






J.S. Capitol Group  
155 Romeo Rd., Suite 300  
Rochester, MI 48307

44 East Flint  
44 East Flint St.  
Lake Orion, MI 48362

[illegible]

Do not scale drawings. Use  
calculated dimensions only.  
Verify existing conditions in  
field.

North

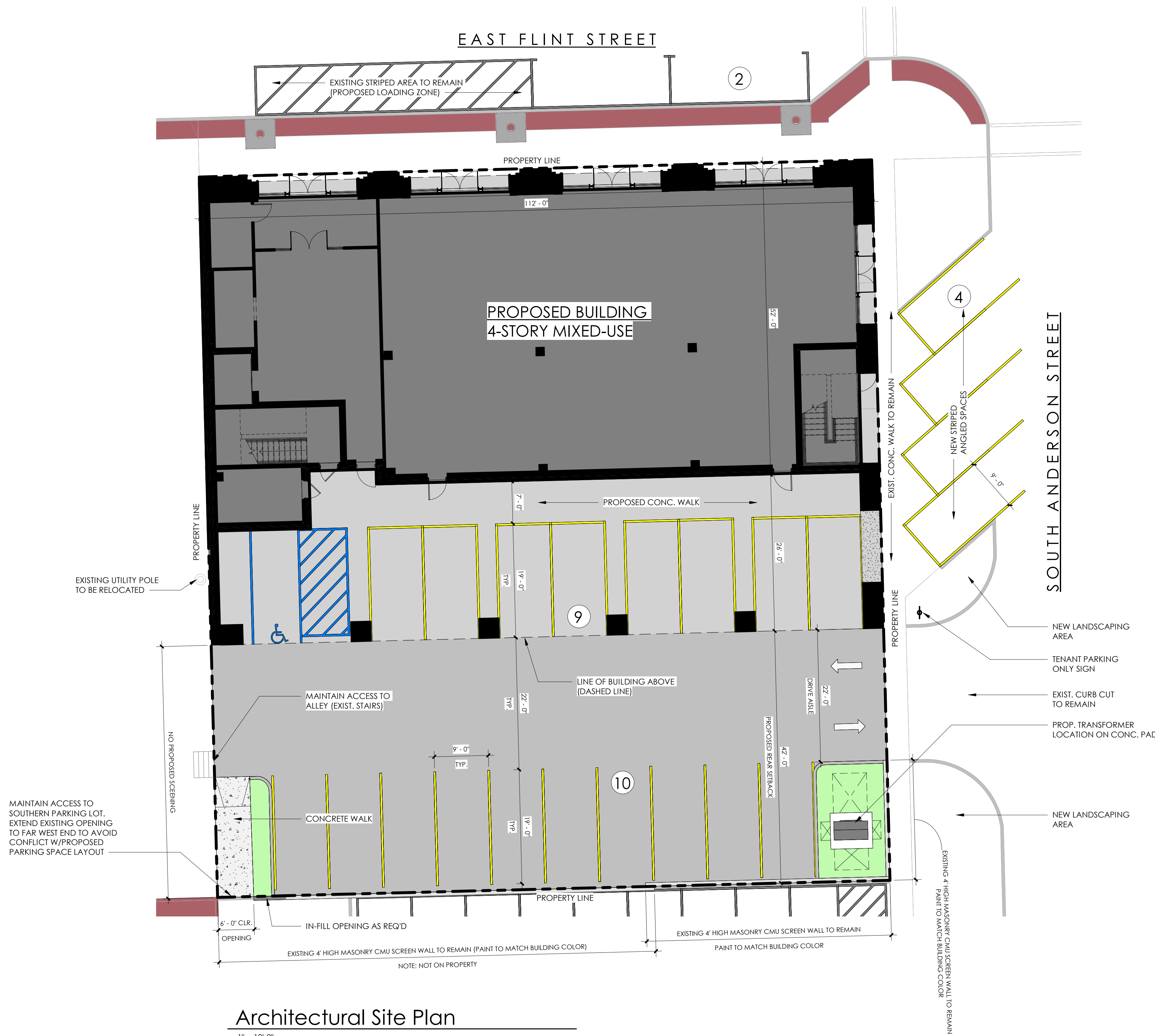
A circular diagram with a vertical line and two diagonal lines forming a triangle at the top. The vertical line extends from the top to the bottom of the circle. Two diagonal lines extend from the top of the vertical line to the left and right edges of the circle, forming a triangle. The word "North" is written above the circle.Architectural Site  
Plan

Project Number

Sheet Number:

# C.100

PRELIMINARY NOT FOR CONSTRUCTION



Zoning Information	
<b><u>PROJECT ADDRESS:</u></b>	
44 EAST FLINT STREET LAKE ORION, MI 48362	
<b>CURRENT ZONING:</b> DC (DOWNTOWN CENTER) W/ HEIGHT OVERLAY DISTRICT	
<b>LOT AREA:</b> 13,440 SQ.FT. (0.31 ACRES)	
<b><u>ZONING REQUIREMENTS:</u></b>	
ZONING INFORMATION BELOW IS BASED ON DC ZONING DISTRICT	
FRONT SETBACK: PROP. FRONT SETBACK:	0' MINIMUM, 10' MAXIMUM <b>0'-0"</b>
REAR SETBACK: PROP. REAR SETBACK:	0' MINIMUM <b>42'-0"</b>
SIDE SETBACK: SIDE STREET SETBACK: PROP. EAST SETBACK: PROP. WEST SETBACK:	10' MINIMUM 0' MINIMUM, 10' MAXIMUM <b>0'-0"</b> <b>0'-0"</b>
<b><u>ZONING REQUIREMENTS (CONT.):</u></b>	
MAX. LOT COVERAGE: PROP. LOT COVERAGE:	100% 8,386 / 13,440 = <b>62.4%</b>
MIN./MAX. BLDG. HEIGHT: PROP. BLDG. HEIGHT:	3-STORIES; 36'-0" 4-STORIES; 52'-0" (HEIGHT OVERLAY DISTRICT) <b>4-STORIES; 52'-0"</b>
MAX. DENSITY:	NONE
<b><u>VEHICLE PARKING REQUIREMENTS:</u></b>	
<b><u>REQUIRED PARKING:</u></b>	
MULTI-FAMILY RESIDENTIAL:	2 SPACE PER UPPER LEVEL DWELLING UNIT
OFFICE:	NONE REQUIRED IN DC ZONING DISTRICT
RETAIL:	NONE REQUIRED IN DC ZONING DISTRICT
MULTI-FAMILY RESIDENTIAL:	10 UNITS X 2 = 20 SPACES <b>20 SPACES REQUIRED</b>
TOTAL REQUIRED PARKING:	<b>20 PARKING SPACES</b>
PROVIDED PARKING:	<b>19 PARKING SPACES</b>








