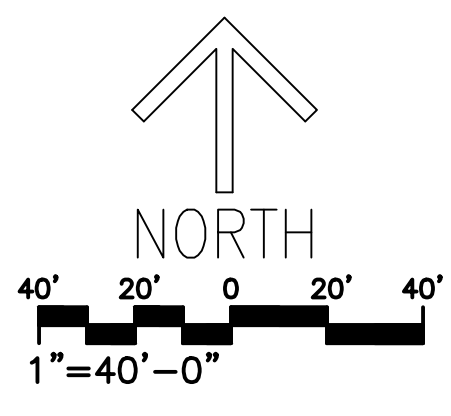
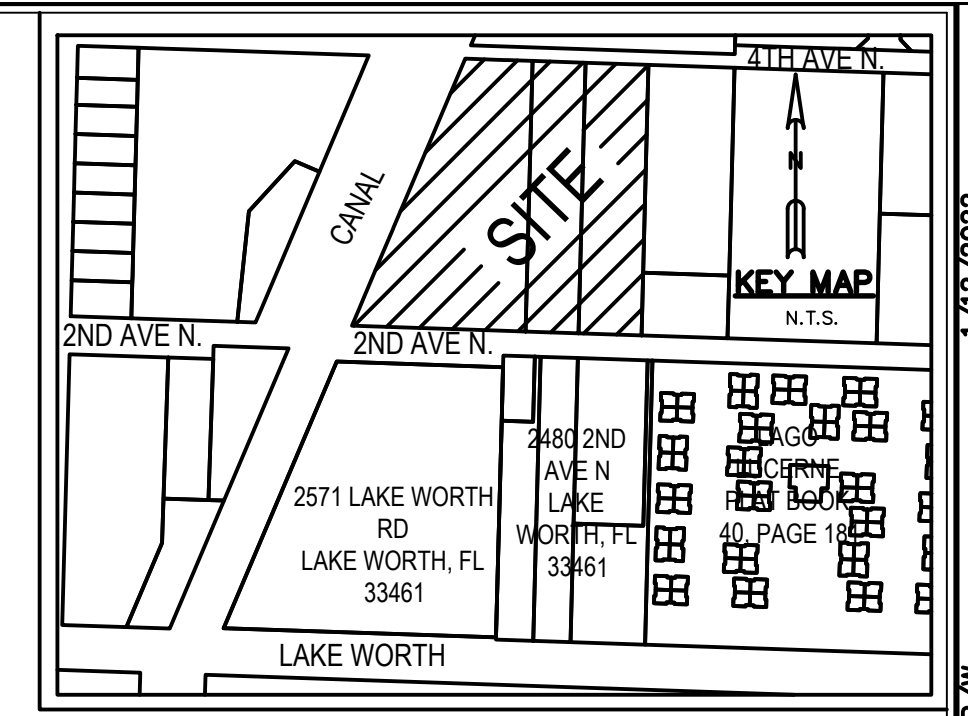
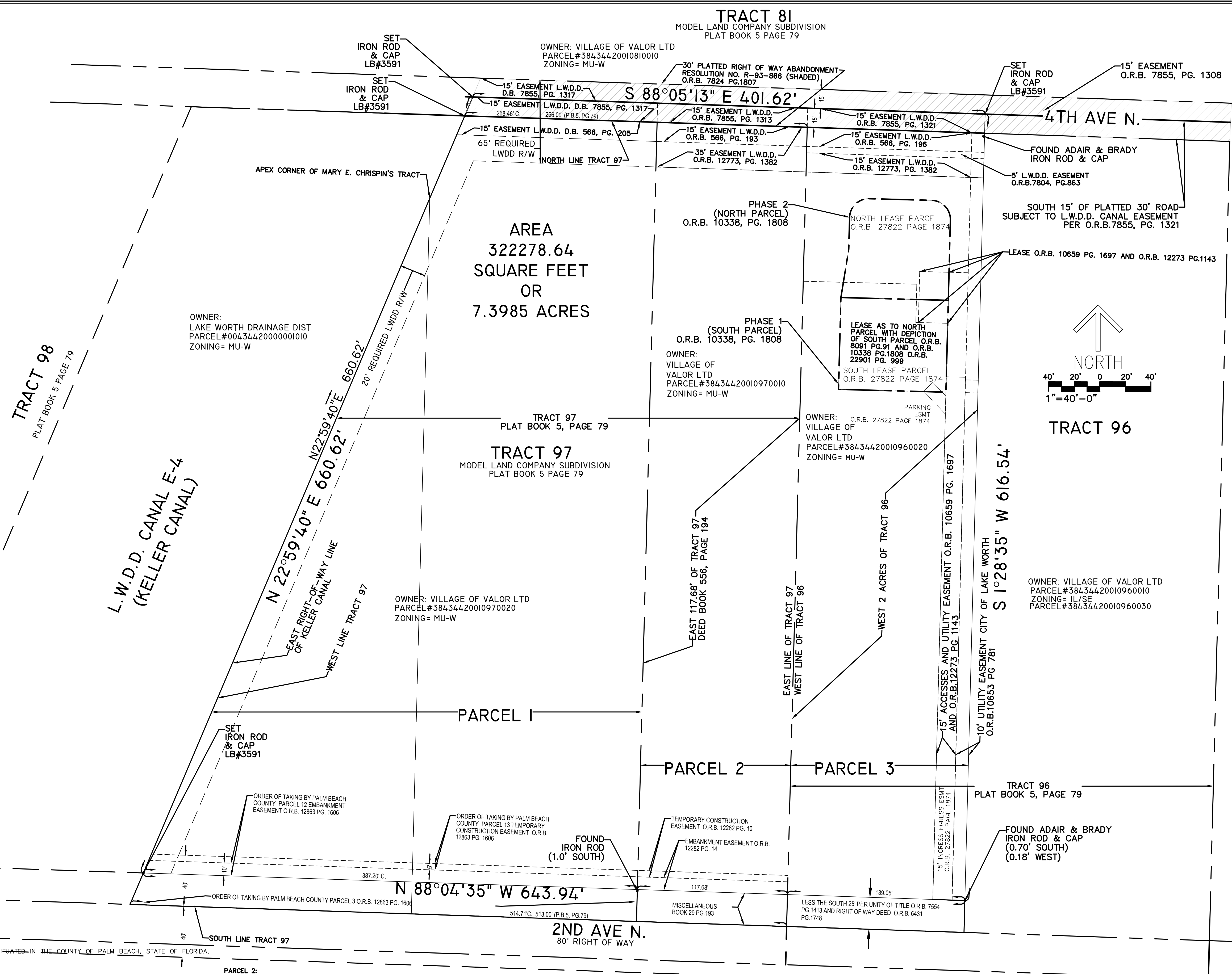


- LEGEND NOTES**
- ALUM - ALUMINUM
  - BLDG - BUILDING
  - BEL - BELLSOUTH
  - B.C.R. - BROWARD COUNTY RECORDS
  - C - CALCULATED
  - C.B. - CATCH BASIN
  - C.M.P. - CORRUGATED METAL PIPE
  - CALC. - CALCULATED
  - CCS - CONCRETE BLOCK & STUCCO CONC. - CONCRETE
  - COR. - CORNER
  - COV. - COVERED
  - D.E. - DRAINAGE EASEMENT
  - D.O.T. - DEPARTMENT OF TRANSPORTATION
  - E.O.P. - EDGE OF PAVEMENT
  - E.O.W. - EDGE OF WATER
  - ELEC. - ELECTRIC
  - ELEV. - ELEVATION
  - ESM. - EASEMENT
  - EX - EXISTING
  - FPL - FLORIDA POWER & LIGHT
  - F.F. - FINISHED FLOOR
  - FND. - FOUND
  - GV - GATE VALVE
  - HOPE - HIGH-DENSITY POLYETHYLENE
  - ICV - IRRIGATION CHECK VALVE
  - IR/CAP - IRON ROD & CAP
  - TWP. - TOWNSHIP
  - M.B. - MISCELLANEOUS BOOK
  - M.H. - MANHOLE
  - M. - MEASURED
  - NO. - NUMBER
  - O.E. - OVERHEAD ELECTRIC
  - O/L - ON LINE
  - O.R.B. - OFFICIAL RECORD BOOK
  - P.B. - PLAT BOOK
  - P.B.C.R. - PALM BEACH COUNTY RECORDS
  - P. - PLATED
  - P.I. - POINT OF INTERSECTION
  - P.O.B. - POINT OF BEGINNING
  - P.O.C. - POINT OF COMMENCEMENT
  - NPB.C.D. - NORTHERN PALM BEACH COUNTY IMPROVEMENT DISTRICT
  - MPP - POWERPOLE
  - P.R.M. - PERMANENT REFERENCE MONUMENT
  - R - RADIUS
  - R/W - RIGHT-OF-WAY
  - RGE. - RANGE
  - S.B.T. - SOUTHERN BELL TELEPHONE
  - SAN. - SANITARY
  - SEC - SECTION
  - SQ. FT. - SQUARE FEET
  - T.O.B. - TOP OF BANK
  - YD. - YARD DRIAN
  - U.E. - UTILITY EASEMENT
  - WM - WATER METER
  - SM - STORM MANHOLE
  - SSM - SANITARY MANHOLE
  - W - WATER VALVE
  - EW - EDGE OF WATER
  - TOB - TOP OF BANK
  - SW - SWALE LINE
  - [POWER] - OVER HEAD POWER LINE
  - T - T - T - AT&T LINE
  - F - F - F - FPL LINE
  - C - C - C - COMCAST LINE
  - SET 5/8" IR/CAP LB 3591 UNLESS NOTED
  - Δ - DELTA (CENTRAL ANGLE)
  - L.W.D.D. - LAKE WORTH DRAINAGE DISTRICT
  - BFP - BACK FLOW PREVENTOR
  - 16.0 - EXISTING ELEVATION
  - GV - GATE VALVE
  - LP - LIGHT POLE
  - CP - CONCRETE POWER POLE
  - GW - GUY WIRE
  - WS - WATER SERVICE FROM OLD BLUE 27" STAKE



**SCHEDULE B - SECTION II EXCEPTIONS**  
FIRST AMERICAN TITLE INSURANCE COMPANY  
COMMITMENT FILE NUMBER: 1062-5693711  
COMMITMENT DATE: OCTOBER 12, 2021 AT 8:00 AM

Exception	Instrument Book & Page	Affect on Property
10	Plat Book 5, Page 79	Affects as shown
12	Deed Book 566, Page 205	Affects as shown
13	ORB 7855, Page 1317	Affects as shown
14	ORB 28938, Page 1730	Unable to plot
15	Deed Book 566, Page 193	Affects as shown
16	ORB 7855, Page 1313	Affects as shown
17	ORB 12282, Page 14	Affects as shown
18	ORB 12773, Page 1382	Affects as shown
19	ORB 28938, Page 1729	Unable to plot
20	Deed Book 566, Page 196	Affects as shown
21	ORB 6340, Page 1344	Affects not plottable
22	ORB 7554, Page 1413	Affects not plottable
23	ORB 7554, Page 1417	Affects not plottable
24	ORB 7804, Page 863	Affects as shown
25	ORB 7855, Page 1321	Affects as shown
26	ORB 10653, Page 781	Affects as shown
27	ORB 12773, Page 1382	Affects as shown
28	ORB 7566, Page 1248	Affects not plottable
28	ORB 8091, Page 91	Affects not plottable
28	ORB 10338, Page 1808	Affects not plottable
28	ORB 27723, Page 872	Affects not plottable
28	ORB 27822, Page 1870	Affects as shown
28	ORB 28008, Page 1295	Affects not plottable
28	ORB 30931, Page 849	Affects not plottable
29	ORB 10659, Page 1697	Affects as shown
30	ORB 11447, Page 1324	Affects not plottable
31	ORB 12273, Page 1143	Affects as shown
31	ORB 22901, Page 999	Affects as shown
32	ORB 20964, Page 1136	Affects not plottable
34		not a survey matter

