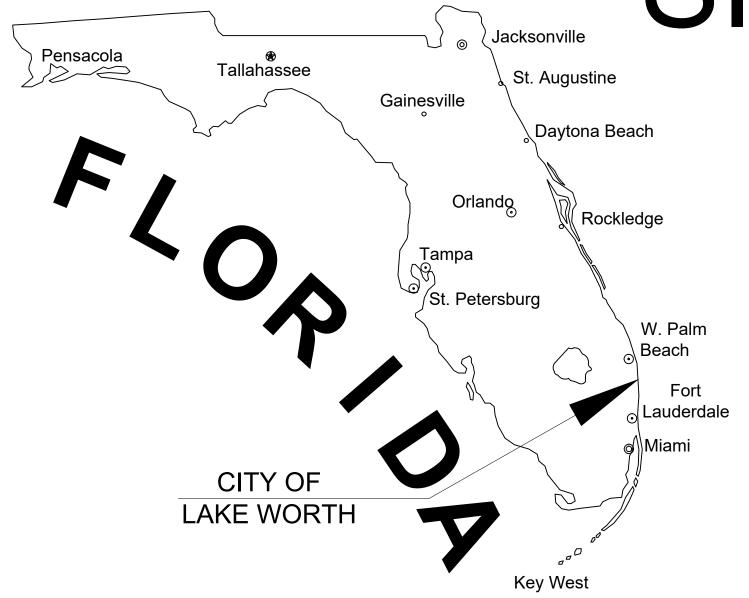
Attachment B Site Plan Package

SITE PLAN SUBMITTAL - PZB



FOR

7-ELEVEN 41361

1900 10th AVENUE NORTH LAKE WORTH, FLORIDA 33461

SITE LOCATION

LOCATION MAP
SECTION 21, TOWNSHIP 44 S, RANGE 43 E
FOLIO #38434421020050030

	INDEX OF SHEETS
Sheet Identification	Sheet Title
	COVER
	SURVEY
SP-101	SITE PLAN
SP-102	VEHICLE CIRCULATION PLAN
SP-103	PERVIOUS / IMPERVIOUS EXHIBIT
	CIVIL PLANS
GI-001	LEGEND
GI-002	CONSTRUCTION SPECIFICATIONS
GI-003	GENERAL NOTES
CG-101	EROSION AND SEDIMENT CONTROL
CD-101	DEMOLITION PLAN
CP-101	PAVING, GRADING, DRAINAGE AND UTILITY PLAN
CP-501 - CP-504	ENGINEERING DETAILS
CM-101	PAVEMENT MARKING AND SIGNAGE PLAN
	LANDSCAPE PLANS
LD-101	TREE DISPOSITION PLAN
LP-001	LANDSCAPE NOTES
LP-101	LANDSCAPE PLAN
LP-501	LANDSCAPE DETAILS
	ARCHITECTURAL PLANS
A-120	FLOOR PLAN
A-121	ROOF PLAN
A-200-202	EXTERIOR ELEVATIONS
PAGES 1-7	SIGN PLANS

PHOTOMETRIC PLAN

LAND DESCRIPTION:

THE SOUTH 220 FEET OF THE EAST HALF (1/2) OF TRACT 5 OF THE SUBDIVISION OF THE WEST HALF (1/2) OF SECTION 21, TOWNSHIP 44 SOUTH, RANGE 43 EAST, PLAT BOOK 5, PAGE 12, LESS THE SOUTH 20 FEET THEREOF, LESS THE EAST 25 FEET THEREOF AND LESS THAT PARCEL TAKEN FOR 10TH AVENUE AND STATE ROAD 9 (I-95) RIGHT-OF-WAY, BEING PARCEL No. 520.1-R SECTION 93220-2405, ALL OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, TO WIT.

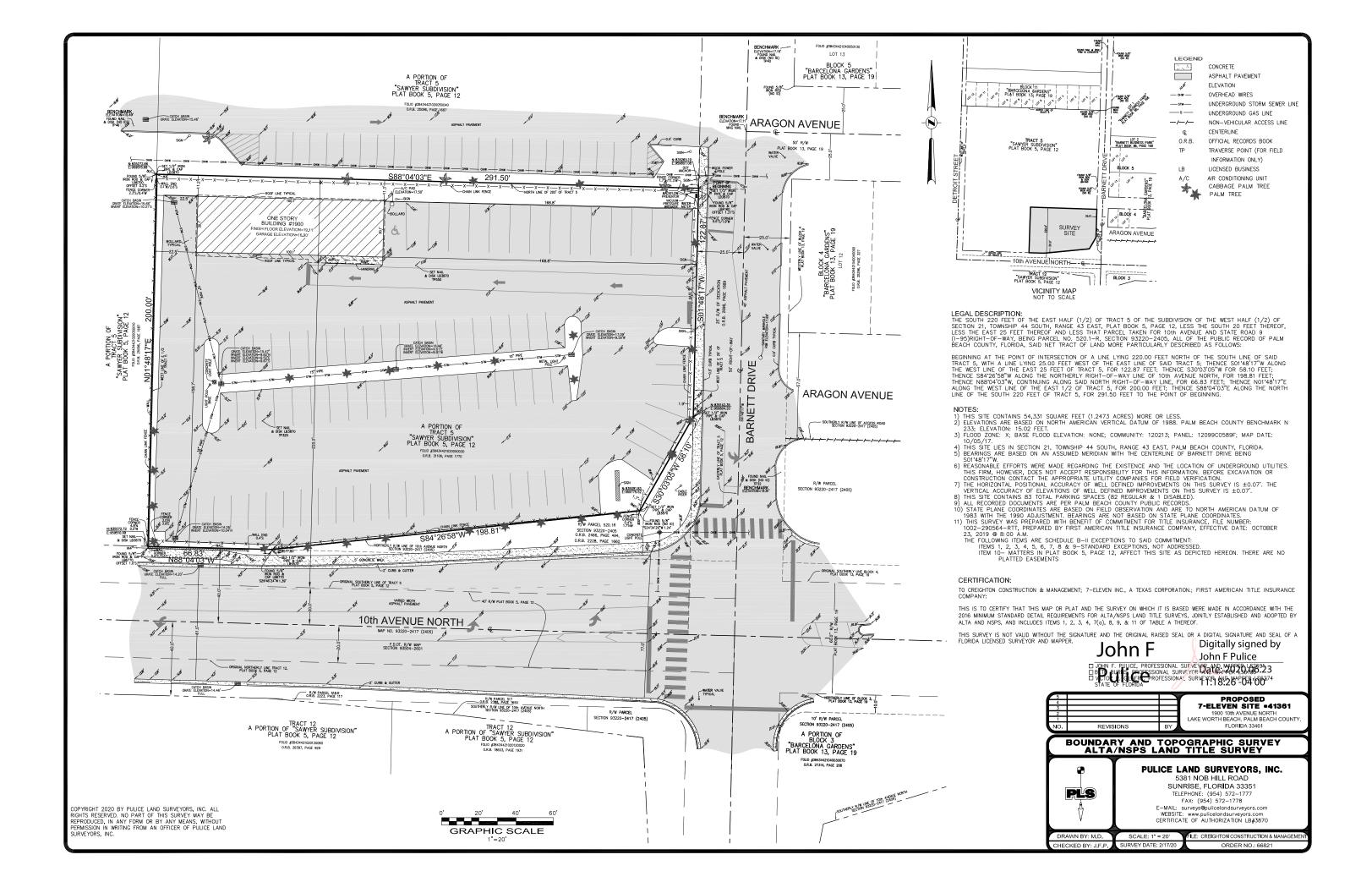
THESE PLANS MAY HAVE BEEN
REDUCED IN SIZE BY REPRODUCTION.
THIS MUST BE CONSIDERED WHEN
OBTAINING SCALED DATA.



PREPARED FOR:
CREIGHTON CONSTRUCTION AND MANAGEMENT, LLC
900 S.W. PINE ISLAND ROAD, SUITE 202,
CAPE CORAL, FL 33991



PROJECT No. 11007.02 DATE: 05/14/2020



NOTES: ADJACENT LAND: **BUILDING CANOPY (REFER** LAND USE: INDUSTRIAL TO ARCHITECTURAL PLANS) ZONING: I-POC PROPOSED CO2 — PROPOSED DRAINAGE PROPOSED PERVIOUS STORAGE 10' BUILDING STRUCTURE (REFER CONCRETE PROPOSED SETBACK LINE ROJECT ADDRESS: TO CIVIL PLANS) PROPOSED DUMPSTER 1900 10th Avenue North, Lake Worth Beach, FL 33461 BOLLARD (TYP) 5' LANDSCAPE -ROJECT INFORMATION: **BUFFER LINE** LAND USE DESIGNATION 10.17' ZONING DESIGNATION: 18.66' FOLIO NUMBER CL OF GROSS SITE AREA (S.F.) PER SURVEY ROAD 9' PROPOSED PERVIOUS CONCRETE 7-ELEVEN / TYPE OF USE RETAIL BUILDING AREA **LAREDO TACO EXISTING WALL** VEHICLE FILLING STATION AREA ON PROPERTY 25' TOTAL BUILDING FOOTPRINT LINE PROPOSED 18' -ONING DISTRICT REQUIREMENTS: BOLLARD (TYP) ADJACENT LAND: BUILDING HEIGHT AT SETBACK LAND USE: MU-W √5) BUILDING COVERAGE AREA ZONING: MU-W FLOOR AREA RATIO (1.3 Max) LANDSCAPE COVERAGE / PERVIOUS AREA 29.84 IMPERVIOUS AREA COVERAGE 13.54 7.42' 10.88 10' LANDSCAPE SETBACK REQUIREMENTS: **BUFFER LINE** FRONT YARD (CANOPY) 7.66 6 SIDE (INTERIOR) YARD (CANOPY) 20' BUILDING BUILDING -SETBACK LINE STREET SIDE YARD (CANOPY) CANOPY **PROPERTY** SD . REAR YARD (BUILDING) 24 LINE ANDSCAPE BUFFER: 품 PROPOSED 9'X18' FRONT YARD (SOUTH) 40 84 STANDARD SIDE INTERIOR YARD (WEST) PARKING SPACE PROPOSED FUEL CANOPY **--** 18' -• STREET SIDE YARD (FAST) 20' W/ WHEEL STOP (7 PUMPS / 14 FUELING POSITIONS) B. REAR YARD (NORTH SITE AREA CALCULATIONS: 20' BUILDING 30.21 SETBACK LINE 20' PROPOSED BUILDING (INCLUDES OVERHANGS AND FUEL CANOPY) VEHICLE USE AREAS (ASPHALT & CONCRETE PAVEMENT) PROPOSED **PROPOSED** SIDEWALKS/CONCRETE (INCLUDES 50% OF OVERALL 7,191 SF SIDEWALK SIGN EXISTING 20'X20' SIGHT TOTAL IMPERVIOUS (SF) **PUBLIC** TRIANGLE TOTAL IMPERVIOUS (%) PER SECTION 23.3-18.c ERVIOUS AREAS EXISTING PUBLIC PERVIOUS PAVEMENT (CALCULATED AT 50% OF OVERALL 7,191 SF AREA) SIDEWALK LANDSCAPE PLANTING AREA TOTAL PERVIOUS AREAS (SF) FRONT TOTAL PERVIOUS AREAS (%) PROPERTY LINE PROPOSED PARKING REQUIRMENTS PROPOSED TURN FUEL VENTS RETAIL = 4496 SF (1 PER 200SF) LANE (REFER TO 10' LANDSCAPE PROPOSED RESTAURANT SEATING = 234 SF (1 PER 75 SF) CIVIL PLANS) PROPOSED BUFFER LINE UNDERGROUND FILLING STATION (6 SPACE MINIMUM) PUBLIC **FUEL TANKS** TOTAL GROSS PARKING REQUIRED 20' BUILDING PROPOSED SIDEWALK SIDEWALK SHARED PARKING CLAUSE (-25%) SETBACK LINE PROPOSED ENCROACHMENT INTO TOTAL NET PARKING REQUIRED AIR/VAC SYSTEM PROPERTY PROVIDED PARKING SPACES PROVIDED ADA SPACES: 10TH AVENUE NORTH TOTAL PARKING PROVIDED CL OF ROAD

- REFER TO ARCHITECTURAL PLANS FOR INTERIOR FLOOR PLAN LAYOUT
- 2. DELIVERY TRUCKS TO USE SERVICE ENTRANCE FROM 10TH AVENUE NORTH (SEE SHEET SP-102)

SITE DATA TABLE:

Mixed-Use West

54,331 SF

Auto-Sales;

Truck Rentals

N/A

N/A

1.600 SF

EXISTING

PERVIOUS PAVEMENT AREA)

(9'X18')

84

Mixed-Use West (MU-W)

38-43-44-21-02-005-0030 **EXISTING**

REQUIRED

13,000 SF Min

50% of Site Area

MAX

27.165 SF MAX

REQUIRED

24 FT

50% MAX

70,630 SF MAX

35% MIN

REQUIRED

32 FT MAX

20 FT

N/A

20 FT

10 FT

REQUIRED

10 FT

5 FT

10 FT

5 FT

REQUIRED

27,165 SF MAX

N/A

35,315 SF MAX

65%

19.016 SF MIN

35%

REQUIRED

23

32

24



GRAPHIC SCALE

20

SCALE: 1"=20'

<u>PROPOSED</u>

54,331

4,730

3,112

7.842

24

14%

7,842

35.4%

64.6%

30.21

91.65

N/A

40.84

10

10

8.081

19,401

7 642

35.124

64.6%

3,596

15,612

19.208

35.4%

Vehicle Filling

Retail

NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.

301 East Atlantic Boulevard Pompano Beach, Florida 33060-6643

120 North Federal Highway, Suite 208 Lake Worth, Florida 33460

PH: (954) 788-3400

Florida Certificate of Authorization # - 7928

BID / CONTRACT NO.

REVISIONS

DESCRIPTION

PRELIMINARY PLAN

NOT FOR CONSTRUCTION AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS

RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY



7-ELEVEN #41361 1900 10TH AVENUE NORTH, LAKE WORTH

FLORIDA 33461 AS NOTED 1ST SUBMITTAL DATE: MARCH 2020 MG TD

Date: 2020.06.23 11:05:41-04'00'
THOMAS F. DONAHUE, P.E.
FLORIDA REG. NO. 60529
(FOR THE FIRM)

SITE PLAN

SHEET NUMBER

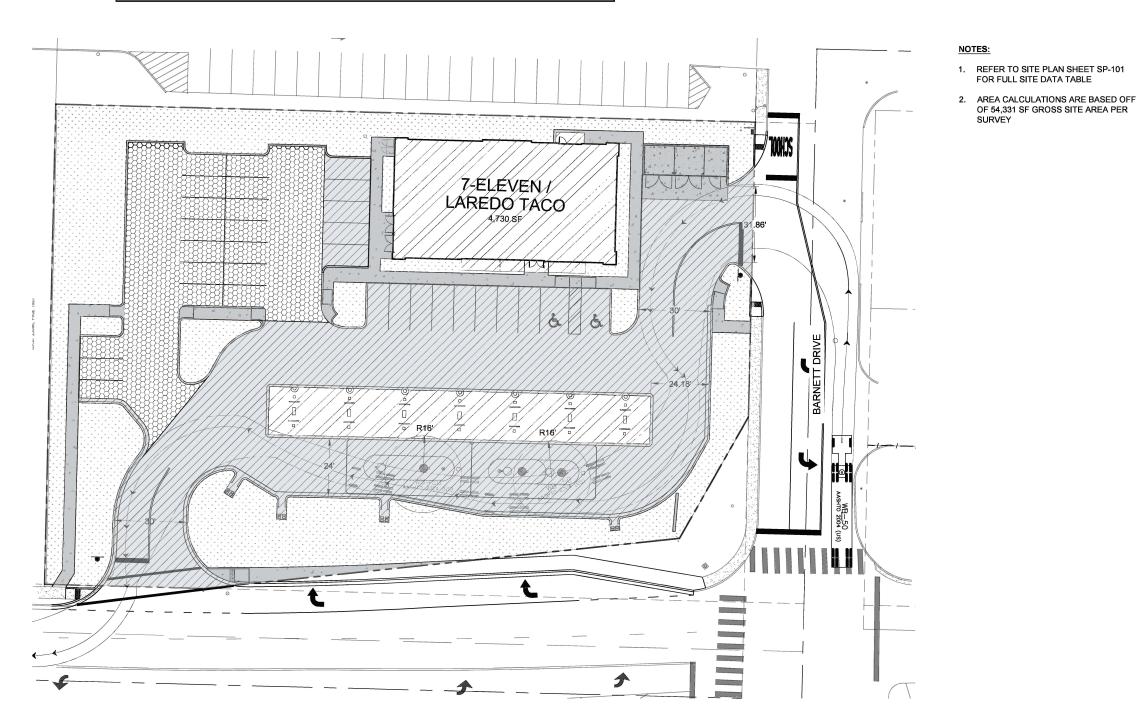
SP-101

PROJECT NO. 11007.02

Station w/ Accessory PROPOSED PROPOSED PROPOSED PROPOSED DRAWN BY: DESIGNED BY: CHECKED BY is item has been girlally signed and lalled by Thomas Donahue, P.E. the date lijacent to the PROPOSED SHEET TITLE

SITE AREA CALCULATIONS:	REQUIRED	PROPOSED	.
IMPERVIOUS AREAS			
PROPOSED BUILDING (INCLUDES OVERHANGS AND FUEL CANOPY)	27,165 SF MAX	8,081	SF
VEHICLE USE AREAS (ASPHALT & CONCRETE PAVEMENT)	N/A	19,401	SF
SIDEWALKS/CONCRETE (INCLUDES 50% OF OVERALL 7,191 SF			
PERVIOUS PAVEMENT AREA)		7,642	SF
TOTAL IMPERVIOUS (SF)	35,315 SF MAX	35,124	SF
TOTAL IMPERVIOUS (%) PER SECTION 23.3-18.c	65%	64.6%	
PERVIOUS AREAS			
PERVIOUS PAVEMENT (CALCULATED AT 50% OF OVERALL 7,191 SF A	AREA)	3,596	SF
LANDSCAPE PLANTING AREA		15,612	_
TOTAL PERVIOUS AREAS (SF)	19,016 SF MIN	19,208	
TOTAL PERVIOUS AREAS (%)	35%	35.4%	

	PROPOSED BUILDING
	VEHICLE USE AREA
	SIDEWALKS / CONCRETE
	PERVIOUS PAVEMENT
	PERVIOUS AREA





GRAPHIC SCALE

SCALE: 1"=20'

NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.



301 East Atlantic Boulevard Pompano Beach, Florida 33060-6643

120 North Federal Highway, Suite 208 Lake Worth, Florida 33460

PH: (954) 788-3400

Florida Certificate of Authorization # - 7928

BID / CONTRACT NO.:

REVISIONS NO. DESCRIPTION

PRELIMINARY PLAN
NOT FOR CONSTRUCTION
THESE PLANS ARE NOT FULLY PERMITTED
AND ARE SUBJECT TO REVISIONS MADE
DURING THE PERMITTING PROCESS.
RESPONSIBILITY FOR THE USE OF THESE
PLANS PRIOR TO DATABINING PERMITS
FROM ALL AGENCIES HAVING JURISDICTION
OVER THE PROJECT WILL FALL SOLELY
UPON THE USER.



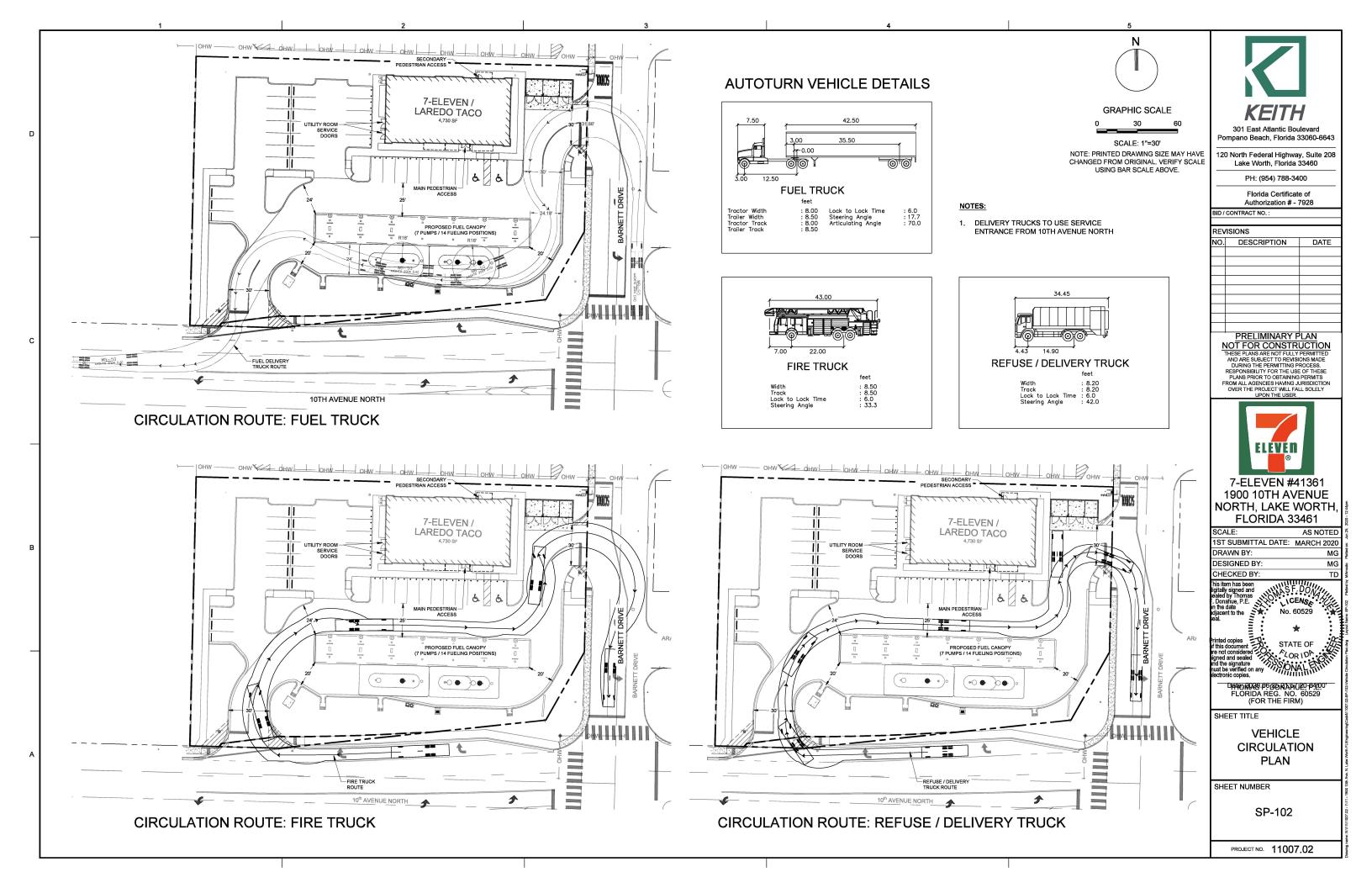
7-ELEVEN #41361 1900 10TH AVENUE NORTH, LAKE WORTH, FLORIDA 33461

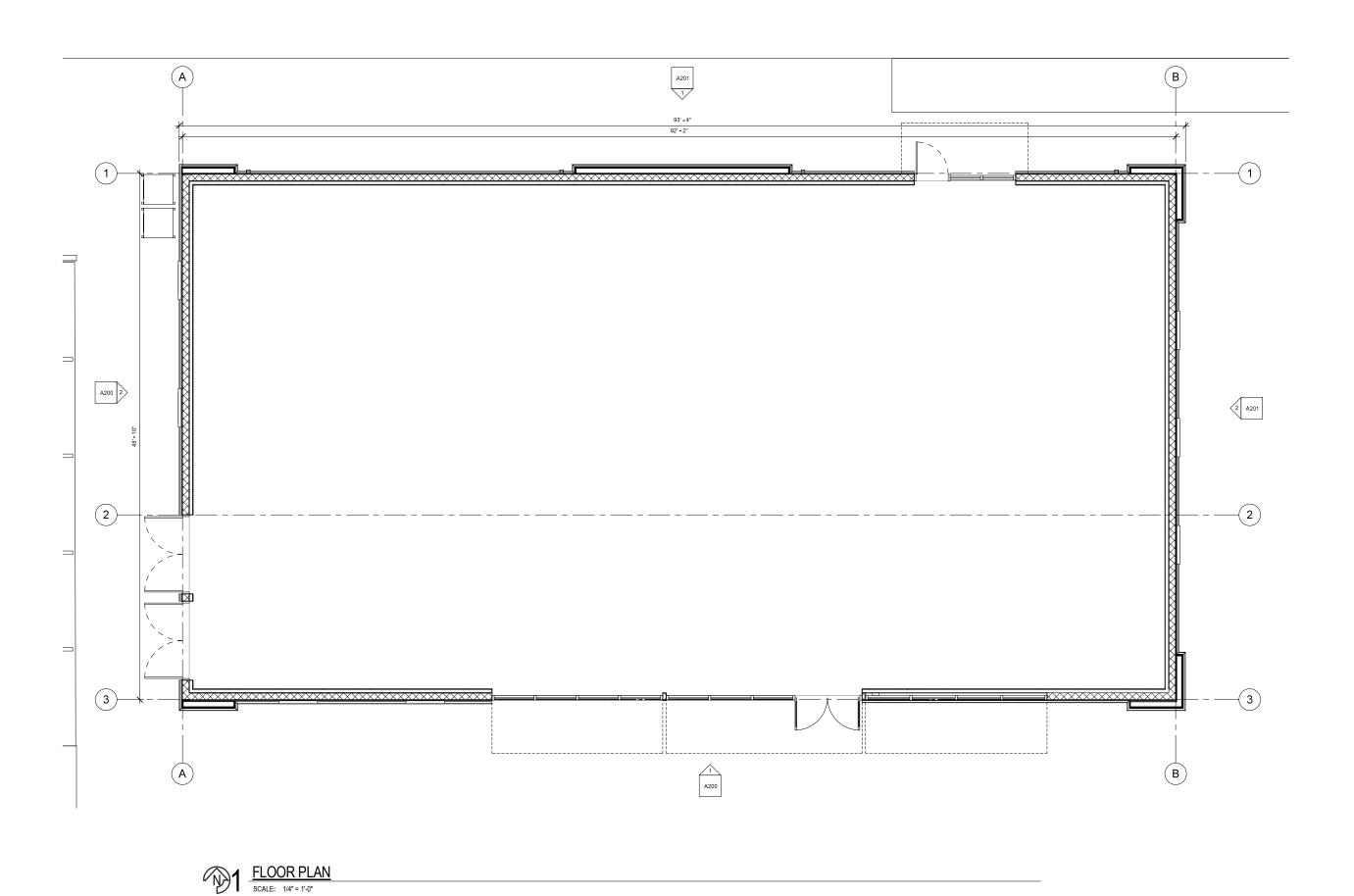
SCALE:	AS NOTED
1ST SUBMITTAL DATE:	MARCH 2020
DRAWN BY:	MG
DESIGNED BY:	MG
CHECKED BY:	TD.
diacent to the seal. No. eal. rinted copies STA	0. 60529
SHEET TITLE	

