

Applicant Basis of Appeal HRPB #20-00100006

AGENDA DATE: June 30, 2020

DEPARTMENT: Community Sustainability

TITLE:

HRPB#20-00100081: An Appeal of the Historic Resources Preservation Board's decision to approve the construction of a new single-family structure at 403 South M Street

Via Email

April 15th 2020

William Waters
Community Sustainability Director
City of Lake Worth Beach

RE: Basis of Appeal
403 South M Street
HRPB 20-00100006

Mr. William Waters,

On February 12th 2020 The Historic Preservation Board of the City of Lake Worth Beach Florida heard an application for a COA for New Construction of a single family home at 403 South M Street. The plans presented were for a +/- 2,361 square foot single family residence. The design of this residence was previously approved by the HPRB board on December 13, 2017. Due to unforeseen circumstances construction was not started prior to the expiration of this approval and so a new approval for the same design was requested.

During the February 12, 2020 hearing 8 conditions were added by the HRPB. As the applicant I made clear to the board that I accepted the first 6 conditions which were consistent with the previous approval but that the last 2 conditions were not acceptable as they were arbitrary and not supported by any historical context or by any code or ordinance existing in the City of Lake Worth Beach.

The board discussion did not include any historical relevance, rather personal preferences of the volunteer board members. After discussing their personal preferences, the board voted to approve and included the 2 conditions over my objections. As previously communicated, I wish to appeal this decision and I present this narrative as the basis for my appeal.

Condition 7 - The first of the two conditions which were arbitrarily included in the approval reads, “The front porch window and column configuration shall be changed to be symmetrical with two (2) vertically oriented single-hung windows with columns spaced evenly across.”

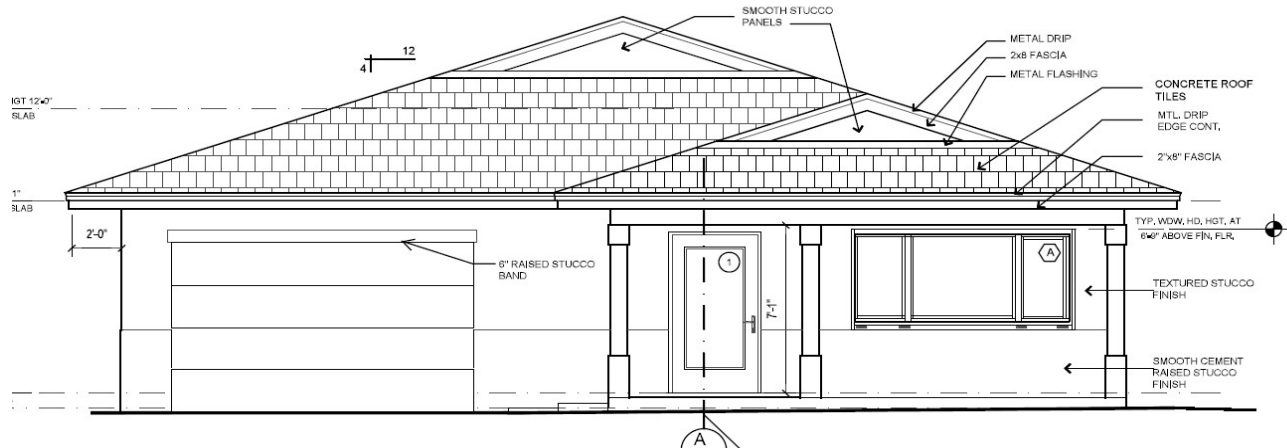


Figure 1 – Front Elevation 403 S M Street (As Proposed)

The drawing above (Figure 1) shows the proposed front elevation. The design of the porch and columns as well as the window were arrived at through careful consideration by the architect and applicant. Columns were placed at the desired locations along with the horizontal window with high sill to allow for furniture to be installed on the porch. A floor plan of the porch and column layout is provided below (Figure 2).

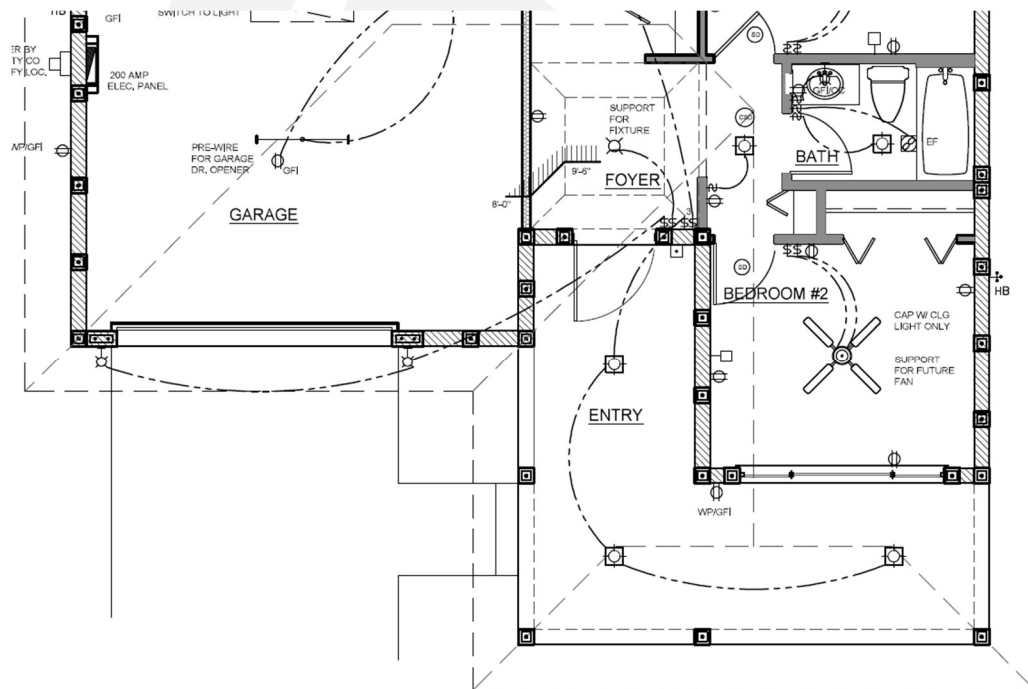


Figure 2 – Plan view of proposed front porch.

This condition was not part of the staff review comments and only originated during the board members discussion. The entire discussion occurred in minutes and without consideration of any historical relevance, neighborhood appropriateness, or city ordinances. Following this discussion, the board voted to replace the carefully considered design of the professional architect with their own aesthetic preference over the strenuous objections of the applicant.

This decision was arbitrary, if the board had reviewed the Historic Preservation Design Guidelines, they would have seen examples of both horizontally aligned windows and asymmetrical columns. In fact, the below drawing (Figure 3) is from Page 57 of the Historic Preservation Design Guidelines and is used to illustrate the style description for Masonry Vernacular construction. This drawing features a masonry building with both asymmetric columns and a horizontally oriented window.



Figure 3 – Masonry Vernacular from Historic Preservation Design Guidelines pg 57

It is not my argument that one option is better than the other, only that the condition of approval itself is arbitrary. It was not based on any Ordinance, Design Guideline or relevance to historical preservation. It was purely a decision to substitute the preferences of the board members for the design produced by the professional architect and applicant. The column and windows as they were originally proposed are fully compatible with the existing community, are consistent with the Masonry Vernacular, and as such I respectfully request the commission to grant my appeal and remove this condition of approval.

Condition 8 – This condition of approval applies to the width of the driveway and reads “The driveway shall be reduced from 12 feet to 10 feet wide with flares at the sidewalk.”

This condition is also arbitrary. The proposed design included a 12’ wide garage door to allow trash cans to be brought in and out of the garage even if a car is parked inside. This was approved but the 12.5’ driveway was not. The discussion regarding this item was based on the staff report which stated on page 3, “The current driveway is also 12’-6” wide, which maxes out the impermeable surface provision for the front yard. Staff recommends that the driveway be reduced in size so that a walkway connecting the house to the street can be included.”



Figure 4 – Rendering of proposed single family home

The design intent was to utilize the driveway as the primary walking path to the home and is best represented in the rendering which was part of the application and is included above (Figure 4). The purpose of the side entry as opposed to a separate sidewalk is twofold. First it allows for the passage of trash cans from the garage past a car parked in the driveway. A typical parking space is 9ft wide and a 10ft driveway does not provide clearances needed to roll a Lake Worth Beach trashcan past a parked car. Having a 12.5’ driveway will allow the needed clearances. The second benefit is that it allows landscaping across the front of the porch to create a more private sitting area.

The purpose of staffs recommendation was to accomodate a separate sidewalk to the front porch. In order to accomplish this, the driveway would need to be reduced. Staff did not provide any historic rational for their recommendation and the board upon hearing arguments from the applicant agreed that the walkway was not necessary. For no discernable reason the board still proceeded with a recommendation to reduce the width of the driveway.

