

Project
THE RESIDENCES AT WEST VILLAGE

315 N. Lapeer Street
LAKE ORION, MI. 48362
Client
WEST VILLAGE OWNER, LLC
79 OAKLAND AVE
PONTIAC, MI. 48362

REVISION SCHEDULE	
DATE	DESCRIPTION
1/1/25	DESIGN REVIEW
8/4/25	SITE PLAN APPROVAL
11/14/25	OWNER REVIEW
11/20/25	OWNER REVIEW
11/21/26	BIDDING
3/6/26	SPA
5/18/26	SPA - REVIEW
6/5/26	SPA - REVIEW



DRAWN BY: RDC
CHECKED BY: BSG

Drawing Title
SITE PLAN

Project Number

25-448

Drawing Number

SP 101

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ZONING: RM - RESIDENTIAL MULTI-FAMILY

SITE:
MAX LOT COVERAGE: 35%
PROP. LOT COVERAGE: 26%

TOTAL SITE AREA: 10,995 SQUARE FEET (1.63 ACRES)
OPEN SPACE TOTAL: 52,410 SQUARE FEET (1.2 ACRES)
BLDG FOOTPRINT TOTAL: 18,585 SQUARE FEET (0.43 ACRES)

SETBACKS:

FRONT: 25'
REAR: 25'
SIDE: 25'

MAX HEIGHT: 40'

BUILDING HEIGHT: 33' - 4"

UNITS BY TYPE:
• ONE BEDROOM: 0
• TWO BEDROOM: 0
• THREE BEDROOM: 15

TOTAL # OF UNITS: 15 (ALL 3 BEDROOM UNITS)

PARKING
MULTIFAMILY HOUSING: 2 SPACES PER UNIT

REQUIRED: 15 UNITS X 2 = 30 SPACES
PROVIDED: 30 SPACES
TOTAL PARKING: 30 SPACES

NOTE:
• ADA NOT REQUIRED
• TRASH PICKED UP PER UNIT

DENSITY CALCULATIONS:

SITE:
WIDTH = 438.80 FEET
DEPTH = 161.78 FEET
AREA = 10,989.06 SQUARE FEET
ACRES = 1.63 ACRES

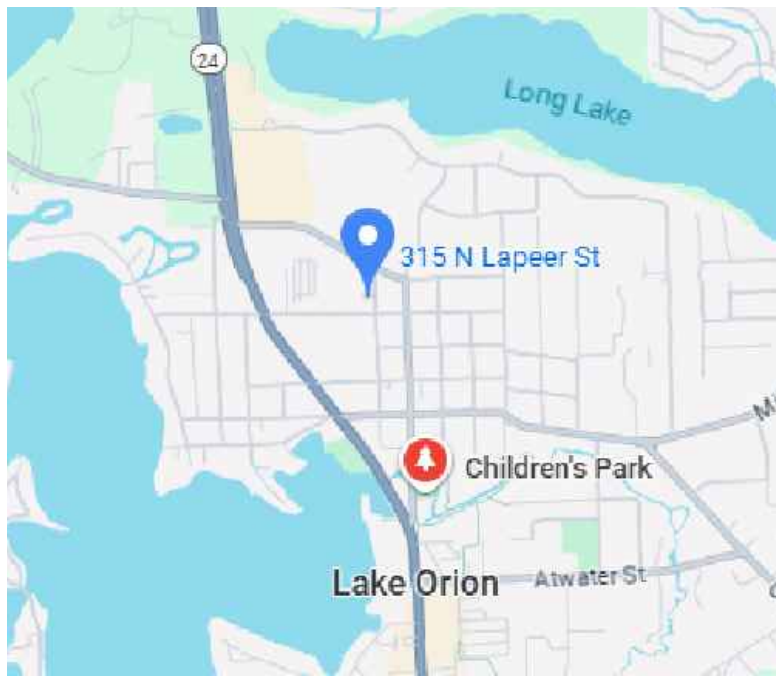
PROVIDE FOR REMOVAL OF DETENTION BASIN
AREA = 14,000 SQUARE FEET
ACRES = 0.32 ACRES

TOTAL ACRES USED FOR DENSITY CALCULATIONS: 1.31 ACRES

PER ZONING ORDINANCE - MAX. RESIDENTIAL UNITS PER ACRE = 15

MAXIMUM NUMBER OF RESIDENTIAL UNITS = 13.65 OR 13 UNITS ALLOWED

TOTAL NUMBER OF RESIDENTIAL UNITS PROVIDED = 15



LOCATION MAP
N.T.S.

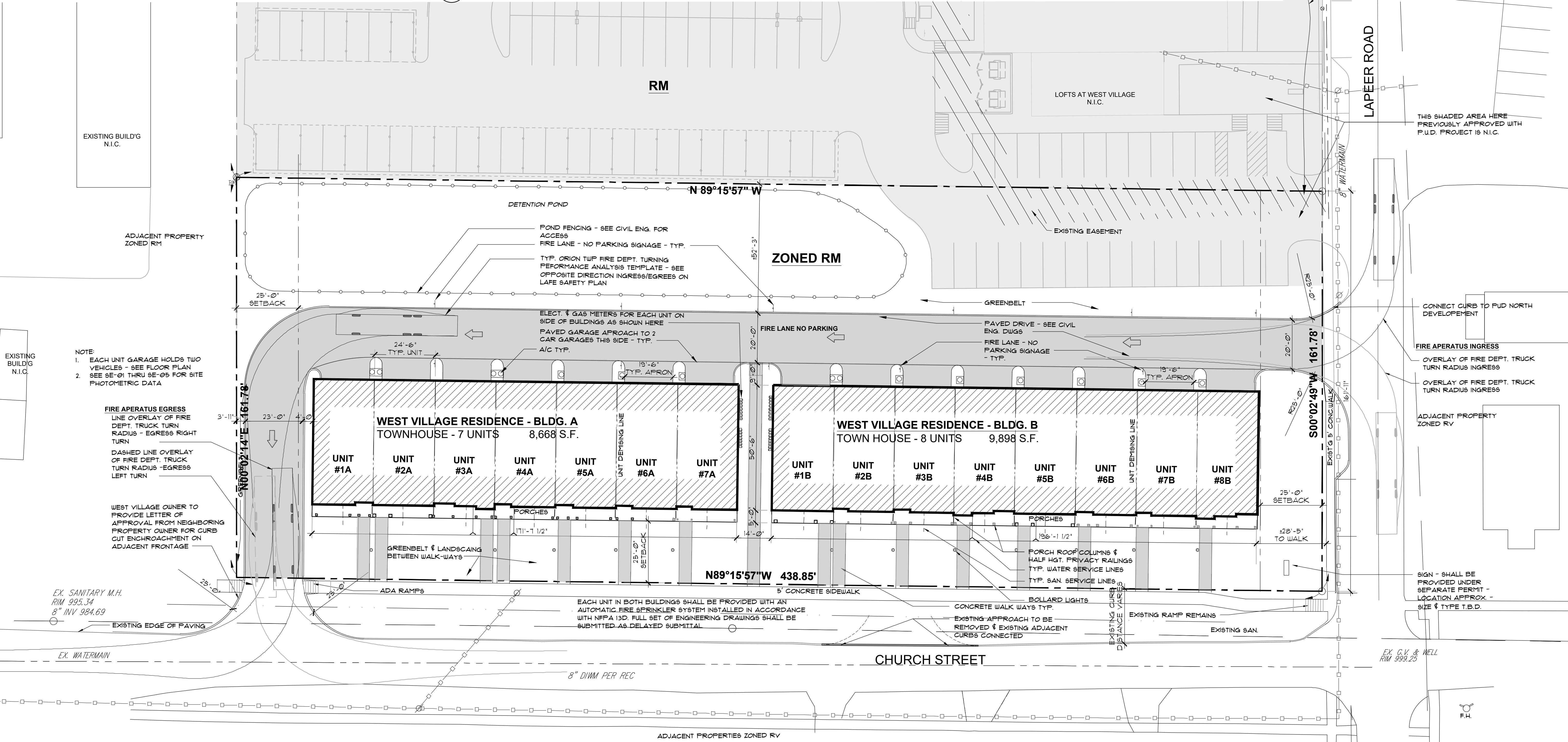
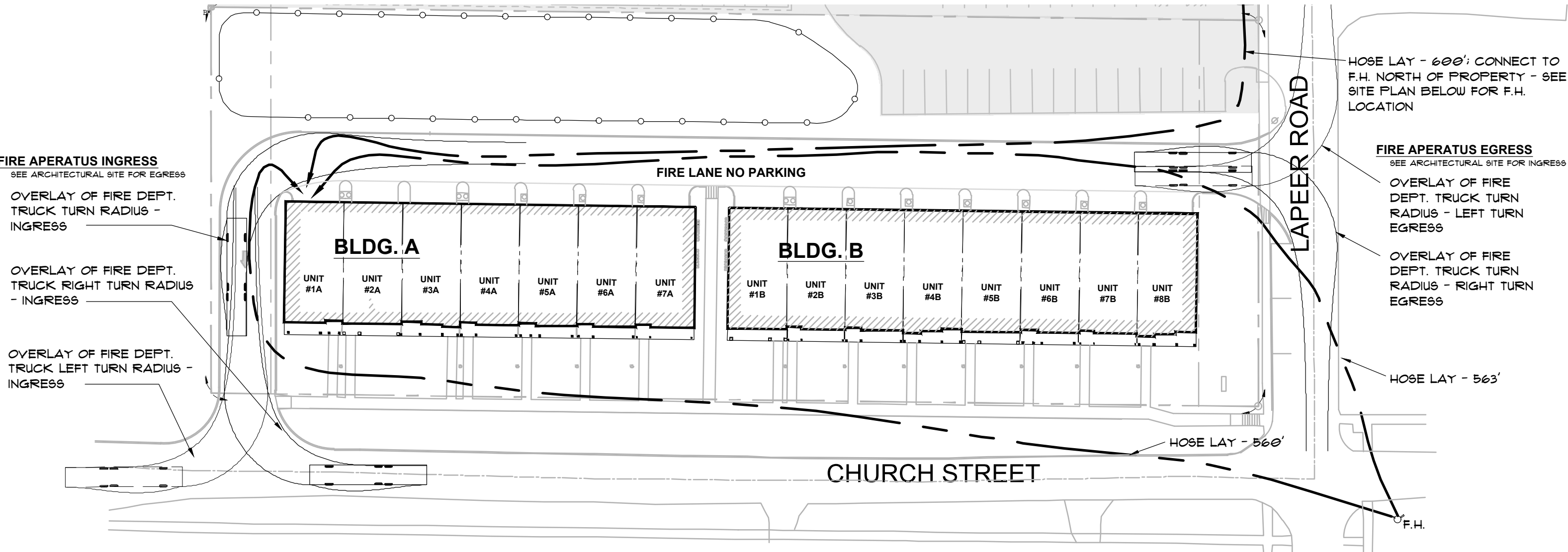
LEGAL DESCRIPTION: LAKE ORION COMMUNITY SCHOOLS PARCEL:
PART OF LOT 10, ALSO ALL OF LOT 11, SUPERVISOR'S PLAT NO. 8, VILLAGE OF LAKE ORION, OAKLAND COUNTY, MICHIGAN, ALL DESCRIBED AS BEGINNING AT THE SE CORNER OF SAID LOT 11, THENCE N 89°15'57" W, 438.85 FT, THENCE N 00°02'14" E, 161.78 FT, THENCE S 89°15'57" E, 438.85 FT, THENCE S 00°02'14" W 161.78 FT TO THE POINT OF BEGINNING.