- NOTES:**
- THIS SURVEY OR REPRODUCTIONS THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL, OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER.
  - LANDS SHOWN HEREON WERE ABSTRACTED BY FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO. 1062-5693711, DATED OCTOBER 12, 2021.
  - THE "DESCRIPTION" SHOWN HEREON IS IN ACCORD WITH THE DESCRIPTION PROVIDED BY CLIENT.
  - UNDERGROUND FOUNDATIONS WERE NOT LOCATED.
  - ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
  - ORB. 8091, PG 91, GROUND SYSTEM 24 FEET (8 METERS) SQUARE COPPER GROUND SCREEN AT BASE OF THE TOWER PLUS 120 COPPER GROUND RADIALS VARYING IN LENGTH FROM APPROXIMATELY 150 FEET (.46 METERS) TO 184 FEET (56 METERS).
  - BEARINGS SHOWN HEREON ARE RELATIVE TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NAD83, 1990 ADJUSTMENT, UTILIZING THE SOUTH LINE OF TRACTS 96 AND 97 AS MONUMENTED, WHICH BEARS N88°04'35" W AND ALL OTHER BEARINGS ARE RELATIVE THERETO.
  - ELEVATIONS SHOWN HEREON ARE NORTH AMERICAN VERTICAL DATUM (NAVD.) CONZ2 EL=12.162, PER PALM BEACH COUNTY ENGINEERING DEPT. IS THE PARENT BENCHMARK.
  - ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 120192 0165 B, PANEL 165 OF 245, MAP REVISED DATE OCTOBER 15, 1982, THIS PROPERTY LIES IN ZONE A7 (EL12) 2/1/79.

**CERTIFICATE:**  
RICHMAN LAKE WORTH APARTMENTS, LLC, A DELAWARE LIMITED LIABILITY COMPANY  
FIRST AMERICAN TITLE INSURANCE COMPANY  
NELSON MULLINS RILEY & SCARBOROUGH, LLP  
TRUST BANK, ITS SUCCESSORS AND ASSIGNS AS THEIR INTERESTS MAY APPEAR.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(B), 7(A), 7(B)(1), 8, 9, 10(A), 10(B), 11(A), 12, 13, 16, 17, 18, 19, AND 21 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON **NOVEMBER 8, 2021**.  
DATE OF MAP: **DECEMBER 3, 2021**

**DESCRIPTION:**  
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF PALM BEACH, STATE OF FLORIDA, AND DESCRIBED AS FOLLOWS:

**PARCEL 1:**  
A PORTION OF LOT 97 OF MODEL LAND CO. SUBDIVISION OF SECTION 20, TOWNSHIP 44 SOUTH, RANGE 43 EAST, ACCORDING TO THE PLAT THEREOF, RECORDED IN NAT BOOK 5, PAGE 79 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGINNING AT A POINT WHERE THE NORTH LINE OF LAKE WORTH ROAD INTERSECTS WITH THE EAST LINE OF THE RIGHT OF WAY OF THE FIRST LATERAL CANAL WEST OF THE TOWN OF LAKE WORTH, RUNNING EAST A DISTANCE OF 394.32 FEET;  
THENCE NORTH PARALLEL WITH THE EAST LINE OF LOT 97 OF THE SUBDIVISION OF MODEL LAND CO. SUBDIVISION OF SECTION 20, TOWNSHIP 44 SOUTH, RANGE 43 EAST, A DISTANCE OF 625 FEET TO THE NORTH LINE OF LOT 97;  
THENCE WEST TO A POINT WHERE SAID NORTH LINE INTERSECTS THE EAST LINE OF THE RIGHT OF WAY OF SAID FIRST LATERAL CANAL;  
THENCE SOUTHWESTERLY FOLLOWING THE RIGHT OF WAY OF SAID FIRST LATERAL CANAL TO THE POINT OF BEGINNING.  
LESS AND EXCEPT THE SOUTH 25 FEET, SHOWN AS PARCEL NO. 3 IN THE ORDER OF TAKING BY PALM BEACH COUNTY, AND AN ADDITIONAL 10 FEET, SHOWN AS PARCEL 12, RECORDED IN OFFICIAL RECORD BOOK 12863, PAGE 1606, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.  
SUBJECT TO THE RIGHTS OF LAKE WORTH DRAINAGE DISTRICT TO THE NORTH 15 FEET OF SAID PARCEL DESCRIBED IN EASEMENT DEED RECORDED IN OFFICIAL RECORD BOOK 7855, PAGE 1317.

**PARCEL 2:**  
THE EAST 117.68 FEET OF LOT 97 OF MODEL LAND CO. SUBDIVISION OF SECTION 20, TOWNSHIP 44 SOUTH, RANGE 43 EAST, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 5, PAGE 79, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, FRONTING 117.68 FEET ON NORTH 2ND AVENUE AND 625 FEET DEEP THEREOF.  
LESS AND EXCEPT THE SOUTH 25.00 FEET OF THE EAST 117.00 FEET BY DEED TO PALM BEACH COUNTY, RECORDED IN MISCELLANEOUS RECORD BOOK 29, PAGE 193.  
SUBJECT TO THE RIGHTS OF LAKE WORTH DRAINAGE DISTRICT TO THE NORTH 15 FEET OF SAID PARCEL DESCRIBED IN EASEMENT DEED RECORDED IN OFFICIAL RECORD BOOK 7855, PAGE 1313.

**PARCEL 3:**  
THE WEST TWO ACRES OF TRACT 96 OF MODEL LAND CO. SUBDIVISION OF SECTION 20, TOWNSHIP 44 SOUTH, RANGE 43 EAST, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 5, PAGE 79, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.  
LESS AND EXCEPT THE SOUTH 25.00 FEET BY DEED TO PALM BEACH COUNTY, RECORDED IN OFFICIAL RECORDS BOOK 6431, PAGE 1748.  
SUBJECT TO THE RIGHTS OF LAKE WORTH DRAINAGE DISTRICT TO THE NORTH 15 FEET OF SAID PARCEL DESCRIBED IN EASEMENT DEED RECORDED IN OFFICIAL RECORD BOOK 7855, PAGE 1321.

11/20/21  
11/20/21  
06/29/16  
10/20/14  
10/15/14  
10/08/14  
07/08/14  
AMS  
DATE

ADDED L.W.D.D. REQUIRED R/W  
UPDATE SURVEY  
11/20/21

UPDATED  
ADDED CERTIFICATIONS  
ADDED L.W.D.D. REQUIRED R/W  
ADDED NEW TITLE INFORMATION  
ADDED NOTE  
REVISIONS  
FILE NAME: 6744-2 SUR. SHEETS 1-3 - 1-12-22

CAULFIELD & WHEELER, INC.  
CIVIL ENGINEERING - LAND PLANNING  
LANDSCAPE ARCHITECTURE - SURVEYING  
7301A W. PALMETTO PARK ROAD - SUITE 100A  
BOCA RATON, FLORIDA 33433  
PHONE (561) 392-1991 / FAX (561) 750-4452