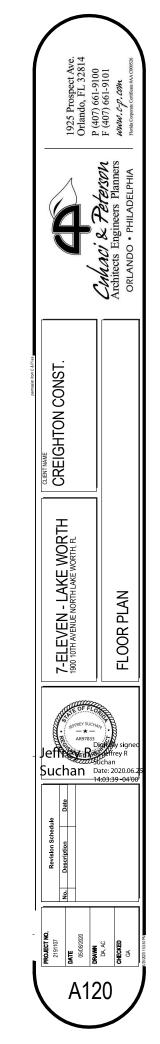
PERVIOUS / **IMPERVIOUS EXHIBIT**

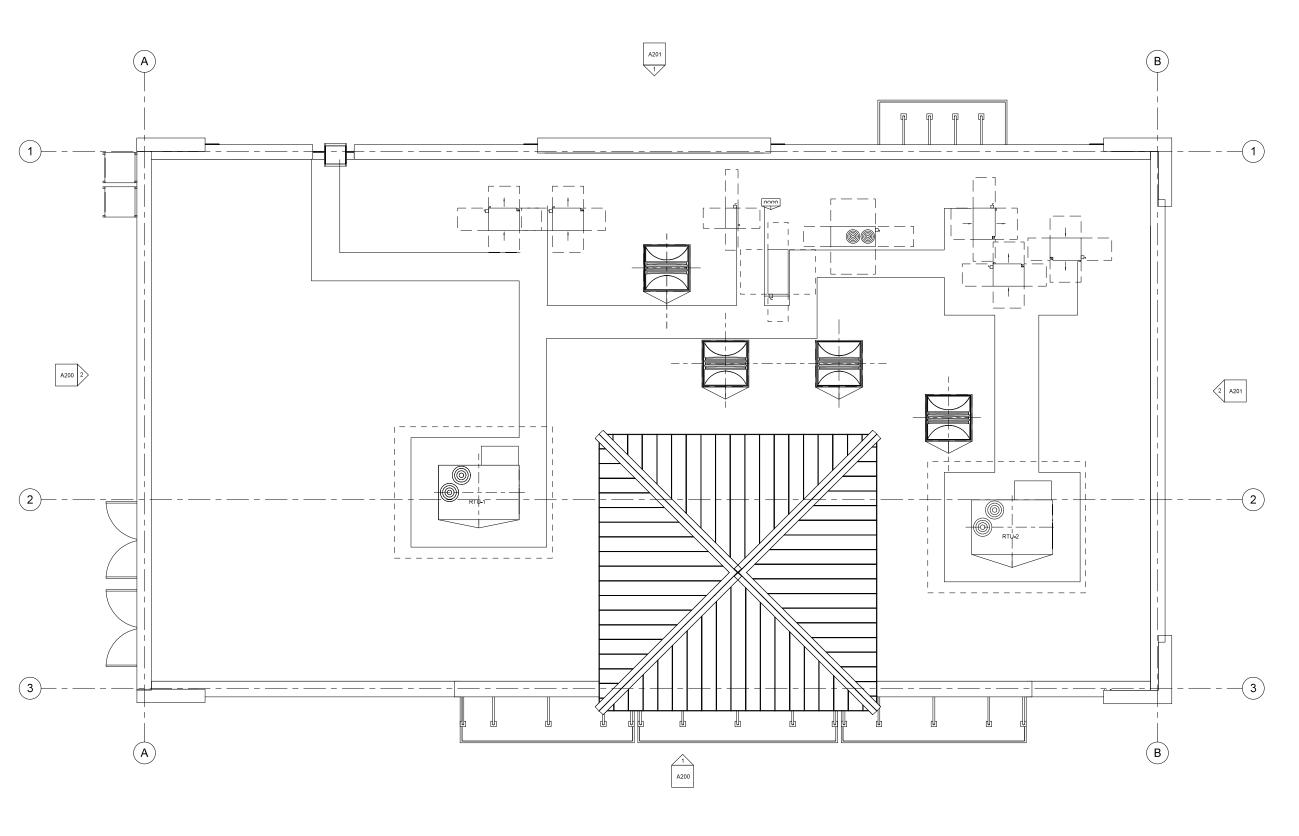
SHEET NUMBER

SP-103

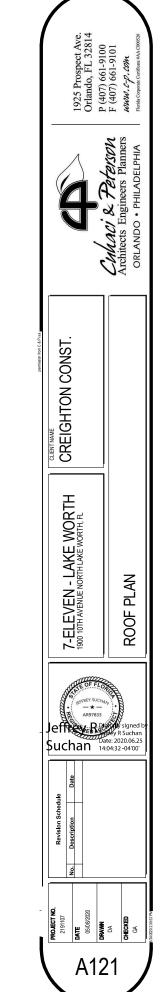




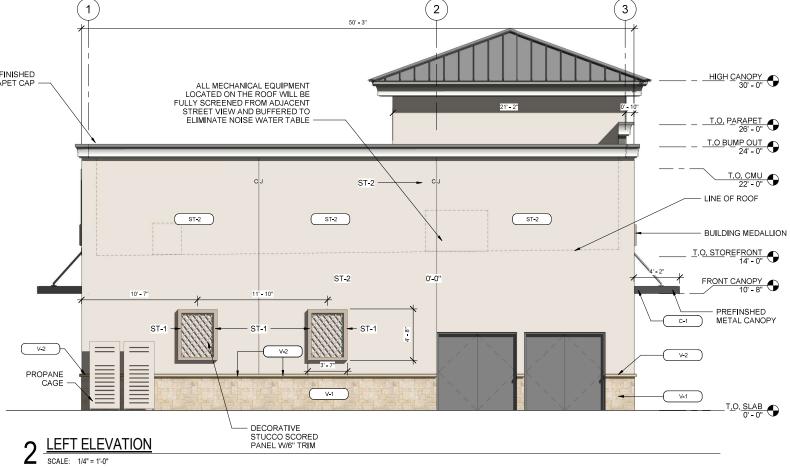




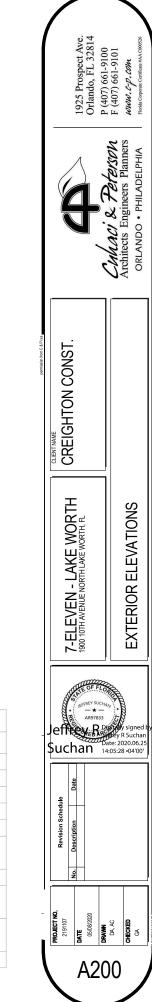






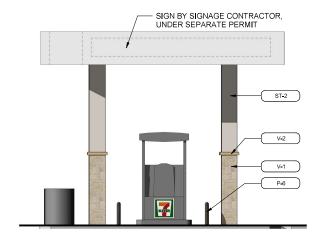


		EXTERIOR M	IATERIALS SCHEDULE		
COLOR	COLOR NO. MATERIAL MANUFACTURER - COLOR				
	MR-1	MEMBRANE ROOFING	DUROLAST - WHITE		
	ST-1	PAINTED STUCCO	SHERWIN WILLIAMS BALANCED BEIGE - SW 7037 - LRV 46		
	ST-2	PAINTED STUCCO	SHERWIN WILLIAMS - AESTHETIC WHITE - SW 7035 - LRV 73		
早度	V-1	VENEER STONE	EQUAL TO CORAL STONE BY CULTURED STONE - FOSSIL REEF		
	V-2	WATERTABLE/ SILL	EQUAL TO CORAL STONE BY CULTURED STONE - CHAMPAGNE		
	P-3	EXTERIOR HOLLOW METAL DOORS, FRAMES, TRASH ENCLOSURE GATE, GRAVEL GUARDS AND LIGHT POLES	SHERWIM WILLIAMS - SEAL SKIN SW 7675		
	P-6	EXTERIOR BOLLARDS	SHERWIM WILLIAMS - SEAL SKIN SW 7675		
	S-1	ALUMINUM STOREFRONT GLAZING, CAP FLASHING, DOWNSPOUTS & SCUPPERS	DARK BRONZE		
	C-1	PREFINISHED ALUMINUM CANOPY	AWNING WORKS OR THOMPSON AWNING - TO MATCH STOREFRONT COLOR W/REAR GUTTER CONNECTIONS		
	FC-1	FUEL CANOPY FASCIA	REYNOBOND CORP EASTMAN WHITE - PY - 25		

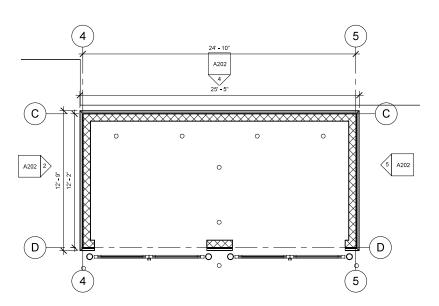


GAS CANOPY FRONT

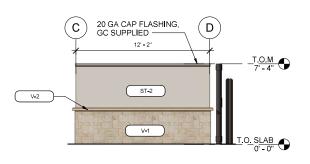
SCALE: 3/16" = 1'-0"



GAS CANOPY LEFT SCALE: 1/4" = 1'-0"



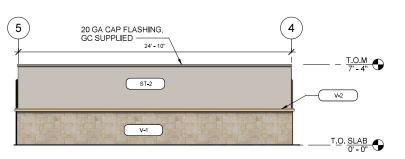




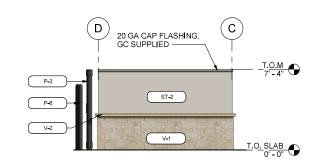
DUMPSTER LEFT ELEVATION



3 DUMPSTER FRONT ELEVATION SCALE: 1/4" = 1'-0"



DUMPSTER REAR ELEVATION SCALE: 1/4" = 1'-0"



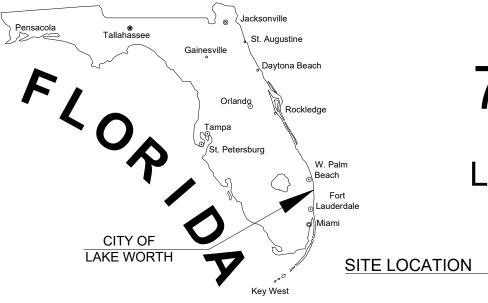
DUMPSTER RIGHT ELEVATION SCALE:





1925 Prospect Ave. Orlando, FL 32814 P (407) 661-9100 F (407) 661-9101 www.c-p.com

PRELIMINARY ENGINEERING PLANS



FOR

7-ELEVEN 41361

1900 10th AVENUE NORTH LAKE WORTH, FLORIDA 33461



PERMITTING AGENCIES	PERMIT NO.	EXPIRES
CITY OF LAKE WORTH		
PALM BEACH COUNTY LAND DEVELOPMENT		
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION		
FLORIDA DEPT OF HEALTH IN PALM BEACH COUNTY		
SOUTH FLORIDA WATER MANAGEMENT DISTRICT		

INDEX OF SHEETS

COVER

SURVEY

LEGEND

GENERAL NOTES

DEMOLITION PLAN

ENGINEERING DETAILS

Sheet Title

CONSTRUCTION SPECIFICATIONS

EROSION AND SEDIMENT CONTROL PLAN

PAVEMENT MARKING AND SIGNAGE PLAN

PAVING, GRADING, DRAINAGE AND UTILITY PLAN

Sheet Identification

GI-001

GI-002

GI-003

CG-101

CP-501 - CP-504

heet Sequence No.

RELATIONSHIP BETWEEN NGVD 1929 AND NAVD 1988

DATUM	DIFFERENCE	ELEV.
NGVD 1929	+1.52 FEET	1.52'
NAVD 1988		0.00'

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON NAVD 1988 DATUM

LAND DESCRIPTION:

THE SOUTH 220 FEET OF THE EAST HALF (1/2) OF TRACT 5 OF THE SUBDIVISION OF THE WEST HALF (1/2) OF SECTION 21, TOWNSHIP 44 SOUTH, RANGE 43 EAST, PLAT BOOK 5, PAGE 12, LESS THE SOUTH 20 FEET THEREOF, LESS THE EAST 25 FEET THEREOF AND LESS THAT PARCEL TAKEN FOR 10TH AVENUE AND STATE ROAD 9 (I-95) RIGHT-OF-WAY, BEING PARCEL No. 520.1-R SECTION 93220-2405, ALL OF THE PUBLIC RECORDS OF PALM BEACH COUNTY,

LOCATION MAP

SECTION 21, TOWNSHIP 44 S, RANGE 43 E FOLIO #38434421020050030

FEMA FLOOD ZONE:

THE PROPERTY IS LOCATED WITHIN FLOOD ZONE X, AS SHOWN ON F.I.R.M. NUM. 12099C0589F, BEARING A MAP EFFECTIVE DATE OF10/05/2017.

THESE PLANS MAY HAVE BEEN
REDUCED IN SIZE BY REPRODUCTION.
THIS MUST BE CONSIDERED WHEN
OBTAINING SCALED DATA.



PREPARED FOR:
CREIGHTON CONSTRUCTION AND MANAGEMENT, LLC
900 S.W. PINE ISLAND ROAD, SUITE 202,
CAPE CORAL, FL 33991



This item has been digitally signed and sealed by Thomas F. Donahue, P.E. on the date adjacent to the seal.

Printed copies of this document are not considered and the signed and sealed and the signature must be verified on any electronic copies.

Date: 2020.06.25 15:50:31-04'00'

THOMAS F. DONAHUE, P.E. FLORIDA REG. NO. 60529 (FOR THE FIRM)

PROJECT No. 11007.02 DATE: 01/30/2020

	1	2				
General Symbols						
Existing	Proposed	Description				
© ₽	€ BE					
		Centerline & Baseline of Survey or Construction				
		Building Access (ADA)				
	\triangleright	Building Access (NON-ADA)				
(A-1) 24' WIDE	A-1) 24' WIDE	Driveway Turnout Identification (Per FDOT Index 515) w/				
		Drive Width				
(CR-A)	GR-A	Sidewalk Curb Ramp (Per FDOT Index 304)				
	(XX)	Proposed Section Marker				
Pa	₽-	Flag Pole				
Δ	Δ	GPS Point				
0 0 0 0		Hay Bales				
š	i i	Mail Box				
5.00	5.00	Major Contour Elevation				
5.20	5.20	Minor Contour Elevation				
	Q	Parking Meter				
P.	P	**				
	_	Property Line				
+16.00	14.48	Grade Elevation				
	14.98 14.48	Top Of Curb Elevation/Pavement Elevation				
Φ-	<u> </u>					
		Soil Test Boring Hole				
{ B.M. NO. 1/2	{ B.M. NO. II2	Survey Bench Mark				
Line Types						
Existing	Proposed	Description				
		County Bound				
.//////////////////////////////////////						
///////////////////////////////////////	11/1////////	Demolition Line				
		Easement Line				
		Property Line				
+++-++++++++	+++++++++	Limited Access Line/Non-Vehicular Access				
		Railroad				
		Right Of Way				
		Canal Or Drainage Ditch				
		Shore Line				
		Tree Line				
c _x	с					
		Aerial Communication Line				
— — C _X —	c-	Underground Communication Line				
SD _x	SD	Underground Storm Drain Line (Double Line 24" And Over				
SS _x	ss	Underground Sanitary Line				
E _X	— Е —	Aerial Electric Line				
E _x	— — — Е—	Underground Electric				
W _x	w	Underground Water Line				
NPW _X	NPW	Underground Non Potable Water Line				
FM _X	FM	Underground Force Main				
	— X '2' X —	Gate				
		Chain Link Fence				
		Wood Fence				
XX		Metal Rail Fence				
SF	SF	Silt Fence				
		Staked Turbidity Barrier				
700000000000000000000000000000000000000		·				
	7111.1111.1111.1111.1111.1111.1111.1111.1111	Turbidity Barrier				
		Guard Rail				
		Roadway Centerline				
		2 - 4 Skip				
		3 - 9 Skip				
		·				
		6- 10 Skip				
		10 - 30 Skip				
		10 - 10 - 20 Skip				
		Curb				
	Lone	Curb And Gutter				
Evietina	Landscaping Existing Proposed Description					
2 Decempoon						
		la i				
<u>@</u>	ciii)	Bush				
£	ස දුදුව	Tree				
	63 85 86					