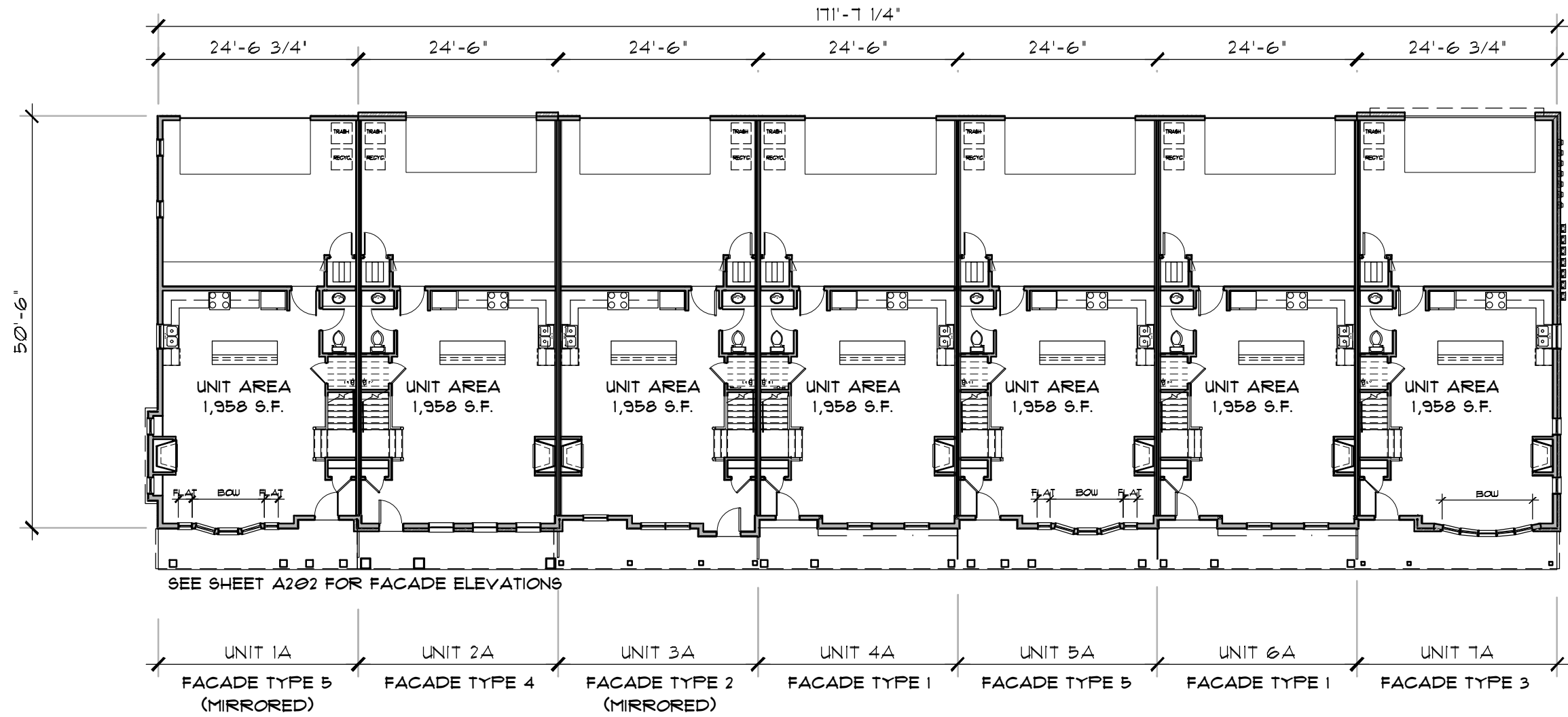
LIFE SAFETY PLAN

SCALE: 1"=40'-0"

ARCHITECTURAL SITE PLAN

SCALE: 1"=20'-0"





BUILDING A - 7 UNITS

NOTE: THIS CONSTRUCTION SET IS INTENDED FOR BUILDINGS "A" & "B"

OVERALL FIRST FLOOR PLANS
SCALE: 1/16"=1'-0"

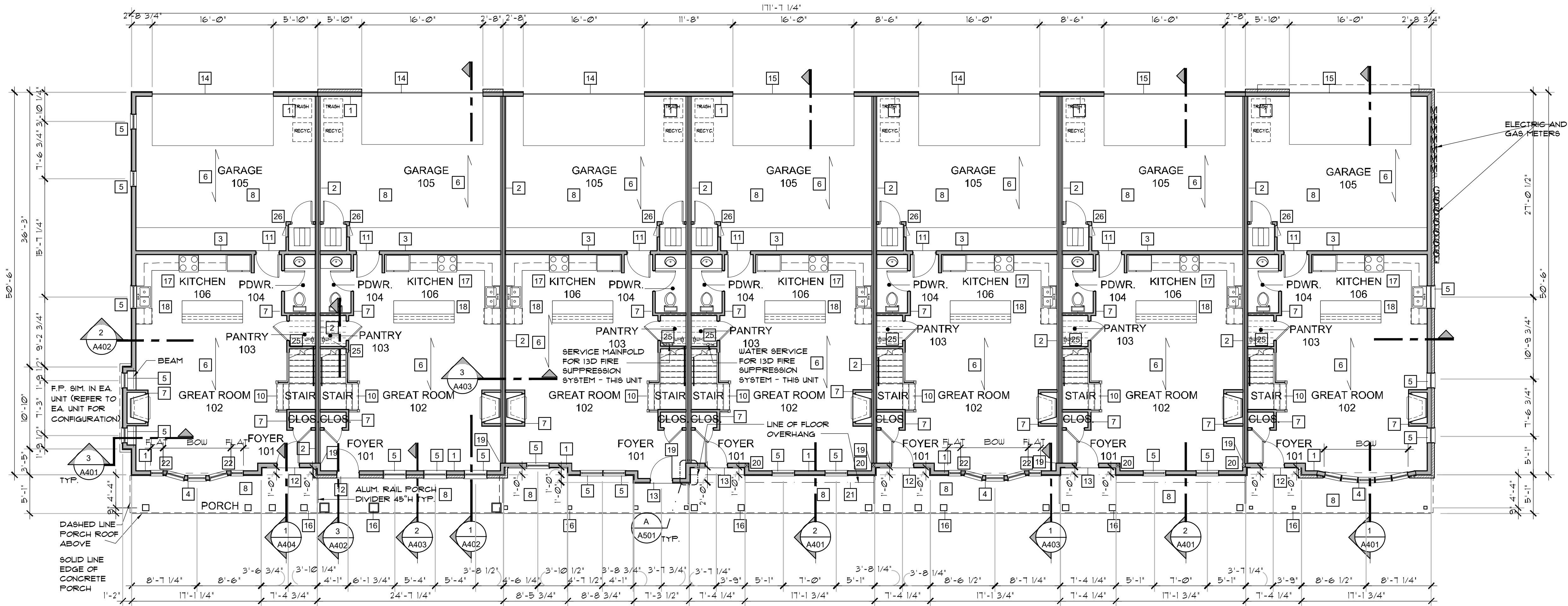
GENERAL NOTES:

- GLAZING CONTRACTOR IS TO PROVIDE SHOP DRAWINGS FOR OWNER'S REVIEW BEFORE PURCHASING
- ALL INTERIOR FINISHES, ROOMS, AND ENCLOSED SPACES ARE REQUIRED TO HAVE AT LEAST A CLASS C, FLAME SPREAD 16-200+ SMOKE DEVELOPED 0-450+ RATING AS LISTED IN THE BUILDING CODE LISTED ON SHEET L9-101
- ALL SAFETY GLAZING MUST COMPLY WITH SECTION 2406.2 - HUMAN IMPACT LOADS. PROVIDE LABEL AND/OR IDENTIFICATION ON GLASS AS REQUIRED
- DOOR FRAMES ARE LOCATED 3" FROM THE PERPENDICULAR WALL ON THE HINGE SIDE OF THE DOOR UNLESS NOTED OTHERWISE.
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FLOOR PLAN KEY NOTES:

- NOT ALL NOTES BELOW ARE UTILIZED ON THIS SHEET
- WOOD FRAMED BEARING WALL CONSTRUCTION
 - WOOD FRAMED 2HR RATED ASSEMBLY DEMISING WALL
 - 2X6 WOOD FRAMED - INSULATED WALL - 1HR RATED ASSEMBLY
 - WOOD FRAMED BOW WINDOW
 - VINYL WINDOWS (TYP.) - SEE ELEVATIONS FOR #'S - SEE SCHEDULES FOR HEADERS
 - OVERHEAD FLOOR FRAMING PRE-ENGINEERED WOOD FLOOR TRUSS SYSTEM - SEE SHEET S 201
 - 2X4 WOOD 'P' FRAMED PARTITIONS GYP BOARD SHEATHING EA. SIDE
 - 4" POURED CONCRETE REINF. SLAB
 - POURED CONCRETE SLAB W/ STOP
 - WOOD FRAMED STAIRS W/ 2X12 STRINGER (3 PER STAIR)
 - 4" STEP - GARAGE TO FINISH FLOOR - SEE DOOR SCHEDULE FOR THRESHOLD DETAIL
 - MAIN ENTRANCE DOOR STYLE A - SEE ELEVATIONS & DOOR SCHEDULE
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 - ALL APPLIANCES PER WEST VILLAGE OWNER LLC.
 - ALL CABINETS PER WEST VILLAGE OWNER LLC.
 - ALIGN PARTITION TO EXTERIOR WALL THIS SIDE
 - PROVIDE (4) KING STUDS TO ALIGN WITH BM BRG ABOVE
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 - OPTIONAL ATTIC SPACE PULL DOWN STAIR - SEE BUILDING SECTIONS FOR MORE INFORMATION
 - WATER METER
 - FULLY INSULATE PARTITIONS FOR FURN. CLOSET - PREVENT VENT IN DOOR FOR MECH IF REQUIRED - CONSULT & COORDINATE WITH MECH. CONTRACTOR FOR VENTING REQUIREMENTS.
 -
 -

