

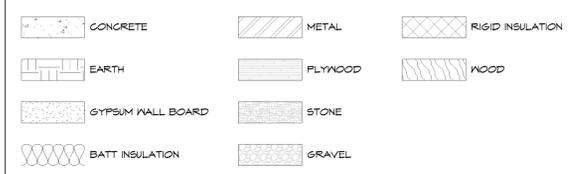
GENERAL NOTES

- CONTACT EACH MUNICIPAL, GOVERNMENTAL, OR PRIVATE UTILITY COMPANIES TO DETERMINE THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION.
- SCHEDULE AND COORDINATE ALL SHUT DOWNS OF EXISTING UTILITIES WITH THE OWNER IN ADVANCE A MINIMUM OF SEVEN (7) DAYS PRIOR TO SHUT DOWN.
- PROVIDE ALL REQUIRED EROSION CONTROL MEASURES PRIOR TO ANY EXCAVATION.
- A CHEMICAL TOILET IS REQUIRED ON-SITE DURING CONSTRUCTION.
- OTHER WORK MAY BE PERFORMED UNDER A SEPARATE CONTRACT AT THE CLIENT'S PROPERTY. COORDINATE WITH ALL OTHER CONTRACTED TRADES SO AS TO NOT INTERFERE WITH THEIR WORK.
- ALL FASTENERS IN CONTACT WITH PRESERVATIVE TREATED WOOD SHALL BE HOT DIPPED GALVANIZED.
- REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL REQUIREMENTS, SIZE, SPACING AND LOCATION OF ALL STRUCTURAL MEMBERS.
- STRICTLY FOLLOW ALL MANUFACTURER'S INSTALLATION INSTRUCTIONS WHEN USING OR INSTALLING PRODUCTS.
- ALL DOOR AND WINDOW DIMENSIONS ARE APPROXIMATE. VERIFY MANUFACTURER SPECIFICATIONS FOR EXACT SIZE.
- USE 5/8" TYPE X GYPSUM WALL BOARD THROUGHOUT. PROVIDE WATER RESISTANT GYPSUM WALL BOARD IN RESTROOMS WITH SHOWERS. PROVIDE FRAMING AT 16" O.C. MAX AT CEILINGS WHERE WATER RESISTANT GYPSUM WALL BOARD IS INSTALLED.
- FIRE BLOCKING SHALL BE PROVIDED IN STUD CAVITIES OVER 10' IN HEIGHT.
- CONTACT DESIGNER OR ENGINEER OF RECORD TO CONFIRM DIMENSIONS IF NOT LISTED.

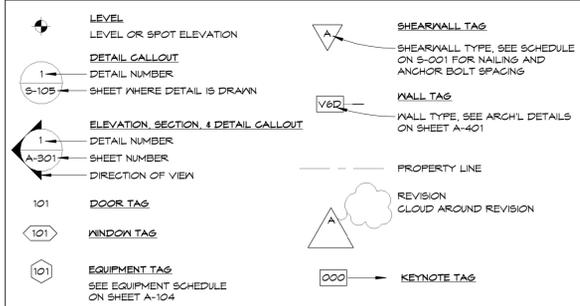
APPLICABLE CODES

2015	(MICHIGAN RESIDENTIAL CODE)
2021	(MICHIGAN BUILDING CODE)
2021	(MICHIGAN PLUMBING CODE)
2021	(MICHIGAN MECHANICAL CODE)
2023	(MICHIGAN ELECTRICAL CODE)

