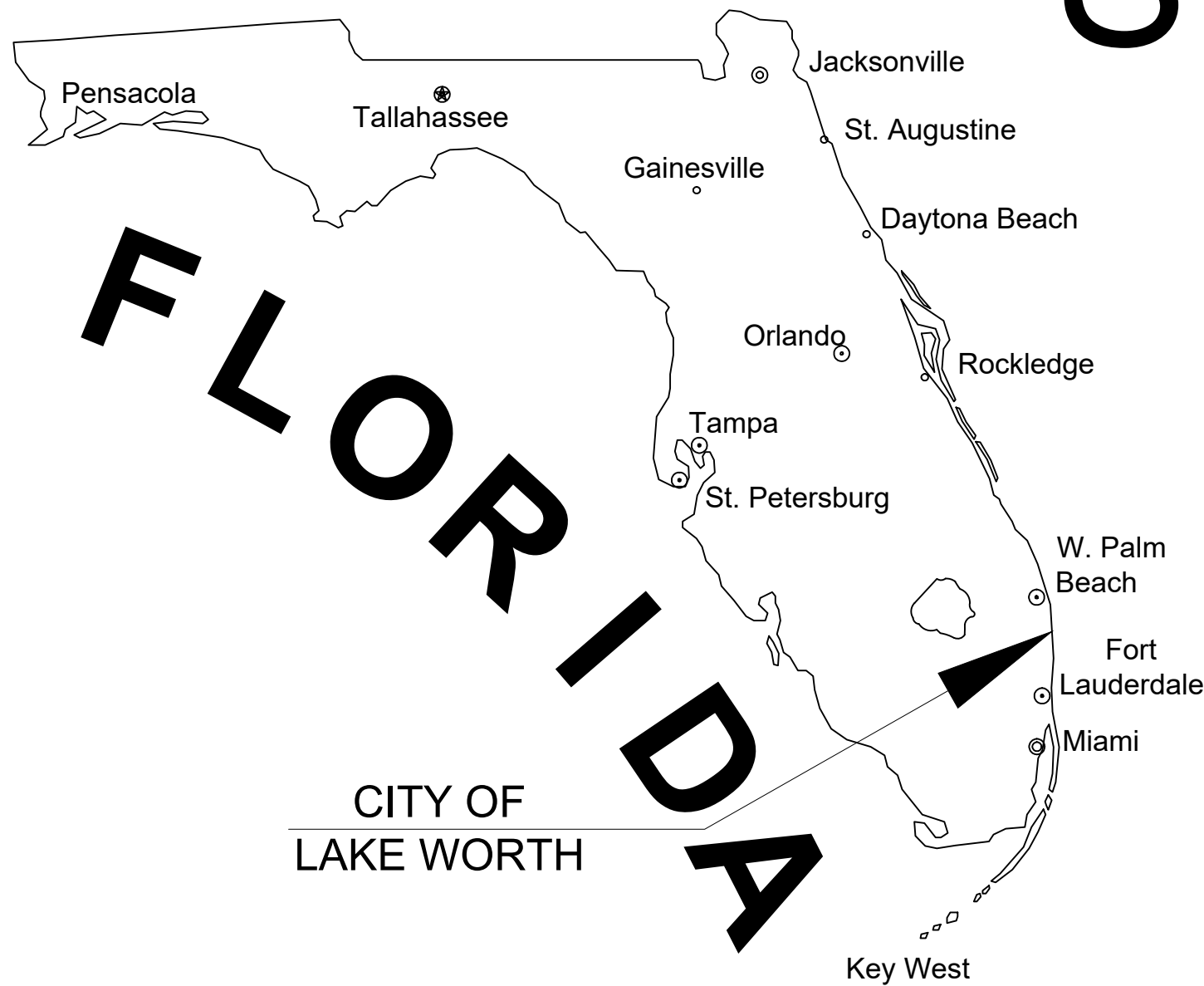


**Attachment B**  
**Site Plan Package**

# SITE PLAN SUBMITTAL - PZB

FOR

7-ELEVEN 41361  
1900 10<sup>th</sup> AVENUE NORTH  
LAKE WORTH, FLORIDA 33461



SITE LOCATION

LAND DESCRIPTION:

THE SOUTH 220 FEET OF THE EAST HALF (1/2) OF TRACT 5 OF THE SUBDIVISION OF THE WEST HALF (1/2) OF SECTION 21, TOWNSHIP 44 SOUTH, RANGE 43 EAST, PLAT BOOK 5, PAGE 12, LESS THE SOUTH 20 FEET THEREOF, LESS THE EAST 25 FEET THEREOF AND LESS THAT PARCEL TAKEN FOR 10TH AVENUE AND STATE ROAD 9 (I-95) RIGHT-OF-WAY, BEING PARCEL No. 520.1-R SECTION 93220-2405, ALL OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, TO WIT.



LOCATION MAP  
SECTION 21, TOWNSHIP 44 S, RANGE 43 E  
FOLIO #38434421020050030

INDEX OF SHEETS	
Sheet Identification	Sheet Title
--	<b>COVER</b>
--	SURVEY
SP-101	SITE PLAN
SP-102	VEHICLE CIRCULATION PLAN
SP-103	PERVIOUS / IMPERVIOUS EXHIBIT
<b>CIVIL PLANS</b>	
GI-001	LEGEND
GI-002	CONSTRUCTION SPECIFICATIONS
GI-003	GENERAL NOTES
CG-101	EROSION AND SEDIMENT CONTROL
CD-101	DEMOLITION PLAN
CP-101	PAVING, GRADING, DRAINAGE AND UTILITY PLAN
CP-501 - CP-504	ENGINEERING DETAILS
CM-101	PAVEMENT MARKING AND SIGNAGE PLAN
<b>LANDSCAPE PLANS</b>	
LD-101	TREE DISPOSITION PLAN
LP-001	LANDSCAPE NOTES
LP-101	LANDSCAPE PLAN
LP-501	LANDSCAPE DETAILS
<b>ARCHITECTURAL PLANS</b>	
A-120	FLOOR PLAN
A-121	ROOF PLAN
A-200-202	EXTERIOR ELEVATIONS
PAGES 1-7	<b>SIGN PLANS</b>
PH-01	<b>PHOTOMETRIC PLAN</b>

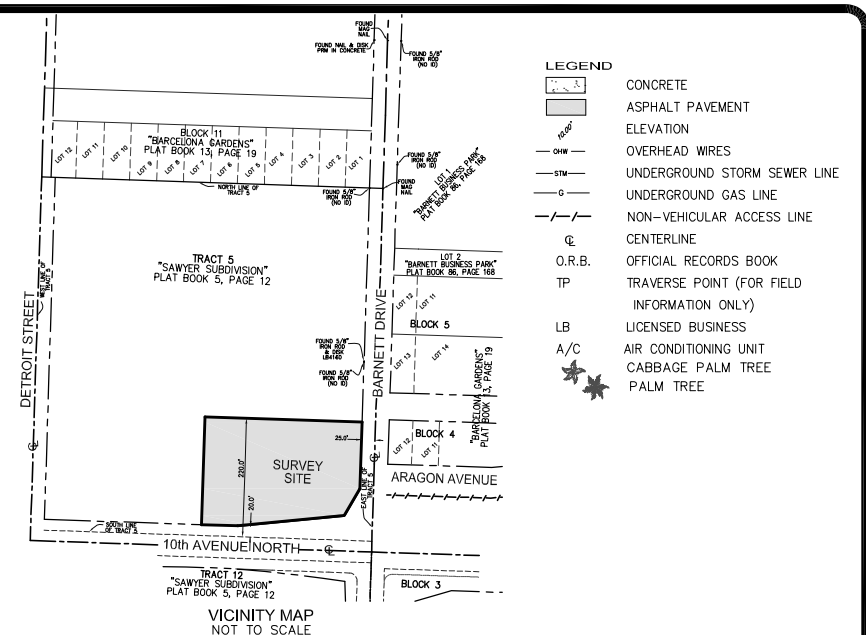
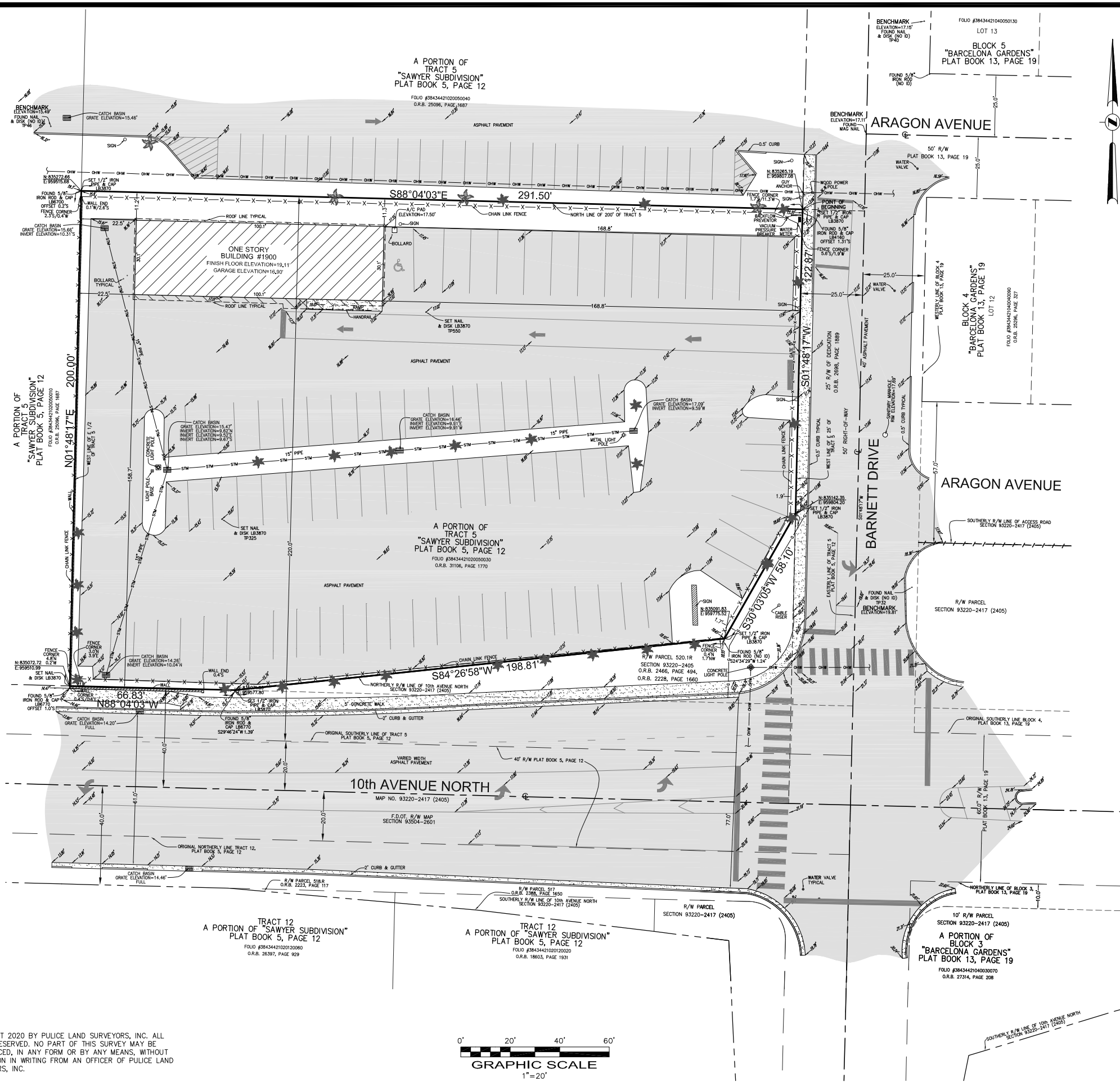
THESE PLANS MAY HAVE BEEN  
REDUCED IN SIZE BY REPRODUCTION.  
THIS MUST BE CONSIDERED WHEN  
OBTAINING SCALED DATA.



PREPARED FOR:  
CREIGHTON CONSTRUCTION AND MANAGEMENT, LLC  
900 S.W. PINE ISLAND ROAD, SUITE 202,  
CAPE CORAL, FL 33991



PROJECT No. 11007.02 DATE: 05/14/2020



**LEGAL DESCRIPTION:**  
THE SOUTH 220 FEET OF THE EAST HALF (1/2) OF TRACT 5 OF THE SUBDIVISION OF THE WEST HALF (1/2) OF SECTION 21, TOWNSHIP 44 SOUTH, RANGE 43 EAST, PLAT BOOK 5, PAGE 12, LESS THE SOUTH 20 FEET THEREOF, LESS THE EAST 25 FEET THEREOF AND LESS THAT PARCEL TAKEN FOR 10th AVENUE AND STATE ROAD 9 (I-95) RIGHT-OF-WAY, BEING PARCEL NO. 520.1-R, SECTION 93220-2405, ALL OF THE PUBLIC RECORD OF PALM BEACH COUNTY, FLORIDA, SAID NET TRACT OF LAND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE POINT OF INTERSECTION OF A LINE LYING 220.00 FEET NORTH OF THE SOUTH LINE OF SAID TRACT 5, WITH A LINE LYING 25.00 FEET WEST OF THE EAST LINE OF SAID TRACT 5; THENCE S01°48'17"W ALONG THE WEST LINE OF THE EAST 25 FEET OF TRACT 5, FOR 122.87 FEET; THENCE S30°03'05"W FOR 58.10 FEET; THENCE S84°26'58"W ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF 10th AVENUE NORTH, FOR 198.81 FEET; THENCE N88°04'03"W, CONTINUING ALONG SAID NORTH RIGHT-OF-WAY LINE, FOR 66.83 FEET; THENCE N01°48'17"E ALONG THE WEST LINE OF THE EAST 1/2 OF TRACT 5, FOR 200.00 FEET; THENCE S88°04'03"E ALONG THE NORTH LINE OF THE SOUTH 220 FEET OF TRACT 5, FOR 291.50 FEET TO THE POINT OF BEGINNING.

- NOTES:**
- 1) THIS SITE CONTAINS 54,331 SQUARE FEET (1.2473 ACRES) MORE OR LESS.
  - 2) ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. PALM BEACH COUNTY BENCHMARK N 233; ELEVATION: 15.02 FEET.
  - 3) FLOOD ZONE: X; BASE FLOOD ELEVATION: NONE; COMMUNITY: 120213; PANEL: 12099C0589F; MAP DATE: 10/05/17.
  - 4) THIS SITE LIES IN SECTION 21, TOWNSHIP 44 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA.
  - 5) BEARINGS ARE BASED ON AN ASSUMED MERIDIAN WITH THE CENTERLINE OF BARNETT DRIVE BEING S01°48'17"W.
  - 6) REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
  - 7) THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'.
  - 8) THIS SITE CONTAINS 83 TOTAL PARKING SPACES (82 REGULAR & 1 DISABLED).
  - 9) ALL RECORDED DOCUMENTS ARE PER PALM BEACH COUNTY PUBLIC RECORDS.
  - 10) STATE PLANE COORDINATES ARE BASED ON FIELD OBSERVATION AND ARE TO NORTH AMERICAN DATUM OF 1983 WITH THE 1990 ADJUSTMENT. BEARINGS ARE NOT BASED ON STATE PLANE COORDINATES.
  - 11) THIS SURVEY WAS PREPARED WITH BENEFIT OF COMMITMENT FOR TITLE INSURANCE, FILE NUMBER: 1002-290564-RTT, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, EFFECTIVE DATE: OCTOBER 23, 2019 @ 8:00 A.M.
- THE FOLLOWING ITEMS ARE SCHEDULE B-II EXCEPTIONS TO SAID COMMITMENT:  
ITEMS 1, 2, 3, 4, 5, 6, 7, 8 & 9- STANDARD EXCEPTIONS, NOT ADDRESSED.  
ITEM 10- MATTERS IN PLAT BOOK 5, PAGE 12, AFFECT THIS SITE AS DEPICTED HEREON. THERE ARE NO PLATTED EASEMENTS

**CERTIFICATION:**  
TO CREIGHTON CONSTRUCTION & MANAGEMENT; 7-ELEVEN INC., A TEXAS CORPORATION; FIRST AMERICAN TITLE INSURANCE COMPANY:  
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(a), 8, 9, & 11 OF TABLE A THEREOF.  
THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OR A DIGITAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

**John F Pulice**  
Digitally signed by John F Pulice  
Date: 2020.06.23 11:18:26 -0400  
JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER, LICENSE #162694  
BRIAN J. PULICE, PROFESSIONAL SURVEYOR AND MAPPER, LICENSE #162695  
VICTOR J. PULICE, PROFESSIONAL SURVEYOR AND MAPPER, LICENSE #162697  
STATE OF FLORIDA

NO.		REVISIONS		BY	
5					
4					
3					
2					
1					

**BOUNDARY AND TOPOGRAPHIC SURVEY**  
**ALTA/NSPS LAND TITLE SURVEY**

**PULICE LAND SURVEYORS, INC.**  
5381 NOB HILL ROAD  
SUNRISE, FLORIDA 33351  
TELEPHONE: (954) 572-1777  
FAX: (954) 572-1778  
E-MAIL: surveys@pulicelandsurveyors.com  
WEBSITE: www.pulicelandsurveyors.com  
CERTIFICATE OF AUTHORIZATION LB#3870

**PROPOSED**  
**7-ELEVEN SITE #41361**  
1900 10th AVENUE NORTH  
LAKE WORTH BEACH, PALM BEACH COUNTY,  
FLORIDA 33461

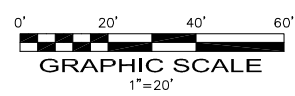
**PLS**

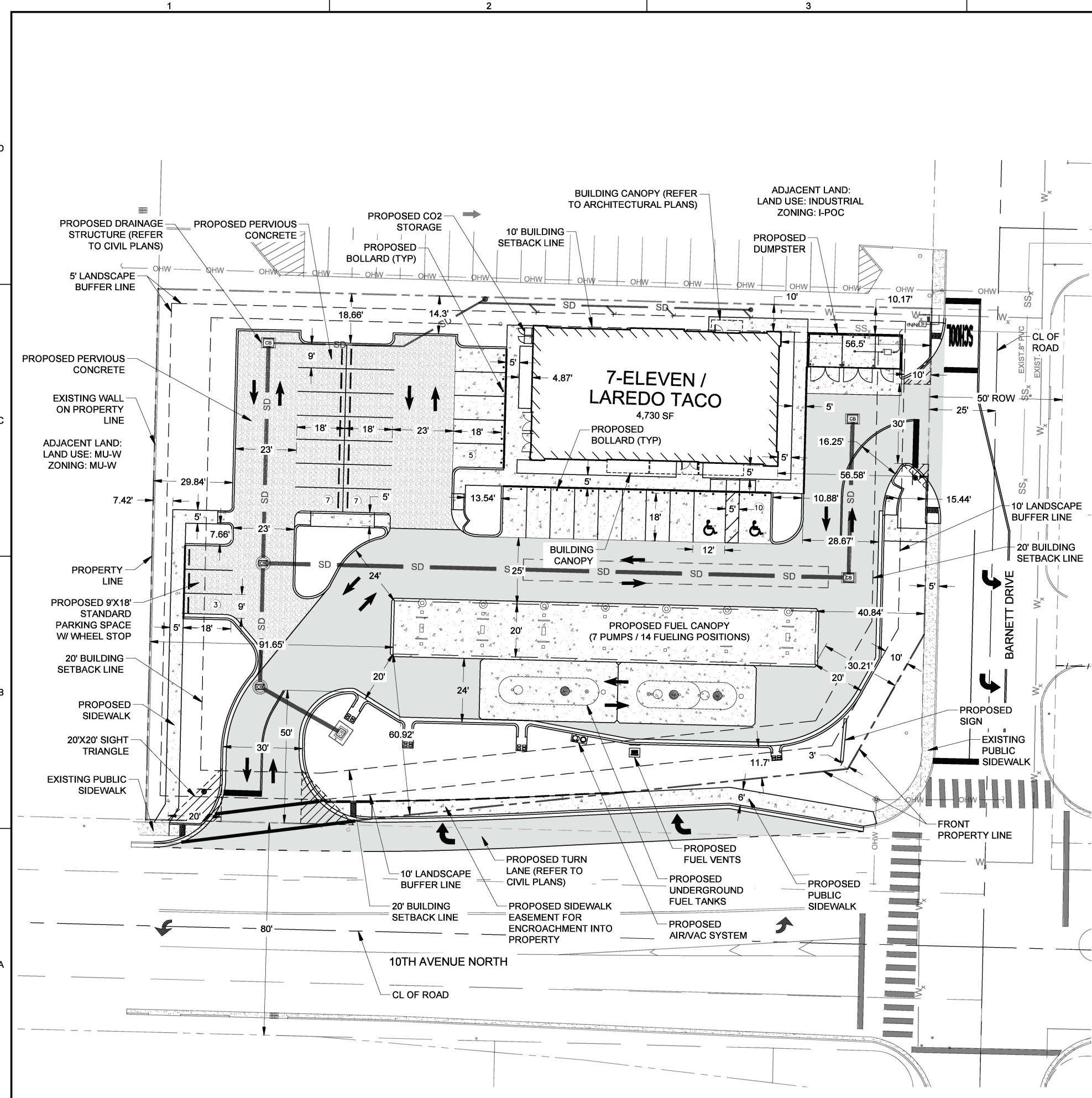
DRAWN BY: M.D.  
CHECKED BY: J.F.P.

SCALE: 1" = 20'  
SURVEY DATE: 2/17/20

FILE: CREIGHTON CONSTRUCTION & MANAGEMENT  
ORDER NO.: 66821

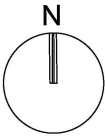
COPYRIGHT 2020 BY PULICE LAND SURVEYORS, INC. ALL RIGHTS RESERVED. NO PART OF THIS SURVEY MAY BE REPRODUCED, IN ANY FORM OR BY ANY MEANS, WITHOUT PERMISSION IN WRITING FROM AN OFFICER OF PULICE LAND SURVEYORS, INC.





NOTES:

- REFER TO ARCHITECTURAL PLANS FOR INTERIOR FLOOR PLAN LAYOUT
- DELIVERY TRUCKS TO USE SERVICE ENTRANCE FROM 10TH AVENUE NORTH (SEE SHEET SP-102)



GRAPHIC SCALE

0 20 40

SCALE: 1"=20'

NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.

SITE DATA TABLE:

<b>PROJECT ADDRESS:</b> 1900 10th Avenue North, Lake Worth Beach, FL 33461				
<b>PROJECT INFORMATION:</b>				
LAND USE DESIGNATION:	Mixed-Use West			
ZONING DESIGNATION:	Mixed-Use West (MU-W)			
FOLIO NUMBER	38-43-44-21-02-005-0030			
GROSS SITE AREA (S.F.) PER SURVEY	<b>EXISTING</b>	<b>REQUIRED</b>	<b>PROPOSED</b>	
	54,331 SF	13,000 SF Min	54,331	SF
TYPE OF USE	Auto-Sales; Truck Rentals		Vehicle Filling Station w/ Accessory Retail	
RETAIL BUILDING AREA	N/A	50% of Site Area	4,730	SF
VEHICLE FILLING STATION AREA	N/A	MAX	3,112	SF
TOTAL BUILDING FOOTPRINT	1,600 SF	27,165 SF MAX	7,842	SF
<b>ZONING DISTRICT REQUIREMENTS:</b>				
BUILDING HEIGHT AT SETBACK	<b>EXISTING</b>	<b>REQUIRED</b>	<b>PROPOSED</b>	
BUILDING COVERAGE AREA		24 FT	24	FT
FLOOR AREA RATIO (1.3 Max)		50% MAX	14%	
LANDSCAPE COVERAGE / PERVIOUS AREA		70,630 SF MAX	7,842	SF
IMPERVIOUS AREA COVERAGE		35% MIN	35.4%	*
<b>SETBACK REQUIREMENTS:</b>				
	<b>REQUIRED</b>	<b>PROPOSED</b>		
FRONT YARD (CANOPY)	32 FT MAX	30.21		FT
SIDE (INTERIOR) YARD (CANOPY)	20 FT	91.65		FT
CORNER	N/A	N/A		FT
STREET SIDE YARD (CANOPY)	20 FT	40.84		FT
REAR YARD (BUILDING)	10 FT	10		FT
<b>LANDSCAPE BUFFER:</b>				
	<b>REQUIRED</b>	<b>PROPOSED</b>		
FRONT YARD (SOUTH)	10 FT	10		FT
SIDE INTERIOR YARD (WEST)	5 FT	5		FT
STREET SIDE YARD (EAST)	10 FT	10		FT
REAR YARD (NORTH)	5 FT	5		FT
<b>SITE AREA CALCULATIONS:</b>				
	<b>REQUIRED</b>	<b>PROPOSED</b>		
<b>IMPERVIOUS AREAS</b>				
PROPOSED BUILDING (INCLUDES OVERHANGS AND FUEL CANOPY)	27,165 SF MAX	8,081		SF
VEHICLE USE AREAS (ASPHALT & CONCRETE PAVEMENT)	N/A	19,401		SF
SIDEWALKS/CONCRETE (INCLUDES 50% OF OVERALL 7,191 SF PERVIOUS PAVEMENT AREA)		7,642		SF
<b>TOTAL IMPERVIOUS (SF)</b>	<b>35,315 SF MAX</b>	<b>35,124</b>		SF
<b>TOTAL IMPERVIOUS (%) PER SECTION 23.3-18.c</b>	<b>65%</b>	<b>64.6%</b>		
<b>PERVIOUS AREAS</b>				
PERVIOUS PAVEMENT (CALCULATED AT 50% OF OVERALL 7,191 SF AREA)		3,596		SF
LANDSCAPE PLANTING AREA		15,612		
<b>TOTAL PERVIOUS AREAS (SF)</b>	<b>19,016 SF MIN</b>	<b>19,208</b>		
<b>TOTAL PERVIOUS AREAS (%)</b>	<b>35%</b>	<b>35.4%</b>		
<b>PARKING REQUIREMENTS</b>				
	<b>EXISTING</b>	<b>REQUIRED</b>	<b>PROPOSED</b>	
RETAIL = 4496 SF (1 PER 200SF)		23		
RESTAURANT SEATING = 234 SF (1 PER 75 SF)		3		
FILLING STATION (6 SPACE MINIMUM)		6		
<b>TOTAL GROSS PARKING REQUIRED</b>		<b>32</b>		
SHARED PARKING CLAUSE (-25%)		-8		
<b>TOTAL NET PARKING REQUIRED</b>		<b>24</b>		
PROVIDED PARKING SPACES (9'X18')			30	
PROVIDED ADA SPACES: (12'X20')			2	
<b>TOTAL PARKING PROVIDED</b>	<b>84</b>	<b>24</b>	<b>32</b>	



KEITH

301 East Atlantic Boulevard  
Pompano Beach, Florida 33060-6643

120 North Federal Highway, Suite 208  
Lake Worth, Florida 33460

PH: (954) 788-3400

Florida Certificate of

Authorization # - 7928

BID / CONTRACT NO.:

REVISIONS

NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN  
NOT FOR CONSTRUCTION**  
THESE PLANS ARE NOT FULLY PERMITTED  
AND ARE SUBJECT TO REVISIONS MADE  
DURING THE PERMITTING PROCESS.  
RESPONSIBILITY FOR THE USE OF THESE  
PLANS PRIOR TO OBTAINING PERMITS  
FROM ALL AGENCIES HAVING JURISDICTION  
OVER THE PROJECT WILL FALL SOLELY  
UPON THE USER.



7-ELEVEN #41361  
1900 10TH AVENUE  
NORTH, LAKE WORTH,  
FLORIDA 33461

SCALE: AS NOTED

1ST SUBMITTAL DATE: MARCH 2020

DRAWN BY: MG

DESIGNED BY: MG

CHECKED BY: TD

This item has been  
digitally signed and  
sealed by Thomas  
F. Donahue, P.E.  
on the date  
adjacent to the  
seal.

Printed copies  
of this document  
are not considered  
signed and sealed  
and the signature  
must be verified on any  
electronic copies.  
Date: 2020.06.23 11:05:41-04'00'  
THOMAS F. DONAHUE, P.E.  
FLORIDA REG. NO. 60529  
(FOR THE FIRM)