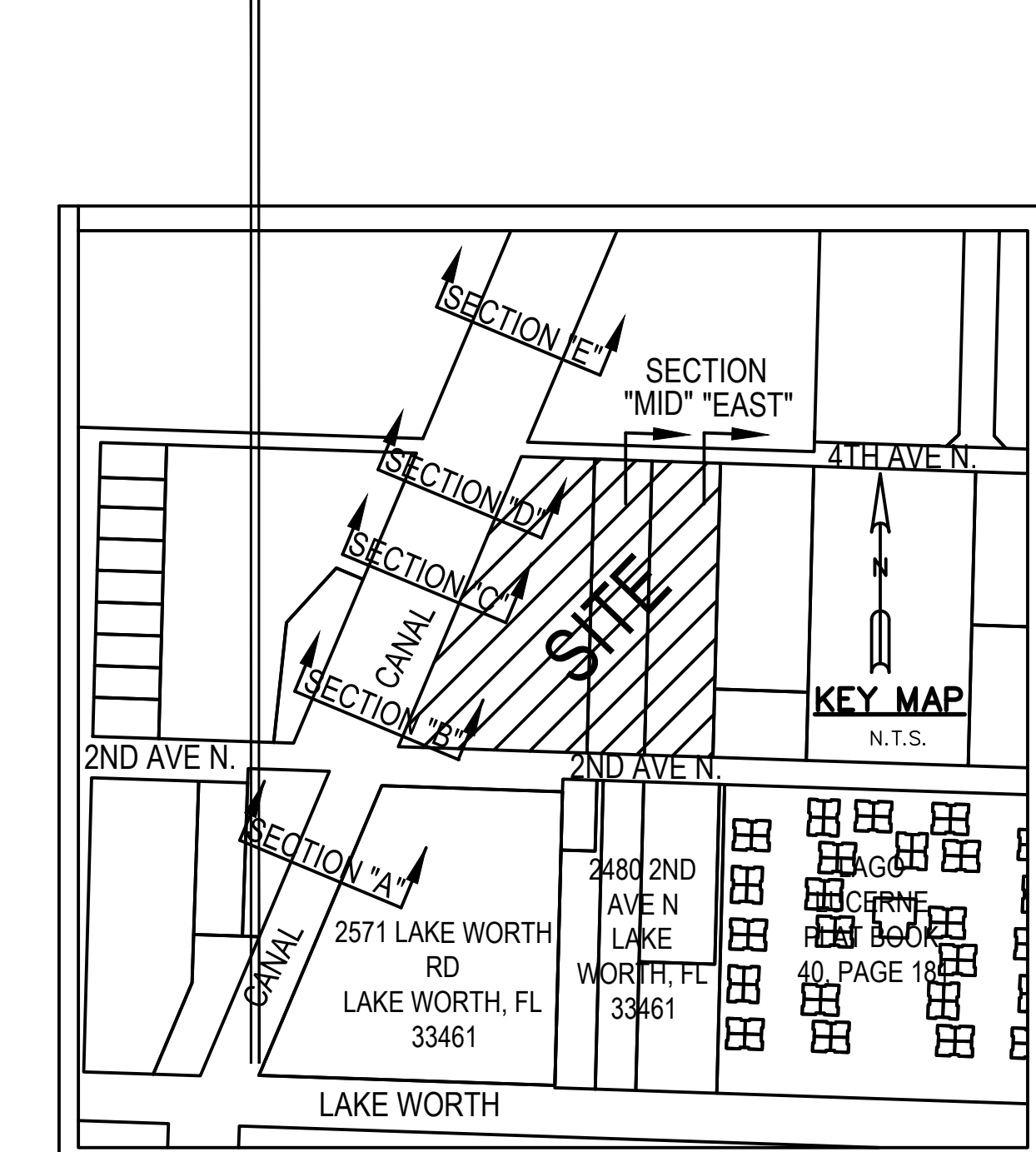
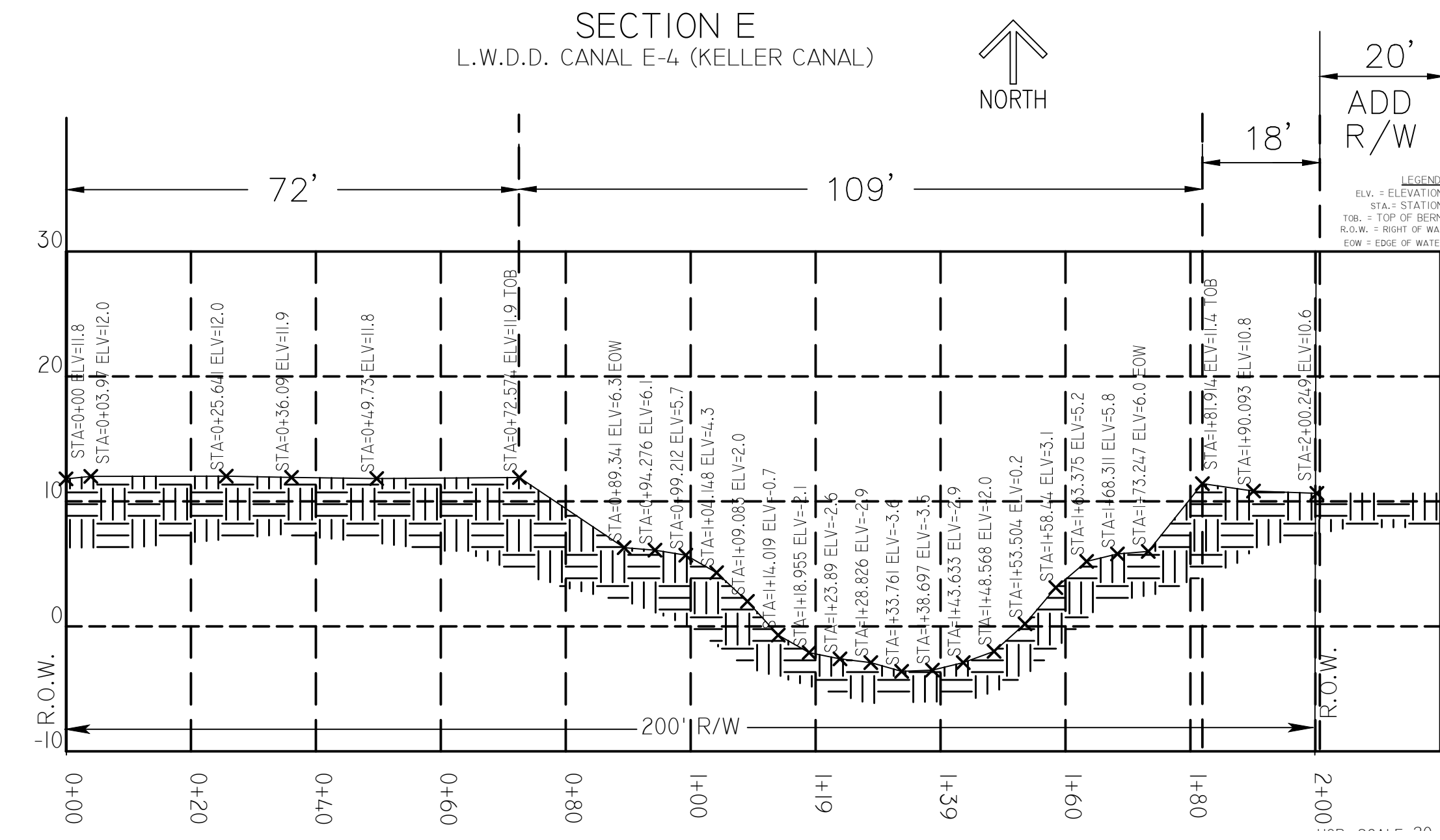
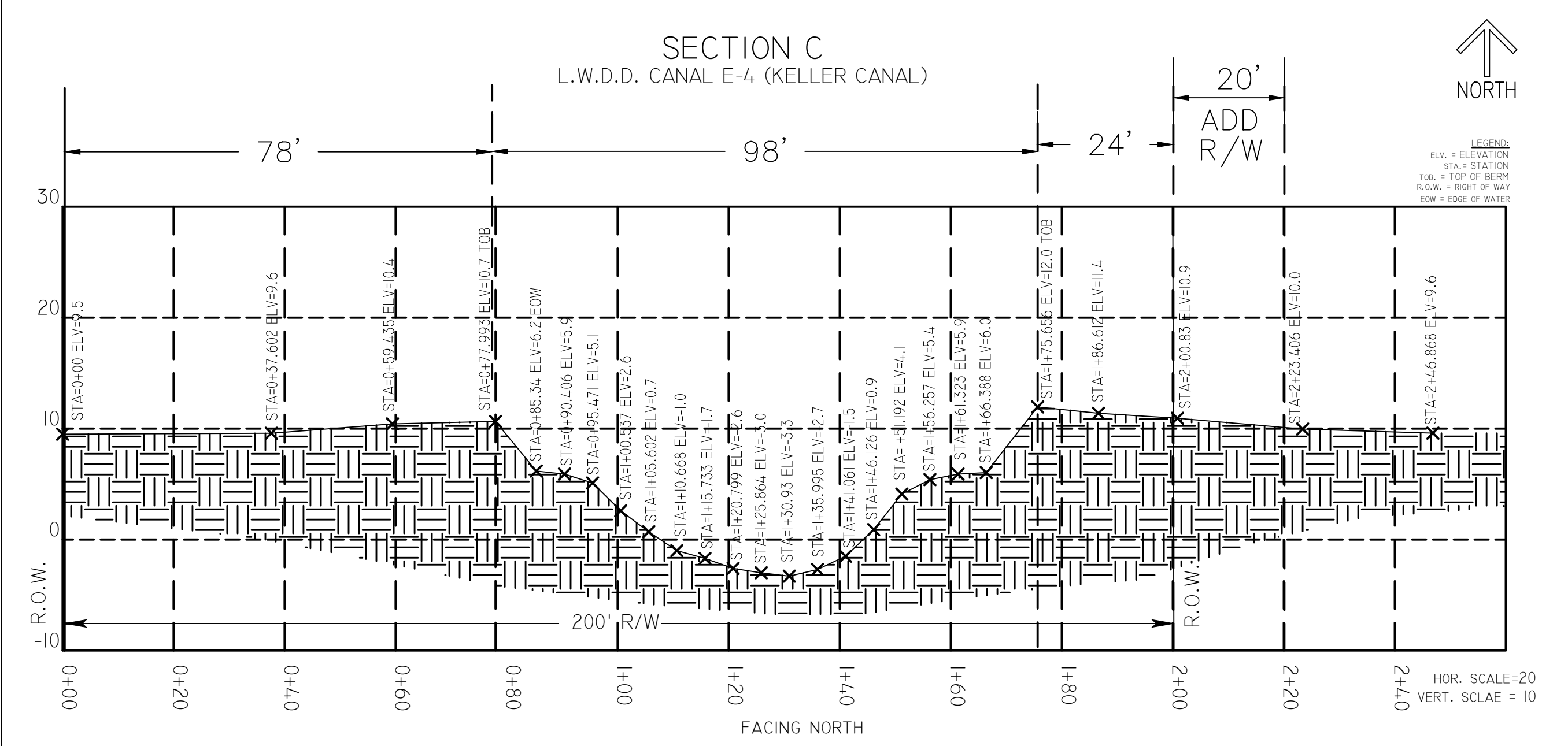
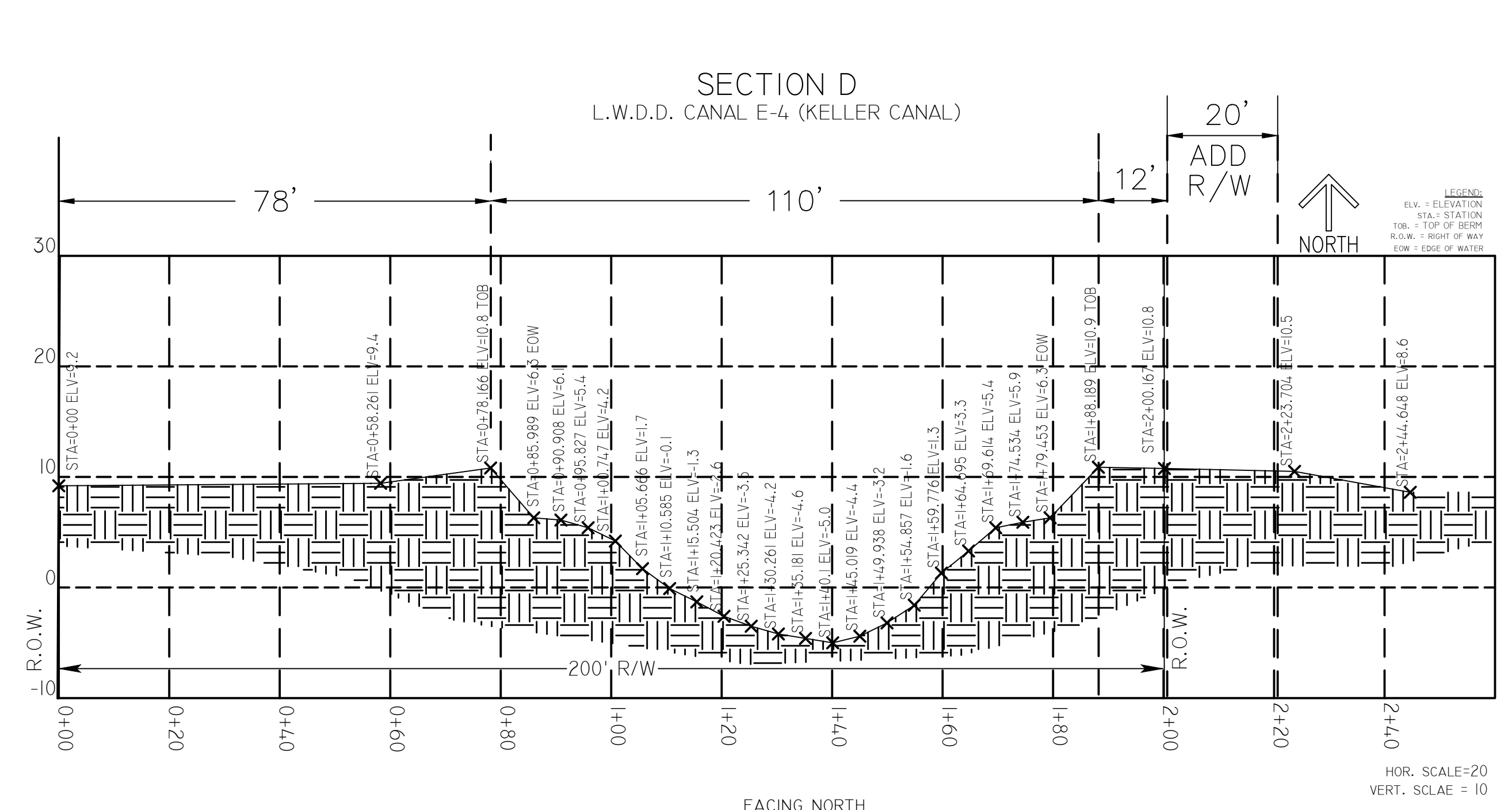
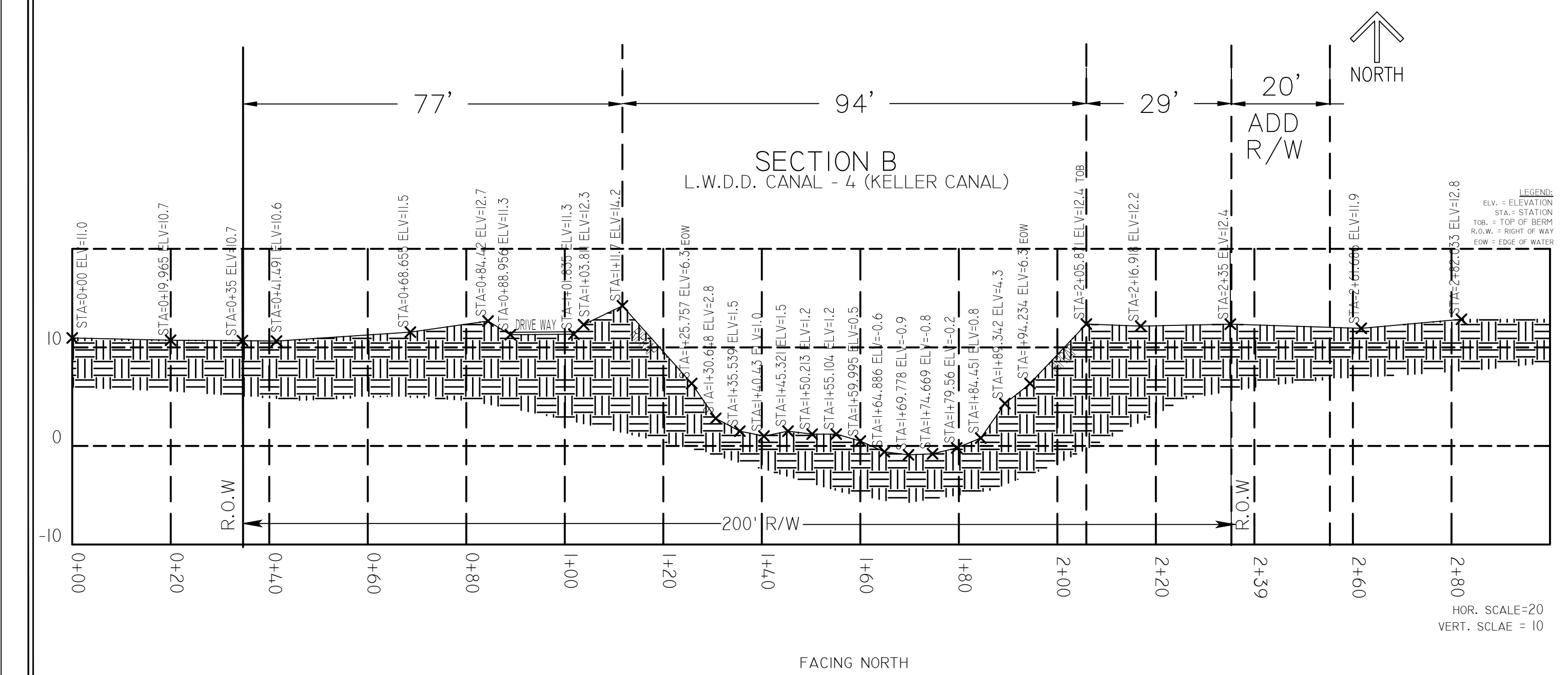