During the board discussion the applicant pointed out that a combined walkway and driveway was present on the original home at this location and that the width was in excess of the 12.5'. Regardless and with no historic consideration or rational the board voted to require a narrower driveway but not the additional walkway.



Figure 5 – 2013 Ariel Photo of 403 S M St and southern neighboring properties from Property Appraiser Website

The above aerial from the property appraiser's office from 2013 (Figure 5) shows the previous home at 403 S M St as well as the properties to the south. 5 of the 7 pictured homes have driveways or parking in the front of the home exceeding 12.5' in width. The board decision to limit the driveway width to 10ft is not supported by any historical significance, design guidelines, land development regulations or compatibility with the neighboring properties. The decision was arbitrary, as such I respectfully request the commission to grant my appeal and remove this condition of approval.

Respectfully submitted,
Dan Walesky
President Royal Building Group

CC:
Abraham Fogel – Preservation Planner
Jordan Hodges – Senior Preservation Coordinator

Exhibits
2017 COA – HRPB 17-00100298
2020 COA – HRPB 20-00100006
403 S M St Plans



**ORDER OF THE HISTORIC RESOURCES PRESERVATION BOARD
OF THE CITY OF LAKE WORTH FLORIDA**

PROJECT NAME: 403 South M Street; HRPB 17-00100298

APPLICANT / AGENT: Daniel Walesky on behalf of Royal Building Group, LLC

APPLICANT'S ADDRESS: 9100 Belvedere Rd, Royal Palm Beach, Florida 33411

DATE OF HEARING: December 13, 2017

TYPE OF RELIEF SOUGHT: Consideration of a Certificate of Appropriateness (COA) for the construction of a new \pm 2,361 sq. ft. single-family structure.

LOCATION OF PROPERTY: 403 South M Street, Lake Worth, FL 33460;

PCN # 38-43-44-21-15-157-018.

 X THIS MATTER came on to be heard before the Historic Resources Preservation Board of the City of Lake Worth, Florida on the date of hearing stated above. The Board having considered the relief sought by the applicant, the materials submitted by the applicant, the staff reports and having heard testimony from the applicant, members of city administrative staff and the public, finds as follows:

1. Application for the relief sought was made by the Applicant in a manner consistent with the requirements of the City's Land Development Regulations.
2. The Applicant
 X HAS
 ___ HAS NOT

established by substantial competent evidence a basis for the relief requested.
3. The conditions for development requested by the Applicant, administrative staff, or suggested by the public and supported by substantial competent evidence are as set forth in the CONDITIONS OF APPROVAL.
4. The Applicant's application for relief is hereby
 X GRANTED subject to the conditions referenced in paragraph 3 hereof.
 ___ DENIED
5. This Order shall take effect immediately upon issuance by the Board.



6. All further development on the property shall be made in accordance with the terms and conditions of this order.

7. Other ATTACHED CONDITIONS OF APPROVAL

CHAIRMAN ON BEHALF OF THE BOARD

BOARD SECRETARY

DATED: 12/14/17



CONDITIONS OF APPROVAL

- 1) The water table detail shown on the front elevation shall be utilized continuously on all sides of the structure.
- 2) The porch columns shall be revised to utilize a compatible detail that does not interrupt the supporting beam, and the simplified column capital and base shall utilize historically compatible proportions and detailing, subject to staff review at permitting.
- 3) The garage door shall be a recessed panel style door, and shall not utilize raised panels.
- 4) The windows shall be recessed a minimum of 3 ½" in the wall, and shall not be installed flush with the outer edge of the wall, subject to staff review at permitting.
- 5) The windows, doors, and French doors shall be wood, wood-clad, fiberglass or aluminum, and the windows shall utilize the water table as a sill or a historically compatible sill detail, subject to staff review at permitting.
- 6) The Applicant may utilize a dimensional asphalt shingle or a white concrete tile roof, subject to staff review at permitting.
- 7) The parking space in the garage shall maintain a minimum of 9'-6" x 19'-0" clear, subject to staff review at permitting.
- 8) Prior to permitting, the Applicant shall provide a Unity of Title document verifying the unification of the two lots.
- 9) The proposal shall comply with the Land Development Regulations and all other required Codes.



March 12, 2020

Daniel Walesky
Royal Building Group, LLC
9100 Belvedere Rd., Suite 105
Royal Palm Beach, FL 33411

RE: HRPB Project Number 20-001000006: Consideration of a Certificate of Appropriateness (COA) for the construction of a new +/- 2,361 square foot single-family residence at **403 South M Street.**

Dear Mr. Walesky,

Enclosed is the City of Lake Worth Beach Development Order for the above referenced project, granted on Wednesday, February 12, 2020, by the Historic Resources Preservation Board. Please be advised that a building permit must be secured prior to the expiration of the Development Order. If an extension is necessary, it must be requested in writing to the Development Review Official (DRO) prior to the one-year expiration. Please note, a one-time extension is only granted for permit holders that demonstrate that delays have been unavoidable and that work will be completed in a timely manner.

To continue this project through the development process, please revise relevant pages of your permit drawings to incorporate all applicable conditions of approval. The fully revised permit drawings should be submitted as part of your permit plan package to the Building Division. The person managing your permit applications should be made aware of any additional documents and third party letters listed in the conditions of approval that need to be submitted with your permit package.

The Building Division is committed to speedy and efficient completion of the building permit process for your project. However, please note that failure to meet all applicable development order conditions in the submitted rectified plan set may produce unnecessary delays in permit issuance.

Important: If you plan to introduce any changes to your approval, over and above those required by the conditions of approval, please contact our staff before submitting a permit package to the Building Division. All modifications to the approval must be evaluated by our staff and processed accordingly. Also a copy of this approval letter and attached Conditions of Approval must be presented at time of permit application.

Should you have any additional questions, please feel free to contact our office at (561)-586-1687 or Jordan Hodges, Senior Preservation Coordinator, at (561) 586-1703.

Sincerely,

William Waters, AIA, NCARB, LEED AP BD+C, ID, SEED
Community Sustainability Director
City of Lake Worth Beach Department for Community Sustainability

Enclosure: Development Order HRPB 20-001000006



**ORDER OF THE HISTORIC RESOURCES PRESERVATION BOARD
OF THE CITY OF LAKE WORTH BEACH FLORIDA**

PROJECT NAME: 403 South M Street HRPB 20-00100006

APPLICANT/OWNER: Daniel Walesky

APPLICANT'S ADDRESS: Daniel Walesky
Royal Building Group, LLC
9100 Belvedere Rd., Suite 105
Royal Palm Beach, FL 33411

DATE OF HEARING: February 12, 2020

TYPE OF REQUEST SOUGHT: Consideration of a Certificate of Appropriateness (COA) for the construction of a new +/- 2,361 square foot single-family residence.

LOCATION OF PROPERTY: 403 South M Street

PCN: 38-43-44-21-15-157-0180

 X THIS MATTER came to be heard before the Historic Resources Preservation Board of the City of Lake Worth Beach, Florida, on the date of hearing stated above. The Board, having considered the Applicant's application, the materials submitted by the Applicant, the staff reports, and having heard testimony from the Applicant, members of city administrative staff and the public, finds as follows:

1. Application for the relief sought was made by the Applicant pursuant the requirements of the City's Land Development Regulations.
2. The Applicant
 X HAS
 HAS NOT

 established by substantial competent evidence a basis for granting the request.
3. The conditions for the COA supported by substantial competent evidence are as set forth in the CONDITIONS OF APPROVAL.
4. The Applicant's application for relief is hereby
 X GRANTED subject to the conditions referenced in paragraph 3 hereof.
 DENIED
5. This Order shall take effect upon signature by the Chairperson.

6. All further development on the property shall be made in accordance with the terms and conditions of this order.

7. Other _____ CONDITIONS OF APPROVAL

CHAIRPERSON ON BEHALF OF THE BOARD Wm Feldkamp

DATE: 11 March 2020

BOARD SECRETARY Shirley C Coale

Conditions of Approval – Certificate of Appropriateness
HRPB 20-00100006

- 1) The porch columns shall be revised to utilize a design that does not interrupt the supporting beam, and the simplified column capital and base shall utilize historically compatible proportions and detailing, subject to staff review at permitting.
- 2) The garage door shall have a flush panel or recessed panel design, and shall not utilize raised panels.
- 3) The windows shall be recessed a minimum of 2" in the wall, and shall not be installed flush with the exterior face of the wall.
- 4) The windows, doors, and French doors shall be wood, wood-clad, fiberglass or aluminum, and the windows shall utilize the water table as a sill or a historically compatible sill detail, subject to Staff review at permitting.
- 5) All window glass shall be clear or have a clear Low-E coating. Tinted, grey, colored, or mirrored glass shall not be utilized.
- 6) The proposed flat concrete tile shall be finished in white or light grey.
- 7) The front porch window and column configuration shall be changed to be symmetrical with two (2) vertically oriented single-hung windows with columns spaced evenly across.
- 8) The driveway shall be reduced from 12 feet to 10 feet wide with flares at the sidewalk.