MATERIALS



REFERENCE SYMBOLS



ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR	FC	FRAMING CLIP	NIC	NOT IN CONTRACT	TEL	TELEPHONE
ADJ	ADJACENT	FRP	FIBER REINFORCED PLASTIC	NTS	NOT TO SCALE	TV	TELEVISION
AGG	AGGREGATE	FFL	FINISHED FLOOR LINE	OC	ON CENTER (S)	TEMP	TEMPERED GLAZING
A/C	AIR CONDITIONING	FE	FIRE EXTINGUISHER	OD	OUTSIDE DIAMETER	THK	THICK (NESS)
ALT	ALTERNATE	FD	FLOOR DRAIN	OV	OVEN	TFD	TOILET PAPER DISPENSER
ALUM	ALUMINUM	FTG	FOOTING	OV	OVEN	T&G	TONGUE AND GROOVE
AB	ANCHOR BOLT	FND	FOUNDATION	FEN	PENETRATION	T.O.	TOP OF
ABV	ABOVE	SA	GAUGE	FT	PRESSURE TREATED	TP	TOYEL BAR
ARCH.	ARCHITECT (-JRAL)	GALV	GALVANIZED	FTD	PAPER TOYEL DISPENSER	TYP	TYPICAL
ASPH	ASPHALT	GB	GRAB BAR	FLAM	PLASTIC LAMINATE	UNO	UNLESS NOTED OTHERWISE
BLK	BLOCK	GLB	GULLIAM BEAM	FL	PLATE, PROPERTY LINE	VPB	VAPOR BARRIER
BLKG	BLOCKING	GSN	GENERAL STRUCTURAL NOTES	FLYWD	PLYWOOD	VF	VERIFY IN FIELD
BD	BOARD	GWB	GYPSUM WALL BOARD	PVC	POLYVINYL CHLORIDE	VERT	VERTICAL
BLDG	BUILDING	HND	HARDWOOD	PSF	POUNDS PER SQUARE FOOT	VE	VINYL BASE
CAB.	CABINET	HVAC	HEATING/VENTILATING/A/C	PSI	POUNDS PER SQUARE INCH	VCT	VINYL COMPOSITION TILE
CPT	CARPET (ED)	HSS	HOLLOW STRUCTURAL STEEL	QT	QUARRY TILE	VF	VINYL FABRIC
CLG	CEILING	HB	HOSE BIBB	RCA	RAISED CENTER AISLE	VT	VINYL TILE
CL	CENTERLINE	ID	INSIDE DIAMETER	REF	REFRIGERATOR	VNC	VINYL WALL COVERING
CT	CERAMIC TILE	INSUL	INSULATE (D), (IG)	REIN	REINFORCE (D), (NS)	WC	WATER CLOSET
CO	CLEANOUT	INT	INTERIOR INVERT	REQD	REQUIRED	WRB	WATER RESISTANT BARRIER
COL	COLUMN	KIT.	KITCHEN	ROM	RIGHT OF WAY	WH	WATER HEATER
CONC	CONCRETE	LAM.	LAMINATE (D)	RM	ROOM	WP	WATERPROOFING
CMU	CONCRETE MASONRY UNIT	LAV	LAVATORY	RB	RUBBER BASE	WAF	WELDED WIRE FABRIC
CJ	CONTROL JOINT	LH	LEFT HAND	RBT	RUBBER TILE	W	W
CONT	CONTINUOUS OR CONTINUE	LF	LINEAR FEET	SCH	SCHEDULE	W/D	WINDOW
CF	CUBIC FOOT	LVL	LAMINATED VENEER LUMBER	SEC	SEALER (CONCRETE SEALER)	W/O	WITHOUT
CY	CUBIC YARD	LSL	LAMINATED STRAND LUMBER	SECT	SECTION	WB	WOOD BASE
DEMO	DEMOLISH	MH	MANHOLE	SHT	SHEET	WD	WOOD
DET	DETAIL	MFR	MANUFACTURE (ER)	SHT	SHEET VINYL	WP	WORKING POINT
DIA	DIAMETER	MAT.	MATERIAL (S)	SM	SIMILAR		
DN	DOWN	MAX.	MAXIMUM	SC	SOLID CORE		
DS	DOYNSPOUT	MECH	MECHANICAL (-LY)	SPEC.	SPECIFICATION (S)		
DW	DISHWASHER	MTL	METAL	SF	SQUARE FEET		
ELEC	ELECTRIC (AL)	MM	MILLIMETER (S)	SQ	SQUARE		
EQ	EQUAL	MIN.	MINIMUM	SS	STAINLESS STEEL		
EQUIP	EQUIPMENT	MISC	MISCELLANEOUS	STD	STANDARD		
EN	EDGE NAIL			STL	STEEL		
EX	EXISTING			SD	STORM DRAIN		
				SUSP	SUSPENDED		
				SN	SHEAR WALL		
				SN	STEP IN WALL		

AREA - CONDITIONED SPACE	
NOTE: CONDITIONED SPACE MEASURED FROM EXTERIOR SURFACES OF EXTERIOR FRAMING & HEAD CLEARANCE ABOVE 48"	
CONDITIONED	960 SF
RETAIL	192 SF
SERVICE	192 SF
GRAND TOTAL	1152 SF

SHEET INDEX

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A-002	3D EXTERIOR VIEWS
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A-101	MAIN LEVEL FLOOR PLAN
A-102	ROOF PLAN
A-103	SCHEDULES
A-201	ELEVATIONS
A-301	SECTIONS