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North



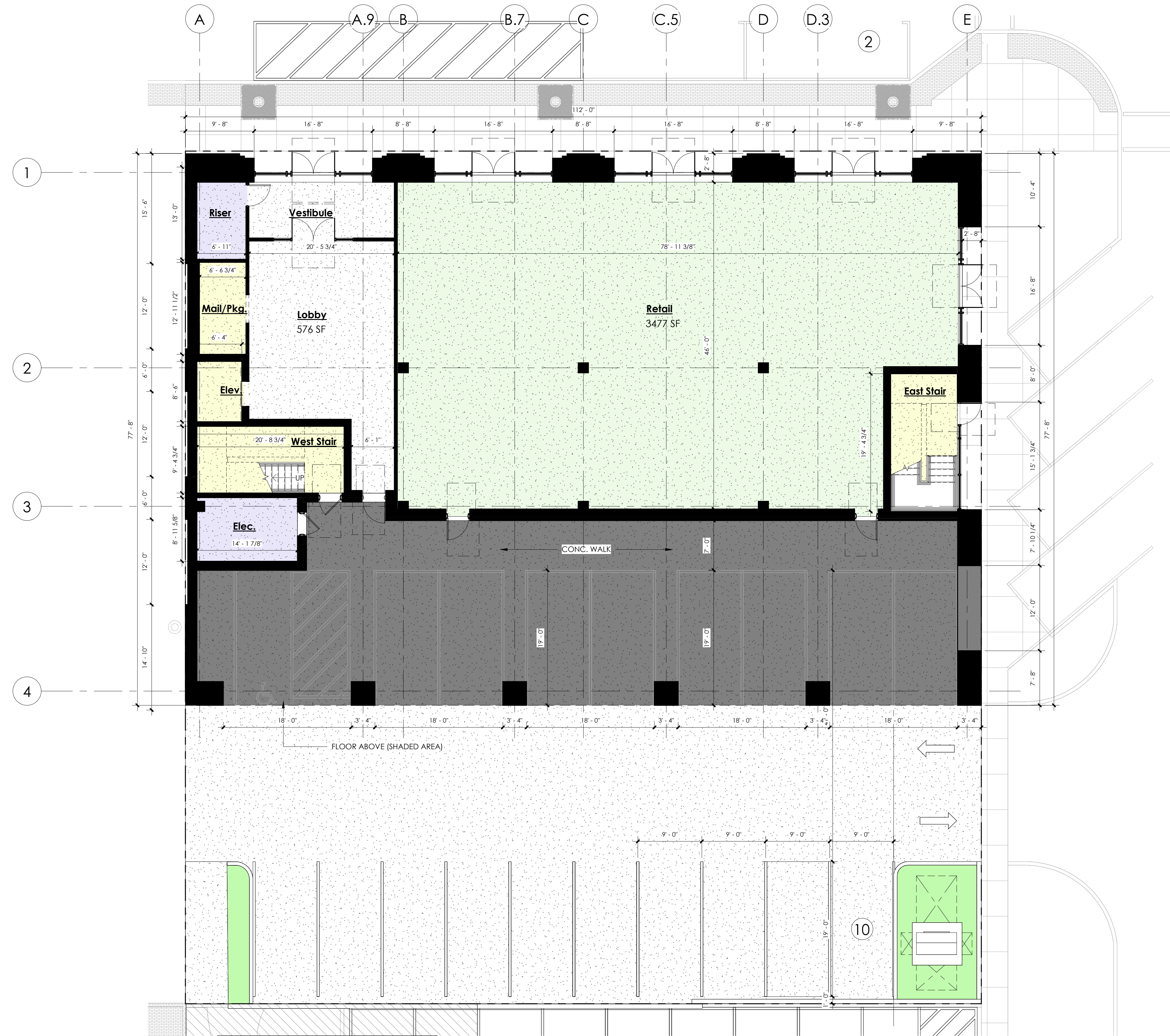
## First Floor Plan

Project Number

Sheet Number:

# A.101

PRELIMINARY NOT FOR CONSTRUCTION



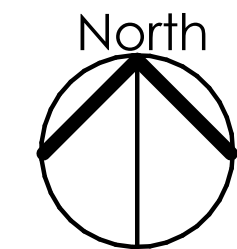
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$$1/8'' = 1'-0''$$



[illegible]

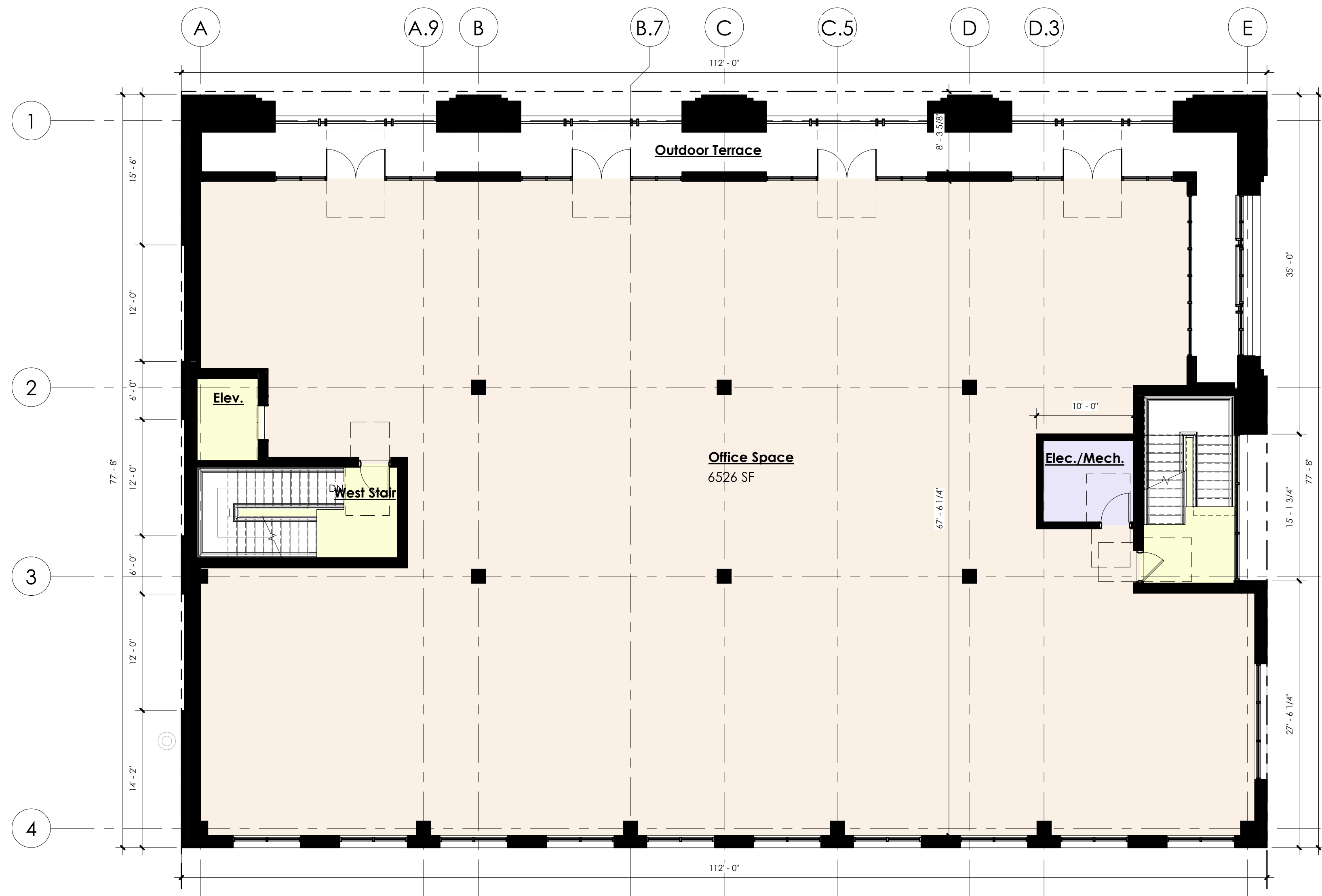
North Arrow:



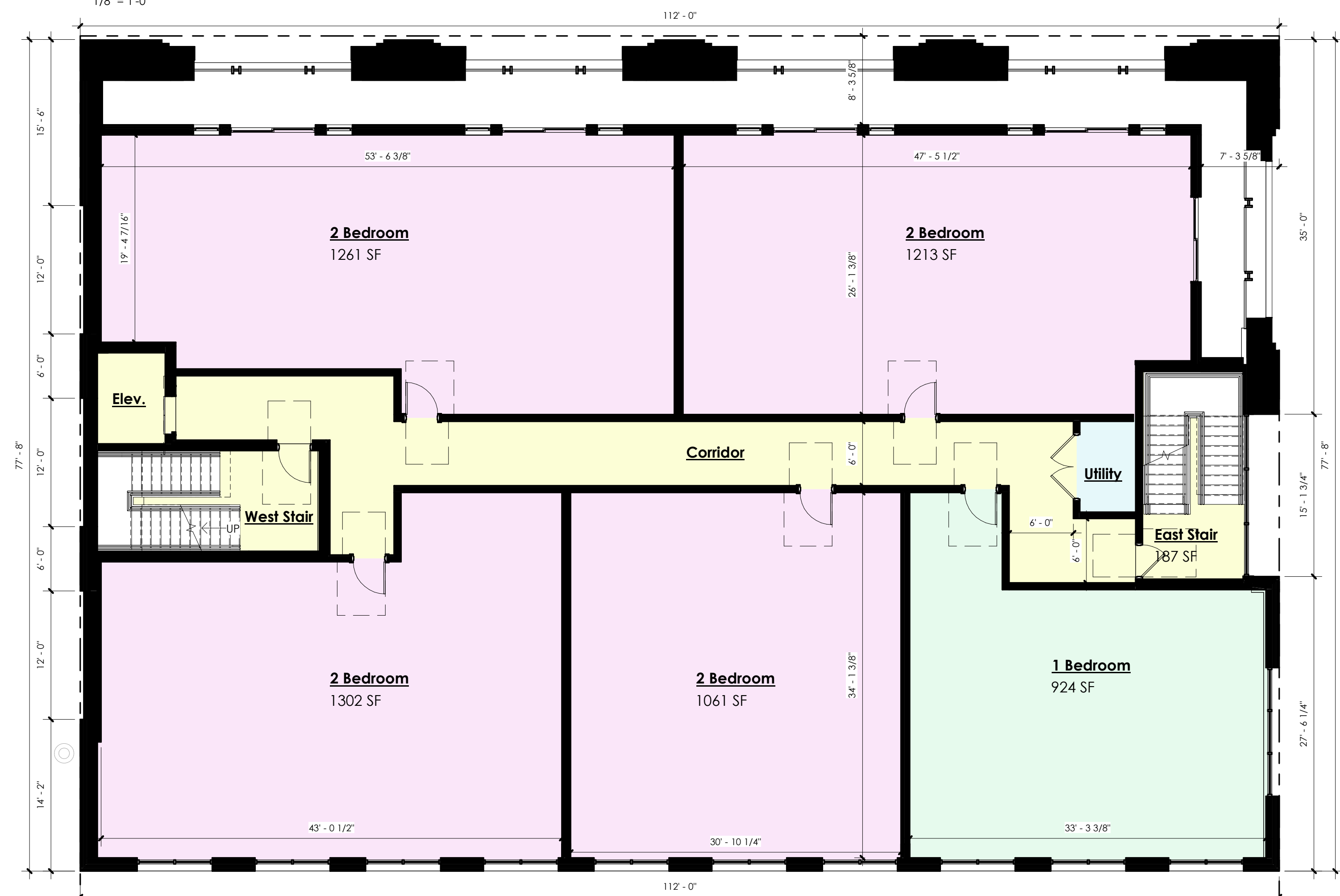
Project Number: \_\_\_\_\_  
Project Number

Sheet Number: \_\_\_\_\_

# A.102


$$1/8" = 1'-0"$$

UNIT MIX			
	1 BEDROOM	2 BEDROOM	TOTAL
3RD FLOOR	1 UNITS	4 UNITS	5 UNITS
4TH FLOOR	1 UNITS	4 UNITS	5 UNITS
<b>TOTAL</b>	2 UNITS	8 UNITS	10 UNITS


$$1/8'' = 1'-0''$$



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[illegible]

The seal is circular with a double-lined border. The outer ring contains the text "STATE OF MICHIGAN" at the top and "LICENSED ARCHITECT" at the bottom, separated by stars. The inner circle contains the name "JEFFREY GERALD KLATT" and the title "ARCHITECT". A handwritten signature is written across the seal, and the number "No. 100106199" is printed below the seal.