Proposed Single Family Home

403 S M St



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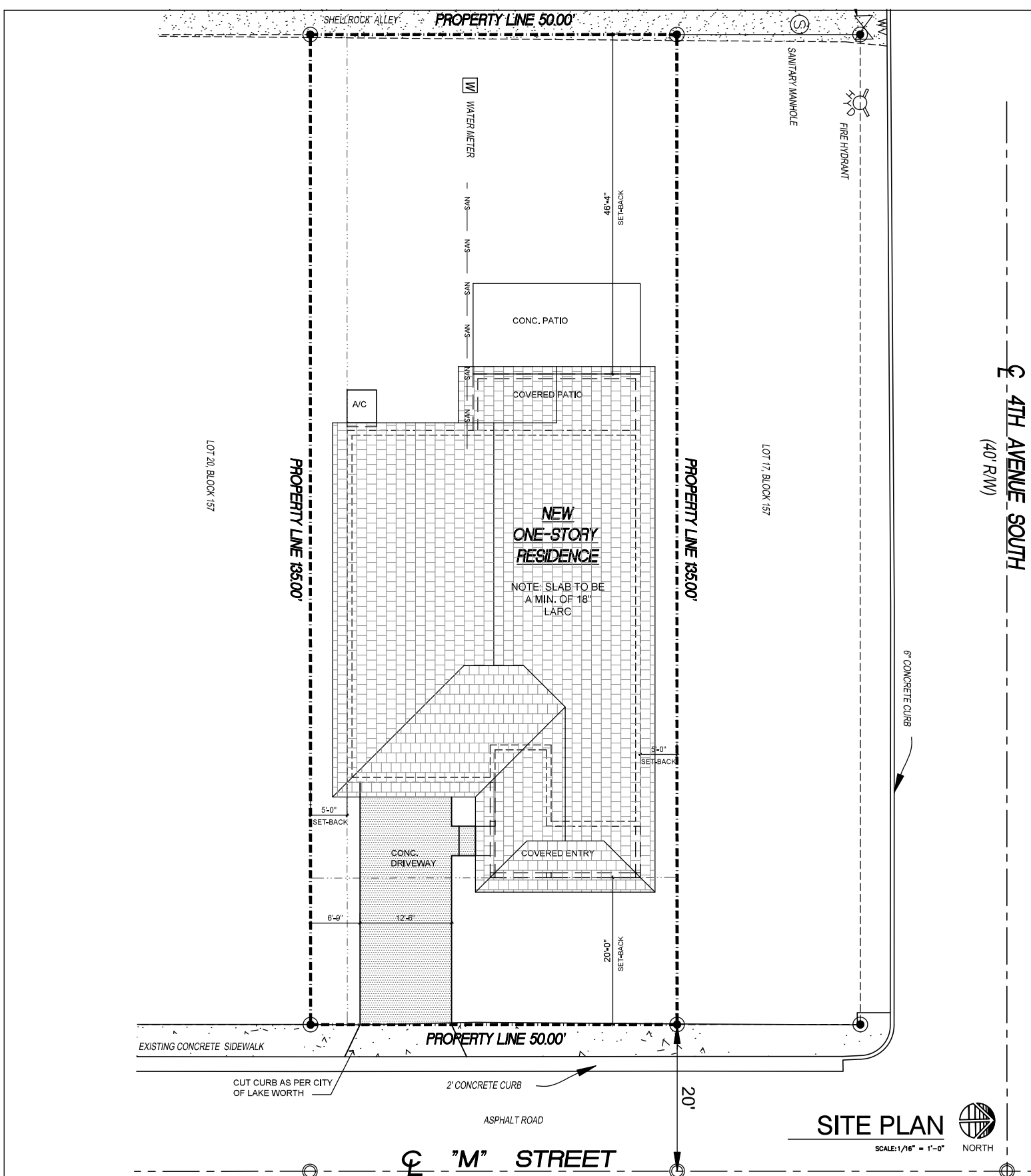
PROJECT NO.	CHECKED BY:	
17-13-2	SJB	

ALL READ SECTIONS AND DIMENSIONS AND PLANS INDICATED OR REPRESENTED BY THIS DOCUMENT, AND ISSUED BY AND THE PROPERTY OF THIS GROUP AND WHEN CREATED, REVISED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH THE PROJECTED PROJECT. NO PART OF ANY READ, DESIGN, OR CONSTRUCTION SHALL BE USED BY OR ASSIGNED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF ROYAL BUILDING GROUP, LLC.

NEW RESIDENCE FOR:
RBG LLC.
403 SOUTH M ST
LAKE WORTH, FLORIDA

Royal Building Group, LLC

SP-1
SITE PLAN
OF SHEETS



NEW RESIDENCE FOR:
ROYAL BUILDING GROUP LLC
403 SOUTH M ST.
LAKE WORTH, FLORIDA

DESIGN CRITERIA
CODES AND EDITIONS USED:
FLORIDA BUILDING CODE RESIDENTIAL 2017 6th ed.
NATIONAL ELECTRICAL CODE 2014
OCCUPANCY CLASSIFICATION:
GROUP R-3 - RESIDENTIAL (310.5 FBC);
CONSTRUCTION TYPE:
TYPE VB, UNSPRINKLED UNPROTECTED

CERTIFICATION
ALL WORK SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, 2017 6th EDITION, MEETING THE REQUIREMENTS OF THE HVHZ SECTIONS, LOCAL AMENDMENTS, AND NFPA 101. NOTHING CONTAINED IN THIS SPECIFICATION OR SHOWN ON PLANS SHALL BE CONSTRUCTED AS TO CONFLICT WITH ANY LOCAL MUNICIPAL OR STATE LAW OR REGULATION. ALL SUCH LAWS OR REGULATIONS ARE HEREBY MADE PART OF THIS SPECIFICATION AND THE PLANS ARE THE MINIMUM THAT WILL BE ACCEPTED. CONTRACTOR BEING REQUIRED TO MEET BUILDING AND FIRE DEPARTMENT REQUIREMENTS AS APPROVED BY THE OWNER.

AREA CALCULATIONS

A/C LIVING:	1,580 SF
GARAGE:	386 SF
COVERED ENTRY:	72 SF
COVERED PATIO:	229 SF
TOTAL:	2,267 SF

GENERAL SITE NOTES
1. SITE PLAN IS FOR ARCHITECTURAL LAYOUT PURPOSES ONLY. REFER TO DRAWINGS BY "WHIDDEN SURVEYING & MAPPING INC." DATED 7-11-2015 FOR PLACEMENT, SIZE OF EASEMENTS AND SITE LAYOUT.
2. LAYOUTS SHALL BE VERIFIED BY HORIZONTAL CONTROL DRAWINGS PRIOR TO CONSTRUCTION.
3. ALL SITE IMPROVEMENTS INCLUDING LANDSCAPING, SIDEWALKS AND DRIVEWAYS SHALL BE AS APPROVED THE CITY OF LAKE WORTH, FLORIDA
4. REFER TO DRAWINGS BY "WHIDDEN SURVEYING & MAPPING INC." DATED 7-11-2015 FOR PAVING AND DRAINAGE PLANS.
FLOOD ZONE C

SHEET INDEX

SP-1	SITE PLAN
A-1	FLOOR PLAN
A-2	ELEVATIONS
A-3	BUILDING SECTIONS
S-1	FOUNDATION / PLUMBING PLAN
S-2	ROOF FRAMING PLAN
E-1	ELECTRICAL PLAN

PROPOSED FSH PROJECT DATA

Living Area (Conditioned)	1580 SF	800 SF Minimum	Requirement Satisfied
Garage	386 SF		
Covered Entry	220 SF		
Covered Patio	175 SF		
Driveway	413 SF		
Walkway	20 SF		
Uncovered Patio	282 SF		
Total Building (Under Roof)	2361 SF		
Total Impermeable	2774 SF		
Lot Area	5750 SF	6,225 SF per Unit	Requirement Satisfied
Mean Roof Height	12 ft	30 FT Max	Requirement Satisfied
Setbacks - Front	20 ft	20 ft Minimum	Requirement Satisfied
Setbacks - Side	5 ft	5 ft Minimum	Requirement Satisfied
Setbacks - Rear	46.33 ft	15ft Minimum	Requirement Satisfied
Roof Overhang	2 ft	2ft Maximum	Requirement Satisfied
Lot Coverage (Building)	34.98%	35% Maximum	Requirement Satisfied
Lot Coverage (Impermeable)	45.57%	55% Maximum	Requirement Satisfied
FAR Sq/ft	23.41%	50% Maximum	Requirement Satisfied
Front Yard Area	1000 SF		
Front Yard Impermeable	250 SF		
Permeable Front Yard	75%		
Permeable Front Yard	750 SF	70% or 900 SF Minimum	Requirement Satisfied



REVISION
REVISION
REVISION

PROJECT NO. 17-15-2
CHECKED BY: SJB
SJB

ALL DESIGN ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE COVERED BY AND THE PROPERTY OF THIS OFFICE AND WERE CREATED, EVOLVED, AND DEVELOPED FOR USE ONLY AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH DESIGN, DRAWING, OR ARRANGEMENTS SHALL BE REPRODUCED, COPIED, OR DISCLOSED TO ANY PERSONAL FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF STEVEN BRUH ARCHITECT.