PROJECT DESCRIPTION

EXAMPLE PROJECT DESCRIPTION

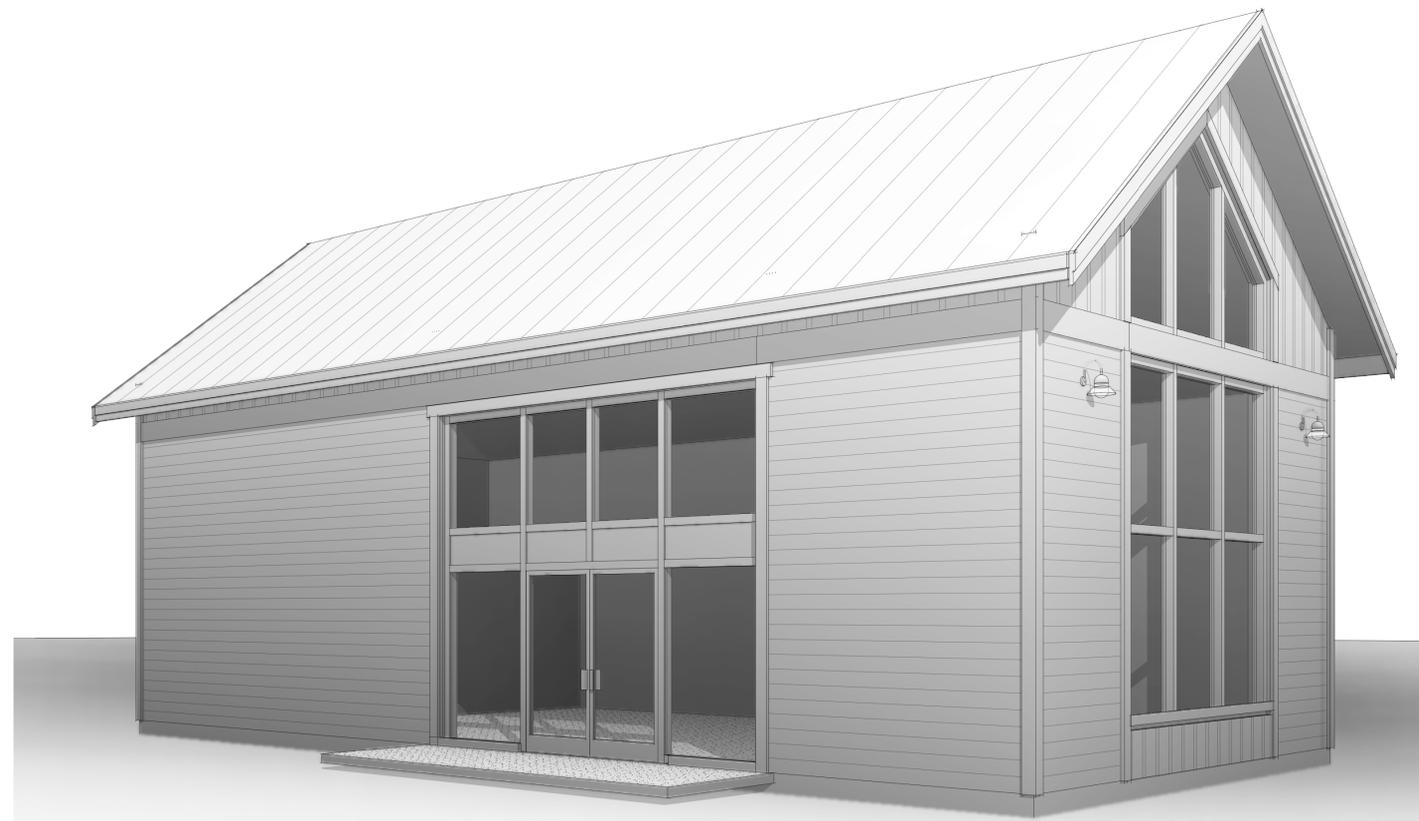
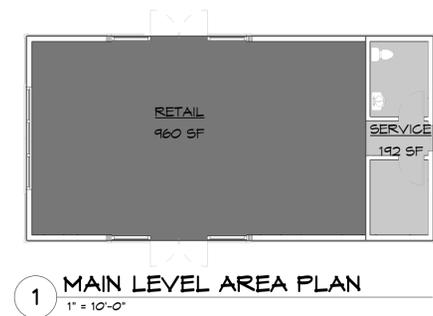
PROJECT DIRECTORY

OWNER
LAKE ORION DOWNTOWN DEVELOPMENT AUTHORITY
CONTACT: MATT GIBB
E: GIBB@DOWNTOWNLAKEORION.ORG

CONTRACTOR
REGISTERED DESIGN PROFESSIONAL
CUSHING TERRELL
2140 SW JEFFERSON ST., SUITE 200
PORTLAND, OR 97201
CONTACT: JACOB BAGLIEN, P.E.
503.948.1224
JACOB@BAGLIEN@CUSHINGTERRELL.COM

LAKE ORION DDA STILLWATER 1

215 SOUTH BROADWAY
LAKE ORION, MI



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STILLWATER
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215 SOUTH
BROADWAY
LAKE ORION, MI