Do not scale drawings. Use  
calculated dimensions only.  
Verify existing conditions in  
field.

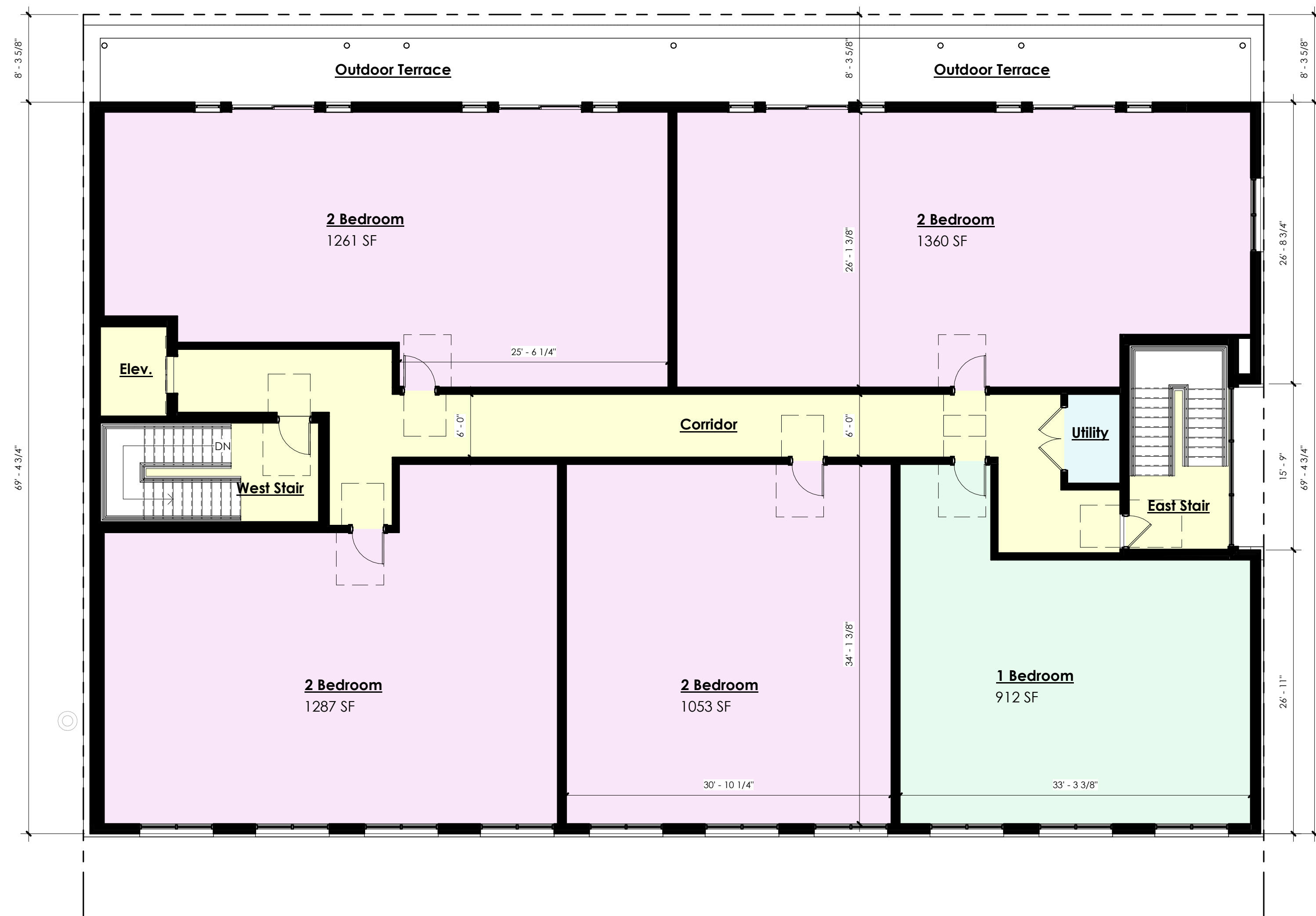
North



### Fourth Floor Plan

Project Number

# A.103



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$$1/8'' = 1'-0''$$

UNIT MIX			
	1 BEDROOM	2 BEDROOM	TOTAL
3RD FLOOR	1 UNITS	4 UNITS	5 UNITS
4TH FLOOR	1 UNITS	4 UNITS	5 UNITS
<b>TOTAL</b>	2 UNITS	8 UNITS	10 UNITS



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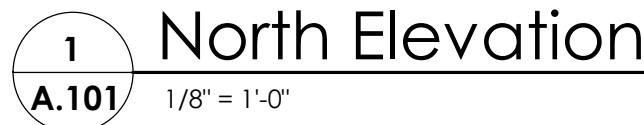
[illegible]

Do not scale drawings. Use  
calculated dimensions only.  
Verify existing conditions in  
field.

## Exterior Elevations

Project Number

# A.200



<b><u>GLAZING PERCENTAGE (NORTH ELEVATION):</u></b>	
1. OVERALL FIRST FLOOR FACADE AREA:	1,732 SQ. FT.
2. OVERALL WINDOW AREA:	932 SQ. FT.
3. GLAZING PERCENTAGE:	(932 / 1,855) <b>50.2% PROPOSED &gt; 50% REQUIRED</b>
4. OVERALL UPPER FLOOR FACADE AREA:	4,837 SQ. FT.
5. OVERALL WINDOW AREA	1,552 SQ. FT.
6. GLAZING PERCENTAGE:	(1,552 / 4,837) <b>32% PROPOSED &gt; 30% REQUIRED</b>

<b><u>GLAZING PERCENTAGE (EAST FACILITY):</u></b>	
1. OVERALL FIRST FLOOR FACADE AREA :	793 SQ. FT.
2. OVERALL FIRST FLOOR WINDOW AREA :	422 SQ. FT.
3. GLAZING PERCENTAGE:	(422 / 793) <b>53.2% PROPOSED</b> > 50% REQUIRED
4. OVERALL UPPER FLOOR FACADE AREA:	3,292 SQ. FT.
5. OVERALL UPPER FLOOR WINDOW AREA	1,060 SQ. FT.
6. GLAZING PERCENTAGE:	(1,060 / 3,292) <b>32% PROPOSED</b> > 30% REQUIRED



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[illegible]

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## Exterior Elevations

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Project Number

A.201









[illegible]

**Note:**

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Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

**North Arrow:**

Sheet Title:

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Exterior  
Renderings

Project Number: \_\_\_\_\_  
Project Number  
Scale:

Sheet Number: A.301



PRELIMINARY NOT FOR CONSTRUCTION





SOURCE: USGS NATIONAL MAPPER

### LOCATION MAP

SCALE: 1" = 800'±



SOURCE: NEARMAP, DATE RETRIEVED 07/09/2024

### AERIAL MAP

SCALE: 1" = 50'±

# SITE DEVELOPMENT PLANS FOR 44 EAST FLINT STREET PROPOSED MIXED-USE BUILDING

PARCEL ID: 09-02-481-007 & 09-02-481-008

44 EAST FLINT STREET  
VILLAGE OF LAKE ORION  
OAKLAND COUNTY, MICHIGAN

THE SITE DOES NOT FALL WITHIN THE 100-YEAR  
FLOODPLAIN OR CONTAIN ANY WETLANDS

#### APPLICANT

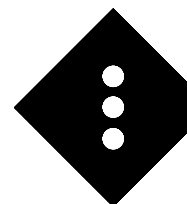
JS CAPITOL GROUP  
155 ROMEO ROAD, SUITE 300  
ROCHESTER, MI 48307  
PAUL@JSCAPITOL.COM

#### ARCHITECT

KREIGER KLATT ARCHITECTS  
2120 E 11 MILE ROAD  
ROYAL OAK, MI 48067  
248.414.9270  
JEFF@KREIGERKLATT.COM

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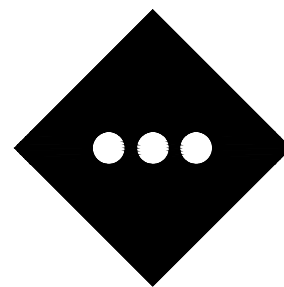
Phone 248.247.1115

SITE DEVELOPMENT PLANS

**44 EAST FLINT STREET**  
**PROPOSED MIXED-USE BUILDING**

PARCEL ID: 09-02-481-007 & 09-02-481-008  
44 EAST FLINT STREET  
VILLAGE OF LAKE ORION  
OAKLAND COUNTY, MICHIGAN

PLANS PREPARED BY:



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Phone 248.247.1115



Know what's **below**  
Call before you dig.