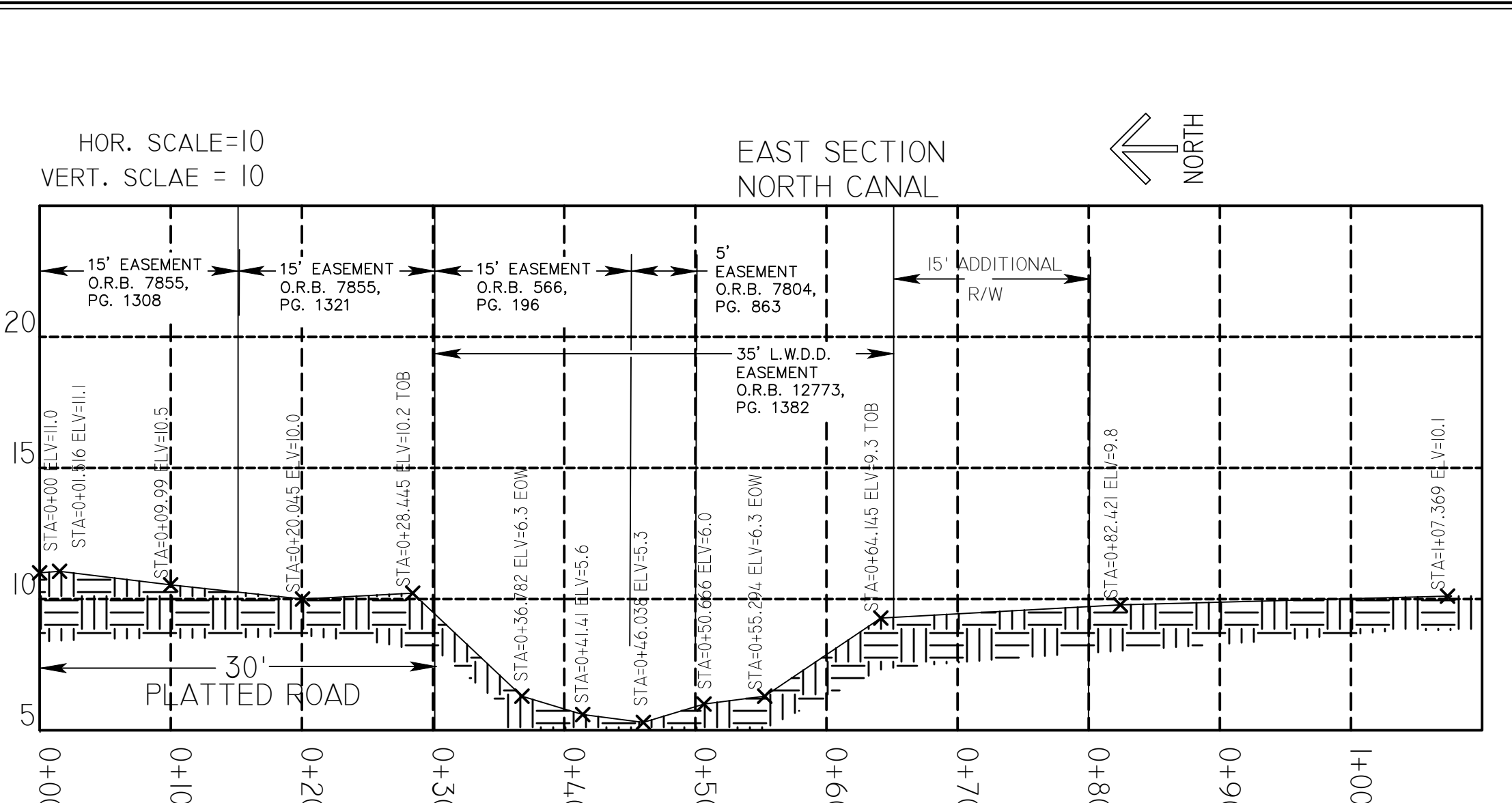
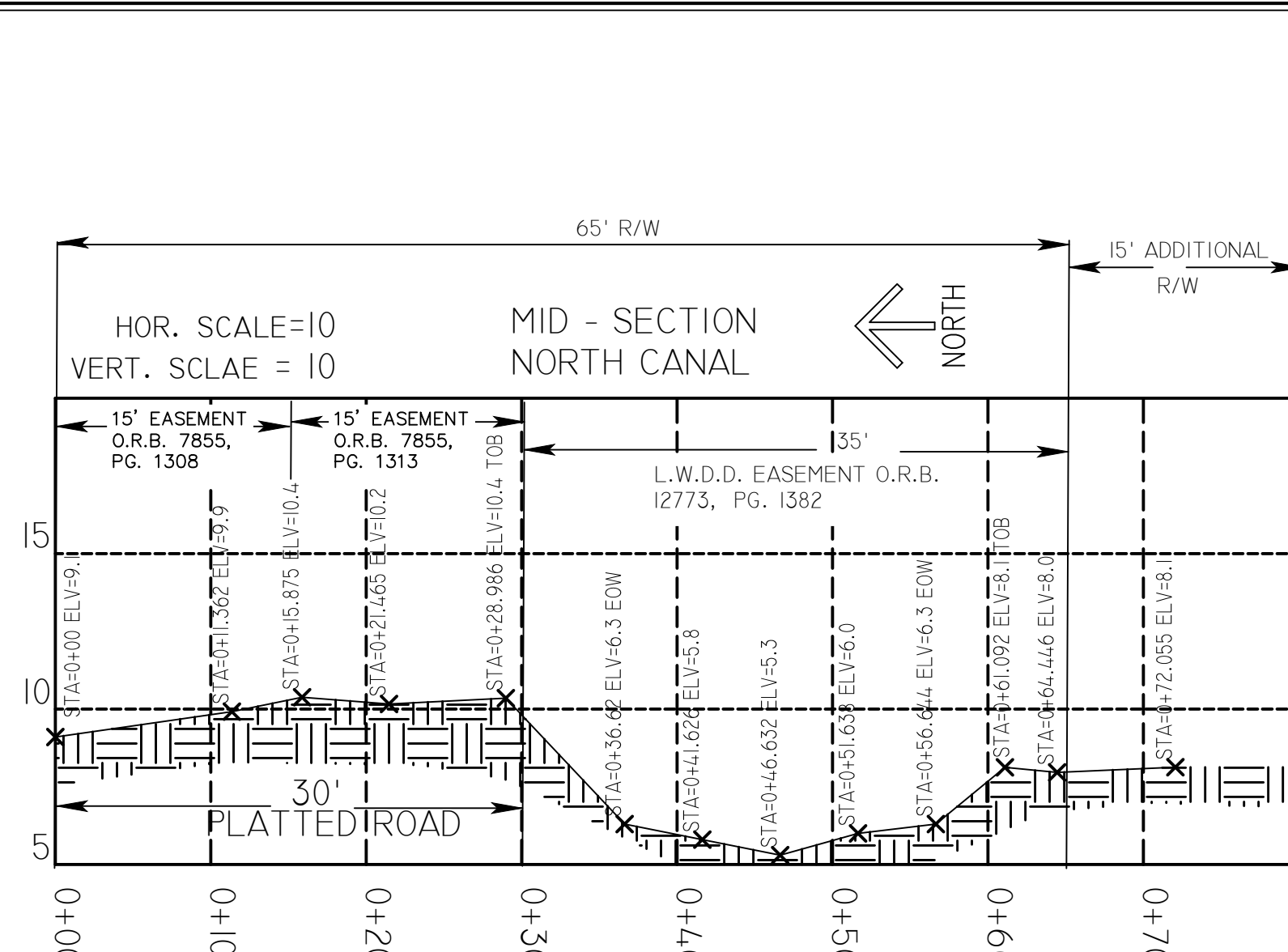
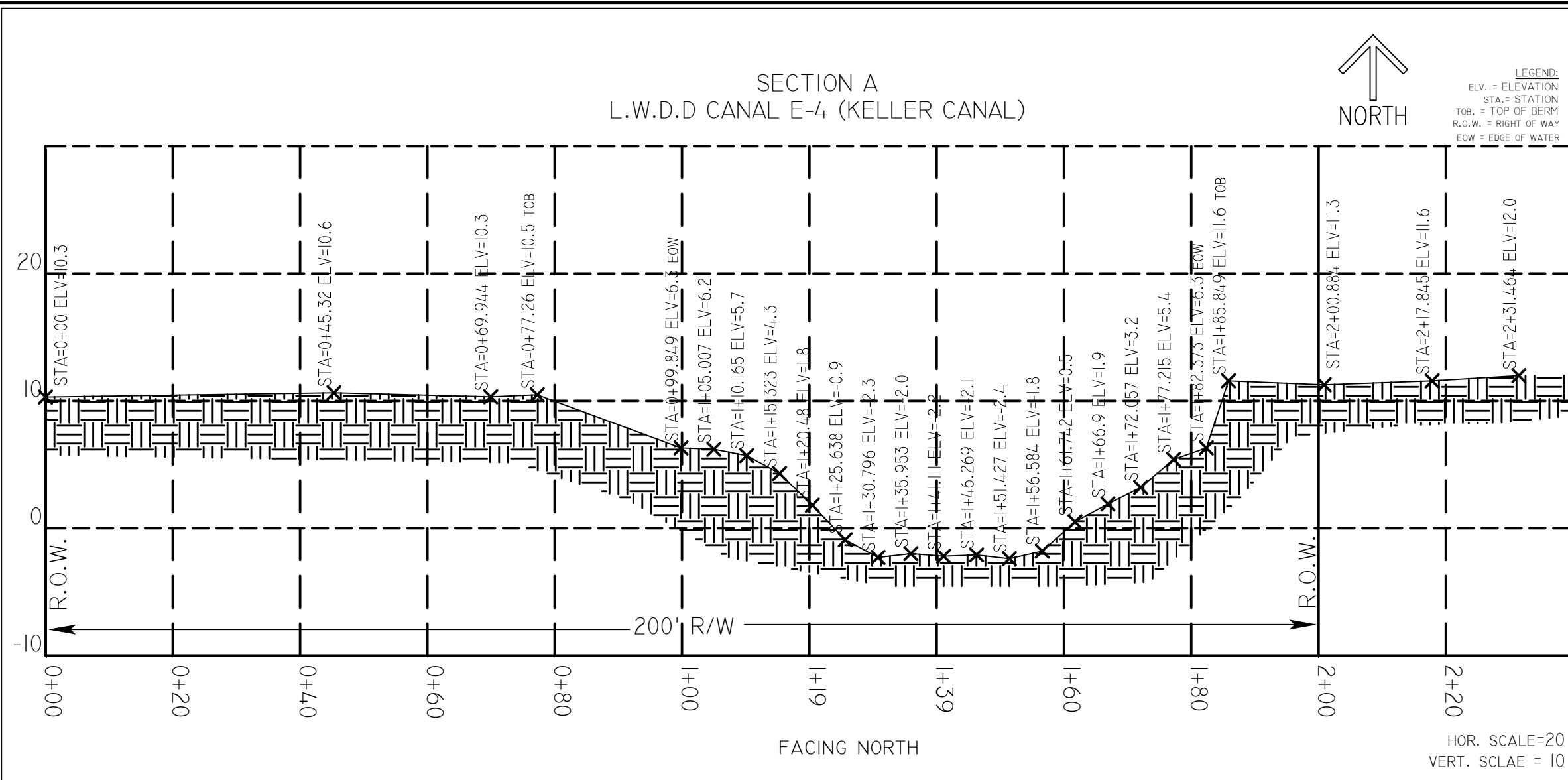
**VILLAGE OF VALOR  
ALTA / ACSM SURVEY**