	1	2	1		3		4
	Genera	il Symbols		Paving an	d Grading		Abbreviations
			Existing	Proposed	Description	General	Appleviations
D	Proposed	Description				AADT	Annual Average Daily T
B	€ B E	Centerline & Baseline of Survey or Construction	11		Flow Directional Arrow Pavement Marking Arrows	ABAN	Abandon
	<u> </u>	Building Access (ADA)	1			ADJ	Adjust
	\triangleright	Building Access (NON-ADA)			Stop Bar	APPROX.	Approximate
/IDE		Driveway Turnout Identification (Per FDOT Index 515) w/			Concrete Sidewalk	A.C.	Asphalt Concrete
NDL		Drive Width	• • • • • • • • • • • • • • • • • • • •		Jogging Path	ACCM PIPE	Asphalt Coated Corruga
		Sidewalk Curb Ramp (Per FDOT Index 304)			Pavement Area	BIT.	Bituminous
	€	Proposed Section Marker			Existing Pavement/Concrete/ Landscape Removal Area	вс	Back Of Curb
	- B	Flag Pole			Milling And Resurfacing	BD.	Bound
	Δ	GPS Point	00000	20000	Detectable Warning (Truncated Domes) Per Florida Accessibility Code	BL	Baseline
1		Hay Bales			•	BLDG	Building
			100000		Soil Tracking Prevention Device	вм	Benchmark
		Mail Box	=		/ Utilities	во	By Others
_		Major Contour Elevation	Existing	Proposed	Description	BOS	Bottom Of Slope
	5.20	Minor Contour Elevation	СВ	СВ	Catch Basin	BR.	Bridge
		Parking Meter	0	<u> </u>	Yard Drain	CAP	Corrugated Aluminum P
	P	Property Line	СВ	СВ	Exfiltration Trench	СВ	Catch Basin
	[4.48]	Grade Elevation	СВ	(3)	Catch Basin With Filter Fabric Insert	CBCI	Catch Basin With Curb I
	14.98	Grade Elevation			Curb Type 5	CC	Cement Concrete
	14.48	Top Of Curb Elevation/Pavement Elevation			Curb Type 6	ССМ	Cement Concrete Maso
	⊕-	Soil Test Boring Hole			Pipe Culvert - Mitered End Section	CEM	Cement
	{ B.M. NO. 112	Survey Bench Mark			Pipe Culvert - Straight Endwall	CI	Curb Inlet
	,		——-с	——	Pipe Culvert - U - Type Endwall	CIP	Cast Iron Pipe
			© E G D S	© E G D S	Manhole - Communication, Electric, Gas, Drn, San Sew	CLF	Chain Link Fence
	Proposed	Description				CL	Centerline
		County Bound			Valve Box - Gas, San. Sew, Water, Non-Potable Water	СМР	Corrugated Metal Pipe
////	//////////////	Demolition Line	>	<u> </u>	22.5 degree Bend	CO.	County
		Easement Line	7	<u>,</u>	45 degree Bend	CONC	Concrete
		Property Line		<u>_</u>	90 degree Bend	CONT	Continuous
	+++++++++	Limited Access Line/Non-Vehicular Access	т.	•	Utility Crossing	CONST	Construction
			<u>~</u>	<u> </u>		CR GR	Crown Grade
		Railroad	<u> </u>		Fire Hydrant	DHV	Design Hourly Volume Drop Inlet
· · · —		Right Of Way	PS#	PS#	Proposed Bacteriological Sampling Point Pump Station	DI	· ·
		Canal Or Drainage Ditch		GT GT		DIA	Diameter Ductile Iron Pipe
	— ••• —	Shore Line	GT		Grease Trap	DWY	Driveway
~~~	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	Tree Line	ST	ST	Septic Tank	ELEV (OR EL.)	Elevation
	— с —	Aerial Communication Line	(DW)	<u></u>	Drainage Well	EMB	Embankment
c _x —	c_	Underground Communication Line	MW	<u></u>	Monitoring Well	EOP	Edge Of Pavement
-х		Underground Storm Drain Line (Double Line 24" And Over		•	Water Well	EXIST (OR EX)	Existing
			<u></u>	<u> </u>	Sanitary Sewer Cleanout	EXC	Excavation
		Underground Sanitary Line	BFP (NAV)	BFP (N/N)	Back Flow Preventor	F&C	Frame And Cover
	—— E ——	Aerial Electric Line	<b>(</b> )	0	Junction Box	F&G	Frame And Grate
-E _x	— — Е—	Underground Electric	E	E	Electric Handhole	FDN.	Foundation
	w	Underground Water Line	ELEC	ELEC	Electric Meter	FLDSTN	Fieldstone
	NPW	Underground Non Potable Water Line	(W)	⟨w⟩	Water Meter	GAR	Garage
		Underground Force Main	$\bowtie$	M	Gate Valve	GD	Ground
	— <del>× 12'</del> ×		$\longrightarrow$	$\longrightarrow$	Guy wire	GI	Gutter Inlet
V		Gate Chain Link Fence	0-0	0-0	Light Pole	GIP	Galvanized Iron Pipe
-X	XX			9-9	Relocated Or Adjusted Light Pole	GRAN	Granite
		Wood Fence	ф	φ .	Wood Power Pole	GRAV	Gravel
-X	— X — X —	Metal Rail Fence	<b>-∞</b> -	<b>-</b> �	Concrete Utility Pole	GRD	Guard
	SF	Silt Fence	©	<u> </u>	Traffic Signal Pole (Concrete, Wood, Metal)	GV	Gate Valve
***************************************		Staked Turbidity Barrier	-		Pedestrian Signal Head (Pole Or Pedestal Mounted)	HDPE	High Density Polyethyle
	<i>y</i>	Turbidity Barrier	-0	<del></del>	Post Mounted Sign	HDW	Headwall
		-	<del>-</del>	<del></del>		НМА	Hot Mix Asphalt
		Guard Rail	ig i	<u>₩</u>	Street Sign High Mast Lighting Tower	HOR	Horizontal
		Roadway Centerline	₩ ₩		Controller Cabinet (Base Mounted)	HYD	Hydrant
		2 - 4 Skip				INV	Invert
		3 - 9 Skip			Controller Cabinet (Pole Mounted)	JCT	Junction
		6- 10 Skip	<	<b>←</b>	Traffic Signal Head (Span Wire Mounted)	L	Length Of Curve
		10 - 30 Skip	-8	<u>1</u>	Traffic Signal Head (Pedestal Mounted)	LB	Leach Basin
			о—ш́	•—•	Traffic Signal Head (Mast Arm Mounted)	LP	Light Pole
		10 - 10 - 20 Skip		N: 623025.4322	Coordinate values shown on proposed improvements	LT	Left
		Curb		E: 850262.1786	are relative to the coordinate values indicated on the Right-of-Way, property corners or reference monument	MAX	Maximum
		Curb And Gutter				MB MEG	Mailbox Match Existing Grade
	I would	scaning					

General	Abbreviations
AADT	Annual Average Daily Traffic
ABAN	Abandon
ADJ	Adjust
APPROX.	Approximate
A.C.	Asphalt Concrete
ACCM PIPE	Asphalt Coated Corrugated Metal Pipe
BIT.	Bituminous
BC	Back Of Curb
BD.	Bound
BL	Baseline
BLDG	Building
BM	Benchmark
BO	By Others
BOS	Bottom Of Slope
BR.	Bridge
CAP	Corrugated Aluminum Pipe
СВ	Catch Basin
CBCI	Catch Basin With Curb Inlet
СС	Cement Concrete
ССМ	Cement Concrete Masonry
CEM	Cement
CI	Curb Inlet
CIP	Cast Iron Pipe
CLF	Chain Link Fence
CL	Centerline
СМР	Corrugated Metal Pipe
CO.	County
CONC	Concrete
CONT	Continuous
CONST	Construction
CR GR	Crown Grade
DHV	Design Hourly Volume
DI	Drop Inlet
DIA	Diameter
DIP	Ductile Iron Pipe
DWY	Driveway
ELEV (OR EL.)	Elevation
EMB EOD	Embankment Edge Of Pavement
EOP EXIST (OR EX)	Existing
EXC	Excavation
F&C	Frame And Cover
F&G	Frame And Grate
FDN.	Foundation
FLDSTN	Fieldstone
GAR	Garage
GD GAR	Ground
GI	Gutter Inlet
GIP	Galvanized Iron Pipe
GRAN	Granite
GRAV	Gravel
GRD	Guard
GV	Gate Valve
HDPE	High Density Polyethylene
HDW	Headwall
НМА	Hot Mix Asphalt
HOR	Horizontal
HYD	Hydrant
INV	Invert
JCT	Junction
L	Length Of Curve
LB	Leach Basin
LP	Light Pole
LT	Left
MAX	Maximum
МВ	Mailbox
MEG	Match Existing Grade
	Manhole
MH	

	<b>↓</b>	Abbreviations Continued
	┦├──	
raffic	NO.	Number
	PC	Point Of Curvature
	PCC	Point Of Compound Curvature
	P.G.L.	Profile Grade Line
	PI	Point Of Intersection
ted Metal Pipe	POC	Point On Curve
	POT	Point On Tangent
	PRC	Point Of Reverse Curvature
	PROJ	Project
	PROP	Proposed
	PT	Point Of Tangency
	PVC	Point Of Vertical Curvature
	PVI	Point Of Vertical Intersection
	PVT	Point Of Vertical Tangency
	PVMT	Pavement
е	PWW	Paved Water Way
	R	Radius Of Curvature
let	R&D	Remove And Dispose
	RCP	Reinforced Concrete Pipe
ry	RD	Road
	RDWY	Roadway
	REM	Remove
	RET	Retain
	RET WALL	Retaining Wall
	ROW	Right Of Way
	RR	Railroad
	R&R	Remove And Reset
	RT	Right
	SHLD	Shoulder
	SMH	Sewer Manhole
	ST	Street
	STA	Station
	SSD	Stopping Sight Distance
	SW	Sidewalk
	T	Tangent Distance Of Curve/Truck %
	TAN	Tangent
	TEMP	Temporary
	TC	Top Of Curb
	TOS	Top Of Slope
	TSV	Tapping Sleeve and Valve
		Typical
	TYP	Utility Pole
	UP	<u>'</u>
	VAR	Varies
	VERT	Vertical
	VC	Vertical Curve
	WCR	Wheel Chair Ramp
	WIP	Wrought Iron Pipe
	WM	Water Meter/Water Main Cross Section
	_ X-SECT	



301 East Atlantic Boulevard Pompano Beach, Florida 33060-6643

120 North Federal Highway, Suite 208 Lake Worth, Florida 33460

PH: (954) 788-3400

Florida Certificate of Authorization # - 7928

BID / CONTRACT NO.: REVISIONS NO. DESCRIPTION DATE

PRELIMINARY PLAN
NOT FOR CONSTRUCTION
THESE PLANS ARE NOT FULLY PERMITTED
AND ARE SUBJECT TO REVISIONS MADE
DURING THE PERMITTING PROCESS.
RESPONSIBILITY FOR THE USE OF THESE
PLANS PRIOR TO OBTAINING PERMITS
FROM ALL AGENCIES HAVING JURISDICTION
OVER THE PROJECT WILL FALL SOLELY
UPON THE USER.



7-ELEVEN #41361 1900 10TH AVENUE NORTH, LAKE WORTH, FLORIDA 33461

1ST SUBMITTAL DATE:	MARCH 2	020
DRAWN BY:		MG
DESIGNED BY:		MC
CHECKED BY:		TE
adjacent to the leal.  No.  Printed copies of this document STA	HUE, P.E. D. 60529	

SHEET TITLE

LEGEND

SHEET NUMBER

GI-001

20. General

- 20.1. It is the intent of these specifications to describe the minimum acceptable technical requirements for the materials and workmanship improvements may generally include, but not to be limited to, clearing, grading, paving, removal of existing pavement storm drainage, water ines and sanitary sewers.
- 20.2 It is the intent that the Florida Department of Transportation (FDOT) "Standard Specifications for Road and Bridge Construction: (current edition) together with "Supplemental Specifications to the Standard fications for Road and Bridge Construction" (current edition), and the FDOT Roadway and Traffic Design Standards (current edition) be used where applicable for the various work, and that where such wording therein refers to the State of Florida and its Department of Transportation and personnel, such wording is intended to be replaced with the wording which would provide proper terminology; thereby making such "Standard Specifications for Road and Bridge Construction" together with the "FDOT Roadway and Traffic Design Standards" as the "Standard Specifications" for this project. If within particular section, another section, article or paragraph is referred to, if shall be part of the Standard Specifications also. The Contractor shall abide by all local and State laws, regulations and building codes which have jurisdiction in the area.
- 20.3. The Contractor shall furnish all labor, materials and equipment and 22.3. Pipe backfill requirements for pipe backfill crossing roads or parking perform all operations required to complete the construction of a paving areas shall be as defined in the section 125-8, of the Standard and equipment shown or specified shall not be taken to exclude any other incidentals necessary to complete the work,
- accordance with the plans and construction specifications and the accordance with the plans and construction standards adopted by the unit of minimum engineering and construction standards adopted by the unit of the 22.6. Filter fabric shall be Mirafi, Typar or equal conforming to section 985 which has jurisdiction and responsibility for the Where conflicts or omissions exist, the jurisdictional government Engineering Department's standards shall govern. 23. Asphalt Paving permitted only when written approval has been issued by the Engineer
- 20.5. Guarantee all materials and equipment to be furnished and/or installed by the Contractor under this contract, shall be guaranteed for a period of (I) one year from the date of final acceptance thereof, against defective materials, design and workmanship. Upon receipt of notice from the owner of failure of any part of the guaranteed equipment or materials, during the guarantee period, the affected part or materials shall be replaced promptly with new parts or materials by the contractor, at no expense to the owner. In the event the Contractor fails to make necessary replacement or repairs within (7) seven days after notification by the owner, the owner may accomplish the work at the expense of the

#### 21 Farthwork

- 21.1. All areas within the project limits shall be cleared and grubbed prior 23.4. Limerock base shall be prepared, compacted and graded and shall to construction. This shall consist of the complete removal and disposa of all trees, brush, stumps, roots, grass, weeds, rubbish and all other obstructions resting on or protruding through the surface of the existing ground to a depth of 1. All work shall be in accordance with section 110 of the Standard Specifications.
- 21.2 None of the existing limerock material from demolished payement is to be incorporated in the new limerock base, unless noted in plans. The existing limerock material from demolished pavement may be incorporated into the stabilized subgrade / subbase, or stabilized
- 21.3. Fill material shall be classified as A-I, A-3, or A-2-4 in accordance with AASHTO N-145 and shall be free from vegetation and organic 23.5. Limerock base material shall be placed in maximum 6" lifts. Bases material. Not more than 12% by weight of fill material shall pass the no.
- 21.4. All fill material in areas not to be paved shall be compacted to 95% of the maximum density as determined by AASHTO T-99
- 21.5. All material of construction shall be subject to inspection and testing 23.6. Asphalt edges that are not curbed shall be saw cut to provide a to establish conformance with the specifications and suitably for the uses intended. The Contractor shall notify the Engineer at least 24 nours prior to the time he will be ready for an inspection or test. The 24.Concrete Construction Contractor shall follow City and County inspection procedures. The 24.1. Concrete sidewalk shall be in accordance with section 522 of the Contractor shall not proceed with any phase of work dependent on an inspection or test of an earlier phase of work, prior to that test or nspection passing. The Contractor shall be responsible for providing certified material test results to the Engineer of record prior to the release of final certification by the Engineer. Test results must include, but may not be limited to, densities for subgrade and limerock, utilities, excavation, asphalt gradation reports, concrete cylinders, etc.
- 21.6. When encountered, muck shall be completely removed from the center line (10) ten feet bevond the edge of pavement each side. All such material shall be replaced by approved granular fill.
- 21.7. When encountered within drainage swales, hardpan shall be removed to full depth for a width of (5) five feet at the invert and replaced with granular materials.
- 21.8. All underground utilities and drainage installations shall be in place prior to subgrade compaction and pavement construction.
- 21.9. Ground adjacent to roadway/pavement having runoff shall be graded Section 30 Water distribution and sanitary sewer force mains. (2) two inches lower than the edge of pavement to allow for the
- 21.10. Site grading elevations shall be within 0.1' of the required elevation for non paved areas and all areas shall be graded to drain without pondina.
- 21.11. The Contractor shall perform all excavation, fill, embankment and grading to achieve the proposed plan grades including typical road sections side slopes and canal sections All work shall be in accordance with section 120 of the Standard Specifications. If material is required in excess of that generated by the excavation, the ntractor shall supply this material as required from off-site
- 21.12. A 2" blanket of top soil shall be placed over all areas to be sodded or seeded and mulched within the project limits unless otherwise indicated

on the plans.

21.13. Sod shall be St. Augustine unless otherwise indicated on the plans, and shall be placed on the graded top soil and watered to insure satisfactory condition upon final acceptance of the project.

#### 22.Drainage

- 22.1. Inlets all inlets shall be the type designated on the plans, and shall Specifications. All inlets and pipe shall be protected during construction to prevent siltation in the drainage systems by way of temporary plugs and plywood or plastic covers over the inlets. The entire drainage system shall be cleaned of all debris prior to final acceptance.
- 22.2. Pipe specifications: the material type is shown on the drawings by one of the following designations:
- RCP = reinforced concrete pipe, ASTM designation C-76, section 941 of the Standard Specifications.
- CMP = corrugated metal (aluminum) pipe, ASTM designation
- CMP (smooth lined) = corrugated metal aluminum pipe, (smooth lined) ASTM designation M-196.
- SCP = slotted concrete pipe, sections 941 and 942, of the Standard Specifications
- PVC = polyvinyl chloride pipe.
- Specifications
- Corrugated High Density Polyethylene Pipe (HDPE) (12 Inches to 60 Inches), shall meet the requirements of FDOT Specification section 948-2.3.

and drainage system as shown on the plans, specified herein, or both. It Specifications. Pipeline backfill shall be placed in 6 inch lifts and is the intent to provide a complete and operating facility in accordance compacted to 100% of the standard proctor (AASHTO T–99 specifications) with these specifications and the construction drawings. The material 22.4, Location of drainage structures shall govern, and pipe length may have to be adjusted to accomplish construction as shown on these

plans. 20.4. All labor, materials, and methods of construction shall be in strict 22.5. Distance and lengths shown on plans and profile drawings are referenced to the inner walls of structures.

of the Standard Specifications.

- Substitutions and deviations from plans and specifications shall be 23.1. Where new asphalt meets existing asphalt the existing asphalt shall be saw cut to provide a straight even line. Prior to removing curb or gutter, the adjacent asphalt shall be saw cut to provide a straight even
  - 23.2. Internal asphalt paving constructed on existing sandy soils shall be constructed with a 12" subgrade, compacted to a minimum density of 100% maximum density as determined by AASHTO T-99. compacted subgrade shall be constructed in the limits shown on the plans. All subgrade shall have an LBR of 40 unless otherwise noted.
  - 23.3. Asphaltic concrete surface course shall be constructed to the limits shown on the plans. The surface course shall consist of the thickness and type asphaltic concrete as specified in the plans. All asphaltic shall be in accordance with sections 320, 327, 330, 334, 336, 337, 337, 338, 339 and 341 of the Standard Specifications.
  - be in accordance with section 200 of the Standard Specifications. All 30.10 Water distribution system restraint: all fittings and specific pipe joints limerock shall be compacted to 98% per AASHTO T-180 and have not less than 70% of carbonates of calcium and magnesium unless otherwise designated. The Engineer shall inspect the completed base course and the Contractor shall correct any deficiencies and clean the base course prior to the placement of the prime coat. A tack coat will also be required if the Engineer finds that the primed base has become excessively dirty or the prime coat has cured to the extent of losing bounding effect prior to placement of the asphaltic concrete surface course. The prime and tack coats shall be in accordance with section 300 of the Standard Specifications.
  - greater than 6" shall be placed in two equal lifts. If, through field tests, the Contractor can demonstrate that the compaction equipment can achieve density for the full depth of a thicker lift, and if approved by the joints shall be restrained as outlined below engineer, the base may be constructed in successive courses of not more than 8 inches (200 mm) compacted thickness.
  - straight even line to the dimensions shown on plans.

- Standard Specifications and in accordance with F.D.O.T. Roadway and Traffic Design Standards, index no. 310. Concrete sidewalk shall be 4" thick, unless otherwise not and constructed on compacted subgrade. with 1/2" expansion joints placed at a maximum of 75', unless otherwise noted on plans. Crack control joints shall be 5' on center. All concrete sidewalks that cross driveways shall be 6" thick, unless otherwise noted on plans.
- 24.2. Sidewalk Curb ramps hall be in accordance with F.D.O.T. Roadway and Traffic Design Standards, index no. 304.
- 24.3. Concrete curb shall be constructed to the limits shown on the plans. The concrete shall have a minimum compressive strength of 2500 PSI at 28 days and shall be in accordance with section 520 of the Standard Specifications. Concrete curbing shall be in accordance with F.D.O.T. Roadway and Traffic Design Standards, index no. 300.

# 244

#### 30. Materials

Note: If materials list here on are in conflict with utility owner, material 30.15.Retainer glands for DIP shall conform to ANSI/AWWA C111/A21.11 owner requirements shall govern.

30.1. All water main pipe, including fittings, shall be color coded or marked using blue as a predominant color to differentiate drinking water from med or other water. Underground plastic pipe shall be solid-wall blue pipe, shall have a co-extruded blue external skin, or shall be white pipe with blue stripes incorporated into, or applied to, the pipe wall: and underground metal or concrete pipe shall have blue stripes applied to the pipe wall. Pipe striped during manufacturing of the pipe shall have continuous stripes that run parallel to the axis of the pipe, shall have continuous stripes that run parallel to the axis of the pipe, 30.17. Fire hydrants shall be Mueller centurion traffic type A-423 with 5 1/4" 33.2. The pressure test shall be witnessed by a representative of the utility that are located at no greater than 90-degree intervals around the pipe,

and that will remain intact during and after installation of the pipe. If tape or paint is used to stripe pipe during installation of the pipe, the tape or paint shall be applied in a continuous line that runs parallel to the axis of the pipe and that is located along the top of the pipe; for pipes with an in continuous lines along each side of the pipe as well as along the top

- be constructed in accordance with section 425 of the Standard 30.2. Ductile iron pipe for water distribution mains shall conform to 30.18. Sewage force main valves shall be plug valves which shall be of the ANSI/AWWA standard C151/A21.51 latest revision, "ductile iron pipe centrifugally cast in metal molds or sand-lined molds" with a minimum wall thickness of class 51 (pressure class 350) unless otherwise noted in the plans. Ductile iron pipe shall be cement lined and seal coated in accordance with ANSI/AWWA standard C104/A21.4 latest revision. The pipe shall be adapted for use with class 250 fittings for all sizes. Water main shall be colored blue in accordance with Florida State Statutes
