



MCKENNA

June 26, 2026

Planning Commission
Village of Lake Orion
21 E. Church St.
Lake Orion, MI 48362

**Subject: VLO-25-03 West Village (315 N Lapeer Road), Final Site Plan Review
Planning Commission Reconsideration**

Dear Commissioners:

The site plan for West Village Residences (the “Project”) was conditionally approved by the Planning Commission at its September 2025 meeting. The Project consists of a fifteen-unit multi-family development located at 315 N. Lapeer Street, proposed by West Village Residences, LLC (the “Applicant”).

Following conditional approval, the Applicant’s team has worked with Village staff and consultants to address the stated conditions of approval and demonstrate compliance. The plans have undergone several rounds of administrative review and revision; however, final approval has not yet been granted.

At the recommendation of Village consultants, the Zoning Administrator has determined that the current set of plans warrants reconsideration by the Planning Commission, as authorized by Section 19.02.C.7.a of the Village’s Zoning Ordinance (excerpted below):

Section 19.02.C.7.a

7. *Action on Final Plan. The Zoning Administrator is authorized to require that the final plan be returned to the Planning Commission for reconsideration, or approve, approve subject to conditions or deny the final plan as follows:*
 - a) *Planning Commission Reconsideration. Upon his determination that a site plan is not sufficiently complete, or includes major changes affecting the overall functioning of the site, impacts on the surroundings, or other substantial changes, or upon a request by the applicant, the Zoning Administrator may require that the site plan be returned to the Planning Commission for reconsideration.*

While the overall concept of the Project remains generally consistent with the plan previously approved, revisions to the detention basin design constitute a significant modification affecting the overall functionality of the site. These changes have introduced potential conflicts with other requirements of the Zoning Ordinance, including:

- Detention pond landscaping requirements (Section 15.02)
- Off-street parking requirements (Section 14.02)

The updated site plan has been reviewed by McKenna staff, the Village Engineer, and the Township Fire Marshal. At this time, the Planning Commission is asked to review the revised plans in comparison with the conditionally approved plans from September 2025.

Specifically, the Commission should evaluate whether the current proposal remains consistent with the original intent of the approval and determine whether any additional considerations or direction are warranted based on the revised design and supporting reviews.

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SUMMARY OF COMPLIANCE

Ordinance Standards	Compliance	Comments
1. Required Information	Complies.	No additional comments from the previous approval.
2. Use & Harmonious Design	Complies.	No additional comments from the previous approval.
3. Dimensional Standards	Complies	No additional comments from the previous approval.
4. Natural Features / Landscaping	<u>May comply.</u>	<u>The proposed location of the detention pond landscaping will not be supported as currently designed. See Item #4.</u>
5. Access & Circulation	<u>May comply</u>	<u>*Fire Marshal approval required.</u>
6. Parking & Loading	<u>Complies.</u>	<u>The proposed maneuvering lane width is below the minimum requirement.; See item #6</u>
7. Building Design & Architecture	<u>Complies</u>	No additional comments from the previous approval.
8. Engineering / SWM		<u>See Engineer's report.</u>
9. Lighting	<u>Does not comply</u>	<u>Footcandle maximums exceed allowed measurement.; See item #9.</u>

RECOMMENDATION

The Planning Commission is requested to determine whether the revised plans remain consistent with the site plan approved in September 2025. If the Commission finds that the current site plan is in substantial compliance with applicable ordinance standards, approval is recommended, subject to the following conditions:

- A. Applicant submittal of a revised site plan that includes:
 1. Landscape plan modifications to address the detention pond if so directed by the Planning Commission.
 2. Maneuvering lane width modifications to accommodate the detention pond if so directed by the Planning Commission.
 3. Revised photometric plan that complies with permitted light levels.
- B. Approval of revised plans by Fire Marshal and Village Engineer.

Alternatively, Items A.1 and A.2 could be granted additional relief through the Planning Commission's authority to waive certain requirements based on criteria described in Section 14.04.B.6 and Section 15.02.F.1.d. of the Village's Zoning Ordinance. Additional information has been provided in the subsequent sections.

If you have any questions, please do not hesitate to contact us. Thank you.