DATE 07/03/14  
DRAWN BY AMS  
F.B./ PG. N/A  
SCALE 40

DAVID P. LINDLEY  
REGISTERED LAND  
SURVEYOR NO. 5005  
STATE OF FLORIDA  
L.B. 3591

JOB # 6744-2  
SHT. NO. 1  
OF 3 SHEETS





REVISED PER CLIENT REVIEW	11/16/21	TFL	BY
UPDATE TITLE INFORMATION	11/09/21	TFL	BY
REVISIONS			DATE
FILE NAME: 6744-2 SUR SHEETS 1-3 - 11-12-22			

**CAULFIELD & WHEELER, INC.**  
 CIVIL ENGINEERING - LAND PLANNING  
 LANDSCAPE ARCHITECTURE - SURVEYING  
 7301A W. PALMETTO PARK ROAD - SUITE 100A  
 BOCA RATON, FLORIDA 33433  
 PHONE (561) 392-1991 / FAX (561) 750-4452

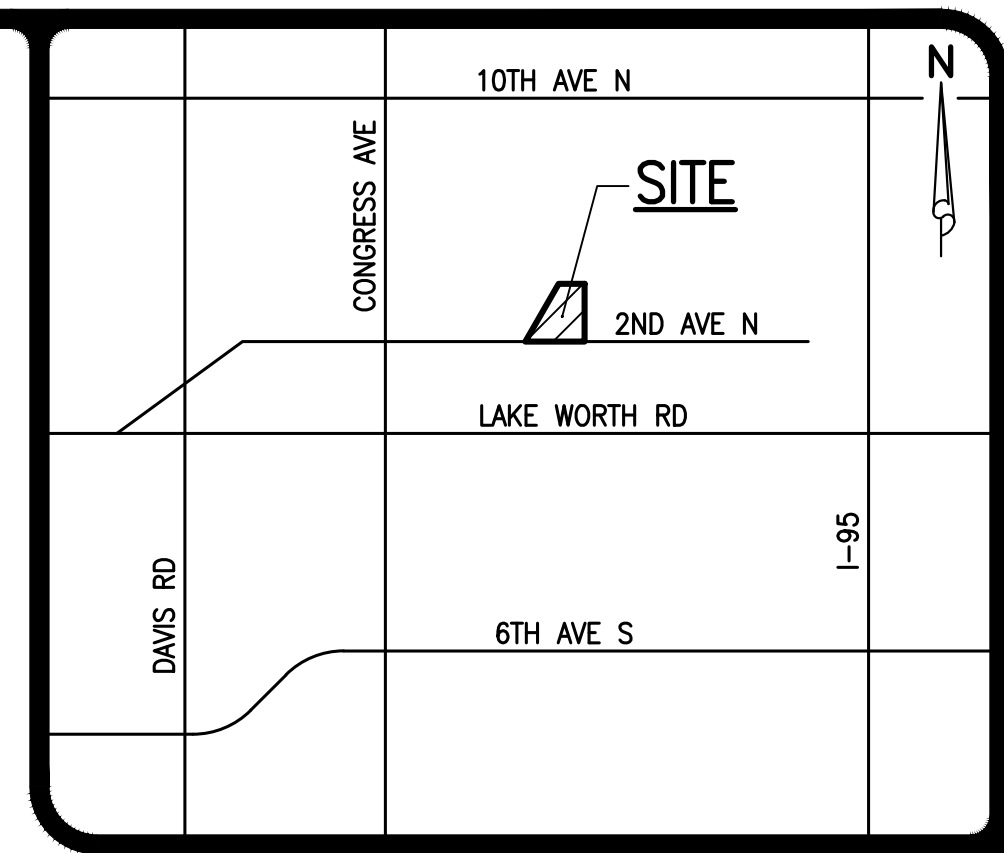
**VILLAGE OF VALOR**  
**LAKE WORTH DRAINAGE DISTRICT**  
**CANAL E-4 (KELLER CANAL)**

DATE	05/14/14
DRAWN BY	AMS
F.B./PG.	N/A
SCALE	50

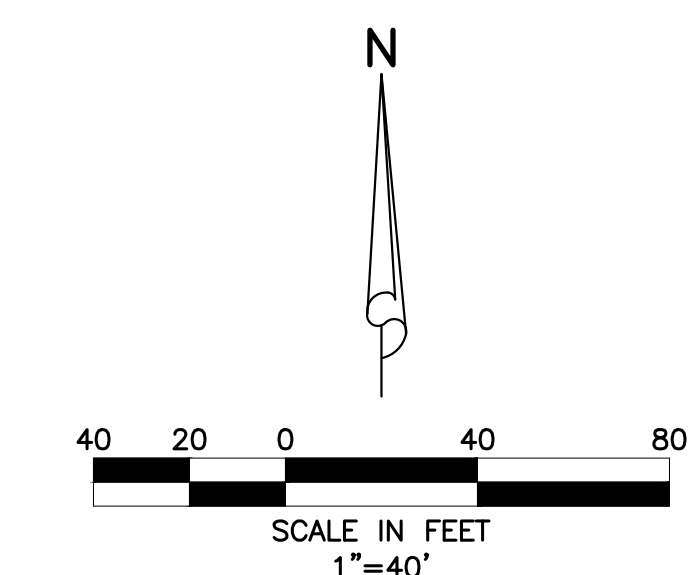
DAVID P. LINDLEY  
 REGISTERED LAND SURVEYOR NO. 5005  
 STATE OF FLORIDA  
 I.B. 3591

**NOTES:**

- 1.) THIS DESIGN IS CONCEPTUAL AND SUBJECT TO CHANGE BASED ON FINAL DESIGN.
- 2.) ALL WATER AND WASTEWATER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF LAKE WORTH AND THE PALM BEACH COUNTY HEALTH DEPARTMENT.
- 3.) CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEMOLITION MATERIAL IN ACCORDANCE WITH ALL APPLICABLE GOVERNING AGENCY STANDARDS.
- 4.) LOCATIONS OF WATER AND SANITARY SEWER SERVICES, DRAINAGE STRUCTURES AND PIPES AND OTHER STRUCTURES TO BE COORDINATED WITH LANDSCAPE DESIGN DURING PREPARATION OF FINAL CIVIL ENGINEERING PLANS.
- 5.) CONSTRUCTION AND DEMOLITION TO COMPLY WITH N.F.P.A. 241.
- 6.) FIRE DEPARTMENT LOCKING CAPS WILL BE REQUIRED ON THE FIRE DEPARTMENT CONNECTION.