SHEET TITLE

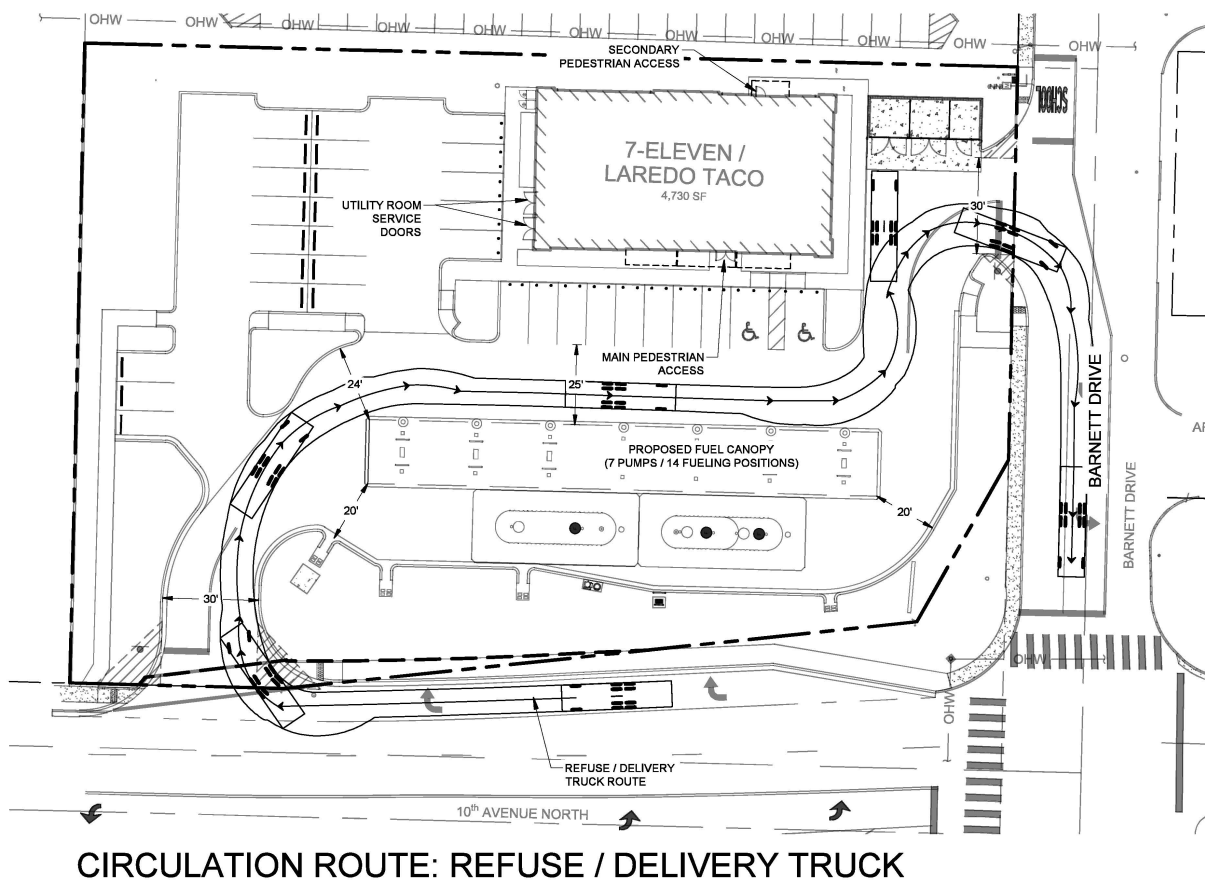
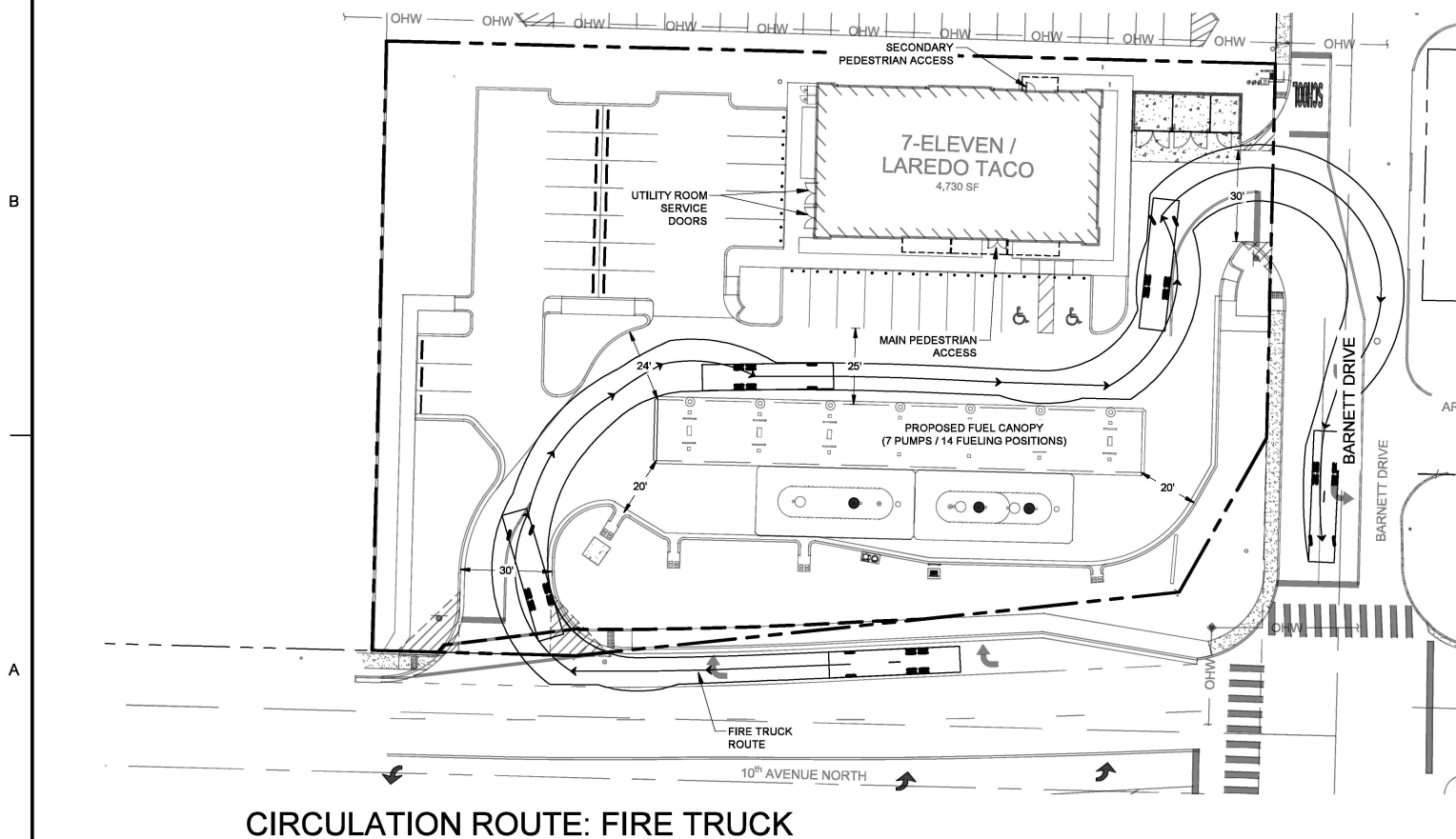
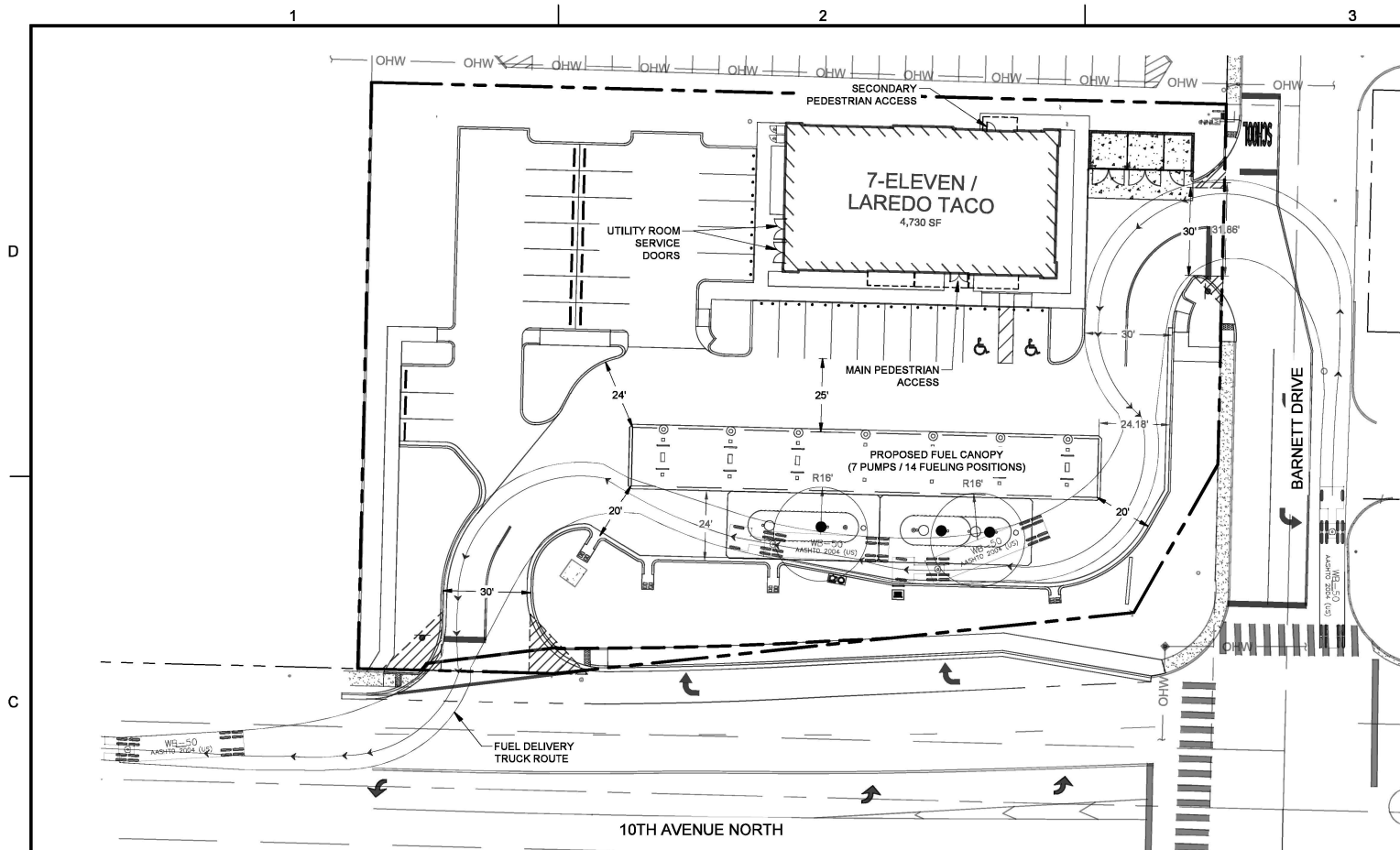
SITE PLAN

SHEET NUMBER

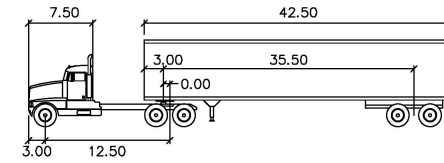
SP-101

PROJECT NO. 11007.02

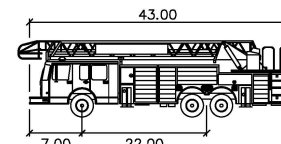




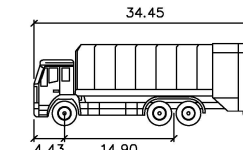
## AUTOTURN VEHICLE DETAILS



Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 17.7
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.50		



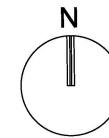
	feet
Width	: 8.50
Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 33.3



	feet
Width	: 8.20
Track	: 8.20
Lock to Lock Time	: 6.0
Steering Angle	: 42.0

**NOTES:**

1. DELIVERY TRUCKS TO USE SERVICE ENTRANCE FROM 10TH AVENUE NORTH



GRAPHIC SCALE

SCALE: 1"=30'

NOTE: PRINTED DRAWING SIZE MAY HAVE  
CHANGED FROM ORIGINAL. VERIFY SCALE  
USING BAR SCALE ABOVE.



301 East Atlantic Boulevard  
Pompano Beach, Florida 33060-6643

120 North Federal Highway, Suite 208  
Lake Worth, Florida 33460

PH: (954) 788-3400

Florida Certificate of  
Authorization # - 7928

BID / CONTRACT NO.:

## REVISIONS

[illegible]

**PRELIMINARY PLAN  
NOT FOR CONSTRUCTION**

THESE PLANS ARE NOT FULLY PERMITTED  
AND ARE SUBJECT TO REVISIONS MADE  
DURING THE PERMITTING PROCESS.  
RESPONSIBILITY FOR THE USE OF THESE  
PLANS PRIOR TO OBTAINING PERMITS  
FROM ALL AGENCIES HAVING JURISDICTION  
OVER THE PROJECT WILL FALL SOLELY  
UPON THE USER.



7-ELEVEN #41361  
1900 10TH AVENUE  
NORTH, LAKE WORTH,  
FLORIDA 33461

SCALE: AS NOTED

1ST SUBMITTAL DATE: MARCH 2020

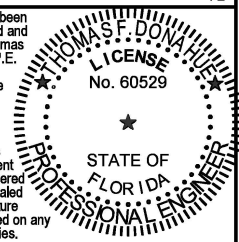
DRAWN BY: MG

DESIGNED BY: MG

CHECKED BY:	TD
-------------	----

This item has been digitally signed and sealed by Thomas F. Donahue, P.E. on the date adjacent to the seal.

THOMAS F. DONAHUE  
 LICENSE  
 No. 60529



Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

STATE OF FLORIDA  
PROFESSIONAL ENGINEER

THOMAS T. DONAHUE, P.E.  
FLORIDA REG. NO. 60529  
(FOR THE FIRM)

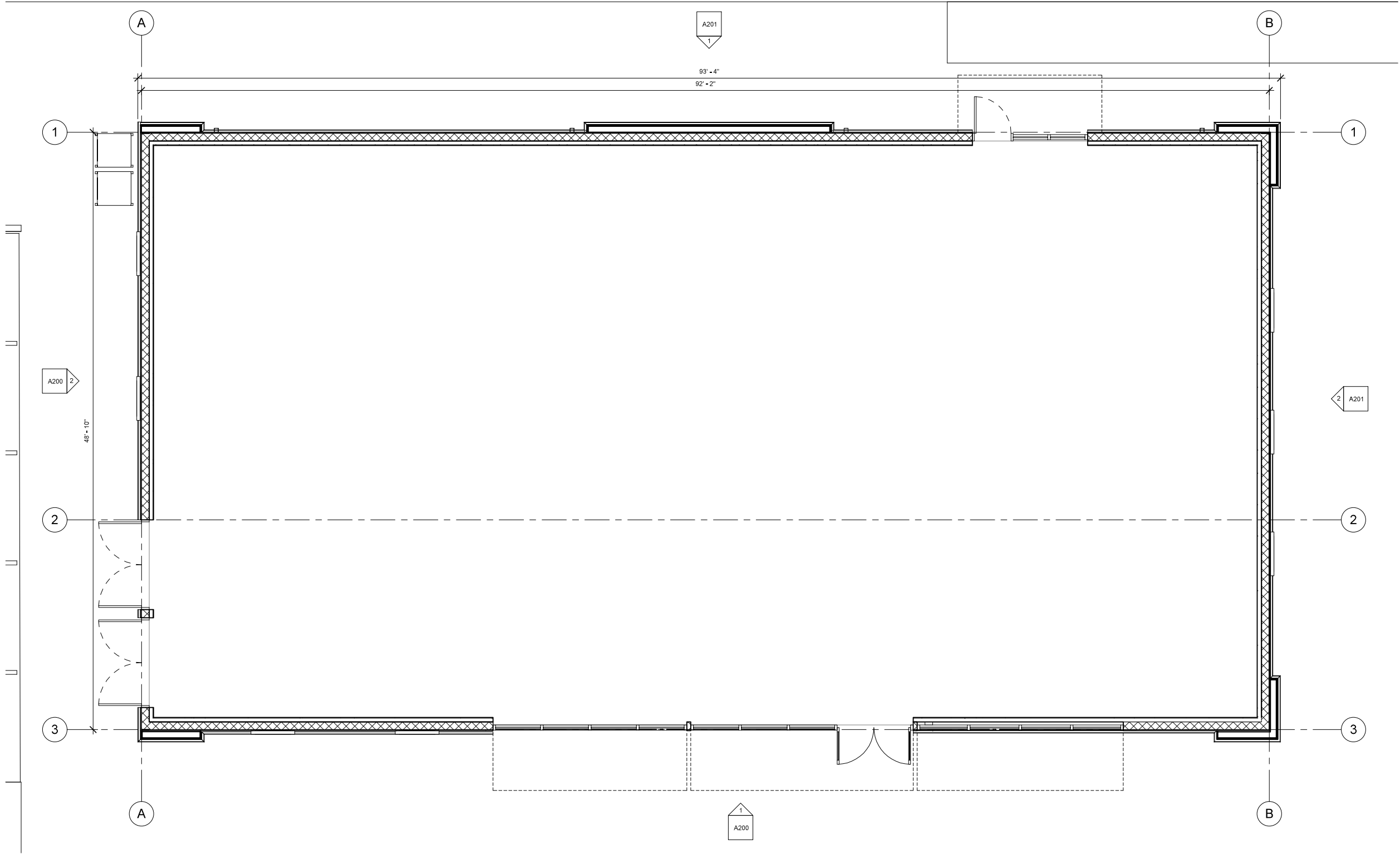
SHEET TITLE

### VEHICLE CIRCULATION PLAN

SHEET NUMBER

SP-102

PROJECT NO. 11007.02



**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

1925 Prospect Ave.  
Orlando, FL 32814  
P (407) 661-9100  
F (407) 661-9101  
[www.f-p.com](http://www.f-p.com)  
Florida Corporate Certificate #AA C000526

**Chakraborty & Peterson**  
Architects Engineers Planners  
ORLANDO • PHILADELPHIA

CLIENT NAME  
**CREIGHTON CONST.**

**7-ELEVEN - LAKE WORTH**  
1900 10TH AVENUE NORTH LAKE WORTH, FL

**FLOOR PLAN**

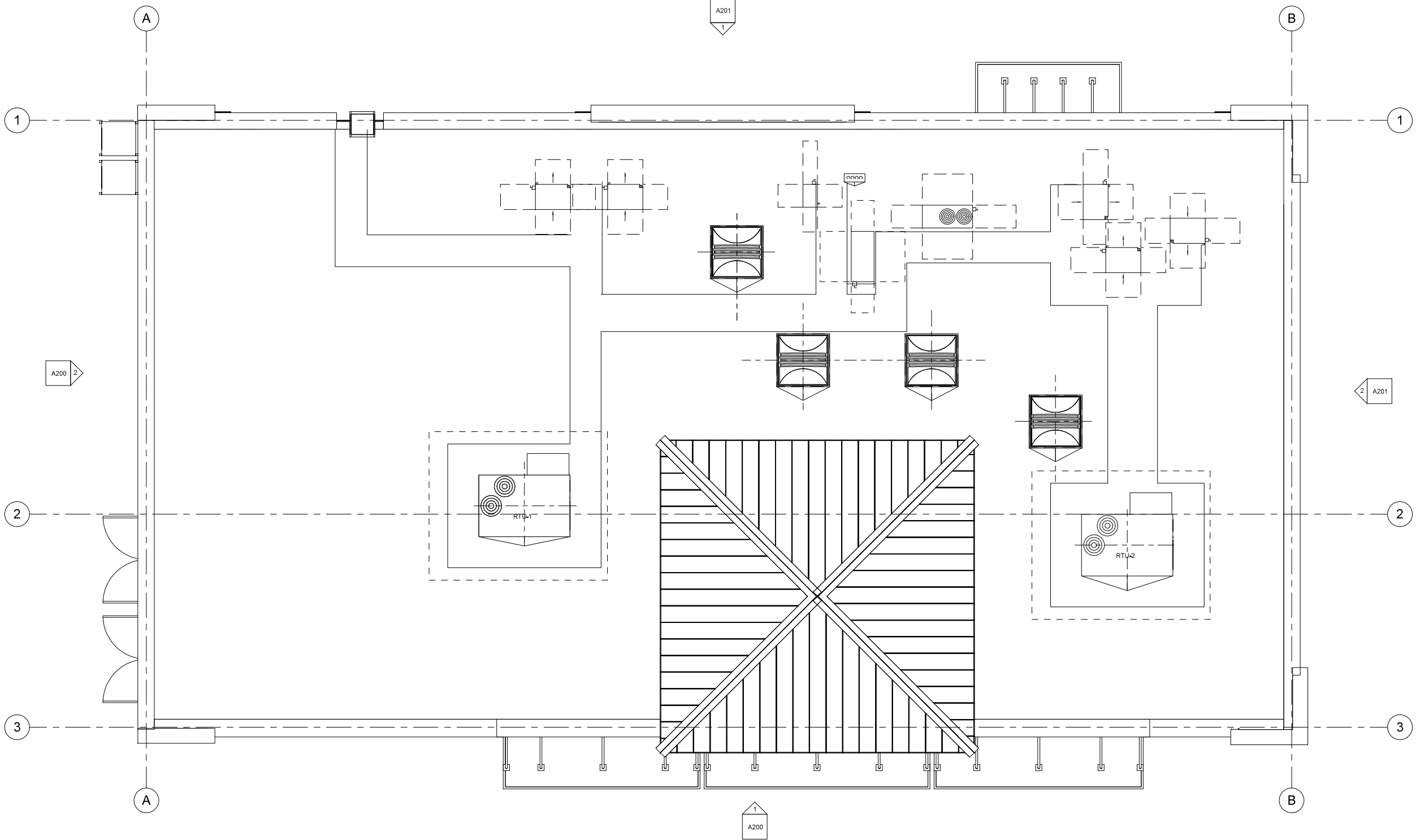


Digitally signed  
Jeffrey R. Suchan  
Date: 2020.06.23  
14:03:39 -04'00'

Revision Schedule	
No.	Description

PROJECT NO. 219107	DATE 05/08/2020	DRAWN DA, AC	CHECKED GA
-----------------------	--------------------	-----------------	---------------

**A120**



1 ROOF PLAN  
SCALE: 1/4" = 1'-0"

CLIENT NAME  
CREIGHTON CONST.

7-ELEVEN - LAKE WORTH  
1900 10TH AVENUE NORTH LAKE WORTH, FL

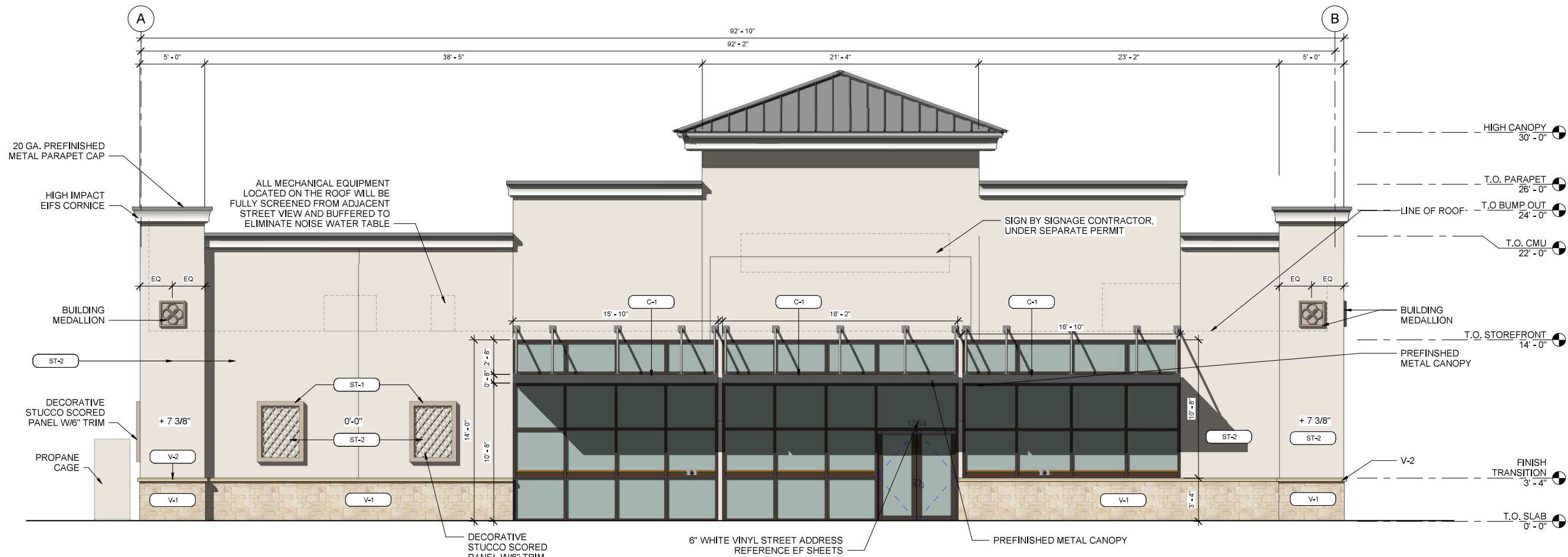
ROOF PLAN



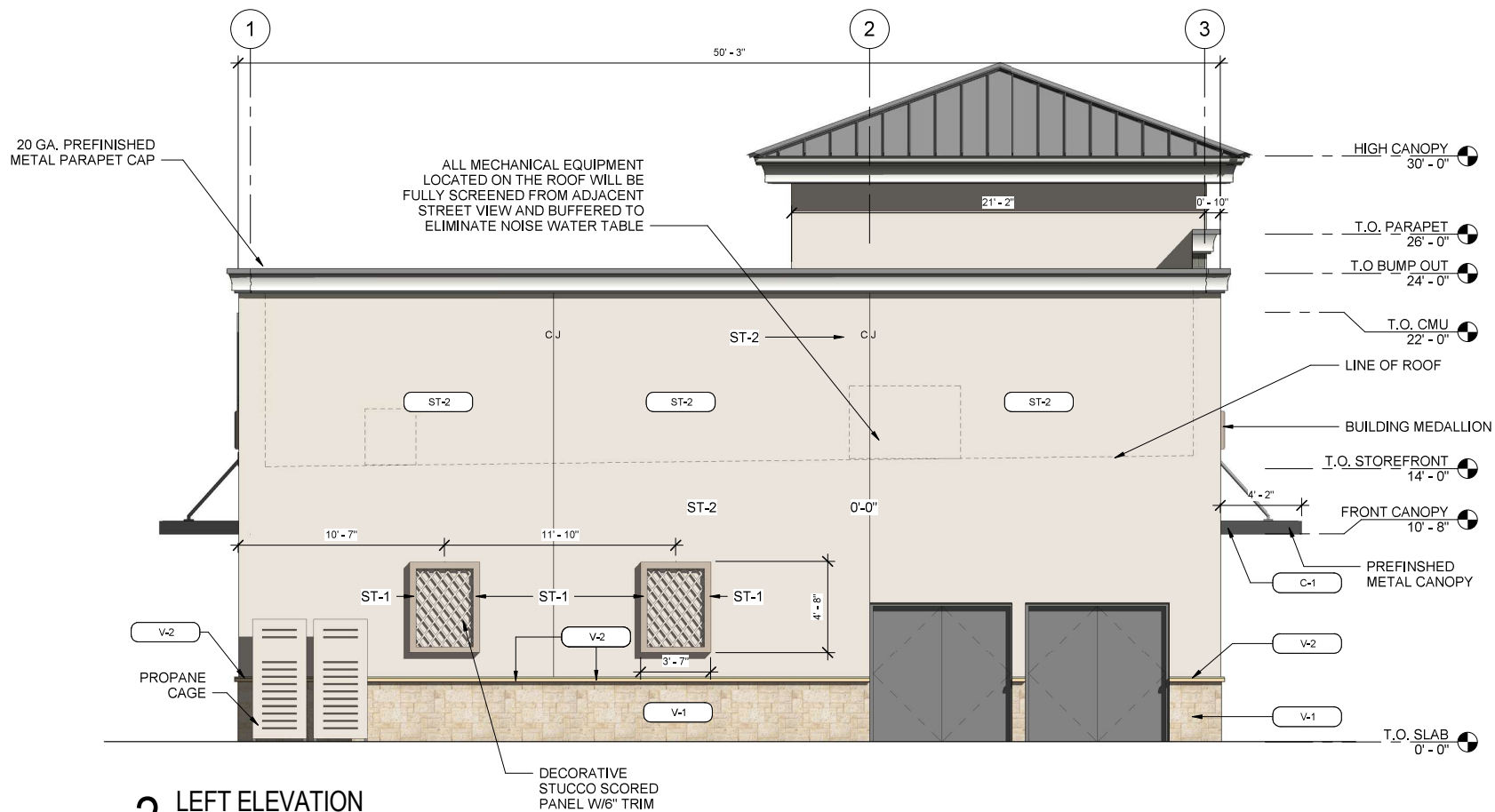
Jeffrey R. Suchan signed by  
Jeffrey R. Suchan  
Date: 2020.06.25  
14:04:32 -04'00'

Revision Schedule	
No.	Description

PROJECT NO. 2191107	DATE 05/08/2020	DRAWN DA	CHECKED GA
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1 FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



2 LEFT ELEVATION  
SCALE: 1/4" = 1'-0"

EXTERIOR MATERIALS SCHEDULE			
COLOR	NO.	MATERIAL	MANUFACTURER - COLOR
	MR-1	MEMBRANE ROOFING	DUROLAST - WHITE
	ST-1	PAINTED STUCCO	SHERWIN WILLIAMS BALANCED BEIGE - SW 7037 - LRV 46
	ST-2	PAINTED STUCCO	SHERWIN WILLIAMS - AESTHETIC WHITE - SW 7035 - LRV 73
	V-1	VENEER STONE	EQUAL TO CORAL STONE BY CULTURED STONE - FOSSIL REEF
	V-2	WATERTABLE/ SILL	EQUAL TO CORAL STONE BY CULTURED STONE - CHAMPAGNE
	P-3	EXTERIOR HOLLOW METAL DOORS, FRAMES, TRASH ENCLOSURE GATE, GRAVEL GUARDS AND LIGHT POLES	SHERWIN WILLIAMS - SEAL SKIN SW 7675
	P-6	EXTERIOR BOLLARDS	SHERWIN WILLIAMS - SEAL SKIN SW 7675
	S-1	ALUMINUM STOREFRONT GLAZING, CAP FLASHING, DOWNSPOUTS & SCUPPERS	DARK BRONZE
	C-1	PREFINISHED ALUMINUM CANOPY	AWNING WORKS OR THOMPSON AWNING - TO MATCH STOREFRONT COLOR W/REAR GUTTER CONNECTIONS
	FC-1	FUEL CANOPY FASCIA	REYNOBOND CORP. - EASTMAN WHITE - PY - 25

1925 Prospect Ave.  
Orlando, FL 32814  
P (407) 661-9100  
F (407) 661-9101  
www.c-p.com  
Florida Corporate Certificate #AA C000026

**Chilaci & Peterson**  
Architects Engineers Planners  
ORLANDO • PHILADELPHIA

CLIENT NAME  
**CREIGHTON CONST.**

**7-ELEVEN - LAKE WORTH**  
1900 10TH AVENUE NORTH LAKE WORTH, FL

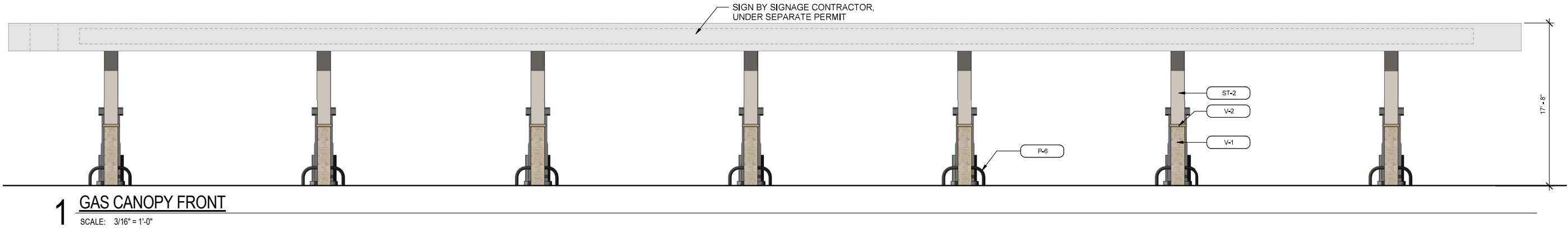
**EXTERIOR ELEVATIONS**

STATE OF FLORIDA  
JEFFREY R. SUCHAN  
ARCHITECT  
Date: 2020.06.25  
14:05:28 -04'00'

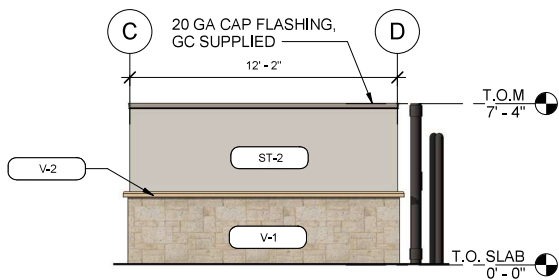
Revision Schedule		Description	Date
No.			

PROJECT NO. 219107	DATE 05/08/2020	DRAWN DA AC	CHECKED GA
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**A200**



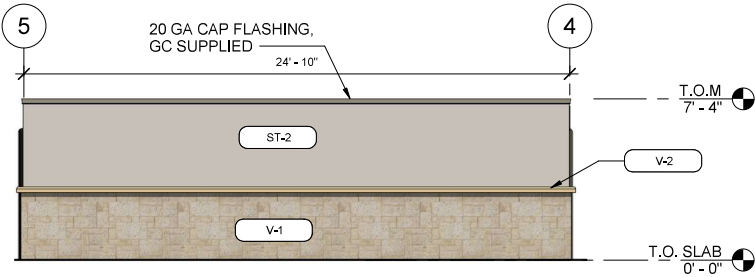
1 GAS CANOPY FRONT  
SCALE: 3/16" = 1'-0"



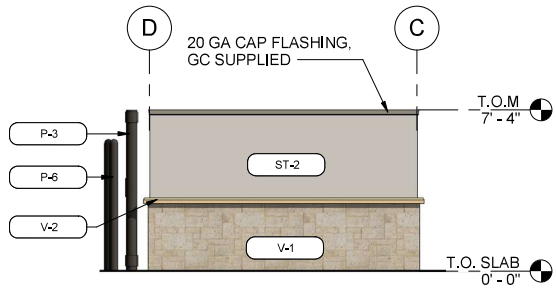
2 DUMPSTER LEFT ELEVATION  
SCALE: 1/4" = 1'-0"



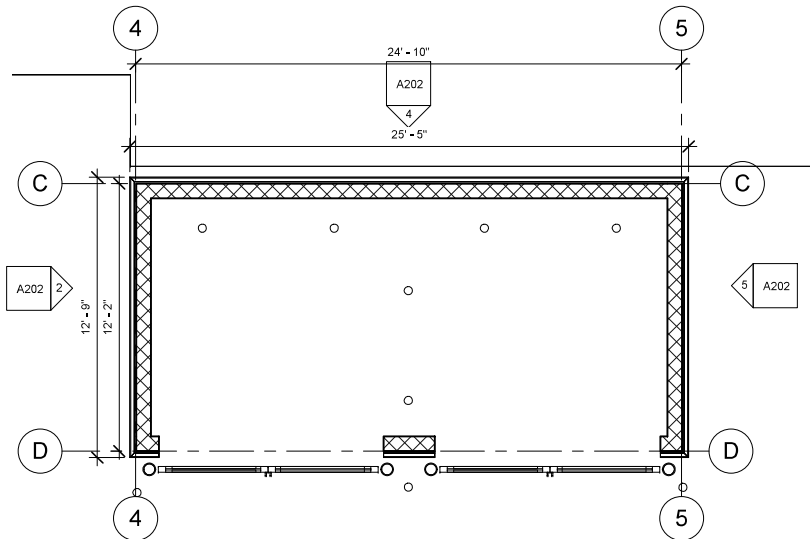
3 DUMPSTER FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



4 DUMPSTER REAR ELEVATION  
SCALE: 1/4" = 1'-0"



5 DUMPSTER RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



6 DUMPSTER FLOOR PLAN  
SCALE: 1/4" = 1'-0"

EXTERIOR MATERIALS SCHEDULE			
COLOR	NO.	MATERIAL	MANUFACTURER - COLOR
	MR-1	MEMBRANE ROOFING	DUROLAST - WHITE
	ST-1	PAINTED STUCCO	SHERWIN WILLIAMS BALANCED BEIGE - SW 7037 - LRV 46
	ST-2	PAINTED STUCCO	SHERWIN WILLIAMS - AESTHETIC WHITE - SW 7035 - LRV 73
	V-1	VENEER STONE	EQUAL TO CORAL STONE BY CULTURED STONE - FOSSIL REEF
	V-2	WATERTABLE/ SILL	EQUAL TO CORAL STONE BY CULTURED STONE - CHAMPAGNE
	P-3	EXTERIOR HOLLOW METAL DOORS, FRAMES, TRASH ENCLOSURE GATE, GRAVEL GUARDS AND LIGHT POLES	SHERWIN WILLIAMS - SEAL SKIN SW 7675
	P-6	EXTERIOR BOLLARDS	SHERWIN WILLIAMS - SEAL SKIN SW 7675
	S-1	ALUMINUM STOREFRONT GLAZING, CAP FLASHING, DOWNSPOUTS & SCUPPERS	DARK BRONZE
	C-1	PREFINISHED ALUMINUM CANOPY	AWNING WORKS OR THOMPSON AWNING - TO MATCH STOREFRONT COLOR W/WEAR GUTTER CONNECTIONS
	FC-1	FUEL CANOPY FASCIA	REYNOBOND CORP. - EASTMAN WHITE - PY - 25

1925 Prospect Ave.  
Orlando, FL 32814  
P (407) 661-9100  
F (407) 661-9101  
www.f-p.com  
Florida Corporate Certificate #AA C00026

**4**  
*Chakraci & Peterson*  
Architects Engineers Planners  
ORLANDO • PHILADELPHIA

CLIENT NAME  
CREIGHTON CONST.