1. SEE SHEET A 201 FOR WALL TYPE LAYOUT AND SHEET A 501 FOR WALL TYPE CONSTRUCTION



FIRST FLOOR PLAN (7 UNITS)
SCALE: 1/8"=1'-0" BUILDING A

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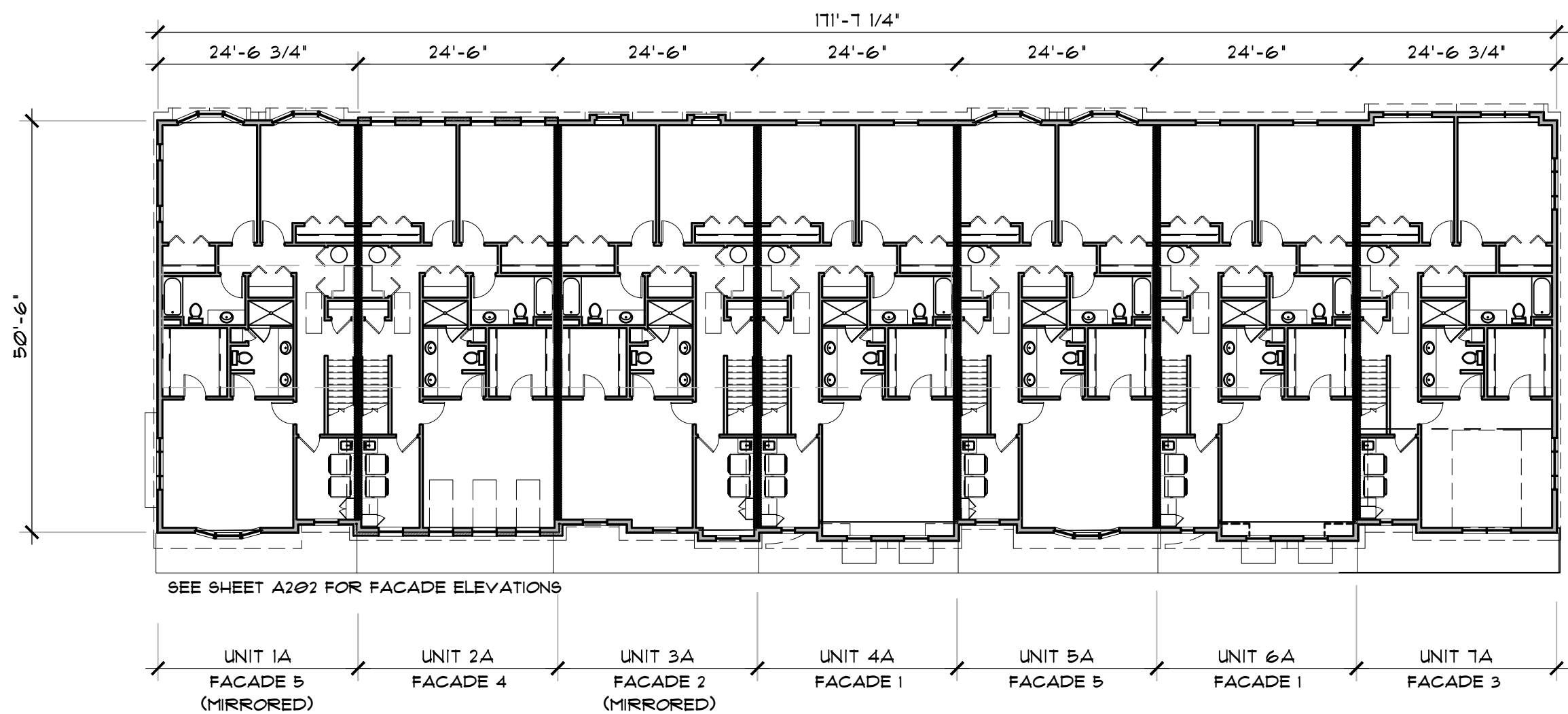
OVERALL FIRST FLOOR PLANS (7 UNITS)

Project Number

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A 101



BUILDING A - 7 UNITS

NOTE: THIS CONSTRUCTION SET IS INTENDED FOR BUILDINGS "A" & "B"

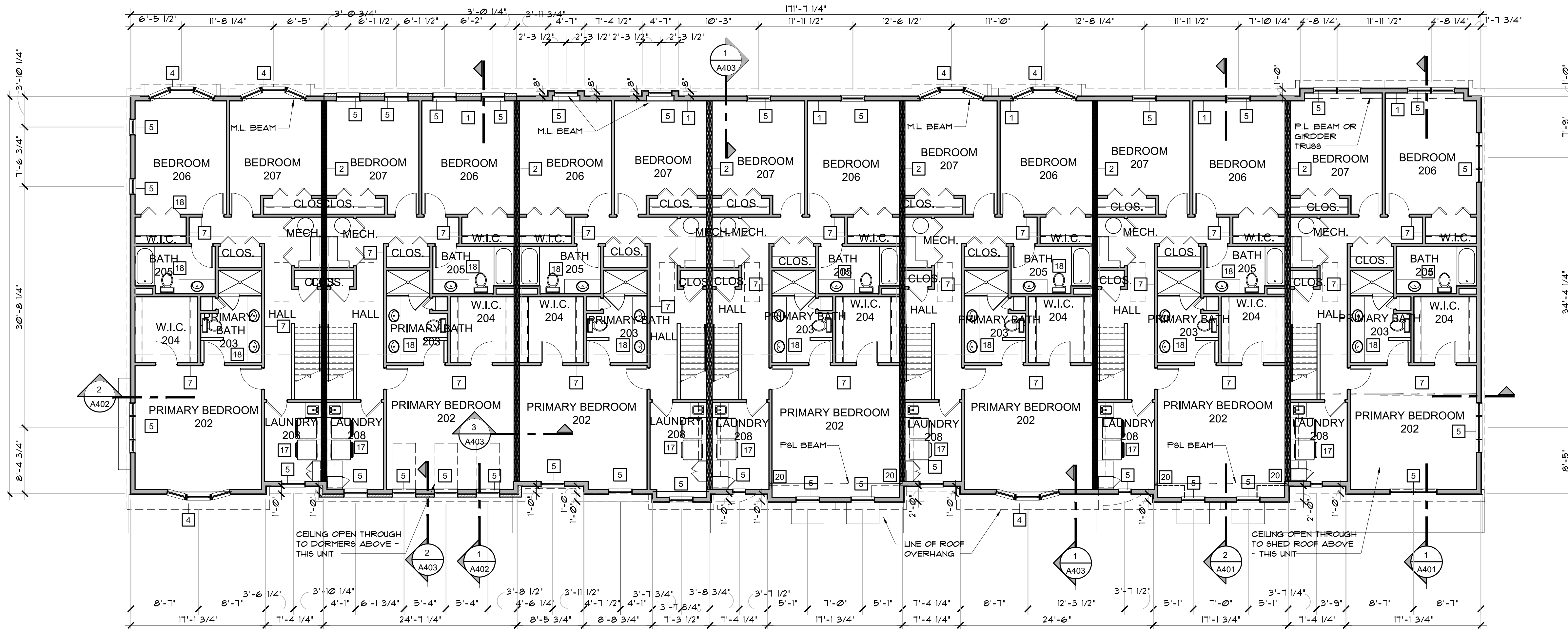
OVERALL SECOND FLOOR PLANS
SCALE: 1/16"=1'-0"

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SECOND FLOOR PLAN (7 UNITS)
SCALE: 1/8"=1'-0" BUILDING A

Project

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CHECKED BY: BSG

OVERALL SECOND FLOOR PLANS (7 UNITS)

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Drawing Title
OVERALL FIRST FLOOR PLANS (8 UNITS)
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25-448
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A 104