  - 30.3. Ductile iron pipe for sewage force mains shall conform to ANSI/AWWA standard C151/A21.51 latest revision, "ductile iron pipe centrifugally cast in metal molds or sand- lined molds" with a minimu wall thickness of class 51 (pressure class 350) unless otherwise noted in the plans. Ductile iron pipe shall be interior ceramic epoxy lined and exterior coated with the manufacturer's coating system (Protecto 401 ceramic epoxy with a minimum dry film thickness of 40 mils and an outside coating of either coal tar epoxy or asphalt). Cement mortared
  - = perforated cmp, section 945, of the Standard 30.4. All pipe & fittings on the lift station sites shall be ductile iron conforming to the same specifications as above for sewage force mains except that flanged ductile iron pipe & fittings shall be used inside valve pits and wet wells. Flanged pipe and fittings shall conform to ANSI/AWWA C115/a21.15 latest revision and ANSI/AWWA C110/A21.10 latest revision. The following thickness classes shall be 30.20. Plug valves are to be installed with the seat pointed towards the adhered to: 4" - 12" - class 52, 14" & larger - class 51.
    - 1.5. PVC pressure pipe for sizes 4" through 12" and shall conform to 30.21. Swing check valves for water, sewage, sludge, and general service ANSI/AWWA standard C900 latest revision. PVC pressure pipe shall be made from class 12454-a or class 12454-b virgin material and conform with the outside diameter of cast iron pine with a minimum wall thickness of dr series 18. Ultra violet degradation or sun bleached pipe will be cause for rejection. Water main shall be colored blue in accordance with Florida State Statutes. Force main shall impregnated with green pigment. Reuse main shall be impregnated with
    - 30.6. Ductile iron fittings for water distribution mains shall conform to ANSI/AWWA standard C110/A21.10 latest revision. Fittings 4" and 31.Service connection: arger shall be cement lined and seal coated in accordance with ANSI/AWWA standard C104/A21 4 latest revision. Water Main fitting shall be colored blue in accordance with Florida state statutes.
    - 30.7. Cast iron and ductile iron fittings for sewage force mains shall conform to ANSI/AWWA standard C110/A21.10 latest revision. Fittings 4" and larger shall be coated in accordance with the requirements of ductile iron pipe for sewage force mains.
    - to ANSI/AWWA standard C111/A21 11 latest revision. Mechanical joint or push-on joint to be rubber gasket compression-type. Special fit approval of the engineer
    - gasket type only. No solvent weld or threaded joints will be permitted.

    - Joint restraint
    - Push-on P.V.C. FRAA iron series 1600
    - Push-on DIP EBAA iron series 1700
    - tr-flex by U.S. Pipe or flex ring by American
    - Fittings w/ DIP EBAA iron series 1100 megalug
    - Fittings w/ P.V.C. EBAA iron series 2000 megalug
    - Length of restrained pipe shall be as indicated on restrained joint pipe detail. (see water & sewer detail sheet)
    - 30.11. Sewage force main system restraint: all fittings and specific pipe
    - Joint restraint
    - Push-on P.V.C. EBAA iron series 1600
    - Push-on DIP EBAA iron series 1700
    - tr-flex by U.S. Pipe or
    - flex ring by American
    - Fittings w/ DIP EBAA iron series 1100 megalug
    - Fittings w/ P.V.C. EBAA iron series 2000 megalug
    - Length of restrained pipe shall be as indicated on restrained join pipe detail. (see water & sewer detail sheet) 30.12. Water distribution valves shall be gate valves, iron body, fully
    - resilient seat bronzed mounted non-rising stem, rated at 200 PSI and conforming to ANSI/AWWA C509 latest revision, and shall have
    - 33.12.1. Gate valves 4" and larger shall be Mueller A-2360, American
      35.12.1. Gate valves 4" and larger shall be Mueller A-2360, American
      250 line or Clow F-6100, conforming to ANSI/AWWA C500
      33.1. Before any physical connections and acceptance for operation to the complete water system shall be latest revision or approved equal
    - 30.12.2. Tapping valves shall be Mueller T-2360 or approved equal. 30.12.3. Gate valves 3" or less shall be Nibco T-133 or T-136 with
    - 30.13. Tapping sleeves shall be Mueller H615, Clow F- 2505 or approved

nalleable hand wheels or approved equa

- 30.14. Valve boxes shall be U.S. foundry 7500 or approved equal painted blue with the designation "water".
- latest revision. All glands shall be manufactured from ductile iron as listed by underwriters laboratories for 250 psi minimum water pressure rating. Clow corporation model f-1058, standard fire protection equipment company or approved equal.
- 30.16. Dresser couplings shall be regular black couplings with plain gaskets for galvanized steel pipe. They shall be dresser style 90. No substitutions allowed.
- internal valve opening or approved equal. Pumper nozzle to be 18" from

finished grade. All hydrants to be installed with control valve. Retainer 33.3. For water distribution pipes, sampling points shall be provided by the glands are preferred for restraining. Fire hydrant shall comply with ANSI/AWWA C502 latest revision. Fire hydrants shall be painted in 33.4. For water distribution pipes, disinfection and bacteriological testing accordance with NFPA #291 or per agency standards having jurisdiction. Blue raised reflective pavement marker (rpm) shall be used to identify fire hydrant location. The placement of the rpm to be at the centerline of the outside roadway lane.

- non-lubricated, eccentric type with resilient faced plugs, port areas for valves 20 inches and smaller shall be at least 80% of full pipe area. Port area of valves 24 inches and larger shall be at least 70% of full pipe area. The body shall be of semi-steel (ASTM A-126 C1.b) and shall have bolted bonnet which gives access to the internals of the valve.

  Seats shall be welded overlay of high nickel content or a stainless steel

  Section 40 - Gravity Sanitary Sewer Collection System plate locked in the body cavity. If a plate is used, it shall be replaceable 40.General: through the bonnet access. Bearings shall be permanently lubricated of 40.1. Manhole, valve box, meter box and other structure rim elevations stainless steel, bronze or Teflon lined, fiber glass backed Duralon, within the limits of construction are to be adjusted to conform to plan Bearing areas shall be isolated from the flow with grit seals. Valves shall have packing bonnets where the shaft protrudes from the valve and the I be self-adjusting chevron type which can be replaced without removing the bonnet. All nuts, bolts, springs and washers shall
- 30.19. Plug valves shall be designed for a working pressure of 150 PSI the valve and actuator shall be capable of satisfactory operation in either direction of flow against pressure drops up to and including 100 PSI (for directions at 100 psi differential. Plug valves over 12" in diameter shall have worm gear operators. The operating mechanism shall be for
- upstream flow, when specified.
- shall be of the outside lever and spring or weight type, in accordance with ANSI/AWWA C 508 latest revision swing-check valves for waterworks service. 2" through 24" NPS, unless otherwise indicated. with full-opening passages, designed for a water-working pressure of 150 PSI they shall have a flanged cover piece to provide access to the

30.22. High density polyethylene pipe (HDPE) for water distribution mains shall conform to AWWA C906 standard, latest revision. Pipes shall be color-coded blue, minimum 40 feet standard lengths.

- 31.1. Service saddles shall be fusion bonded plastic coated ductile iron
- 31.2. Service lines shall be polyethylene (PE 3408), 200 p.s.i rated, DR9. 41.6. Joints for bell and spigot ductile iron pipe and fittings shall conform Pipe joints shall be of the compression type totally confined grip seal
- accordance with ASTM B-62 with threaded ends, as manufactured by
- Ford ballcorp, catalog # 1100 or approved equal. and joints shall be considered for specific installation subject to the 31.4. Curb stops shall be Ford v63-44w-x" latest revision or approved
- 30.9. Joints for PVC pressure pipe shall be bell and spigot push-on rubber 31.5. Meter stops shall be 90 degree lockwing type and shall be of bronze construction in accordance FV63-777W' latest revision with ASTM B-62. Meter stops shall be closed bottom design and resilient "0" ring sealed against external leakage at the top. Stops shall be equipped with
  - approved equal 32. Installation:
  - 32.1. Where restrained pipe joints are required due to fittings, appurtenances, etc., pipe material shall be DIP
  - 32.2. All PVC pipe shall be installed in accordance with the uni-bell plastic pipe association "guide for installation of PVC pressure pipe for 42.3. Pipe to manhole connection to be Fernco neoprene boot couplings municipal water distribution system," and ANSI/AWWA C605-xx latest revision standard.
  - 32.3 All DIP shall be installed in accordance with ANSI/ C600-xx latest providing uniform bearing under the base.
  - 32.4. All water mains shall typically be laid with a minimum 36" cover for 42.6. Two coats of Koppers 300-m, first red, second one black, shall be PVC and 30" cover for DIP
  - 32.5. Detector tape shall be laid 18 inches above all water and lines. A 14 gauge multi-strand wire shall be attached to all nonconductive water mains to facilitate location. An extra 4 feet of wire shall be provided at all valves, blow-offs, hydrants, etc. The wire shall be tested for continuity at the pressure te
  - 32.6. Pipe deflection shall not exceed 50% of the maximum deflection recommended by the manufacturer.
  - 32.7. A continuous and uniform bedding shall be provided. Backfill material shall be placed in accordance with the plans and specifications. 32.8. All valves shall be installed with adjustable cast iron valve boxes with
  - the word "water" or "sewer", as applicable, cast in the cover, U.S. foundry or approved equal.

  - existing water mains are made, the complete water system shall be flushed, pressure tested and disinfected. Copies of passing bacteriological results and pressure test results must be submitted to and approved by, the engineer, utility owner, and health department. Hydrostatic testing of new mains shall be performed at a minimum starting pressure of 150 PSI for two hours in accordance with ANSI/AWWA C600-05 (hydrostatic test). The pressure test shall not vary more than 5 PSI during the test. The allowable leakage during the pressure test shall be less than the number of gallons per hour as determined by the formula:

#### L = (sd(p)1/2)/148,000.

In which I equals the allowable leakage in gallons per hour. Sieguals length of pipe (linear feet), d equals nominal diameter of pipe (inches) and p equals the average test pressure (pounds per square inch gauge). Maximum length of test pipe section should be 2000 fe water system shall be disinfected in accordance with the ANSI/AWWA C651-05 (water main bacteriological tests).

owner and the engineer of record.

- contractor at the locations shown on the plans.
- shall be in accordance with ANSI/AWWA C651-14 (water main bacteriological tests). Maximum distance between sampling points shall be as follows:
  - Transmission mains: every 1200 feet
  - Branch mains: every 1000 feet
  - Isolated mains < 1000 feet: 2 sample points
  - Isolated mains > 1000 feet: 3 sample points

- within the limits of construction are to be adjusted to conform to pla grades proposed in these plans. If no other individual cost item is included in the contract schedule for a particular structure adjustment.
- 40.2. Distance and lengths shown on plans and profile drawings are referenced to the center of structures

#### . Materials:

Note: If materials list here on are in conflict with utility owner, material owner requirements shall govern.

- plug valves over 12" in diameter). Valves shall be bubble tight in both 41.1. All PVC sewer pipe and fittings shall be non-pressure polyvinyl chloride (PVC) pine conforming to ASTM D 3034 SDR 26 with push-on rubber gasket joints.
  - 41.2. Ductile iron pipe shall conform to ANSI/AWWA C151/A21.51-xx latest revision, "ductile iron pipe centrifugally cast in metal molds or sand-lined molds" with wall thickness class 51 for 8" and above, class 52 for 4" and 6", unless otherwise directed by the engineer. Ductile iron pipe shall be epoxy lined or coated with the manufacturer's coating system as approved by the engineer of record and the local municipality or utility owner. In either case, the engineer's review and approval is required for either alternative prior to construction. Cement mortared linings are not appropriate for this application.
  - 41.3. All ductile iron fittings shall conform to ANSI/AWWA standard C110/A21.10-xx latest revision. All fittings and accessories shall be epoxy lined and as manufactured or supplied by the pipe manufacturer
  - 41.4. Manholes shall be precast per ASTM C 478 and in accordance with the plans and specifications
- (ASTM A536) with stainless steel straps, saddles shall be double strap 41.5. Manholes are to be sealed with type II sulphate resistant cement or approved equal - no molding plaster.
  - to ANSI/AWWA standard C111/A21.11-xx latest revision. Mechanical joint or push-on joint to be rubber gasket compression-type.
- 30.8. Joints for bell and spigot ductile iron pipe and fittings shall conform 31.3. Corporation stops shall be manufactured of brass alloy in 41.7. PVC clean-outs to have screw type access plug. Long radius wye connections and fittings shall be used in order to access clean-out operations
  - 41.8. Cleanouts shall be installed at all sewer services exceeding 75' in length (every 75') with a clean out at the property line, easement line, or 5' from a building. The contractor shall coordinate the location of the building cleanout (5' from the building) and elevation of the end of the r service with the building plumbing contractor. Cleanouts shall be the same size as the service lateral in which they are installed.

### a meter coupling nut on the outlet sides, as manufactured by Ford or 42. Installation:

- 42.1. PVC sewer pipe shall be laid in accordance with ASTM D 2321 and the Uni-Bell plastic pipe association's "recommended practice for the installation of PVC sewer pipe."
- 42.2. DIP shall be installed in accordance with ANSI/AWWA C-600-xx latest revision
- with stainless steel accessories or approved equal. 42.4. Manholes shall be set plumb to line and grade on firm subgrade
- 42.5. All openings and joints shall be sealed watertight.
- applied to the inside of all manholes and shall be applied in accordance with the manufacturer's specifications (16 mils per coat). Coating as required by utility owner or engineer shall be applied to the outside of the manhole. The interior coats shall be applied after sewer lamping of lines. After the application of each coat, the utility owner and engineer shall inspect the manholes. The inspection shall be scheduled a minimum of 48 hours prior to inspection.
- 43. Testing: Testing of gravity sewer mains and laterals shall be in accordance with the utility owner's minimum design and construction standards latest revision.
- 43.1 After construction of the sewer system, the engineer may require a visual infiltration and/or exfiltration test to be performed on the entire system or any part thereof.
- 43.2 An air test may be substituted for the water exfiltration test, upon
- shall not exceed 100 gallons per inch of inside pipe diameter per mile per day for any section tested. No visible leakage shall be allowed
- 43.4. The installed sewers may require video inspections.



301 East Atlantic Boulevard Pompano Beach, Florida 33060-6643

120 North Federal Highway, Suite 208 Lake Worth, Florida 33460

PH: (954) 788-3400

Florida Certificate of Authorization # - 7928

BID / CONTRACT NO. : REVISIONS

DESCRIPTION

#### PRELIMINARY PLAN NOT FOR CONSTRUCTION

AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY



1900 10TH AVENUE NORTH. LAKE WORTH **FLORIDA 33461** SCALE: AS NOTE IST SUBMITTAL DATE: MARCH 2020 DRAWN BY: MG DESIGNED BY: MG CHECKED BY TD

CENSE hie item hae hee is item has been itally signed and aled by Thomas Donahue, P.E. No. 60529 acent to the rinted copies
of this document
are not considered
signed and sealed
and the signature
must be verified on any

STATE OF
OR IOP

COR IOP

STATE OF

COR IOP

STATE OF

COR IOP

STATE OF

S Date: 2020.06.25 15:51:22-04'00'
THOMAS F. DONAHUE, P.E.
FLORIDA REG. NO. 60529

SHEET TITLE

CONSTRUCTION **SPECIFICATIONS** 

(FOR THE FIRM)

SHEET NUMBER

GI-002

#### **General Notes**

This construction project may or may not include all items covered by these notes and specifications, i.e. paving, grading, drainage lines, water lines, or sanitary sewer lines See plans for detailed project scope. Notes and specifications on this sheet refer to paving, grading, drainage, water, and sanitary sewer, and are intended fo this projects scope of work and for reference purposes for other work items that may be required due to unforeseen 3.11. The contractor is to maintain existing signage during existing conditions or required remedial work.

#### 1. Specific Site Notes

- 1.1. County and "City" in these notes refers to County and 3.12. The topographic survey included with this set of plans City in which project resides.
- 1.2. State in these notes refers to the State of Florida.
- 1.3. Existing tonographic information in the plans is based on survey data and best available information. See project survey and notes on plan sheets regarding the ource of the topographic information.

#### 2. Applicable Codes

- 2.1. All construction and materials shall conform to the standards and specifications of the city, county, and all other jurisdictional. State and national codes where applicable
- 2.2. In the event of a conflict between the general notes and construction specifications in these plans, and the contract documents and specifications in the specification booklet, the contractor shall submit written request for clarification.
- 2.3. All construction shall be done in a safe manner and in strict compliance with all the requirements of the Federal occupational safety and health act of 1970, and all State and jurisdictional safety and health regulations.
- The contractor shall be required to comply with Federal, State, County, and City laws, codes, and regulations.
- 2.5. All handicap accessible areas to conform to the requirements of the Americans with Disabilities Act (ADA) State ADA codes, and Florida Building Code ADA codes latest edition.

#### 2.6 Trench safety act

- 2.6.1. All trench excavation shall be performed in accordance with chapter 90-96 of the laws of Florida (the trench safety act).
- 2.6.2. All trench excavation in excess of 5 feet in depth shall be undertaken in accordance with O.S.H.A. standard 29 cfr. Section 1926.650 subpart p.
- 2.6.3. The contractor shall submit with his contract a completed, signed, and notarized copy of the trench safety act compliance statement. The identifying the cost of compliance with the applicable trench safety codes
- 2.6.4. A trench safety system, if required, shall be designed by the excavation contractor utilizing a specialty engineer as required.

#### 3. Construction Notes:

- 3.1. Contractor shall tie to existing grade by evenly sloping from closest proposed grade provided to existing grade at limits of construction, unless otherwis noted on the plans. If no limit of work line is indicated. slope to adjacent property line or right-of-way line, as applicable.
- 3.2. Unless otherwise indicated on the plans, all existing manholes, catch basins, meters and other structures. whether indicated on the plans or not shall be 3.17. Any known or suspected hazardous material found on adjusted to match the new grade, by the contractor.
- 3.3. The curb shall be sloped to accommodate the new payement, catch basin and grate, and the surface flow
- The contractor shall use care when cutting the existing asphalt pavement and during excavations, so that the existing catch basins and grates that are to remain will not be damaged.
- 3.5. The contractor shall maintain the roadway slope when resurfacing the roadway. The edge of payement
- 3.6. The new sidewalk shall be constructed in accordance with the given elevations and at the proper slopes depicted in the specifications, details and standards. Existing driveways and other features shall be matched when possible as directed by the engineer
- 3.7. Radii shown are to the edge of pavement.
- 3.8. All bench mark monuments within the limits of 4.1. All utility / access easements to be secured prior to 6.1. It shall be the contractor's responsibility to arrange construction shall be protected and referenced by the contractor in the same way as public land corners.
  4.2. No construction may commence until the appropriate
- 3.9. All excess material is to be disposed by the contractor within 72 hours.
- 3.10. In areas where the base is exposed by the milling original thickness and structural capacity before paving over such areas. This includes but is not limited

- content, composition, stability, and intended slope. If paving will not take place the same day the base is exposed and reworked, the base shall be sealed according to the governing standards and 4.5. Prior to the start of construction, the owner shall specifications. Any additional work resulting from the contractor's failure to protect the exposed base as stated above in order to restore the original structural capacity shall be the contractor's cost.
- construction operations, in order to facilitate emergency vehicle traffic.