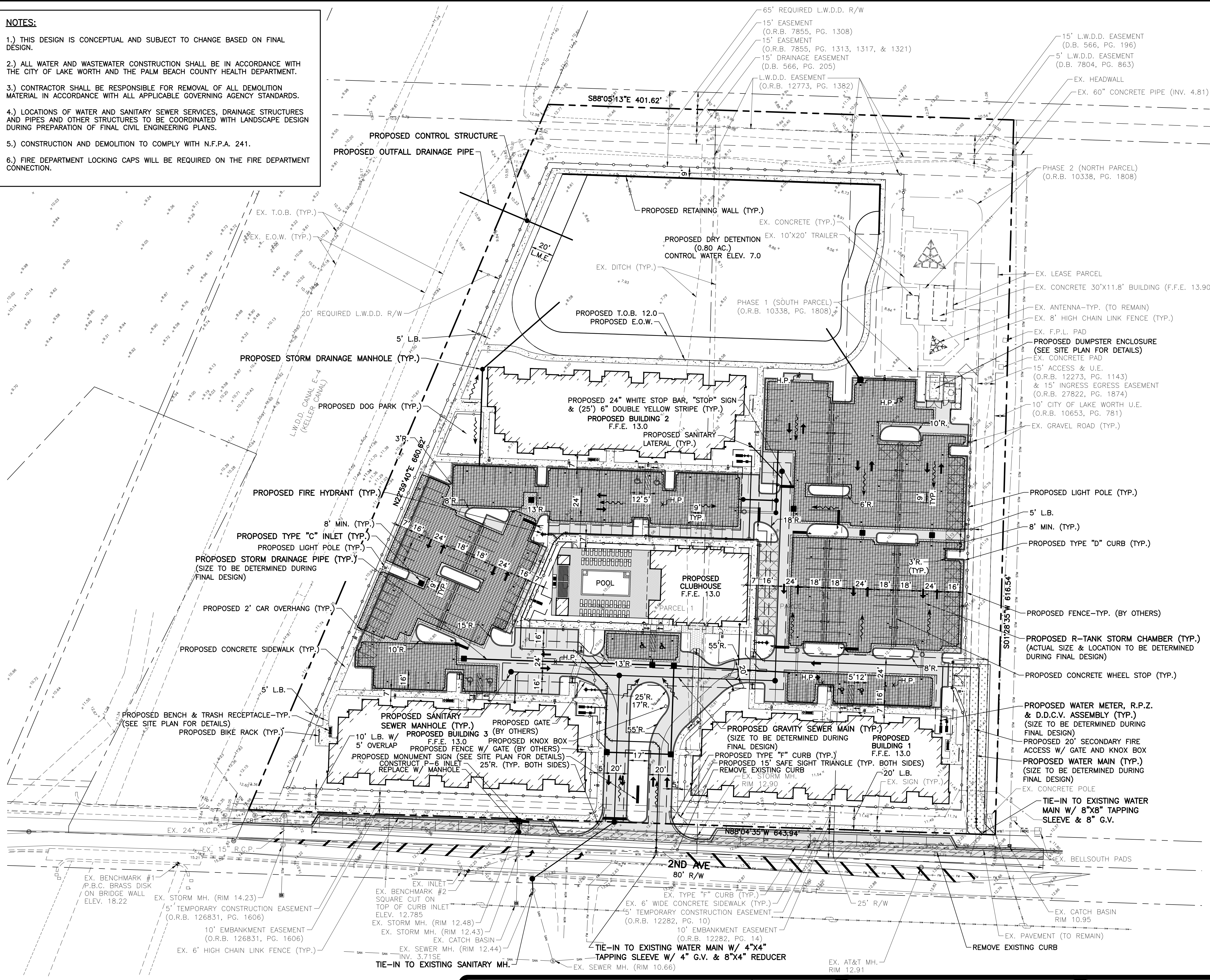
**LOCATION MAP**  
NOT TO SCALE



**LEGEND**

- PROPOSED STORM SEWER AND CATCH BASIN
- DIRECTION OF FLOW
- PROPOSED HIGH POINT
- EXISTING GRADE ELEVATION
- PROPOSED ASPHALT OR CONCRETE
- PROPOSED CONCRETE
- PROPOSED BRICK PAVERS/DECORATIVE PAVEMENT
- PROPOSED DETECTABLE WARNING SURFACE
- SAWCUT, REMOVE, & REPLACE EXISTING PAVEMENT, CONCRETE, CURB, ETC.
- PROPOSED R-TANK STORM CHAMBER
- PROPOSED COMPACT SPACES
- SEWER SERVICE W/ CLEAN-OUT
- FIRE HYDRANT W/ GATE VALVE
- PROPOSED SANITARY SEWER LINE, MANHOLE & FLOW DIRECTION
- WATER SERVICE & R.P.Z. (REFER TO POTABLE WATER SERVICE SINGLE METER DETAIL)
- 
- EXISTING OVERHEAD POWER LINE & POWER POLE
- EXISTING STORM DRAINAGE PIPE
- EXISTING WATER MAIN
- EXISTING SEWER MAIN
- EXISTING FORCE MAIN

EXISTING DRAINAGE STRUCTURE SUMMARY			
STRUCTURE #	RIM ELEV.	INVERT ELEV.	STRUCTURE NOTES
CB1	16.03	8.00	EX. CONTROL STRUCTURE
CB2	15.32	10.80S 9.00E 8.15W	EX. P-3 CURB INLET



**NOTE: ALL ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (N.A.V.D.) OF 1988 BASED ON A SURVEY PREPARED BY CAULFIELD & WHEELER, INC. (561) 392-1991.**

ERIK R. COOPER, P.E., STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 56934

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY ERIK R. COOPER, P.E. ON 10/12/2022.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

- 2.) REVISED CLUBHOUSE AND POOL AREA PER LATEST SITE PLAN CHANGES, 04/08/22 D.B.
- 1.) REVISED PER LATEST SITE PLAN CHANGES, 04/05/22 D.B.

**SIMMONS & WHITE**  
ENGINEERING | PLANNING | CONSULTING | SINCE 1982  
2581 Metrocentre Blvd West • Suite 3 • West Palm Beach, Florida 33407 • (561) 478-7848

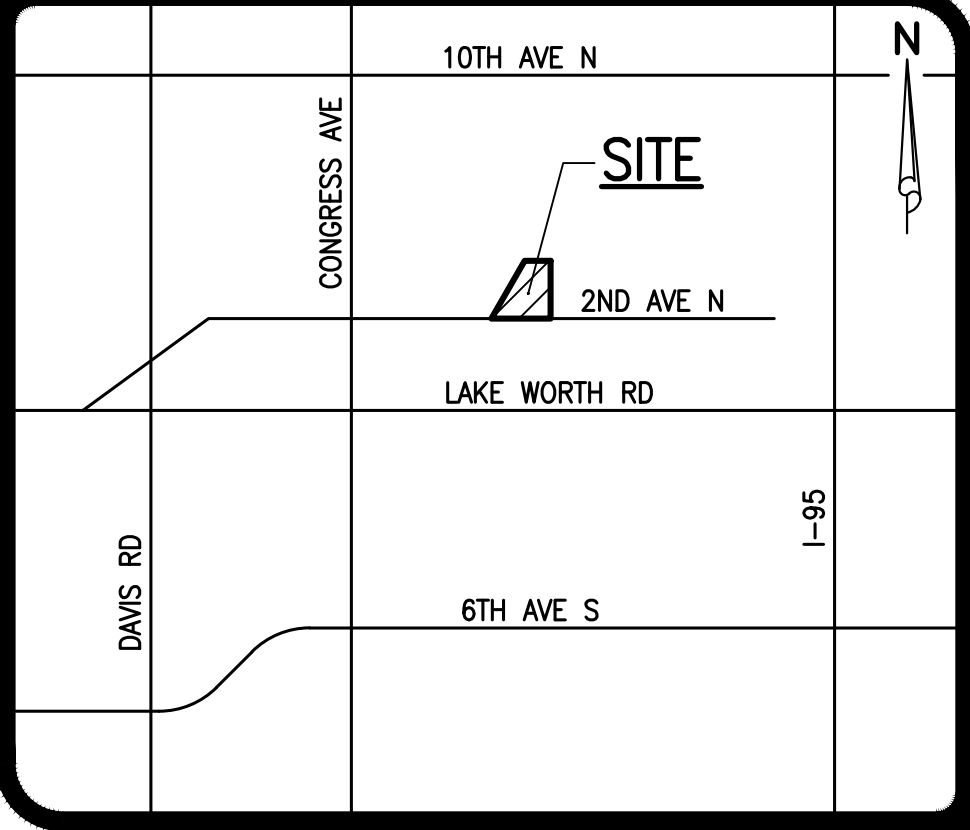
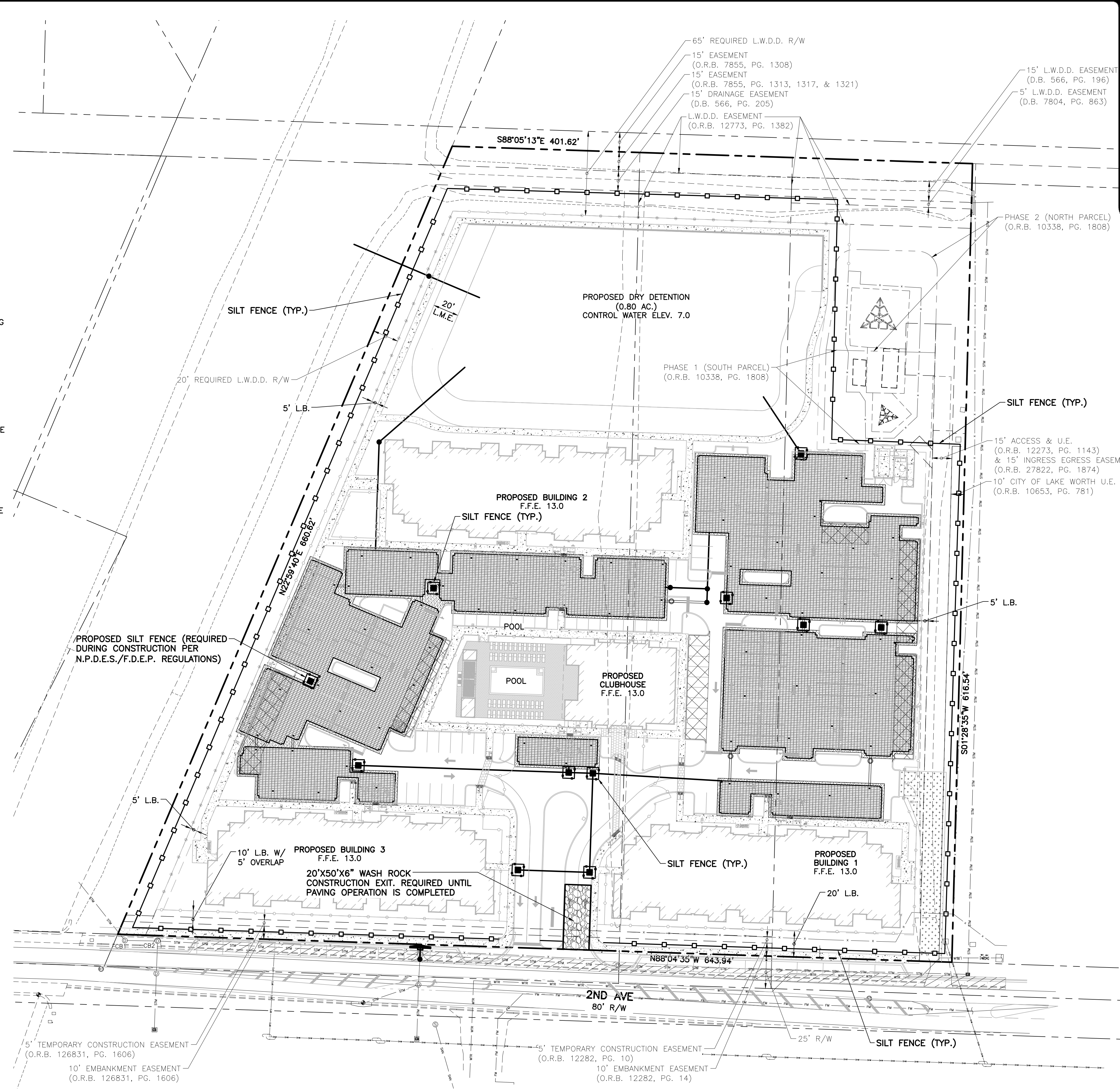
DESIGN E.C.	DRAWN C.O.	CHECKED	APPROVED	DATE
-------------	------------	---------	----------	------

**RESIDENCES AT LAKE WORTH**  
SECTION 20, TOWNSHIP 44S., RANGE 43E.  
CITY OF LAKE WORTH, FLORIDA  
CONCEPTUAL PAVING, DRAINAGE, WATER AND WASTEWATER PLAN

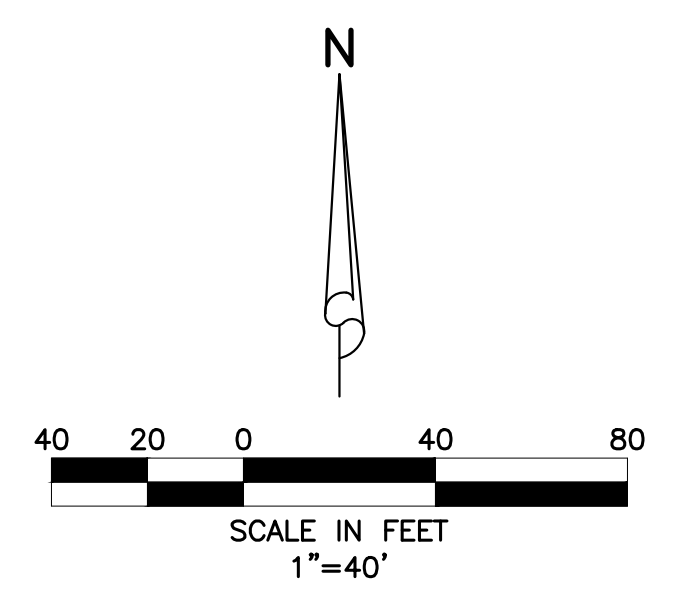
JOB NO. 21-173	DRAWING NO. 21173C01	SHEET 1 OF 3
----------------	----------------------	--------------