#### PLAN REFERENCE MATERIALS:

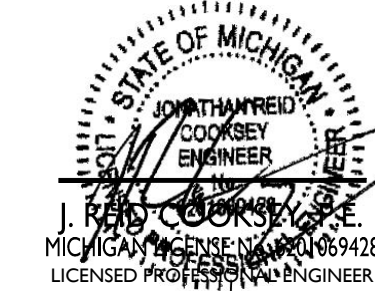
- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
  - TOPOGRAPHICAL SURVEY PREPARED BY AB-SB LAND SURVEY, P.C., DATED 03/07/2021
  - ARCHITECTURAL PLANS PREPARED BY KRIEGER KLATT ARCHITECTS, DATED 07/08/2024
  - AERIAL MAP PROVIDED BY NEARMAP, DATE RETRIEVED 07/09/2024
  - ZONING MAP PROVIDED BY VILLAGE OF LAKE ORION, DATE RETRIEVED 07/09/2024
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

#### SHEET INDEX

DRAWING TITLE	SHEET #
COVER SHEET	C-1
EXISTING CONDITIONS PLAN	C-2
SITE PLAN	C-3
GRADING & STORMWATER MANAGEMENT PLAN	C-4
UTILITY PLAN	C-5
LANDSCAPING PLAN	C-6
CONSTRUCTION DETAILS	C-7

#### ADDITIONAL SHEETS

DRAWING TITLE	SHEET #
TOPOGRAPHIC SURVEY	1 OF 1



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SCALE: AS SHOWN PROJECT ID: DET-240125

TITLE:

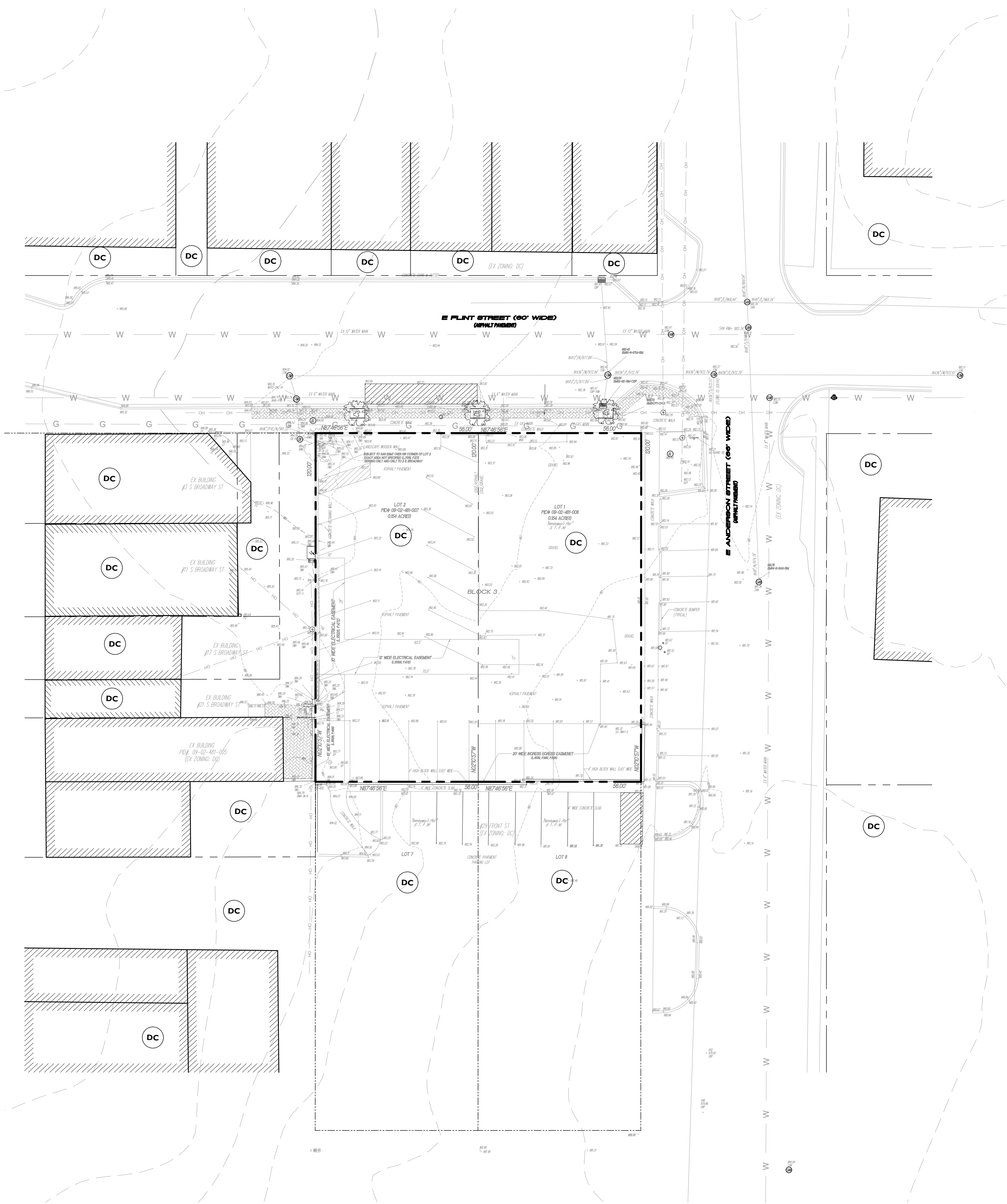
COVER SHEET

DRAWING:

C-1



\\0102005724025 \$ CAPITAL - 44 EAST FLINT STREET, LAKE ORION, MICHIGAN, LOT 20P, 68X107 DWG



## GENERAL NOTES

-Utility information as shown herein are compilation of field observation and City's records, therefore no guarantee could be given as to their exact location and depth. An excavation might be needed in order to determine utility position.

-All measurements as shown herein are existing.

-All symbols as shown herein are not to scale.

-While surveying the property as shown herein, entire site was covered with snow and ice. AB-SB Land Survey, P.C. shell not be held liable if some of the site features were omitted.

-All measured elevations are expressed in North American Vertical Datum as of 1988. (NAVD88)

-AB-SB Land Survey, P.C retains the sole ownership of this document as an instrument of service and it can not be reused nor reproduced without written permission and additional compensation.  
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## LEGAL DESCRIPTION

#44 E Flint Street, Lake Orion, MI, 48362

Part of the E ½ of the SE 1/4 of Section 2, Town 4 North, Range 10 East, Village of Lake Orion, Oakland County, Michigan, being more particularly described as follows:  
LOT 1 of BLOCK 3 of "Hemingway's Plat", as being recorded in Liber 1 of Plats, on Page 34, Oakland County Records.  
Containing: 6,720 Square Feet---0.154 Acres, more or less.  
Parcel Identification Number:# 09-02-481-008.  
Subject to the rights of a public and any easements and/or restrictions of record or otherwise.

Vacant, E Flint Street, Lake Orion, MI, 48362

































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LOT 2 of BLOCK 3 of "Hemingway's Plat", as being recorded in Liber 1 of Plats, on Page 34, Oakland County Records.  
Containing: 6,720 Square Feet---0.154 Acres, more or less.  
Parcel Identification Number:# 09-02-481-007.  
Subject to the rights of a public and any easements and/or restrictions of record or otherwise.

TOTAL LAND AREA  
13,440 ± SQUARE FEET  
0.308 ± ACRES

## FLOOD NOTE

Subject property as depicted herein,  
DOES NOT LIE in a Special Flood  
Hazard Area (SFHA), according to Flood  
Insurance Rate Map (FIRM) No. 260588,  
Panel No. 0236, Suffix "F", being  
effective as of September 29, 2006.