- reflects pre-demolition conditions and does not reflect the site conditions after demolition. The contractor is fully and solely responsible in determining the required earthwork for the proposed development of the site. This includes, but is not limited to, any excavation/dredge and fill activities required at any phase of the project. The contractor shall use the final approved (released for construction) plans, surveys, geotechnical reports, and any other available information for determining the amount of excavation/dredging and filling required. Any quantities included in the approved 4.6. permits were estimated by the engineer for purposes of obtaining the permit and under no circumstances shall be used by the contractor in lieu of performing their own earthwork calculations required for cost estimating and bidding the project.
- 3.13. The contractor shall be responsible for reading and familiarizing themselves with any and all available geotechnical reports prepared by others and/or any recommendations written or implied by the geotechnical engineer for this project. The geotechnical conditions and recommendations outlined in these reports are in force and in full effect as part of the proposed improvements. The contractor is responsible for ensuring that all the work associated with this project is in compliance with the geotechnical engineer's recommendations. Keith and Associates, Inc. is not responsible for the suitability or unsuitability of the soils encountered. It is the contractor's responsibility to ensure that the means and methods of construction used can and will allow for the successful completion of the required site improvements.
- 3.14. The contractor shall ensure that the available geotechnical information is sufficient for his complete understanding of the soil conditions for the site. If additional geotechnical investigation is required by 5. Inspections / Testing: the contractor, this additional work shall be 5.1. considered incidental to the contract and no additional compensation shall be allowed.
- contractor shall also submit a separate cost item 3.15. The contractor shall be responsible for the repair and restoration of existing pavement, pipes, conduits, sprinkler heads, cables, etc., and landscaped areas damaged as a result of the contractor's operations and/or those of his subcontractors and shall restore at no additional cost.
  - 3.16. The contractor shall not bring any hazardous materials onto the project. Should the contractor require such for performing the contracted work, the contractor shall request, in writing, permission from the owner, city and engineer. The contractor shall provide the owner, city and engineer with a copy of the material safety data sheet (MSDS) for each hazardous material proposed for use. The project engineer shall coordinate with the owner and city prior to issuing written approval to the contractor.
    - the project by the contractor shall be immediately reported to the city and/or engineer, who shall direct the contractor to protect the area of known or suspected contamination from further access. The city and/or engineer are to notify the owner/engineer of the discovery. The owner/engineer will arrange for investigation, identification, and remediation of the hazardous material. The contractor shall not return to the area of contamination until approval is provided by the engineer.
- shall match the new gutter lip per FDOT index 300.

  3.18. The contractor shall contact the appropriate city engineering inspector and engineer 48 hours in 5.3. advance of the event to notify the city of construction start up, or to schedule all required tests and inspections including final walk-throughs.

#### 4. Preconstruction Responsibilities

- permits have been obtained from all municipal, State, County, and Federal agencies and a pre-construction meeting has been conducted.
- operation, the contractor shall restore the base to its 4.3. All required governmental agency building permits to be obtained by the contractor prior to any construction activity.

- to restoring original degree of compaction, moisture 4.4. Contractor to coordinate construction scheduling for connection to the existing water and sewer lines with 6.4. the utility department that owns and/or maintains the water and sewer lines.
  - submit an NPDES construction general permit (CGP) 6.5. The contractor shall maintain access to adjacent "notice of intent (N.O.I.) to use Generic Permit for storm water discharge from construction activities form (DEP form 62-621.300(4)(b)) to FDEP notices 7. Project Progress and Closeout implementation of the storm water pollution prevention plan (SWPPP) that was required to be developed prior to NOI submittal, and (2) retention of records required by the permit, including retention of a copy of the SWPPP at the construction site from the date of project initiation to the date of final site stabilization. A "notice of termination (N.O.T.) of generic permit coverage" form (DEP form 62-621.300(6)) must be submitted to FDEP to discontinue permit coverage, subsequent to completion of construction. For additional information FDFP website http://www.dep.state.fl.us/water/ storm water/npdes.
  - Prior to construction or installation, 5 sets of shop drawings shall be submitted for review as required for the following items listed below, but not limited to:
  - · Drainage: Catch basins, manholes, headwalls grates/tops, yard drains.
  - · Water: Fire hydrants, valves, backflow preventer, DDCV, meter box.
  - · Sewer: Manholes, lift stations (wetwell, hatches, valves, pump data, electrical panel)
  - drainage, water and sewer pipes, fittings, and appurtenances.
  - 4.0.2. Prior to submitting shop drawings to the engineer, the contractor shall review and any deviations from the engineer's plans or cnecifications
  - 4.0.3. Individual shop drawings for all precast structures are required. Catalogue literature will not accepted for precast structures.
  - Contractor to submit maintenance of traffic plan(s) in accordance with FDOT and County requirements, and submit for approval prior to beginning construction.

- The contractor shall notify in writing the owner, City, County, engineer of record, and any other governmental agencies having jurisdiction at least 48 hours prior to beginning construction and prior to 8.4. required inspections of the following items, where applicable:
  - · Clearing and earthwork
  - · Storm drainage systems
  - Sanitary sewer systems
  - Water distribution systems
  - Subgrade Limerock base
  - Asphalt or concrete payement
- · Sidewalks, concrete flatwork/curbing
- Landscaping
- · Pavement marking and signage
- Signalization
- Site lighting
- Electrical and communication lines
- Utility conduits
- Irrigation
- Final
- The owner, engineer, and jurisdictional permitting agencies may make inspections of the work at any time. The contractor shall cooperate fully with al
- Testing all testing required by the plans and specifications shall be performed by a licensed / FDOT 8.7. "As-built" drawings of construction areas shall include qualified testing company. Required test for asphalt and limerock shall be taken at the direction of the engineer or the jurisdictional governmental agency in accordance with the plans and specifications.

#### 6. Temporary Facilities

- for or supply temporary water service, sanitary facilities, communications, and electricity, for his operations and works, cost included under mobilization
- 6.2. Contractor shall construct temporary fencing to secure construction areas at all times, cost included in mobilization.
- 6.3. Contractor to obtain a secure staging area and obtain 8.7.6. Lake and canal bank "as-built" drawings shall

- all necessary approvals from the owner.
- Contractor shall construct and maintain temporary lighting as required to light the construction project limits at all times, to at least the same lighting intensity levels as the existing conditions.
- properties at all times.

- center. The contractor will be responsible for (1) 7.1. During construction, the project site and all adjacent areas shall be maintained in a neat and clean manner and upon final clean-up, the project site shall be left clear of all surplus material or trash. The paved areas shall be broom swept clean.
  - The contractor shall restore or replace any public or private property (such as highway, driveway, walkway, and landscaping), damaged by his work, equipment, or employees, to a condition at least equal to that existing immediately prior to the beginning of construction. Suitable materials and methods shall be used for such restoration.
  - Material or debris shall be hauled in accordance with NPDES permit and jurisdictional laws.
  - All land survey property monuments or permanent 9. Utility Notes reference markers, removed or destroyed by the 9.1. Contractor is responsible for utility verification prior contractor during construction shall be restored by a State of Florida registered land surveyor at the 9.2. contractor's expense
  - 7.5. All unpaved surfaces disturbed as a result of construction activities shall be graded, sodded, & restored to a condition equal to or better than that which existed before the construction.

#### 8. Project record documents:

- 4.0.1. Catalogue literature shall be submitted for 8.1. During the daily progress of the job, the contractor shall record on his set of construction drawings the location, length, material and elevation of any facility not built according to plans. This copy of the "as-built" 9 4 shall be submitted to engineer for project record.
  - approve the drawings, and shall note in red 8.2. Upon completion of drainage improvements and imerock base construction (at least 48 hours before placing asphalt pavement) the contractor shall furnish the engineer of record "as-built" plans for these improvements, showing the locations and pertinent grades of all drainage installations and the finished rock grades of the road crown and edges of pavement at 50 foot intervals, including locations and elevations of all high and low points.
    - Upon completion of construction, and prior to final acceptance, the contractor shall submit to the engineer of record one complete set of all "as-built" 9.1. contract drawings. These drawings shall be marked to show "as-built" construction changes, dimensions, locations, and elevations of all improvements.
    - "As-built" drawings of water lines and force mains shall include the following information:
    - 8.4.1. Top of pipe elevations every 100 LF.
    - 8.4.2 Locations and elevations of all fittings including bends, tees, gate valves, double detector check valves, fire hydrants, and appurtenances.
    - 8.4.3. All connections to existing lines.
    - 8.4.4. Ends of all water services at the buildings where the water service terminates
    - 8.5. "As-built" drawings of gravity sanitary sewer lines shall include the following information:
    - 8.5.1. Rim elevations, invert elevations, length of piping  $^{9.2}$ . between structures, and slopes. 8.5.2. The stub ends and cleanouts of all sewer laterals
    - shall be located horizontally and vertically. 8.6. "As-built" drawings of all drainage lines shall include
    - the following information: 8.6.1. Rim elevation, invert elevation, length of piping between structures, and control structure
    - elevations if applicable. 8.6.2. The size of the lines.
    - 8.6.3. Drainage well structure shall include, but not be limited to, top of casing elevation, top and bottom elevations of the structure and baffle walls, rim elevations and pipe inverts.
    - the following:
    - 8.7.1. Rock elevations at all high, and low points, and at enough intermediate points to confirm slope consistency. 8.7.2. Rock elevations and concrete base elevations shall 10.1. All signing and pavement markings installed as part of

be taken at all locations where there is a finish

- grade elevation shown on the design plans. 8.7.3. All catch basin and manhole rim elevations.
- 8.7.4. Finish grade elevations in island areas.
- and unpaved swales, at enough intermediate 10.2. Match existing pavement markings at the limits of construction. 8.7.5. "As-built" elevations shall be taken on all paved conformance to the plan details

- include a key sheet of the lake for the location of shall be plotted at a minimum of every 100 lf, unless otherwise specified. "as-built" drawings shall consist of the location and elevation of the top of bank, edge of water, and the deep cut line. with the distance between each shown on the
- 8.7.7. Retention area "as-built" elevations shall be taken 10.5. at the bottom of the retention area and at the top of bank. If there are contours indicated on the design plans, then they shall be included in 10.6. "as-built" drawings as well.
- Upon completion of the work, the contractor shall prepare "as-built" drawings on full size, 24" x 36' sheets. All "as-built" information shall be put on the black line drawings shall be submitted. These 10.7. All existing signs that conflict with construction latest engineering drawings. Eight (8) sets of blue or drawings shall be signed and sealed by a Florida registered professional engineer or land surveyor.
- 8.9 An electronic copy of these "as-huilt" drawings shall be submitted to the engineer of record in AutoCAD. 10.8. Relocated sign support system must meet the current version 2008 or later.

- to fabrication.
- The contractor is advised that properties adjacent to and/or sewer service laterals which may not be shown in plans. The contractor must request the location of these lateral services from the utility companies.
- 9.3. The contractor shall use hand digging when 10.12.All signs shall meet all of the following: excavating near existing utilities. Extreme caution shall be exercised by the contractor while excavating installing, backfilling or compacting around the utilities.
- The contractor shall notify and obtain an underground clearance from all utility companies and governmental agencies at least 48 hours prior to beginning any construction. The contractor shall obtain a Sunshine811.com Certification clearance number and field markings at least 48 hours prior to beginning any excavation.
- Prior to commencement of any excavation, the contractor shall comply with Florida statute 553.851 for the protection of underground gas
- For street excavation or closing or for alteration of access to public or private property, the contractor shall notify:
- Roadway jurisdictional engineering / public works authority.
- County transit authority
- School board transportation authority
- Jurisdictional fire department dispatch Jurisdictional police department(s)
- The contractor shall use extreme caution working under, over, and around existing electric lines. The 10.15.Layout permanent final striping that leaves no visible contractor shall contact the electric provider company to verify locations, voltage, and required clearances. onsite, in right-of-ways, and in easements, prior to

any construction in the vicinity of existing lines.

- Location and size of all existing utilities and topography (facilities) as shown on construction drawings are drawn from available records. The engineer assumes no responsibility for the accuracy of the facilities shown or for any facility not shown. It is the contractor's responsibility to determine the exact location (vertical & horizontal) of any existing utilities and topography prior to construction. The contractor shall verify the elevations and locations of all existing facilities, in coordination with all utility companies, prior to beginning any construction operations. If an existing facility is found to conflict with the proposed construction, the contractor shall immediately notify the engineer so that appropriate measures can be taken to resolve the conflict.
- The contractor shall coordinate the work with other contractors in the area and any other underground utility companies required. The contractor shall coordinate relocation of all existing utilities with applicable utility companies.

### 10. Signing and Pavement Markings

- these plans shall conform to the Federal highway administration (FHWA) "manual on uniform traffic control devices" (MUTCD), County Traffic Design Standards and FDOT design standards as a minimum
- 10.3. Removal of the existing pavement markings shall be accomplished by water blasting or other approved

- methods determined by the engineer.
- cross sections. Lake and canal bank cross sections 10.4. Incorrectly placed paint or thermoplastic pavement markings over friction course will be removed by milling and replacing the friction course a minimum width of 18 in at the contractor's expense. The engineer may approve an alternative method if it can be demonstrated to completely remove the markings without damaging the asphalt.
  - . Place all retro-reflective pavement markers in accordance with standard index 17352 and / or as shown in the plans.
  - Caution should be exercised while relocating existing signs to prevent unnecessary damage to signs. If the sign is damaged beyond use, as determined by the engineer, signs shall be replaced by the contractor at
  - operations shall be removed, stockpiled, and relocated by the contractor. Sign removal shall be directed by the engineer.
  - design standard.
  - 10.9. The contractor shall provide an inventory of existing signs to remain or to be relocated prior to starting the job and forward this list to the engineer. Contractor shall notify if there are any missing or damage signs that the plans show to remain or to be relocated.
- the project have electric, telephone, gas, water 10.10.All roadway pavement markings shall be thermoplastic in accordance with FDOT specifications section 711.
  - 10.11. Hand dig the first four feet of sign foundation
    - · Meet the criteria outlined in Section 2A.08 of the 2009 MUTCD
    - Meet the specifications outlined in Section 700 and 994 of the latest FDOT Standard Specifications.
    - Consist of materials certified to meet the retroreflective sheeting requirements outlined in the current version of ASTM D4956 for type-XI retroreflective sheeting materials made with prisims, except for school zone and pedestrian signs which shall be comprised of retroreflective fluorescent yellow-green sheeting certified to meet ASTM D4956 Type IV retroreflective sheeting
    - Consist of retroreflective sheeting materials that have a valid FDOT Approved Product List (APL) certification for specification 700 Highway Signing for FDOT sheeting Type XI (or type IV for school and pedestrian signs).
  - 10.13.Patch attachment hardware, such as countersunk screws or rivet heads, with retro reflective buttons that match the color and sheeting material of the finished sign panel including the background, legend or border
  - 10.14.Ensure the outside corner of sign is concentric with border. Ensure white borders are mounted parallel to the edge of the sign. Ensure black borders are recessed from the edge of the sign.
  - marks at time of final acceptance

301 East Atlantic Roulevard Pompano Beach, Florida 33060-6643

120 North Federal Highway, Suite 208 Lake Worth, Florida 33460

PH: (954) 788-3400

Florida Certificate of Authorization # - 7928

BID / CONTRACT NO. : REVISIONS DESCRIPTION

#### PRELIMINARY PLAN NOT FOR CONSTRUCTION

AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY



7-ELEVEN #41361 1900 10TH AVENUE NORTH. LAKE WORTH FLORIDA 33461

AS NOTE

SCALE:

IST SUBMITTAL DATE: MARCH 2020 DRAWN BY: MG DESIGNED BY: MG CHECKED BY TD This item has been digitally signed and sealed by Thomas F. Donahue, P.E. on the date Printed copies of this document are not considered signed and sealed and the signature must be verified on entire the complex of the complex

SHEET TITLE

**GENERAL NOTES** 

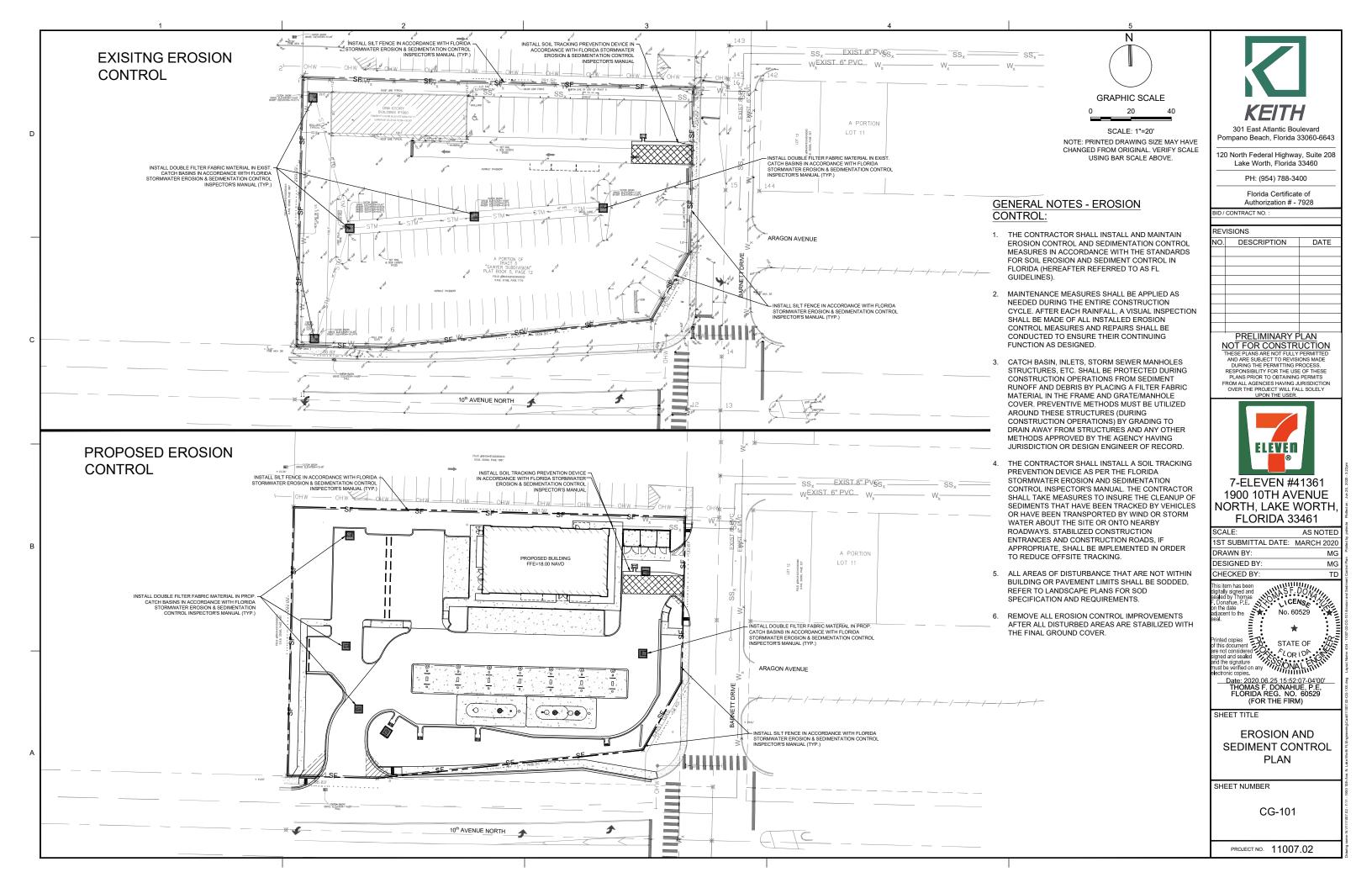
Date: 2020.06.25 15:51:45-04:00' THOMAS F. DONAHUE, P.E.

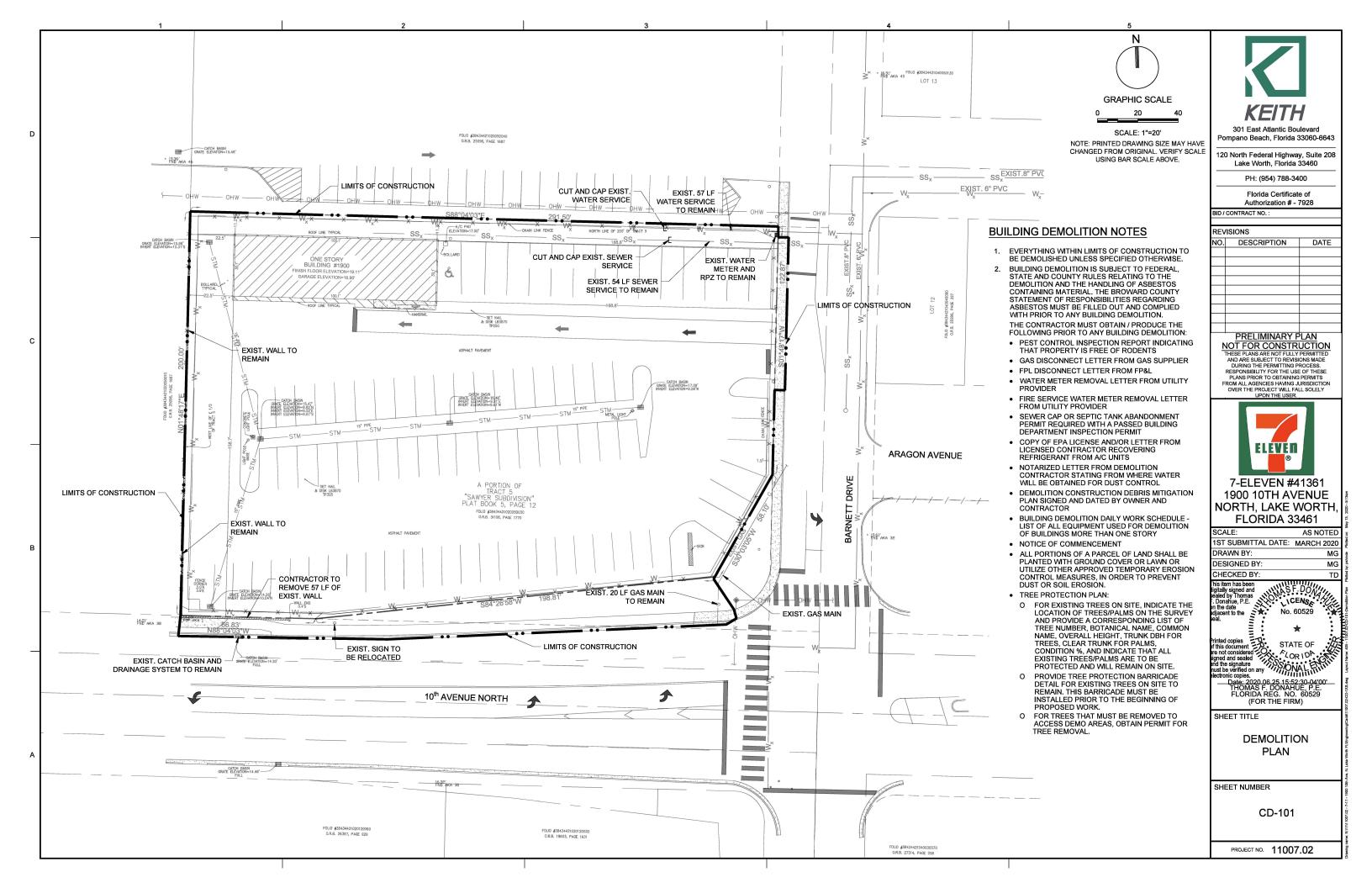
FLORIDA REG. NO. 60529

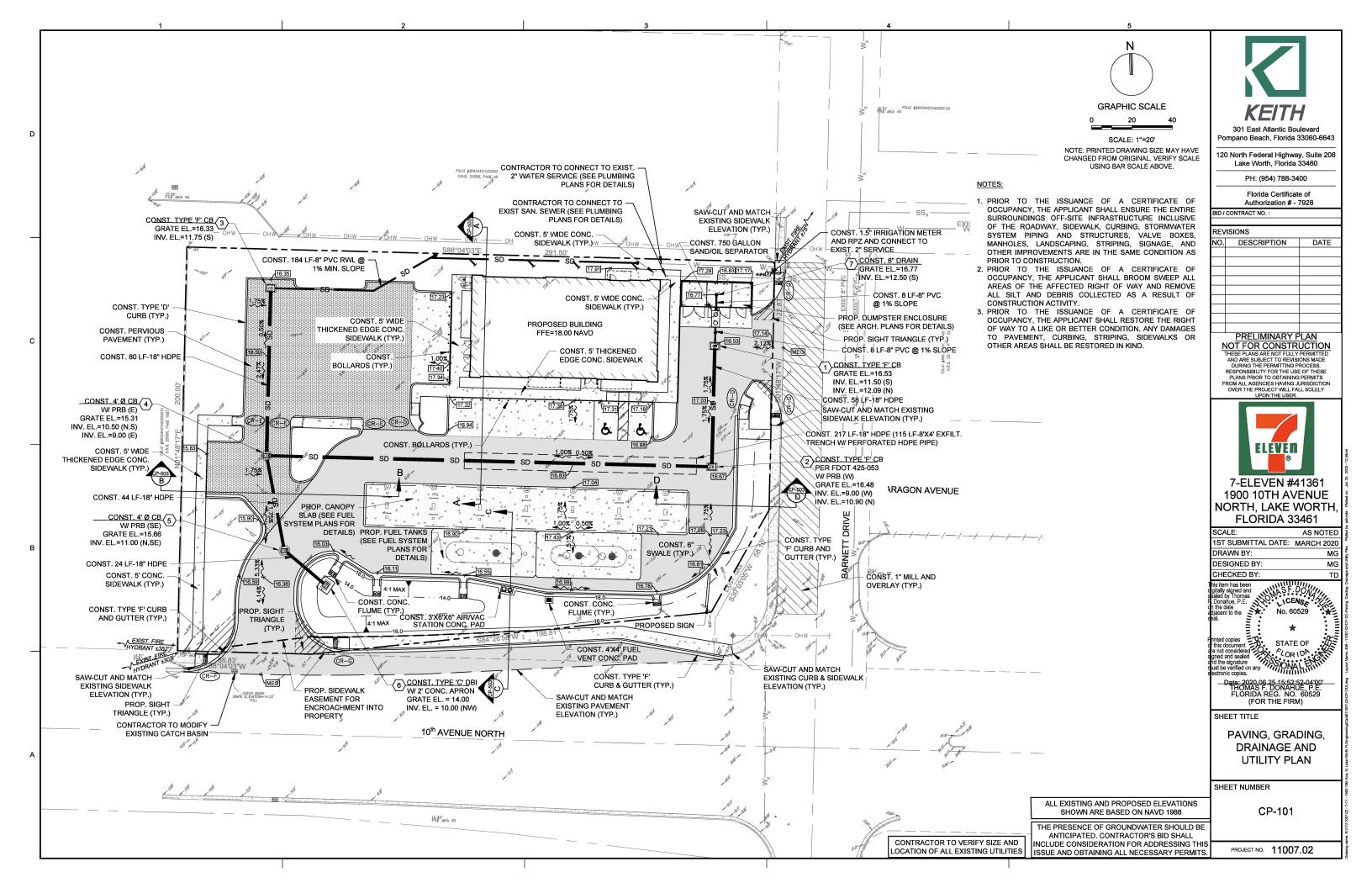
(FOR THE FIRM)

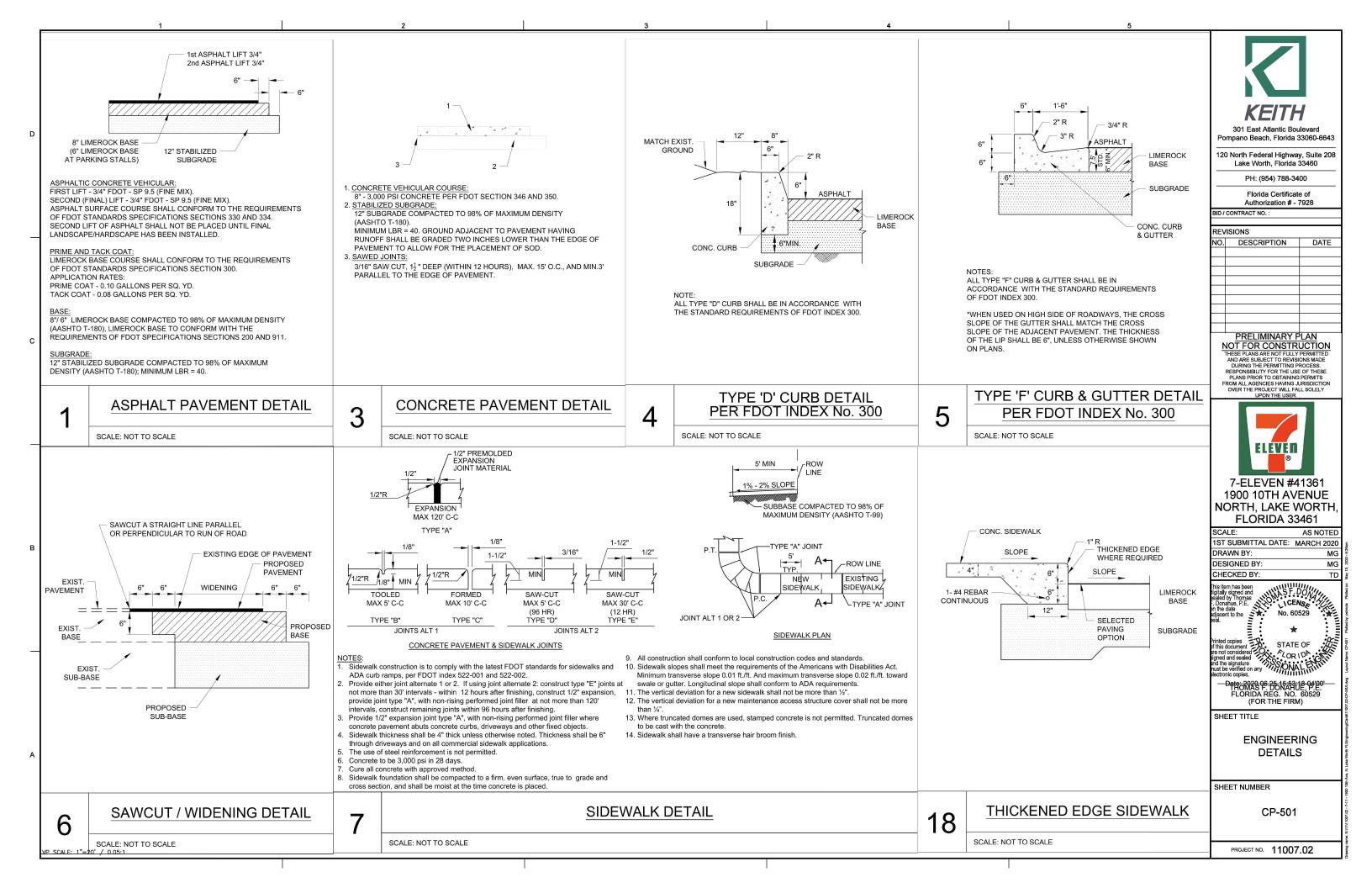
SHEET NUMBER

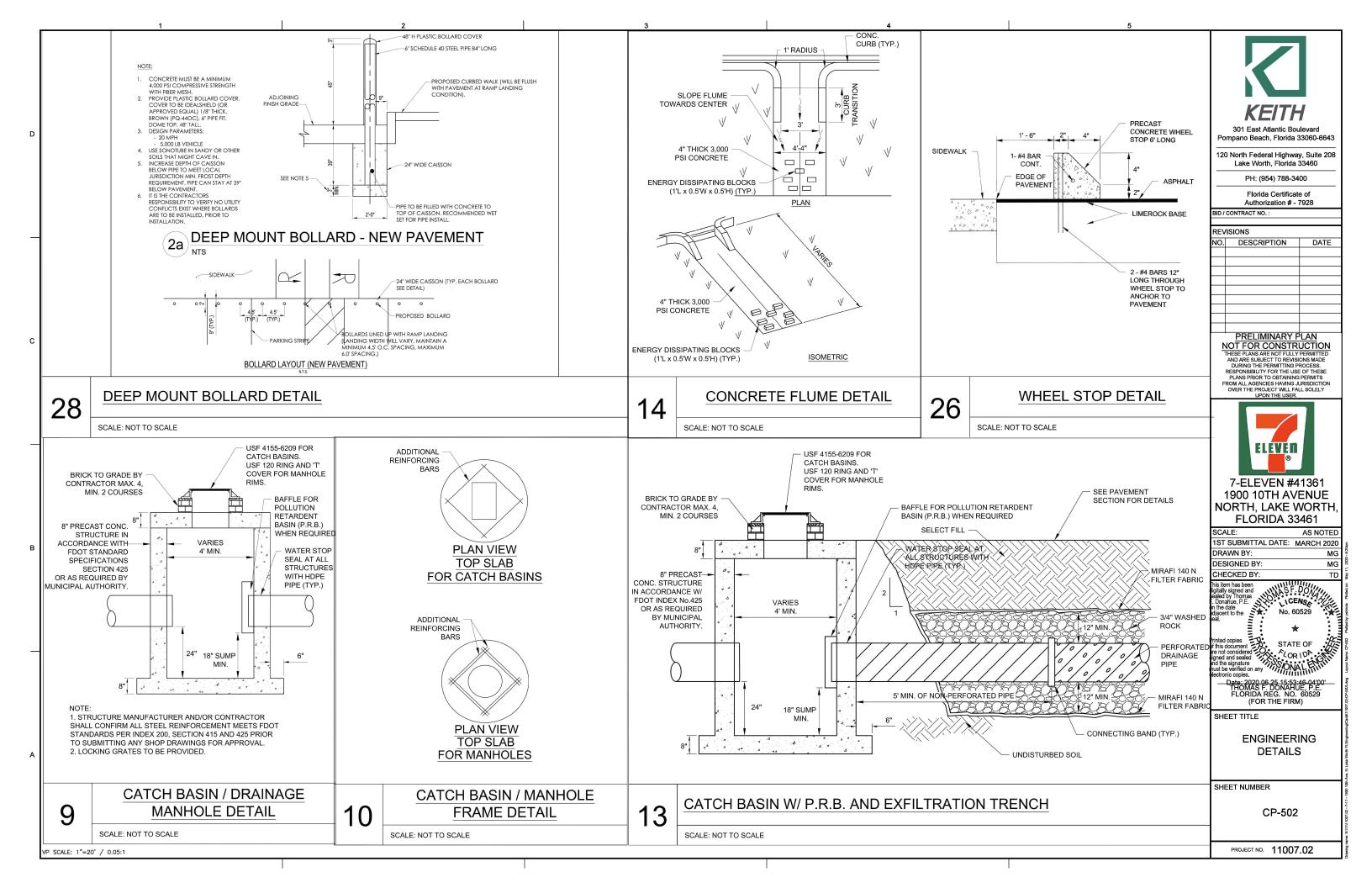
GI-003

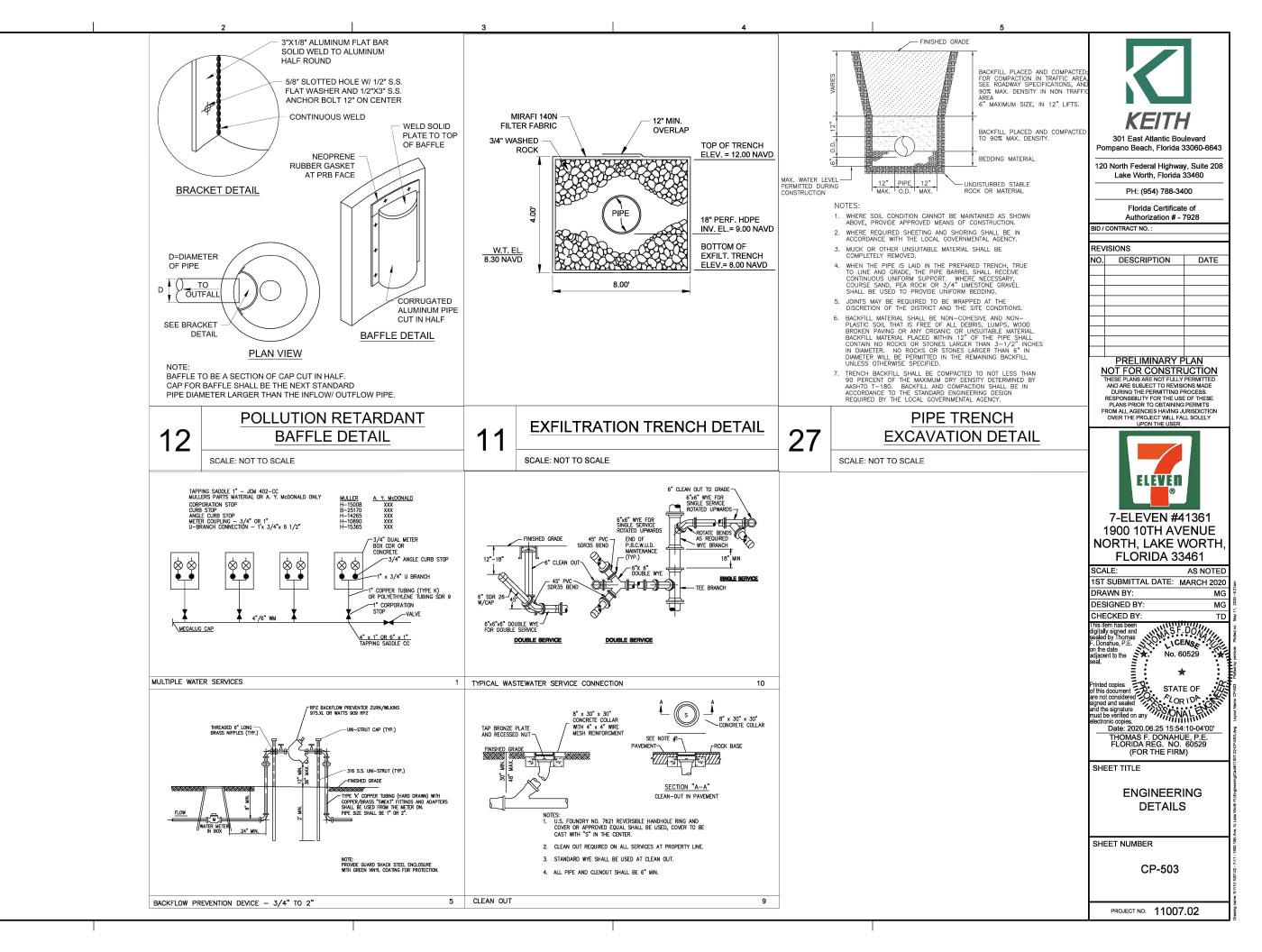


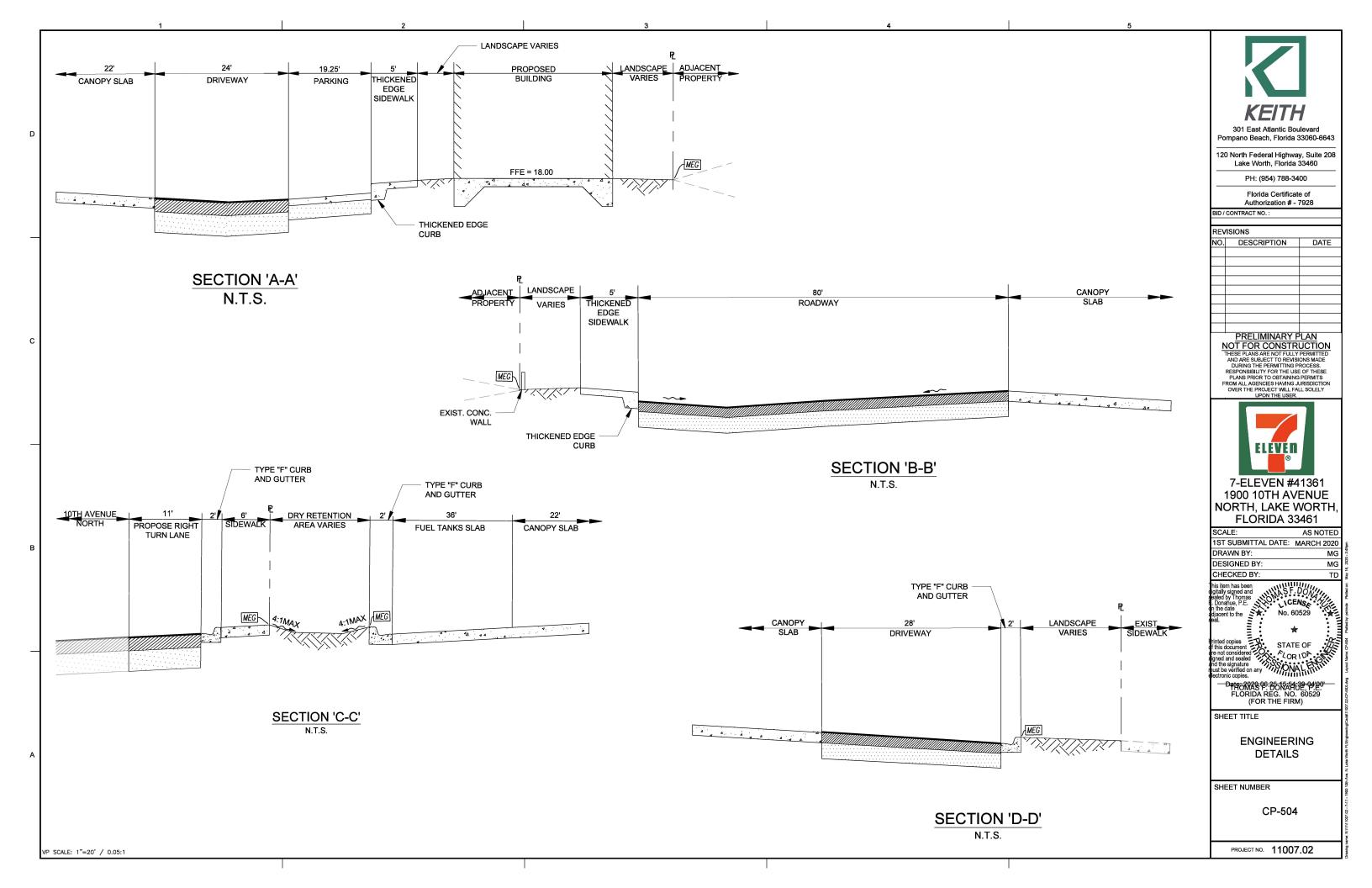


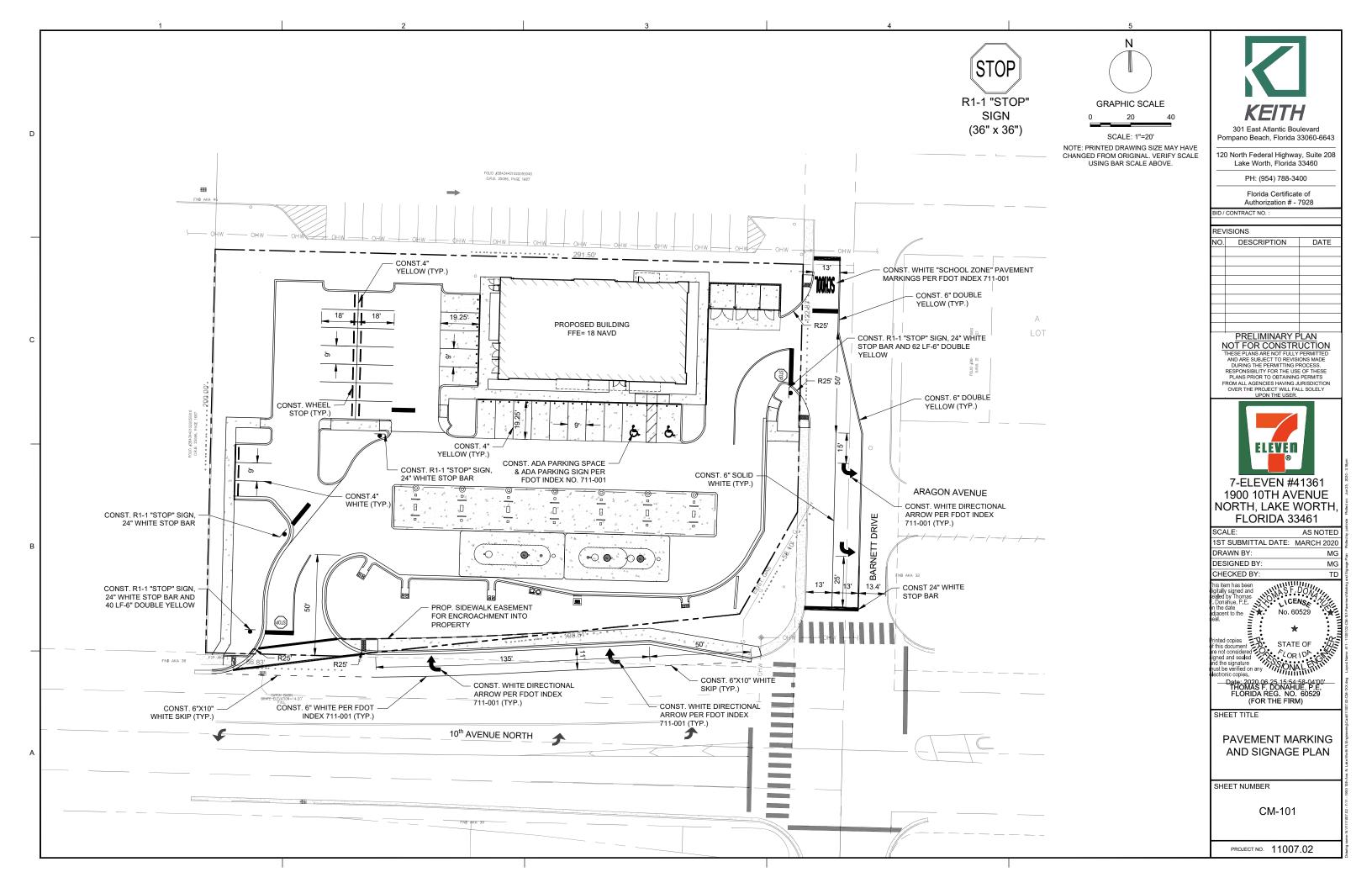


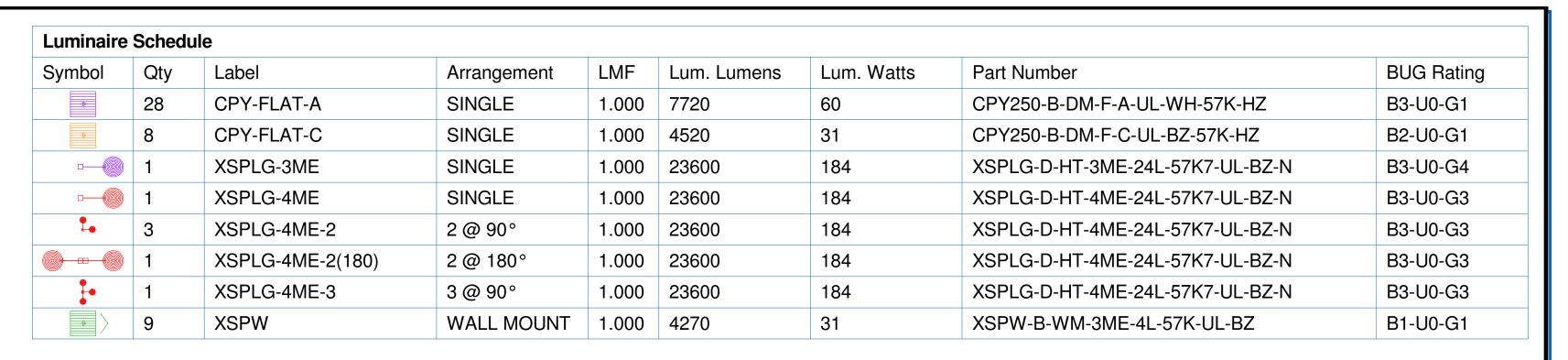


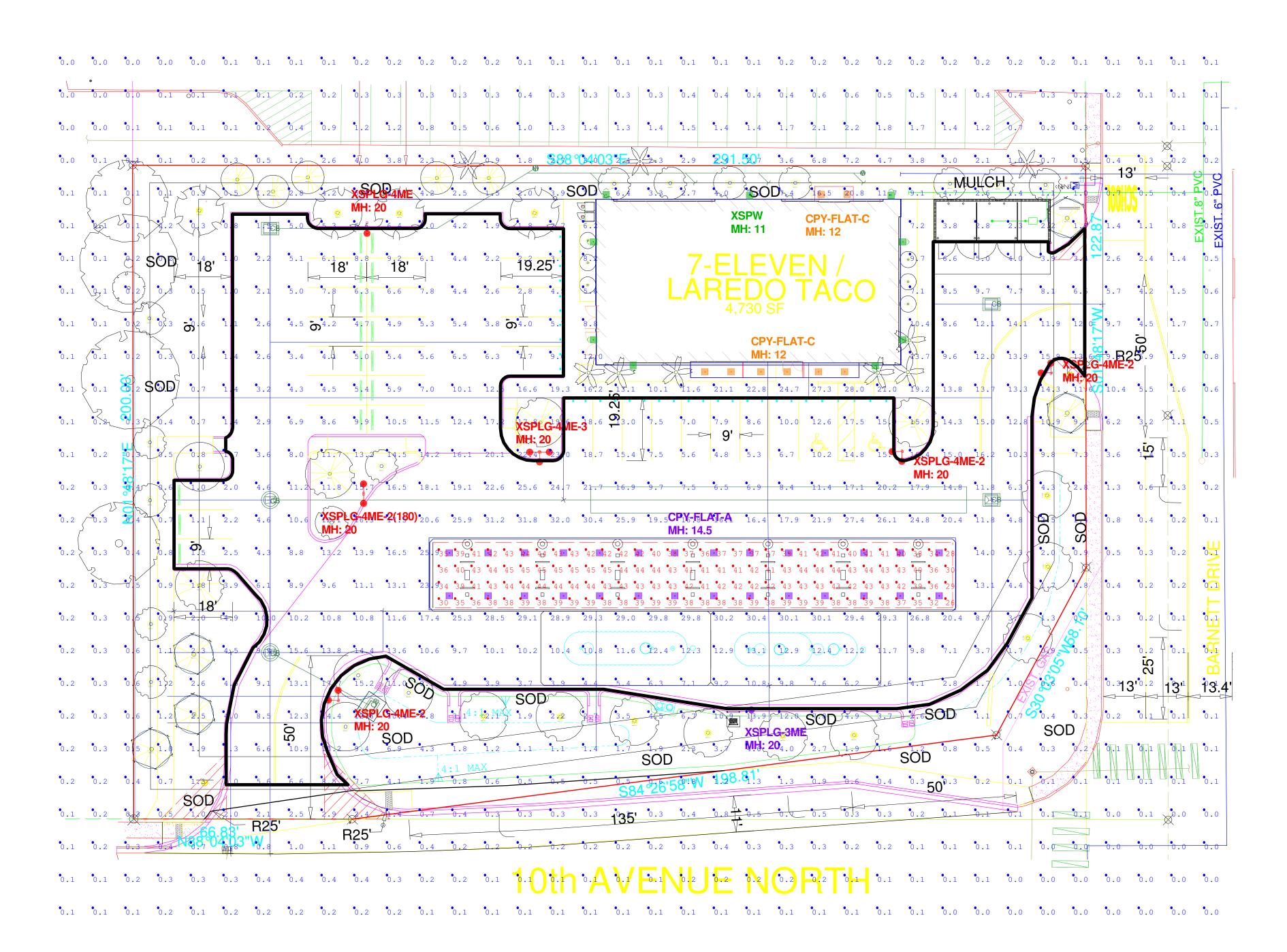












Calculation Summary; 1.00 LLF						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
All Calc Points	Fc	4.85	32.0	0.0	N.A.	N.A.
Gas Canopy	Fc	40.20	45	26	1.55	1.73
Paved Area	Fc	20.95	45.0	1.0	20.95	45.00

# FIXTURE MOUNTING HEIGHTS AS SHOWN POLES MOUNTED ON 3' BASE

Verify Concrete Poles vs. SSS 7-11 Poles Due to Windzone as well as location to coast

# ADDITIONAL EQUIPMENT REQUIRED:

- (7) SSS-4-7-17-CW-BS-OT-N-BZ (17' x 4" x 7ga, Steel Square Pole, Tenon)
- (2) PD-1H4(90)BZ HORIZONTAL TENON 1@90
- (3) PD-2H4(90)BZ HORIZONTAL TENON 2@90
- (1) PD-2H4(180)BZ HORIZONTAL TENON 2@180
- (1) PD-3H4(90)BZ HORIZONTAL TENON 3@90

# PROPOSED POES MEET 180MPH SUSTAINED WIND LOADS

*** CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER ***

# Bill Of Material

- 28 CPY250-B-DM-F-A-UL-WH-57K-HZ
- 08 CPY250-B-DM-F-C-UL-BZ-57K-HZ
- 12 XSPLG-D-HT-4ME-24L-57K7-UL-BZ-N
- 01 XSPLG-D-HT-3ME-24L-57K7-UL-BZ-N**||**
- 09 XSPW-B-WM-3ME-4L-57K-UL-BZ
- 02 PD-1H4(90)BZ
- 03 PD-2H4(90)BZ
- 01 PD-2H4(180)BZ
- 01 PD-3H4(90)BZ
- 07 SSS-4-7-17-CW-BS-OT-N-BZ

CREE LIGHTING

A COMPANY OF IDEAL INDUSTRIES, INC.

9201 Washington Ave, Racine, WI 53406 https://creelighting.com - (800) 236-6800