7-ELEVEN - LAKE WORTH  
1900 10TH AVENUE NORTH LAKE WORTH, FL

FUEL CANOPY & DUMPSTER ELEV. AND FLOOR PLAN



Jeffrey R. Suchan  
I am a duly signed  
by Jeffrey R. Suchan  
Date: 2020.06.25  
14:06:49 -04'00'

Revision Schedule		
No.	Description	Date

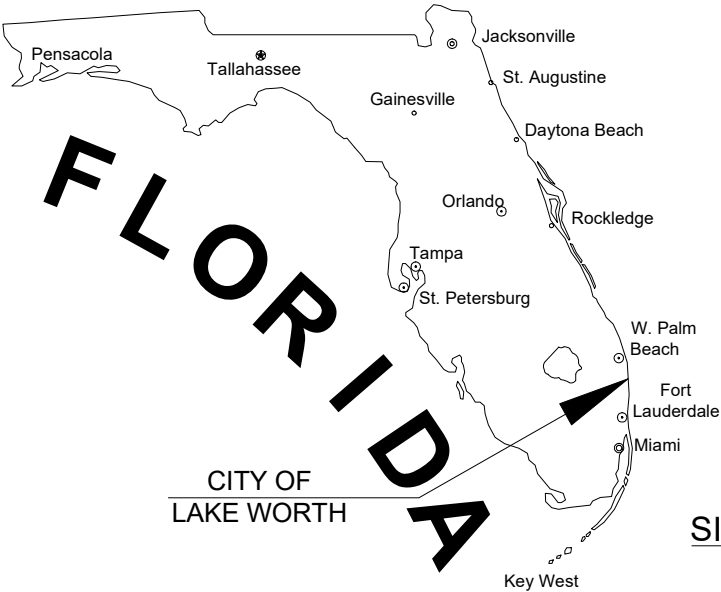
PROJECT NO. 219107	DATE 05/08/2020	DRAWN DA, AC	CHECKED
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A202

# PRELIMINARY ENGINEERING PLANS

FOR

7-ELEVEN 41361  
1900 10<sup>th</sup> AVENUE NORTH  
LAKE WORTH, FLORIDA 33461



SITE LOCATION



## LOCATION MAP

SECTION 21, TOWNSHIP 44 S, RANGE 43 E  
FOLIO #38434421020050030

INDEX OF SHEETS		
Sheet Sequence No.	Sheet Identification	Sheet Title
	--	COVER
1	--	SURVEY
2	GI-001	LEGEND
3	GI-002	CONSTRUCTION SPECIFICATIONS
4	GI-003	GENERAL NOTES
5	CG-101	EROSION AND SEDIMENT CONTROL PLAN
6	CD-101	DEMOLITION PLAN
7	CP-101	PAVING, GRADING, DRAINAGE AND UTILITY PLAN
8 - 11	CP-501 - CP-504	ENGINEERING DETAILS
12	CM-101	PAVEMENT MARKING AND SIGNAGE PLAN

PERMITTING AGENCIES	PERMIT NO.	EXPIRES
CITY OF LAKE WORTH		
PALM BEACH COUNTY LAND DEVELOPMENT		
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION		
FLORIDA DEPT OF HEALTH IN PALM BEACH COUNTY		
SOUTH FLORIDA WATER MANAGEMENT DISTRICT		

## RELATIONSHIP BETWEEN NGVD 1929 AND NAVD 1988

DATUM	DIFFERENCE	ELEV.
NGVD 1929	+1.52 FEET	1.52'
NAVD 1988		0.00'

ALL ELEVATIONS SHOWN ON THESE PLANS ARE  
BASED ON NAVD 1988 DATUM

## LAND DESCRIPTION:

THE SOUTH 220 FEET OF THE EAST HALF (1/2) OF TRACT 5 OF THE  
SUBDIVISION OF THE WEST HALF (1/2) OF SECTION 21, TOWNSHIP 44 SOUTH,  
RANGE 43 EAST, PLAT BOOK 5, PAGE 12, LESS THE SOUTH 20 FEET THEREOF,  
LESS THE EAST 25 FEET THEREOF AND LESS THAT PARCEL TAKEN FOR 10TH  
AVENUE AND STATE ROAD 9 (I-95) RIGHT-OF-WAY, BEING PARCEL No. 520.1-R  
SECTION 93220-2405, ALL OF THE PUBLIC RECORDS OF PALM BEACH COUNTY,  
FLORIDA, TO WIT.

## FEMA FLOOD ZONE:

THE PROPERTY IS LOCATED WITHIN FLOOD ZONE X,  
AS SHOWN ON F.I.R.M. NUM. 12099C0589F, BEARING  
A MAP EFFECTIVE DATE OF 10/05/2017.

THESE PLANS MAY HAVE BEEN  
REDUCED IN SIZE BY REPRODUCTION.  
THIS MUST BE CONSIDERED WHEN  
OBTAINING SCALED DATA.

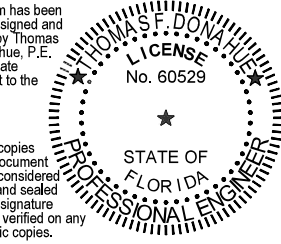


PREPARED FOR:  
CREIGHTON CONSTRUCTION AND MANAGEMENT, LLC  
900 S.W. PINE ISLAND ROAD, SUITE 202,  
CAPE CORAL, FL 33991



This item has been  
digitally signed and  
sealed by Thomas  
F. Donahue, P.E.,  
on the date  
adjacent to the  
seal.

Printed copies  
of this document  
are not considered  
signed and sealed  
and the signature  
must be verified on any  
electronic copies.



Date: 2020.06.25 15:50:31-04'00'  
THOMAS F. DONAHUE, P.E.  
FLORIDA REG. NO. 60529  
(FOR THE FIRM)

PROJECT No. 11007.02 DATE: 01/30/2020

D	General Symbols		
	Existing	Proposed	Description
C			Centerline & Baseline of Survey or Construction
			Building Access (ADA)
			Building Access (NON-ADA)
			Driveway Turnout Identification (Per FDOT Index 515) w/ Drive Width
			Sidewalk Curb Ramp (Per FDOT Index 304)
			Proposed Section Marker
			Flag Pole
			GPS Point
			Hay Bales
			Mail Box
B			Major Contour Elevation
			Minor Contour Elevation
			Parking Meter
			Property Line
			Grade Elevation
			Top Of Curb Elevation/Pavement Elevation
			Soil Test Boring Hole
			Survey Bench Mark
	Line Types		
	Existing	Proposed	Description
A			County Bound
			Demolition Line
			Easement Line
			Property Line
			Limited Access Line/Non-Vehicular Access
			Railroad
			Right Of Way
			Canal Or Drainage Ditch
			Shore Line
			Tree Line
			Aerial Communication Line
			Underground Communication Line
			Underground Storm Drain Line (Double Line 24" And Over
			Underground Sanitary Line
			Aerial Electric Line
			Underground Electric
			Underground Water Line
			Underground Non Potable Water Line
			Underground Force Main
			Gate
			Chain Link Fence
			Wood Fence
			Metal Rail Fence
			Silt Fence
			Staked Turbidity Barrier
			Turbidity Barrier
			Guard Rail
			Roadway Centerline
			2 - 4 Skip
			3 - 9 Skip
			6- 10 Skip
			10 - 30 Skip
			10 - 10 - 20 Skip
			Curb
			Curb And Gutter
	Landscaping		
	Existing	Proposed	Description
			Bush
			Tree
			Palm Tree

Paving and Grading		
Existing	Proposed	Description
		Flow Directional Arrow
		Pavement Marking Arrows
		Stop Bar
		Concrete Sidewalk
		Jogging Path
		Pavement Area
		Existing Pavement/Concrete/ Landscape Removal Area
		Milling And Resurfacing
		Detectable Warning (Truncated Domes) Per Florida Accessibility Code
		Soil Tracking Prevention Device
Drainage / Utilities		
Existing	Proposed	Description
		Catch Basin
		Yard Drain
		Exfiltration Trench
		Catch Basin With Filter Fabric Insert
		Curb Type 5
		Curb Type 6
		Pipe Culvert - Mitered End Section
		Pipe Culvert - Straight Endwall
		Pipe Culvert - U - Type Endwall
		Manhole - Communication, Electric, Gas, Dm, San Sew
		Valve Box - Gas, San. Sew, Water, Non-Potable Water
		22.5 degree Bend
		45 degree Bend
		90 degree Bend
		Utility Crossing
		Fire Hydrant
		Proposed Bacteriological Sampling Point
		Pump Station
		Grease Trap
		Septic Tank
		Drainage Well
		Monitoring Well
		Water Well
		Sanitary Sewer Cleanout
		Back Flow Preventor
		Junction Box
		Electric Handhole
		Electric Meter
		Water Meter
		Gate Valve
		Guy wire
		Light Pole
		Relocated Or Adjusted Light Pole
		Wood Power Pole
		Concrete Utility Pole
		Traffic Signal Pole (Concrete, Wood, Metal)
		Pedestrian Signal Head (Pole Or Pedestal Mounted)
		Post Mounted Sign
		Street Sign
		High Mast Lighting Tower
		Controller Cabinet (Base Mounted)
		Controller Cabinet (Pole Mounted)
		Traffic Signal Head (Span Wire Mounted)
		Traffic Signal Head (Pedestal Mounted)
		Traffic Signal Head (Mast Arm Mounted)
		N: 623025.4322
		E: 850262.1786
Coordinate values shown on proposed improvements are relative to the coordinate values indicated on the Right-of-Way, property corners or reference monument		

General	Abbreviations
AADT	Annual Average Daily Traffic
ABAN	Abandon
ADJ	Adjust
APPROX.	Approximate
A.C.	Asphalt Concrete
ACCM PIPE	Asphalt Coated Corrugated Metal Pipe
BIT.	Bituminous
BC	Back Of Curb
BD.	Bound
BL	Baseline
BLDG	Building
BM	Benchmark
BO	By Others
BOS	Bottom Of Slope
BR.	Bridge
CAP	Corrugated Aluminum Pipe
CB	Catch Basin
CBCI	Catch Basin With Curb Inlet
CC	Cement Concrete
CCM	Cement Concrete Masonry
CEM	Cement
CI	Curb Inlet
CIP	Cast Iron Pipe
CLF	Chain Link Fence
CL	Centerline
CMP	Corrugated Metal Pipe
CO.	County
CONC	Concrete
CONT	Continuous
CONST	Construction
CR GR	Crown Grade
DHV	Design Hourly Volume
DI	Drop Inlet
DIA	Diameter
DIP	Ductile Iron Pipe
DWY	Driveway
ELEV (OR EL.)	Elevation
EMB	Embankment
EOP	Edge Of Pavement
EXIST (OR EX)	Existing
EXC	Excavation
F&C	Frame And Cover
F&G	Frame And Grate
FDN.	Foundation
FLDSTN	Fieldstone
GAR	Garage
GD	Ground
GI	Gutter Inlet
GIP	Galvanized Iron Pipe
GRAN	Granite
GRAV	Gravel
GRD	Guard
GV	Gate Valve
HDPE	High Density Polyethylene
HDW	Headwall
HMA	Hot Mix Asphalt
HOR	Horizontal
HYD	Hydrant
INV	Invert
JCT	Junction
L	Length Of Curve
LB	Leach Basin
LP	Light Pole
LT	Left
MAX	Maximum
MB	Mailbox
MEG	Match Existing Grade
MH	Manhole
MIN	Minimum
NIC	Not In Contract

Abbreviations Continued	
NO.	Number
PC	Point Of Curvature
PCC	Point Of Compound Curvature
P.G.L.	Profile Grade Line
PI	Point Of Intersection
POC	Point On Curve
POT	Point On Tangent
PRC	Point Of Reverse Curvature
PROJ	Project
PROP	Proposed
PT	Point Of Tangency
PVC	Point Of Vertical Curvature
PVI	Point Of Vertical Intersection
PVT	Point Of Vertical Tangency
PVMT	Pavement
PWW	Paved Water Way
R	Radius Of Curvature
R&D	Remove And Dispose
RCP	Reinforced Concrete Pipe
RD	Road
RDWY	Roadway
REM	Remove
RET	Retain
RET WALL	Retaining Wall
ROW	Right Of Way
RR	Railroad
R&R	Remove And Reset
RT	Right
SHLD	Shoulder
SMH	Sewer Manhole
ST	Street
STA	Station
SSD	Stopping Sight Distance
SW	Sidewalk
T	Tangent Distance Of Curve/Truck %
TAN	Tangent
TEMP	Temporary
TC	Top Of Curb
TOS	Top Of Slope
TSV	Tapping Sleeve and Valve
TYP	Typical
UP	Utility Pole
VAR	Varies
VERT	Vertical
VC	Vertical Curve
WCR	Wheel Chair Ramp
WIP	Wrought Iron Pipe
WM	Water Meter/Water Main
X-SECT	Cross Section

301 East Atlantic Boulevard  
Pompano Beach, Florida 33060-6643

120 North Federal Highway, Suite 208  
Lake Worth, Florida 33460

PH: (954) 788-3400

Florida Certificate of Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS

NO.	DESCRIPTION	DATE

PRELIMINARY PLAN  
NOT FOR CONSTRUCTION

THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

7-ELEVEN #41361  
1900 10TH AVENUE  
NORTH, LAKE WORTH,  
FLORIDA 33461

SCALE: AS NOTED  
1ST SUBMITTAL DATE: MARCH 2020  
DRAWN BY: MG  
DESIGNED BY: MG  
CHECKED BY: TD

This item has been digitally signed and sealed by Thomas F. Donahue, P.E. on the date adjacent to the seal.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Date: 2020.06.25 15:51:01-04'00'  
THOMAS F. DONAHUE, P.E.  
FLORIDA REG. NO. 60529  
(FOR THE FIRM)

SHEET TITLE

LEGEND



SHEET NUMBER

GI-001

PROJECT NO. 11007.02

Drawing name: \\11111007.02-7-11-1980 10th Ave. N. Lake Worth FL\Engineering\Cadd\11007.02-GI-001.dwg Layout Name: GI-001 Plotted on: May 11, 2020 - 8:58am

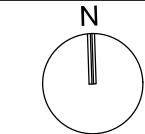
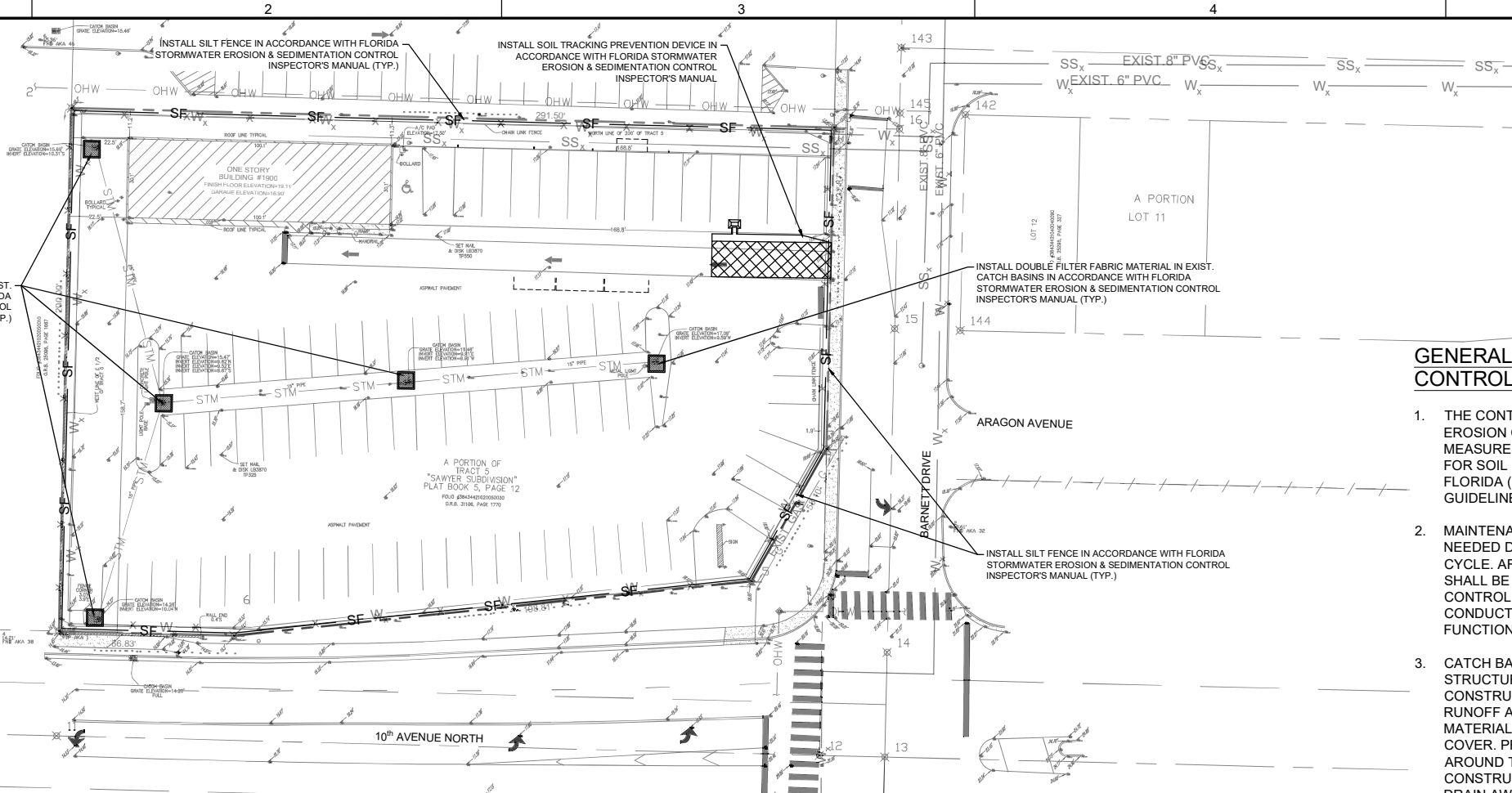
	1	2	3	4	5	
<b>CONSTRUCTION SPECIFICATIONS</b>						
<b>Section 20 - General Specifications Paving Grading Drainage and Earthwork</b>						
20. General						
D	20.1. It is the intent of these specifications to describe the minimum acceptable technical requirements for the materials and workmanship for construction of site improvements for this project. Such improvements may generally include, but not to be limited to, clearing, grading, paving, removal of existing pavement storm drainage, water lines and sanitary sewers.					
	20.2. It is the intent that the Florida Department of Transportation (FDOT) "Standard Specifications for Road and Bridge Construction: (current edition) together with "Supplemental Specifications to the Standard Specifications for Road and Bridge Construction" (current edition), and the FDOT Roadway and Traffic Design Standards (current edition) be used where applicable for the various work, and that where such wording therein refers to the State of Florida and its Department of Transportation and personnel, such wording is intended to be replaced with the wording which would provide proper terminology; thereby making such "Standard Specifications for Road and Bridge Construction" together with the "FDOT Roadway and Traffic Design Standards" as the "Standard Specifications" for this project. If within a particular section, another section, article or paragraph is referred to, it shall be part of the Standard Specifications also. The Contractor shall abide by all local and State laws, regulations and building codes which have jurisdiction in the area.					
	20.3. The Contractor shall furnish all labor, materials and equipment and perform all operations required to complete the construction of a paving and drainage system as shown on the plans, specified herein, or both. It is the intent to provide a complete and operating facility in accordance with these specifications and the construction drawings. The material and equipment shown or specified shall not be taken to exclude any other incidentals necessary to complete the work.					
C	20.4. All labor, materials, and methods of construction shall be in strict accordance with the plans and construction specifications and the minimum engineering and construction standards adopted by the unit of government which has jurisdiction and responsibility for the construction. Where conflicts or omissions exist, the jurisdictional government Engineering Department's standards shall govern. Substitutions and deviations from plans and specifications shall be permitted only when written approval has been issued by the Engineer.					
	20.5. Guarantee - all materials and equipment to be furnished and/or installed by the Contractor under this contract, shall be guaranteed for a period of (I) one year from the date of final acceptance thereof, against defective materials, design and workmanship. Upon receipt of notice from the owner of failure of any part of the guaranteed equipment or materials, during the guarantee period, the affected part or materials shall be replaced promptly with new parts or materials by the contractor, at no expense to the owner. In the event the Contractor fails to make necessary replacement or repairs within (7) seven days after notification by the owner, the owner may accomplish the work at the expense of the contractor.					
	21. Earthwork					
B	21.1. All areas within the project limits shall be cleared and grubbed prior to construction. This shall consist of the complete removal and disposal of all trees, brush, stumps, roots, grass, weeds, rubbish and all other obstructions resting on or protruding through the surface of the existing ground to a depth of '1'. All work shall be in accordance with section 110 of the Standard Specifications.					
	21.2. None of the existing limerock material from demolished pavement is to be incorporated in the new limerock base, unless noted in plans. The existing limerock material from demolished pavement may be incorporated into the stabilized subgrade / subbase, or stabilized shoulder.					
	21.3. Fill material shall be classified as A-I, A-3, or A-2-4 in accordance with AASHTO N-145 and shall be free from vegetation and organic material. Not more than 12% by weight of fill material shall pass the no. 200 sieve.					
A	21.4. All fill material in areas not to be paved shall be compacted to 95% of the maximum density as determined by AASHTO T-99.					
	21.5. All material of construction shall be subject to inspection and testing to establish conformance with the specifications and suitably for the uses intended. The Contractor shall notify the Engineer at least 24 hours prior to the time he will be ready for an inspection or test. The Contractor shall follow City and County inspection procedures. The Contractor shall not proceed with any phase of work dependent on an inspection or test of an earlier phase of work, prior to that test or inspection passing. The Contractor shall be responsible for providing certified material test results to the Engineer of record prior to the release of final certification by the Engineer. Test results must include, but may not be limited to, densities for subgrade and limerock, utilities, excavation, asphalt gradation reports, concrete cylinders, etc.					
	21.6. When encountered, muck shall be completely removed from the center line (10) ten feet beyond the edge of pavement each side. All such material shall be replaced by approved granular fill.					
	21.7. When encountered within drainage swales, hardpan shall be removed to full depth for a width of (5) five feet at the invert and replaced with granular materials.					
	21.8. All underground utilities and drainage installations shall be in place prior to subgrade compaction and pavement construction.					
	21.9. Ground adjacent to roadway/pavement having runoff shall be graded (2) two inches lower than the edge of pavement to allow for the placement of sod.					
	21.10. Site grading elevations shall be within 0.1' of the required elevation for non paved areas and all areas shall be graded to drain without ponding.					
	21.11. The Contractor shall perform all excavation, fill, embankment and grading to achieve the proposed plan grades including typical road sections, side slopes and canal sections. All work shall be in accordance with section 120 of the Standard Specifications. If fill material is required in excess of that generated by the excavation, the Contractor shall supply this material as required from off-site.					
	21.12. A 2" blanket of top soil shall be placed over all areas to be sodded or seeded and mulched within the project limits unless otherwise indicated					
	on the plans.					
	21.13. Sod shall be St. Augustine unless otherwise indicated on the plans, and shall be placed on the graded top soil and watered to insure satisfactory condition upon final acceptance of the project.					
	22. Drainage					
	22.1. Inlets - all inlets shall be the type designated on the plans, and shall be constructed in accordance with section 425 of the Standard Specifications. All inlets and pipe shall be protected during construction to prevent siltation in the drainage systems by way of temporary plugs and plywood or plastic covers over the inlets. The entire drainage system shall be cleaned of all debris prior to final acceptance.					
	22.2. Pipe specifications: the material type is shown on the drawings by one of the following designations:					
	<ul style="list-style-type: none"><li>RCP = reinforced concrete pipe, ASTM designation C—76, section 941 of the Standard Specifications.</li><li>CMP = corrugated metal (aluminum) pipe, ASTM designation M-196.</li><li>CMP (smooth lined) = corrugated metal aluminum pipe, (smooth lined) ASTM designation M-196.</li><li>SCP = slotted concrete pipe, sections 941 and 942, of the Standard Specifications.</li><li>PVC = polyvinyl chloride pipe.</li><li>PCMP = perforated cmp, section 945, of the Standard Specifications</li><li>Corrugated High Density Polyethylene Pipe (HDPE) (12 Inches to 60 Inches), shall meet the requirements of FDOT Specification section 948-2.3.</li></ul>					
	22.3. Pipe backfill - requirements for pipe backfill crossing roads or parking areas shall be as defined in the section 125-8, of the Standard Specifications. Pipeline backfill shall be placed in 6 inch lifts and compacted to 100% of the standard proctor (AASHTO T-99 specifications)					
	22.4. Location of drainage structures shall govern, and pipe length may have to be adjusted to accomplish construction as shown on these plans.					
	22.5. Distance and lengths shown on plans and profile drawings are referenced to the inner walls of structures.					
	22.6. Filter fabric shall be Mirafi, Typar or equal conforming to section 985 of the Standard Specifications.					
	23. Asphalt Paving					
	23.1. Where new asphalt meets existing asphalt, the existing asphalt shall be saw cut to provide a straight even line. Prior to removing curb or gutter, the adjacent asphalt shall be saw cut to provide a straight even line.					
	23.2. Internal asphalt paving constructed on existing sandy soils shall be constructed with a 12" subgrade, compacted to a minimum density of 100% maximum density as determined by AASHTO T-99. The compacted subgrade shall be constructed in the limits shown on the plans. All subgrade shall have an LBR of 40 unless otherwise noted.					
	23.3. Asphaltic concrete surface course shall be constructed to the limits shown on the plans. The surface course shall consist of the thickness and type asphaltic concrete as specified in the plans. All asphaltic concrete shall be in accordance with sections 320, 327, 330, 334, 336, 337, 337, 338, 339 and 341 of the Standard Specifications.					
	23.4. Limerock base shall be prepared, compacted and graded and shall be in accordance with section 200 of the Standard Specifications. All limerock shall be compacted to 98% per AASHTO T-180 and have not less than 70% of carbonates of calcium and magnesium unless otherwise designated. The Engineer shall inspect the completed base course and the Contractor shall correct any deficiencies and clean the base course prior to the placement of the prime coat. A tack coat will also be required if the Engineer finds that the primed base has become excessively dirty or the prime coat has cured to the extent of losing bounding effect prior to placement of the asphaltic concrete surface course. The prime and tack coats shall be in accordance with section 300 of the Standard Specifications.					
	23.5. Limerock base material shall be placed in maximum 6" lifts. Bases greater than 6" shall be placed in two equal lifts. If, through field tests, the Contractor can demonstrate that the compaction equipment can achieve density for the full depth of a thicker lift, and if approved by the engineer, the base may be constructed in successive courses of not more than 8 inches (200 mm) compacted thickness.					
	23.6. Asphalt edges that are not curbed shall be saw cut to provide a straight even line to the dimensions shown on plans.					
	24. Concrete Construction					
	24.1. Concrete sidewalk shall be in accordance with section 522 of the Standard Specifications and in accordance with F.D.O.T. Roadway and Traffic Design Standards, index no. 310. Concrete sidewalk shall be 4" thick, unless otherwise not and constructed on compacted subgrade, with 1/2" expansion joints placed at a maximum of 75', unless otherwise noted on plans. Crack control joints shall be 5' on center. All concrete sidewalks that cross driveways shall be 6" thick, unless otherwise noted on plans.					
	24.2. Sidewalk Curb ramps shall be in accordance with F.D.O.T. Roadway and Traffic Design Standards, index no. 304.					
	24.3. Concrete curb shall be constructed to the limits shown on the plans. The concrete shall have a minimum compressive strength of 2500 PSI at 28 days and shall be in accordance with section 520 of the Standard Specifications. Concrete curbing shall be in accordance with F.D.O.T. Roadway and Traffic Design Standards, index no. 300.					
	24.4.					
	<b>Section 30 - Water distribution and sanitary sewer force mains.</b>					
	30. Materials:					
	Note: If materials list here on are in conflict with utility owner, material owner requirements shall govern.					
	30.1. All water main pipe, including fittings, shall be color coded or marked using blue as a predominant color to differentiate drinking water from reclaimed or other water. Underground plastic pipe shall be solid-wall blue pipe, shall have a co-extruded blue external skin, or shall be white or black pipe with blue stripes incorporated into, or applied to, the pipe wall; and underground metal or concrete pipe shall have blue stripes applied to the pipe wall. Pipe striped during manufacturing of the pipe shall have continuous stripes that run parallel to the axis of the pipe, that are located at no greater than 90-degree intervals around the pipe,					
	and that will remain intact during and after installation of the pipe. If tape or paint is used to stripe pipe during installation of the pipe, the tape or paint shall be applied in a continuous line that runs parallel to the axis of the pipe and that is located along the top of the pipe; for pipes with an internal diameter of 24 inches or greater, tape or paint shall be applied in continuous lines along each side of the pipe as well as along the top of the pipe.					
	30.2. Ductile iron pipe for water distribution mains shall conform to ANSI/AWWA standard C151/A21.51 latest revision, "ductile iron pipe centrifugally cast in metal molds or sand-lined molds" with a minimum wall thickness of class 51 (pressure class 350) unless otherwise noted in the plans. Ductile iron pipe shall be cement lined and seal coated in accordance with ANSI/AWWA standard C104/A21.4 latest revision. The pipe shall be adapted for use with class 250 fittings for all sizes. Water main shall be colored blue in accordance with Florida State Statutes.					
	30.3. Ductile iron pipe for sewage force mains shall conform to ANSI/AWWA standard C151/A21.51 latest revision, "ductile iron pipe centrifugally cast in metal molds or sand-lined molds" with a minimum wall thickness of class 51 (pressure class 350) unless otherwise noted in the plans. Ductile iron pipe shall be interior ceramic epoxy lined and exterior coated with the manufacturer's coating system (Protecto 401 ceramic epoxy with a minimum dry film thickness of 40 mils and an outside coating of either coal tar epoxy or asphalt). Cement mortared linings are not appropriate for this application.					
	30.4. All pipe & fittings on the lift station sites shall be ductile iron conforming to the same specifications as above for sewage force mains except that flanged ductile iron pipe & fittings shall be used inside valve pits and wet wells. Flanged pipe and fittings shall conform to ANSI/AWWA C115/a21.15 latest revision and ANSI/AWWA C110/A21.10 latest revision. The following thickness classes shall be adhered to: 4" - 12" - class 52, 14" & larger - class 51.					
	30.5. PVC pressure pipe for sizes 4" through 12" and shall conform to ANSI/AWWA standard C900 latest revision. PVC pressure pipe shall be made from class 12454-a or class 12454-b virgin material and conform with the outside diameter of cast iron pipe with a minimum wall thickness of dr series 18. Ultra violet degradation or sun bleached pipe will be cause for rejection. Water main shall be colored blue in accordance with Florida State Statutes. Force main shall be impregnated with green pigment. Reuse main shall be impregnated with purple pigment.					
	30.6. Ductile iron fittings for water distribution mains shall conform to ANSI/AWWA standard C110/A21.10 latest revision. Fittings 4" and larger shall be cement lined and seal coated in accordance with ANSI/AWWA standard C104/A21.4 latest revision. Water Main fitting shall be colored blue in accordance with Florida state statutes.					
	30.7. Cast iron and ductile iron fittings for sewage force mains shall conform to ANSI/AWWA standard C110/A21.10 latest revision. Fittings 4" and larger shall be coated in accordance with the requirements of ductile iron pipe for sewage force mains.					
	30.8. Joints for bell and spigot ductile iron pipe and fittings shall conform to ANSI/AWWA standard C111/A21.11 latest revision. Mechanical joint or push-on joint to be rubber gasket compression-type. Special fittings and joints shall be considered for specific installation subject to the approval of the engineer.					
	30.9. Joints for PVC pressure pipe shall be bell and spigot push-on rubber gasket type only. No solvent weld or threaded joints will be permitted.					
	30.10. Water distribution system restraint: all fittings and specific pipe joints shall be restrained as outlined below:					
	<ul style="list-style-type: none"><li>Joint restraint</li><li>Push-on P.V.C. EBAA iron series 1600</li><li>Push-on DIP EBAA iron series 1700</li><li>tr-flex by U.S. Pipe or</li><li>flex ring by American</li><li>Fittings w/ DIP EBAA iron series 1100 megalug</li><li>Fittings w/ P.V.C. EBAA iron series 2000 megalug</li><li>Length of restrained pipe shall be as indicated on restrained joint pipe detail. (see water &amp; sewer detail sheet)</li></ul>					
	30.11. Sewage force main system restraint: all fittings and specific pipe joints shall be restrained as outlined below					
	<ul style="list-style-type: none"><li>Joint restraint</li><li>Push-on P.V.C. EBAA iron series 1600</li><li>Push-on DIP EBAA iron series 1700</li><li>tr-flex by U.S. Pipe or</li><li>flex ring by American</li><li>Fittings w/ DIP EBAA iron series 1100 megalug</li><li>Fittings w/ P.V.C. EBAA iron series 2000 megalug</li><li>Length of restrained pipe shall be as indicated on restrained joint pipe detail. (see water &amp; sewer detail sheet)</li></ul>					
	30.12. Water distribution valves shall be gate valves, iron body, fully resilient seat bronzed mounted non-rising stem, rated at 200 PSI and conforming to ANSI/AWWA C509 latest revision, and shall have mechanical joints.					
	30.12.1. Gate valves 4" and larger shall be Mueller A-2360, American 250 line or Clow F-6100, conforming to ANSI/AWWA C500 latest revision or approved equal.					
	30.12.2. Tapping valves shall be Mueller T-2360 or approved equal.					
	30.12.3. Gate valves 3" or less shall be Nibco T-133 or T-136 with malleable hand wheels or approved equal.					
	30.13. Tapping sleeves shall be Mueller H615, Clow F- 2505 or approved equal.					
	30.14. Valve boxes shall be U.S. foundry 7500 or approved equal painted blue with the designation "water".					
	30.15. Retainer glands for DIP shall conform to ANSI/AWWA C111/A21.11 latest revision. All glands shall be manufactured from ductile iron as listed by underwriters laboratories for 250 psi minimum water pressure rating. Clow corporation model f-1058, standard fire protection equipment company or approved equal.					
	30.16. Dresser couplings shall be regular black couplings with plain gaskets for galvanized steel pipe. They shall be dresser style 90. No substitutions allowed.					
	30.17. Fire hydrants shall be Mueller centurion traffic type A-423 with 5 1/4" internal valve opening or approved equal. Pumper nozzle to be 18" from					
	finished grade. All hydrants to be installed with control valve. Retainer glands are preferred for restraining. Fire hydrant shall comply with ANSI/AWWA C502 latest revision. Fire hydrants shall be painted in accordance with NFPA #291 or per agency standards having jurisdiction. Blue raised reflective pavement marker (rpm) shall be used to identify fire hydrant location. The placement of the rpm to be at the centerline of the outside roadway lane.					
	30.18. Sewage force main valves shall be plug valves which shall be of the non-lubricated, eccentric type with resilient faced plugs, port areas for valves 20 inches and smaller shall be at least 80% of full pipe area. Port area of valves 24 inches and larger shall be at least 70% of full pipe area. The body shall be of semi-steel (ASTM A-126 C1.b) and shall have bolted bonnet which gives access to the internals of the valve. Seats shall be welded overlay of high nickel content or a stainless steel plate locked in the body cavity. If a plate is used, it shall be replaceable through the bonnet access. Bearings shall be permanently lubricated of stainless steel, bronze or Teflon lined, fiber glass backed Duralon. Bearing areas shall be isolated from the flow with grit seals. Valves shall have packing bonnets where the shaft protrudes from the valve and the packing shall be self-adjusting chevron type which can be replaced without removing the bonnet. All nuts, bolts, springs and washers shall be stainless steel.					
	30.19. Plug valves shall be designed for a working pressure of 150 PSI the valve and actuator shall be capable of satisfactory operation in either direction of flow against pressure drops up to and including 100 PSI (for plug valves over 12" in diameter). Valves shall be bubble tight in both directions at 100 psi differential. Plug valves over 12" in diameter shall have worm gear operators. The operating mechanism shall be for buried service with a 2 inch square operating nut.					
	30.20. Plug valves are to be installed with the seat pointed towards the upstream flow, when specified.					
	30.21. Swing check valves for water, sewage, sludge, and general service shall be of the outside lever and spring or weight type, in accordance with ANSI/AWWA C 508 latest revision swing-check valves for waterworks service, 2" through 24" NPS, unless otherwise indicated, with full-opening passages, designed for a water-working pressure of 150 PSI they shall have a flanged cover piece to provide access to the disc.					
	30.22. High density polyethylene pipe (HDPE) for water distribution mains shall conform to AWWA C906 standard, latest revision. Pipes shall be color-coded blue, minimum 40 feet standard lengths.					
	31. Service connection:					
	31.1. Service saddles shall be fusion bonded plastic coated ductile iron (ASTM A536) with stainless steel straps, saddles shall be double strap type.					
	31.2. Service lines shall be polyethylene (PE 3408), 200 p.s.i rated, DR9. Pipe joints shall be of the compression type totally confined grip seal and coupling nut.					
	31.3. Corporation stops shall be manufactured of brass alloy in accordance with ASTM B-62 with threaded ends, as manufactured by Ford ballcorp, catalog # 1100 or approved equal.					
	31.4. Curb stops shall be Ford v63-44w-x" latest revision or approved equal.					
	31.5. Meter stops shall be 90 degree lockwing type and shall be of bronze construction in accordance FV63-777W" latest revision with ASTM B-62. Meter stops shall be closed bottom design and resilient "O" ring sealed against external leakage at the top. Stops shall be equipped with a meter coupling nut on the outlet sides, as manufactured by Ford or approved equal.					
	32. Installation:					
	32.1. Where restrained pipe joints are required due to fittings, appurtenances, etc., pipe material shall be DIP					
	32.2. All PVC pipe shall be installed in accordance with the uni-bell plastic pipe association "guide for installation of PVC pressure pipe for municipal water distribution system," and ANSI/AWWA C605-xx latest revision standard.					
	32.3. All DIP shall be installed in accordance with ANSI/ C600-xx latest revision.					
	32.4. All water mains shall typically be laid with a minimum 36" cover for PVC and 30" cover for DIP.					
	32.5. Detector tape shall be laid 18 inches above all water and sewer lines. A 14 gauge multi-strand wire shall be attached to all nonconductive water mains to facilitate location. An extra 4 feet of wire shall be provided at all valves, blow-offs, hydrants, etc. The wire shall be tested for continuity at the pressure test.					
	32.6. Pipe deflection shall not exceed 50% of the maximum deflection recommended by the manufacturer.					
	32.7. A continuous and uniform bedding shall be provided. Backfill material shall be placed in accordance with the plans and specifications.					
	32.8. All valves shall be installed with adjustable cast iron valve boxes with the word "water" or "sewer", as applicable, cast in the cover. U.S. foundry or approved equal.					
	33. Testing:					
	33.1. Before any physical connections and acceptance for operation to the existing water mains are made, the complete water system shall be flushed, pressure tested and disinfected. Copies of passing bacteriological results and pressure test results must be submitted to, and approved by, the engineer, utility owner, and health department. Hydrostatic testing of new mains shall be performed at a minimum starting pressure of 150 PSI for two hours in accordance with ANSI/AWWA C600-05 (hydrostatic test). The pressure test shall not vary more than 5 PSI during the test. The allowable leakage during the pressure test shall be less than the number of gallons per hour as determined by the formula:					
	L = (sd(p)1/2)/148,000.					
	In which L equals the allowable leakage in gallons per hour, S equals length of pipe (linear feet), d equals nominal diameter of pipe (inches) and p equals the average test pressure (pounds per square inch gauge). Maximum length of test pipe section should be 2000 feet. The water system shall be disinfected in accordance with the ANSI/AWWA C651-05 (water main bacteriological tests).					
	33.2. The pressure test shall be witnessed by a representative of the utility owner and the engineer of record.					
	33.3. For water distribution pipes, sampling points shall be provided by the contractor at the locations shown on the plans.					
	33.4. For water distribution pipes, disinfection and bacteriological testing shall be in accordance with ANSI/AWWA C651-14 (water main bacteriological tests). Maximum distance between sampling points shall be as follows:					
	<ul style="list-style-type: none"><li>Transmission mains: every 1200 feet</li><li>Branch mains: every 1000 feet</li><li>Isolated mains &lt; 1000 feet: 2 sample points</li><li>Isolated mains &gt; 1000 feet: 3 sample points</li></ul>					