## SYMBOL

	= UTILITY POLE
	= OVER HEAD WIRE
	= CHAIN LINK FENCE
	= PAVEMENT CATCH BASIN/CBP
	= CATCH BASIN
	= EX. SANITARY M.H.
	= EX. GATE VALVE & WATER
	= EX. STORM M.H.
	= EX. ELECTRIC MANHOLE
	= EX. HYDRANT
	= WATER SHUT OFF
	= ELECTRIC METER
	= TRANSFORMER
	= PAVERS
	= LIGHT POLE
	= ELEVATION
	= FINISH FLOOR
	= FINISH GRADE
	= PARCEL IDENTIFICATION NUMBER
	= GUARD POST
	= TREE-8'TRUNK-8FT SPREAD
	= TOWN/RANGE
	= LIBER/PAGE
	= TOP/BOTTOM OF WALL
	= BENCH MARK
	= NORTH AMERICAN VERTICAL DATUM AS OF 1988
	= EXISTING
	= INVERT
	= CHISELED "X" IN CONCRETE
	= FOUND IRON/CAPPED IRON
	= SIGN
	= CONTROL POINT

## DESCRIPTION

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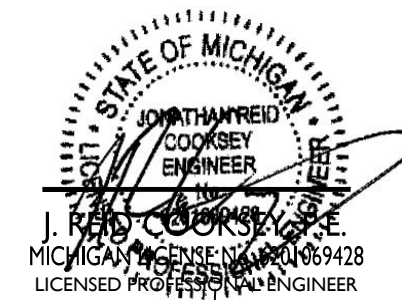
555 S. Old Woodward, Suite 12L, Birmingham, MI 48009

Phone 248.247.1115

SITE DEVELOPMENT PLANS

**44 EAST FLINT STREET**  
**PROPOSED MIXED-USE BUILDING**

PARCEL ID: 09-02-481-007 & 09-02-481-008  
44 EAST FLINT STREET  
VILLAGE OF LAKE ORION  
OAKLAND COUNTY, MICHIGAN



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SCALE: 1" = 20' PROJECT ID: DET-240125

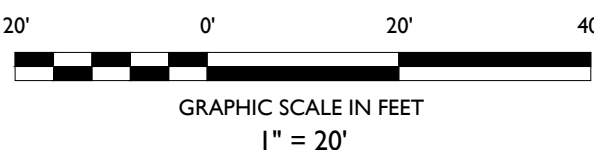
TITLE:  
**EXISTING CONDITIONS  
PLAN**

DRAWING:

**C-2**

## SURVEY NOTES:

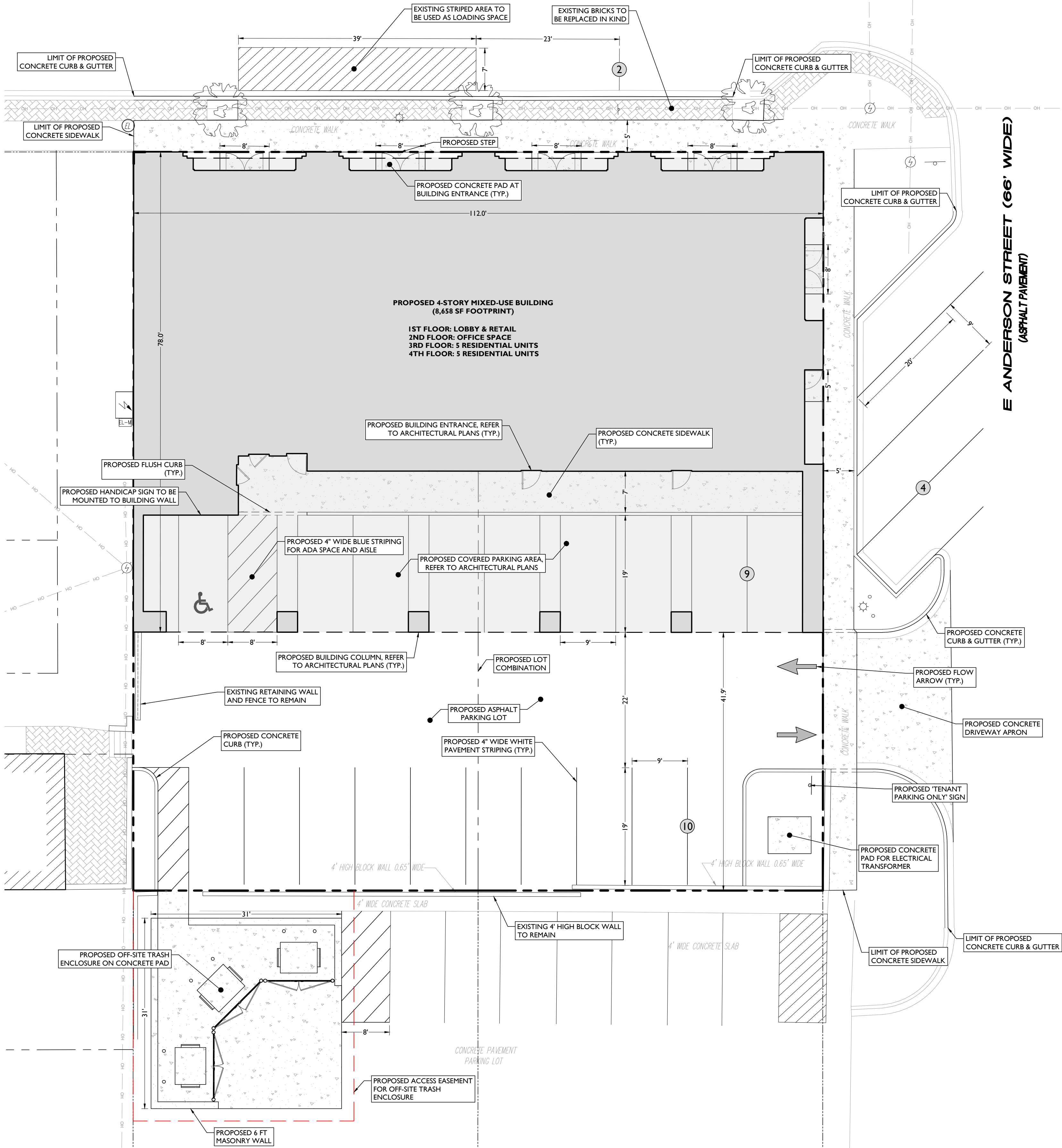
1. THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.





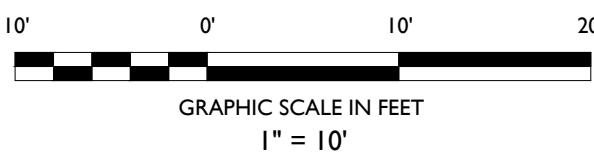
E FLINT STREET (60' WIDE)  
(ASPHALT PAVEMENT)

E ANDERSON STREET (66' WIDE)  
(ASPHALT PAVEMENT)



SYMBOL	DESCRIPTION
	PROPERTY LINE
	PROPOSED CONCRETE CURB & GUTTER
	PROPOSED CONCRETE CURB
	PROPOSED FLUSH CURB
	PROPOSED SIGN
	PROPOSED BUILDING
	PROPOSED BUILDING OVERHANG
	PROPOSED CONCRETE
	PROPOSED BUILDING DOORS

- GENERAL NOTES**
- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
  - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
  - ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
  - THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
  - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
  - THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
  - THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
  - CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
  - THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
  - THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
  - THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
  - SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



NOT APPROVED FOR CONSTRUCTION

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VILLAGE OF LAKE ORION  
OAKLAND COUNTY, MICHIGAN



**STONEFIELD**  
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SCALE: 1" = 10' PROJECT ID: DET-240125

TITLE:

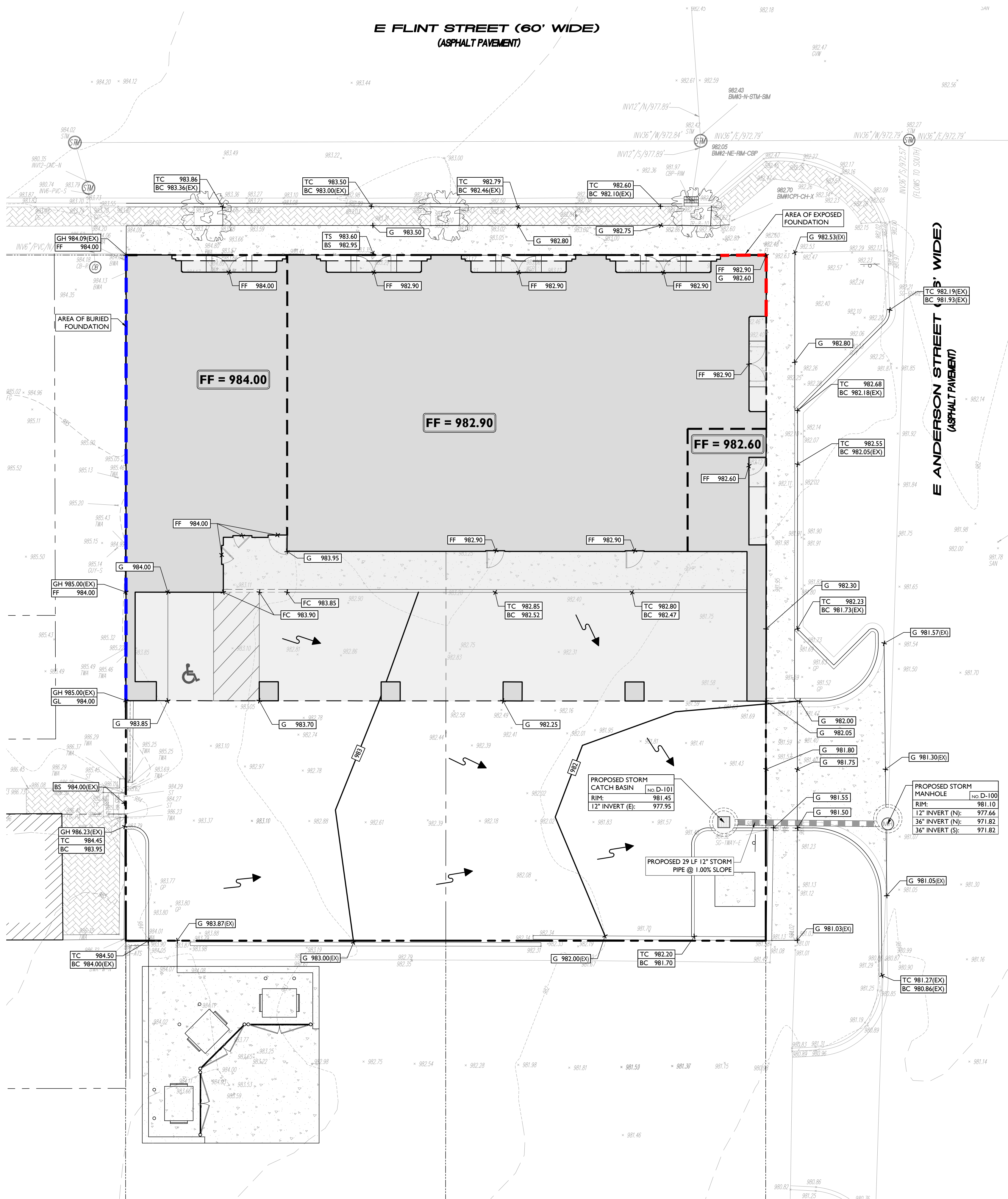
SITE PLAN

DRAWING:

C-3



NOTED: 04/05/24: 2415 S CAPITAL - 44 EAST FLINT STREET, LANE ORIGIN: 100' FROM TOP OF GRADE



#### BENCHMARKS

SITE BENCHMARK NO. 1:  
TOP OF CHISELED "X" IN  
CONCRETE WALK, BEING  
8.5 FEET NWLY FROM THE  
NE CORNER OF LOT 1 OF  
THE SUBJECT PROPERTY.  
EL=982.70' (NAVD88).

SITE BENCHMARK NO. 2:  
NE RIM OF PAVEMENT  
CATCH BASIN, BEING 15.9  
FEET NWLY FROM THE NE  
CORNER OF LOT 1 OF THE  
SUBJECT PROPERTY.  
EL=982.05' (NAVD88).

SITE BENCHMARK NO. 3:  
NORTH RIM OF A STORM  
MANHOLE, BEING 10 FEET  
NWLY FROM BM#2.  
EL=982.43' (NAVD88).

#### SYMBOL

SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	PROPOSED GRADING CONTOUR
---	PROPOSED DIRECTION OF DRAINAGE FLOW
X G 100.00	PROPOSED GRADE SPOT SHOT
X FF 100.00	PROPOSED FINISHED FLOOR SPOT SHOT
X TC 100.50 BC 100.00	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
X FC 100.00	PROPOSED FLUSH CURB SPOT SHOT
X GH 100.12 GL 100.00	PROPOSED GRADE HIGH / GRADE LOW SPOT SHOT
X TS 102.00 BS 100.00	PROPOSED TOP OF STEP / BOTTOM OF STEP SPOT SHOT
---	PROPOSED AREA OF EXPOSED FOUNDATION
---	PROPOSED AREA OF BURIED FOUNDATION
---	PROPOSED INTERIOR BUILDING WALL

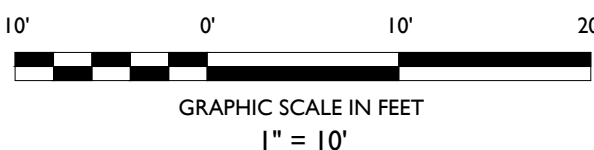
ON-SITE STORMWATER DETENTION IS NOT REQUIRED PER OCWRC  
STORMWATER MANAGEMENT REQUIREMENTS AS DEVELOPMENT  
CONSTRUCTION ACTIVITY IS LESS THAN 1 ACRE

#### GRADING NOTES

- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
- THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
- THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
- MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
  - CURB GUTTER: 0.50%
  - CONCRETE SURFACES: 1.00%
  - ASPHALT SURFACES: 1.00%
- A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IF THIS CONDITION CANNOT BE MET.
- FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF PUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

#### ADA NOTES

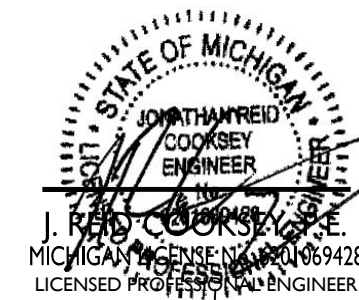
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
- THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP, AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP PATH, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP. FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURB RAMP FLARES SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
- ACCESSIBLE RAMPS WITH A RISE GREATER THAN 4 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
- A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
- THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH, WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/2 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
- THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATIONS) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/2 INCH.



#### SITE DEVELOPMENT PLANS

### 44 EAST FLINT STREET PROPOSED MIXED-USE BUILDING

PARCEL ID: 09-02-481-007 & 09-02-481-008  
44 EAST FLINT STREET  
VILLAGE OF LAKE ORION  
OAKLAND COUNTY, MICHIGAN



SCALE: 1" = 10' PROJECT ID: DET-240125

TITLE:  
**GRADING &  
STORMWATER  
MANAGEMENT PLAN**

DRAWING:

C-4

DESCRIPTION

BY

DATE

ISSUE

NOT APPROVED FOR CONSTRUCTION

**STONEFIELD**  
engineering & design

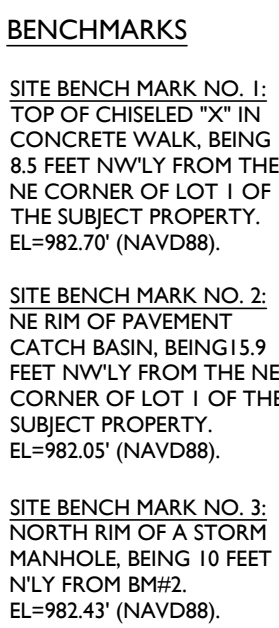
Birmingham, MI • New York, NY • Salem, MA  
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www.stonefielddesign.com

555 S. Old Woodward, Suite 12L, Birmingham, MI 48009

Phone 248.247.1115

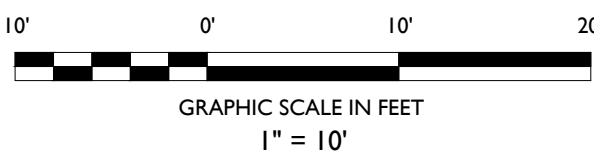




SYMBOL	DESCRIPTION
	PROPERTY LINE
	PROPOSED SANITARY LATERAL
	PROPOSED DOMESTIC WATER SERVICE
	PROPOSED ELECTRIC CONDUITS
	PROPOSED GAS LINE
	PROPOSED VALVE
	EXISTING FIRE HYDRANT
	PROPOSED FIRE DIRECT CONNECTION (FDC)
	PROPOSED SANITARY CLEANOUT
	PROPOSED TRANSFORMER ON CONCRETE PAD WITH BOLLARDS