mination results shown on this lighting design based on project parameters provided to be Lighting used inconjunction with luminaire the procedures conducted under laboratory additions. Actual project conditions differing these design parameters may affect field ults. The customer is responsible for ifying dimensional accuracy along with appliance with any applicable electrical,

Project Name: 7-11 #1046710 1900 10th Ave North Lake Worth, FL - EXT

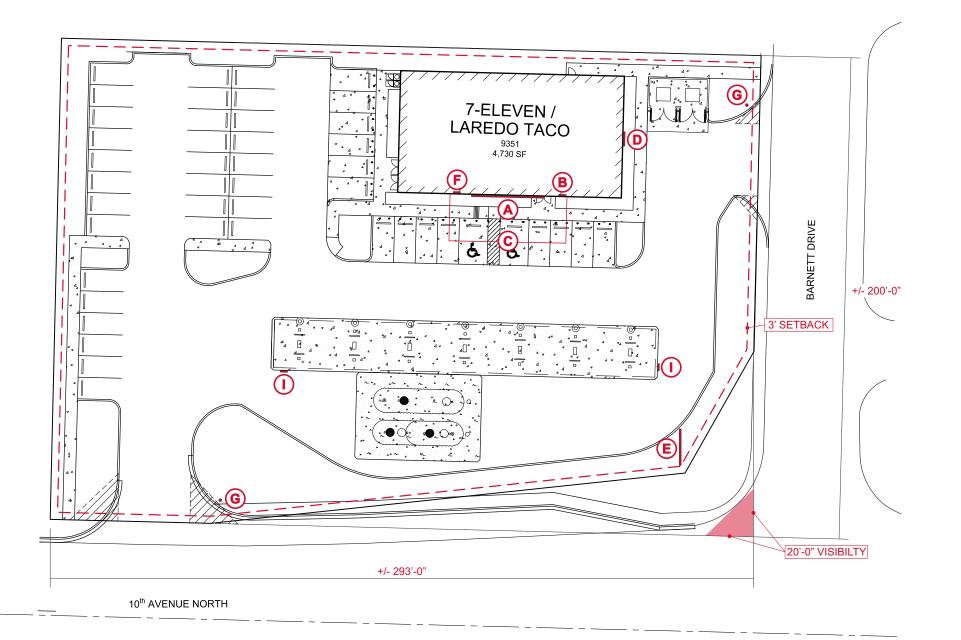
SR-40998

Footcandles calculated at grade

Filename: 711-200302LWFLCWR2. A.G. e:6/25/2020

Layout By: Collin Witherow Scale 1" = 20'

0 40 80





A	5-Pack SEJ W/S (36")
B	ATM Interior Sign
(O)	Window Graphics
<b>(</b>	W37 Keystone W/S
E	M50 Monument Sign
<b>(E</b> )	LTC Interior Hanging Sign
G	Directional Sign
	Canopy Signs

Sqft Allowand	es
Wall Signs Allowed:	139.7 sqft
5-Pack Tateyama:	85.3 sqft
W37 Keystone W/S:	36.0 sqft
Wall Signs Total:	121.3 sqft
Monument Sign Allowed:	100.0 sqft
Monument Sign Total:	99.6 sqft

5300 Shad Road, Jacksonville, FL. 32257 • 904.268.4681 2301 Ohio Dr, Plano, TX. 32257 • 972.905.9450

#### www.harbingersign.com

CLIENT: 7-Eleven #41361 (1046710)

ADDRESS: PIONEER ST & S 65TH AVE RIDGEFIELD, WA 98642

CONTACT: DPM: RCC:

SALES ASSOC.: Rick Guarino PROJECT MGR: Brian Hutto

# DESIGNER: Fernando Mercado

SVE_41361 (1046710)_Q118953_R3

F:\Customers\7 Eleven\Art\SVE_(41361) 1046710_Q118953_R3.CDR				
Date	Rev	Description		
11.14.19	00	Original		
02.21.20		Update with new site plan		
03.27.20	R2	Update adding LTC signage		
04.02.20	R3	Update with new elevations		

#### ZONING: MU-W Mixed Use-West SQUARE FOOTAGE FORMULA

#### **Code Information:**

#### Wall Signs

Total sign area based on lot frontage. Ten percent of the area of primary frontage facade that faces a public road. A maximum of 100 sqft. sign area per sign allowed and a maximum of 3 signs per building. Five percent sqft. allowed for secondary building facades visible from a public right-of-way.

#### **Freestanding Signs**

100 sf per face. Overall height allowed 12'-0" Min. 3' Set back

#### Gas Canopy

Not stipulated in ordinance, submit plans to City for approval.

#### Directionals

Max. height: 4'-0" Max. sqft.: 4.0 sqft.

#### **WALL SIGN ONLY**

ALLOWED TOTAL 139.7 SQ. FT. PROPOSED TOTAL 121.3 SQ. FT.

Site Notes:

Customer Approval:_ _ DATE:_

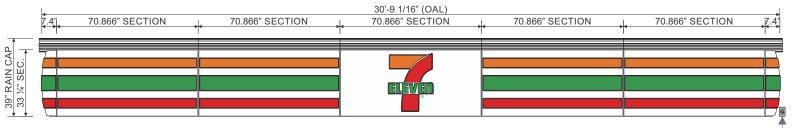
Page: 1



THE STRUCTURAL DESIGN CONFORMS TO THE FOLLOWING CODES AND SPECIFICATIONS:
THE FORDS BUILDING CODE SYNTH EDITION (2017). THE AMERICAN INSTITUTE OF STEEL
CONSTRUCTION/MALL OF STEEL CONSTRUCTION STHE DOTION). THE AMERICAN WEDING
SOCIETY/M/S DL15]. THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS
OF CHARLESTAN CONCRETERS AND AND REPORT OF THE MAINTAIN FOR THE PROPERTY OF THE MAINTAIN CONCRETE AND AND AND REPORT OF THE MAINTAIN CONCRETE AND REPORT OF TH FOR STRUCTURAL CONCRETE(ACI 318-14). THE SPECIFICATION FOR ALUMINUM STRUCTURES BY THE ALUMINUM ASSOCIATION(CURRENT EDITION).

Site Plan

1" = 40'-0"

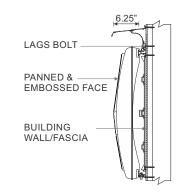


ONE (1) SET OF 33 1/4" S/F INTERNALLY ILLUMINATED WALL SIGNS (SEJ 1800 SERIES).

ELECTRICAL NOTE: EXPOSED EXTERIOR 20 AMP WEATHERPROOF ELECTRICAL DISCONNECT REQUIRED WITHIN VISUAL RANGE OF SIGN REQUIRED FOR EVERY 16 AMPS OF SIGNAGE. ACTUAL NUMBER OF CIRCUITS TO BE DETERMINED BY A LICENSED ELECTRICAL CONTRACTOR. ACTUAL LOCATION OF BOX MAY VARY. CIRCUITS AND SWITCH TO BE PROVIDED BY OTHERS. INPUT VOLTAGE - 120V ALL SIGNAGE WILL BE (MET) LISTED,(U.L.) 48STD COMPLIANT AND CARRY (MET) LABELS.

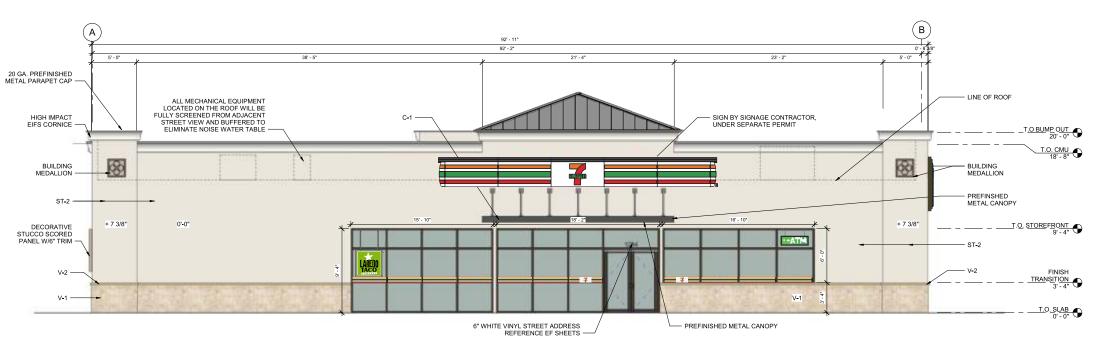
| Front Elevation - SEJ 1800 Series Wall Sign Sections - Sign A

1/4" = 1'-0" Display Square Footage (Sections): **85.3** 



Side Mounting Detail - Sign A

Code Information:
Allowed: 100.0 sqft
Proposed: 85.3 sqft



| Proposed South Elevation - Signs A, B, C & F

3/32" = 1'-0"

**harbinger**, sign of the future 5300 Shad Road, Jacksonville, FL. 32257 • 904.268.4681

5300 Shad Road, Jacksonville, FL. 32257 • 904.268.468 2301 Ohio Dr, Plano, TX. 32257 • 972.905.9450

www.harbingersign.com

CLIENT: 7-Eleven #41361 (1046710)

ADDRESS: PIONEER ST & S 65TH AVE RIDGEFIELD, WA 98642

CONTACT:

SALES ASSOC.: Rick Guarino
PROJECT MGR: Brian Hutto

DESIGNER: Fernando Mercado

#### SVE_41361 (1046710)_Q118953_R3

Date	Rev.	Description
11.14.19	00	Original
02.21.20	R1	Update with new site plan
03.27.20		Update adding LTC signage
04.02.20	R3	Update with new elevations
		-
	$\overline{}$	

ZONING: MU-W Mixed Use-West SQUARE FOOTAGE FORMULA

ALLOWED TOTAL PROPOSED TOTAL

139.7 SQ. FT. 121.3 SQ. FT.

DATE:

Site Notes:

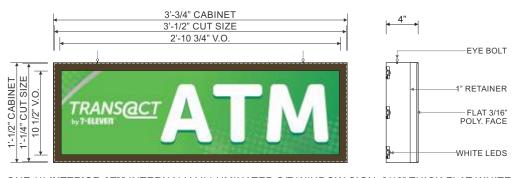
Customer Approval:

Page: 2



UL 48 CSA C22.2 No.207

THE STRUCTURAL DESIGN CONCORNS TO THE FOLLOWING CODES AND SPECIFICATIONS: THE FLORIDA BUILDING CODE SIXTH EDITION (2017). THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION/BUILDING COSTEEL CONSTRUCTION OF THE EDITION). THE AMERICAN WILDING SOCIETY(AWS DILHS). THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE(AS 1844). THE SPECIFICATION FOR ALUMINUM STRUCTURES BY THE ALUMINUM SSOCIATION (CIRCRET BOTTOM).



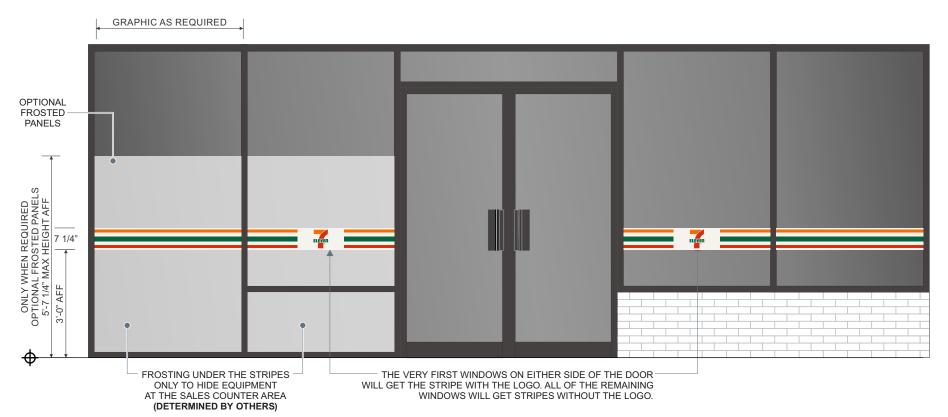
ONE (1) **INTERIOR ATM** INTERNALLY ILLUMINATED S/F WINDOW SIGN. 3/16" THICK FLAT WHITE POLYCARBONATE FACE W/ DIGITALLY PRINTED IMAGE VINYL TO BE APPLIED FIRST SURFACE. CABINET TO BE INTERNALLY ILLUMINATED W/ GE WHITE LEDS. 4 DEEP ALUM. CABINET & 1" RETAINERS ALL PAINTED **313E DURANODIC BRONZE.** SIGN TO HANG INSIDE THE STORE BEHIND GLASS AS INDICATED IN PHOTO OVERLAY WITH EYE BOLTS.

VINYL SPECS: DIGITALLY PRINTED IMAGE VINYL PAINT SPECS: 313E DURANODIC BRONZE

NOTE: ATM SIGN TO BE FABRICATED & INSTALLED BY OTHERS

Front Elevation & Side Mounting Detail - ATM S/F Window Sign - Sign B

. 1'-0" Display Square Footage (Cabinet): **3.2** 



WINDOW VINYL GRAPHICS.

VINYL GRAPHICS TO BE APPLIED SECOND SURFACE ONTO DESIGNATED STORE WINDOWS.

**NOTE**: WINDOW GRAPHICS KITS TO BE PROVIDED AND INSTALLED BY OTHERS. NOT PART OF HARBINGERS SCOPE OF WORK. **NOTE**: FOR FULL INSTALLATION INSTRUCTIONS, REFER TO 7-ELEVEN SIGNAGE MANUAL.

Front Elevation - Typical Window Vinyl Graphics - Sign C

3/8" = 1'-0"

harbinger, sign of the future

5300 Shad Road, Jacksonville, FL. 32257 • 904.268.4681 2301 Ohio Dr, Plano, TX. 32257 • 972.905.9450

#### www.harbingersign.com

CLIENT: 7-Eleven #41361 (1046710)

ADDRESS: PIONEER ST & S 65TH AVE RIDGEFIELD, WA 98642

CONTACT:

SALES ASSOC.: Rick Guarino
PROJECT MGR: Brian Hutto

DESIGNER: Fernando Mercado

#### SVE_41361 (1046710)_Q118953_R3

Date	Rev.	. Description
11.14.19	00	Original
02.21.20	R1	Update with new site plan
03.27.20	R2	Update adding LTC signage
04.02.20	R3	Update with new elevations

ZONING: MU-W Mixed Use-West SQUARE FOOTAGE FORMULA

ALLOWED TOTAL PROPOSED TOTAL

139.7 SQ. FT. 121.3 SQ. FT.

DATE:

Site Notes:

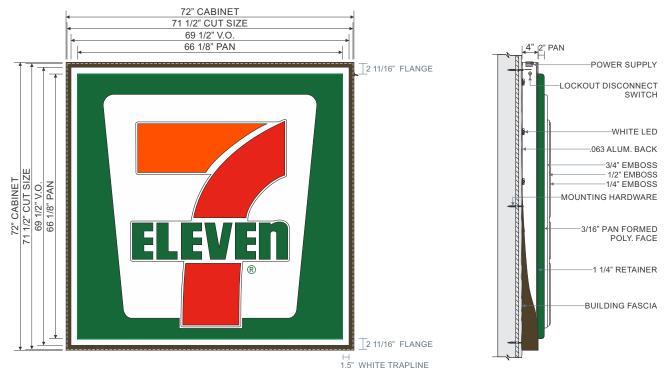
Customer Approval:___

Page: 3



UL 48 CSA C22.2 No.20

THE STRUCTURAL DESIGN CONCORNS TO THE FOLLOWING CODES AND SPECIFICATIONS: THE FLORIBA BUILDING CODE SIXTH EDITION (2017). THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION/BUILDING COSTEEL CONSTRUCTIONS AT HE BUILDING, THE AMERICAN WEDDING SOCIETY/(AWS DLHS). THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETAL SIXH-M). THE SPECIFICATION FOR ALUMINUM STRUCTURES BY THE ALUMINUM ASSOCIATION (CURRENT EDITION).



ONE (1) **W37** INTERNALLY ILLUMINATED S/F WALL SIGN CABINET.
3/16" THICK PAN FORMED & EMBOSSED WHITE POLY. FACE W/ TRANSLUCENT VINYL GRAPHICS APPLIED
FIRST SURFACE. 4" DEEP BRAKE FORM ALUM. CABINET W/ 1 1/4" RETAINERS TO BE PAINTED **DURANODIC BRONZE**.
CABINET TO BE INTERNALLY ILLUMINATED W/ WHITE LEDS.

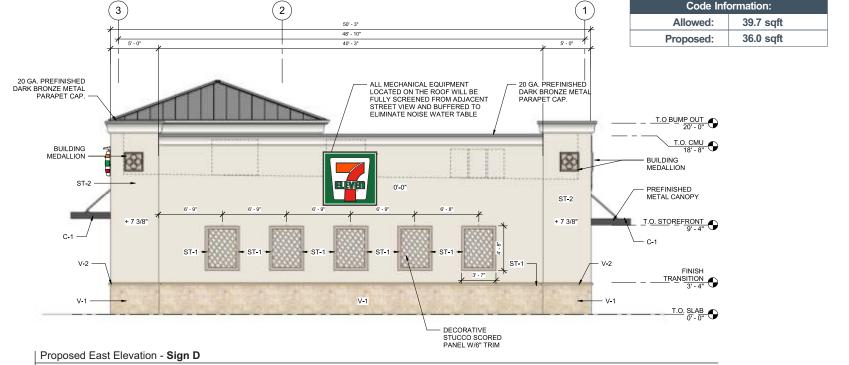
VINYL SPECS: 3M 3630-44 ORANGE, 3M 3630-33 RED, 3M 3630-26 GREEN PAINT SPECS: DURANODIC BRONZE

7-ELEVEN LOGO DIMENSIONS: OAH: 58 1/2" OAL: 53 7/16"

Face & Side Detail - W37 Wall Sign Cabinet - Sign D

1/2" = 1'-0"

Display Square Footage(Cabinet): 36.0



1/8" = 1'-0"

THIS DESIGN IS FOR THE SOLE PURPOSE OF ILLUSTRATION & CONCEPT DESIGN. THIS FILE IS NOT TO BE USED FOR PRODUCTION AND/OR FABRICATION. THIS DESIGN IS THE SOLE PROPERTY OF HARBINGER AND MAY NOT BE USED OR DUPLICATED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF HARBINGER.

# harbinger. sign of the future

5300 Shad Road, Jacksonville, FL. 32257 • 904.268.4681 2301 Ohio Dr, Plano, TX. 32257 • 972.905.9450

#### www.harbingersign.com

CLIENT: 7-Eleven #41361 (1046710)

ADDRESS: PIONEER ST & S 65TH AVE RIDGEFIELD. WA 98642

CONTACT:

SALES ASSOC.: Rick Guarino

PROJECT MGR: Brian Hutto

DESIGNER: Fernando Mercado

#### ESIGNER. Fernando Mercado

#### SVE_41361 (1046710)_Q118953_R3

Date	Rev	. Description
11.14.19	00	Original
02.21.20		Update with new site plan
03.27.20	R2	Update adding LTC signage
04.02.20	R3	Update with new elevations
		<u> </u>

ZONING: MU-W Mixed Use-West SQUARE FOOTAGE FORMULA

ALLOWED TOTAL PROPOSED TOTAL

139.7 SQ. FT. 121.3 SQ. FT.

DATE:

Site Notes:

Customer Approval:__

Page: 4



UL 48 CSA C22.2 No.:

THE STRUCTURAL DESIGN CONCORNS TO THE FOLLOWING CODES AND SPECIFICATIONS: THE FLORIDA BUILDING CODE SIXTH EDITION (2017). THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION/BUILDING COSTEEL CONSTRUCTION OF THE EDITION). THE AMERICAN WILDING SOCIETY(AWS DILHS). THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE(AS 1844). THE SPECIFICATION FOR ALUMINUM STRUCTURES BY THE ALUMINUM SSOCIATION (CIRCRET BOTTOM).

Total Sign Square fo	ootage Calculations:
Allowed:	100.0 sqft
Proposed:	99.6 sqft

Overall Height:				
Allowed Max:	12'-0"			
Proposed:	11'-0"			

SetB	acks:
Requirements:	3'-0"
Proposed:	3'-0"



5300 Shad Road, Jacksonville, FL, 32257 • 904,268,4681 2301 Ohio Dr, Plano, TX. 32257 • 972.905.9450

#### www.harbingersign.com

CLIENT: 7-Eleven #41361 (1046710)

ADDRESS: PIONEER ST & S 65TH AVE RIDGEFIELD. WA 98642

CONTACT:

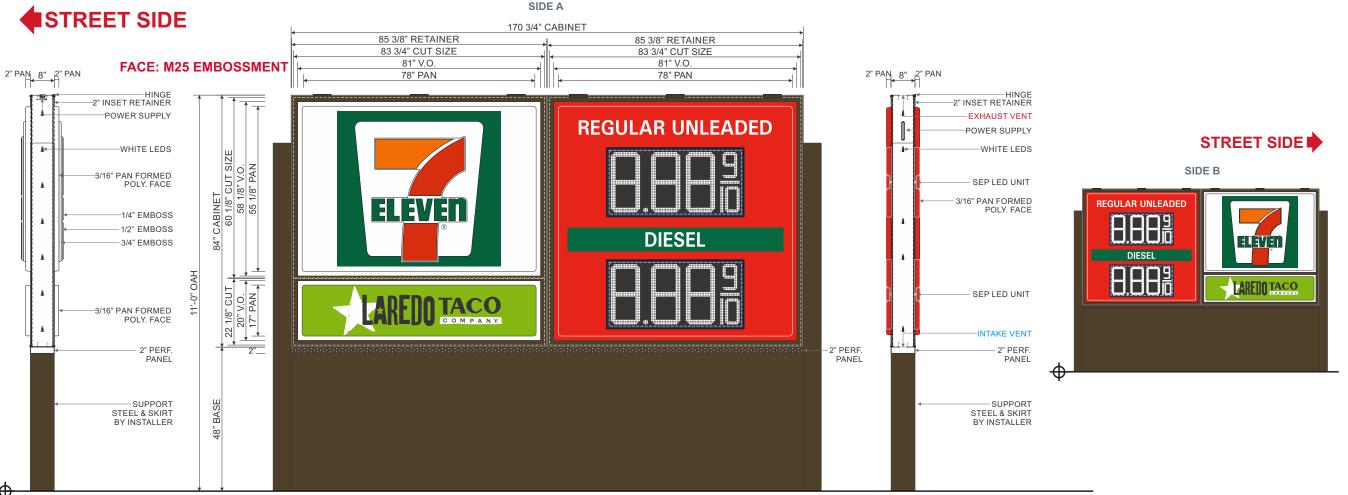
SALES ASSOC.: Rick Guarino PROJECT MGR: Brian Hutto

DESIGNER: Fernando Mercado

#### SVE_41361 (1046710)_Q118953_R3

Date	Rev.	. Description
11.14.19	00	Original
02.21.20	R1	Update with new site plan
03.27.20	R2	Update adding LTC signage
04.02.20	R3	Update with new elevations

ZONING: MU-W Mixed Use-West SQUARE FOOTAGE FORMULA



ONE (1) NON-STANDARD D/F INTERNALLY ILLUMINATEDSIGN CABINET. 8" DEEP EXTRUDED ALUM. CABINET W/ 2" INSET HINGED RETAINERS TO BE PAINTED DURANODIC BRONZE. CABINET TO BE INTERNALLY ILLUMINATED W/ WHITE LEDS. 2" INSET RETAINERS TO BE HINGED ON ONE SIDE OF CABINET.

7-ELEVEN FACE SPECS: 3/16" THICK PAN FORMED & EMBOSSED WHITE POLYCARBONATE FACES W/ TRANSLUCENT VINYL GRAPHICS APPLIED FIRST SURFACE. 8" DEEP EXTRUDED ALUM. CABINET W/ 2" INSET HINGED RETAINERS TO BE PAINTED DURANODIC BRONZE. CABINET TO BE INTERNALLY ILLUMINATED W/ WHITE LEDS. 2" INSET RETAINERS TO BE HINGED ON ONE SIDE OF CABINET.

VINYL SPECS: 3M 3630-44 ORANGE, 3M 3630-33 RED, 3M 3630-26 GREEN

PAINT SPECS: DURANODIC BRONZE

LAREDO TACO CO. FACE SPECS: 3/16" THICK PAN FORMED WHITE POLYCARBONATE FACE W/ DIGITALLY PRINTED 3M 3630-20 WHITE VINYL & 3M 8520 LAMINATE TO BE APPLIED FIRST SURFACE.

VINYL SPECS: 3M 3630-20 WHITE, 3M 8520 LAMINATE COLOR SPECS: PMS 376 C GREEN, PMS WHITE, BLACK

ONE (1) STANDARD L50G2D D/F "DOUBLE-PRODUCT" DIESEL INTERNALLY ILLUMINATED SIGN CABINET W/ WHITE LED DIGITS. CABINET TO BE INTERNALLY ILLUMINATED W/ WHITE LEDS. 3/16" THICK PAN FORMED CLEAR POLY, FACES BACK SPRAYED PMS 485 RED THEN PMS WHITE W/ 3M 3630-26 GREEN TRANSLUCENT VINYL & 3M 7725-12 BLACK VINYL TRIM AROUND LED WINDOW APPLIED SECOND SURFACE. 8" DEEP EXTRUDED ALUM. CABINET W/2" INSET RETAINERS TO BE PAINTED DURANODIC BRONZE. RETAINER TO BE HINGED ON BOTH SIDES OF THE CABINET.

PROVIDE CUSTOMER W/ PRICE VISION 20" DIGIT WHITE LED MODULES.

7-ELEVEN VINYL SPECS: 3M 3630-26 GREEN, 3M 7725-12 BLACK

7-ELEVEN PAINT SPECS: PMS 485 RED & PMS WHITE

PROVIDE 2" PERFORATED PANEL SECTION FINISHED DURANODIC BRONZE TO FILL/PROVIDE VENTILATION SPACE UNDERNEATH CABINET FOR AIR FLOW VENTS.

NOTE: SUPPORT STEEL & BASE TO BE PROVIDED BY INSTALLER.

NOTE: SUPPORT STEEL & ALUMINUM SKIRT TO BE PAINTED DURANODIC BRONZE.

NOTE: DEDICATED 20 AMP CIRCUIT REQUIRED FOR LED GAS PRICE CABINET, MUST BE PROVIDED BY CUSTOMER.

7-ELEVEN LOGO **DIMENSIONS:** OAH: 47" OAL: 42 15/16"

SEP PRICE VISION LED UNITS:

LED UNIT SIZE: 22.082" X 44.924" LED CHARACTER SIZE: 19.980"

Display Square Footage (Cabinets Combined): 99.6

Page: 5



**ALLOWED TOTAL** 

PROPOSED TOTAL

Site Notes:

Customer Approval

139.7 SQ. FT.

121.3 SQ. FT.

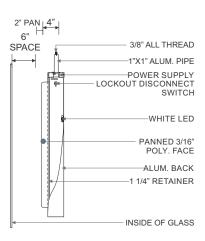
DATE

CONSTRUCTION(MANUAL OF STEEL CONSTRUCTION, 9TH EDITION). THE AMERICAN WELDING SOCIETY(AWS DI.1-15). THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE(ACI 318-14). THE SPECIFICATION FOR ALUMINUM STRUCTURES

THE STRUCTURAL DESIGN CONFORMS TO THE FOLLOWING CODES AND SPECIFICATIONS

| Face & Side Detail - Non-Standard 7-Eleven / LTC & L50G2D Double Product Monument Structure - Sign E





ONE (1) LTC- 3X3 HANGING S/F INTERNALLY ILLUMINATED SIGN CABINET. 3/16" THICK PAN FORMED WHITE POLY. FACE W/ TRANSLUCENT VINYL GRAPHICS APPLIED FIRST SURFACE. 4" DEEP ALUM. CABINET W/ 1 1/4" RETAINERS & FINISHED BACK TO BE PAINTED **PMS WHITE**. CABINET TO BE INTERNALLY ILLUMINATED W/ WHITE LEDS. PROVIDE 8'-0" LENGTHS OF ALL-THREAD & 1"X1" ALUM. PIPE.

LAREDO TACO CO. VINYL SPECS: 3M 3630-20 WHITE 3M 8520 LAMINATE LAREDO TACO CO. COLOR SPECS: PMS 376 C GREEN, PMS WHITE, PMS BLACK **PAINT SPECS:** PMS WHITE

7-ELEVEN LOGO **DIMENSIONS:** OAH: 29 1/2" OAL: 27"

Face & Side Detail - LTC- 3X3 HANGING S/F Cabinet - Sign F

1/2" = 1'-0"

Display Square Footage(Cabinet): 9.0



5300 Shad Road, Jacksonville, FL. 32257 • 904.268.4681 2301 Ohio Dr, Plano, TX. 32257 • 972.905.9450

#### www.harbingersign.com

CLIENT: 7-Eleven #41361 (1046710)

ADDRESS: PIONEER ST & S 65TH AVE RIDGEFIELD, WA 98642

CONTACT:

SALES ASSOC.: Rick Guarino PROJECT MGR: Brian Hutto

DESIGNER: Fernando Mercado

#### SVE_41361 (1046710)_Q118953_R3

Date	Rev	. Description
11.14.19	00	Original
02.21.20	R1	Update with new site plan
03.27.20	R2	Update adding LTC signage
04.02.20	R3	Update with new elevations

ZONING: MU-W Mixed Use-West SQUARE FOOTAGE FORMULA

ALLOWED TOTAL **PROPOSED TOTAL**  139.7 SQ. FT. 121.3 SQ. FT.

Site Notes:

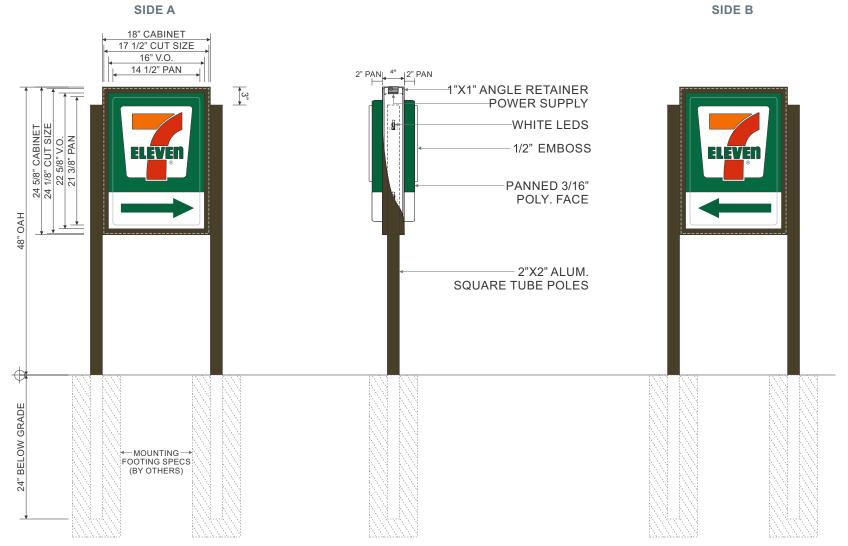
Customer Approval:_

Page: 6

DATE:



THE STRUCTURAL DESIGN CONFORMS TO THE FOLLOWING CODES AND SPECIFICATIONS:
THE FORDS BUILDING CODE SYNTH EDITION (2017). THE AMERICAN INSTITUTE OF STEEL
CONSTRUCTION/MALL OF STEEL CONSTRUCTION STHE DOTION). THE AMERICAN WEDING
SOCIETY/M/S DL15]. THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS
OF CHARLESTAN CONCRETERS AND AND REPORT OF THE MAINTAIN FOR THE PROPERTY OF THE MAINTAIN CONCRETE AND AND AND REPORT OF THE MAINTAIN CONCRETE AND REPORT OF TH FOR STRUCTURAL CONCRETE(ACI 318-14). THE SPECIFICATION FOR ALUMINUM STRUCTURES BY THE ALUMINUM ASSOCIATION(CURRENT EDITION).



TWO (2) STANDARD DIRECTIONAL W/48" TALL D/F INTERNALLY ILLUMINATED SIGN CABINET. 3/16" THICK PAN & EMBOSSED WHITE POLY. FACES W/ TRANSLUCENT VINYL GRAPHICS APPLIED FIRST SURFACE. 4" DEEP EXTRUDED ALUM. CABINET W/ 1" RETAINERS TO BE PAINTED **DURANODIC BRONZE**. CABINET TO BE INTERNALLY ILLUMINATED W/ WHITE LEDS.

7-ELEVEN VINYL SPECS: 3M 3630-44 ORANGE, 3M 3630-33 RED, 3M 3630-26 GREEN

NOTE: ARROWS TO ALWAYS BE FACING TOWARDS STORE.

Front Elevation & Side Detail - Standard D/F Directional Sign Cabinet - Sign Type G

3/4" = 1'-0" Display Square Footage: 3.0 Each

5300 Shad Road, Jacksonville, FL. 32257 • 904.268.4681 2301 Ohio Dr, Plano, TX. 32257 • 972.905.9450

#### www.harbingersign.com

CLIENT: 7-Eleven #41361 (1046710)

ADDRESS: PIONEER ST & S 65TH AVE RIDGEFIELD, WA 98642

CONTACT:

SALES ASSOC.: Rick Guarino PROJECT MGR: Brian Hutto

DESIGNER: Fernando Mercado

### SVE_41361 (1046710)_Q118953_R3

Date	Rev	Description
11.14.19	00	Original
02.21.20		Update with new site plan
03.27.20		Update adding LTC signage
04.02.20	R3	Update with new elevations

ZONING: MU-W Mixed Use-West SQUARE FOOTAGE FORMULA

ALLOWED TOTAL **PROPOSED TOTAL**  139.7 SQ. FT.

121.3 SQ. FT.

DATE:

Site Notes:

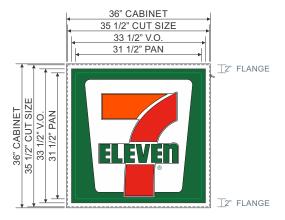
Customer Approval:_

Page: 7



THIS DESIGN IS FOR THE SOLE PURPOSE OF ILLUSTRATION & CONCEPT DESIGN. THIS FILE IS NOT TO BE USED FOR PRODUCTION AND/OR FABRICATION. THIS DESIGN IS THE SOLE PROPERTY OF HARBINGER AND MAY NOT BE USED OR DUPLICATED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF HARBINGER.

THE STRUCTURAL DESIGN CONFORMS TO THE FOLLOWING CODES AND SPECIFICATIONS:
THE FORDS BUILDING CODE SIXTH EDITION (2017). THE AMERICAN INSTITUTE OF STEEL
CONSTRUCTIONAMAL OF STEEL CONSTRUCTION SHE DETION), THE AMERICAN VICTOR SOCIETY (ANY SOLD) STATE AMERICAN CONFORMS TO STRUCTION STEEL STRUCTION. THE AMERICAN VICTOR SOCIETY (ANY SOLD) STATE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS. FOR STRUCTURAL CONCRETE(ACI 318-14). THE SPECIFICATION FOR ALUMINUM STRUCTURES BY THE ALUMINUM ASSOCIATION(CURRENT EDITION).



POWER SUPPLY
LOCKOUT DISCONNECT
SWITCH
PANNED 3/16"
POLY. FACE
WHITE LED

3/4" EMBOSS
1/2" EMBOSS
1/4" EMBOSS
1/4" EMBOSS
1/4" EMBOSS
MOG3 ALUM. BACK
1 1/4" RETAINER
MOUNTING HARDWARE

GAS CANOPY

TWO (2) W9 S/F INTERNALLY ILLUMINATED CANOPY SIGN CABINET.
3/16" THICK PAN FORMED & EMBOSSED WHITE POLY. FACE W/ TRANSLUCENT VINYL GRAPHICS
APPLIED FIRST SURFACE. 4" DEEP ALUM. CABINET W/ 1 1/4" RETAINERS TO BE
PAINTED WHITE. CABINET TO BE INTERNALLY ILLUMINATED W/ WHITE LEDS.

VINYL SPECS: 3M 3630-44 ORANGE, 3M 3630-33 RED, 3M 3630-26 GREEN PAINT SPECS: PMS WHITE

Face & Side Detail - W9 Canopy Sign Cabinet - Sign I

1/2" = 1'-0"

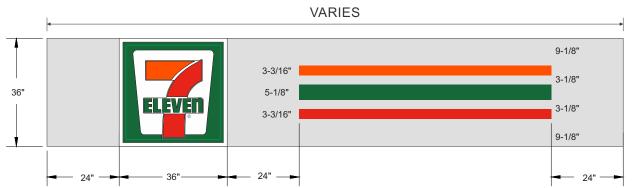
Display Square Footage(Cabinet): 9.0

7-ELEVEN LOGO

**DIMENSIONS:** 

OAH: 29 1/2"

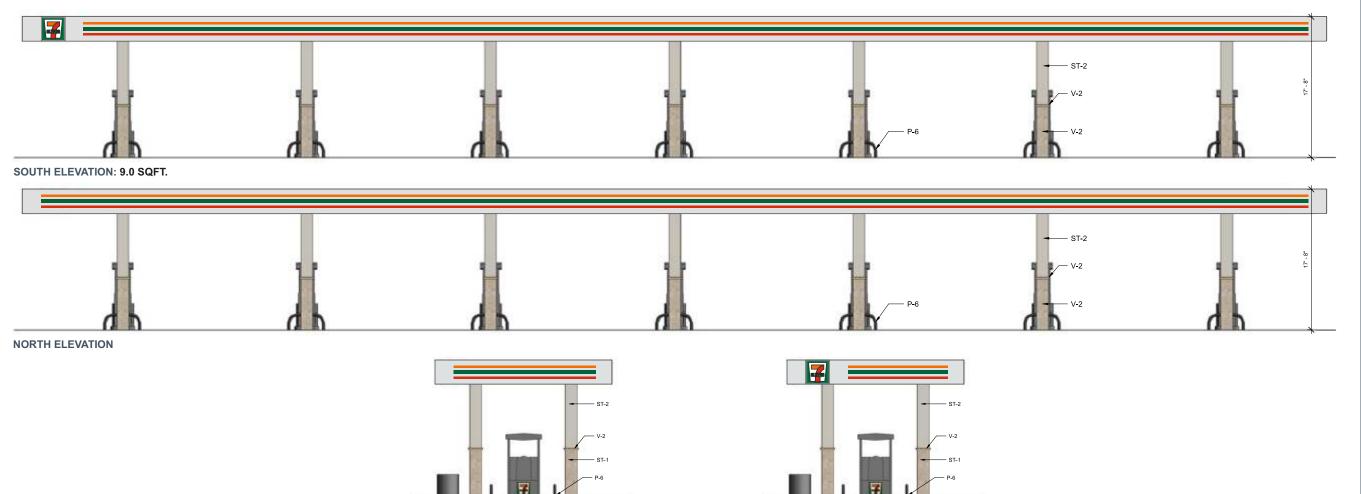
OAL: 27"



Front Elevation - 36" Canopy Height - Sign And Graphics Layout - Sign I

**EAST ELEVATION: 9.0 SQFT.** 

3/8" = 1'-0"



Canopy Overlay - Sign Type I

NTS

THIS DESIGN IS FOR THE SOLE PURPOSE OF ILLUSTRATION & CONCEPT DESIGN. THIS FILE IS NOT TO BE USED FOR PRODUCTION AND/OR FABRICATION. THIS DESIGN IS THE SOLE PROPERTY OF HARBINGER AND MAY NOT BE USED OR DUPLICATED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF HARBINGER.

**WEST ELEVATION** 



5300 Shad Road, Jacksonville, FL. 32257 • 904.268.4681 2301 Ohio Dr, Plano, TX. 32257 • 972.905.9450

#### www.harbingersign.com

CLIENT: 7-Eleven #41361 (1046710)

ADDRESS: PIONEER ST & S 65TH AVE RIDGEFIELD, WA 98642

CONTACT:

SALES ASSOC.: Rick Guarino
PROJECT MGR: Brian Hutto

DESIGNER: Fernando Mercado

#### SVE_41361 (1046710)_Q118953_R3

Date	Rev.	Description
11.14.19	00	Original
02.21.20	R1	Update with new site plan
03.27.20	R2	Update adding LTC signage
04.02.20	R3	Update with new elevations

ZONING: MU-W Mixed Use-West SQUARE FOOTAGE FORMULA

ALLOWED TOTAL PROPOSED TOTAL

139.7 SQ. FT. 121.3 SQ. FT.

DATE:

Site Notes:

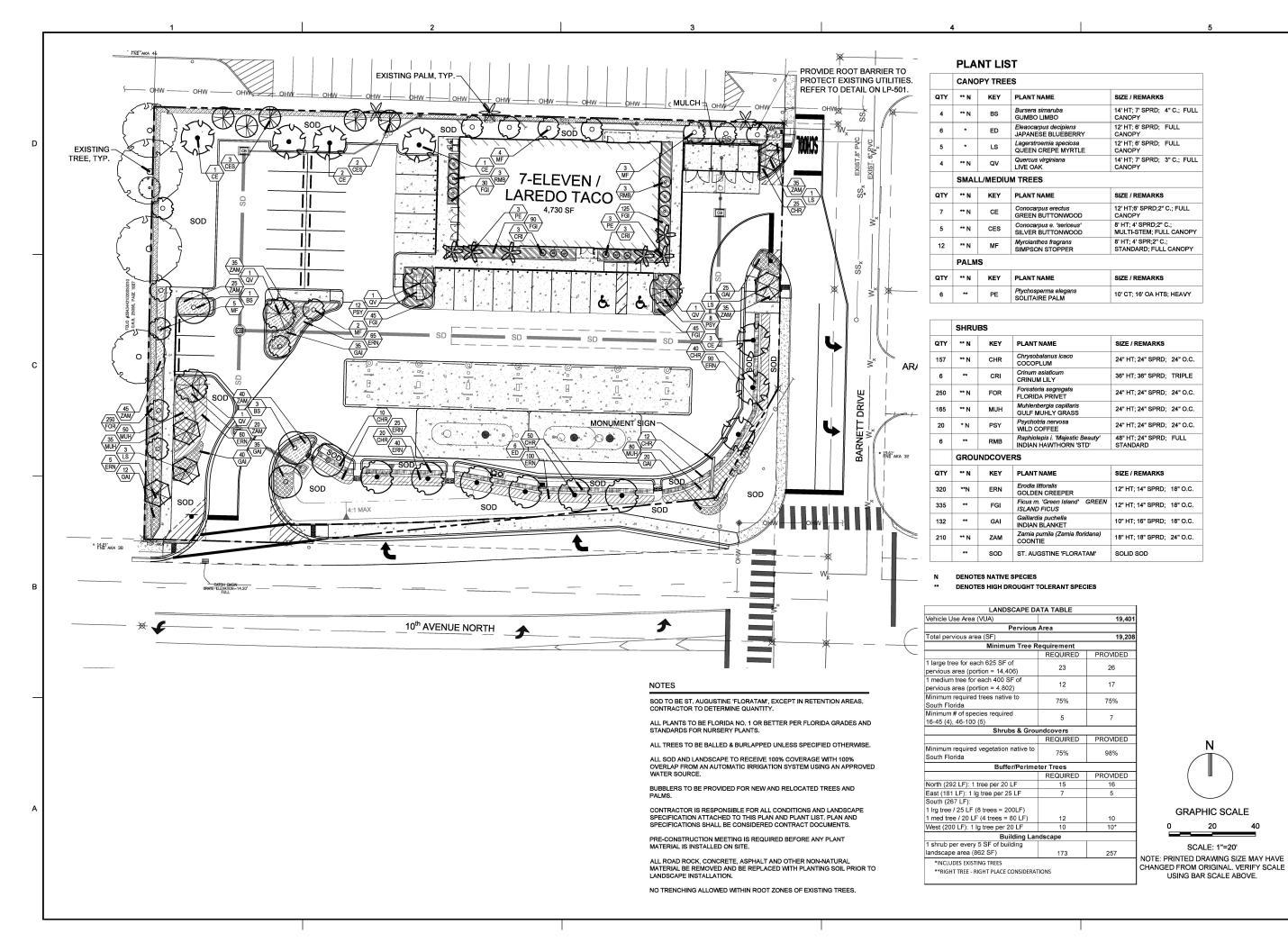
Customer Approval:____

Page: 8



UL 48
CSA C22.2 No.2

THE STRUCTURAL DESIGN CONFORMS TO THE FOLLOWING CODES AND SPECIFICATIONS: THE FLORIDA BUILDING CODE SIXTHE EDITION (2017). THE AMERICAN INSTITUTE OF STEEL CONSTRUCTOR/MANIAL OF STEEL CONSTRUCTION (971 EDITION). THE AMERICAN WELDING SOCIETY/JAVIS DI-15). THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE/JACI 316-94]. THE SPECIFICATION FOR ALUMINUM STRUCTURES BY THE ALUMINA ASSOCIATION/CURRENT EDITION).



301 East Atlantic Boulevard Pompano Beach, Florida 33060-6643

120 North Federal Highway, Suite 208 Lake Worth, Florida 33460

PH: (954) 788-3400

Florida Certificate of Authorization # - 7928

BID / CONTRACT NO.:					
REVISIONS					
NO.	DESCRIPTION	DATE			

## PRELIMINARY PLAN NOT FOR CONSTRUCTION

AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY



1900 10TH AVENUE NORTH, LAKE WORTH **FLORIDA 33461** SCALE

1ST SUBMITTAL DATE:	MARCH 2020
DRAWN BY:	MP
DESIGNED BY:	WR
CHECKED BY:	MP

Michael Digitally signed Phillips

Phillips Date: 2020.06.2 12:00:02 -04'00'

by Michael J

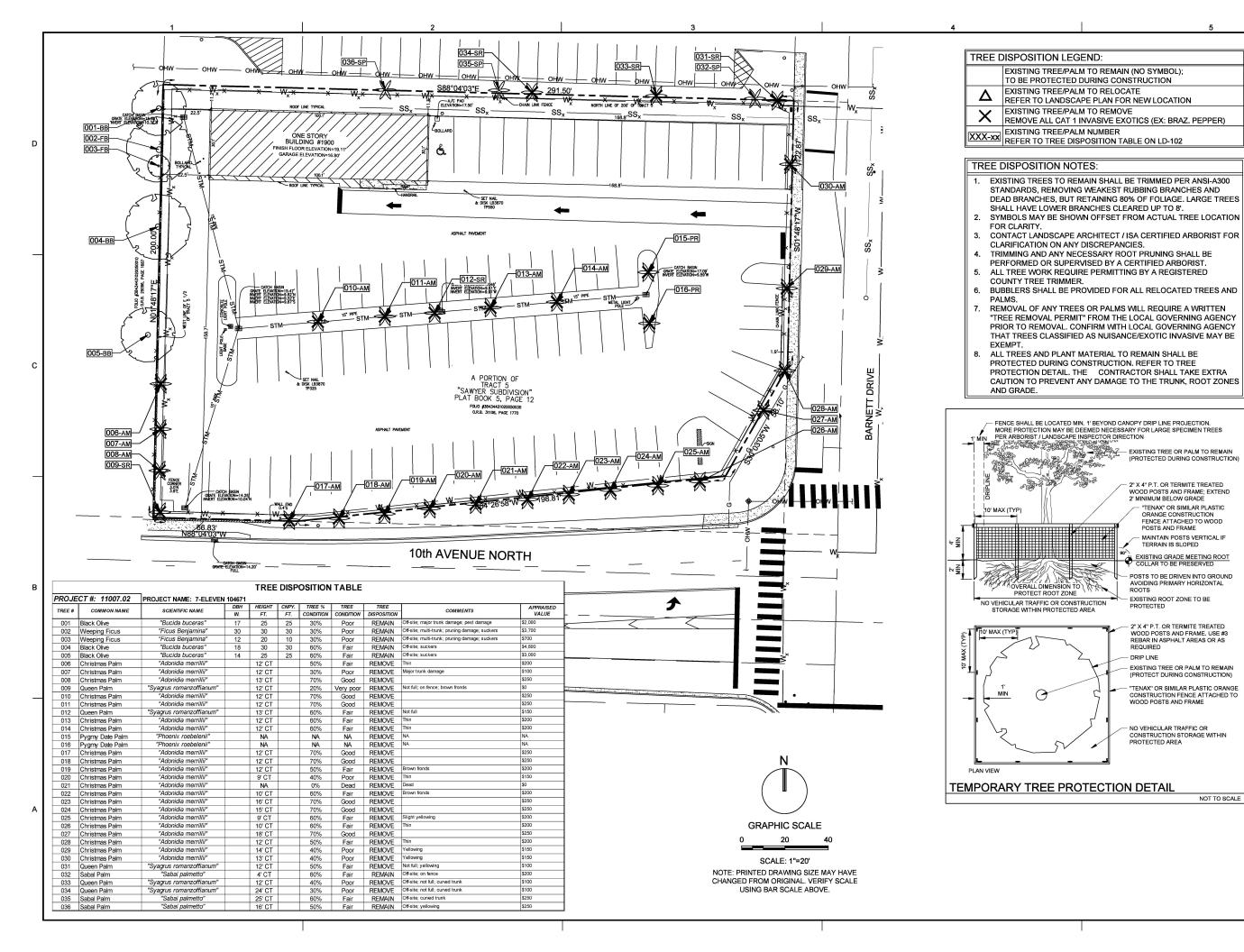
MICHAEL J. PHILLIPS, RLA FLORIDA REG. NO. LA0001540 (FOR THE FIRM)

SHEET TITLE

LANDSCAPE PLAN

SHEET NUMBER

LP-101





KEITH

301 East Atlantic Boulevard Pompano Beach, Florida 33060-6643

120 North Federal Highway, Suite 208 Lake Worth, Florida 33460

PH: (954) 788-3400

Florida Certificate of

Authorization # - 7928

Authorization # - 7928
BID / CONTRACT NO.:

REVISIONS

D. DESCRIPTION DATE

PRELIMINARY PLAN NOT FOR CONSTRUCTION

THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MAD DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.



7-ELEVEN #41361 1900 10TH AVENUE NORTH, LAKE WORTH, FLORIDA 33461

SCALE: AS NOTED
1ST SUBMITTAL DATE: MARCH 2020
DRAWN BY: MP
DESIGNED BY: WR
CHECKED BY: MP

Michael Digitally signed by Michael J Phillips
J Phillips Date: 2020.06.25
11:57:21 -04'00'

MICHAEL J. PHILLIPS, RLA FLORIDA REG. NO. LA0001540 (FOR THE FIRM)

SHEET TITLE

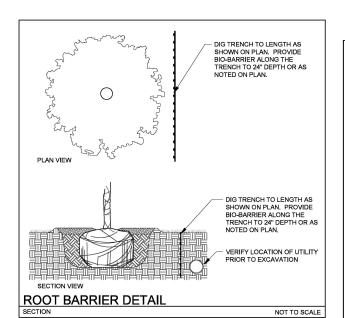
TREE DISPOSITION PLAN

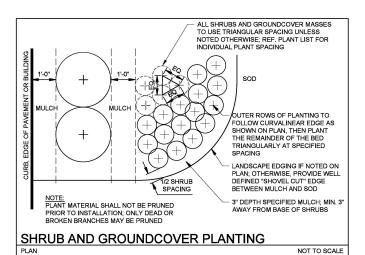
SHEET NUMBER

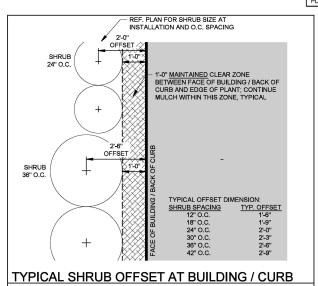
LD-101

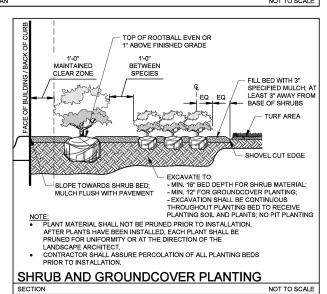
#### NOTE:

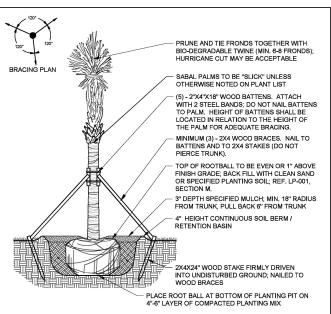
- REF. LP-001, LANDSCAPE NOTES, FOR ADDITIONAL REQUIREMENTS.
- ROOT BALL SIZE FOR ALL TREES AND PALMS TO BE IN PROPORTION TO SIZE AND TYPE OF PALM PER FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS.



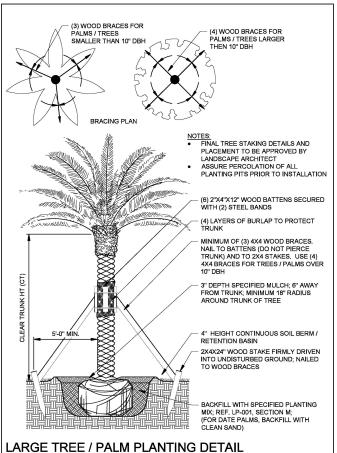


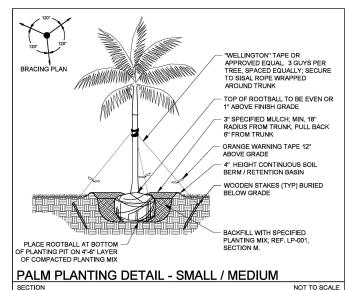


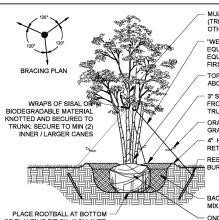




SABAL PALM PLANTING DETAIL







NOT TO SCALE

NOT TO SCALE

MULTI-TRUNK TREE. MIN. 3-5 CANES (TREES TO BE B&B UNLESS SPECIFIED OTHERWISE ON PLAN)

"WELLINGTON" TAPE OR APPROVED EQUAL. 3 GUYS PER TREE, SPACED EQUALLY AND LOCATED ABOVE THE FIRST LATERAL BRANCHES

TOP OF ROOTBALL TO BE EVEN OR 1 ABOVE FINISH GRADE