		
301 East Atlantic Boulevard Pompano Beach, Florida 33060-6643		
120 North Federal Highway, Suite 208 Lake Worth, Florida 33460		
PH: (954) 788-3400		
Florida Certificate of Authorization # - 7928		
BID / CONTRACT NO. :		
REVISIONS		
NO.	DESCRIPTION	DATE
PRELIMINARY PLAN NOT FOR CONSTRUCTION		
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7-ELEVEN #41361 1900 10TH AVENUE NORTH, LAKE WORTH, FLORIDA 33461		
SCALE: AS NOTED		
1ST SUBMITTAL DATE: MARCH 2020		
DRAWN BY: MG		
DESIGNED BY: MG		
CHECKED BY: TD		
This item has been digitally signed and sealed by Thomas F. Donahue, P.E. on the date adjacent to the seal.		
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.		
Date: 2020.06.25 15:51:22-04'00' THOMAS F. DONAHUE, P.E. FLORIDA REG. NO. 60529 (FOR THE FIRM)		
SHEET TITLE		
CONSTRUCTION SPECIFICATIONS		
SHEET NUMBER		
GI-002		
PROJECT NO. 11007.02		



## EXISTING EROSION CONTROL

INSTALL DOUBLE FILTER FABRIC MATERIAL IN EXIST. CATCH BASINS IN ACCORDANCE WITH FLORIDA STORMWATER EROSION & SEDIMENTATION CONTROL INSPECTOR'S MANUAL (TYP.)



GRAPHIC SCALE

0 20 40

SCALE: 1"=20'

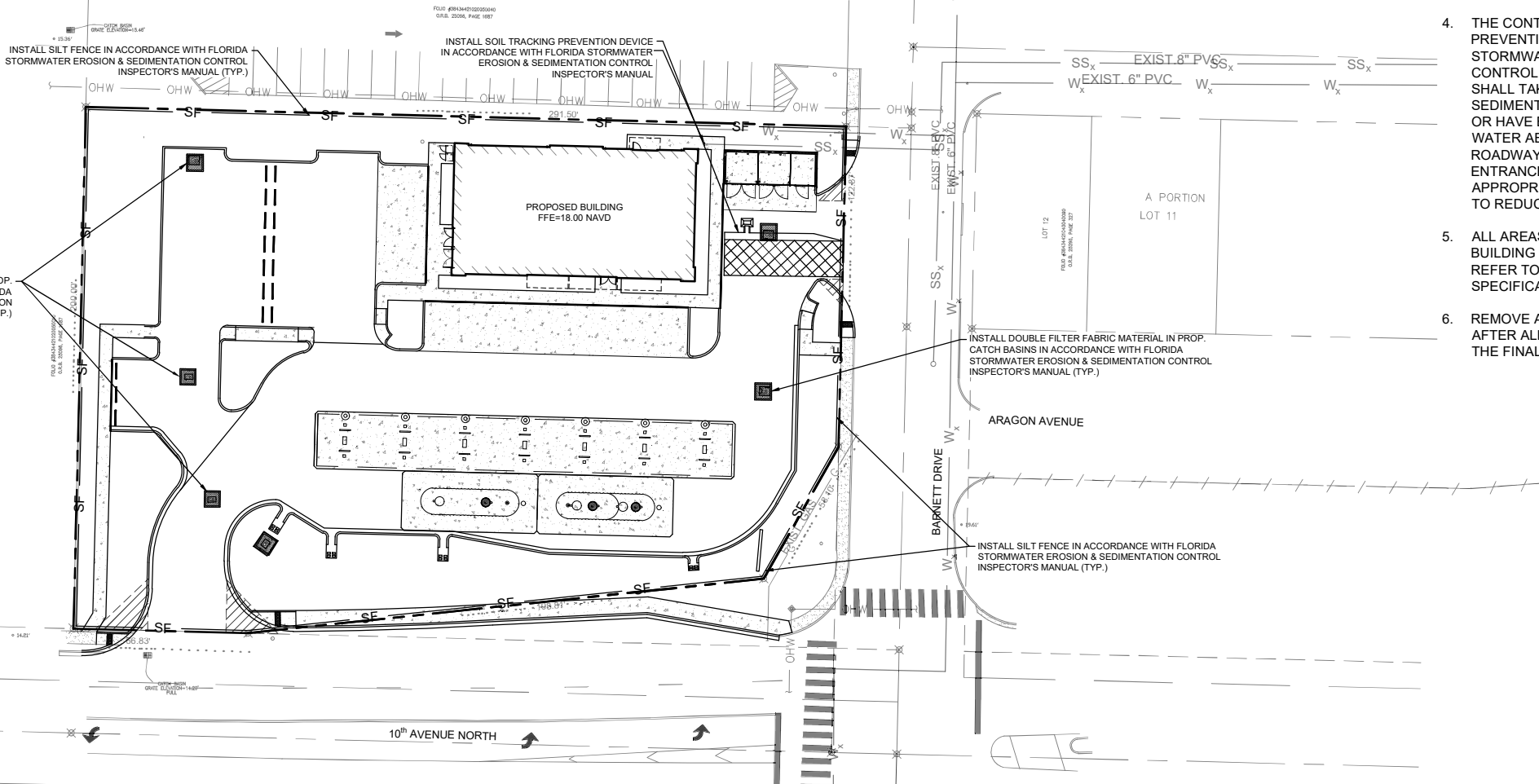
NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.

## GENERAL NOTES - EROSION CONTROL:

1. THE CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL AND SEDIMENTATION CONTROL MEASURES IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN FLORIDA (HEREAFTER REFERRED TO AS FL GUIDELINES).
2. MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. AFTER EACH RAINFALL, A VISUAL INSPECTION SHALL BE MADE OF ALL INSTALLED EROSION CONTROL MEASURES AND REPAIRS SHALL BE CONDUCTED TO ENSURE THEIR CONTINUING FUNCTION AS DESIGNED.
3. CATCH BASIN, INLETS, STORM SEWER MANHOLES STRUCTURES, ETC. SHALL BE PROTECTED DURING CONSTRUCTION OPERATIONS FROM SEDIMENT RUNOFF AND DEBRIS BY PLACING A FILTER FABRIC MATERIAL IN THE FRAME AND GRATE/MANHOLE COVER. PREVENTIVE METHODS MUST BE UTILIZED AROUND THESE STRUCTURES (DURING CONSTRUCTION OPERATIONS) BY GRADING TO DRAIN AWAY FROM STRUCTURES AND ANY OTHER METHODS APPROVED BY THE AGENCY HAVING JURISDICTION OR DESIGN ENGINEER OF RECORD.
4. THE CONTRACTOR SHALL INSTALL A SOIL TRACKING PREVENTION DEVICE AS PER THE FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL. THE CONTRACTOR SHALL TAKE MEASURES TO INSURE THE CLEANUP OF SEDIMENTS THAT HAVE BEEN TRACKED BY VEHICLES OR HAVE BEEN TRANSPORTED BY WIND OR STORM WATER ABOUT THE SITE OR ONTO NEARBY ROADWAYS. STABILIZED CONSTRUCTION ENTRANCES AND CONSTRUCTION ROADS, IF APPROPRIATE, SHALL BE IMPLEMENTED IN ORDER TO REDUCE OFFSITE TRACKING.
5. ALL AREAS OF DISTURBANCE THAT ARE NOT WITHIN BUILDING OR PAVEMENT LIMITS SHALL BE SODDED, REFER TO LANDSCAPE PLANS FOR SOD SPECIFICATION AND REQUIREMENTS.
6. REMOVE ALL EROSION CONTROL IMPROVEMENTS AFTER ALL DISTURBED AREAS ARE STABILIZED WITH THE FINAL GROUND COVER.

## PROPOSED EROSION CONTROL

INSTALL DOUBLE FILTER FABRIC MATERIAL IN PROP. CATCH BASINS IN ACCORDANCE WITH FLORIDA STORMWATER EROSION & SEDIMENTATION CONTROL INSPECTOR'S MANUAL (TYP.)



301 East Atlantic Boulevard  
Pompano Beach, Florida 33060-6643

120 North Federal Highway, Suite 208  
Lake Worth, Florida 33460

PH: (954) 788-3400

Florida Certificate of  
Authorization # - 7928

BID / CONTRACT NO. :

### REVISIONS

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RESPONSIBILITY FOR THE USE OF THESE  
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FROM ALL AGENCIES HAVING JURISDICTION  
OVER THE PROJECT WILL FALL SOLELY  
UPON THE USER.



**7-ELEVEN #41361  
1900 10TH AVENUE  
NORTH, LAKE WORTH,  
FLORIDA 33461**

SCALE: AS NOTED

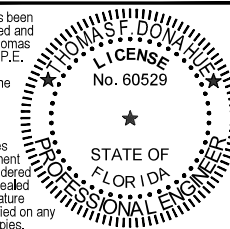
1ST SUBMITTAL DATE: MARCH 2020

DRAWN BY: MG

DESIGNED BY: MG

CHECKED BY: TD

This item has been  
digitally signed and  
sealed by Thomas  
F. Donahue, P.E.  
on the date  
adjacent to the  
seal.



Printed copies  
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and the signature  
must be verified on any  
electronic copies.  
Date: 2020.06.25 15:52:07-04'00'  
THOMAS F. DONAHUE, P.E.  
FLORIDA REG. NO. 60529  
(FOR THE FIRM)

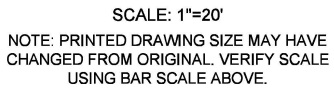
SHEET TITLE

**EROSION AND  
SEDIMENT CONTROL  
PLAN**

SHEET NUMBER

CG-101

PROJECT NO. 11007.02



EVERYTHING WITHIN LIMITS OF CONSTRUCTION TO BE DEMOLISHED UNLESS SPECIFIED OTHERWISE.

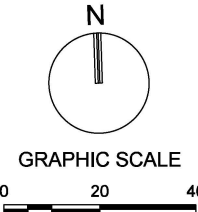
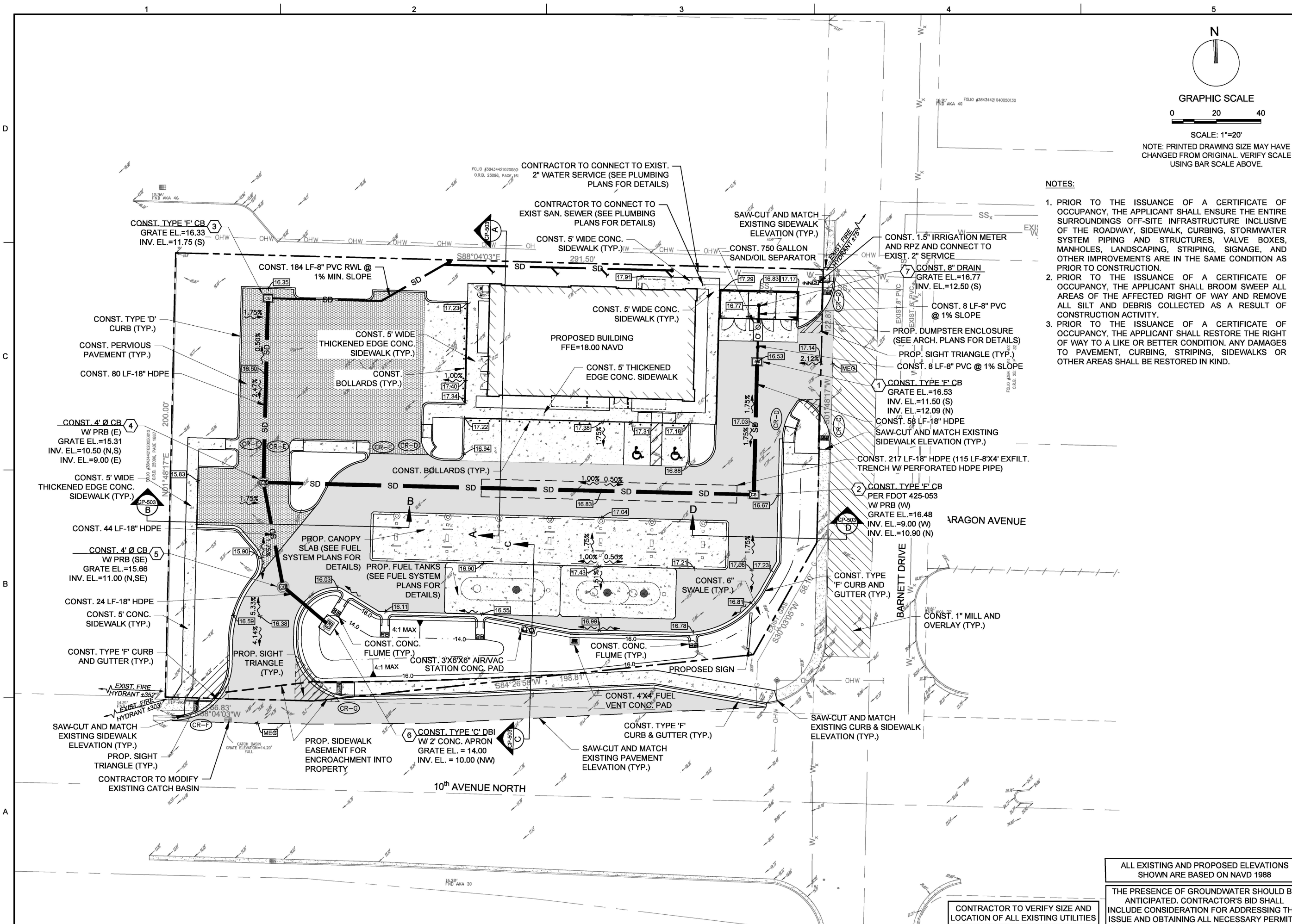
2. BUILDING DEMOLITION IS SUBJECT TO FEDERAL, STATE AND COUNTY RULES RELATING TO THE DEMOLITION AND THE HANDLING OF ASBESTOS CONTAINING MATERIAL. THE BROWARD COUNTY STATEMENT OF RESPONSIBILITIES REGARDING ASBESTOS MUST BE FILLED OUT AND COMPLIED WITH PRIOR TO ANY BUILDING DEMOLITION.

THE CONTRACTOR MUST OBTAIN / PRODUCE THE FOLLOWING PRIOR TO ANY BUILDING DEMOLITION:

- PEST CONTROL INSPECTION REPORT INDICATING THAT PROPERTY IS FREE OF RODENTS
- GAS DISCONNECT LETTER FROM GAS SUPPLIER
- FPL DISCONNECT LETTER FROM FP&L
- WATER METER REMOVAL LETTER FROM UTILITY PROVIDER
- FIRE SERVICE WATER METER REMOVAL LETTER FROM UTILITY PROVIDER
- SEWER CAP OR SEPTIC TANK ABANDONMENT PERMIT REQUIRED WITH A PASSED BUILDING DEPARTMENT INSPECTION PERMIT
- COPY OF EPA LICENSE AND/OR LETTER FROM LICENSED CONTRACTOR RECOVERING REFRIGERANT FROM A/C UNITS
- NOTORIZED LETTER FROM DEMOLITION CONTRACTOR STATING FROM WHERE WATER WILL BE OBTAINED FOR DUST CONTROL
- DEMOLITION CONSTRUCTION DEBRIS MITIGATION PLAN SIGNED AND DATED BY OWNER AND CONTRACTOR
- BUILDING DEMOLITION DAILY WORK SCHEDULE - LIST OF ALL EQUIPMENT USED FOR DEMOLITION OF BUILDINGS MORE THAN ONE STORY
- NOTICE OF COMMENCEMENT
- ALL PORTIONS OF A PARCEL OF LAND SHALL BE PLANTED WITH GROUND COVER OR LAWN OR UTILIZE OTHER APPROVED TEMPORARY EROSION CONTROL MEASURES, IN ORDER TO PREVENT DUST OR SOIL EROSION.
- TREE PROTECTION PLAN:


- FOR EXISTING TREES ON SITE, INDICATE THE LOCATION OF TREES/PALMS ON THE SURVEY AND PROVIDE A CORRESPONDING LIST OF TREE NUMBER, BOTANICAL NAME, COMMON NAME, OVERALL HEIGHT, TRUNK DBH FOR TREES, CLEAR TRUNK FOR PALMS, CONDITION %, AND INDICATE THAT ALL EXISTING TREES/PALMS ARE TO BE PROTECTED AND WILL REMAIN ON SITE.
- PROVIDE TREE PROTECTION BARRICADE DETAIL FOR EXISTING TREES ON SITE TO REMAIN. THIS BARRICADE MUST BE INSTALLED PRIOR TO THE BEGINNING OF PROPOSED WORK.
- FOR TREES THAT MUST BE REMOVED TO ACCESS DEMO AREAS, OBTAIN PERMIT FOR TREE REMOVAL.





NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.

- NOTES:
1. PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE APPLICANT SHALL ENSURE THE ENTIRE SURROUNDINGS OFF-SITE INFRASTRUCTURE INCLUSIVE OF THE ROADWAY, SIDEWALK, CURBING, STORMWATER SYSTEM PIPING AND STRUCTURES, VALVE BOXES, MANHOLES, LANDSCAPING, STRIPING, SIGNAGE, AND OTHER IMPROVEMENTS ARE IN THE SAME CONDITION AS PRIOR TO CONSTRUCTION.
  2. PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE APPLICANT SHALL BROOM SWEEP ALL AREAS OF THE AFFECTED RIGHT OF WAY AND REMOVE ALL SILT AND DEBRIS COLLECTED AS A RESULT OF CONSTRUCTION ACTIVITY.
  3. PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE APPLICANT SHALL RESTORE THE RIGHT OF WAY TO A LIKE OR BETTER CONDITION. ANY DAMAGES TO PAVEMENT, CURBING, STRIPING, SIDEWALKS OR OTHER AREAS SHALL BE RESTORED IN KIND.



**KEITH**

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Pompano Beach, Florida 33060-6643

120 North Federal Highway, Suite 208  
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Florida Certificate of Authorization # - 7928

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**PRELIMINARY PLAN  
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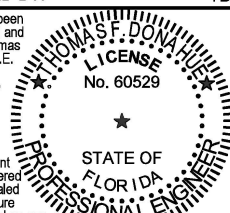
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Date: 2020.06.25 15:52:52-04'00'  
THOMAS F. DONAHUE, P.E.  
FLORIDA REG. NO. 60529  
(FOR THE FIRM)

SHEET TITLE  
**PAVING, GRADING,  
DRAINAGE AND  
UTILITY PLAN**

SHEET NUMBER  
**CP-101**

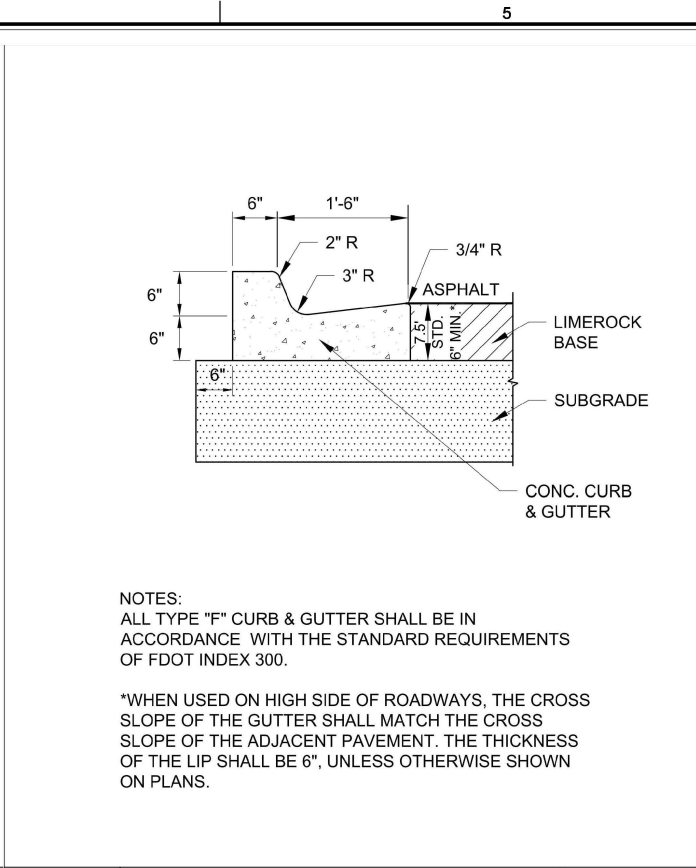
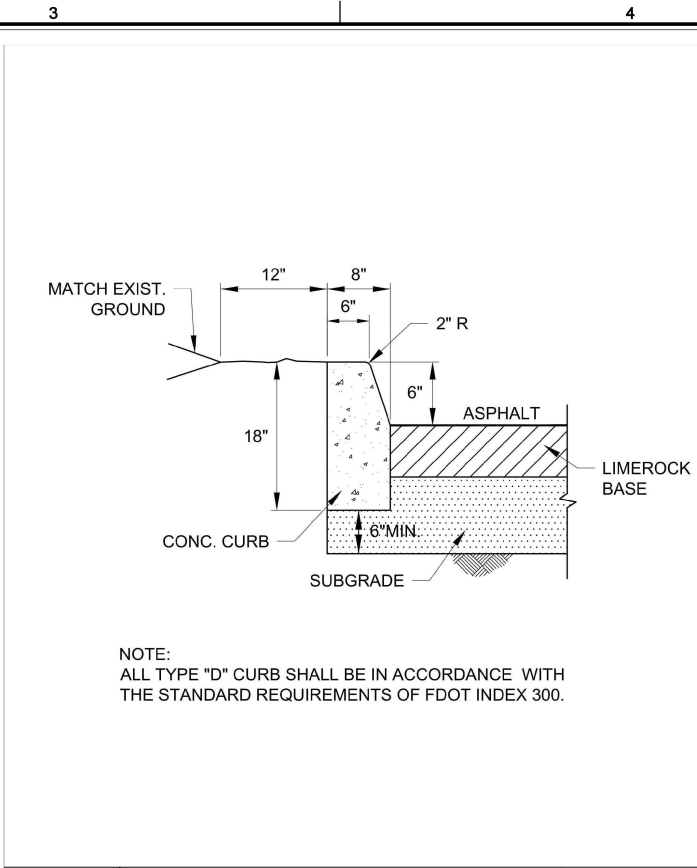
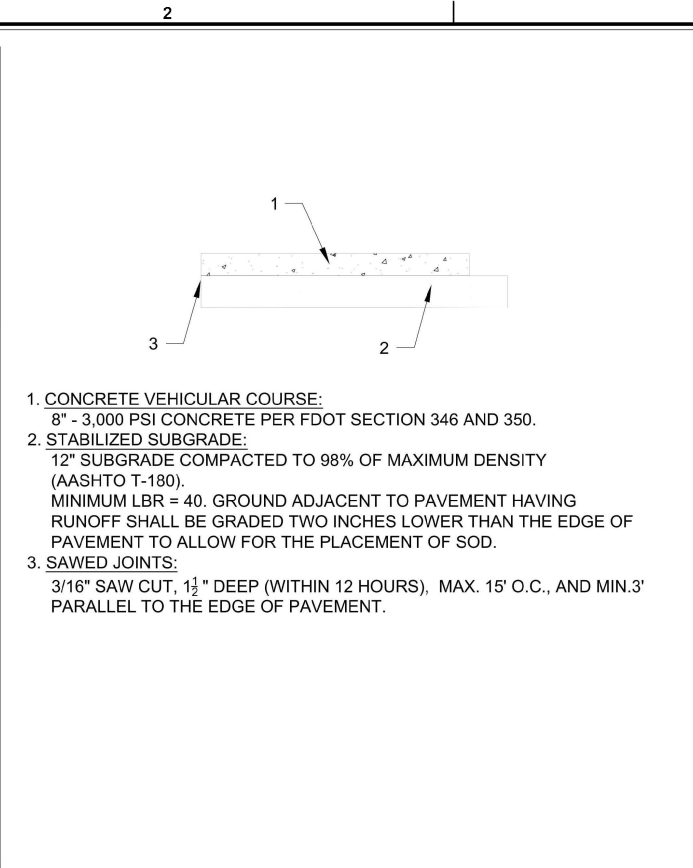
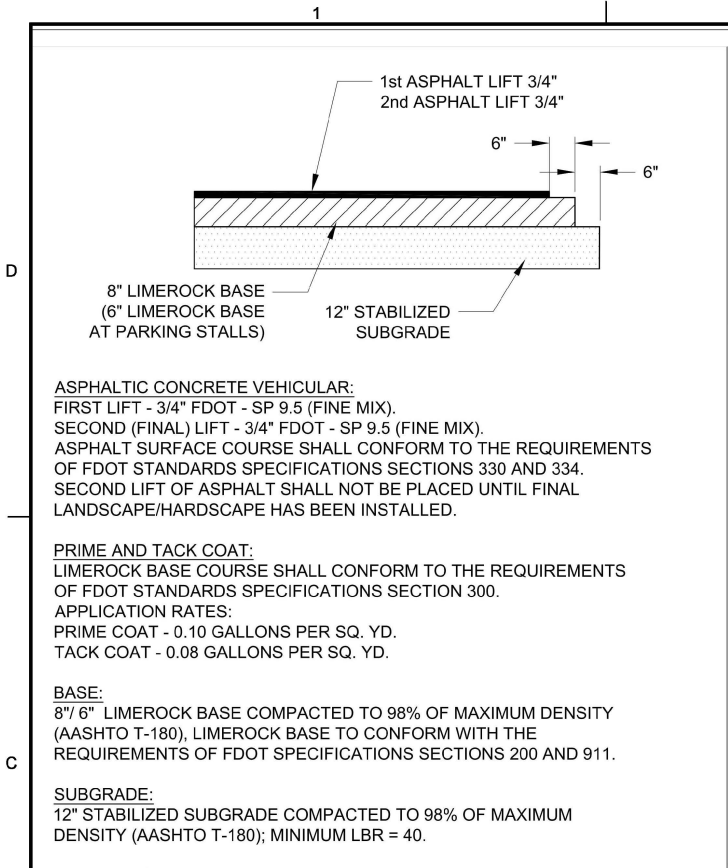
PROJECT NO. **11007.02**