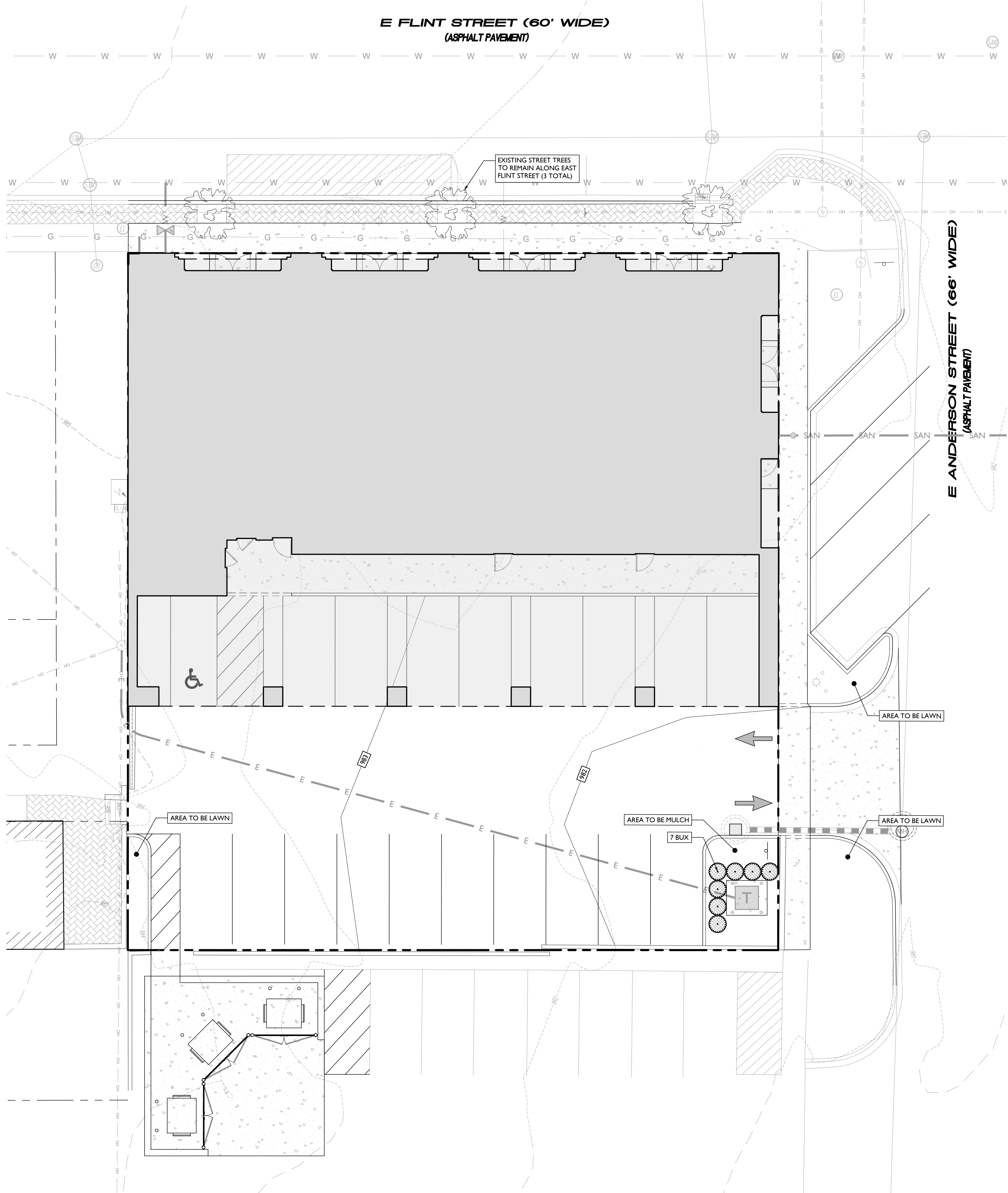
### DRAINAGE AND UTILITY NOTES

1. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION (EXCAVATION AND TRENCHING) PRIOR TO THE START OF ANY EXCAVATION OR TRENCHING IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION AND A UTILITY LOCATION SHOWN ON THE EXISTING PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
2. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL UTILITIES NOT TO BE EXCAVATED OR TRENCHED.
3. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE EXISTING WORK. THE CONTRACTOR SHALL MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE INSTALLED PER THE REQUIREMENTS AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
4. ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWERS. IF THE CONTRACTOR DETERMINES THAT THIS VERTICAL SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
5. THE CONTRACTOR SHALL PROVIDE A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER SERVICE. THE CONTRACTOR SHALL PROVIDE A TEST PIT FOR EACH UTILITY CROSSING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
6. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, WATER, AND TELEPHONE/TELEVISION CONNECTIONS WITH APPROPRIATE GOVERNING AUTHORITY.
7. CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER OR SANITARY INVERT PRIOR TO THE START OF ANY EXCAVATION.
8. CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE RESULTS OF THE FIELD SURVEY. THE RECORD SET SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
9. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE HORIZONTAL LOCATION OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE FIELD SURVEY. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER FOLLOWING COMPLETION OF WORK.

[illegible]



\\0120\0057240125 & CAPITAL - 44 EAST FLINT STREET LAKE ORION, MICHIGAN\OTD\PLAN\LAND.DWG



LANDSCAPING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 15.02.C.	DC DOWNTOWN LANDSCAPING PARCELS IN DC - DOWNTOWN DISTRICT ARE EXEMPT FROM LANDSCAPING REQUIREMENTS EXCEPT FOR:	
§ 15.02.C.1.	TREES REQUIRED TO ENHANCE BUILDING AND STREET	COMPLIES
§ 15.02.C.2.	PLANTER BOXES OR OTHER LANDSCAPE FEATURES REQUIRED WHERE APPROPRIATE	COMPLIES
§ 15.02.C.3.	OUTDOOR UTILITY EQUIPMENT SHALL BE SCREENED	COMPLIES

PLANT SCHEDULE						
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
EVERGREEN SHRUBS						
	BUX	7	BUXUS X 'GREEN MOUNTAIN'	GREEN MOUNTAIN BOXWOOD	18" - 24"	POT
	SEM	5	BUXUS SEMPERVIRENS 'SUFFRUTICOSA'	SUFFRUTICOSA COMMON BOXWOOD	18" - 24"	POT

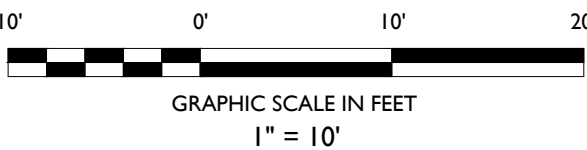
NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.



Know what's **below**  
Call before you dig.

LANDSCAPING NOTES

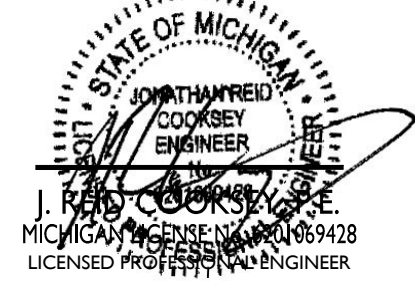
1. THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
2. THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
3. THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
4. THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
6. THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.



SITE DEVELOPMENT PLANS

44 EAST FLINT STREET  
PROPOSED MIXED-USE BUILDING

PARCEL ID: 09-02-481-007 & 09-02-481-008  
44 EAST FLINT STREET  
VILLAGE OF LAKE ORION  
OAKLAND COUNTY, MICHIGAN



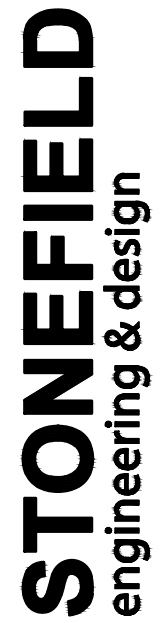
SCALE: 1" = 10' PROJECT ID: DET-240125

TITLE:

LANDSCAPING PLAN

DRAWING:

C-6



Birmingham, MI • New York, NY • Salem, MA  
Princeton, NJ • Tampa, FL • Rutherford, NJ  
www.stonefielddeng.com