Respectfully submitted,

McKENNA

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Village Clerk, Ms. Sonja Stout (stouts@lakeorion.org)



Site Plan Review

Standards for Site Plan Approval are set forth by [Article 19: Administrative Procedures and Standards](#). This project is reviewed against the Village's [Zoning Ordinance](#), Master Plan, existing site conditions, and sound planning and design principles.

Underlined text denotes items that require additional information, consideration, or a waiver from the Code.

We offer the following comments for your consideration:

1. REQUIRED INFORMATION

Section 19.02(D) lists the information required of all site plans undergoing Planning Commission review; the applicant has provided the required information.

2. USE & HARMONIOUS DESIGN

Zoning Ordinance Standards: *All elements of the site must be harmoniously and efficiently designed in relation to the topography, size, and type of land, and the character of the adjacent properties and the proposed use. The site will be developed so as not to impede the normal and orderly development or improvement of surrounding properties for uses permitted on such property.*

Findings: The site is zoned the RM, Multiple Family Residential District where the varied residential uses are outlined in Section 5.02. The Intent section of Article 5 reads:

The intent of the RM, Multiple Family Residential District is to address the varied housing needs of residents of different age and family groups by providing various types and sizes of residential dwellings for ownership or rental at a higher density than is permitted in any of the Single Family Residential Districts. Multiple family housing should be located near major thoroughfares and collector streets for good accessibility and must be designed so as not to overtax existing community facilities, utilities or services.

The proposed townhouses are suitable for the RM, Multiple Family Residential District as it fits the higher density residential intent. The Project also adheres to the accessibility intent of the District as it is located near major thoroughfares (Church Street and N Lapeer Street).

3. DIMENSIONAL STANDARDS

Zoning Ordinance Standards: *The site plan must comply with the district requirements for minimum floor area, height of building, lot size, yard space, density and all other requirements as set forth in the Schedule of Regulations.*

Findings: The Applicant meets all of the dimensional standards of the RM, Multiple Family Residential District. The table below outlines the dimensional standards required and whether compliance has been met:

Dimensional Measurement	Required	Proposed	Comments
Min. Lot Area	8,000 sq. ft.	70,995 sq. ft.	In compliance.
Min. Lot Frontage	70'	261'	In compliance.
Front Yard Setback	25'	25'	In compliance.
Min. Side Yard Setback (both)	15'	26' (north); 25' (south)	In compliance.



Dimensional Measurement	Required	Proposed	Comments
Min. Rear Yard Setback	25'	25'	In compliance.
Min. Floor Area per 3-Bedroom Unit	1,000 sq. ft.	>1,000 sq. ft.	In compliance.
Max. Building Height	40'	33' 4"	In compliance.
Max. Lot Coverage	35%	26%	In compliance.
Density	15 DUs per acre	15 units/1.15 Acre = 13 DUs/acre	In compliance.

4. NATURAL FEATURES, SCREENING & LANDSCAPING

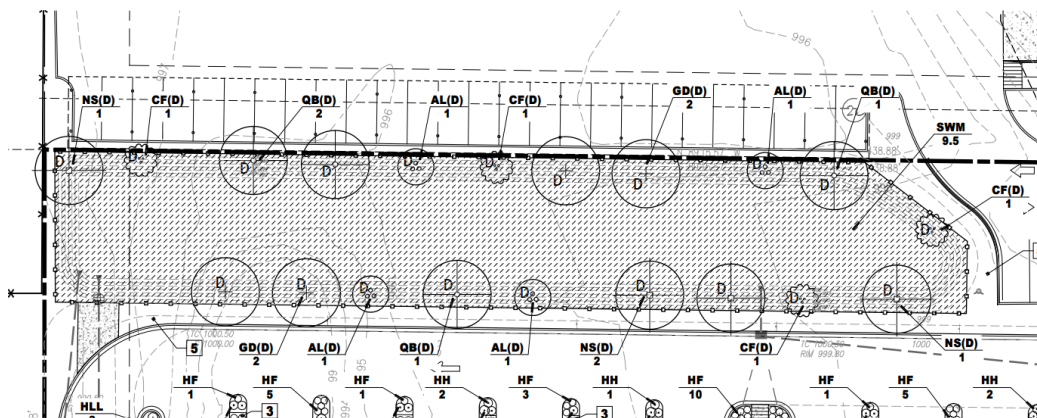
Zoning Ordinance Standards:

G. Detention Pond Landscaping Requirements. Landscaping shall be required around stormwater detention ponds as follows:

1. Plantings shall replicate a natural environment by using plants and trees that are native to the Upper Great Lakes area. Deciduous shade and ornamental trees, shrubs, perennials, grasses and other groundcover shall be clustered around the basin to achieve an attractive naturalized appearance.
2. Deciduous shade trees shall be provided around the detention pond at the rate of at least one (1) tree per 50 feet of pond perimeter area, measured at the freeboard elevation, and one (1) ornamental tree per 75 feet of pond perimeter area. Required trees may be clustered, and are not required to be planted at regular intervals.
3. Trees shall be planted above the freeboard line of the pond. Any plantings proposed below the freeboard line shall be tolerant of wet or moist soil conditions. The location of plant materials shall take into consideration the need to provide access for routine pond maintenance.

Findings:

Landscaping and Plant Material. The applicant has provided a landscaping plan on sheets LP.01 and LP.02.



The proposed detention pond landscaping is shown inside of the fence, on a 1:1 slope (1' vertical for every 1' horizontal). The Design and Construction Standards found in Chapter 151 of the Village's Code of Ordinances requires a retaining wall or armored slope for all slopes over 1:3. Since the proposed slope will be required to conform to the standards of Chapter 151, the location of the proposed trees will need to be revised.



Due to the limited space available for the placement of trees, the Planning Commission should consider requesting changes to the site plan to meet the landscaping requirements, or consider relief to the applicant by waiving some of the requirements, per Section 15.02.F.1.d:

F. Parking Lot and Loading Area Landscaping Requirements

1. Interior and Perimeter Landscaping.

- d) Perimeter landscaping shall be provided along the edge of any parking lot facing and located within 100 feet of a public right-of-way or the Lake, unless, in the opinion of the Planning Commission, the parking lot will be sufficiently screened from view by buildings or other site features or improvements.

5. ACCESS & CIRCULATION

Zoning Ordinance Standards: All buildings or groups of buildings shall be so arranged as to permit convenient and direct emergency vehicle access.

The arrangement of public or common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets or pedestrian or bicycle pathways in the vicinity of the site. Streets and drives that are a part of an existing or planned street system serving adjacent developments shall be of an appropriate width to the volume of traffic they are planned to carry and shall have a dedicated right-of-way equal to that specified in a recognized source of reference.

Where the Planning Commission determines, after expert consultation, that public safety would be substantially promoted in a particular location by reducing the number of points of ingress and egress between private property and an adjoining highway, cross-access may be required. Shared drive approaches between adjoining parcels may also be permitted under this Section.

Findings:

Vehicular Access. Vehicular access to the site is provided from two driveways which extend from N Lapeer Street and around to Church Street.. The existing curb cut on Church Street will be relocated as part of this project.

The site plan is subject to the standards of the Township Fire Marshal regarding emergency access and fire suppression.

6. PARKING & LOADING

Zoning Ordinance Standards: Off-street parking, loading, and unloading areas and outside refuse storage areas, or other storage areas that face or are visible from adjacent homes, or from public thoroughfares, shall be screened by walls, fencing or landscaping of effective height.

Findings:

The applicant proposes a 20' maneuvering lane width which is below the 22' minimum requirement. Per **Section 14.04.B.6** (see below), the the Planning Commission may approve alternative designs that promote water and stormwater quality. The proposed width appears to be a result of adjusting for the detention pond. Due to this, it may be appropriate for the Planning Commission to accept the 2' deviation from the minimum width requirements, should the Township Fire Marshal agree that the proposed width will not impair emergency access and public safety.