**POLLUTION PREVENTION NOTES:**

- 1.) THIS PLAN SHOULD BE USED AS A GUIDE, A COMPLETE STORMWATER POLLUTION PLAN SHOULD BE DEVELOPED TO MEET OR EXCEED F.D.E.P. REQUIREMENTS.
- 2.) CONTRACTOR IS RESPONSIBLE TO ENSURE THAT NO DIRT BE TRACKED OFF-SITE OR LEAVES THE SITE BY WIND, RUNOFF, OR OTHER MEANS.
- 3.) CONTRACTOR SHALL BE RESPONSIBLE FOR ALL N.P.D.E.S. REQUIREMENTS INCLUDING FILING OF N.O.I., MONITORING REPORTS AND N.O.T.
- 4.) POLLUTION PREVENTION MEASURES SHALL CONSIST OF, BUT NOT LIMITED TO, THE FOLLOWING:
  - A. CONSTRUCT WASHROCK PAD AT ALL POINTS EGRESS FOR WASHDOWN OF TRUCK TIRES.
  - B. CONSTRUCT EROSION CONTROL FENCE AND/OR TURBIDITY SCREENS ALONG PROPERTY LINES AS NEEDED.
  - C. NO AREA SHALL BE LEFT BARREN OR SUBJECT TO EROSION DURING CONSTRUCTION. SEEDING AND MULCHING IS REQUIRED FOR ANY AREAS ANTICIPATED TO BE BARREN DURING CONSTRUCTION FOR MORE THAN 15 DAYS.
  - D. TURBIDITY BARRIERS TO BE UTILIZED AT PROJECT OUTFALL.
  - E. OTHER MEASURES AS DIRECTED BY THE ENGINEER OR PALM BEACH COUNTY.
- 5.) IT IS THE CONTRACTORS RESPONSIBILITY TO COMPLY WITH ALL LOCAL, STATE AND FEDERAL POLLUTION PREVENTION REQUIREMENTS. FOR AFFECTED AREAS GREATER THAN 1 ACRE, COMPLIANCE SHALL INCLUDE (BUT IS NOT LIMITED TO) THE FOLLOWING:
  - A. PREPARATION OF A STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.P.) IN ACCORDANCE WITH THE D.E.P. "GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES" (D.E.P. DOCUMENT NO. 62-621.300(4)(A))
  - B. SUBMITTAL OF THE NOTICE OF INTENT (N.O.I.) TO THE D.E.P.
  - C. MAINTENANCE AND INSPECTION OF THE ELEMENTS OF THE S.W.P.P.P.
  - D. MAINTENANCE OF RECORDS (INSPECTION REPORTS, N.O.I, S.W.P.P.P., ETC.)
  - E. SUBMITTAL OF THE NOTICE OF TERMINATION TO THE D.E.P. AT THE CONCLUSION OF THE PROJECT



**LOCATION MAP**  
NOT TO SCALE



**LEGEND**



**48 HOURS BEFORE DIGGING**  
BROWARD • PALM BEACH • INDIAN RIVER  
ST. LUCIE • MARTIN COUNTIES  
CALL TOLL FREE  
**1-800-432-4770**  
SUNSHINE STATE 1 CALL  
UNDERGROUND UTILITIES  
NOTIFICATION CENTER

**ERIK R. COOPER, P.E., STATE OF FLORIDA,**  
PROFESSIONAL ENGINEER, LICENSE NO. 56934

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY ERIK R. COOPER, P.E. ON 10/12/2022.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

REVISIONS	
DESIGN	E.C.
DRAWN	C.O.
CHECKED	
APPROVED	
DATE	

**SIMMONS & WHITE**  
ENGINEERING | PLANNING | CONSULTING | SINCE 1982  
2581 Metrocentre Blvd West • Suite 300 • West Palm Beach, Florida 33407 • (561) 478-7848

**RESIDENCES AT LAKE WORTH**  
SECTION 20, TOWNSHIP 44S., RANGE 43E.  
CITY OF LAKE WORTH, FLORIDA  
**POLLUTION PREVENTION PLAN**

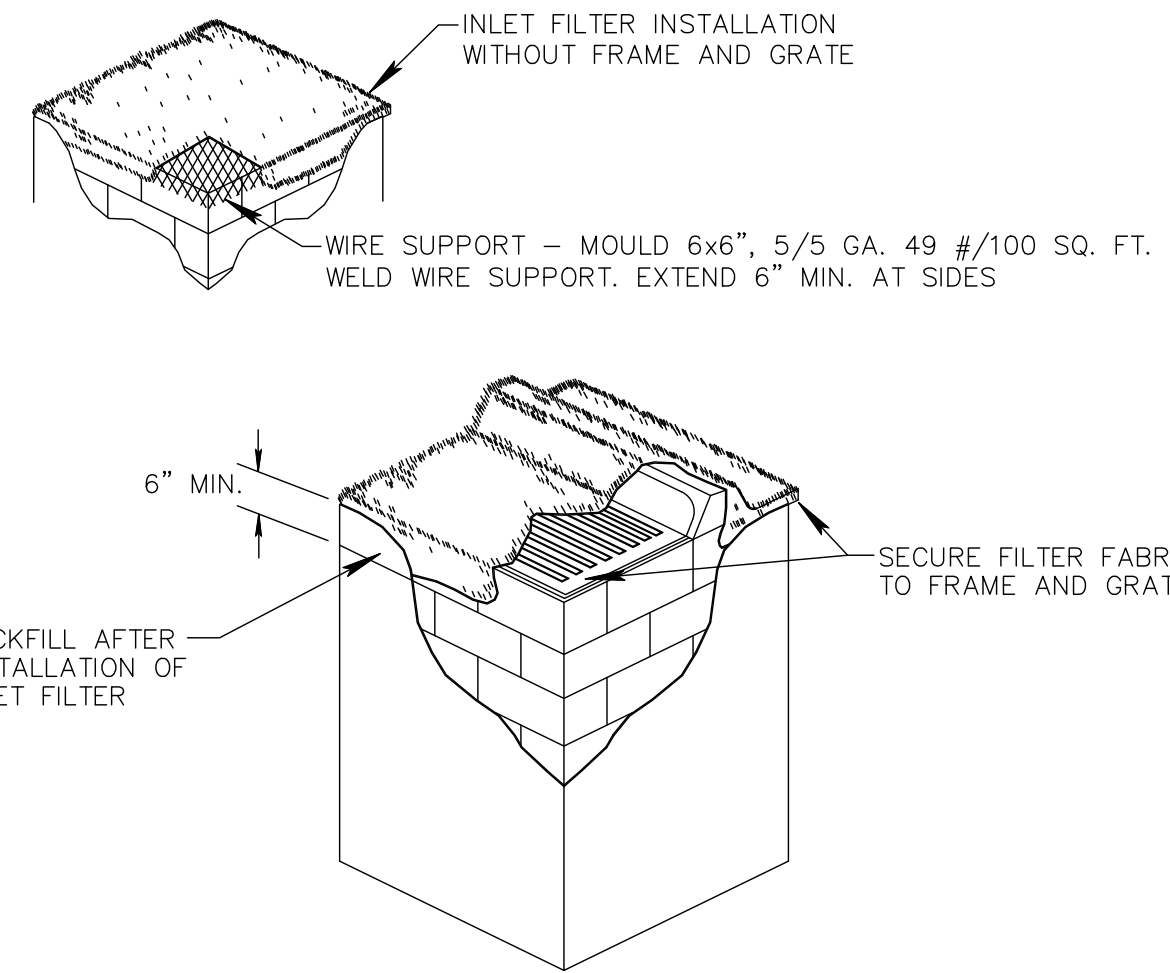
JOB NO.	DRAWING NO.	SHEET	OF
21-173	21173C02	2	3

1. THE INTENT OF EROSION CONTROL MEASURES INDICATED GRAPHICALLY ON PLANS IS TO PROVIDE A BARRIER TO CONTAIN SILT AND SEDIMENT ON THE PROJECT SITE. THIS REPRESENTATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE TEST OF EROSION CONTROL EFFECTIVENESS IS NOT TO BE DETERMINED BY ADHERENCE TO THE REPRESENT SET FORTH ON THE DRAWINGS AND SPECIFICATIONS, BUT BY MEETING THE REGULATIONS SET FORTH BY THE AUTHORITY HAVING JURISDICTION OVER WATER QUALITY CONTROL AND OTHER SEDIMENTATION RESTRICTION REQUIREMENTS IN THE REGION.
2. APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING, GRADING, EXCAVATION, FILLING, OR OTHER LAND DISTURBANCE ACTIVITIES, EXCEPT THOSE OPERATIONS NEEDED TO INSTALL SUCH MEASURES.
3. INSPECTION OF ALL EROSION CONTROL MEASURES SHALL BE CONDUCTED WEEKLY, OR AFTER EACH RAINFALL EVENT. REPAIR, AND/OR REPLACEMENT OF SUCH MEASURES SHALL BE MADE PROMPTLY, AS NEEDED.
4. KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
5. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED IF DEEMED NECESSARY BY ONSITE INSPECTION.
6. FAILURE TO PROPERLY INSTALL AND MAINTAIN EROSION CONTROL PRACTICES SHALL RESULT IN CONSTRUCTION BEING HALTED.
7. DRAINAGE INLETS SHALL BE PROTECTED BY FILTER AND GRADED ROCK AS PER INLET PROTECTION DETAIL.
8. ANY ACCESS ROUTES TO SITE SHALL BE BASED WITH CRUSHED STONE, WHERE PRACTICAL.
9. EROSION CONTROL MEASURES ARE TO BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
10. WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED.
11. ALL WORK IS TO BE IN COMPLIANCE WITH THE RULES AND REGULATIONS SET FORTH BY THE STATE OF FLORIDA, DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE CITY OF DELRAY BEACH.
12. DISCHARGE FROM DEWATERING OPERATIONS SHALL BE RETAINED ONSITE IN A CONTAINMENT AREA.