TITLE SHEET
& GENERAL
NOTES

A-001

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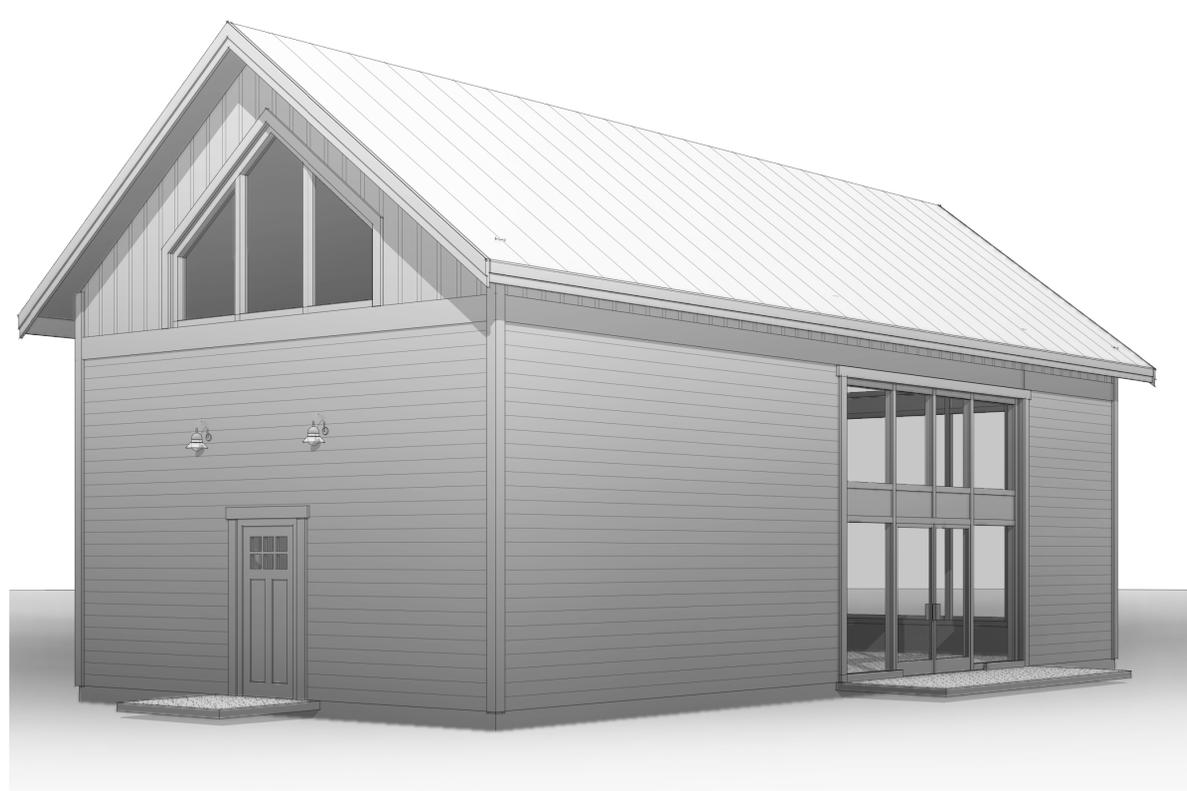
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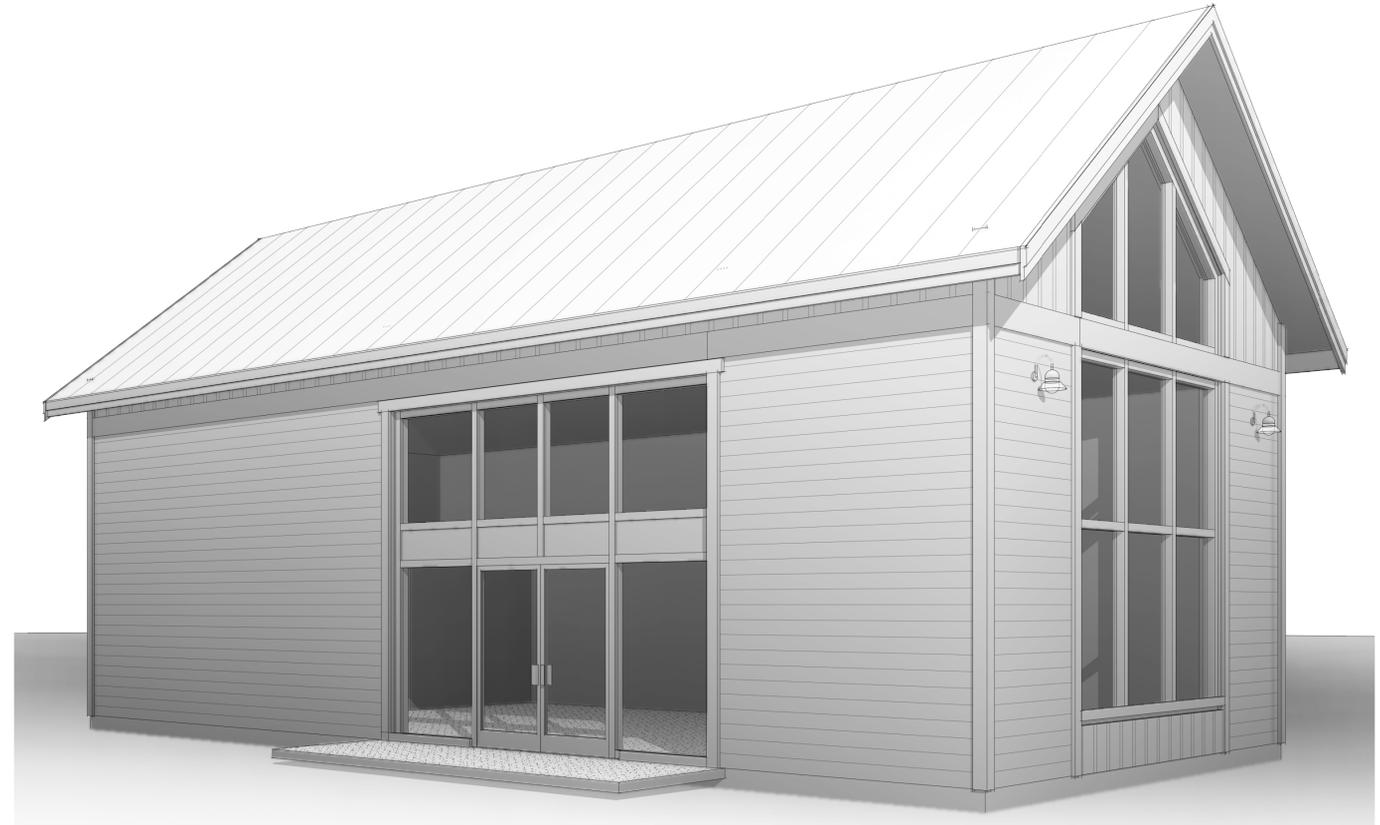
1 3D EXTERIOR VIEW A