3" SPECIFIED MULCH; MIN. 18" RADIUS FROM TRUNK, PULL BACK 6" FROM ORANGE WARNING TAPE 12" ABOVE

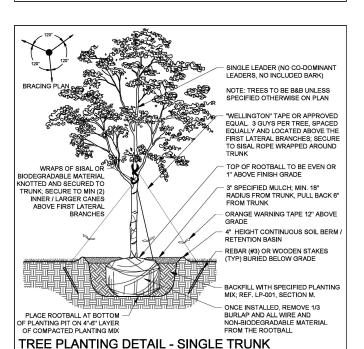
4" HEIGHT CONTINUOUS SOIL BERM

REBAR (#3) OR WOODEN STAKES (TYP BURIED BÉLOW GRADE

BACKFILL WITH SPECIFIED PLANTING MIX; REF. LP-001, SECTION M. ONCE INSTALLED, REMOVE 1/3 BURLAP AND ALL WIRE AND NON-BIODEGRADABLE MATERIAL FROM THE ROOTBALL

# TREE PLANTING DETAIL - MULTI-TRUNK

NOT TO SCALE





301 East Atlantic Boulevard Ompano Beach, Florida 33060-6643

120 North Federal Highway, Suite 208 Lake Worth, Florida 33460

PH: (954) 788-3400

Florida Certificate of

Authorization # - 7928 BID / CONTRACT NO. :

REVISIONS DESCRIPTION

#### PRELIMINARY PLAN NOT FOR CONSTRUCTION

AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY



FLORIDA 33461 SCALE AS NOTED 1ST SUBMITTAL DATE: MARCH 2020 DRAWN BY: MF DESIGNED BY: WR CHECKED BY: MP

NORTH, LAKE WORTH

Michael Digitally signed

by Michael J Phillips Date: 2020.06.2 **Phillips** 12:00:59 -04'00'

MICHAEL J. PHILLIPS, RLA FLORIDA REG. NO. LA0001540 (FOR THE FIRM)

SHEET TITLE

LANDSCAPE **DETAILS** 

SHEET NUMBER

NOT TO SCALE

LP-501

2. Contractor understands that an important element of the design of this project is meeting landscape contractor influentials that all important elements of the design of this project is meaning annually ordinances with a design fater that includes symmetry, alignment, focal points and / or smooth curvilinear forms where applied and contractor shall follow and instruct the working crews accordingly. In the event of any doubt as to how to execute the plans, Contractor shall immediately consult with Architect and/or Owner.

dount as to now to secure the plans, Contractor shall immediately consult with Architect and/or Owner. Landscape Contractor shall fine grade, prepare site as outlined in the following notes and per plans; furnish and install all plants, shrubs, trees and / or palms meeting minimum requirements and brace them per details provided. Furnish and install soil, gravel, boulders, sod and mulch as specified in plans and notes below. Landscape contractor shall furnish and install all trees, palms, shrubs, groundcover, sod, planting soil, fertilizer, herbicide, pre-emergence herbicide, seed, and mulch.

Contractor to have liability insurance including Owner and Landscaper as insured's in excess of \$10,000 as well as Worker's Compensation.

Contractors and Subs must ensure they are doing take offs from Bldg Dep. Revised sets and / or Bid Set documents. Verify with this Office that you are bidding from latest available plans.

Read ALL notes and typical planting details sheets prior to submitting RFIs and prior to bidding. When submitting an RFI reference sheet number, detail number and/or note category and number

actor shall verify all estimated quantities of material shown on the drawings prior to submitting

Landscape contractor shall verify all estimated quantities of material shown on the drawings prior to submitting their bid. Plant list pricing (if shown) is for permitting / mitigation comparison purposes only, any prices shown are to be disregarded by Landscape Contractor.

All Plant Material shall meet or exceed height and spread requirement. Heights are local code requirement and / or design intent related and always governs over container size. Container size given for reference only and must be sized-up to meet height requirements of plant list. Plant material available with excessive height beyond specifications must be consulted with Landscape Architect for design intent.

All landscape material was confirmed to be available at time of design. Landscape contractor understands that some material may not be available locally, however is available in Tri-County Region. Plant material supply is the responsibility of the Landscape Contractor that is awarded the contract and he/she shall take steps to ensure availability at the time of installation. Bring to the attention of Landscape Architect if specific material is no longer available at the time of bidding and / or prior to actual construction. Substitutions must be apported and the properties of no longer available at the time of bidding and / or prior to actual construction. Substitutions must be appro prior to construction.

Pre-inspections of site required prior to bidding.

The plant list is intended only as an aid to bidding. Any discrepancies found between the quantities on the plan

The plant list is intended only as an aid to bidding. Any discrepancies found between the quantities on the plant and the quantities on the plant list shall be brought to the attention of the Landscape Archtiect for clarification.
 All labor and material for soil amendments and fertilizer that is required to ensure the successful establishment and survival of the proposed vegetation, as well as all the cost for the removal of unsuitable or excess backfill material from plant beds, in addition to fine grading and mulching all plantbeds and individual trees shall be included in the contractor's bid to perform the work represented in this plan set.
 Bid shall be itemized for possible value engineering.
 Sod and Rocks (if specified) shall be estimated by scaling plans. Include price per square foot for sod. Rocks (include price per ton). Small rocks and gravel beds shall have landscape fabric material and minimum 4" death. Boulders to be bid by unit.

depth. Boulders to be bid by unit.

All S.F. if noted is approximate and shall not be considered all inclusive; it is the contractor's responsibility to
do his or her take off, submit price per S.F. and in the end, sod all areas that are not covered either by plants mulch and/or rocks. It shall be the responsibility of the contractor to include in the bid, the repair of any existing sod which may be damaged during construction.

Final payment to the Contractor shall be for actual plants installed on the project.

15. Contractor shall be responsible for obtaining and paying for costs of all permits described in bid whether permit costs are reimbursable by owner or included in bid. Research permit status and research all permits additional documentation and certifications required such as separate tree removal permit for example, and consider prior to bidding.

16. General / Landscape Contractor shall leave a 5% unforeseen conditions allowance such as for additional roo

General /Landscape Contractor shall leave a 5% unforeseen conditions allowance such as for additional root barriers determined to be needed on site and as job progresses.
Refer to Section T, Watering, for supplemental watering requirement.
Landscape contractor is responsible for verifying all plant quantities prior to bidding and within 7 calendar days of receipt of these plans shall notify the landscape architect in writing of any and all discrepancies. In case of discrepancies, planting plans shall take precedence over plant list. No substitutions are to be made without prior consent of the Landscape Architect.

GENERAL LANDSCAPE NOTES
Plants grown in containers prior to installation shall be removed from their containers before they are planted in the ground and have circling roots removed. All screening shrubs shall be planted for proper operation of equipment being screened and/or per the requirements of the utility as necessary. All hedge material required for screening purposes shall be planted with branches touching. Adjust spacing as necessary and/or provide additional plants to provide an adequate screen as required by code. Leave access to utility or clearance as

All landscaping shall be installed according to sound nursery practices. Contractor shall comply with federal.

All latinscaping shall be installed according to sound nursely practices. Contractor shall comply with learning to the inspection for plant disease and insect infestations.
 All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive property of Keith and Associates and may not be duplicated without authorization or used for other projects than the intended.
 The Licentificance Contractors shall exercise position to protect the excitation of the projects o

than the intended.

The Landscape Contractor shall exercise caution to protect any existing sod, electrical and irrigation. Any damage to the sod, electrical or irrigation shall be replaced or repaired to the original state by the Landscape Contractor at no additional cost to the owner.

Contractor at no additional cost to the owner.

Tree, palm, accent shrubs and bed lines are to be located in the field and approved by the Landscape Architect / owner prior to planting. Landscape Contractor acknowledges that material planted without approval of location may be subject to relocation by Landscape Architect to maintain design intent if not followed

All trees must be pruned as per Landscape Architect's direction.

In areas where asphalt is removed in order to receive landscape material, the lime rock sub-base material must also be removed and replaced with approved planting soil mix Landscape contractor is responsible for sending photographs to the landscape architect to pre-approve all

trees palms and shrubs prior to delivery to project site ractor shall coordinate his or her work with that of the irrigation, landscape lighting, and

contractor in different. cape contractor shall treat plant areas with pre-emergence herbicide after weeds and grass have wed. Landscape contractor shall wait 7 days after pre-emergence treatment prior to planting.

PERMITS & REGULATIONS
Contractor(s) must obtain separate landscape, irrigation and tree relocation/removal permits from the governing authority prior to the issuance of the first building permit for the project.
Landscape contractor to call the local Landscape Inspector to schedule a pre-construction meeting prior to

 All mandatory requirements by local Landscape Departments and their inspectors shall govern and landscape ractor commits by accepting contract to comply promptly for builder/owner to obtain C.O.

#### TREE REMOVAL

RECE REMOVAL.

Removal of any trees or palms will require a written "tree removal permit" from the local governing agency prior to removal. Non-native trees classified as "prohibited" trees may be exempt from the permit if listed as Category 1 by Florida Exotic Pest Plant Council. Confirm with Local Municipality. Landscape Contractor is responsible to remove ALL invasive nuisance trees such as Brazilian Pepper, Melaleuca, Australian Pine and all invasive trees as categorized by the governing agencies, whether listed on

or not.

Landscape Contractor is responsible for coordinating tree and palm removals and transplants shown on ree/palm Disposition Plan. The Landscape Contractor is to remove and discard from site existing intel trees, palms, shrubs, ground covers, sod and weeds within landscape areas.

Existing trees designated to remain shall be protected during all construction phases. Any trees or shrubs designated to remain that are scarred or destroyed will be replaced at the contractor's expense, per the

Existing plant material not shown on the plan and in conflict with new planting shall be evaluated at the time of new planting installation by the Landscape Architect. Trees and plant material indicated to be relocated with no new location provided in plans shall be moved to a location on site designated as a nursery holding area with the root ball protected from direct sunlight, maintained and irrigated until new location is determined. Prune trees to remove damaged branches and improve natural shape and thin out structure. Do not remove more than 15% of branches. Do not prune back terminal leader.

more than 15% of branches. Do not prune back terminal leader.

4. Prune existing shrubs to remove damaged branches and improve natural shape.

5. Existing trees to remain shall be trimmed per Ansi-A300 standards. Supervision of the trimming shall be performed by an ISA Certified Arborist to ensure quality work.

6. All existing trees shall be "lifted and thinned" to provide an 8" minimum clearance for sidewalks and pedestrian walkways and a 14" minimum clearance for roadways, driveways and all vehicular use areas.

7. Selective canopy and root pruning of existing trees can be conducted (only as necessary and in no event

nore than 35%) to accommodate for new approved construction. Pruning shall be conducted / supervised by an ISA Arborist.

8. If plans call for relocation of trees, palms or plants. High level of care should be exercised to assure that they

in plans call for relocation or reless, plants or lepinals, riign level or care should be exercised to assure that they are promptly replanted upon being dug up.
 All underground utilities and drain or irrigation lines shall be routed outside the tree protection zone. If lines must traverse the protection area, they shall be tunneled or bored under the tree.
 Erosion control devices such as slit fending, debris basins, and water diversion structures shall be installed to prevent sitiation and/or erosion within the tree protection zone.
 Roots shall be cut manually by digging a trench and outting exposed roots with a saw, vibrating knife, rock saw,

TREE RELOCATION (These notes for relocation trees only and if applicable)
Flag all trees and palms to be transplanted with differentiating color than those to be saved or removed.
Tree Relocation process must be performed or supervised by ISA Certified Arborist.
Water the root zones to field capacity for 5 continuous days before root pruning. At a minimum soak the soil to a 4-0" depth within a 6" radius.
Root prune a minimum of six weeks before relocation. Prune away all dead or damaged limbs or fronds. For trees, prune out 1/3 of the existing canopy by selectively trimming small internal branches. For palms, gather fronds above the bud and tie them loosely with jute twine to avoid damage.

Brace root pruned trees awaiting relocation

5. Root prune ¹/₂rd of the root system, irrigate daily for 2 weeks then root prune another

Root printing to the toot system, injugate daily for Zweeks their root, printing around a fact of the ssary to increase survival.

necessary to increase survival.

Root prune with proper clean equipment to sever roots. Ensure roots are not torn or pulled apart.

With hand tools, dig a 2-0" wide by 3-0" deep trench at a minimum distance as determined by the consulting arborist to expose roots. Cut all roots 1.5" and larger in diameter with a clean, sharp pruning saw. Treat all cuts with a fungicidal barrier. Backfill the trench, within 4 hours of digging, with a 1:1 mixture of site soil and

cuts with a fungicidal barrier. Backfill the trench, within 4 hours of digging, with a 1:1 mixture of site soil and sawdust or other fine organic material. Do not compact.

Form a rootball size in compliance with Florida grades and Florida standards number 1 or better. Maintain the soil moisture at field capacity throughout the six weeks.

Allow the plant to regenerate roots over a period of six weeks.

At the end of six weeks, prepare the planting pit at the new location. Overdig the hole diameter a minimum of 2' beyond the root ball, with the recipient hole to be at least 1/3 larger than the area that was trenched for transplanting.

transplanting.

With the consulting arborist present, undercut the entire root ball of the plants to be transplanted at a depth specified by the arborist. The undercutting method may be a choker cable drawn through the root ball with

heavy equipment.

13. At the direction of a professional rigger, assemble slings, padding, guiding ropes and cables for attachment to the crane or backhoe. The professional rigger shall determine the size of machinery necessary to execute the

lifting and moving operation. 14. Install trees within 24 hours of removal from their original location to locations provided by Landscape

Architect or Developer with approval of municipal / Landscape Inspector. 15. Experienced Tree Spade operator shall move tree or experienced tree mover shall choose best means and

special content of the place operator and invertible of experienced the place and indused best linears and whether the third is straightful and in the plant establishment freds in a healthy and vigorous condition during installation and throughout the plant establishment eriod. Replace trees that do not meet this requirement with the same species, size, and quality or per

period. Replace trees that do not meet this requirement with the same species, size, and quality or per mitigation requirements specific to the governing authority with jurisdiction.

Fertilize the plant as directed by the consulting arborist.

When the plant is placed in the new location, backfill the planting pit with topsoil and water thoroughly to eliminate air pockets and compact the soil. Set the tree no deeper than its original condition.

Cover the root ball area with 3" depth of organic mulch.

Provide fungicide and fertility applications at the direction of the consulting arborist.

Post transplant watering to provide moisture and reduce any excessive stress due to root desiccation. Watering to be adjusted according to conditions and at the supervision and direction of the ISA certified arborist.

22. The diameter of the root–pruning or transplanting circle shall be at a distance away from the trunk equal to 12

times each inch of trunk diameter at breast height.

23. For all palms except Sabal palmetto, the lower fronds shall be pruned leaving 9-11 fronds that can be tied

vithout an extensive amount of weight that may damage the heart of the palm. The Sabal palmetto shall have all fronds out without damaging the bud.

Transplanting must occur within 24 hours after being dug for relocation. Trees/palms should be kept in shade

1.1 minspiriturity must occur within 24 hours after being dug for relocation. Trees/palms should be kept in shade and the canopy kept moist.
 25. Digging and preparation of the new hole for the transplant shall be done prior to removing the tree from the existing location.

existing location.
The landscape Contractor is to verify that all new holes have appropriate percolation.
Padding the sling may be necessary so that the trunk or "boots" are not damaged.
A 6" saucer shall be created around the edge of the plant pit to help hold water, see planting detail for

are not vertical when caused by winds less than 74 mph.

30. After transplanting trees and palms, the landscape contractor shall be responsible for obtaining water and watering to maintain soil moisture during the guarantee period at a minimum of. First month-daily, Second month - three times per week, Third and Fourth months - two times per week, Last eight months - one time per

31. For trees over 4" in caliper at the time of planting, the schedule should be: First six weeks, daily, one and a half

#### SITE PREPARATION & GRADING

SITE PREPARATION & GRADING
Landscape contractor shall losen and till compacted soils that are overly compacted in all planting areas of
the project to provide for proper soil aeration for plant establishment.

Planted areas shall be cleared of underground rocks, construction debris and other materials detrimental to the
health of the plants. Lime rock base material shall be removed within planting pits and adjacent to pavement.

The planting areas should be clean to a depth equal to the root ball of the trees/palms proposed for the area.

Planting area soils shall be tested for ph before planting. Soils showing high (alkaline) ph (over 7.5) shall be
amended or replaced with native soil are unsuitable, ref. Section M, Soils.

All planting areas and planting pits shall be tested for sufficient percolation prior to final planting and irrigation
installation to ensure proper drainance. Plant beds in particulates are areas compacted by heave quiument

installation to ensure proper drainage. Plant beds in parking lots and in areas compacted by heavy equipment shall be de-compacted so that drainage is not impeded. Landscape Contractor shall treat plant areas with pre-emergence herbicide after weeds and grass have been

removed. Landscape Contractor shall wait (7) seven days after pre-emergence treatment prior to planting.

5. Site preparation shall include the eradication and removal of any weeds, clean-up of any dead material, debris,

and rubbish.

General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading shall be provided by the Landscape Contractor. All planting beds shall be free of all rocks 1/2" or larger, sticks, and objectionable material including weeds and weed seeds. All lime rock shall be removed/lealened down to the native soils.

The Landscape contractor shall ensure the planting areas are at finish grade prior to installing plant materials.

All trees and plant material to remain shall be protected during construction. Contractor shall install protective barriers such as "Tenax" orange safety fencing or similar, to be installed before the beginning of the project. Ref. Tree Protection Detail for additional information. Barriers shall be located to include the drip line of the trees, palms and plant material. The contractor shall take extra caution to prevent any damage to the trunk, root zones and rarder.

Final grade within planting areas to be 4" below adjacent paved areas or top of curb. Sod areas to be 2" below All planting beds shall be shaped and sloped to provide proper drainage away from building and structures and

IRRIGATION
Any Irrigation Notes and specifications included in Irrigation Sheets govern over the following Irrigation Notes.
The Landscape Contractor shall coordinate with the irrigation contractor if not the same and leave provisions for all individual trees in turf areas and all planting beds.