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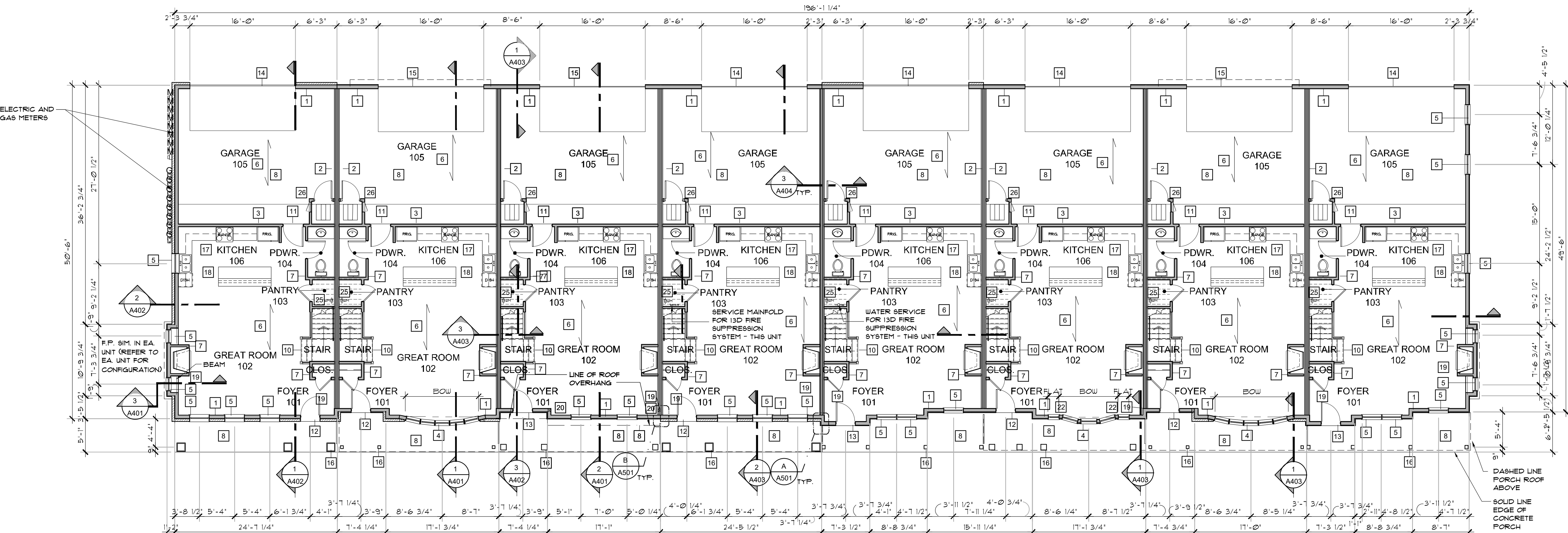
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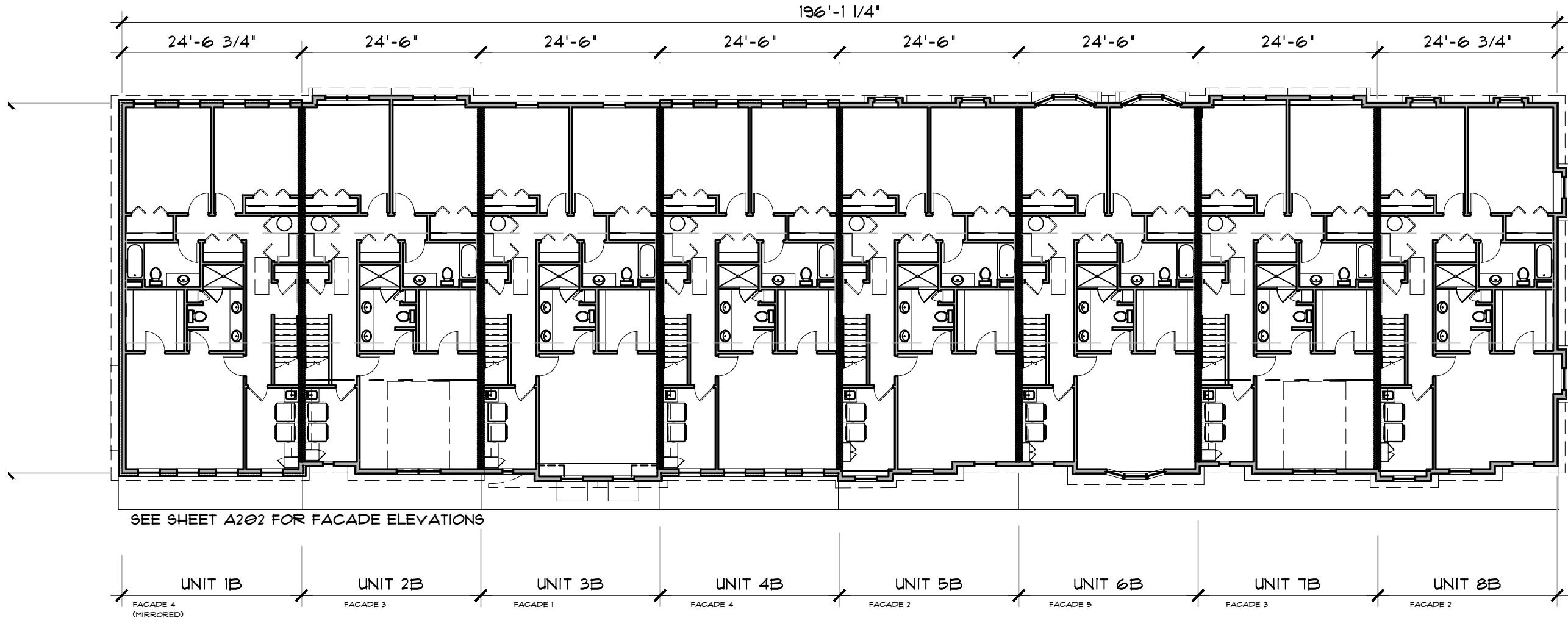
BUILDING B - 8 UNITS

NOTE: BUILDING "B" IS N.T.C. AS NOTED ON THE SITE PLAN. THIS CONSTRUCTION SET IS INTENDED FOR BUILDING "A" ONLY AS NOTED ON THE SITE PLAN.

OVERALL FIRST FLOOR PLANS
SCALE: 1/16"=1'-0"



FIRST FLOOR PLAN (8 UNITS)
SCALE: 1/8"=1'-0" BUILDING B



BUILDING B - 8 UNITS

NOTE: BUILDING B IS N.E.C. AS NOTED ON THE SITE PLAN.
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BUILDING A ONLY AS NOTED ON THE SITE PLAN.

OVERALL SECOND FLOOR PLANS

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OVERALL SECOND FLOOR PLANS (8 UNITS)

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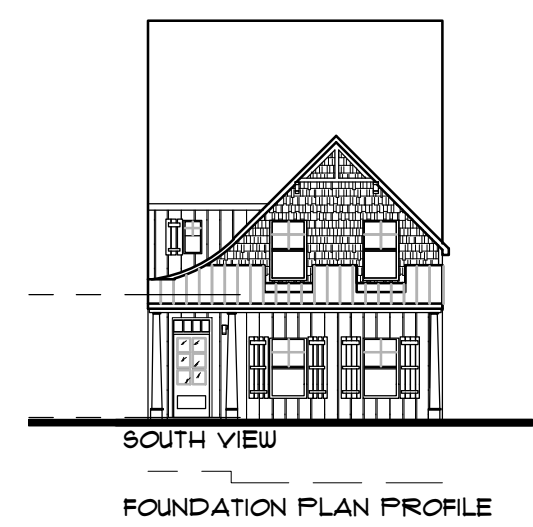
A 105

SECOND FLOOR PLAN (8 UNITS)

SCALE: 1/8"=1'-0"

BUILDING B

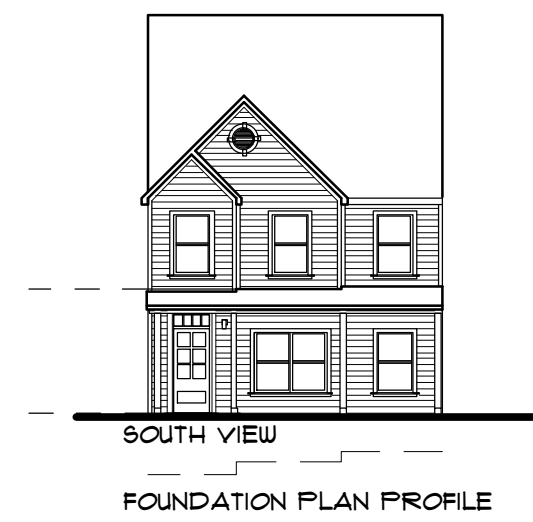




FACADE 1 ELEVATION

SCALE: 1/16"=1'-0" REAR

FACADE 1 ELEVATION
SCALE: 1/16"=1'-0" FRONT



FACADE 2 ELEVATION

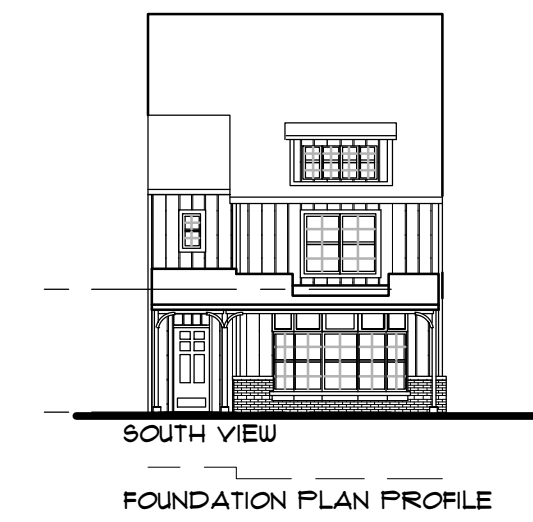
SCALE: 1/16"=1'-0"

REAR

FACADE 2 ELEVATION

SCALE: 1/16"=1'-0"

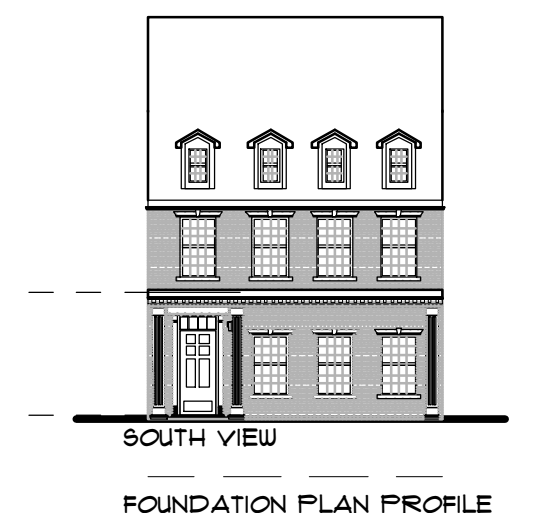
FRONT



FACADE 3 ELEVATION

SCALE: 1/16"=1'-0" REAR

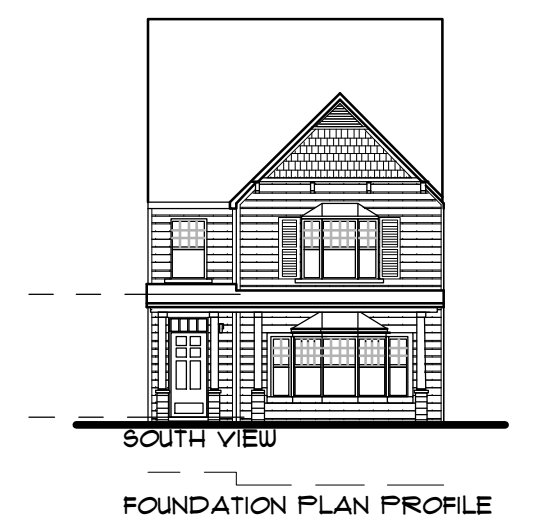
FACADE 3 ELEVATION
SCALE: 1/16"=1'-0" FRONT