2 3D EXTERIOR VIEW B



3 3D EXTERIOR VIEW C



4 3D EXTERIOR VIEW D

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 LAKE ORION, MI

3D
 EXTERIOR
 VIEWS

A-002

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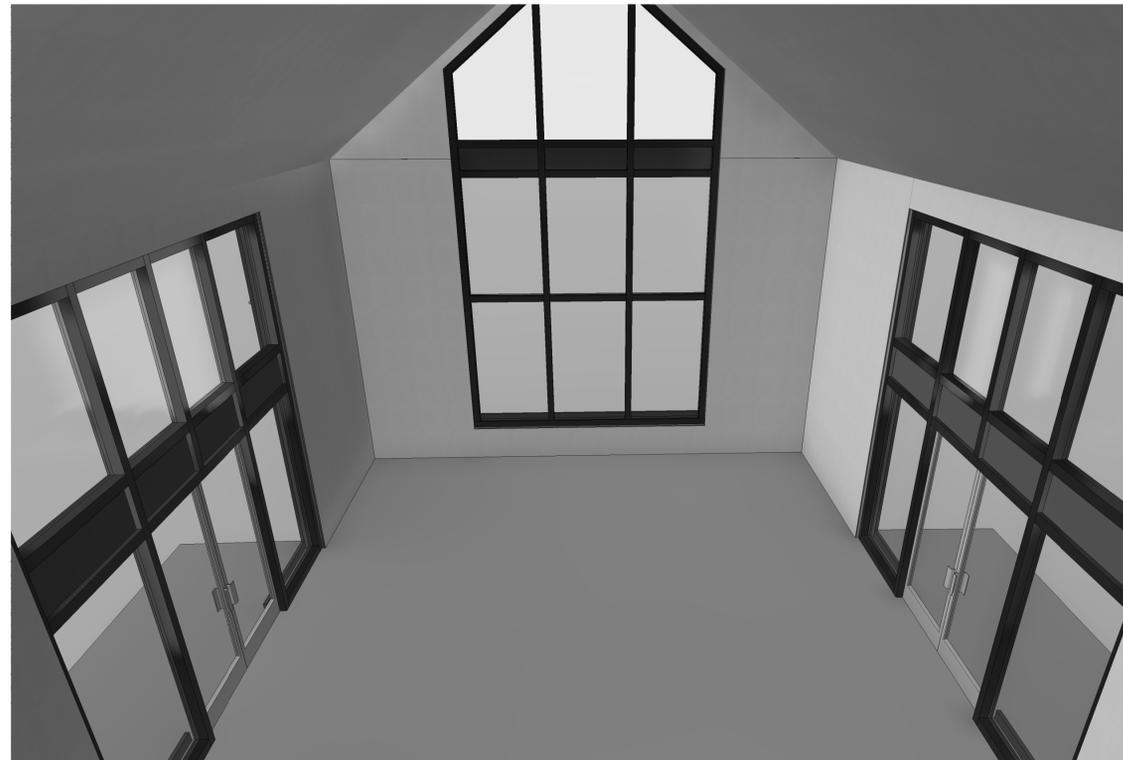
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1 3D INTERIOR VIEW 1



2 3D INTERIOR VIEW 2



3 3D INTERIOR VIEW 3



4 3D INTERIOR VIEW 4

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3D INTERIOR
 VIEWS

A-003

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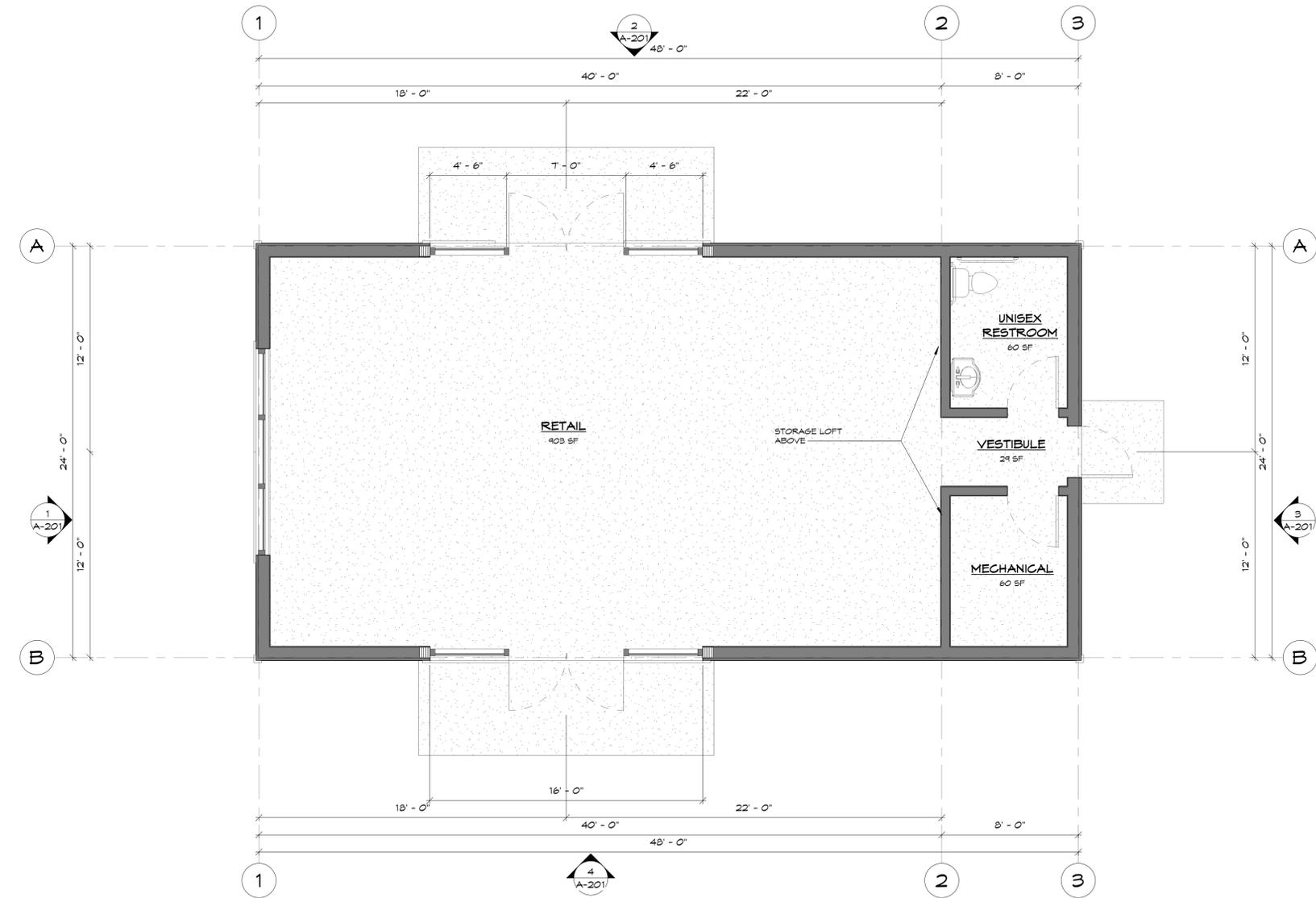
215 SOUTH
BROADWAY
LAKE ORION, MI