NEW RESIDENCE FOR:
RBG LLC.
403 SOUTH M ST
LAKE WORTH, FLORIDA

STEVEN J. BRUH
ARCHITECT LEED AP
AR008678

FLORIDA ARCHITECTS REGISTRATION BOARD
AR 8678

STEVEN BRUH ARCHITECT
CONSTRUCTION COORDINATION
ARCHITECTURE & DESIGN

OFFICE @ 9100 BELVEDERE RD, STE. 105 RPB,
6168 EATON STREET W. P. B. FLORIDA 33411
sbruh@bruharchitect.com sbruh@bruharchitect.com

SBA

DRAWN: SJB, KC
DATE: NOVEMBER 15, 2015
SCALE: AS SHOWN
SHEET

SP-1
SITE PLAN
OF 7 SHEETS

GENERAL NOTES

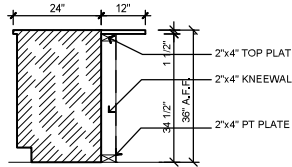
- ALL WORK SHALL BE IN ACCORDANCE WITH THE 8th ed. 2017 FBC RESIDENTIAL CODE AND LOCAL AMENDMENTS. NFPA 101, NOTHING CONTAINED IN THIS SPECIFICATION OR SHOWN ON PLANS SHALL BE CONSIDERED AS TO CONFLICT WITH ANY LOCAL MUNICIPAL OR STATE LAW OR REGULATION. ALL SUCH LAWS OR REGULATIONS ARE HEREBY MADE PART OF THIS SPECIFICATION AND THE PLANS ARE THE MINIMUM THAT WILL BE ACCEPTED. CONTRACTOR BEING REQUIRED TO MEET BUILDING AND FIRE DEPARTMENT REQUIREMENTS AS APPROVED BY THE OWNER.
- ALL WORK SHALL BE ALIGNED AND POSITIONED IN ACCORDANCE WITH PLAN DIMENSIONS WITH ALL SCALE DIMENSIONS BEING VERIFIED PRIOR TO USE.
- ALL WOOD IN CONTACT WITH MASONRY, CONCRETE OR STEEL SHALL BE PRESSURE TREATED.
- GENERAL CONTRACTOR SHALL REPORT ALL IRREGULARITIES AND DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH WORK.
- CONTRACTOR SHALL GUARANTEE ALL WORK FOR ONE (1) YEAR AFTER DATE OF ACCEPTANCE BY OWNER.
- ALL WINDOW AND DOOR OPENING DIMENSIONS SHALL BE VERIFIED WITH WINDOWS AND DOORS SUPPLIES.
- ANY BLOCKING, NAILERS, FLASHING OR OTHER REQUIRED FRAMING MATERIAL SHALL BE INSTALLED AS REQUIRED AS IF THEY WERE ORIGINALLY DETAILED.
- THE CONTRACTOR SHALL BE TOTALLY RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION. THE ARCHITECT'S PERIODIC VISITS TO THE SITE SHALL NOT RELIEVE THE CONTRACTOR OF TOTAL RESPONSIBILITY AND HE SHALL IN ANY EVENT HOLD THE ARCHITECT HARMLESS FOR ALL LITIGATION ARISING FROM INJURY.
- ALL STUCCO, METAL LATH, AND DRYWALL WORK SHALL MAINTAIN THE STANDARDS AS OUTLINED IN THE U.S. GYPSUM CONSTRUCTION HANDBOOK; ESPECIALLY IN REGARDS TO ACCESSORY PRODUCTS, SUCH AS, CONTROL AND EXPANSION JOINTS. CONSULT WITH THE ARCHITECT PRIOR TO INSTALLATION.
- WOOD SPECIES - #2 HEIM-FIR SOUTHERN PINE OR SPRUCE PINE-FIR W/19 % OR LESS MOISTURE CONTENT.
- ALL WOOD FRAMING/SHEATHING SHALL MEET PROVISIONS ON CHAPTER 23, FBC 2017.
- ALL PRODUCT ENCLOSING THE BUILDING ENVELOPE TO MEET FLORIDA PRODUCT APPROVAL

EGRESS WINDOWS NOTE

ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM TOTAL GLASS AREA OF 5.7 sq. ft. GROUND FLOOR WINDOW AND 5.7 sq. ft. SECOND STORY WINDOW THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE TWENTY-FOUR (24) INCHES, AND WIDTH TO BE TWENTY (20) INCHES. SILL TO BE 44" MAXIMUM ABV. FIN FLOOR

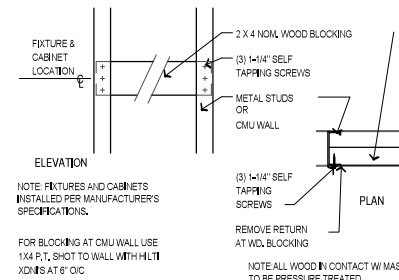
BUILT-INS & FINISH

- SEE SHOP DRAWINGS FOR ACTUAL KITCHEN LAY-OUT. SUBMIT ALL SHOP DRAWINGS FOR REVIEW.
- ALL PANTRY AND LINEN CLOSETS TO HAVE (4) WIRE SHELVES UNLESS OTHERWISE NOTED.
- OWNER TO SELECT ALL COLORS AND FINISHES UNLESS OTHERWISE NOTED ON THESE DRAWINGS.
- ALL CLOTHES CLOSETS TO HAVE WIRE ROD & SHELVES AS SHOWN



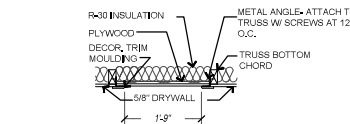
1 CABINET SECTION

SCALE: 1/2"=1'-0"



2 BLOCKING DETAIL

FOR HANGING FIXTURES AND CABINETS N.T.S.



3 ATTIC ACCESS SECTION

SCALE: 1/2"=1'-0"

DOOR SCHEDULE

ALL EXT. COMPONENTS & CLADDING REQUIRE PRODUCT APP. ALL EXTERIORS WINDOWS AND DOORS TO BE IMPACT RATED

NO	SIZE	MAT.	TYPE	HDWE	NOTES
1	3'-6" x 6'-6"	ALUM./GLASS	FRENCH	1/5	ENTRY DOOR
2	12'-0" x 7'-0"	MTL. CLAD	OVERHEAD	AS PER MANUF.	RAISED PANEL
3	2'-6" x 6'-6"	SOLID CORE OR MTL. CLAD 1.38 THK.	SWING	4	WI SPRING HINGE
4	2'-6" x 6'-6"	WOOD / COMP.	SWING	3	
5	3'-0" x 6'-6"	WOOD / COMP.	BIFOLD	AS PER MANUF.	
6	2'-6" x 6'-6"	WOOD / COMP.	SWING	2	
7	2'-0" x 6'-6"	WOOD / COMP.	BIFOLD	AS PER MANUF.	
8	(2) 2'-6" x 6'-6"	WOOD / COMP.	BYPASS	AS PER MANUF.	
9	(2) 2'-6" x 6'-6"	WOOD / COMP.	BIFOLD	AS PER MANUF.	
10	2'-6" x 6'-6"	WOOD / COMP.	SWING	2	
11	2'-6" x 6'-6"	WOOD / COMP.	POCKET	AS PER MANUF.	
12	16'-0" x 6'-6"	ALUM./GLASS	EXT. SLIDING	AS PER MANUF.	

WINDOW SCHEDULE

ALL EXT. COMPONENTS & CLADDING ARE IMPACT RATED & REQUIRE PRODUCT APPROVAL.