FACADE 4 ELEVATION

SCALE: 1/16"=1'-0" REAR

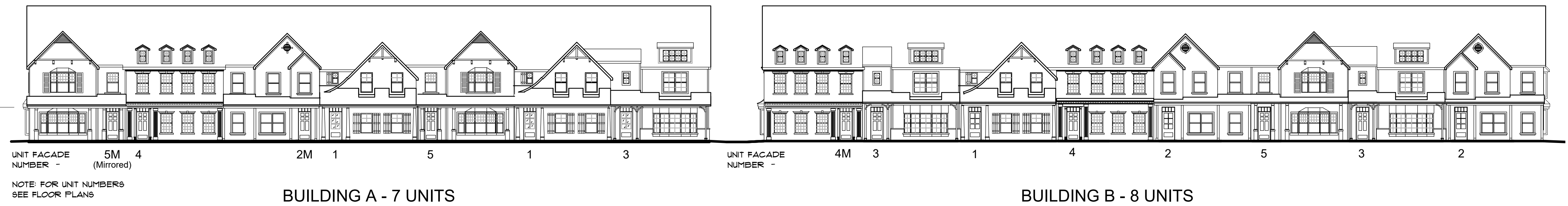
FACADE 4 ELEVATION
SCALE: 1/16"=1'-0" FRONT



FACADE 5 ELEVATION
SCALE: 1/16"=1'-0" REAR

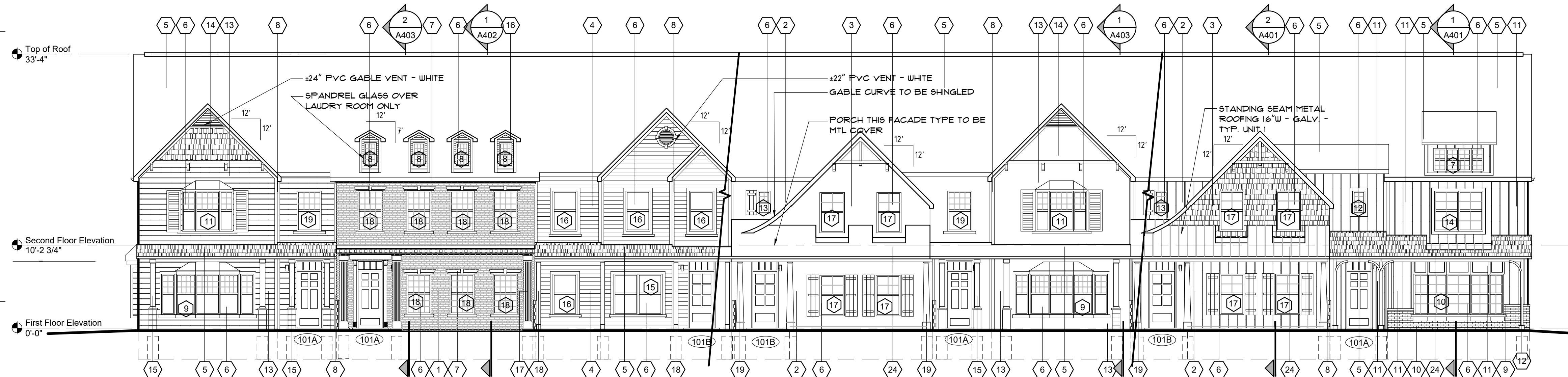
FACADE 5 ELEVATION
SCALE: 1/16"=1'-0" FRONT

FACADE TYPES



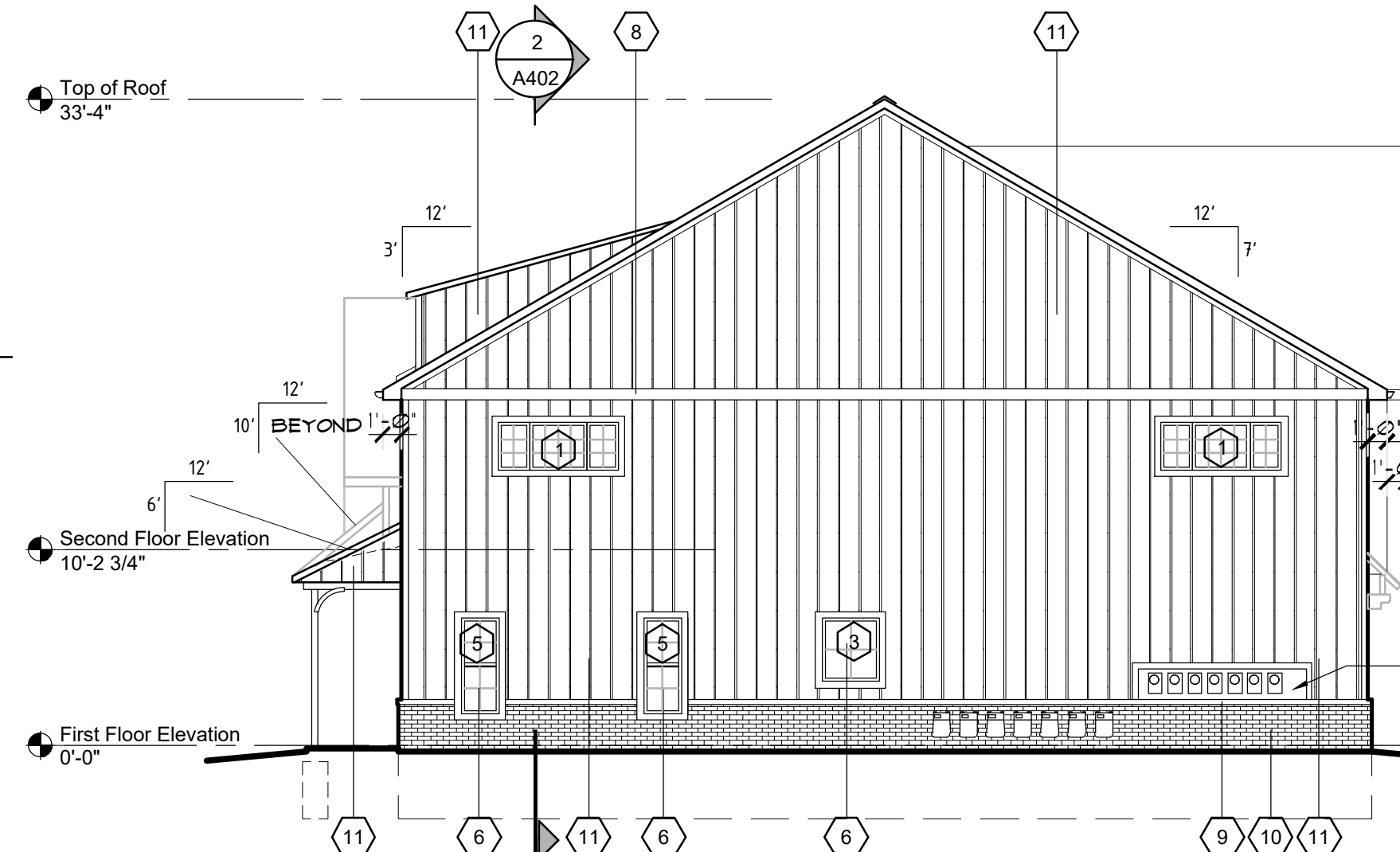
BUILDINGS SOUTH ELEVATION KEY

SCALE: 1/16"=1'-0"



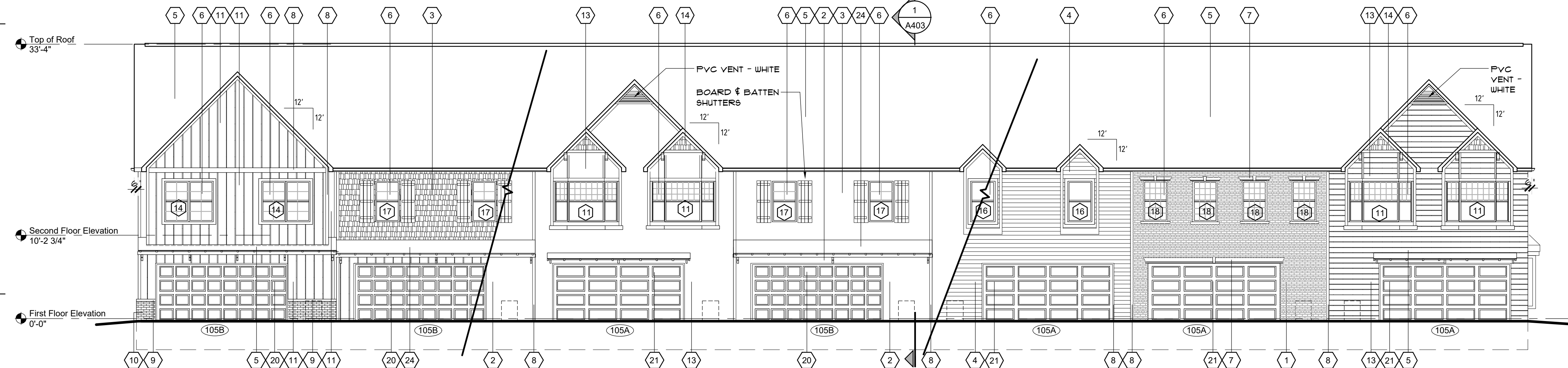
BUILDING A - SOUTH ELEVATION

SCALE: 1/8"=1'-0"



BUILDING A - EAST ELEVATION

SCALE: 1/8"=1'-0"



BUILDING A - NORTH ELEVATION

SCALE: 1/8"=1'-0"



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11/14/25	OWNER REVIEW
11/29/25	OWNER REVIEW
1/21/26	BIDDING
3/6/26	SPA
5/18/26	SPA - REVIEW
6/5/26	SPA - REVIEW