MAIN LEVEL
FLOOR PLAN

A-101

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AREA - CONDITIONED SPACE	
NOTE: CONDITIONED SPACE MEASURED FROM EXTERIOR SURFACES OF EXTERIOR FRAMING & HEAD CLEARANCE ABOVE 48"	
CONDITIONED	
RETAIL	903 SF CONDITIONED
SERVICE	192 SF CONDITIONED
GRAND TOTAL	1152 SF



1 MAIN LEVEL
1/4" = 1'-0"

Room Schedule - Level							
NOTE: ROOM AREA MEASURED FROM INTERIOR OF STUD WALL OR USEABLE SPACE.							
Number	Name	Area	Floor Finish	Wall Finish	Material	Ceiling	Height
GROUND LEVEL							
1	RETAIL	903 SF				G/NB	24' x 24' +/-
5	MECHANICAL	60 SF				G/NB	
6	PATIO	Not Enclosed				G/NB	
104	UNISEX RESTROOM	60 SF				G/NB	
105	VESTIBULE	29 SF					
		1052 SF					

Window Schedule - Level									
SEE SCHEDULES SHEET FOR WINDOW TYPES AND COMPLETE SCHEDULE									
Mark	Type	Rough Opening	Head Height	Sill Height	Operation	Provided By	Comments		
		Width	Height	(BTM of HDR)	(TOP of SILL)				

Door Schedule - Level						
SEE SCHEDULES SHEET FOR DOOR TYPES AND COMPLETE SCHEDULE						
Mark	Type	Width	Height	Operation	Provided By	Comments
GROUND LEVEL						
106	A	3' - 0"	6' - 0"			
108	C	3' - 0"	6' - 0"			
109	E	6' - 0 1/2"	T - 0"			
110	A	3' - 0"	6' - 0"			
111	E	6' - 0 1/2"	T - 0"			

KEYNOTES	

FLOOR PLAN GENERAL NOTES

- NOTES APPLY TO SHEET(S) X-XXX, X-XXX, AND X-XXX ONLY.
1. -
 2. REFERENCE SHEET A-104 FOR COMPLETE WINDOW & DOOR SCHEDULES.
 3. REFERENCE SHEET A-101 FOR WALL TYPES AND DETAILS.