Irrigation / Landscape contractor to guarantee 100% coverage and 50% overlap (head to head coverage) to all landscaped areas and furnish and install a rain sensor.
Irrigation Contractor to adapt design to onsite conditions adjusting heads and changing nozzles as required to avoid overspray onto buildings or paved areas.
The contractor shall ensure that the irrigation system is operational and free of leaks prior to any planting being finalized. Plant material that is installed prior to the irrigation system being operational shall be watered by the contractor at his or her expense. Water for plant establishment should be included in the cost of the plant. All guidelines as outlined by the South Florida Water Management District (SFWMD) or water management district with jurisdiction shall be strictly adhered to.

district with jurisdiction shall be strictly adhered to.

7. Any existing irrigation system shall be retrofitted to comply with the specifications as outlined above

#### HARDSCAPE & OTHER MATERIALS

UTILITIES / CLEARANCES

Face of trees and palms to be located a minimum of 2' setback from all fences, walkways, walls, and paved surfaces, unless otherwise indicated on the plans. Refer to details.

The contractor shall be responsible for determining the location of and avoid and protect utility lines, buried cables, and other utilities. The owner or Landscape Architect shall not be responsible for damage to utility or

irrigation lines. Trees shall be placed a minimum of 5 ft. from underground utilities, unless otherwise approved in writing by

Landscape Architect and Owner.

All canopy trees to be planted min. of 15' from light source/poles. Unless otherwise approved by the governing

All carboys trees to be planted min. of 1s iron ingin soluciopoies. Unless dinerwise approved by the governing authority / Landscape Architect and Owner.
 Landscape contractor shall contact the county, governing authority and/or utilities or structures prior to digging. Landscape contractor shall repair all damage to underground utilities, and/or construction caused by utility damage, at no cost to the owner.
 All plant material symbols shown on landscape plan shall be considered diagrammatic and should be adjusted in the field by contractor to avoid all utilities, and all other obstructions.

in the field by contractor to avoid all utilities, and all other obstructions.

If When digging in right of way needed: Two (2) full business days before digging, call toll free 1-800-432-4770, or 811. Sunshine State One Call of Florida, inc. Notification Center. In addition, call the Governing Agency's Utilities/Fubilic Works Department. Centractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation. All existing utilities shown on the plans are to be considered approximate and should be verified by the contractor prior to the start of work operations.

Above and below ground utilities shall be verified and located in the field by the contractor prior to commencing work in the project area. The contractor shall examine available utility plans and confirm conflicts between indicated or located utilities and landscape work. The contractor shall then notify the Project Engineer of said conflicts and the Engineer will coordinate any persessor adjustments with the utility provider. Trae locations

conflicts and the Engineer will coordinate any necessary adjustments with the utility provider. Tree locations vill be adjusted as necessary when in conflict with existing utilities.

The final plant locations may be adjusted, as approved / directed by the Landscape Architect in writing, to e utilities compliance. Excavations within 5' of known utilities should be done by hand.

Contractor shall familiarize himself with the location of and avoid and protect utility lines, buried cables, and all Contractor shall familiarize himser with the location of and avoid and protect utility lines, buried capies, and all other utilities, noted or not, on plans.

Leave clearance and access to all above ground or at grade meters and equipment.

Landscape planting shall be in conformance with FPL guidelines for setbacks from overhead utility lines.

Landscaping shall not interfere with light poles, fire hydrats, electrical/mechanical equipment access, signs, drainage structures, etc. Bring to the attention of Landscape Architect any conflicts.

ROOI BARKIENS
Root barriers will be installed to protect building foundations, curbing, walkways, paved areas, roadway base material and utilities from existing large trees or proposed new trees that are within 5' of existing or new approved construction or as may be deemed necessary as job progresses.

Mechanical Root barriers will be used for large existing Canopy Trees and chemical type barriers will be used

Mechanical Root barriers will be "DeepRoot" and Chemical Root barriers will be "Biobarrier". Substitutions

mediancal root pariners will be "Deeproot" and onemical root pariners will be Biopariner. Substitutions must be disproved equal or better quality. Root barriers will be installed per manufacturer specifications. Root barriers will be installed per manufacturer recommended depth chart and as required by on-site conditions in a case by case basis as deemed necessary by Landscape Architect Architect / ISA Arborist and Landscape Inspector.

SOILS

All building construction material and foreign material shall be removed from the planting areas and replaced with 70/30 mix (70% sand / 30% organic compost) or amend existing soils per section H.2.

Planting soil mix shall be delivered to the site in a clean loose and friable condition and is required around the root ball of all trees and shrubs, the top 6" of all shrubs and ground cover beds and top 2" of all grassed areas. This soil shall be tilled into the existing soil after the existing soil has been cleaned of all undesirable foreign materials. Recycled compost is encouraged as a soil amendment alternative. Planting soil to be weed free.

Planting backfill for palms shall be clean, coarse native sand unless specified otherwise Do not allow air pockets to form when backfilling. All trees shall be watered-in utilizing water probe or a tree

PLANT SIZE & QUALITY

PLANT SIZE & QUALITY
All plant material must meet or exceed the minimum size requirements as specified on the plant list. Height specification governs over container size if both specifications given cannot be met. Any other requirements for specific shape or effect as noted on the plan shall also be required for acceptance.

Material specified as Balled and Burlapped (B&B) can be accepted in container if not available as B&B at the discretion of Landscape Architect, if so, root bound and/or circling roots shall be removed and root ball must be proportionate to Tree / Palm.

Unless noted otherwise, all trees designated as single trunk shall have a single, relatively straight, dominant leader, more structural branching and each pasce highly incompanies.

leader, proper structural branching and even branch distribution. Trunks on palms shall be uniform in thickness for the entire length of the palm and shall not taper off to disproportionate thinness towards the crown. Trees with bark inclusion, tipped branches, and co-dominant trunks will not be accepted. Trees with gridling, circling and/or plunging roots will be rejected.

Use nursery grown plant materials that complies with all required inspection, grading standards, and plant regulations in accordance with the latest edition of Florida Department of Agriculture, "Grade & Standards for

All trees and palms shall be free of open wounds and unsightly visible scars.

All substitutions must be approved by the governing authority if it is required Canopy and by Landscape Architect / Owner if supplementary accent material.

Contractor shall comply with Federal, State, and Local laws and regulations pertaining to the inspection for plant disease and insect infestation.

plant disease and insect infestation.

Trees, palms, shrubs, ground covers:

Plant species and sizes shall conform to those indicated on the drawings. All nursery stock shall be in accordance with grades and standards for nursery plants parts 1 and 2, latest edition published by the Florida Department of Agriculture and Consumer Services, unless specified otherwise. All plants shall be Florida grade number 1 or better as determined by the Florida Division of Plant Industry and tightly knit plant, so trained or favored in its development that first appearance is unquestionable and it is outstandingly superior in form, number of branches, compactness and symmetry. All plants shall be rifestly dug, sound, healthy, vigorous, well branched and free of disease and insect eggs and larvae and shall have adequate root systems. Trees and nalms shall be uniform in size and shape. All materials shall be subject to approval by the rees and palms shall be uniform in size and shape. All materials shall be subject to approval by the Landscape architect. Plants shall be pruned prior to delivery only upon the approval of the Landscape

All container grown material shall be healthy vigorous well-rooted plants and established in the container in which they are sold. The plants shall have tops of good quality and be in a healthy growing condition. An which they are sold. The plants shall have tops of good quality and be in a healthy growing condition. An established container grown plant shall be transplanted into a container and grown in that container sufficiently ong enough for the new fibrous roots to have developed so that the root mass will retain its shape and hold

Field grown trees and palms previously root pruned shall obtain a root ball with sufficient roots for cont

growth without resulting shock.

Root suckers on any tree are not acceptable and must be properly pruned.

Contractor shall coordinate with Landscape Architect and Owner to obtain prior approval for the selection of the specific specimens of all palms and any trees of more than six feet in height. Contractor to supply

PLANTING NOTES

At the discretion of the Landscape Architect, plants are subject to review for approval for size, variety, condition and appropriateness to the design intent. and appropriateness to the design intent.
All synthetic burlap, synthetic string or cords, or wire baskets shall be removed before any trees are planted.
All synthetic tape (i.e. tagging tape, nursery tape) shall be removed from trunks, branches, etc. before inspection. The top 1/3 of any natural burlap shall be removed or tucked into the planting hole before the trees

are back filled

are back filled.

3. All "groundcover" requires 75% coverage and 100% within 3 months of installation. Bring to the attention of Landscape Architect in writing before commencing if this is not achievable with the design.

4. Set tree no deeper than it was in its original growing condition with the top of the root ball even with, or slightly higher (+ 1") than the finished grade.

5. All trees/palms shall be planted so the top of the root ball, root flair are slightly above final grade. Shrub material shall be planted to 3 taked per accepted standards by the Florida Nursery, Growers & Landscape Association (FNGLA). Nailing into trees and palms short between the planted in the material will be rejected. Please refer to the planting idealis.

be rejected. Please refer to the planting details.

All trees, new or relocated, to be staked and guyed as detailed.

Au trees, new or renocates, to be stance and guyer as obetained.

Layout shrubs to create a continuous smooth front line and fill in behind with triangular spacing.

Excavate pit or trench to 1-1/2 times the diameter of the balls or containers or 1' wider than the spread of roots and 3' deeper than required for positioning at proper height. Compact a layer of topsoli in bottom before placing plants. Backfill around plants with planting mixture, compacted to eliminate voids and air pockets. Form grade slightly dished and bermed at edges of excavation. Apply 3' of multi, indcover and shrubs to be spaced in a uniform and cons pattern per planting details

Groundcover and shrubs to be spaced in a uniform and consistent pattern per planting details.
 All mechanical equipment, irrigation pumps, FPL transformers, pool pumps, etc. shall be screened on a minimum of three sides by landscape shrubs.
 Contractor shall not mark or sear trunks in any fashion.
 When requested by Landscape Architect, demonstration of healthy root system if not previously approved, can include tree removal and re-installation for inspection at no additional cost to the owner.
 Remove rejected Plant material from the Site immediately and replace with acceptable plants.

1. All Fertilization shall comply with state fertilization laws. Fertilization shall be Agriform "20-10-5 Plus minors" or similar approved slow-release tablets applied per manufacturer suggested application rate chart

Agriform® 21-gm Tablets (SKU# 90026*; 500 tablets/case)

NEW Tree / Shrub Container Size

1 Gal 2 Gal 3 Gal 5 Gal 7 Gal 15 Gal 24" Box

1 1 to 2 2 to 3 2 to 3 3 to 5 7 to 10 15 to 24

· Place plant in the hole and backfill to halfway point.

Place Agriform Tablets in the bottom of the planting hole.

Place Agriform Tablets in the hole about 1to 2 inches away from root tips.

Finish filling the hole around the plant to grade level.

SCOTTS: 1-800-492-8255 or visit www.scottspro.com

All areas disturbed during construction shall be sodded with St, Augustine 'Seville' unless otherwise noted

andscape Contractor to supply and install 2" soil layer 50/50 mix blanket for all new sod area

All open areas not covered by trees, palms, shrubs, vines, ground covers or existing sod in good condition to remain, shall receive Stenotaphrum Secundatum, St. Augustine 'Seville' sod, whether labeled on the plans or not, unless a different species is indicated on the planting plan. Sod shall be strongly rooted, free from weed fungus, insects and disease. Contractor shall be paid by the total sodded area x the unit price submitted (field

Sod shall be machine stripped no more than 24 hours prior to laying.

Lay sod strips with tight joints, do not overlap, stagger strips to offset joints in adjacent courses. Work sifted so mix into minor cracks between pieces of sod and remove excess soil deposits from sodded areas. Sod or slopes greater than 3:1 shall be immediately staked after planting.

SUBMITTALS

Submit 1 gallon container of all planting media for landscape architect review. Samples to include specified BID / CONTRACT NO.: planting mix, topsoil, container planting mix (if applicable) and mulch.

Submit representative nursery photos of all Trees and Palms for review prior to delivery to the site. Includ

scale for height.

Submit representative nursery photos of all shrub and groundcover material for review prior to delivery to the

INSPECTION & ACCEPTANCE

INSPECTION & ACCEPTANCE

Notify the governing Agency if required and Landscape Architect of commencement.

Onsite plant deliveries shall occur on Monday through Friday only unless otherwise directed by the Landscape Architect / Owner. The contractor shall ensure that plant material is delivered undamaged from transportation or digging operations. The Landscape Architect may reject material that has been damaged or rended unacceptable due to relocation or transportation from the point of origin. All plant material shall be available for inspection and approval by the Landscape Architect due for final installation.

There shall be one final inspection for approval by each of the presiding governing agency. Landscape Architect and owner. Contractor shall ensure that the plans, details, specifications and notes have been adhered to and that the landscape and irrigation installation is compliant to all items as directed on the plans prior to scheduling of the final inspection.

Upon completion of the work, the Landscape Contractor shall notify the Landscape Architect and request a final inspection. Any items that are judged incomplete or unacceptable by the Landscape Architect or owner shall be promptly corrected by the Landscape Contractor.

No substitution of plant material, type or sizes will be permitted without prior written authorization from the Landscape Architect and owner.

Landscape Architect and owner.

To obtain final payment, Contractor must provide release of all mechanic's liens and material liens.

All planting beds shall be mulched to a depth of 3" with an organic mulch approved by Landscape Architect. N heavy metals, such as arsenic, etc. are to be contained in the mulch. The contractor shall provide certificatio if requested or proof that all mulch is free of heavy metals or similar environmental contaminants. Shredded approved organic mulch to be used beyond trunk in all directions and throughout all hedges at

plant material.
All trees in sodded areas shall have a clean cut 4' diameter mulch ring.
Preferred mulch is shredded melaleuca. Cypress, red, gold and green mulch is prohibited.
All mulch shall have a minimum 3" separation from the trunk of the tree/palm trunk to avoic

WATERING WAI ERING
All plant material shall be watered in thoroughly at the time of planting.
It is the sole responsibility of the Landscape Contractor to ensure that all new plantinreceive adequate water during the installation and until completion of contract. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to ensure proper plant establishment and development and shall be provided by Contractor as a part of this contract.

CLEAN UP . The Landscape Contractor is responsible for maintaining all landscape planting areas

The Landscape Contractor is responsible for maintaining all landscape planting areas
until final acceptance of the owner.
 The contractor is responsible for mowing the entire project during planting and
establishment periods, based on mowing project once a month from October to April, and
twice a month from April to October (During installation and plant establishment only and until final inspectio
and owner accepts and takes ownership).
 Any excess soil, undesired stones or debris resulting from landscape operations shall
be removed promptly, keeping the site clean as work progresses.
 The Landscape Contractor shall at all times keep the premises free from accumulation
of waste material or debris caused by their crews during the performance of the work.
 Upon completion of the work, the contractor shall promptly remove all waste materials,
debris, unused plant material, empty plant containers, and all equipment from the
project site.

MAINTENANCE Landscape Contractor to return to job site 12 months after tree bracing and remove all tree braces. Owner may choose to retain 5% of payment to ensure compliance.

The Landscape Contractor shall water, mulch, weed, prune, and otherwise maintain all plants, including soc

anoscape Contractor strain water, much, weed, prune, and outerwise maintain air piants, including sod completion of contract or acceptance by landscape architect. Sottled plants shall be reset to proper grade ng saucers restored, and defective work corrected. and shrubs shall be maintained to keep clearance of stop signs and safety clearance for visibility a

GUARANTEE & REPLACEMENT GUARANTEE & REPLACEMENT
By accepting the contract, the Contractor is thereby guaranteeing all plant materials and design for a period of
not less than one (1) year from the time of final acceptance by the owner. Contractor shall replace any plants
which die or wither within such period with healthy plants that meet specifications of the same species and size
without additional cost to the owner unless such death or withering is due to Owner's failure to do ordinary
maintenance on such plants after final acceptance in accordance with any maintenance instructions given by
Landscape Architect for such plants. Such replacement shall include all plants and labor to plant the
replacement plants. Any plant materials damaged by lightning, storms, freeze damage or other "acts of God"
as well plants damaged by vehicles, vandalism or neglect are not included in this replacement agreement. If
requested, the Landscape Architect may act as a mediator between owner and Landscape Contractor oa
time material basis. "Plants" includes all trees, palms, shrubs, grass and other plants provided or planted by
Contractor.

MISCELL ANEOUS

All work to be done in a professional manner.

No change order shall be valid, due or paid unless it is approved by Owner in writing in advance.

These notes shall be an integral part of the contract of Contractor and shall be deemed incorporated therein b reference. In the event of a conflict among the terms among the plans and these notes, the terms of thi

ABBREVIATIONS IN NOTES AND PLANS

U.N.O. = Unless Otherwise Noted L.A = Landscape Architect S.F.= Square Feet STD = Standard (single trunk)
B&B = Balled and Burlapped BLDG DEP = Building Department RFI = Request for Info

ISA CA or ISA Arborist = International Society of Arboriculture Certified Arborist

301 East Atlantic Roulevard Pompano Beach, Florida 33060-6643

120 North Federal Highway, Suite 208 Lake Worth, Florida 33460

PH: (954) 788-3400

Florida Certificate of Authorization # - 7928

REVISIONS DESCRIPTION

PRELIMINARY PLAN NOT FOR CONSTRUCTION

AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY



FLORIDA 33461 SCALE: AS NOTED 1ST SUBMITTAL DATE: MARCH 2020 DRAWN BY: MP DESIGNED BY: WR CHECKED BY: MP

NORTH. LAKE WORTH

Michael Digitally signed

MICHAEL J. PHILLIPS, RLA FLORIDA REG. NO. LA0001540 (FOR THE FIRM)

Phillips 11:59:09-04'00'

by Michael J

Date: 2020.06.25

Phillips

SHEET TITLE

SHEET NUMBER

LANDSCAPE NOTES

LP-001