ALL EXISTING AND PROPOSED ELEVATIONS SHOWN ARE BASED ON NAVD 1988

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

CONTRACTOR TO VERIFY SIZE AND LOCATION OF ALL EXISTING UTILITIES

Layout Name: 11007.02-CP-101-Paving Grading Drainage and Utility Plan Plotted on: Jun 25, 2020 - 12:46pm  
Drawing Name: 11007.02-CP-101-Paving Grading Drainage and Utility Plan



1

ASPHALT PAVEMENT DETAIL

SCALE: NOT TO SCALE

3

CONCRETE PAVEMENT DETAIL

SCALE: NOT TO SCALE

4

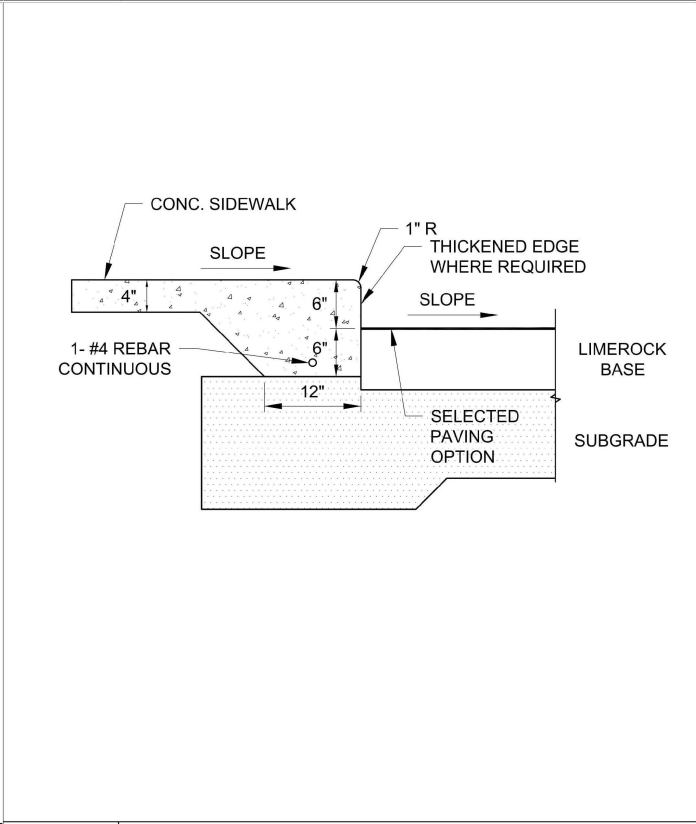
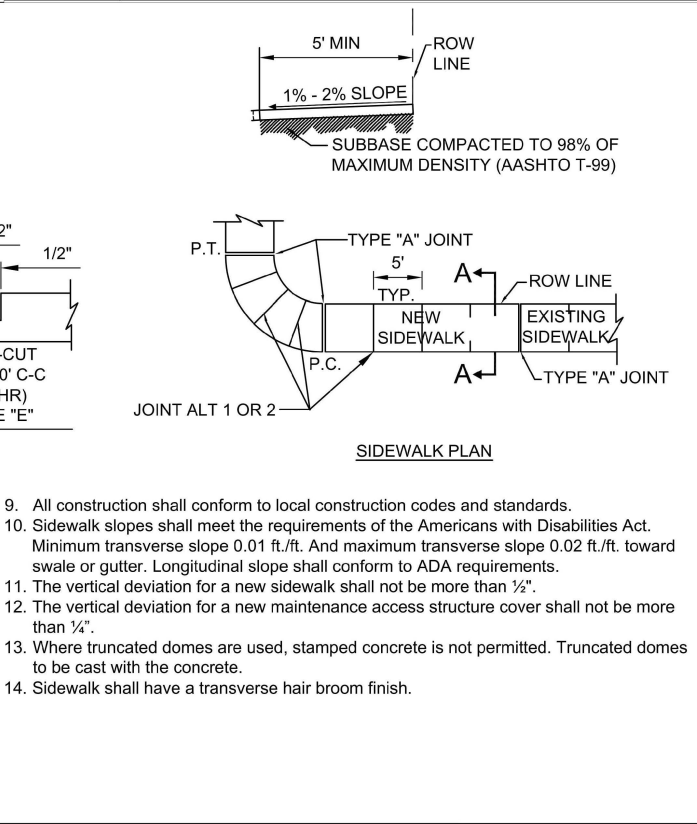
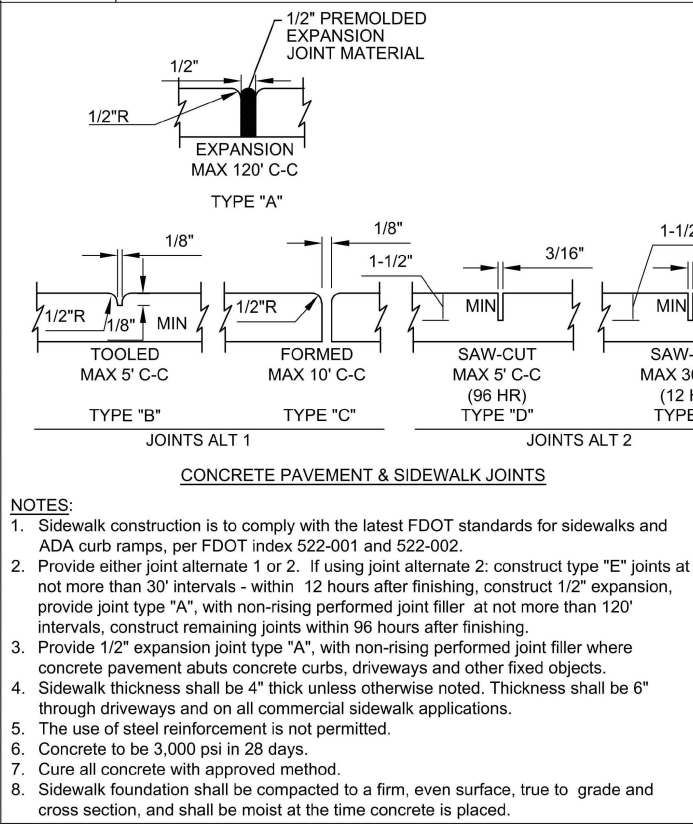
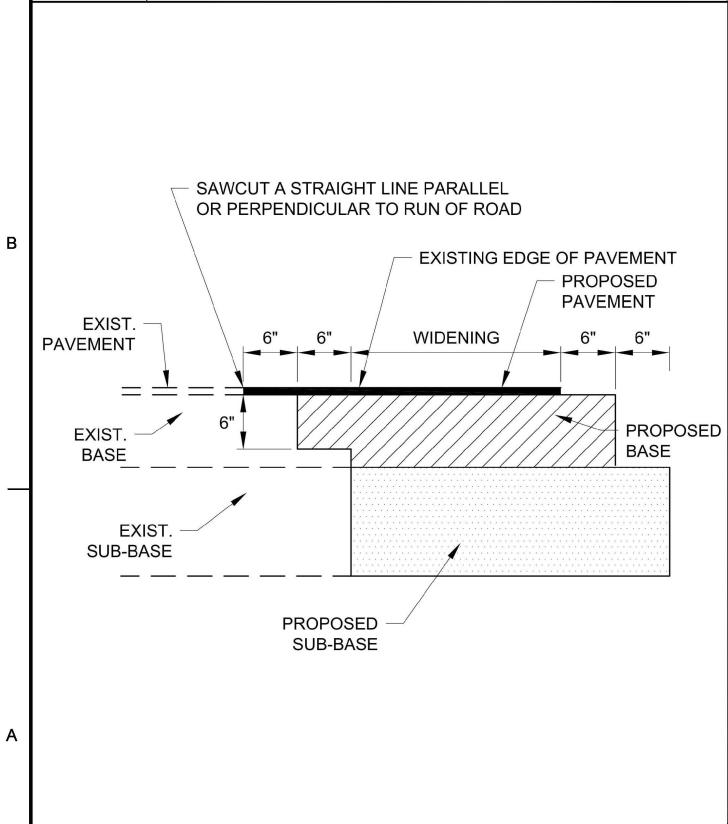
TYPE 'D' CURB DETAIL  
PER FDOT INDEX No. 300

SCALE: NOT TO SCALE

5

TYPE 'F' CURB & GUTTER DETAIL  
PER FDOT INDEX No. 300

SCALE: NOT TO SCALE



6

SAWCUT / WIDENING DETAIL

SCALE: NOT TO SCALE

VP SCALE: 1"=20' / 0.05:1

7

SIDEWALK DETAIL

SCALE: NOT TO SCALE

18

THICKENED EDGE SIDEWALK

SCALE: NOT TO SCALE

**KEITH**

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UPON THE USER.

**7-ELEVEN**

7-ELEVEN #41361  
1900 10TH AVENUE  
NORTH, LAKE WORTH,  
FLORIDA 33461

SCALE: AS NOTED

1ST SUBMITTAL DATE: MARCH 2020

DRAWN BY: MG

DESIGNED BY: MG

CHECKED BY: TD

This item has been  
digitally signed and  
sealed by Thomas  
F. Donahue, P.E.  
on the date  
adjacent to the  
seal.

THOMAS F. DONAHUE, P.E.  
LICENSE  
No. 60529

STATE OF  
FLORIDA  
PROFESSIONAL ENGINEER

Date: 2020.06.25 15:53:18 04/00'

THOMAS F. DONAHUE, P.E.  
FLORIDA REG. NO. 60529  
(FOR THE FIRM)

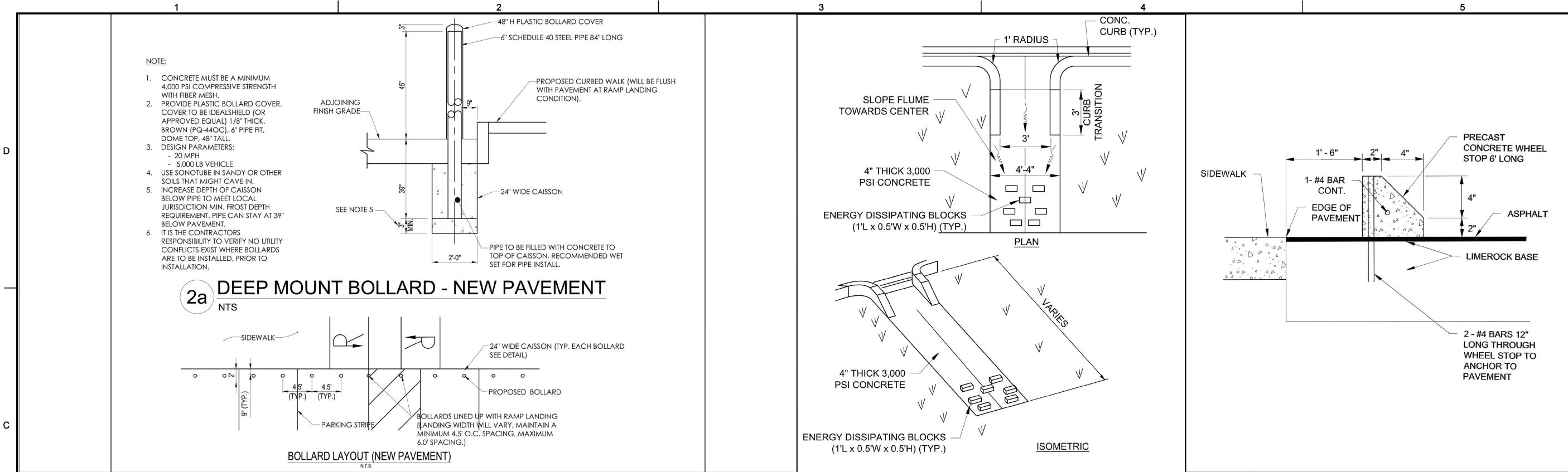
SHEET TITLE

ENGINEERING  
DETAILS

SHEET NUMBER

CP-501

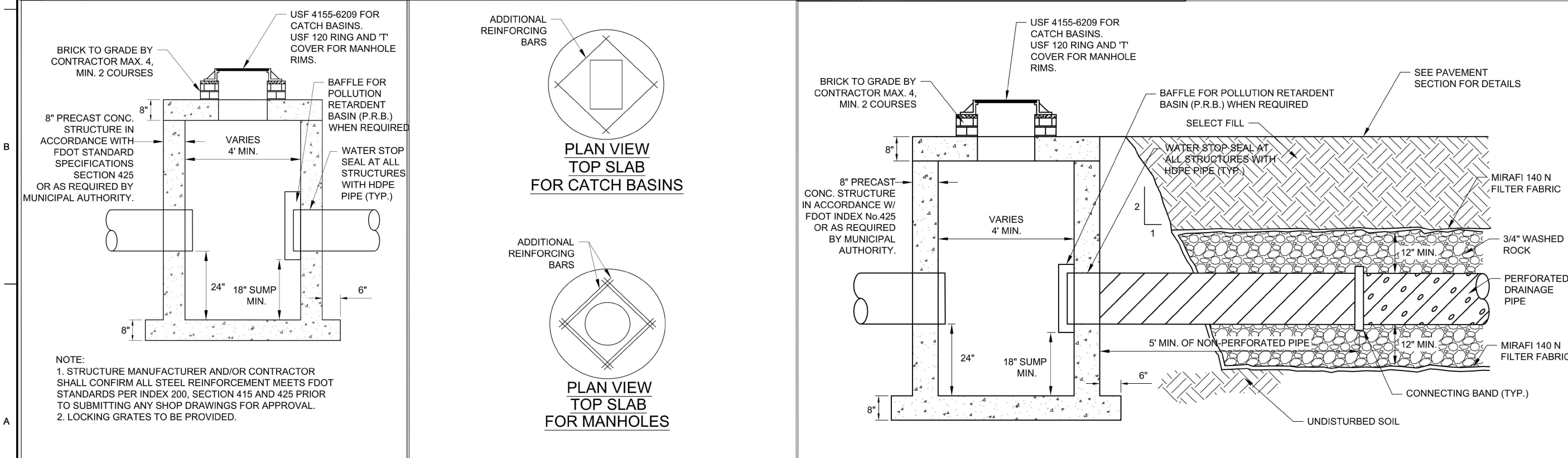
PROJECT NO. 11007.02



**28 DEEP MOUNT BOLLARD DETAIL**  
SCALE: NOT TO SCALE

**14 CONCRETE FLUME DETAIL**  
SCALE: NOT TO SCALE

**26 WHEEL STOP DETAIL**  
SCALE: NOT TO SCALE



**9 CATCH BASIN / DRAINAGE MANHOLE DETAIL**  
SCALE: NOT TO SCALE

**10 CATCH BASIN / MANHOLE FRAME DETAIL**  
SCALE: NOT TO SCALE

**13 CATCH BASIN W/ P.R.B. AND EXFILTRATION TRENCH**  
SCALE: NOT TO SCALE

301 East Atlantic Boulevard  
Pompano Beach, Florida 33060-6643

120 North Federal Highway, Suite 208  
Lake Worth, Florida 33460

PH: (954) 788-3400

Florida Certificate of  
Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS		
NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN  
NOT FOR CONSTRUCTION**

THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

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1900 10TH AVENUE  
NORTH, LAKE WORTH,  
FLORIDA 33461

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Date: 2020.06.25 15:53:46 04'00'

THOMAS F. DONAHUE, P.E.  
FLORIDA REG. NO. 60529  
(FOR THE FIRM)

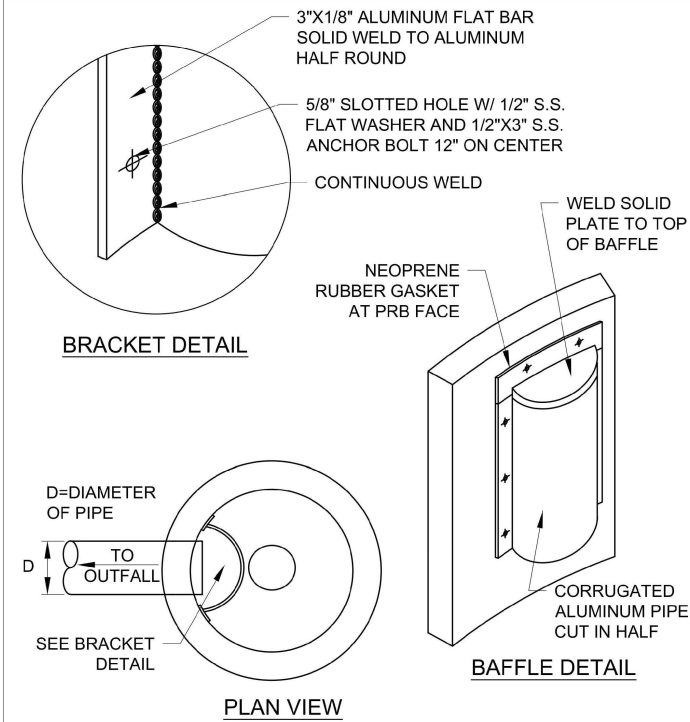
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

**ENGINEERING DETAILS**

**SHEET NUMBER**

**CP-502**

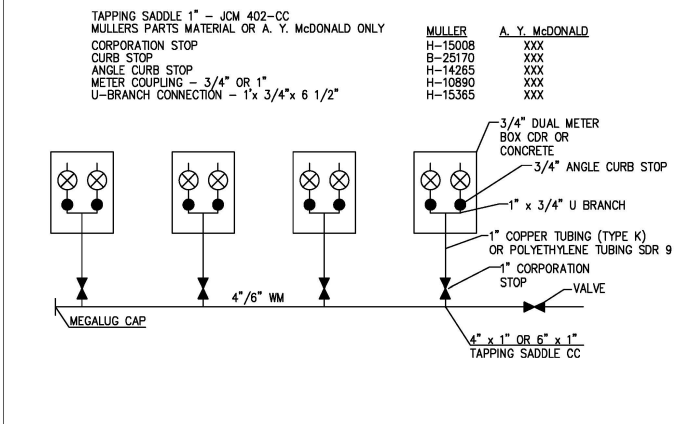
**PROJECT NO. 11007.02**



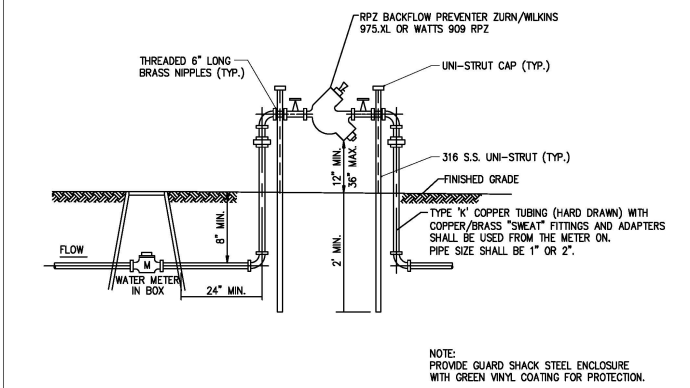
NOTE:  
BAFFLE TO BE A SECTION OF CAP CUT IN HALF.  
CAP FOR BAFFLE SHALL BE THE NEXT STANDARD PIPE DIAMETER LARGER THAN THE INFLOW/ OUTFLOW PIPE.

**12 POLLUTION RETARDANT BAFFLE DETAIL**

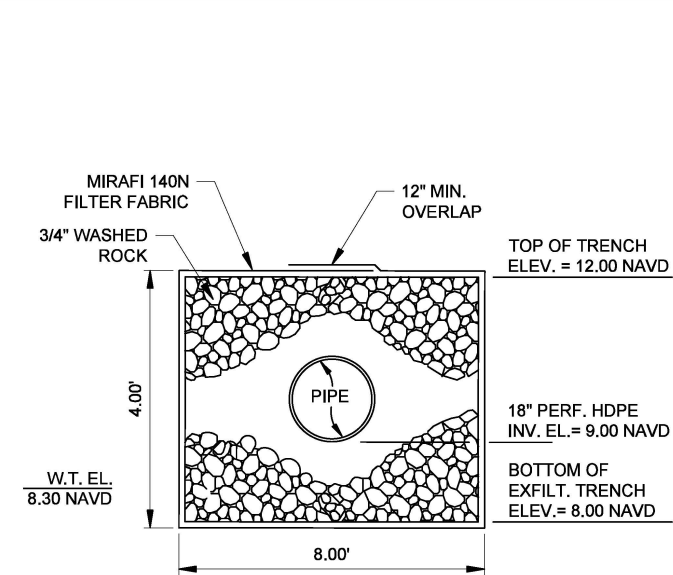
SCALE: NOT TO SCALE



MULTIPLE WATER SERVICES 1

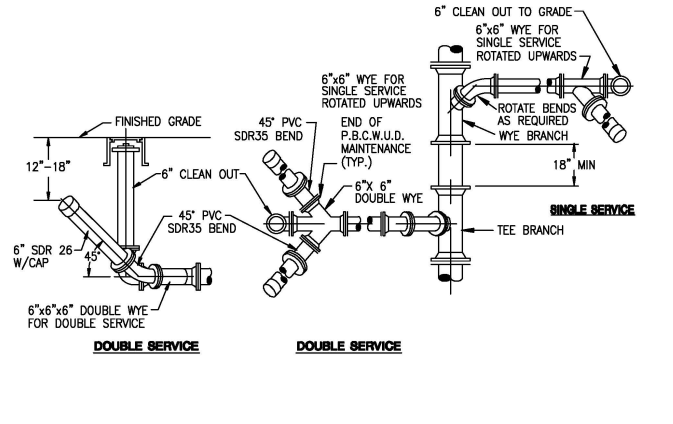


BACKFLOW PREVENTION DEVICE - 3/4" TO 2" 5

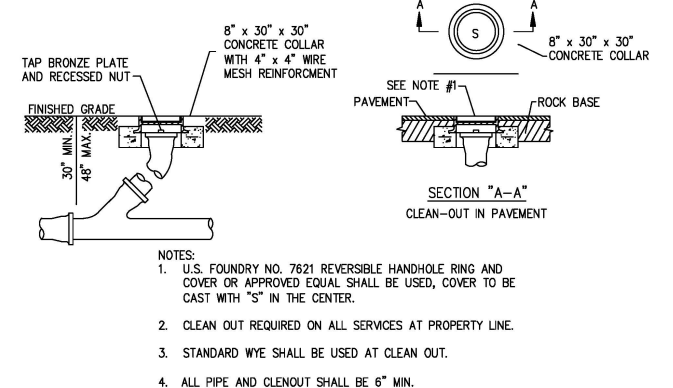


**11 EXFILTRATION TRENCH DETAIL**

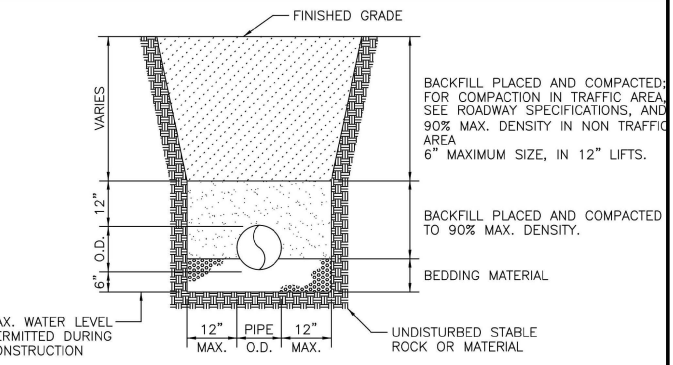
SCALE: NOT TO SCALE



TYPICAL WASTEWATER SERVICE CONNECTION 10



CLEAN OUT 9



- NOTES:
- WHERE SOIL CONDITION CANNOT BE MAINTAINED AS SHOWN ABOVE, PROVIDE APPROVED MEANS OF CONSTRUCTION.
  - WHERE REQUIRED SHEETING AND SHORING SHALL BE IN ACCORDANCE WITH THE LOCAL GOVERNMENTAL AGENCY.
  - MUCK OR OTHER UNSUITABLE MATERIAL SHALL BE COMPLETELY REMOVED.
  - WHEN THE PIPE IS LAID IN THE PREPARED TRENCH, TRUE TO LINE AND GRADE, THE PIPE BARREL SHALL RECEIVE CONTINUOUS UNIFORM SUPPORT. WHERE NECESSARY, COURSE SAND, PEA ROCK OR 3/4" LIMESTONE GRAVEL SHALL BE USED TO PROVIDE UNIFORM BEDDING.
  - JOINTS MAY BE REQUIRED TO BE WRAPPED AT THE DISCRETION OF THE DISTRICT AND THE SITE CONDITIONS.
  - BACKFILL MATERIAL SHALL BE NON-COHESIVE AND NON-PLASTIC SOIL THAT IS FREE OF ALL DEBRIS, LUMPS, WOOD BROKEN PAVING OR ANY ORGANIC OR UNSUITABLE MATERIAL. BACKFILL MATERIAL PLACED WITHIN 12" OF THE PIPE SHALL CONTAIN NO ROCKS OR STONES LARGER THAN 3-1/2" IN DIAMETER. NO ROCKS OR STONES LARGER THAN 6" IN DIAMETER WILL BE PERMITTED IN THE REMAINING BACKFILL UNLESS OTHERWISE SPECIFIED.
  - TRENCH BACKFILL SHALL BE COMPACTED TO NOT LESS THAN 90 PERCENT OF THE MAXIMUM DRY DENSITY DETERMINED BY AASHTO T-180. BACKFILL AND COMPACTION SHALL BE IN ACCORDANCE TO THE STANDARD ENGINEERING DESIGN REQUIRED BY THE LOCAL GOVERNMENTAL AGENCY.

**27 PIPE TRENCH EXCAVATION DETAIL**

SCALE: NOT TO SCALE

**KEITH**

301 East Atlantic Boulevard  
Pompano Beach, Florida 33060-6643

120 North Federal Highway, Suite 208  
Lake Worth, Florida 33460

PH: (954) 788-3400

Florida Certificate of  
Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS

NO.	DESCRIPTION	DATE

PRELIMINARY PLAN  
NOT FOR CONSTRUCTION

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1900 10TH AVENUE  
NORTH, LAKE WORTH,  
FLORIDA 33461

SCALE: AS NOTED

1ST SUBMITTAL DATE: MARCH 2020

DRAWN BY: MG

DESIGNED BY: MG

CHECKED BY: TD

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THOMAS F. DONAHUE  
LICENSE  
No. 60529

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Date: 2020.06.25 15:54:10-04'00'

THOMAS F. DONAHUE, P.E.  
FLORIDA REG. NO. 60529  
(FOR THE FIRM)

SHEET TITLE

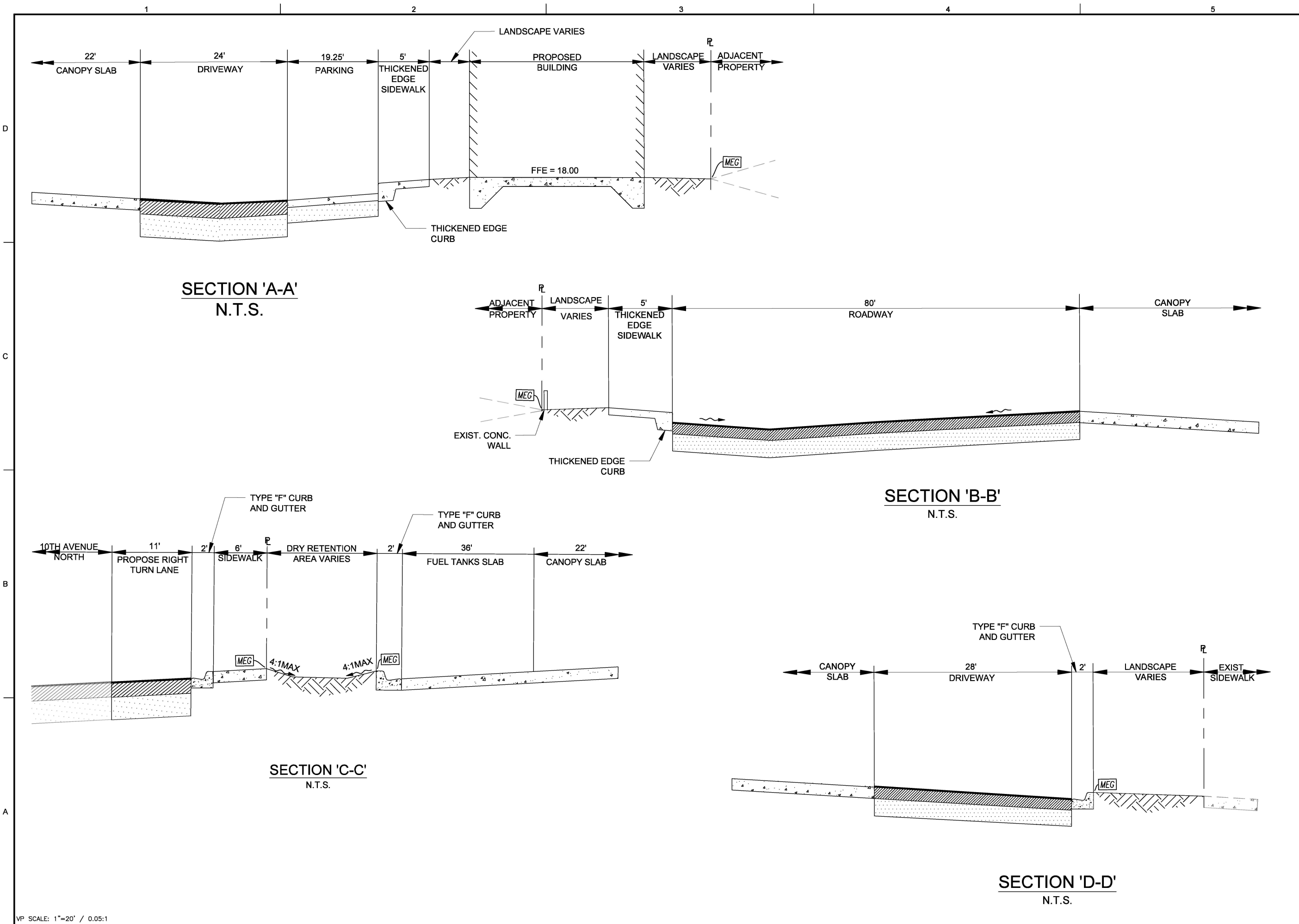
**ENGINEERING DETAILS**

SHEET NUMBER

**CP-503**

PROJECT NO. 11007.02

Drawing name: N11111007.02 - 7-11 - 1900 10th Ave. N. Lake Worth PLEngineering/Cadd11007.02-CP-503-00X.dwg Layout Name: CP-503 Plotted on: May 11, 2020 - 9:21am Plotted by: jphilde



VP SCALE: 1"=20' / 0.05:1



**KEITH**  
301 East Atlantic Boulevard  
Pompano Beach, Florida 33060-6643  
120 North Federal Highway, Suite 208  
Lake Worth, Florida 33460  
PH: (954) 788-3400  
Florida Certificate of  
Authorization # - 7928

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REVISIONS		
NO.	DESCRIPTION	DATE

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**7-ELEVEN #41361**  
1900 10TH AVENUE  
NORTH, LAKE WORTH,  
FLORIDA 33461

SCALE:	AS NOTED
1ST SUBMITTAL DATE:	MARCH 2020
DRAWN BY:	MG
DESIGNED BY:	MG
CHECKED BY:	TD

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THOMAS F. DONAHUE, P.E.  
LICENSE  
No. 60529  
STATE OF  
FLORIDA  
PROFESSIONAL ENGINEER

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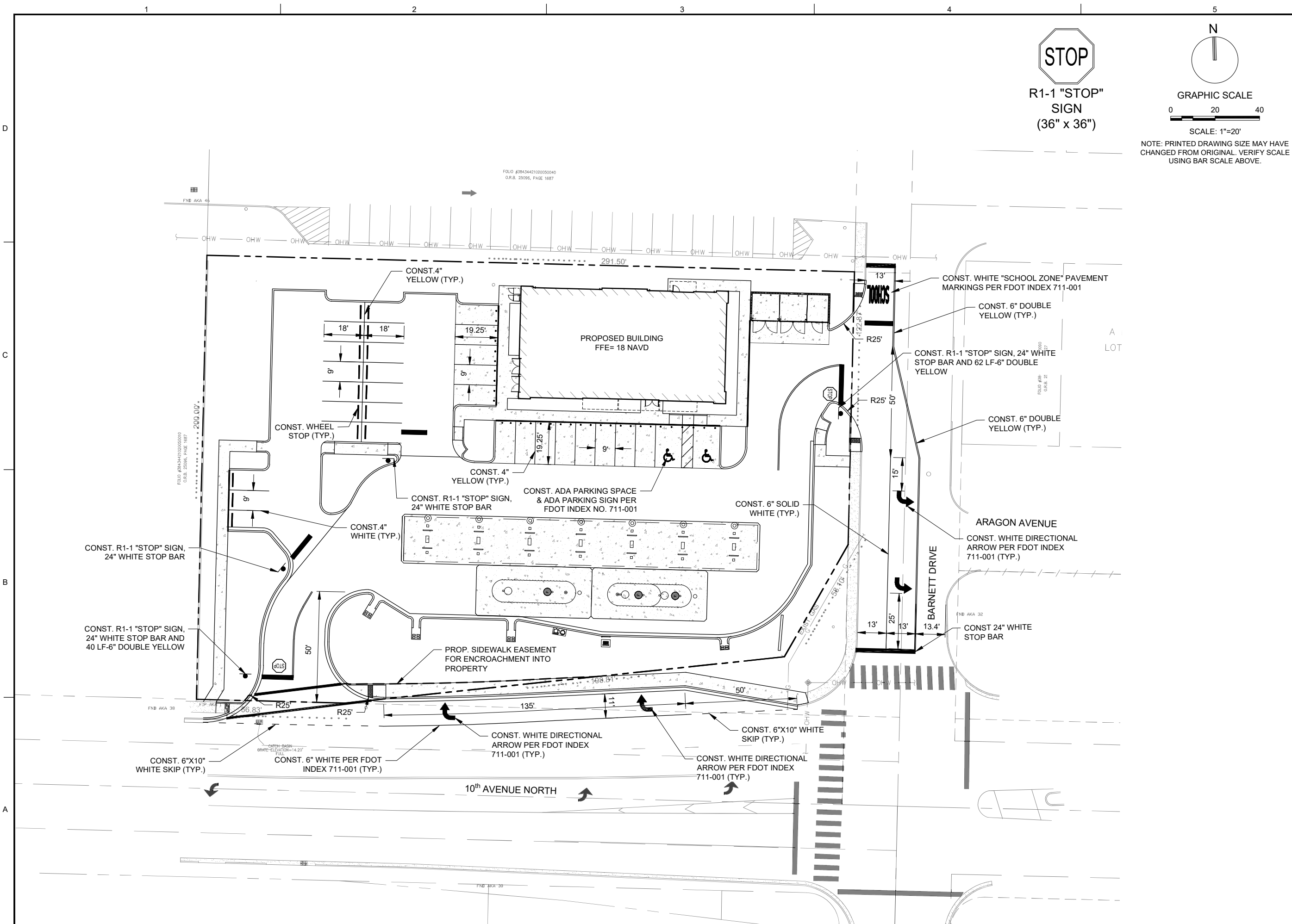
Date: 2020.06.25 15:54:39 -0400  
THOMAS F. DONAHUE, P.E.  
FLORIDA REG. NO. 60529  
(FOR THE FIRM)

SHEET TITLE  
**ENGINEERING  
DETAILS**

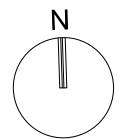
SHEET NUMBER  
**CP-504**

PROJECT NO. **11007.02**

Plotting name: N:\11111007.02-7-11-1900 10th Ave. N. Lake Worth PLEngineering\Cadd\11007.02-CP-504.dwg Layout Name: CP-504.dwg Printed on: May 18, 2020 - 3:48pm



R1-1 "STOP" SIGN  
(36" x 36")



GRAPHIC SCALE  
0 20 40

SCALE: 1"=20'  
NOTE: PRINTED DRAWING SIZE MAY HAVE  
CHANGED FROM ORIGINAL. VERIFY SCALE  
USING BAR SCALE ABOVE.