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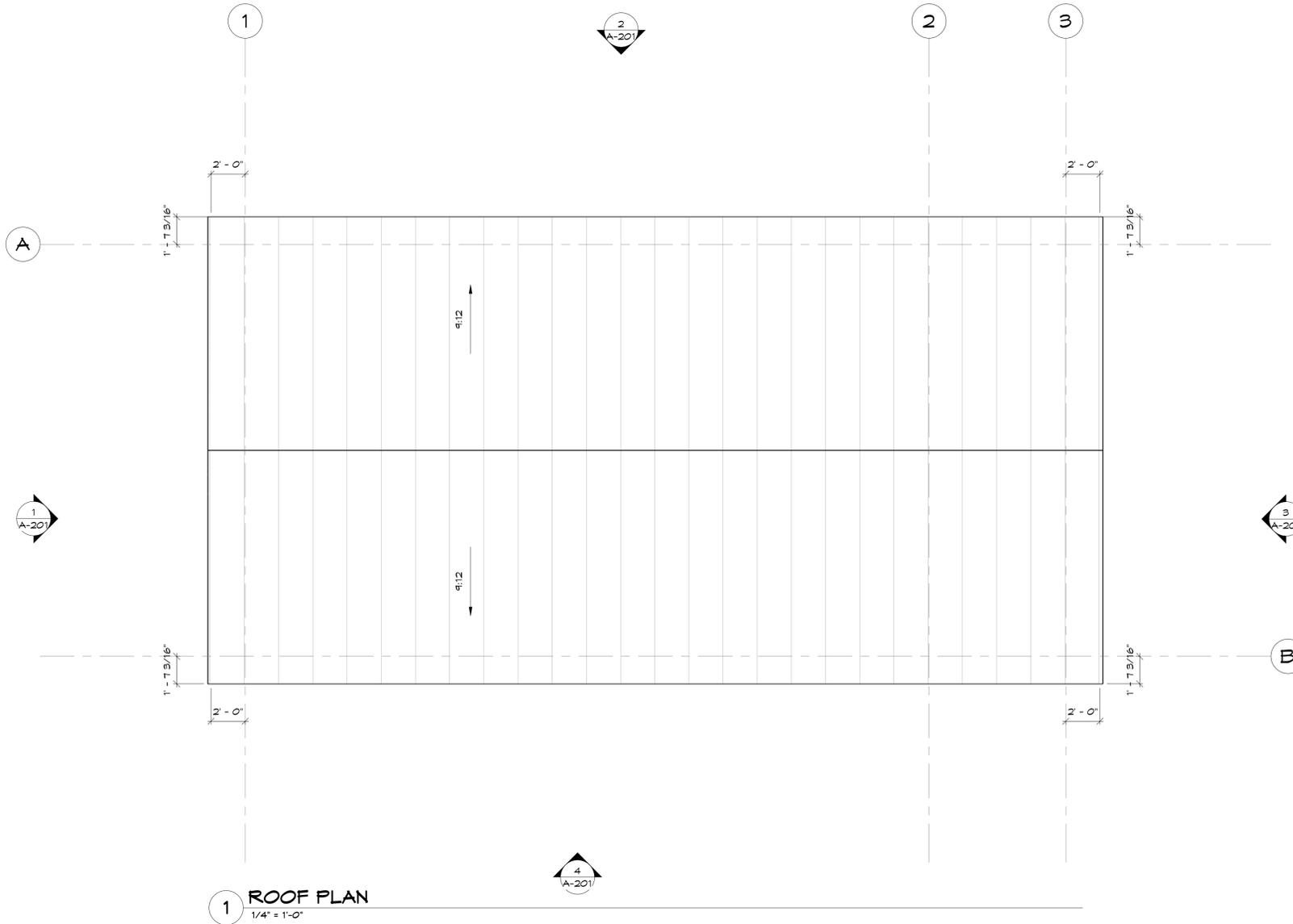
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LAKE ORION, MI

ROOF PLAN

A-102



1 ROOF PLAN
1/4" = 1'-0"

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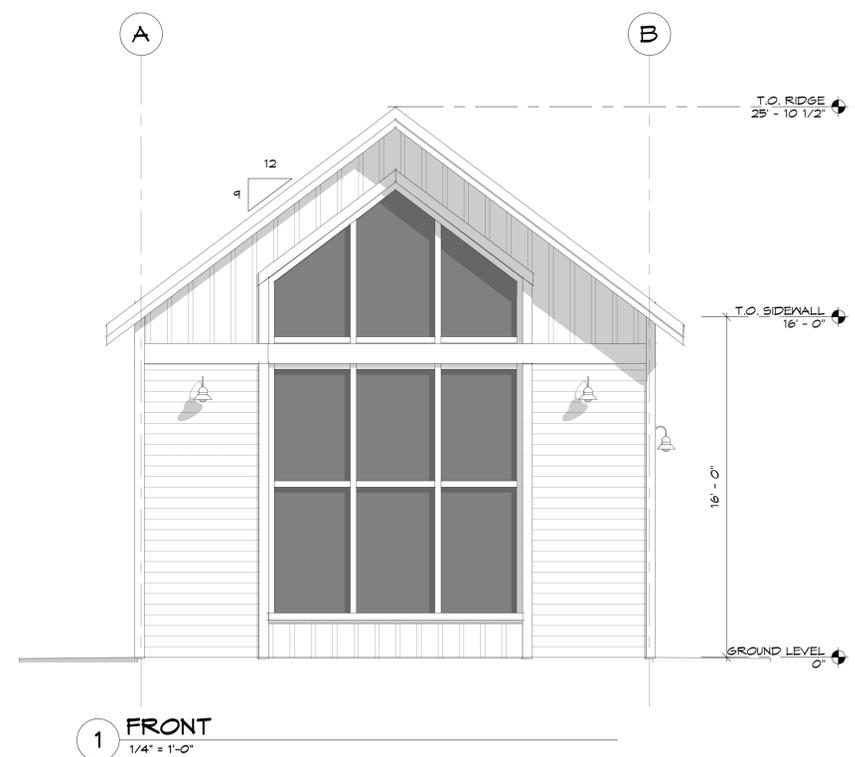
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LAKE ORION, MI

