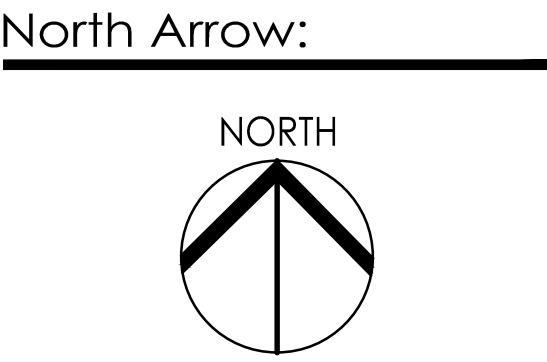
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Seal:

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Sheet Title:
**First Floor
Structural Plan**

Scale:
As Noted

Project Number:
14-051

Sheet Number:
S.100