(D)	SIZE	TYPE	DESIGN PRESSURES	DETAILS	NOTES
A	108" x 63"	HR 035	28.2/-30.8 PSF	A A B	XOX CENTER FIXED 27"x54"x27"
B	54" x 51"	HR 34	30.0/-32.7 PSF	A A B	
C	54" x 39"	HR 33	30.0/-32.7 PSF	A A B	
D	75" x 60"	HR 6250	30.0/-32.7 PSF	A A B	
E	38" x 26"	HR 22	31.4/-34.0 PSF	A A B	OBS. TEMPD

SEE A-2 FOR DETAILS

DOOR HARDWARE

- LEVER HANDLE W/ LOCK ENTRY SET OR APPROVED EQUAL
- LEVER HANDLE W/ PRIVACY LOCK
- PASSAGE LATCH SET
- LEVER HANDLE W/ LOCKSET
- EXTERIOR DOORS SHALL BE WEATHERSTRIPPED AND PROVIDED W/ A THRESHOLD

DOOR NOTES

- PROVIDE WALL OR FLOOR MTD. DOOR STOPS FOR ALL DOORS
 - CONTRACTOR TO SUBMIT SHOP DWGS TO FOR APPROVAL PRIOR TO CONSTRUCTION
 - ALL HARDWARE TO BE BRUSHED ALUMINUM OR SATIN CHROMIUM SCHLAGE OR EQ. COMMERCIAL GRADE
 - 1 1/2" PR. BUTTS.
- FINISH & STYLE TO BE SELECTED BY OWNER

PRODUCT APPROVAL SUBMITTAL AFFIDAVIT

ALL WINDOWS & DOORS TO BE IMPACT RESISTANT

PRODUCT	MANUF.	MANUF. DESGN. PRESSURES	MODEL	FLORIDA #	DESIGN PRESSURES
SW. DOOR	THERMA TRU	+65 / -70	SMOOTH STAR	FL7630.1	+28.2/-30.8
HR WINDOW	PGT	+80 / -80	SH700	FL242.3	+31.4/-34.0
SLIDING GL. DR.	PGT	+56.7 / -68	SGD-770	FL251.4	+26.6/-29.2
GARAGE DR	CLOPAY	+45.6 / -49.3	WINCODE W8	FL5684.17	+25.6/-32.7
ROOFING	BORAL	---	SAXONY 900	FL28326.6	---
FRENCH					+30.0/-32.7

I HAVE REVIEWED THE ABOVE COMPONENTS AND HAVE APPROVED THEIR USE IN THIS HOME. THEY PROVIDE ADEQUATE RESISTANCE TO THE PREDICTED MAXIMUM PRESSURES DUE TO WIND LOAD AND FORCES SPECIFIED BY THE CURRENT BUILDING CODE PROVISIONS.

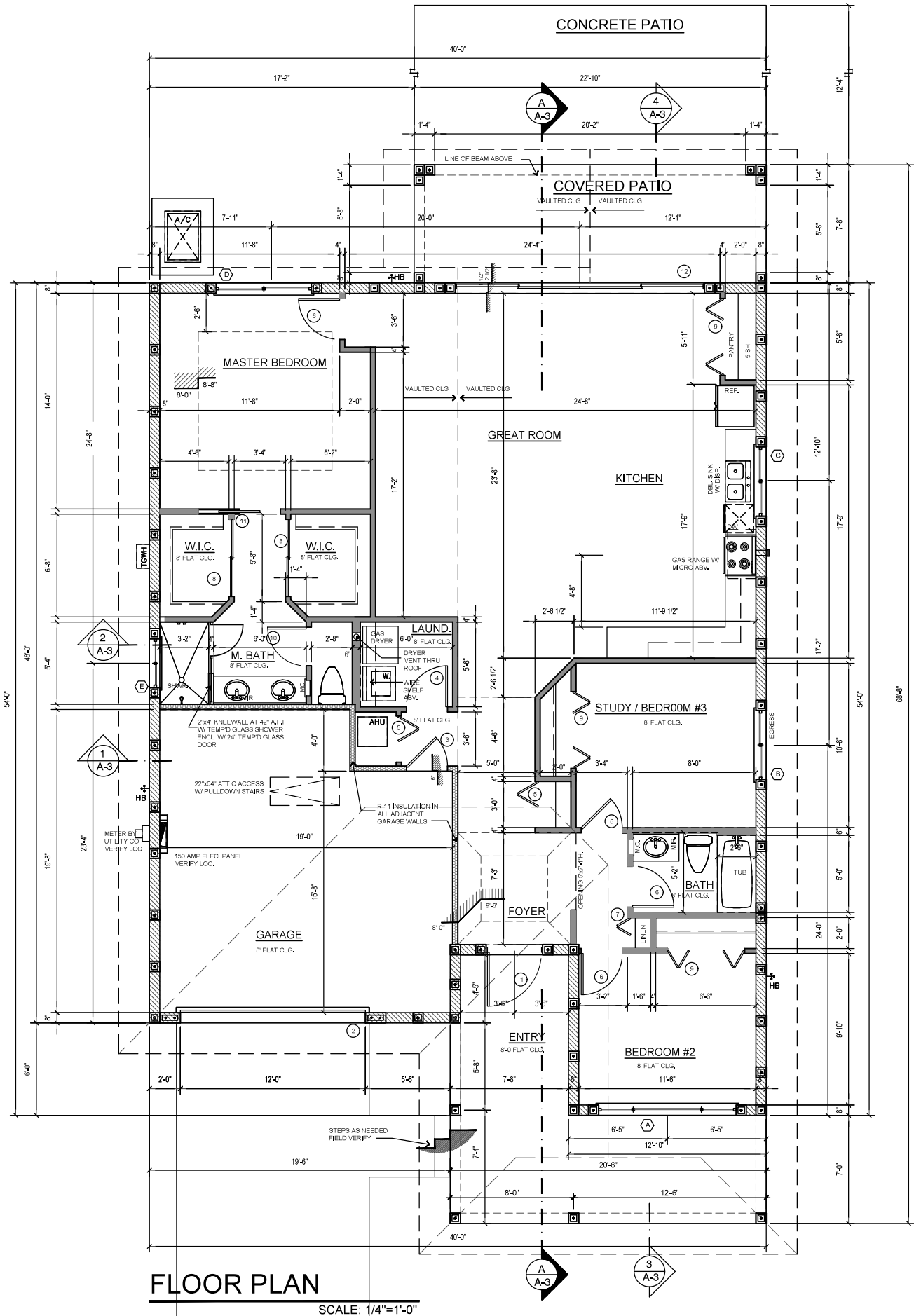
AREA CALCULATIONS

A/C LIVING:	1,580 SF
GARAGE:	386 SF
COVERED ENTRY:	220 SF
COVERED PATIO:	175 SF
TOTAL:	2,361 SF

WALL LEGEND

ALL INTERIOR WALLS ARE FIGURED @ 4" UNLESS OTHERWISE NOTED

- 8" CMU WALL BEARING AT 8'-1" A.F.F.
- STUD WALL OR OPTIONAL METAL FRAMING TO CEILING.
- STUD WALL OR OPTIONAL METAL FRAMING W/ R-11 BATT INSULATION



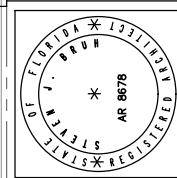
FLOOR PLAN

SCALE: 1/4"=1'-0"

REVISION	PROJECT NO.	DATE	DESIGNED BY	CHECKED BY
	47-13-12			SJB

NEW RESIDENCE FOR:
RBG LLC.
403 SOUTH M ST
LAKE WORTH, FLORIDA

STEVEN J. BRUH
ARCHITECT - LEED AP
AR008678



STEVEN BRUH ARCHITECT
CONSTRUCTION COORDINATION
ARCHITECTURE & DESIGN

OFFICE @ 9100 BELVEDERE RD, STE. 105 RPB,
6169 EATON STREET W. P. B. FLORIDA 33411
steven.bruch - 561-526-5797 email: sbruch@design@gmail.com