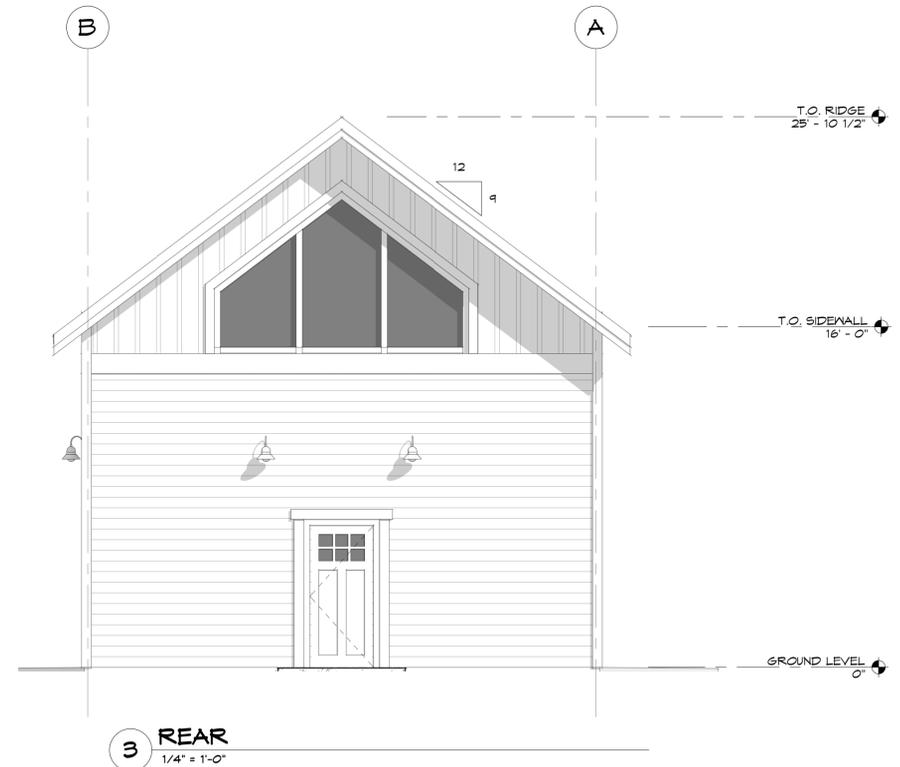
ELEVATIONS

A-201

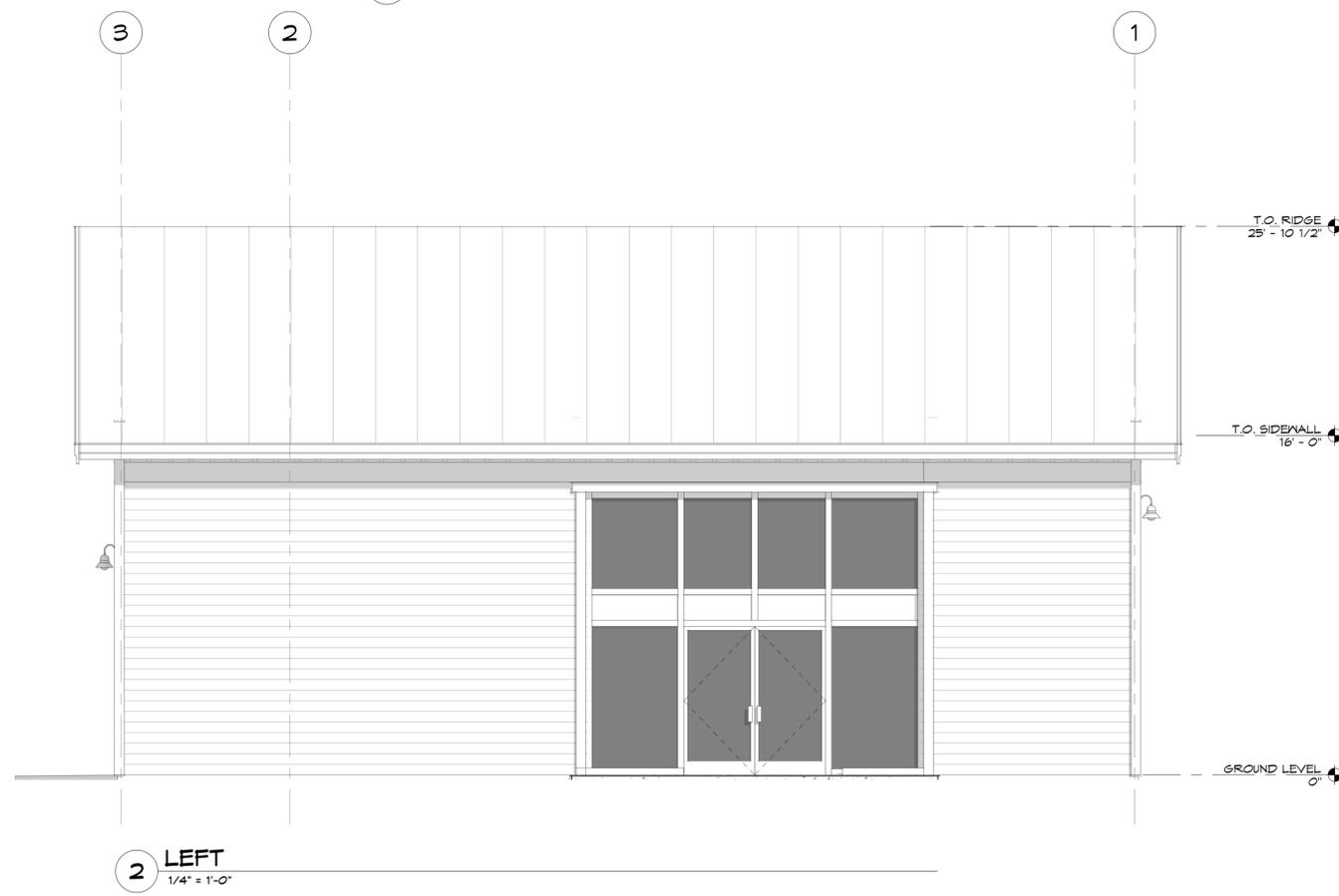
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1 FRONT
1/4" = 1'-0"



3 REAR
1/4" = 1'-0"



2 LEFT
1/4" = 1'-0"



4 RIGHT
1/4" = 1'-0"

KEYNOTES

ELEVATION GENERAL NOTES
NOTES APPLY TO SHEET(S) A-201 ONLY.

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