DRAWN BY: RDC
CHECKED BY: BSG

BUILDING A ELEVATIONS

Project Number

25-448

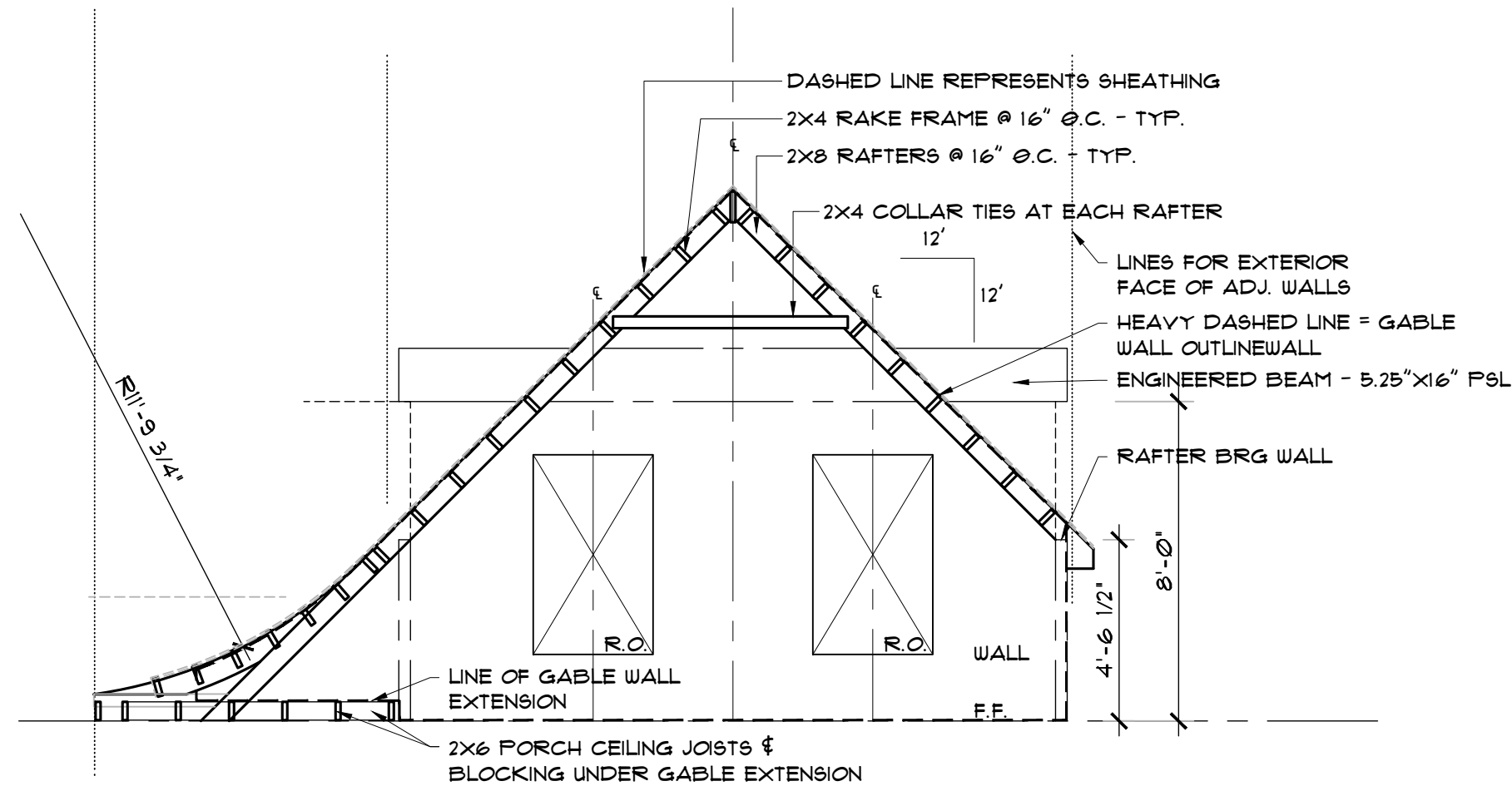
Drawing Number

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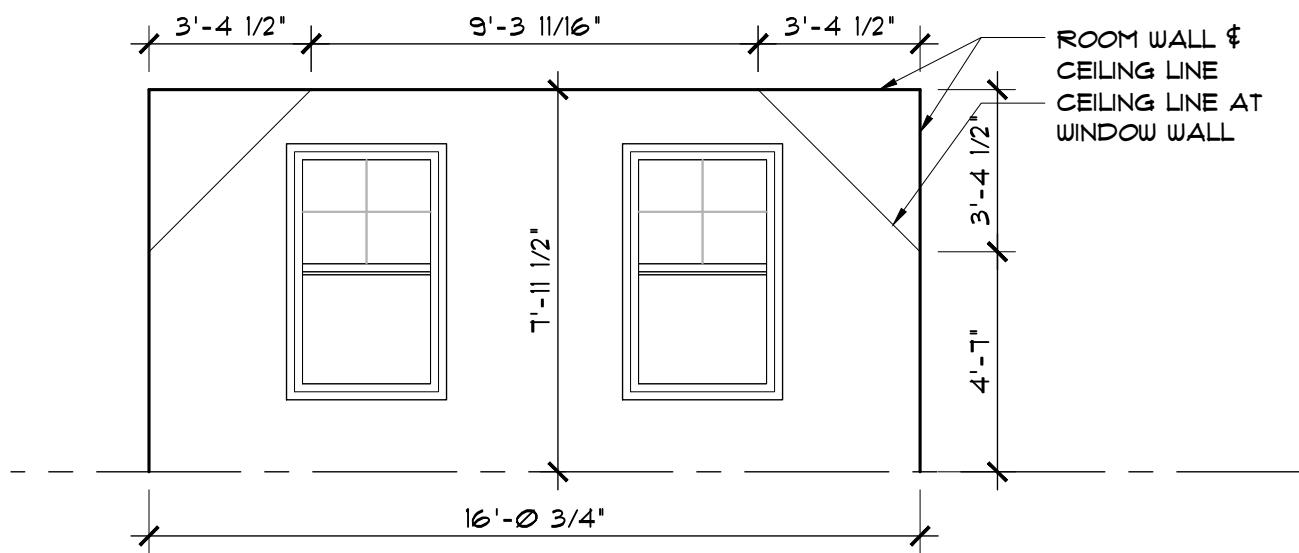
EXTERIOR FINISH SCHEDULE							
KEY	MATERIAL	MANUFACTURER	DESCRIPTION			LOCATION	ADDITIONAL INFORMATION
			PRODUCT	COLOR	DIMENSION		
1	FACE BRICK	BELDEN BRICK	COLONY BLEND - SMOOTH	RED	STANDARD	UNIT 4 - MAIN WALLS	COMMON BOND W/FULL HEADER EVERY 6TH COURSE
2	ENGINEERED SIDING	LP BUILDING SOLUTIONS	VERTICAL SIDING	REDWOOD RED	BOARD & BATTEN	UNIT 1 - MAIN WALLS	PROVIDE SHUTTERS AS ILLUSTRATED - COLOR REDWOOD RED
3	ENGINEERED SIDING	LP BUILDING SOLUTIONS	STRAIGHT SHAKE SIDING	TIMBERLAND SUEDE	STAGGERED SHAKE	UNIT 1 - SECOND FLOOR GABLE	-
4	ENGINEERED SIDING	LP BUILDING SOLUTIONS	HORIZONTAL SIDING	RAPIDS BLUE	6" LAP	UNIT 2	-
5	ROOF SHINGLES	CERTAINTED	ASPHALT SHINGLE	MOIRE BLACK	LANDMARK	ALL ROOFS U.N.O.	UNIT 1 PORCH ROOF TO BE STUG SEAM
6	VINYL WINDOW	ANDERSON	VINYL WINDOW	WHITE	SEE SCHEDULES	TYPICAL THRU-OUT	-
7	LIMESTONE	CUSTOM CAST STONE	CONCRETE CAST STONE	NATURAL WHITE	SEE DETAILS	ON UNIT 4 BRICK	-
8	TRIM	LP BUILDING SOLUTIONS	TRIM BOARD	WHITE	SMOOTH - 4"	ALL TRIM U.N.O.	-
9	STONE	CUSTOM CAST STONE	CONCRETE CAST STONE	NATURAL WHITE	SEE DETAILS	UNITR 3 - WATERTABLE	-
10	FACE BRICK	BELDEN BRICK	LANCASTER BLEND - ANTIQUE	BROWN	COMMON BOND	UNITR 3 - WAINSCOTT	-
11	ENGINEERED SIDING	LP BUILDING SOLUTIONS	VERTICAL SIDING	HARVEST HONEY	BOARD & BATTEN	UNIT 3 - MAIN WALLS & DORMER	-

NOTE:
1. ALL VISIBLE METAL FLASHINGS, COPING ETC. JOINED WITH ROOF & SIDING SHALL MATCH IN COLOR. ARCHITECT SHALL BE NOTIFIED OF ANY UNRESOLVED AREAS THAT DIFFER IN COLOR FROM THOSE PROPOSED FOR APPROVAL
2. ALL TRIM IS WHITE U.N.O.

EXTERIOR FINISH SCHEDULE							
KEY	MATERIAL	MANUFACTURER	DESCRIPTION			LOCATION	ADDITIONAL INFORMATION
			PRODUCT	COLOR	DIMENSION		
12	PVC COLUMN COVER	FYPON	STRAIGHT WOODGRAIN	BROWN	6"	UNIT 3 - COLUMNS	CWPEVLT 6X108 - W/WO GRAIN KNEE BRACES
13	ENGINEERED SIDING	LP BUILDING SOLUTIONS	HORIZONTAL SIDING	GARDEN SAGE	6" DROP SIDING	UNIT 5 - MAIN WALLS	PROVIDE SHUTTERS AS ILLUSTRATED - COLOR REDWOOD RED
14	ENGINEERED SIDING	LP BUILDING SOLUTIONS	SHAKE SIDING	REDWOOD RED	CEDAR SHAKE STRAIGHT	UNIT 5 - GABLE	-
15	PVC COLUMN COVER	-	SMOOTH STRAIGHT	WHITE	6"	UNIT 5 - COLUMNS	CWPR FLAT PLAIN PANEL 6" - SEE SECTIONS
16	ENGINEERED SIDING	LP BUILDING SOLUTIONS	HORIZONTAL SIDING	SNOSCAPE WHITE	SMOOTH - 4"	UNIT 4 - DORMERS	-
17	PVC COLUMN COVER	FYPON	STRAIGHT SMOOTH FLUTED	WHITE	12" BODY	UNIT 4 - COLUMNS	CWPR FLUTED 8"
18	PVC COLUMN COVER	FYPON	SMOOTH STRAIGHT	WHITE	6"	UNIT 2 - COLUMNS	CWPR FLAT PLAIN LANEL 8"
19	PVC COLUMN COVER	FYPON	TAPERED WOODGRAIN	CEDAR	TAPERED 12" - 8"	UNIT 1 - COLUMNS	CWPR TAPERE PLAIN PANEL
20	FIBERGLASS DOOR	OVERHEAD DOORS	70000 SERIES	OAK	7' X 16'	DOOR - UNIT 1 CG	-
21	FIBERGLASS DOOR	OVERHEAD DOORS	70000 SERIES	WHITE	7' X 16'	DOOR B - UNIT 2 A.E.	-
22	METAL ROOF	-	STANDING SEAM - 16"	GALVANIZED	7' X 16'	PORCH ROOF FOR UNIT 2B ONLY	-
23	NOT USED	-	-	-	-	-	-
24	METAL ROOF	-	STANDING SEAM - 16"	GALVANIZED	7' X 16'	UNIT 1	-