SBA

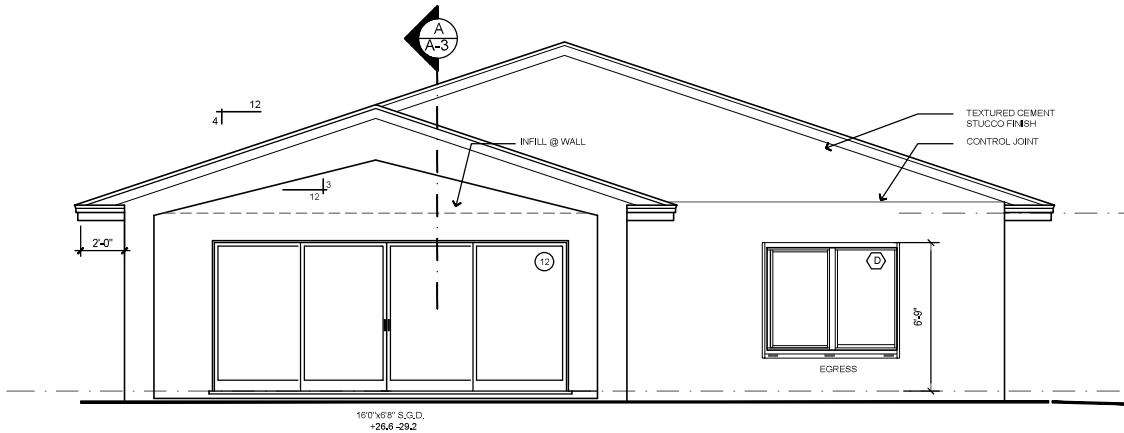
DRAWN
SJB, KC

DATE
NOVEMBER 15, 2018

SCALE
AS SHOWN

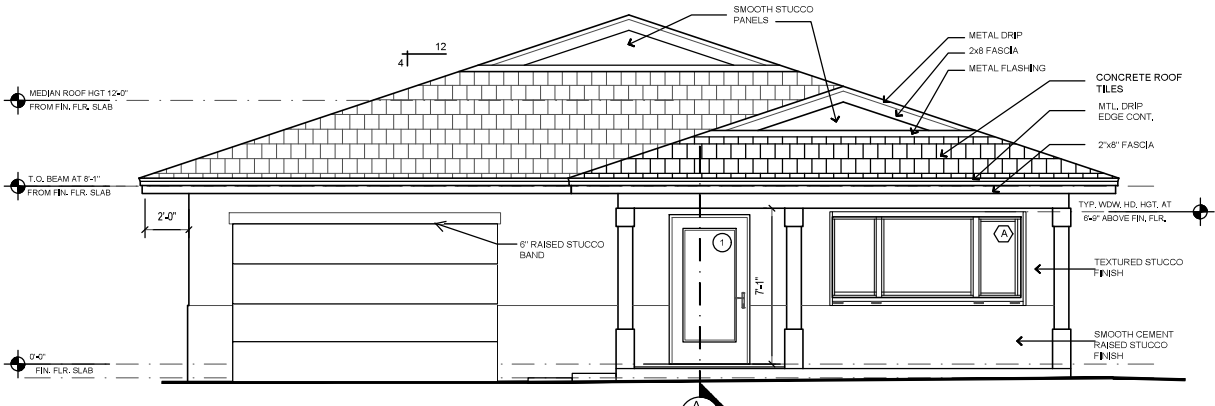
SHEET

A-1
FLOOR PLAN
OF 7 SHEETS



REAR ELEVATION

WEST SCALE: 1/4"=1'-0"



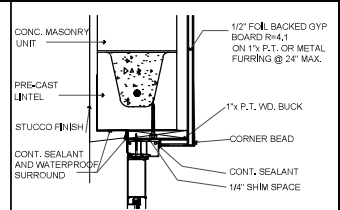
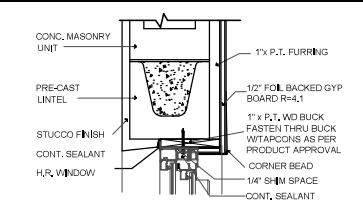
FRONT ELEVATION

EAST SCALE: 1/4"=1'-0"

DOOR & WDW JAMB / HD / SILL DETAILS

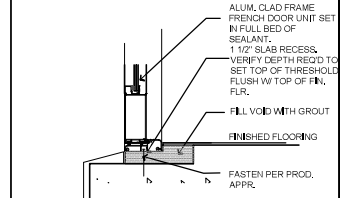
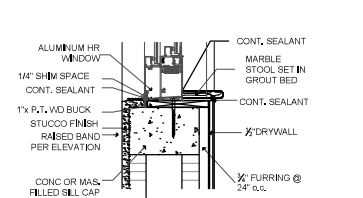
ALUM. FINISH AND GLAZING COLOR TO BE APPR. BY OWNER
EXTERIOR WDW & DRS TO BE IMPACT RATED
ALL FENESTRATION AND EXT. DOORS SHALL BE INSTALLED AS PER PRODUCT APPROVAL; ADJUST AS REQ'D
8" MIN. FLEXIBLE CONC. WATERPROOF MEMBRANE TREMCO VULKEM 450 OR APPROVED EQUAL ON EXTERIOR OF OPENING AND ENTIRE RETURN. WDW. BUCKS TO BE CAULKED TO BLOCK OPNG. + WDW. INSTALLED AND SEALED PER MANUFACTURERS SPEC. SEALANT SHALL COMPLY W/ AAMA 800 OR ASTM C920 CLASS 25 GRADE NS OR GREATER

SEE DOOR & WDW SCHEDULE ON A-1



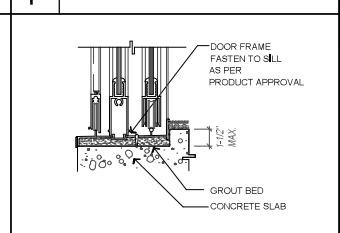
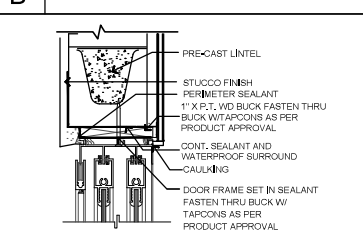
A HORIZONTAL ROLLER HEAD JAMB SIMILIAR

E FRENCH DR HEAD JAMB SIMILIAR



B HORIZONTAL ROLLER SILL

F FR. DR. SILL



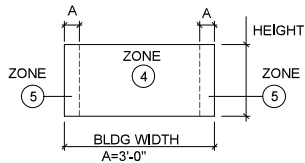
C SLIDING GLS. DR. HEAD JAMB SIMILIAR

D SLIDING GLS. DR. SILL

WIND DESIGN BASIS:

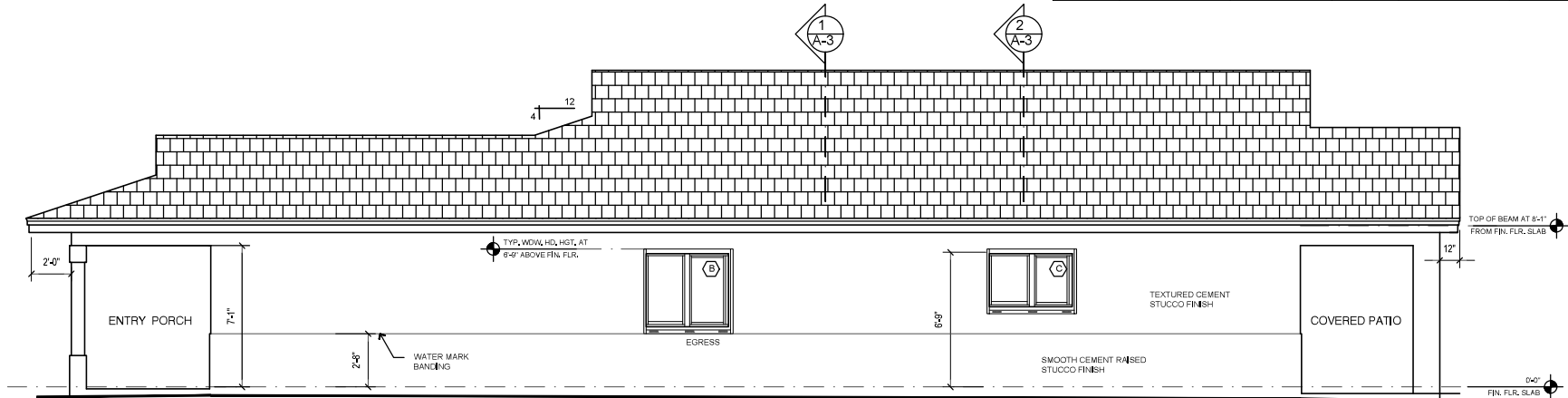
ASCE 7-10, FBC 2017
ULTIMATE WIND SPEED: 170 MPH
NOMINAL WIND SPEED: 132 MPH
RISK CATEGORY II
EXPOSURE B
ENCLOSED
INT. PRESSURE COEF: +/- 0.18