301 East Atlantic Boulevard  
Pompano Beach, Florida 33060-6643

120 North Federal Highway, Suite 208  
Lake Worth, Florida 33460

PH: (954) 788-3400

Florida Certificate of  
Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS

NO.	DESCRIPTION	DATE

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7-ELEVEN #41361  
1900 10TH AVENUE  
NORTH, LAKE WORTH,  
FLORIDA 33461

SCALE: AS NOTED

1ST SUBMITTAL DATE: MARCH 2020

DRAWN BY: MG

DESIGNED BY: MG

CHECKED BY: TD

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electronically signed and  
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on the date  
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Date: 2020.06.25 15:54:58-04'00'  
THOMAS F. DONAHUE, P.E.  
FLORIDA REG. NO. 60529  
(FOR THE FIRM)

SHEET TITLE









PAVEMENT MARKING  
AND SIGNAGE PLAN

SHEET NUMBER

CM-101

PROJECT NO. 11007.02

Plotting name: R:\1111\1107.02-711-1900 10th Ave N, Lake Worth FL\Engineering\Gad111007.02-CM-101-PAVEMENT MARKING AND SIGNAGE PLAN.dwg Plotting date: 2020-06-25 15:54:58-04'00' Plotting by: jphane

Luminaire Schedule								
Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number	BUG Rating
	28	CPY-FLAT-A	SINGLE	1.000	7720	60	CPY250-B-DM-F-A-UL-WH-57K-HZ	B3-U0-G1
	8	CPY-FLAT-C	SINGLE	1.000	4520	31	CPY250-B-DM-F-C-UL-BZ-57K-HZ	B2-U0-G1
	1	XSPLG-3ME	SINGLE	1.000	23600	184	XSPLG-D-HT-3ME-24L-57K7-UL-BZ-N	B3-U0-G4
	1	XSPLG-4ME	SINGLE	1.000	23600	184	XSPLG-D-HT-4ME-24L-57K7-UL-BZ-N	B3-U0-G3
	3	XSPLG-4ME-2	2 @ 90°	1.000	23600	184	XSPLG-D-HT-4ME-24L-57K7-UL-BZ-N	B3-U0-G3
	1	XSPLG-4ME-2(180)	2 @ 180°	1.000	23600	184	XSPLG-D-HT-4ME-24L-57K7-UL-BZ-N	B3-U0-G3
	1	XSPLG-4ME-3	3 @ 90°	1.000	23600	184	XSPLG-D-HT-4ME-24L-57K7-UL-BZ-N	B3-U0-G3
	9	XSPW	WALL MOUNT	1.000	4270	31	XSPW-B-WM-3ME-4L-57K-UL-BZ	B1-U0-G1

Calculation Summary; 1.00 LLF						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
All Calc Points	Fc	4.85	32.0	0.0	N.A.	N.A.
Gas Canopy	Fc	40.20	45	26	1.55	1.73
Paved Area	Fc	20.95	45.0	1.0	20.95	45.00

FIXTURE MOUNTING HEIGHTS AS SHOWN  
POLES MOUNTED ON 3' BASE

Verify Concrete Poles vs. SSS 7-11 Poles Due to Windzone  
as well as location to coast

ADDITIONAL EQUIPMENT REQUIRED:  
(7) SSS-4-7-17-CW-BS-OT-N-BZ - (17" x 4" x 7ga, Steel Square Pole, Tenon)  
(2) PD-1H4(90)BZ HORIZONTAL TENON 1@90  
(3) PD-2H4(90)BZ HORIZONTAL TENON 2@90  
(1) PD-2H4(180)BZ HORIZONTAL TENON 2@180  
(1) PD-3H4(90)BZ HORIZONTAL TENON 3@90

PROPOSED POES MEET 180MPH SUSTAINED WIND LOADS

\*\*\* CUSTOMER TO VERIFY ORDERING INFORMATION AND  
CATALOGUE NUMBER PRIOR TO PLACING ORDER \*\*\*

- Bill Of Material
- 28

CPY250-B-DM-F-A-UL-WH-57K-HZ
- 08

CPY250-B-DM-F-C-UL-BZ-57K-HZ
- 12

XSPLG-D-HT-4ME-24L-57K7-UL-BZ-N
- 01

XSPLG-D-HT-3ME-24L-57K7-UL-BZ-N
- 09

XSPW-B-WM-3ME-4L-57K-UL-BZ
- 02

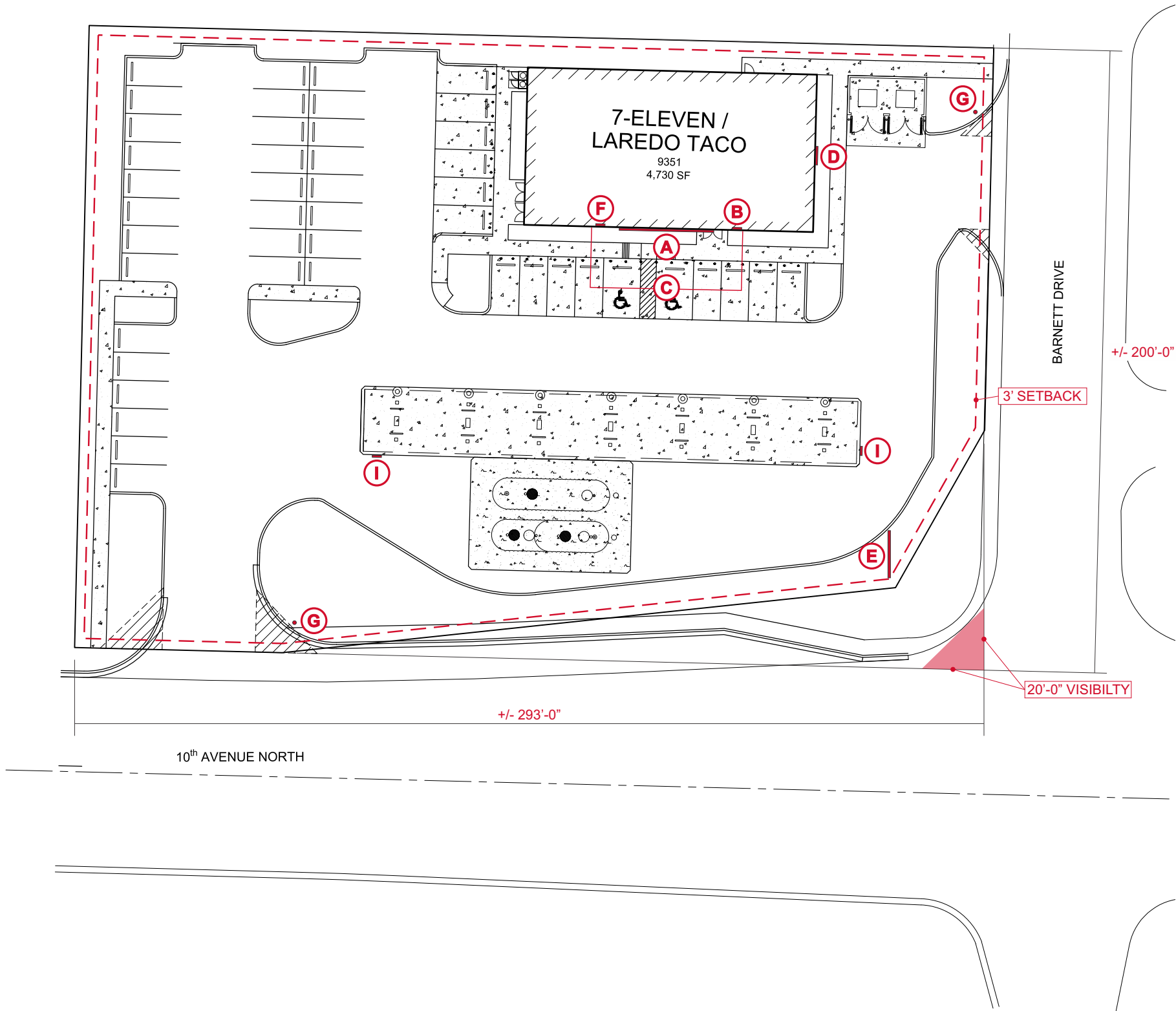
PD-1H4(90)BZ
- 03

PD-2H4(90)BZ
- 01

PD-2H4(180)BZ
- 01

PD-3H4(90)BZ
- 07

SSS-4-7-17-CW-BS-OT-N-BZ



<b>(A)</b>	<b>5-Pack SEJ W/S (36")</b>
<b>(B)</b>	<b>ATM Interior Sign</b>
<b>(C)</b>	<b>Window Graphics</b>
<b>(D)</b>	<b>W37 Keystone W/S</b>
<b>(E)</b>	<b>M50 Monument Sign</b>
<b>(F)</b>	<b>LTC Interior Hanging Sign</b>
<b>(G)</b>	<b>Directional Sign</b>
<b>(I)</b>	<b>Canopy Signs</b>

Sqft Allowances	
Wall Signs Allowed:	139.7 sqft
5-Pack Tateyama:	85.3 sqft
W37 Keystone W/S:	36.0 sqft
Wall Signs Total:	121.3 sqft
Monument Sign Allowed:	100.0 sqft
Monument Sign Total:	99.6 sqft

www.harbingersign.com

CLIENT: 7-Eleven #41361 (1046710)

ADDRESS: PIONEER ST & S 65TH AVE  
RIDGEFIELD, WA 98642

CONTACT: DPM: RCC:

SALES ASSOC.: Rick Guarino

PROJECT MGR: Brian Hutto

DESIGNER: Fernando Mercado

**SVE\_41361 (1046710)\_Q118953\_R3**

F:\Customers\7 Eleven\Art\SVE\_(41361) 1046710\_Q118953\_R3.CDR

Date	Rev.	Description
11.14.19	00	Original
02.21.20	R1	Update with new site plan
03.27.20	R2	Update adding LTC signage
04.02.20	R3	Update with new elevations

ZONING: MU-W Mixed Use-West  
**SQUARE FOOTAGE FORMULA**

Code Information:

Wall Signs

Total sign area based on lot frontage. Ten percent of the area of primary frontage facade that faces a public road. A maximum of 100 sqft. sign area per sign allowed and a maximum of 3 signs per building. Five percent sqft. allowed for secondary building facades visible from a public right-of-way.

Freestanding Signs

100 sf per face.  
Overall height allowed 12'-0"  
Min. 3' Set back

Gas Canopy

Not stipulated in ordinance, submit plans to City for approval.

Directionals

Max. height: 4'-0"  
Max. sqft.: 4.0 sqft.

WALL SIGN ONLY

ALLOWED TOTAL	139.7 SQ. FT.
PROPOSED TOTAL	121.3 SQ. FT.

Site Notes:

Customer Approval: \_\_\_\_\_ DATE: \_\_\_\_\_

Page: 1



Complies with  
UL 48  
CSA C22.2 No.207

THE STRUCTURAL DESIGN CONFORMS TO THE FOLLOWING CODES AND SPECIFICATIONS:  
THE FLORIDA BUILDING CODE SIXTH EDITION (2017), THE AMERICAN INSTITUTE OF STEEL  
CONSTRUCTION(MANUAL OF STEEL CONSTRUCTION, 9TH EDITION), THE AMERICAN WELDING  
SOCIETY(AWIS D1.1-15), THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS  
FOR STRUCTURAL CONCRETE(ACI 308-14), THE SPECIFICATION FOR ALUMINUM STRUCTURES  
BY THE ALUMINUM ASSOCIATION(CURRENT EDITION).

Site Plan  
1" = 40'-0"

Date	Rev.	Description
11.14.19	00	Original
02.21.20	R1	Update with new site plan
03.27.20	R2	Update adding LTC signage
04.02.20	R3	Update with new elevations

ZONING: MU-W Mixed Use-West  
SQUARE FOOTAGE FORMULA

ALLOWED TOTAL	139.7 SQ. FT.
PROPOSED TOTAL	121.3 SQ. FT.

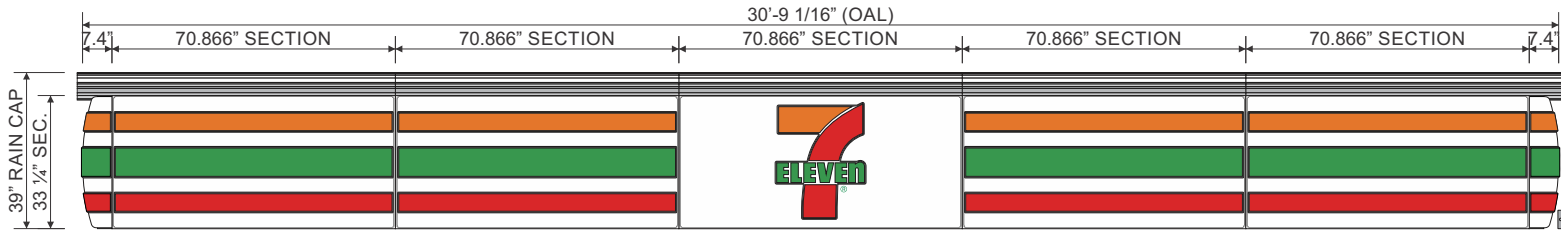
Site Notes:

Customer Approval: \_\_\_\_\_ DATE: \_\_\_\_\_

Page: 2



THE STRUCTURAL DESIGN CONFORMS TO THE FOLLOWING CODES AND SPECIFICATIONS:  
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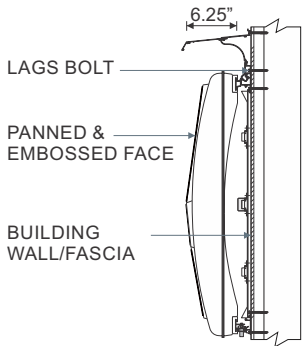
ONE (1) SET OF 33 1/4" S/F INTERNALLY ILLUMINATED WALL SIGNS (SEJ 1800 SERIES).

**ELECTRICAL NOTE:** EXPOSED EXTERIOR 20 AMP WEATHERPROOF ELECTRICAL DISCONNECT REQUIRED WITHIN VISUAL RANGE OF SIGN  
REQUIRED FOR EVERY 16 AMPS OF SIGNAGE. ACTUAL NUMBER OF CIRCUITS TO BE DETERMINED BY A LICENSED ELECTRICAL CONTRACTOR.  
ACTUAL LOCATION OF BOX MAY VARY. CIRCUITS AND SWITCH TO BE PROVIDED BY OTHERS. INPUT VOLTAGE - 120V  
ALL SIGNAGE WILL BE (MET) LISTED,(U.L.) 48STD COMPLIANT AND CARRY (MET) LABELS.

Front Elevation - SEJ 1800 Series Wall Sign Sections - Sign A

1/4" = 1'-0"

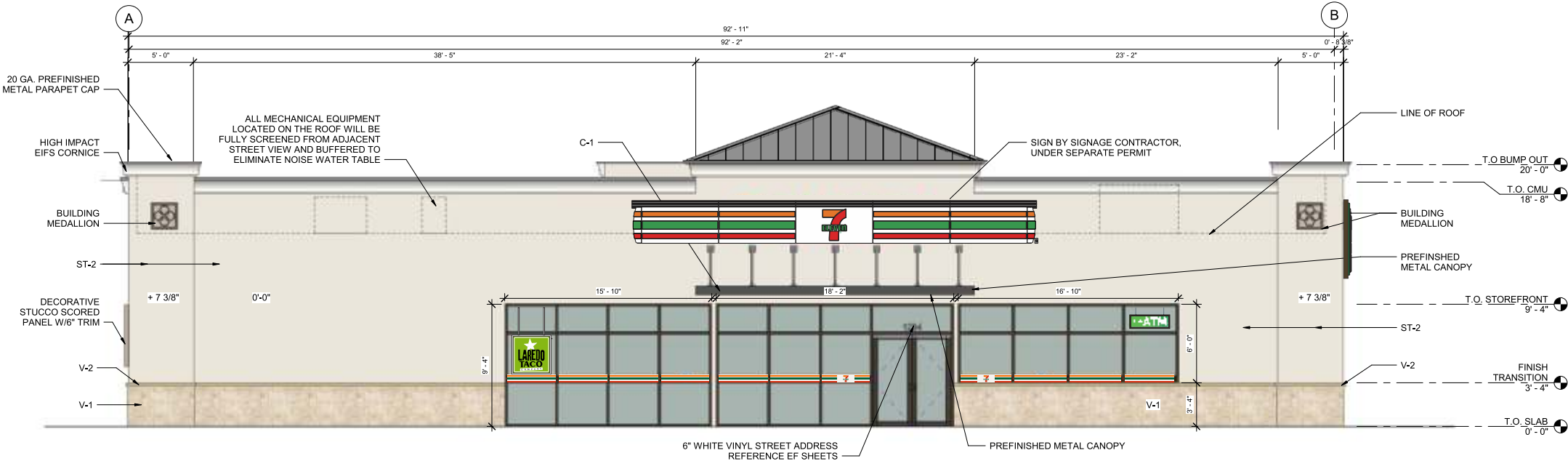
Display Square Footage (Sections): 85.3



Side Mounting Detail - Sign A

NTS

Code Information:	
Allowed:	100.0 sqft
Proposed:	85.3 sqft



Proposed South Elevation - Signs A, B, C & F

3/32" = 1'-0"

Date	Rev.	Description
11.14.19	00	Original
02.21.20	R1	Update with new site plan
03.27.20	R2	Update adding LTC signage
04.02.20	R3	Update with new elevations

ZONING: MU-W Mixed Use-West  
SQUARE FOOTAGE FORMULA

ALLOWED TOTAL	139.7 SQ. FT.
PROPOSED TOTAL	121.3 SQ. FT.

Site Notes:

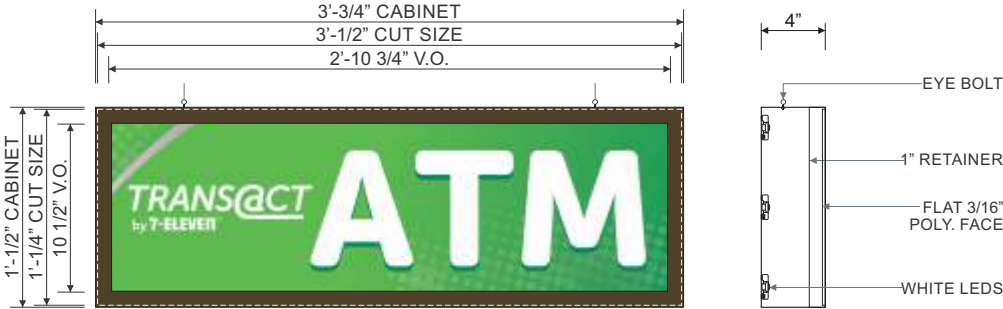
Customer Approval: \_\_\_\_\_ DATE: \_\_\_\_\_

Page: 3



Complies with  
UL 48  
CSA C22.2 No.207

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THE FLORIDA BUILDING CODE SIXTH EDITION (2017), THE AMERICAN INSTITUTE OF STEEL  
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FOR STRUCTURAL CONCRETE(ACI 308-14), THE SPECIFICATION FOR ALUMINUM STRUCTURES  
BY THE ALUMINUM ASSOCIATION(CURRENT EDITION).



ONE (1) **INTERIOR ATM** INTERNALLY ILLUMINATED S/F WINDOW SIGN. 3/16" THICK FLAT WHITE POLYCARBONATE FACE W/ DIGITALLY PRINTED IMAGE VINYL TO BE APPLIED FIRST SURFACE. CABINET TO BE INTERNALLY ILLUMINATED W/ GE WHITE LEDS. 4 DEEP ALUM. CABINET & 1" RETAINERS ALL PAINTED **313E DURANODIC BRONZE**. SIGN TO HANG INSIDE THE STORE BEHIND GLASS AS INDICATED IN PHOTO OVERLAY WITH EYE BOLTS.

**VINYL SPECS: DIGITALLY PRINTED IMAGE VINYL**  
**PAINT SPECS: 313E DURANODIC BRONZE**

**NOTE: ATM SIGN TO BE FABRICATED & INSTALLED BY OTHERS**

Front Elevation & Side Mounting Detail - ATM S/F Window Sign - **Sign B**

1" = 1'-0"

Display Square Footage (Cabinet): **3.2**



WINDOW VINYL GRAPHICS.  
VINYL GRAPHICS TO BE APPLIED SECOND SURFACE ONTO DESIGNATED STORE WINDOWS.  
**NOTE: WINDOW GRAPHICS KITS TO BE PROVIDED AND INSTALLED BY OTHERS. NOT PART OF HARBINGERS SCOPE OF WORK.**  
**NOTE: FOR FULL INSTALLATION INSTRUCTIONS, REFER TO 7-ELEVEN SIGNAGE MANUAL.**

Front Elevation - Typical Window Vinyl Graphics - **Sign C**

3/8" = 1'-0"

www.harbingersign.com

CLIENT: 7-Eleven #41361 (1046710)

ADDRESS: PIONEER ST & S 65TH AVE  
RIDGEFIELD, WA 98642

CONTACT:

SALES ASSOC.: Rick Guarino

PROJECT MGR: Brian Hutto

DESIGNER: Fernando Mercado

SVE\_41361 (1046710)\_Q118953\_R3

Date	Rev.	Description
11.14.19	00	Original
02.21.20	R1	Update with new site plan
03.27.20	R2	Update adding LTC signage
04.02.20	R3	Update with new elevations

ZONING: MU-W Mixed Use-West

SQUARE FOOTAGE FORMULA

ALLOWED TOTAL	139.7 SQ. FT.
PROPOSED TOTAL	121.3 SQ. FT.

Site Notes:

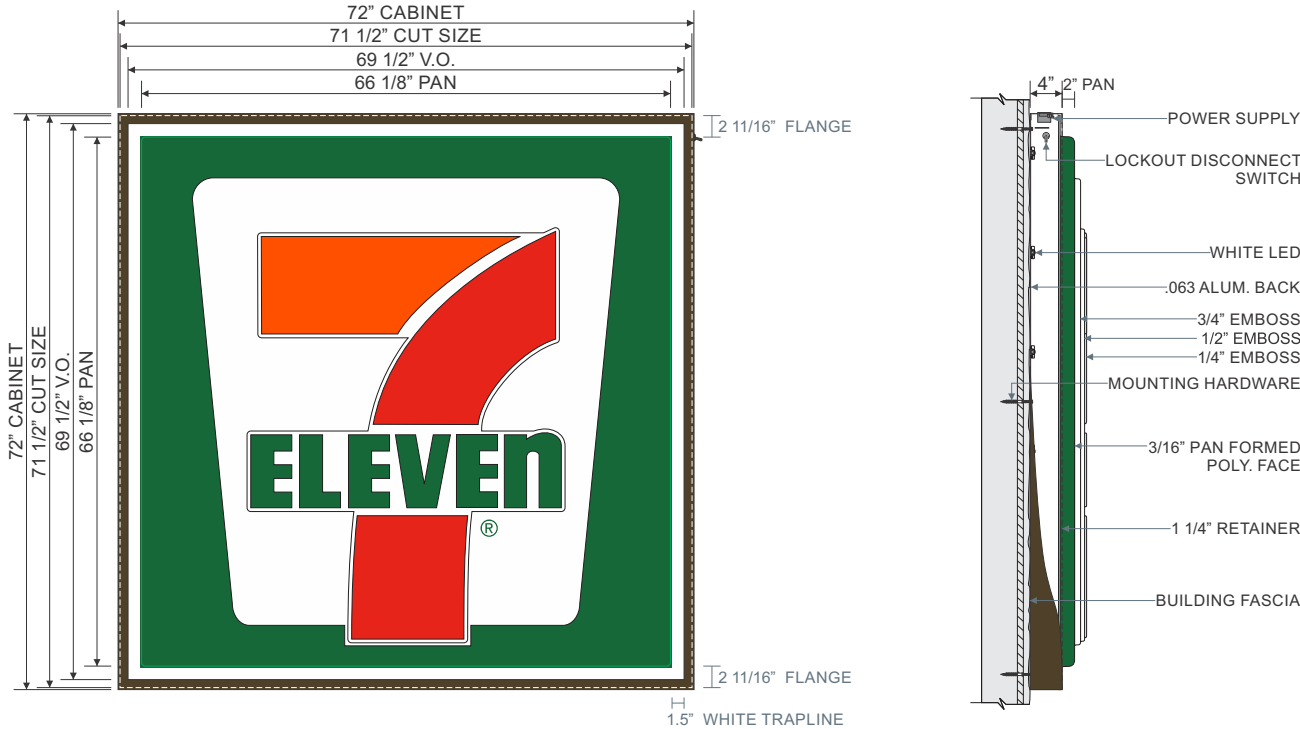
Customer Approval: \_\_\_\_\_ DATE: \_\_\_\_\_

Page: 4



Complies with  
UL 48  
CSA C22.2 No.207

THE STRUCTURAL DESIGN CONFORMS TO THE FOLLOWING CODES AND SPECIFICATIONS:  
THE FLORIDA BUILDING CODE SIXTH EDITION (2017), THE AMERICAN INSTITUTE OF STEEL  
CONSTRUCTION(MANUAL OF STEEL CONSTRUCTION, 9TH EDITION), THE AMERICAN WELDING  
SOCIETY(AWS D1.1-15), THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS  
FOR STRUCTURAL CONCRETE(ACI 318-14), THE SPECIFICATION FOR ALUMINUM STRUCTURES  
BY THE ALUMINUM ASSOCIATION(CURRENT EDITION).



ONE (1) **W37** INTERNALLY ILLUMINATED S/F WALL SIGN CABINET.  
3/16" THICK PAN FORMED & EMBOSSED WHITE POLY. FACE W/ TRANSLUCENT VINYL GRAPHICS APPLIED  
FIRST SURFACE. 4" DEEP BRAKE FORM ALUM. CABINET W/ 1 1/4" RETAINERS TO BE PAINTED **DURANODIC BRONZE**.  
CABINET TO BE INTERNALLY ILLUMINATED W/ WHITE LEDS.