FACADE TYPE 1 GABLE ROOF FRAMING DIAGRAM
SCALE: 1/4"=1'-0"



FACADE TYPE 1 GABLE INTERIOR ELEVATION
SCALE: 1/4"=1'-0"

REVISION SCHEDULE	
DATE	DESCRIPTION
7/1/25	DESIGN REVIEW
8/4/25	SITE PLAN APPROVAL
11/14/25	OWNER REVIEW
11/20/25	OWNER REVIEW
11/21/26	BIDDING
3/6/26	S&PA
5/18/26	S&PA - REVIEW
6/5/26	S&PA - REVIEW



DRAWN BY: RDC
CHECKED BY: BSG



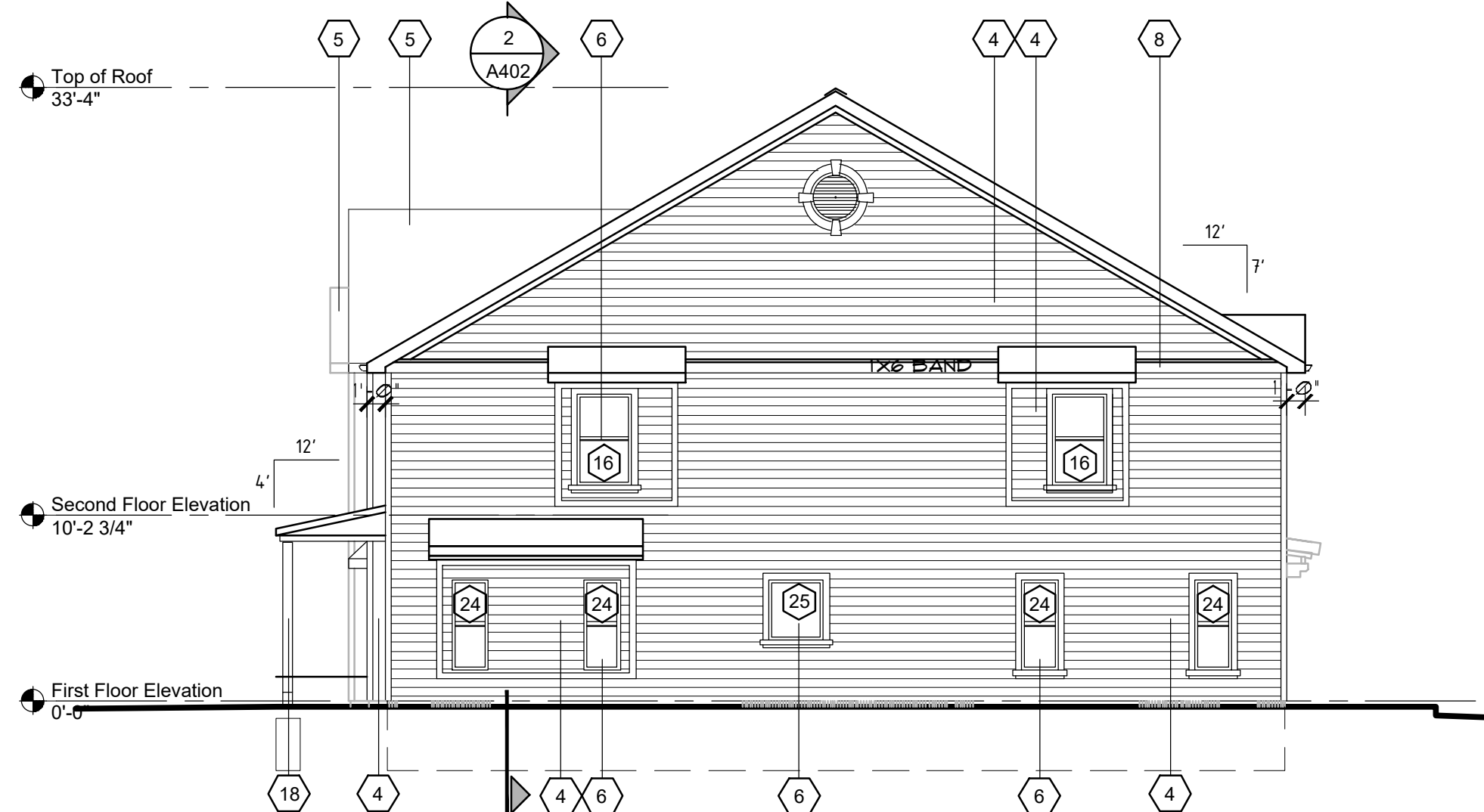
BUILDING A - 7 UNITS

BUILDING B - 8 UNITS

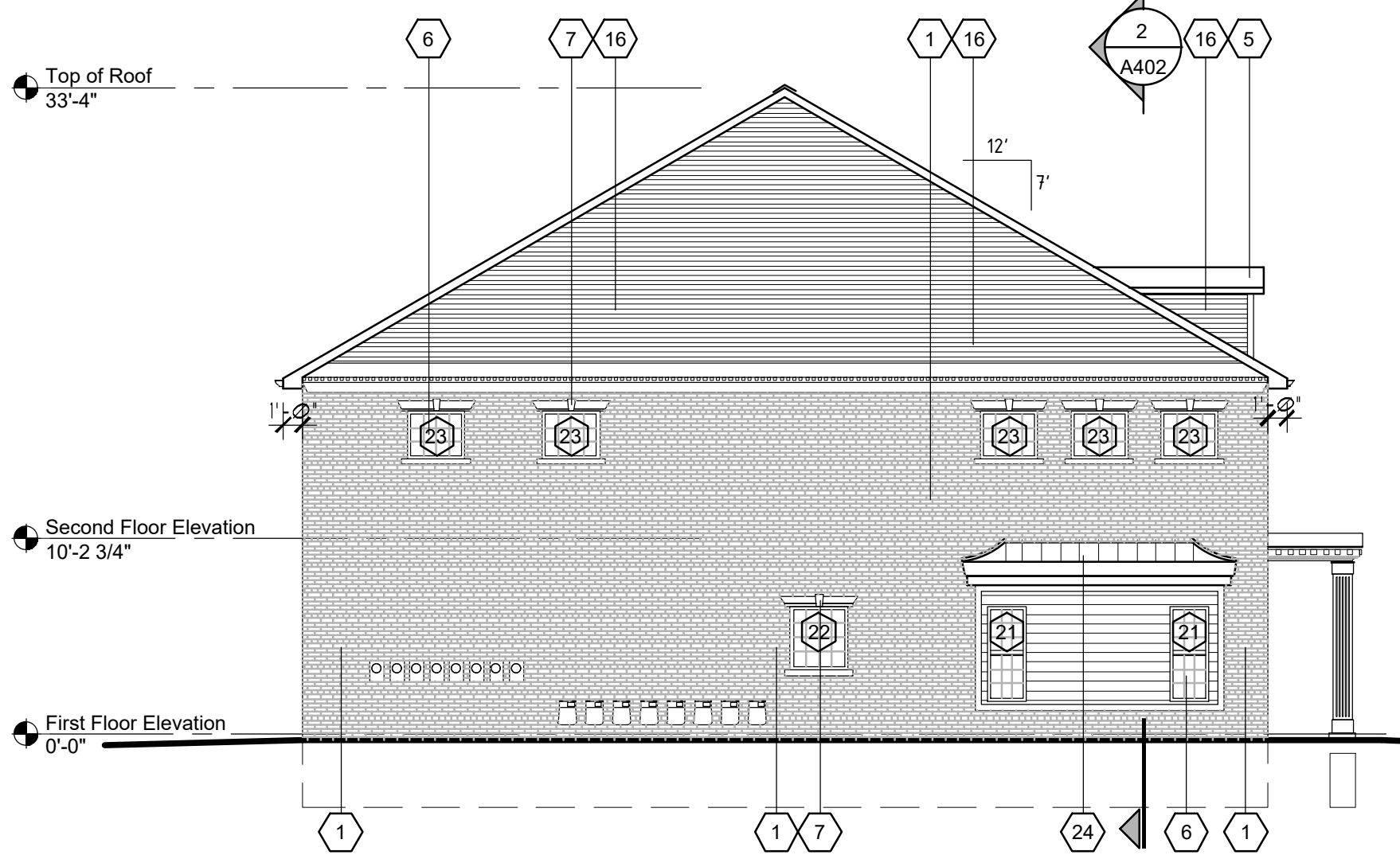
BUILDINGS SOUTH ELEVATION KEY
SCALE: 1/16"=1'-0"



BUILDING B - SOUTH ELEVATION
SCALE: 1/8"=1'-0"



BUILDING B - EAST ELEVATION
SCALE: 1/8"=1'-0"



BUILDING B - WEST ELEVATION
SCALE: 1/8"=1'-0"



BUILDING B - NORTH ELEVATION
SCALE: 1/8"=1'-0"

FACADE TYPES

SEE BUILDING A ELEVATIONS SHEET
FOR FACADE TYPES

Project
THE RESIDENCES AT WEST VILLAGE

315 N. Lapeer Street
LAKE ORION, MI. 48362
Client
WEST VILLAGE OWNER, LLC
79 OAKLAND AVE
PONTIAC, MI. 48362

REVISION SCHEDULE	
DATE	DESCRIPTION
1/1/25	DESIGN REVIEW
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11/20/25	OWNER REVIEW
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3/6/26	SPA
5/18/26	SPA - REVIEW
6/5/26	SPA - REVIEW