WALL ELEVATION



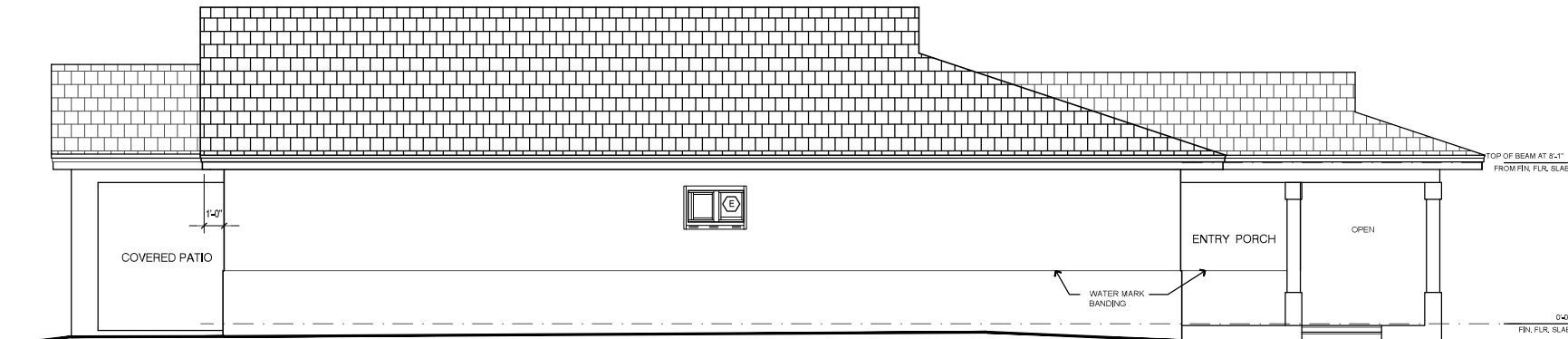
WALL PRESSURES:
COMPONENT & CLADDING

	NOM. WIND SPEED: 132 MPH		ULT. WIND SPEED: 170 MPH	
	ZONE 4	ZONE 5	ZONE 4	ZONE 5
SQ.FT.	PRESS./SUCTION	PRESS./SUCTION	SQ.FT.	PRESS./SUCTION
10	31.4/-34.0 PSF	31.4/-42.0 PSF	10	52.0/-56.4 PSF
20	30.0/-32.7 PSF	30.0/-39.3 PSF	20	49.8/-54.2 PSF
50	28.2/-30.8 PSF	28.2/-35.3 PSF	50	46.7/-51.1 PSF
100	26.6/-29.2 PSF	26.6/-32.7 PSF	100	44.1/-48.5 PSF



RIGHT SIDE ELEVATION

NORTH SCALE: 1/4"=1'-0"

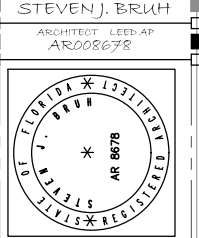


LEFT SIDE ELEVATION

SOUTH SCALE: 1/4"=1'-0"

REVISION		
PROJECT NO.	17-13-2	CHECKED BY: SJB
ALL IDEAS, DESIGN, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF THIS OFFICE AND WERE CREATED, DEVELOPED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIC PROJECT. NO PART OF SUCH DESIGN, DESIGN, ARRANGEMENTS OR PLANS SHALL BE USED, REPRODUCED OR COPIED BY ANY PERSON WITHOUT THE WRITTEN PERMISSION OF STEVEN BRUH ARCHITECT		

NEW RESIDENCE FOR:
RBG LLC.
403 SOUTH M ST
LAKE WORTH, FLORIDA



STEVEN BRUH ARCHITECT
CONSTRUCTION COORDINATION
ARCHITECTURE & DESIGN

OFFICE @ 9100 BELVEDERE RD. STE. 105 RPB,
6169 EATON STREET W. P. .B. FLORIDA 33411
steven.bruh+561-452-9737 email: sjbruhdesign@gmail.com



DRAWN
SJB, KC
DATE
NOVEMBER 15, 2018
SCALE
AS SHOWN
SHEET

A-2
ELEVATIONS
OF 7 SHEETS



SCALE: 1/4"=1'-0"



SCALE: 3/4"=1'-0"



SCALE: 3/4"=1'-0"



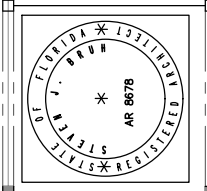
SCALE: 3/4"=1'-0"



SCALE: 3/4"=1'-0"

NEW RESIDENCE FOR:
RBG LLC.
403 SOUTH M ST
LAKE WORTH, FLORIDA

STEVEN J. BRUH
ARCHITECT LEED AP
AR008678



STEVEN BRUH ARCHITECT
CONSTRUCTION COORDINATION
ARCHITECTURE & DESIGN

OFFICE @ 9100 BELVEDERE RD. STE. 105 RPB.
3169 EATON STREET W. P. .B. FLORIDA 33411
teven bruh - 561-252-8797 email: sjbarch_design@gmail.com



DRAWN
SJB, KC

DATE
NOVEMBER 15, 2018

AS SHOWN
SHEET

A-3

WALL SECTIONS
& DETAILS
OF 7 SHEETS

1. ALL WORK BY ALL TRADES SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, STANDARDS, OR RESTRICTIONS, WHETHER INDICATED ON PLANS OR NOT.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ROUGH OPENINGS PRIOR TO CONSTRUCTION, USE FIGURED DIMENSIONS ONLY, DO NOT SCALE DRAWINGS, ALL DIMENSIONS, WINDOW AND DOOR OPENINGS ARE NOMINAL.
3. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING ENERGY CODE AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THE CODE.
4. ALL SECTIONS, DETAILS, AND NOTES SHOWN ON THESE DRAWINGS ARE INTENDED TO TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS UNLESS OTHERWISE NOTED.
5. ALL WOOD IN CONTACT WITH CONCRETE, MASONRY, OR STEEL BE PRESSURE PRESERVATIVE TREATED.
6. CONCRETE SHALL COMPLY WITH ALL THE REQUIREMENTS OF ASTM 664-61 FOR ALL MEASURING, MIXING, AND TRANSPORTING.
7. CONCRETE SHALL MEET DESIGNED COMPRESSIVE STRENGTH AS NOTED ON DRAWINGS WITHIN 28 DAYS.
8. REINFORCING STEEL SHALL BE ASTM A615, GRADE 60, $F_y = 60,000$ PSI, DEFORMATION BARS IN ACCORDANCE WITH THE LATEST ASTM SPECIFICATIONS.
9. REINFORCING STEEL SHALL BE LAPPED 48 BAR DIAMETER MIN, WHERE SPLICED AND SHALL BE EITHER SEPARATED BY ONE BAR DIAMETER OR WIRED TOGETHER.
10. LAP ALL REINFORCING STEEL AT CORNER SPICES 48 BAR DIAMETER MIN, AND STAGGER SPICES.
11. WELDED WIRE MESH TO BE LAPPED 6" AT SPICE MIN.
12. CMU CLEANOUT OPENINGS SHALL BE PROVIDED AT THE BOTTOM OF ALL CONC. FILLED BLOCK CELLS AT EACH UFT. CLEANOUTS SHALL BE SEALED AFTER CLEANING AND INSPECTION PRIOR TO CONCRETE PLACING.
13. ALL WALL SYSTEMS SHALL BE BRACED AS REQUIRED DURING ERECTION BY CONTRACTOR.
14. ELECTRICAL SERVICE GROUNDING IS ALSO REQUIRED TO FOUNDATION REBAR AND METAL WATER SERVICE

1. ALL WORK SHALL BE IN ACCORDANCE WITH 8th ED, 2017 FLORIDA BUILDING CODE AND LOCAL AMENDMENTS & ASCE 7-10.
2. FOUNDATIONS WERE DESIGNED USING A MINIMUM SOIL BEARING VALUE OF 2500 lbs. PER SQ. FT. FIELD VERIFY PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE STARTING WORK.
4. CONCRETE SHALL BE A MIX DESIGNED IN ACCORDANCE WITH ASTM C64 TO ACHIEVE A 28 DAY STRENGTH AS FOLLOWS:

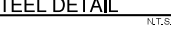
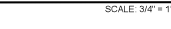
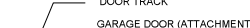
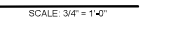
BEAMS AND COLUMNS —————	3000 P.S.I.
SLAB ON GRADE AND MONOLITHIC FOOTINGS —————	3500 P.S.I.

 ALL WORK SHALL CONFORM TO ACI 301 AND ACI 318-11.
5. THE FIBER-REINFORCED CONCRETE MIX SHALL BE DESIGNED IN ACCORDANCE WITH ACI GUIDE LINES, AND FIBERS AS NECESSARY TO CONTROL SHRINKAGE STRESSES, AND TO PROVIDE EQUIVALENT SLAB PERFORMANCE WHEN REINFORCED WITH 6X9-W1.4X W1.4 W/LM.
6. NO AMENDMENTS SHALL BE PERMITTED WITHOUT WRITTEN APPROVAL BY THE ENGINEER.