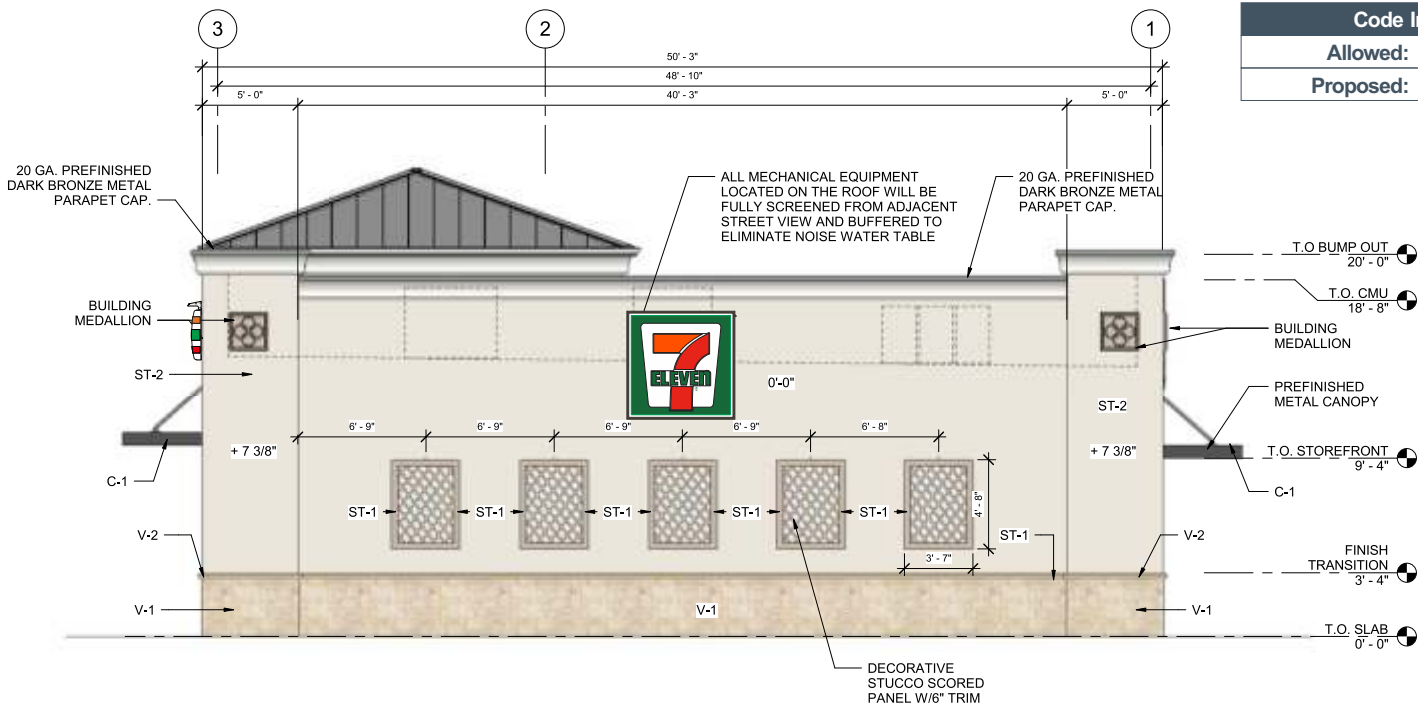
VINYL SPECS: 3M 3630-44 ORANGE, 3M 3630-33 RED, 3M 3630-26 GREEN  
PAINT SPECS: DURANODIC BRONZE

7-ELEVEN LOGO  
DIMENSIONS:  
OAH: 58 1/2"  
OAL: 53 7/16"

Face & Side Detail - **W37** Wall Sign Cabinet - **Sign D**

1/2" = 1'-0"

Display Square Footage(Cabinet): **36.0**



Proposed East Elevation - **Sign D**

1/8" = 1'-0"

Total Sign Square footage Calculations:	
Allowed:	100.0 sqft
Proposed:	99.6 sqft

Overall Height:	
Allowed Max:	12'-0"
Proposed:	11'-0"

SetBacks:	
Requirements:	3'-0"
Proposed:	3'-0"

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sign of the future

5300 Shad Road, Jacksonville, FL. 32257 • 904.268.4681  
2301 Ohio Dr, Plano, TX. 32257 • 972.905.9450

www.harbingersign.com

CLIENT: 7-Eleven #41361 (1046710)

ADDRESS: PIONEER ST & S 65TH AVE  
RIDGEFIELD, WA 98642

CONTACT:

SALES ASSOC.: Rick Guarino

PROJECT MGR: Brian Hutto

DESIGNER: Fernando Mercado

SVE\_41361 (1046710)\_Q118953\_R3

Date	Rev.	Description
11.14.19	00	Original
02.21.20	R1	Update with new site plan
03.27.20	R2	Update adding LTC signage
04.02.20	R3	Update with new elevations

ZONING: MU-W Mixed Use-West  
SQUARE FOOTAGE FORMULA

ALLOWED TOTAL	139.7 SQ. FT.
PROPOSED TOTAL	121.3 SQ. FT.

Site Notes:

Customer Approval:\_\_\_\_\_DATE:\_\_\_\_\_

Page: 5

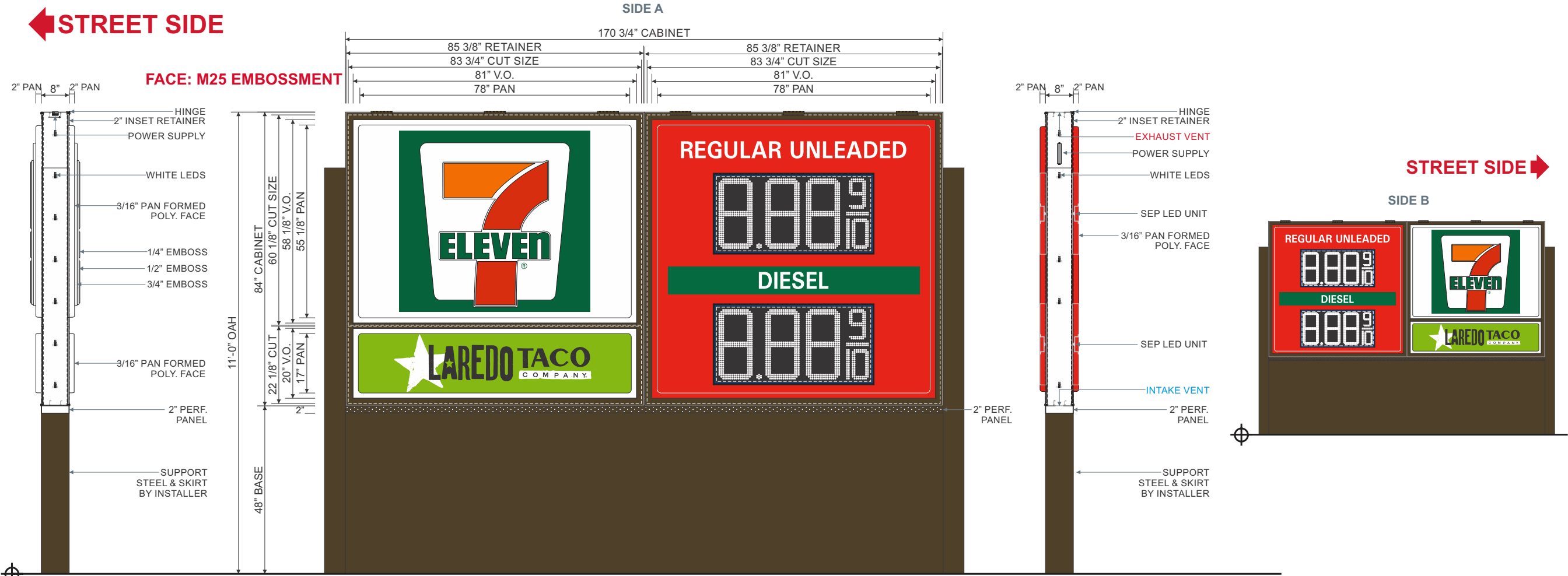
LISTED

MET

U.S.

Complies with  
UL 48  
CSA C22.2 No.207

THE STRUCTURAL DESIGN CONFORMS TO THE FOLLOWING CODES AND SPECIFICATIONS:  
THE FLORIDA BUILDING CODE SIXTH EDITION (2017), THE AMERICAN INSTITUTE OF STEEL  
CONSTRUCTION(MANUAL OF STEEL CONSTRUCTION, 9TH EDITION), THE AMERICAN WELDING  
SOCIETY(AWS D1.1-15), THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS  
FOR STRUCTURAL CONCRETE(ACI 308-14), THE SPECIFICATION FOR ALUMINUM STRUCTURES  
BY THE ALUMINUM ASSOCIATION(CURRENT EDITION).



ONE (1) **NON-STANDARD** D/F INTERNALLY ILLUMINATEDSIGN CABINET. 8" DEEP EXTRUDED ALUM. CABINET W/ 2" INSET HINGED RETAINERS TO BE PAINTED **DURANODIC BRONZE**. CABINET TO BE INTERNALLY ILLUMINATED W/ WHITE LEDS. 2" INSET RETAINERS TO BE HINGED ON ONE SIDE OF CABINET.

**7-ELEVEN FACE SPECS:** 3/16" THICK PAN FORMED & EMBOSSED WHITE POLYCARBONATE FACES W/ TRANSLUCENT VINYL GRAPHICS APPLIED FIRST SURFACE. 8" DEEP EXTRUDED ALUM. CABINET W/ 2" INSET HINGED RETAINERS TO BE PAINTED **DURANODIC BRONZE**. CABINET TO BE INTERNALLY ILLUMINATED W/ WHITE LEDS. 2" INSET RETAINERS TO BE HINGED ON ONE SIDE OF CABINET.

**VINYL SPECS:** 3M 3630-44 ORANGE, 3M 3630-33 RED, 3M 3630-26 GREEN  
**PAINT SPECS:** DURANODIC BRONZE

**LAREDO TACO CO. FACE SPECS:** 3/16" THICK PAN FORMED WHITE POLYCARBONATE FACE W/ DIGITALLY PRINTED **3M 3630-20 WHITE** VINYL & **3M 8520** LAMINATE TO BE APPLIED FIRST SURFACE.

**VINYL SPECS:** 3M 3630-20 WHITE, 3M 8520 LAMINATE  
**COLOR SPECS:** PMS 376 C GREEN, PMS WHITE, BLACK

ONE (1) **STANDARD L50G2D** D/F "DOUBLE-PRODUCT" DIESEL INTERNALLY ILLUMINATED SIGN CABINET W/ WHITE LED DIGITS. CABINET TO BE INTERNALLY ILLUMINATED W/ WHITE LEDS. 3/16" THICK PAN FORMED CLEAR POLY. FACES BACK SPRAYED **PMS 485 RED** THEN **PMS WHITE** W/ **3M 3630-26 GREEN** TRANSLUCENT VINYL & **3M 7725-12 BLACK** VINYL TRIM AROUND LED WINDOW APPLIED SECOND SURFACE. 8" DEEP EXTRUDED ALUM. CABINET W/ 2" INSET RETAINERS TO BE PAINTED **DURANODIC BRONZE**. RETAINER TO BE HINGED ON BOTH SIDES OF THE CABINET.

PROVIDE CUSTOMER W/ PRICE VISION 20" DIGIT WHITE LED MODULES.

**7-ELEVEN VINYL SPECS:** 3M 3630-26 GREEN, 3M 7725-12 BLACK  
**7-ELEVEN PAINT SPECS:** PMS 485 RED & PMS WHITE

PROVIDE 2" PERFORATED PANEL SECTION FINISHED **DURANODIC BRONZE** TO FILL/PROVIDE VENTILATION SPACE UNDERNEATH CABINET FOR AIR FLOW VENTS.

**NOTE:** SUPPORT STEEL & BASE TO BE PROVIDED BY INSTALLER.  
**NOTE:** SUPPORT STEEL & ALUMINUM SKIRT TO BE PAINTED **DURANODIC BRONZE**.  
**NOTE:** DEDICATED 20 AMP CIRCUIT REQUIRED FOR LED GAS PRICE CABINET, MUST BE PROVIDED BY CUSTOMER.

7-ELEVEN LOGO  
DIMENSIONS:  
OAH: 47"  
OAL: 42 15/16"

SEP PRICE VISION LED UNITS:  
  
LED UNIT SIZE: 22.082" X 44.924"  
LED CHARACTER SIZE: 19.980"

Face & Side Detail - Non-Standard 7-Eleven / LTC & L50G2D Double Product Monument Structure - Sign E

3/8" = 1'-0"

Display Square Footage (Cabinets Combined): **99.6**

Date	Rev.	Description
11.14.19	00	Original
02.21.20	R1	Update with new site plan
03.27.20	R2	Update adding LTC signage
04.02.20	R3	Update with new elevations

ZONING: MU-W Mixed Use-West

SQUARE FOOTAGE FORMULA

ALLOWED TOTAL139.7 SQ. FT.

PROPOSED TOTAL121.3 SQ. FT.

Site Notes:

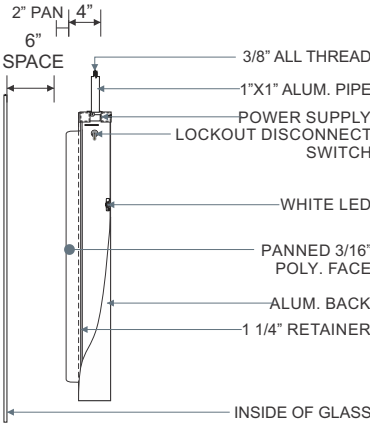
Customer Approval:DATE:

Page: 6



Complies with  
UL 48  
CSA C22.2 No.207

THE STRUCTURAL DESIGN CONFORMS TO THE FOLLOWING CODES AND SPECIFICATIONS:  
THE FLORIDA BUILDING CODE SIXTH EDITION (2017), THE AMERICAN INSTITUTE OF STEEL  
CONSTRUCTION(MANUAL OF STEEL CONSTRUCTION, 9TH EDITION), THE AMERICAN WELDING  
SOCIETY(AWS D1.1-15), THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS  
FOR STRUCTURAL CONCRETE(ACI 308-14), THE SPECIFICATION FOR ALUMINUM STRUCTURES  
BY THE ALUMINUM ASSOCIATION(CURRENT EDITION).



ONE (1) **LTC- 3X3 HANGING** S/F INTERNALLY ILLUMINATED SIGN CABINET.  
3/16" THICK PAN FORMED WHITE POLY. FACE W/ TRANSLUCENT VINYL GRAPHICS  
APPLIED FIRST SURFACE. 4" DEEP ALUM. CABINET W/ 1 1/4" RETAINERS & FINISHED BACK  
TO BE PAINTED **PMS WHITE**. CABINET TO BE INTERNALLY ILLUMINATED W/ WHITE LEDS.  
PROVIDE 8'-0" LENGTHS OF ALL-THREAD & 1"X1" ALUM. PIPE.

LAREDO TACO CO. VINYL SPECS:

3M 3630-20 WHITE

3M 8520 LAMINATE

LAREDO TACO CO. COLOR SPECS:

PMS 376 C GREEN,

PMS WHITE,

PMS BLACK

PAINT SPECS:

PMS WHITE

7-ELEVEN LOGO  
DIMENSIONS:

OAH: 29 1/2"

OAL: 27"

Face & Side Detail - **LTC- 3X3 HANGING** S/F Cabinet - **Sign F**

1/2" = 1'-0"

Display Square Footage(Cabinet): **9.0**

Date	Rev.	Description
11.14.19	00	Original
02.21.20	R1	Update with new site plan
03.27.20	R2	Update adding LTC signage
04.02.20	R3	Update with new elevations

ZONING: MU-W Mixed Use-West  
SQUARE FOOTAGE FORMULA

ALLOWED TOTAL	139.7 SQ. FT.
PROPOSED TOTAL	121.3 SQ. FT.

Site Notes:

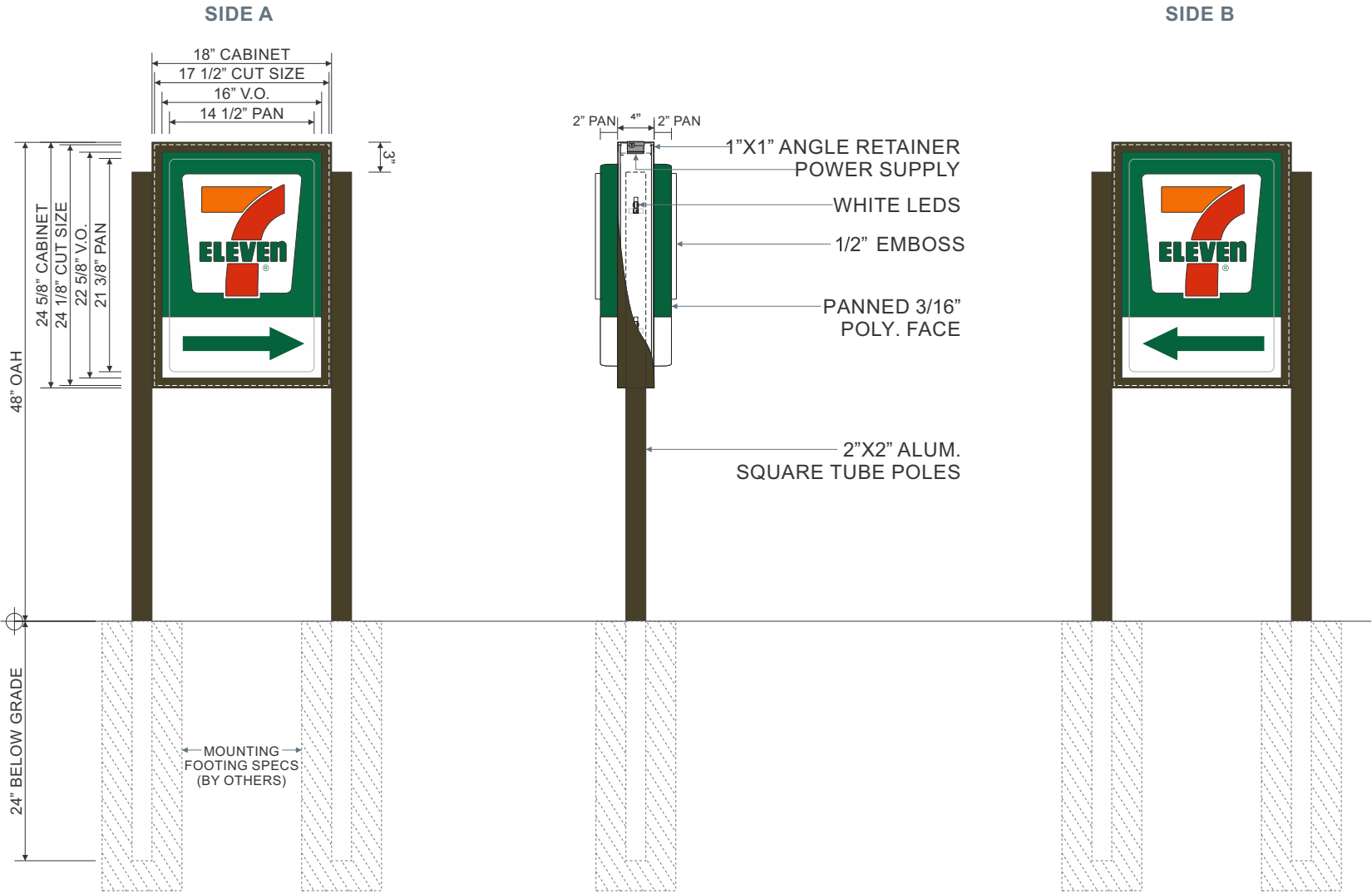
Customer Approval: \_\_\_\_\_ DATE: \_\_\_\_\_

Page: 7



Complies with  
UL 48  
CSA C22.2 No.207

THE STRUCTURAL DESIGN CONFORMS TO THE FOLLOWING CODES AND SPECIFICATIONS:  
THE FLORIDA BUILDING CODE SIXTH EDITION (2017), THE AMERICAN INSTITUTE OF STEEL  
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SOCIETY(AWS D1.1-15), THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS  
FOR STRUCTURAL CONCRETE(ACI 308-14), THE SPECIFICATION FOR ALUMINUM STRUCTURES  
BY THE ALUMINUM ASSOCIATION(CURRENT EDITION).



TWO (2) **STANDARD DIRECTIONAL** W/48" TALL D/F INTERNALLY ILLUMINATED SIGN CABINET.  
3/16" THICK PAN & EMBOSSED WHITE POLY. FACES W/ TRANSLUCENT VINYL GRAPHICS APPLIED  
FIRST SURFACE. 4" DEEP EXTRUDED ALUM. CABINET W/ 1" RETAINERS TO BE PAINTED **DURANODIC BRONZE**.  
CABINET TO BE INTERNALLY ILLUMINATED W/ WHITE LEDS.

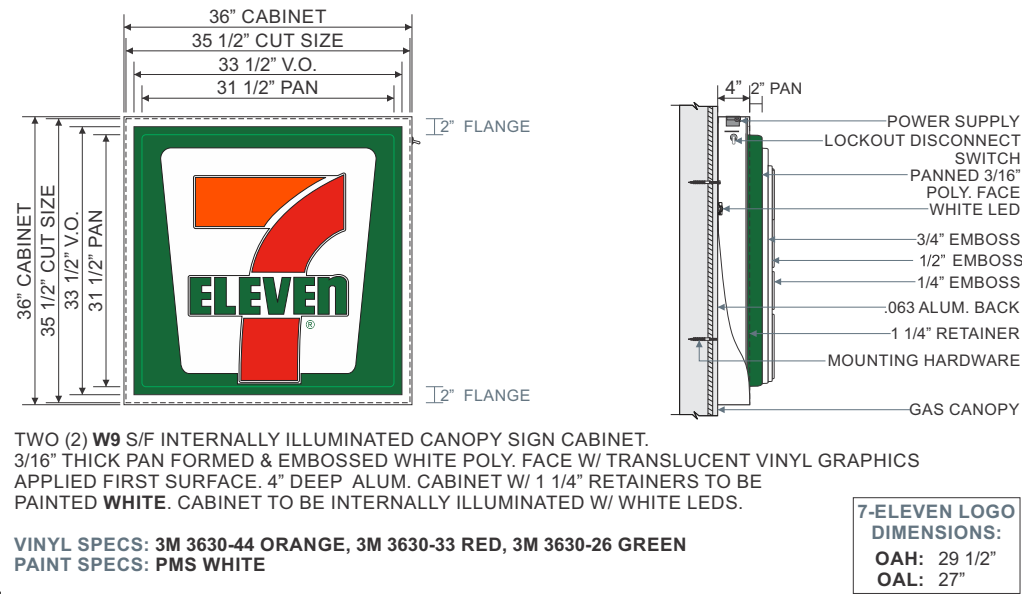
**7-ELEVEN VINYL SPECS: 3M 3630-44 ORANGE, 3M 3630-33 RED, 3M 3630-26 GREEN**

**NOTE: ARROWS TO ALWAYS BE FACING TOWARDS STORE.**

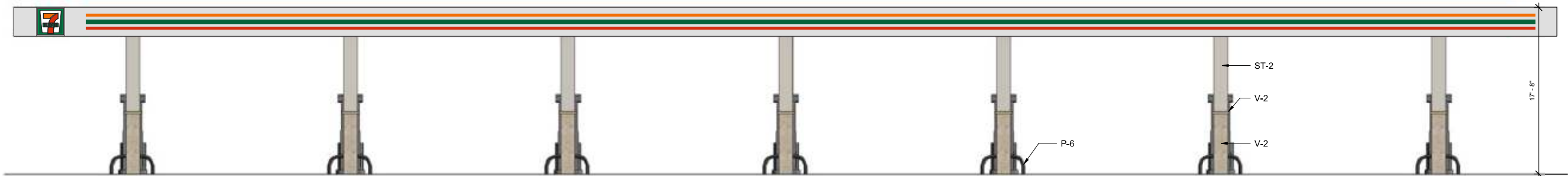
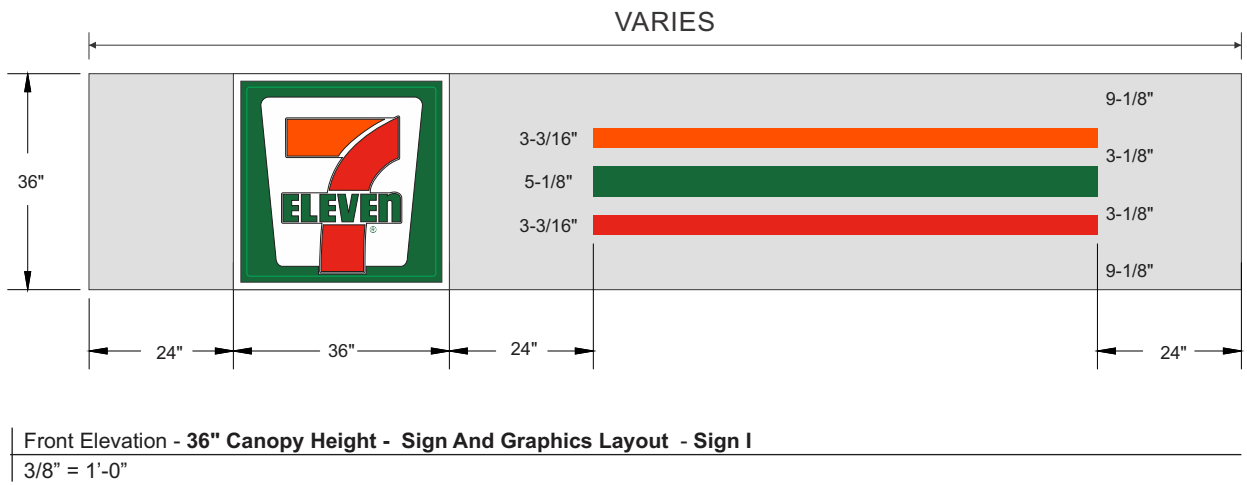
Front Elevation & Side Detail - **Standard D/F Directional** Sign Cabinet - **Sign Type G**

3/4" = 1'-0"

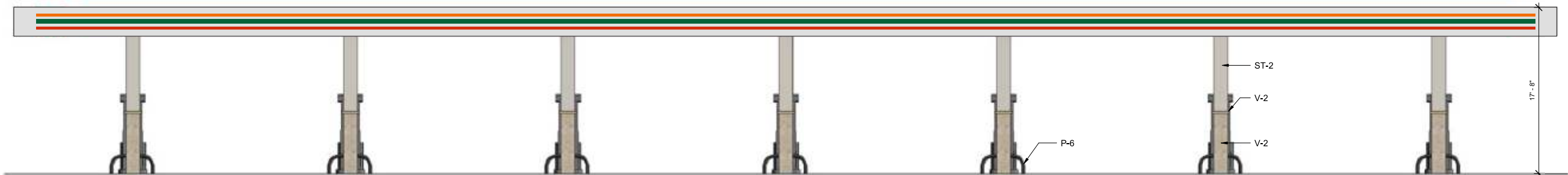
Display Square Footage: **3.0 Each**



Face & Side Detail - **W9** Canopy Sign Cabinet - **Sign I**  
1/2" = 1'-0"      Display Square Footage(Cabinet): **9.0**



**SOUTH ELEVATION: 9.0 SQFT.**



**NORTH ELEVATION**



**WEST ELEVATION**

**EAST ELEVATION: 9.0 SQFT.**

Canopy Overlay - **Sign Type I**  
**NTS**

[www.harbingersign.com](http://www.harbingersign.com)

CLIENT: **7-Eleven #41361 (1046710)**

ADDRESS: **PIONEER ST & S 65TH AVE  
RIDGEFIELD, WA 98642**

CONTACT:

SALES ASSOC.: Rick Guarino

PROJECT MGR: Brian Hutto

DESIGNER: Fernando Mercado

**SVE\_41361 (1046710)\_Q118953\_R3**

Date	Rev.	Description
11.14.19	00	Original
02.21.20	R1	Update with new site plan
03.27.20	R2	Update adding LTC signage
04.02.20	R3	Update with new elevations

**ZONING: MU-W Mixed Use-West  
SQUARE FOOTAGE FORMULA**

<b>ALLOWED TOTAL</b>	<b>139.7 SQ. FT.</b>
<b>PROPOSED TOTAL</b>	<b>121.3 SQ. FT.</b>

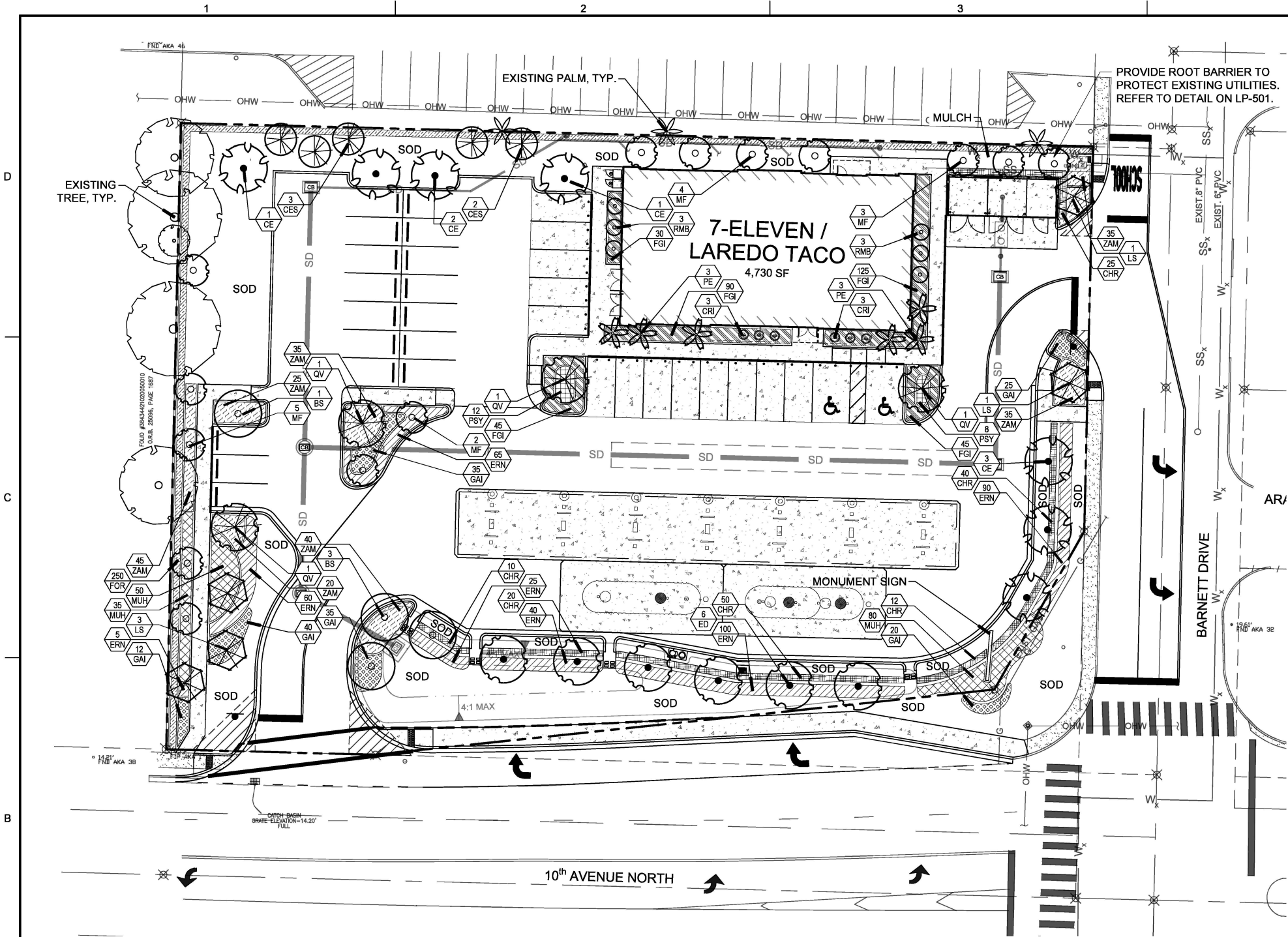
Site Notes:

Customer Approval: \_\_\_\_\_ DATE: \_\_\_\_\_

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THE STRUCTURAL DESIGN CONFORMS TO THE FOLLOWING CODES AND SPECIFICATIONS:  
THE FLORIDA BUILDING CODE SIXTH EDITION (2017), THE AMERICAN INSTITUTE OF STEEL  
CONSTRUCTION(MANUAL OF STEEL CONSTRUCTION, 9TH EDITION), THE AMERICAN WELDING  
SOCIETY(AWS D1.1-15), THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS  
FOR STRUCTURAL CONCRETE(ACI 318-14), THE SPECIFICATION FOR ALUMINUM STRUCTURES  
BY THE ALUMINUM ASSOCIATION(CURRENT EDITION).



NOTES

- SOD TO BE ST. AUGUSTINE 'FLORATAM', EXCEPT IN RETENTION AREAS. CONTRACTOR TO DETERMINE QUANTITY.
- ALL PLANTS TO BE FLORIDA NO. 1 OR BETTER PER FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS.
- ALL TREES TO BE BALLED & BURLAPPED UNLESS SPECIFIED OTHERWISE.
- ALL SOD AND LANDSCAPE TO RECEIVE 100% COVERAGE WITH 100% OVERLAP FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
- BUBBLERS TO BE PROVIDED FOR NEW AND RELOCATED TREES AND PALMS.
- CONTRACTOR IS RESPONSIBLE FOR ALL CONDITIONS AND LANDSCAPE SPECIFICATION ATTACHED TO THIS PLAN AND PLANT LIST. PLAN AND SPECIFICATIONS SHALL BE CONSIDERED CONTRACT DOCUMENTS.
- PRE-CONSTRUCTION MEETING IS REQUIRED BEFORE ANY PLANT MATERIAL IS INSTALLED ON SITE.
- ALL ROAD ROCK, CONCRETE, ASPHALT AND OTHER NON-NATURAL MATERIAL BE REMOVED AND BE REPLACED WITH PLANTING SOIL PRIOR TO LANDSCAPE INSTALLATION.
- NO TRENCHING ALLOWED WITHIN ROOT ZONES OF EXISTING TREES.