DRAWN BY: RDC
CHECKED BY: BSG

Drawing Title
BUILDING B
ELEVATIONS

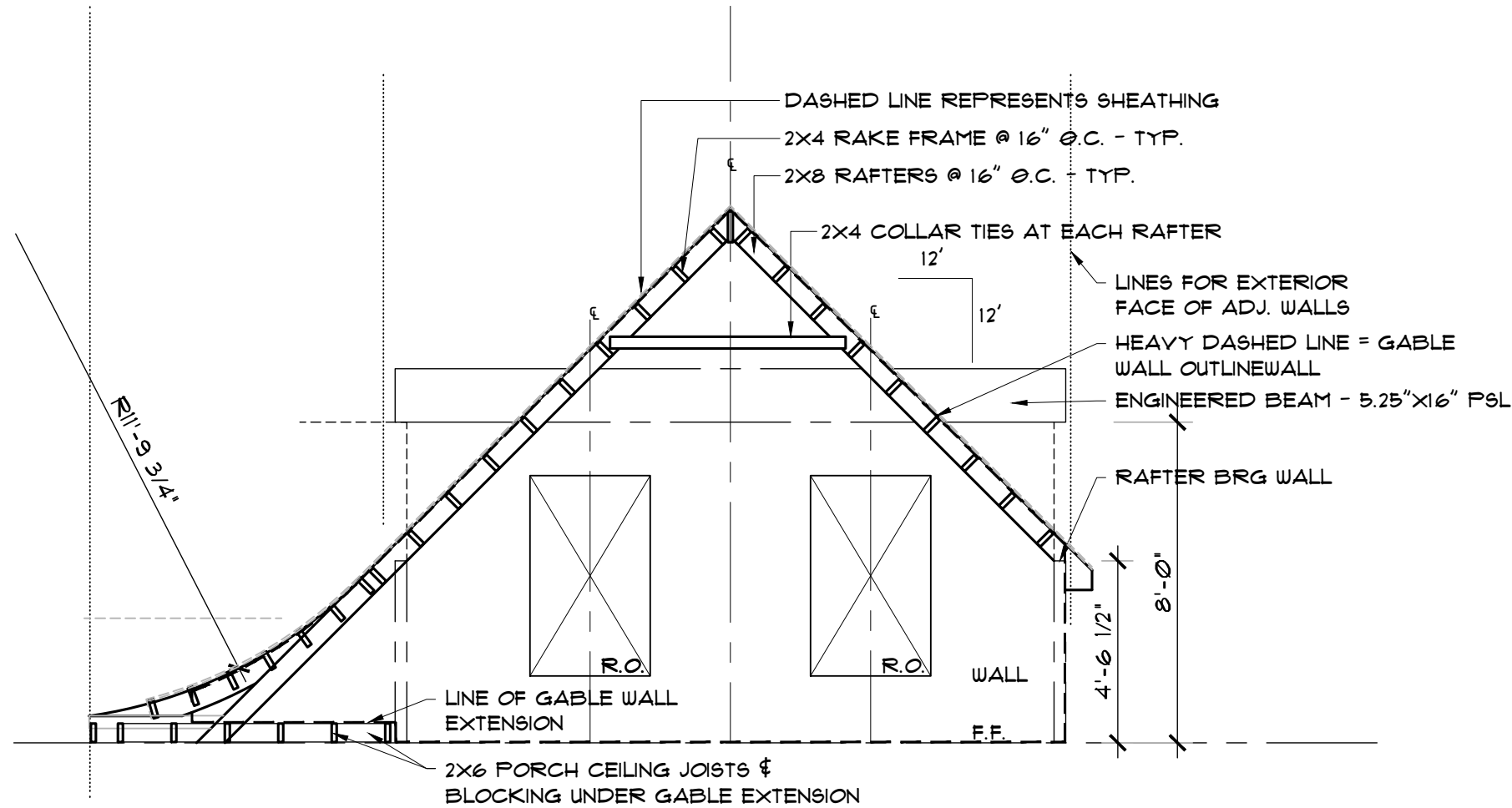
Project Number
25-448
Drawing Number

A 303

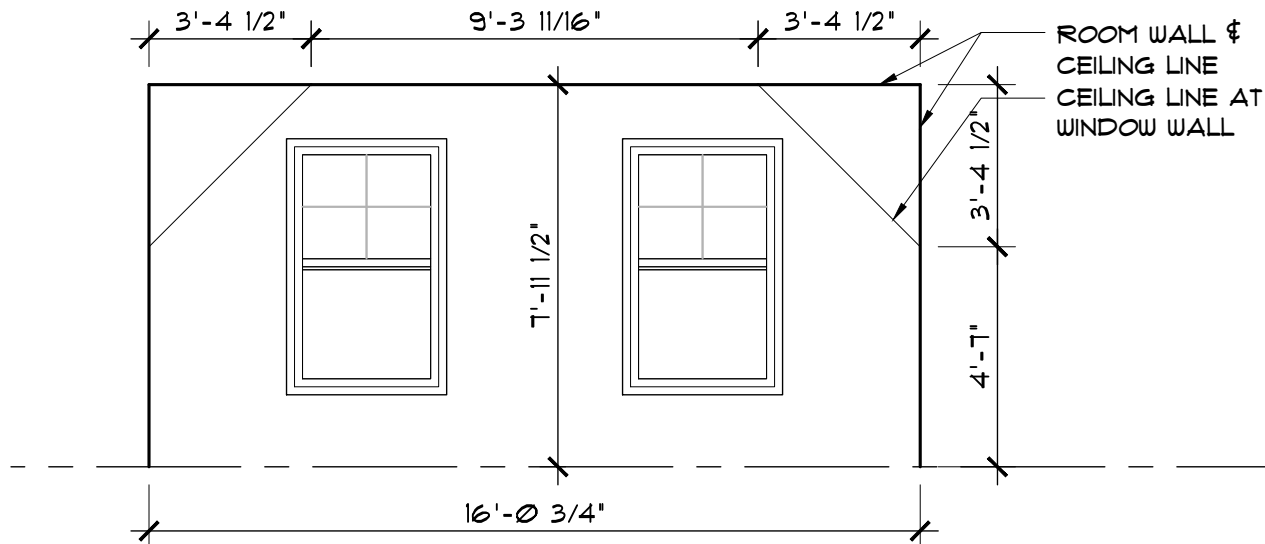
EXTERIOR FINISH SCHEDULE							
KEY	MATERIAL	MANUFACTURER	DESCRIPTION			LOCATION	ADDITIONAL INFORMATION
			PRODUCT	COLOR	DIMENSION		
1	FACE BRICK	BELDEN BRICK	COLONY BLEND - SMOOTH	RED	STANDARD	UNIT 4 - MAIN WALLS	COMMON BOND W/FULL HEADER EVERY 6TH COURSE
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3	ENGINEERED SIDING	LP BUILDING SOLUTIONS	STRAIGHT SHAKE SIDING	TIMBERLAND SUEDE	STAGGERED SHAKE	UNIT 1 - SECOND FLOOR GABLE	-
4	ENGINEERED SIDING	LP BUILDING SOLUTIONS	HORIZONTAL SIDING	RAPIDS BLUE	6" LAP	UNIT 2	-
5	ROOF SHINGLES	CERTAINTED	ASPHALT SHINGLE	MOIRE BLACK	LANDMARK	ALL ROOFS U.N.O.	UNIT 1 PORCH ROOF TO BE STUG SEAM
6	VINYL WINDOW	ANDERSON	VINYL WINDOW	WHITE	SEE SCHEDULES	TYPICAL THRU-OUT	-
7	LIMESTONE	CUSTOM CAST STONE	CONCRETE CAST STONE	NATURAL WHITE	SEE DETAILS	ON UNIT 4 BRICK	-
8	TRIM	LP BUILDING SOLUTIONS	TRIM BOARD	WHITE	SMOOTH - 4"	ALL TRIM U.N.O.	-
9	STONE	CUSTOM CAST STONE	CONCRETE CAST STONE	NATURAL WHITE	SEE DETAILS	UNITR 3 - WATERTABLE	-
10	FACE BRICK	BELDEN BRICK	LANCASTER BLEND - ANTIQUE	BROWN	COMMON BOND	UNITR 3 - WAINSCOTT	-
11	ENGINEERED SIDING	LP BUILDING SOLUTIONS	VERTICAL SIDING	HARVEST HONEY	BOARD & BATTEN	UNIT 3 - MAIN WALLS & DORMER	-

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EXTERIOR FINISH SCHEDULE							
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13	ENGINEERED SIDING	LP BUILDING SOLUTIONS	HORIZONTAL SIDING	GARDEN SAGE	6" LAP SIDING	UNIT 5 - MAIN WALLS	PROVIDE SHUTTERS AS ILLUSTRATED - COLOR REDWOOD RED
14	ENGINEERED SIDING	LP BUILDING SOLUTIONS	SHAKE SIDING	REDWOOD RED	CEDAR SHAKE STRAIGHT 8"	UNIT 5 - GABLE	-
15	PVC COLUMN COVER	-	SMOOTH STRAIGHT	WHITE	8"	UNIT 5 - COLUMNS	CWPR FLAT PLAIN PANEL 6" - SEE SECTIONS
16	ENGINEERED SIDING	LP BUILDING SOLUTIONS	HORIZONTAL SIDING	SNOSCAPE WHITE	SMOOTH - 4"	UNIT 4 - DORMERS	-
17	PVC COLUMN COVER	FYPON	STRAIGHT SMOOTH FLUTED	WHITE	12" BODY	UNIT 4 - COLUMNS	CWPR FLUTED 8"
18	PVC COLUMN COVER	FYPON	SMOOTH STRAIGHT	WHITE	6"	UNIT 2 - COLUMNS	CWPR FLAT PLAIN LANEL 8"
19	PVC COLUMN COVER	FYPON	TAPERED WOODGRAIN	CEDAR	TAPERED 12"-8"	UNIT 1 - COLUMNS	CWPR TAPERE PLAIN PANEL
20	FIBERGLASS DOOR	OVERHEAD DOORS	78000 SERIES	OAK	7' X 16'	DOOR - UNIT 1 C3	-
21	FIBERGLASS DOOR	OVERHEAD DOORS	78000 SERIES	WHITE	7' X 16'	DOOR B - UNIT 2 A.5.	-
22	N.M. ENTRY DOOR	-	DOOR - 6 PNL GLAZED	T.B.D.	3' X7'	DOOR - UNIT 1 C3	-
23	N.M. ENTRY DOOR	-	DOOR - PNL	WHITE	3' X7'	DOOR B - UNIT 2 A.5.	-
24	METAL ROOF	-	STANDING SEAM - 16"	GALVANIZED	7' X 16'	UNIT 1	-



FACADE 1 GABLE ROOF FRAMING DIAGRAM
SCALE: 1/4"=1'-0"



FACADE 1 GABLE INTERIOR ELEVATION
SCALE: 1/4"=1'-0"

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CHECKED BY: BSG