Section 14.04 PARKING LOT LAYOUT, CONSTRUCTION AND MAINTENANCE



- B. **Layout and Construction Requirements.** Plans for the layout of off-street parking facilities shall be in accordance with the following minimum requirements:

Table 14.04 – Minimum Parking Layout Requirements

Parking Pattern	Maneuvering Lane Width	Parking Space Width	Parking Space Length	Total Width of One Tier of Spaces Plus Maneuvering Lane	Total Width of Two Tiers of Spaces Plus Maneuvering Lane
75° to 90°	22 ft.	9 ft.	19 ft.	41 ft.	60 ft.
54° to 74°	18 ft.	9 ft.	20 ft.	40 ft.	61 ft.
30° to 53°	13 ft.	9 ft.	20 ft.	35.5 ft.	53 ft.
0° (Parallel Parking)	12 ft.	8 ft.	23 ft.	20 ft. one way 32 ft. two way	28 ft. one way 40 ft. two way

7. Notwithstanding the above construction standards for paving, drainage and curbing, the Planning Commission may approve alternative designs that promote water and stormwater quality.

8. BUILDING DESIGN & ARCHITECTURE

Zoning Ordinance Standards: All buildings along the street frontage of the parcel shall have a primary entrance or entrances on the façade facing the street. All primary entrances must be accessible to pedestrians. Primary entrances should be highlighted through the incorporation of architectural features such as canopies, awnings, porticos, raised cornice parapets over the doors arches, large windows, or architectural details such as tile work and moldings that are integrated into the building structure and design.

Building materials used on exteriors of new buildings shall be appropriate for the character and size of the proposed building, and shall complement the materials used on surrounding buildings and in the Village Downtown. Brick, stone, integrally colored architectural block are preferred building materials. Clapboard materials such as cement siding (“Hardy Plank” or similar) and shake shingles are encouraged as accent building materials. E.I.F.S. and metal may be acceptable as accent materials only, and should not comprise more than 20% of the wall area of any façade. Vinyl or metal siding is discouraged.

Findings:

Building Design. The proposed townhomes have slightly varied front setbacks and façade elements, providing some relief to the large building. Gable roofs help ground the design and provide some vertical interest. Architectural features are provided along the windows and door frames.

Building Materials. The proposed elevations feature material types; however, the material colors are not specified within the plans. The proposed materials include brick, engineered siding, limestone, vinyl, and stone with asphalt shingled roofs.

9. ENGINEERING / STORMWATER MANAGEMENT

Zoning Ordinance Standards: Appropriate measures shall be taken to ensure that the removal of stormwater will not adversely affect adjoining properties or the capacity of the public storm drainage system and shall comply with State and Federal standards. Provisions shall be made for the construction of stormwater facilities, and the prevention of erosion and dust. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicles or pedestrian traffic and will not create nuisance ponding in paved areas.

Adequate services and utilities and improvements shall be available or provided, located and constructed with sufficient capacity and durability to properly serve the development. All utilities shall be located underground unless modified by the Planning Commission based on persuasive evidence provided by the applicant



indicating it is not feasible to locate utilities underground. Where possible and practical, drainage design shall recognize existing natural drainage patterns.

Findings: Stormwater pre-treatment infrastructure is not proposed for this Project. All stormwater and utility requirements must be addressed to the satisfaction of the Village Engineer. The Oakland County standards allow for the applicant to evaluate the use of BMPs and propose alternatives if determined to no be feasible.

10. LIGHTING

Zoning Ordinance Standards: *Exterior lighting must be arranged so that it is deflected away from adjoining properties and so that it does not impede vision of drivers along adjacent streets.*

Findings: Building mounted lighting and light pole fixtures are proposed within the Project. Parking areas, driveways and pedestrian walkways within the site are adequately illuminated.

The maximum illumination allowed is 10.0 fc. The overall proposed site maximum is 45.5 fc. It is not in compliance. The applicant is aware of the noncompliance and will provide a revised photometric plan.

Standards	Required	Proposed	Compliance
Max. Height of Light Fixtures	22' or height of building, whichever is less.	<u>10'</u>	Complies
Max. Illumination at Any Given Point	10 fc.	<u>45.5 fc.</u>	<u>Does Not Comply.</u>
Max. Illumination at the Property Line	0.5 fc.	0.3 fc.	Complies