555 S. Old Woodward, Suite 12L, Birmingham, MI 48009  
Phone 248.247.1115

NOT APPROVED FOR CONSTRUCTION

FOR ZBA SUBMITTAL

DESCRIPTION

BY

DATE

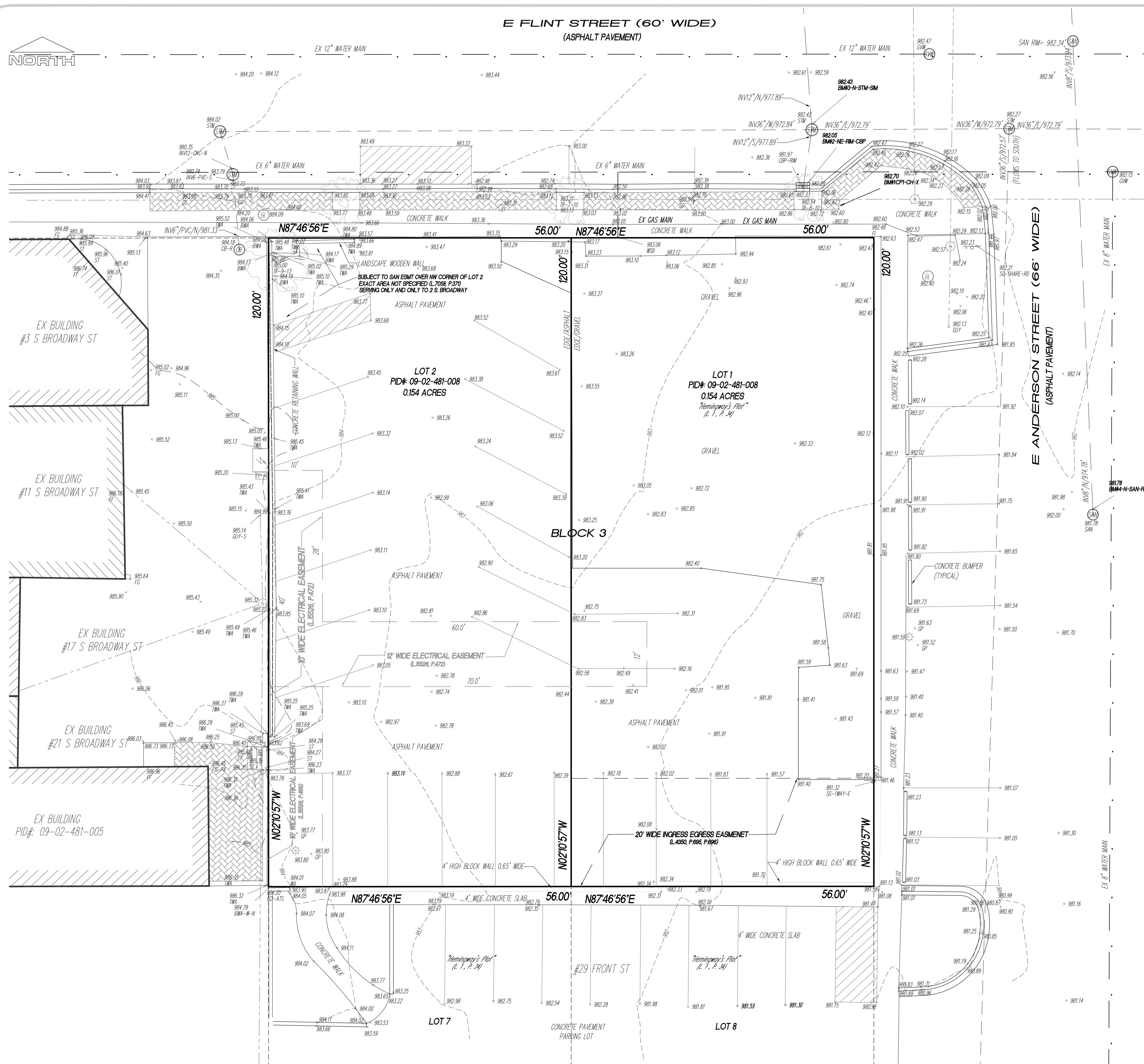
ISSUE







# TOPOGRAPHIC SURVEY



### LEGEND

- UTILITY POLE
- OVER HEAD WIRE
- CHAIN LINK FENCE
- PAVEMENT CATCH BASIN/CBP
- CATCH BASIN
- EX. SANITARY M.H.
- EX. GATE VALVE & WATER
- EX. STORM M.H.
- EX. ELECTRIC MANHOLE
- EX. HYDRANT
- WATER SHUT OFF
- ELECTRIC METER
- TRANSFORMER
- PAVERS
- LIGHT POLE
- ELEVATION
- FINISH FLOOR
- FINISH GRADE
- PARCEL IDENTIFICATION NUMBER
- GUARD POST
- TR-8-8
- TREE-8" TRUNK-8FT SPREAD
- TOWN/RANGE
- L/P
- TWA/BWA
- BM
- NAVD88
- EX
- INV
- CH-X
- FI/FCI
- SG
- CP

WSO  
EL-M  
FF  
FG  
P.I.D.  
GP  
TR-8-8  
T/R  
L/P  
TWA/BWA  
BM  
NAVD88  
EX  
INV  
CH-X  
FI/FCI  
SG  
CP

### BENCH MARK INFORMATION

**Site Bench Mark No. 1:**  
Top of chiseled "X" in concrete walk, being 8.5 feet NW'LY from the NE corner of LOT 1 of the subject property. EL=982.70' (NAVD88).

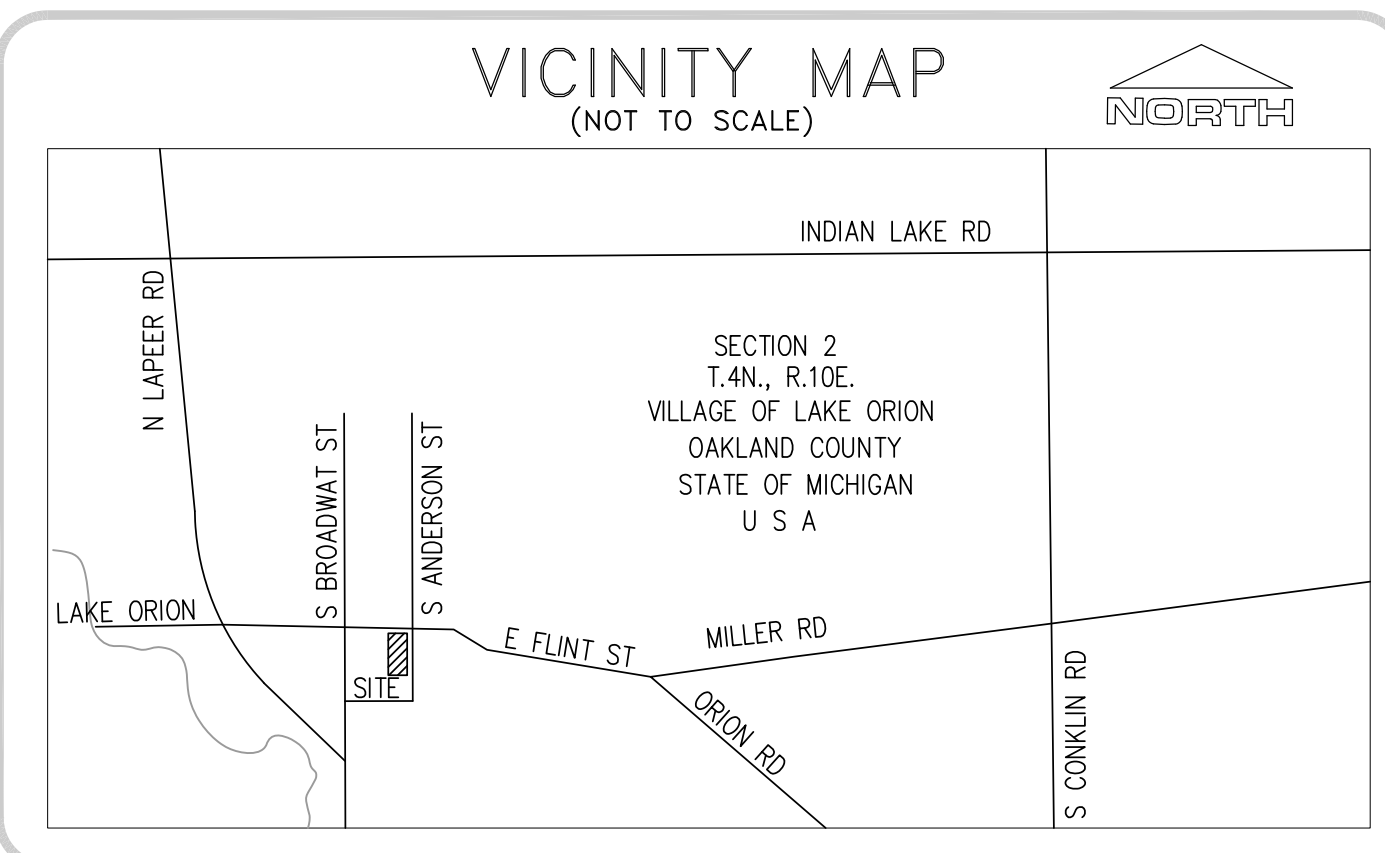
**Site Bench Mark No. 2:**  
NE rim of pavement catch basin, being 15.9 feet NW'LY from the NE corner of LOT 1 of the subject property. EL=982.05' (NAVD88).

**Site Bench Mark No. 3:**  
North rim of a storm manhole, being 10 feet N'LY from BM#2. EL=982.43' (NAVD88).

**TOTAL LAND AREA**  
13,440 ± SQUARE FEET  
0.308 ± ACRES

### FLOOD NOTE

Subject property as depicted herein, DOES NOT LIE in a Special Flood Hazard Area (SFHA), according to Flood Insurance Rate Map (FIRM) No. 260588, Panel No. 0236, Suffix "F", being effective as of September 29, 2006.



### GENERAL NOTES

- Utility information as shown herein are compilation of field observation and City's records, therefore no guarantee could be given as to their exact location and depth. An excavation might be needed in order to determine utility position.
- All measurements as shown herein are existing.
- All symbols as shown herein are not to scale.
- While surveying the property as shown herein, entire site was covered with snow and ice. AB-SB Land Survey, P.C. shall not be held liable if some of the site features were omitted.
- All measured elevations are expressed in North American Vertical Datum as of 1988. (NAVD88)
- AB-SB Land Survey, P.C. retains the sole ownership of this document as an instrument of service and it can not be reused nor reproduced without written permission and additional compensation. Copyright © 2021 AB-SB Land Survey, P.C.

### LEGAL DESCRIPTION

#44 E Flint Street, Lake Orion, MI, 48362  
Part of the E 1/2 of the SE 1/4 of Section 2, Town 4 North, Range 10 East, Village of Lake Orion, Oakland County, Michigan, being more particularly described as follows:  
LOT 1 of BLOCK 3 of "Hemingway's Plat", as being recorded in Liber 1 of Plats, on Page 34, Oakland County Records. Containing: 6,720 Square Feet---0.154 Acres, more or less. Parcel Identification Number:# 09-02-481-008. Subject to the rights of a public and any easements and/or restrictions of record or otherwise.

Vacant, E Flint Street, Lake Orion, MI, 48362  
Part of the E 1/2 of the SE 1/4 of Section 2, Town 4 North, Range 10 East, Village of Lake Orion, Oakland County, Michigan, being more particularly described as follows:  
LOT 2 of BLOCK 3 of "Hemingway's Plat", as being recorded in Liber 1 of Plats, on Page 34, Oakland County Records. Containing: 6,720 Square Feet---0.154 Acres, more or less. Parcel Identification Number:# 09-02-481-007. Subject to the rights of a public and any easements and/or restrictions of record or otherwise.

Mende Bezanovski, P.S. 49430  
Professional Surveyor in the State of Michigan

0' 5' 10' 20'

36636 North Pointe Dr. New Baltimore, MI 48067  
TEL: (586) 822-4964 FAX: (586) 591-5930  
info@ab-sb-landsurvey.com  
www.ab-sb-landsurvey.com

SCALE: 1" = 10'	PAGE: 1 OF 1
JOB NUMBER: 2021-02-04-127-SS	DRAWN: MB
FIELD: MB	CHECKED: MB
REVISIONS:	DATE: 03-07-2021
CLIENT: TRI-COUNTY ENGINEERING	
ADDRESS: 44 E Flint Street Lake Orion, MI, 48362	TEL: (810)-394-7887 FAX: (586)-566-4642