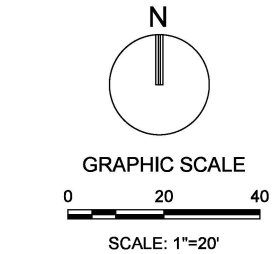
PLANT LIST

CANOPY TREES				
QTY	** N	KEY	PLANT NAME	SIZE / REMARKS
4	** N	BS	Bursera simaruba GUMBO LIMBO	14' HT; 7' SPRD; 4" C.; FULL CANOPY
6	*	ED	Elaeocarpus decipiens JAPANESE BLUEBERRY	12' HT; 6' SPRD; FULL CANOPY
5	*	LS	Lagerstroemia speciosa QUEEN CREPE MYRTLE	12' HT; 6' SPRD; FULL CANOPY
4	** N	QV	Quercus virginiana LIVE OAK	14' HT; 7' SPRD; 3" C.; FULL CANOPY
SMALL/MEDIUM TREES				
QTY	** N	KEY	PLANT NAME	SIZE / REMARKS
7	** N	CE	Conocarpus erectus GREEN BUTTONWOOD	12' HT; 6' SPRD; 2" C.; FULL CANOPY
5	** N	CES	Conocarpus e. 'sericeus' SILVER BUTTONWOOD	8' HT; 4' SPRD; 2" C.; MULTI-STEM; FULL CANOPY
12	** N	MF	Myrsine fragrans SIMPSON STOPPER	8' HT; 4' SPR; 2" C.; STANDARD; FULL CANOPY
PALMS				
QTY	** N	KEY	PLANT NAME	SIZE / REMARKS
6	**	PE	Ptychosperma elegans SOLITAIRE PALM	10' CT; 16' OA HTS; HEAVY

SHRUBS				
QTY	** N	KEY	PLANT NAME	SIZE / REMARKS
157	** N	CHR	Chrysobalanus icaco COCOPLUM	24" HT; 24" SPRD; 24" O.C.
6	**	CRI	Crinum asiaticum CRINUM LILY	36" HT; 36" SPRD; TRIPLE
250	** N	FOR	Forsteria segregata FLORIDA PRIVET	24" HT; 24" SPRD; 24" O.C.
165	** N	MUH	Muhlenbergia capillaris GULF MUHLY GRASS	24" HT; 24" SPRD; 24" O.C.
20	* N	PSY	Psychotria nervosa WILD COFFEE	24" HT; 24" SPRD; 24" O.C.
6	**	RMB	Raphiolepis 'Majestic Beauty' INDIAN HAWTHORN 'STD'	48" HT; 24" SPRD; FULL STANDARD
GROUNDCOVERS				
QTY	** N	KEY	PLANT NAME	SIZE / REMARKS
320	** N	ERN	Erodia littoralis GOLDEN CREEPER	12" HT; 14" SPRD; 18" O.C.
335	**	FGI	Ficus m. 'Green Island' GREEN ISLAND FICUS	12" HT; 14" SPRD; 18" O.C.
132	**	GAI	Gaillardia puchella INDIAN BLANKET	10" HT; 16" SPRD; 18" O.C.
210	** N	ZAM	Zamia pumila (Zamia floridana) COONTIE	18" HT; 18" SPRD; 24" O.C.
	**	SOD	ST. AUGUSTINE 'FLORATAM'	SOLID SOD

- N DENOTES NATIVE SPECIES  
\*\* DENOTES HIGH DROUGHT TOLERANT SPECIES

LANDSCAPE DATA TABLE		
Vehicle Use Area (VUA)	19,401	
Pervious Area		
Total pervious area (SF)	19,208	
Minimum Tree Requirement		
	REQUIRED	PROVIDED
1 large tree for each 625 SF of pervious area (portion = 14,406)	23	26
1 medium tree for each 400 SF of pervious area (portion = 4,802)	12	17
Minimum required trees native to South Florida	75%	75%
Minimum # of species required 16-45 (4), 46-100 (5)	5	7
Shrubs & Groundcovers		
	REQUIRED	PROVIDED
Minimum required vegetation native to South Florida	75%	98%
Buffer/Perimeter Trees		
	REQUIRED	PROVIDED
North (292 LF): 1 tree per 20 LF	15	16
East (181 LF): 1 lg tree per 25 LF	7	5
South (267 LF): 1 lg tree / 25 LF (8 trees = 200LF) 1 med tree / 20 LF (4 trees = 80 LF)	12	10
West (200 LF): 1 lg tree per 20 LF	10	10*
Building Landscape		
1 shrub per every 5 SF of building landscape area (862 SF)	173	257
*INCLUDES EXISTING TREES		
**RIGHT TREE - RIGHT PLACE CONSIDERATIONS		



NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.



301 East Atlantic Boulevard  
Pompano Beach, Florida 33060-6643

120 North Federal Highway, Suite 208  
Lake Worth, Florida 33460

PH: (954) 788-3400

Florida Certificate of  
Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS

NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN  
NOT FOR CONSTRUCTION**  
THESE PLANS ARE NOT FULLY PERMITTED  
AND ARE SUBJECT TO REVISIONS MADE  
DURING THE PERMITTING PROCESS.  
RESPONSIBILITY FOR THE USE OF THESE  
PLANS PRIOR TO OBTAINING PERMITS  
FROM ALL AGENCIES HAVING JURISDICTION  
OVER THE PROJECT WILL FALL SOLELY  
UPON THE USER.



7-ELEVEN #41361  
1900 10TH AVENUE  
NORTH, LAKE WORTH,  
FLORIDA 33461

SCALE: AS NOTED  
1ST SUBMITTAL DATE: MARCH 2020  
DRAWN BY: MP  
DESIGNED BY: WR  
CHECKED BY: MP

Michael J. Phillips  
Digitally signed  
by Michael J  
Phillips  
Date: 2020.06.25  
12:00:02 -04'00'

MICHAEL J. PHILLIPS, RLA  
FLORIDA REG. NO. LA0001540  
(FOR THE FIRM)

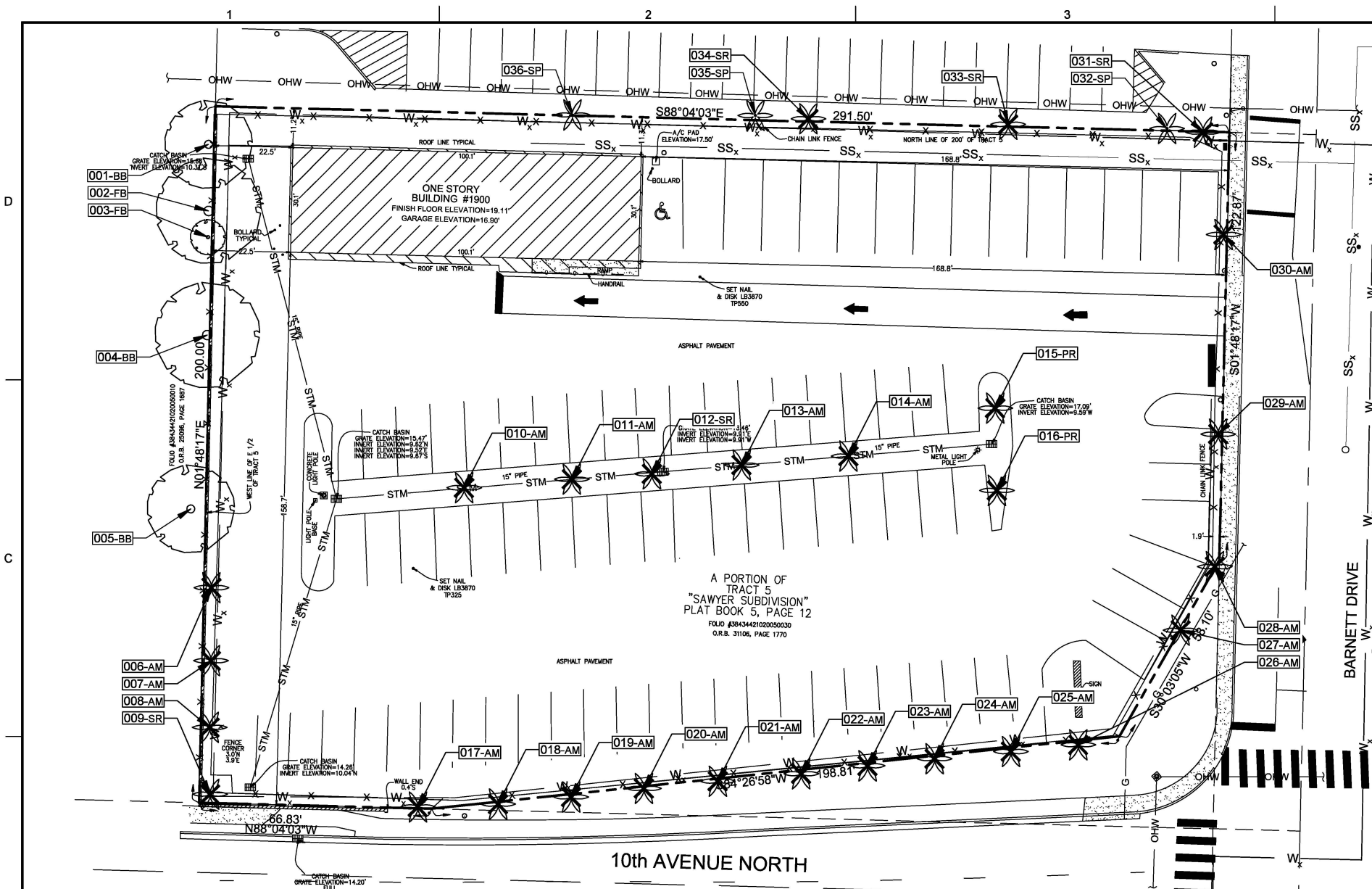
SHEET TITLE

LANDSCAPE  
PLAN

SHEET NUMBER

LP-101

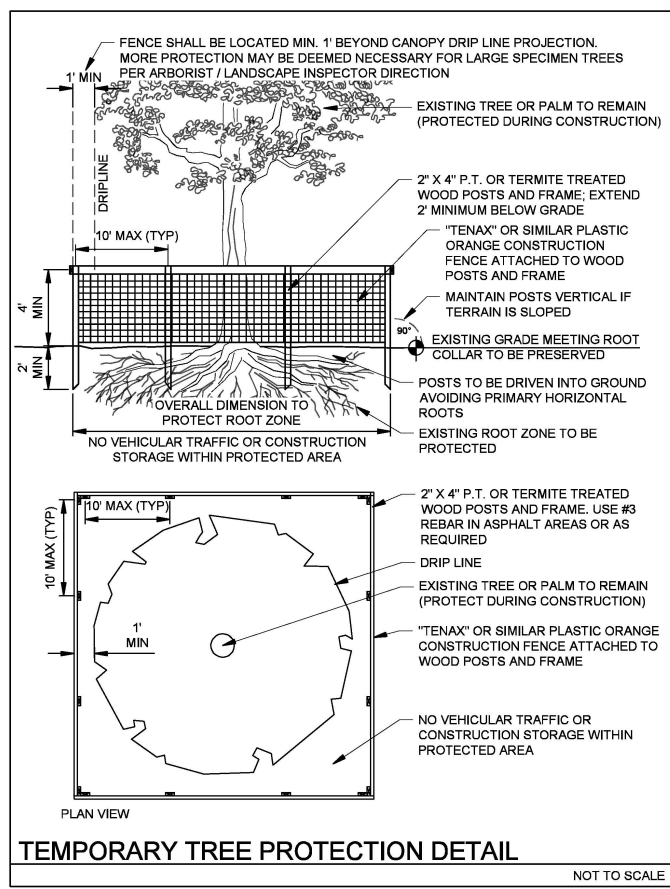
PROJECT NO. 11007.02



TREE DISPOSITION TABLE										
PROJECT #:		PROJECT NAME:								
11007.02		7-ELEVEN 104671								
TREE #	COMMON NAME	SCIENTIFIC NAME	DBH IN.	HEIGHT FT.	CNPLY.	TREE %	CONDITION	TREE DISPOSITION	COMMENTS	APPRAISED VALUE
001	Black Olive	"Bucida buceras"	17	25	25	30%	Poor	REMAIN	Off-site; major trunk damage; pest damage	\$2,000
002	Weeping Ficus	"Ficus Benjaminia"	30	30	30	30%	Poor	REMAIN	Off-site; multi-trunk; pruning damage; suckers	\$3,700
003	Weeping Ficus	"Ficus Benjaminia"	12	20	10	30%	Poor	REMAIN	Off-site; multi-trunk; pruning damage; suckers	\$700
004	Black Olive	"Bucida buceras"	18	30	30	60%	Fair	REMAIN	Off-site; suckers	\$4,800
005	Black Olive	"Bucida buceras"	14	25	25	60%	Fair	REMAIN	Off-site; suckers	\$3,000
006	Christmas Palm	"Adonidia merrillii"	12	CT		50%	Fair	REMOVE	Thin	\$200
007	Christmas Palm	"Adonidia merrillii"	12	CT		30%	Poor	REMOVE	Major trunk damage	\$100
008	Christmas Palm	"Adonidia merrillii"	13	CT		70%	Good	REMOVE		\$250
009	Queen Palm	"Syagrus romanzoffianum"	12	CT		20%	Very poor	REMOVE	Not full; on fence; brown fronds	\$0
010	Christmas Palm	"Adonidia merrillii"	12	CT		70%	Good	REMOVE		\$250
011	Christmas Palm	"Adonidia merrillii"	12	CT		70%	Good	REMOVE		\$250
012	Queen Palm	"Syagrus romanzoffianum"	13	CT		60%	Fair	REMOVE	Not full	\$150
013	Christmas Palm	"Adonidia merrillii"	12	CT		60%	Fair	REMOVE	Thin	\$200
014	Christmas Palm	"Adonidia merrillii"	12	CT		60%	Fair	REMOVE	Thin	\$200
015	Pygmy Date Palm	"Phoenix roebelenii"	NA	NA	NA	NA	NA	REMOVE	NA	NA
016	Pygmy Date Palm	"Phoenix roebelenii"	NA	NA	NA	NA	NA	REMOVE	NA	NA
017	Christmas Palm	"Adonidia merrillii"	12	CT		70%	Good	REMOVE		\$250
018	Christmas Palm	"Adonidia merrillii"	12	CT		70%	Good	REMOVE		\$250
019	Christmas Palm	"Adonidia merrillii"	12	CT		50%	Fair	REMOVE	Brown fronds	\$200
020	Christmas Palm	"Adonidia merrillii"	9	CT		40%	Poor	REMOVE	Thin	\$150
021	Christmas Palm	"Adonidia merrillii"	NA	0%	Dead	0%	Dead	REMOVE	Dead	\$0
022	Christmas Palm	"Adonidia merrillii"	10	CT		60%	Fair	REMOVE	Brown fronds	\$200
023	Christmas Palm	"Adonidia merrillii"	16	CT		70%	Good	REMOVE		\$250
024	Christmas Palm	"Adonidia merrillii"	15	CT		70%	Good	REMOVE		\$250
025	Christmas Palm	"Adonidia merrillii"	9	CT		60%	Fair	REMOVE	Slight yellowing	\$200
026	Christmas Palm	"Adonidia merrillii"	10	CT		60%	Fair	REMOVE	Thin	\$200
027	Christmas Palm	"Adonidia merrillii"	18	CT		70%	Good	REMOVE		\$250
028	Christmas Palm	"Adonidia merrillii"	12	CT		50%	Fair	REMOVE	Thin	\$200
029	Christmas Palm	"Adonidia merrillii"	14	CT		40%	Poor	REMOVE	Yellowing	\$150
030	Christmas Palm	"Adonidia merrillii"	13	CT		40%	Poor	REMOVE	Yellowing	\$150
031	Queen Palm	"Syagrus romanzoffianum"	12	CT		50%	Fair	REMOVE	Not full; yellowing	\$100
032	Sabal Palm	"Sabal palmetto"	4	CT		60%	Fair	REMAIN	Off-site; on fence	\$200
033	Queen Palm	"Syagrus romanzoffianum"	12	CT		40%	Poor	REMOVE	Off-site; not full; curved trunk	\$100
034	Queen Palm	"Syagrus romanzoffianum"	24	CT		30%	Poor	REMOVE	Off-site; not full; curved trunk	\$100
035	Sabal Palm	"Sabal palmetto"	25	CT		60%	Fair	REMAIN	Off-site; curved trunk	\$250
036	Sabal Palm	"Sabal palmetto"	16	CT		50%	Fair	REMAIN	Off-site; yellowing	\$250

TREE DISPOSITION LEGEND:	
	EXISTING TREE/PALM TO REMAIN (NO SYMBOL); TO BE PROTECTED DURING CONSTRUCTION
△	EXISTING TREE/PALM TO RELOCATE REFER TO LANDSCAPE PLAN FOR NEW LOCATION
×	EXISTING TREE/PALM TO REMOVE REMOVE ALL CAT 1 INVASIVE EXOTICS (EX: BRAZ. PEPPER)
XXX-xx	EXISTING TREE/PALM NUMBER REFER TO TREE DISPOSITION TABLE ON LD-102

- TREE DISPOSITION NOTES:**
- EXISTING TREES TO REMAIN SHALL BE TRIMMED PER ANSI-A300 STANDARDS, REMOVING WEAKEST RUBBING BRANCHES AND DEAD BRANCHES, BUT RETAINING 80% OF FOLIAGE. LARGE TREES SHALL HAVE LOWER BRANCHES CLEARED UP TO 8'.
  - SYMBOLS MAY BE SHOWN OFFSET FROM ACTUAL TREE LOCATION FOR CLARITY.
  - CONTACT LANDSCAPE ARCHITECT / ISA CERTIFIED ARBORIST FOR CLARIFICATION ON ANY DISCREPANCIES.
  - TRIMMING AND ANY NECESSARY ROOT PRUNING SHALL BE PERFORMED OR SUPERVISED BY A CERTIFIED ARBORIST.
  - ALL TREE WORK REQUIRE PERMITTING BY A REGISTERED COUNTY TREE TRIMMER.
  - BUBBLERS SHALL BE PROVIDED FOR ALL RELOCATED TREES AND PALMS.
  - REMOVAL OF ANY TREES OR PALMS WILL REQUIRE A WRITTEN "TREE REMOVAL PERMIT" FROM THE LOCAL GOVERNING AGENCY PRIOR TO REMOVAL. CONFIRM WITH LOCAL GOVERNING AGENCY THAT TREES CLASSIFIED AS NUISANCE/EXOTIC INVASIVE MAY BE EXEMPT.
  - ALL TREES AND PLANT MATERIAL TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. REFER TO TREE PROTECTION DETAIL. THE CONTRACTOR SHALL TAKE EXTRA CAUTION TO PREVENT ANY DAMAGE TO THE TRUNK, ROOT ZONES AND GRADE.



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120 North Federal Highway, Suite 208  
Lake Worth, Florida 33460

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Florida Certificate of  
Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS

NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN  
NOT FOR CONSTRUCTION**

THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

**7-ELEVEN #41361**  
1900 10TH AVENUE  
NORTH, LAKE WORTH,  
FLORIDA 33461

SCALE: AS NOTED  
1ST SUBMITTAL DATE: MARCH 2020  
DRAWN BY: MP  
DESIGNED BY: WR  
CHECKED BY: MP

Digitally signed by Michael J Phillips  
Date: 2020.06.25 11:57:21 -04'00'

MICHAEL J. PHILLIPS, RLA  
FLORIDA REG. NO. LA0001540  
(FOR THE FIRM)

SHEET TITLE  
**TREE DISPOSITION PLAN**

SHEET NUMBER  
**LD-101**

PROJECT NO. **11007.02**

Drawing name: \\11111007.02-7-11-1980 10th Ave. N. Lake Worth FL Landscape Architecture\CA\111007.02-LD-101.dwg Plotted on: Jun 25, 2020 - 9:58am Layout Name: LD-101

D

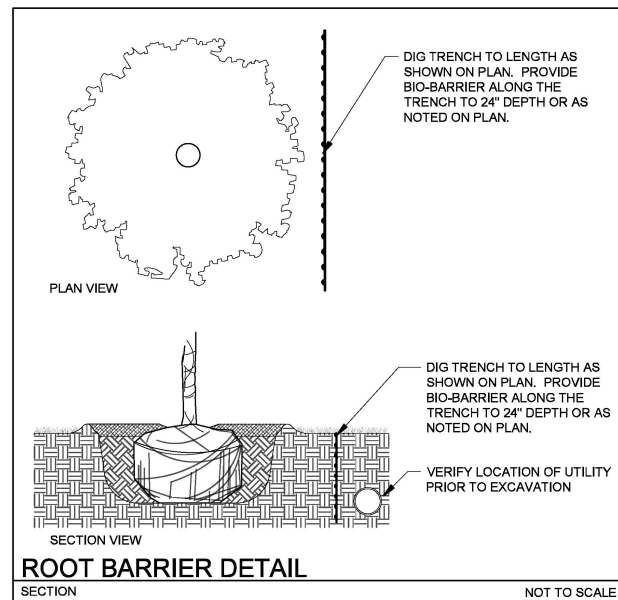
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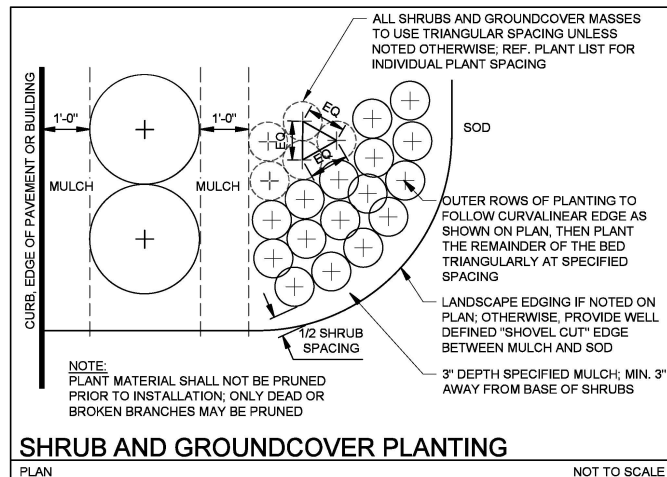
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**NOTE:**

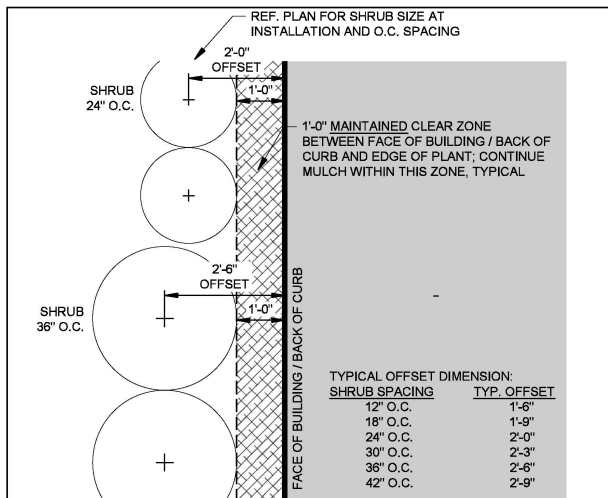
- REF. LP-001, LANDSCAPE NOTES, FOR ADDITIONAL REQUIREMENTS.
- ROOT BALL SIZE FOR ALL TREES AND PALMS TO BE IN PROPORTION TO SIZE AND TYPE OF PALM PER FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS.

**ROOT BARRIER DETAIL**

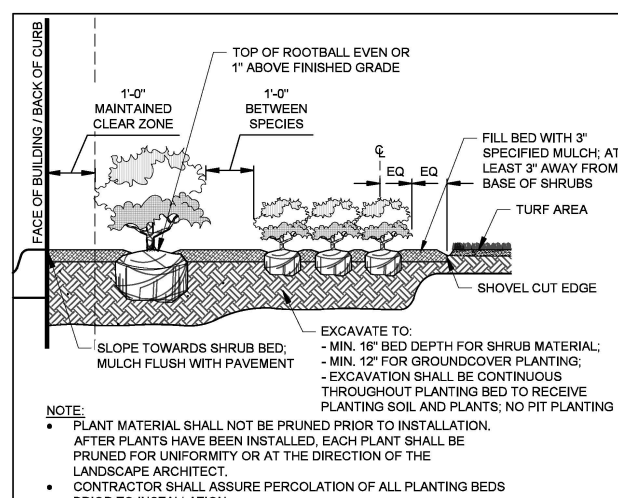
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**SHRUB AND GROUNDCOVER PLANTING**

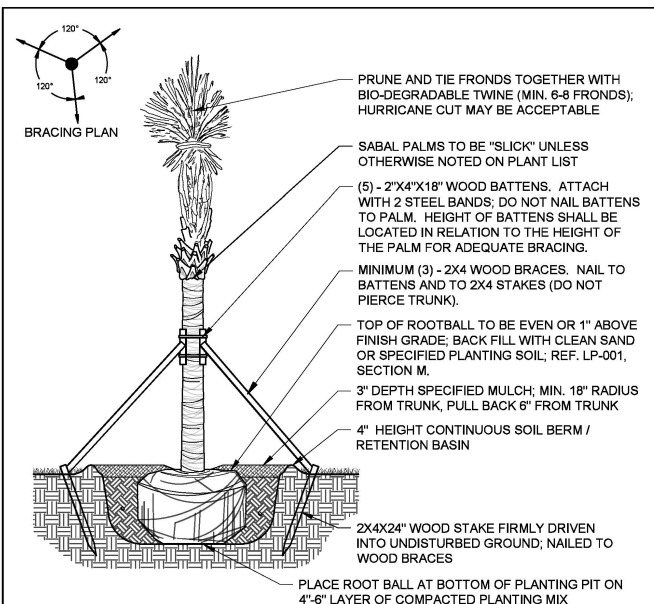
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**TYPICAL SHRUB OFFSET AT BUILDING / CURB**

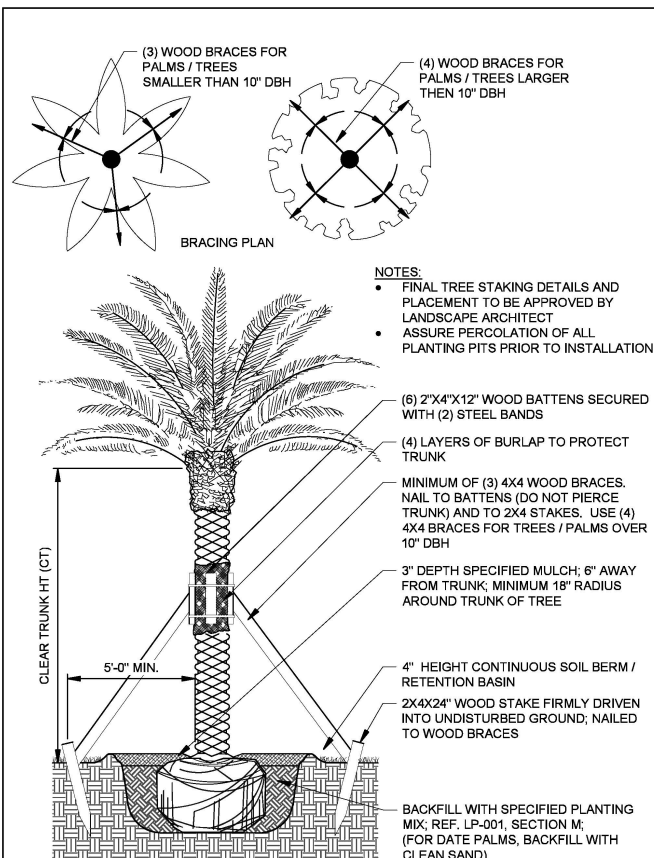
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**SHRUB AND GROUNDCOVER PLANTING**

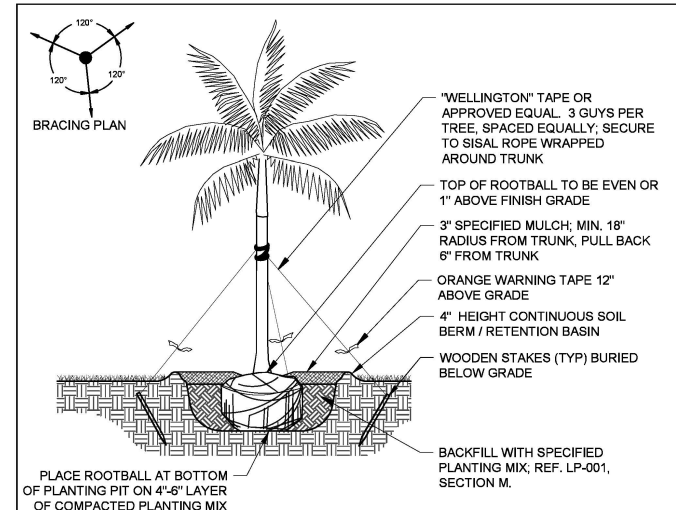
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**SABAL PALM PLANTING DETAIL**

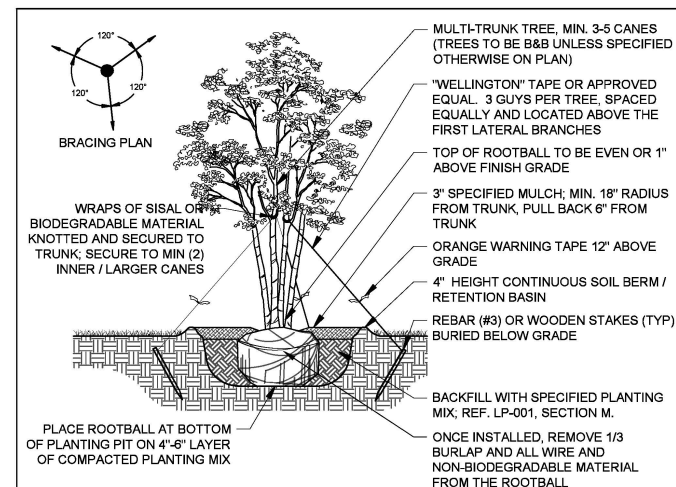
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**LARGE TREE / PALM PLANTING DETAIL**

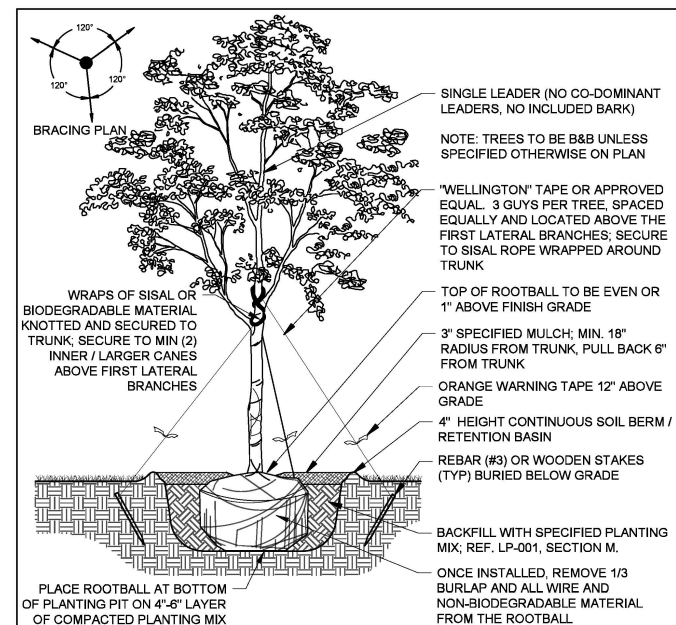
NOT TO SCALE

**PALM PLANTING DETAIL - SMALL / MEDIUM**

NOT TO SCALE

**TREE PLANTING DETAIL - MULTI-TRUNK**

NOT TO SCALE

**TREE PLANTING DETAIL - SINGLE TRUNK**

NOT TO SCALE



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Lake Worth, Florida 33460

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BID / CONTRACT NO. :

**REVISIONS**

NO.	DESCRIPTION	DATE

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1900 10TH AVENUE  
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FLORIDA 33461

SCALE: AS NOTED

1ST SUBMITTAL DATE: MARCH 2020

DRAWN BY: MP

DESIGNED BY: WR

CHECKED BY: MP

**Michael J Phillips**  
Digitally signed  
by Michael J  
Phillips  
Date: 2020.06.25  
12:00:59 -04'00'

MICHAEL J. PHILLIPS, RLA  
FLORIDA REG. NO. LA0001540  
(FOR THE FIRM)

SHEET TITLE

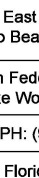
**LANDSCAPE  
DETAILS**

SHEET NUMBER

**LP-501**

PROJECT NO. 11007.02

[illegible]

 <b>KEITH</b> 301 East Atlantic Boulevard Pompano Beach, Florida 33060-6643		
120 North Federal Highway, Suite 208 Lake Worth, Florida 33460		
PH: (954) 788-3400		
Florida Certificate of Authorization # - 7928		
BID / CONTRACT NO. :		
<b>REVISIONS</b>		
NO.	DESCRIPTION	DATE
<b>PRELIMINARY PLAN          NOT FOR CONSTRUCTION</b> THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.		
 <b>7-ELEVEN #41361</b> <b>1900 10TH AVENUE</b> <b>NORTH, LAKE WORTH</b> <b>FLORIDA 33461</b>		
SCALE:		AS NOTED
1ST SUBMITTAL DATE:		MARCH 2021
DRAWN BY:		MP
DESIGNED BY:		WJ
CHECKED BY:		MP
<div style="display: flex; justify-content: space-between; align-items: center;"> <div style="width: 40%;"> <b>Michael J Phillips</b> </div> <div style="width: 60%;">           Digitally signed            by Michael J Phillips            Date: 2020.06.11            11:59:09 -04'00'         </div> </div>		
MICHAEL J. PHILLIPS, RLA FLORIDA REG. NO. LA0001540 (FOR THE FIRM)		
SHEET TITLE		
<b>LANDSCAPE NOTES</b>		
SHEET NUMBER		
<b>LP-001</b>		
PROJECT NO. <b>11007.02</b>		