CITY OF LAKE WORTH  
PUBLIC SERVICES DEPARTMENT

EROSION CONTROL NOTES  
DETAIL

25

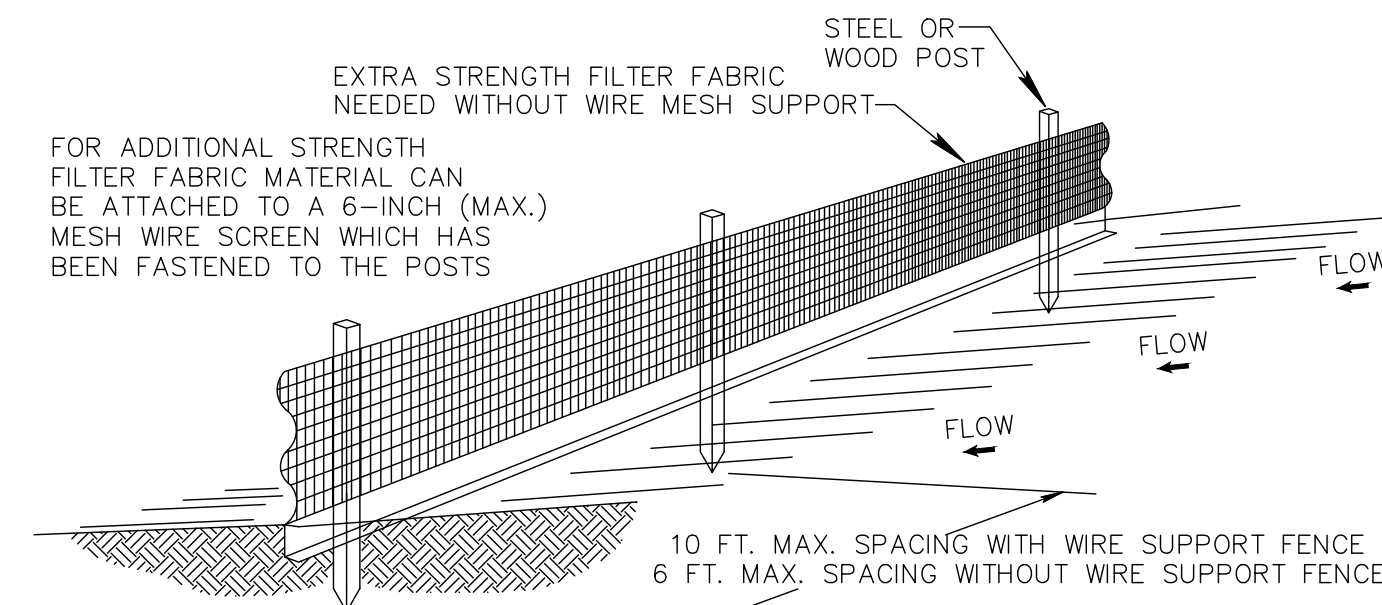


- NOTES:
1. CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
  2. CONTRACTOR TO REMOVE FABRIC JUST PRIOR TO PAVING.
- A SEDIMENT TRAP WILL BE EXCAVATED BEHIND THE CURB AT THE INLET. THE BASIN SHALL BE AT LEAST 12 TO 14 INCHES IN DEPTH, APPROXIMATELY 36 INCHES IN WIDTH, AND APPROXIMATELY 7 TO 10 FEET IN LENGTH PARALLEL TO THE CURB.
- STORM WATER WILL REACH THE SEDIMENT TRAP VIA CURB CUTS ADJACENT TO EACH SIDE OF THE INLET STRUCTURE. THESE OPENINGS SHALL BE AT LEAST 12 INCHES IN LENGTH. STORM WATER MAY ALSO REACH THE BASIN VIA OVERLAND FLOW LAND AREA BEHIND THE CURB. THE CURB CUTS SHALL BE REPAIRED WHEN THE SEDIMENT TRAP IS REMOVED.

CITY OF LAKE WORTH  
PUBLIC SERVICES DEPARTMENT

INLET FILTER DETAIL

26

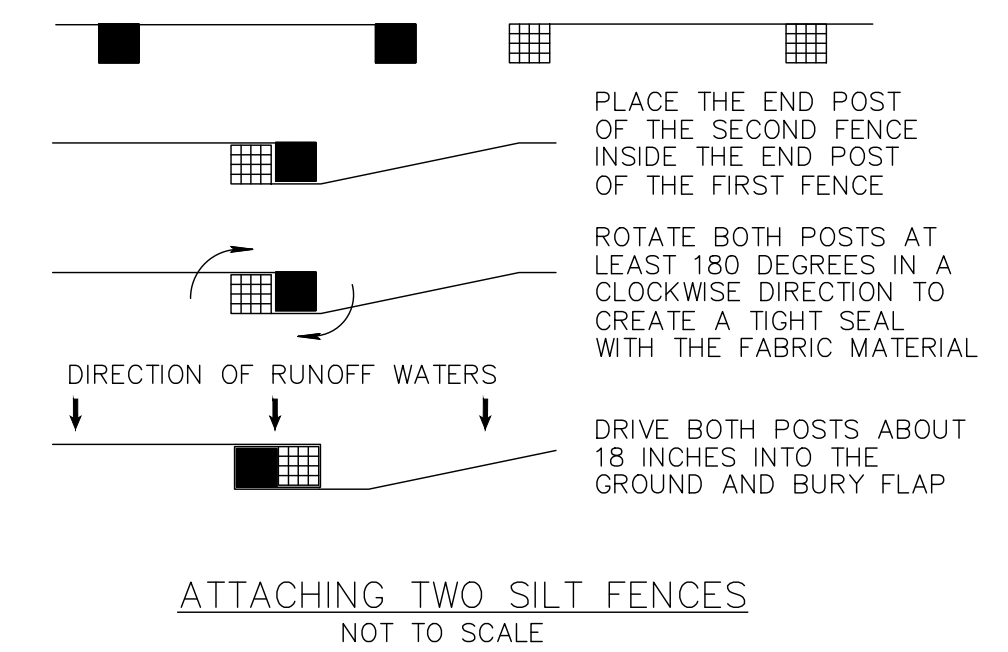
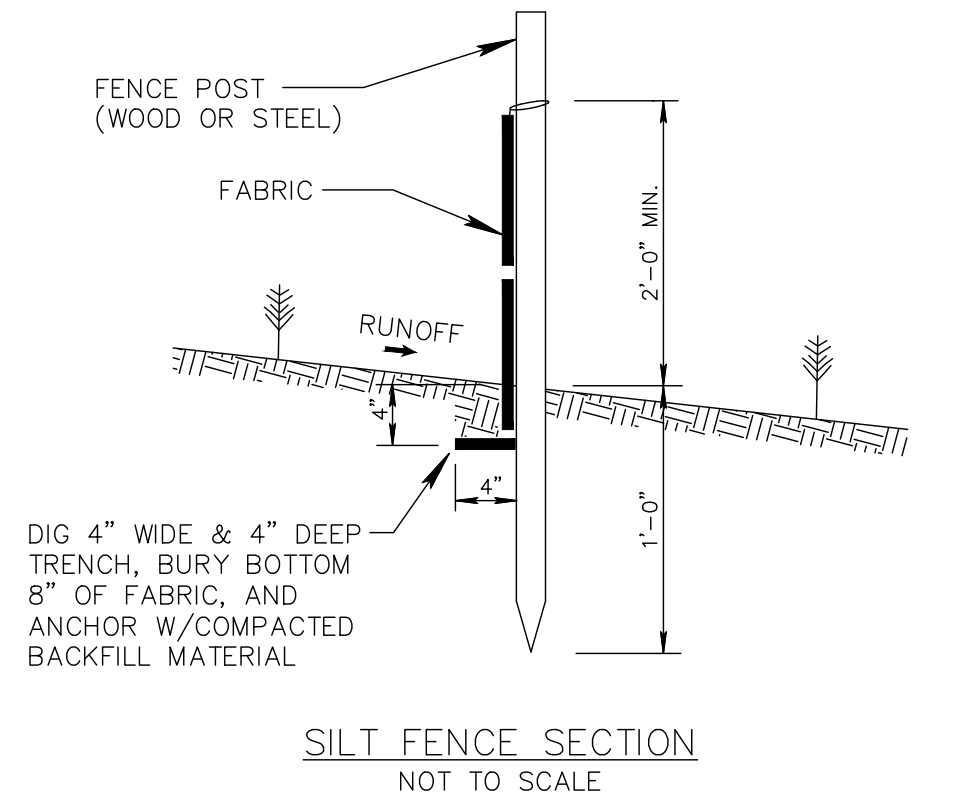


- NOTES:
1. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (90 CM).
  2. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
  3. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3 M) APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES (30 CM). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET (1.8 M).
  4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (10 CM) WIDE AND 4 INCHES (10 CM) DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
  5. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH (25 MM) LONG, TIE WIRES, OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES (5 CM) AND SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
  6. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8 INCHES (20 CM) OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
  7. THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
  8. ALL PROJECTS REQUIRE SUBMITTAL OF POLLUTION PREVENTION PLAN (PPP).
  9. ALL PROJECTS 1 AC. OR MORE MUST SUBMIT NOTICE OF INTENT (NOI) TO DDEP.

CITY OF LAKE WORTH  
PUBLIC SERVICES DEPARTMENT

SILT FENCE INSTALLATION DETAIL

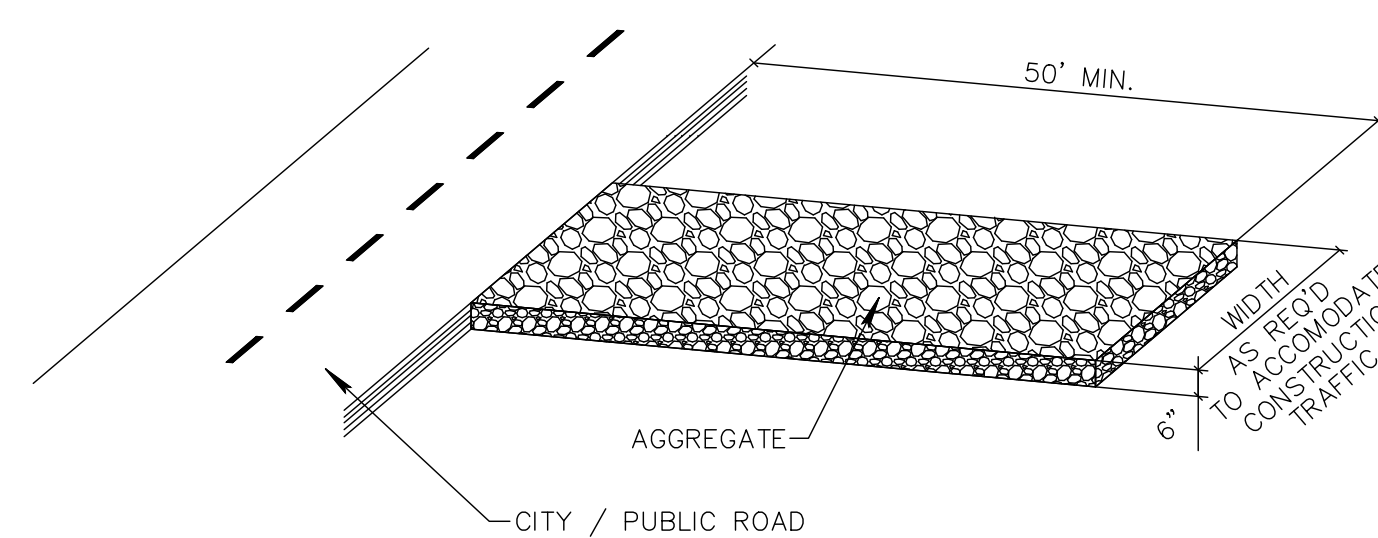
27



CITY OF LAKE WORTH  
PUBLIC SERVICES DEPARTMENT

SILT FENCE INSTALLATION DETAIL

28



NOTE:  
A CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AND CONTAIN AN AGGREGATE LAYER (FDOT AGGREGATE NO.1), AT LEAST 6-INCHES THICK. IT MUST EXTEND TO THE WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA.  
CITY / PUBLIC ROAD TO BE KEPT FREE OF DEBRIS AND AGGREGATE

CITY OF LAKE WORTH  
PUBLIC SERVICES DEPARTMENT

STABILIZED CONSTRUCTION  
ENTRANCE DETAIL

29

ERIK R. COOPER, P.E., STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 56934

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY ERIK R. COOPER, P.E. ON 10/12/2022.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

**SIMMONS & WHITE**

ENGINEERING | PLANNING | CONSULTING | SINCE 1982

2581 Metrocentre Blvd West • Suite 1 • West Palm Beach, Florida 33407 • (561) 478-7848

RESIDENCES AT LAKE WORTH  
SECTION 20, TOWNSHIP 44S., RANGE 43E.  
CITY OF LAKE WORTH, FLORIDA  
POLLUTION PREVENTION NOTES

REVISIONS

DESIGN E.C.	DRAWN C.O.	CHECKED	APPROVED	DATE

JOB NO.	DRAWING NO.	SHEET	OF
21-173	21173C03	3	3