1. INSTALLATION SHALL BE IN ACCORDANCE WITH THE 6TH ED, 2017 FBC-PLUMBING LOCAL AND STATE CODE REQUIREMENTS.
2. ALL MATERIALS SHALL BE NEW AND APPROVED BY APPROPRIATE CODES.
3. PLUMBING CONTRACTOR TO PROVIDE ALL REQUIRED PLUMBING PERMITS.
4. FURNISH AND INSTALL WATER AND SANITARY TO THE FIXTURES IN ACCORD WITH LOCAL GOVERNING CODES. ALL DOMESTIC WATER PIPING SHALL BE POLYBUTYL, PEX OR COPPER, AS ALLOWED BY CODE. ALL SANITARY PIPING SHALL BE CPVC OR PVC AS CODE PERMITS.
5. THE PLUMBING CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR ONE (1) YEAR AFTER THE DATE OF WORK ACCEPTANCE.
6. WHERE DISSIMILAR METALS ARE TO BE JOINED, APPROVED INSULATING UNION SHALL BE USED
7. PROVIDE AND INSTALL PLUMBING FIXTURES AS APPROVED BY OWNER AND PERMITTED BY CODE
8. ALL EXCAVATION AND BACKFILL AS REQUIRED FOR THIS PHASE OF CONSTRUCTION SHALL BE PART OF THIS CONTRACT.
9. DO NOT SCALE FOR THE EXACT FIXTURES, PIPING, EQUIPMENT, ETC.
10. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS CONSTRUCTION.
11. FURNISH AND INSTALL APPROVED WATER HAMMER ARRESTORS AND SHUTOFF VALVES WITH ACCESS PANELS AT EACH FIXTURE GROUP. INSTALL PER PDI IN EFFECTIVE RANGE.
12. THESE PLANS ARE BASED ON AVAILABLE INFORMATION. VERIFY EXACT LOCATION OF EXISTING WATER AND SEWER PROVISIONS.
13. PLUMBER TO PROVIDE EXPANSION LOOPS IN HOT WATER LINES.
14. INSTALL PRESSURE REDUCING VALVES AT WATER METER IF REQUIRED PER FLORIDA BUILDING PLUMBING CODE.
15. IN GENERAL, PLANS AND DIAGRAMS OF PLUMBING RUNS ARE SCHEMATIC AND SHOULD NOT BE SCALED. COORDINATE AT SITE ALL PLUMBING WORK SO AS NOT TO CONFLICT IN LOCATION WITH OTHER WORK. SHOULD CONFLICT ARISE, NOTIFY ARCHITECT IMMEDIATELY BEFORE INSTALLING PIPING OR EQUIPMENT.
16. SHOWERS SHALL BE ANTI SCALD CONTROLLED BY AN APPROVED MIXING VALVE WITH A MAXIMUM WATER OUTLET TEMPERATURE OF 120° F, (48.9° C)

NOTE:

1. PLUMBER TO FIELD VERIFY PLUMBING VENTS, AND TO USE STUDER VENTS WHERE REQUIRED.
2. 1 1/2" VENTS WILL BE USED ACCORDING TO FIELD CONDITIONS.
3. PLUMBER TO VERIFY HOSE BIBB LOCATIONS AND ADJUST ACCORDING TO FIELD CONDITIONS.



SCALE: 1/4"=1'-0"

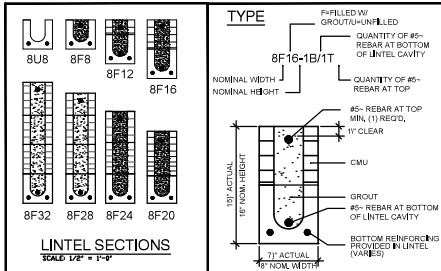
NEW RESIDENCE FOR:
RBG LLC.
403 SOUTH M ST
LAKE WORTH, FLORIDA

A circular professional seal for Steven J. Bruh, a Registered Professional Engineer in the State of Florida. The seal features the text "STATE OF FLORIDA" at the top, "REGISTERED PROFESSIONAL ENGINEER" at the bottom, and "STEVEN J. BRUH" in the center. The registration number "AR 8678" is also present.



S-1
FOUNDATION PLAN
OF 7 SHEETS

CONNECTOR SCHEDULE				<div><div>000</div><div>X</div></div>	UPLIFT CONNECTOR TYPE (2) NUMBER OF CONNECTORS			
MARK	SIMPSON OR EQUAL Product Code	Description	FASTENERS		UPLIFT	F1	F2	FLORIDA APPROVAL
			truss/beam/ girder	masonry wall / wood post				
A	HETAL16	TRUSS ANCHOR	(14) 10d x 1-1/2"	EMBED	1810	415	1100	FL11473
B	DETAL20	TRUSS ANCHOR	(18) 10d	EMBED	2480	2000	1370	FL11473



ROOF FRAMING NOTES

- LAYOUT IS TO SHOW THE DESIGN INTENT.
- TRUSS MANUFACTURER SHALL SUBMIT PLANS AND ENGINEERING DRAWINGS FOR PERMIT WHICH SHALL BE CERTIFIED BY AN ENGINEER REGISTERED IN THE STATE OF FLORIDA.
- DESIGN LIVE LOAD:
FLOOR 40 PSF L.L.
ROOF 30 PSF L.L.
25 PSF DEAD LOAD
ULT WIND LOAD 170 MPH
NOM. WIND LOAD 132 MPH
- ALL MEMBERS SHALL BE SO FRAMED ANCHORED, TIED AND BRACED THAT THEY HAVE THE REQUIRED STRENGTH AND RIGIDITY.
- GENERALLY WALL SIZES INDICATED ARE BASED ON NOMINAL LUMBER SIZES. CARE SHOULD BE TAKEN DURING LAYOUT TO HOLD ALL EXTERIOR DIMENSIONS AND WORK INTERIOR DIMENSIONS TO THE CENTER LINE OF WALLS.
- ALL CONNECTIONS SHALL BE AS SPECIFIED IN THE 2017 FLORIDA BUILDING CODE AND LOCAL AMENDMENTS.
- ALL PLYWOOD SHALL BE IDENTIFIED WITH THE APPROPRIATE GRADE/TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION.
- ALL PLYWOOD EXPOSED TO THE WEATHER SHALL BE EXTERIOR TYPE.
- ALL CONNECTORS HAVE BEEN SELECTED TO RESIST LATERAL LOADS.

PRECAST LINTEL TABLE (CASTE-CRETE)

#	LENGTH OF LINTEL	ALLOWED GRAVITY LOAD	APPLIED GRAVITY LOAD	ALL UPLIFT LOAD	APPLIED UPLIFT LOAD	REMARKS
1	13'-4"	1075	400	607	200	8 F12 - 1B/1T
2	5'-0"	1969	400	1207	200	8 F8 - 0B/1T
3	10'-3"	1247	400	916	200	8 F16 - 0B/1T
4	5'-10"	1349	880	1016	380	8 F8 - 0B/1T
5	5'-10"	1349	880	1016	380	8 F8 - 0B/1T
6	17'-6"	950	400	429	200	8 F16 - 1B/1T
7	7'-6"	1011	400	727	200	8 F8 - 0B/1T
8	4'-6"	1969	880	1207	380	8 F8 - 0B/1T
9	6'-0"	2177	540	1407	300	8 F12 - 1B/1T
10	8'-0"	1160	400	708	200	8 F12 - 1B/1T
11	12'-6"	755	400	386	200	8 F12 - 1B/1T
12	7'-8"	1160	540	708	300	8 F12 - 1B/1T
13	7'-0"	1729	540	1224	300	8 F12 - 1B/1T
14	7'-0"	1729	665	1065	420	8 F12 - 0B/1T
15	7'-0"	1729	665	1065	420	8 F12 - 0B/1T

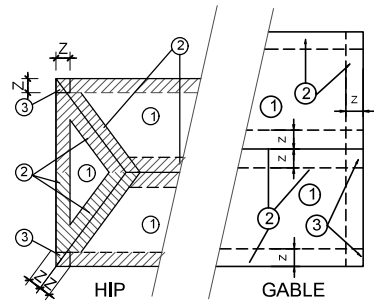
1. LOADS SHOWN ARE IN P.L.F.

MASONRY NOTES

- ALL MASONRY BLOCK SHALL CONFORM TO THE REQUIREMENTS OF ASTM C90 FOR LOAD BEARING CONCRETE MASONRY.
- ALL MORTAR SHALL BE A MINIMUM TYPE M OR S MORTAR. DESIGN COMPRESSIVE STRENGTH F_m = 1,500 PSI.
- COMPRESSIVE YIELD STRENGTH OF C.M.U. AT 28 DAYS SHALL NOT BE LESS THAN 1,500 PSI.
- THE CONTRACTOR MUST BE CAREFUL TO PROVIDE CLEANOUTS AT ALL VERT. BAR LOCATIONS AND ASSURE PROPERLY POSITIONED AND CENTERED REBAR AND THAT ALL CELLS ARE RODDED AND MADE CLEAR OF ALL MORTAR AND OTHER DEBRIS.
- THE CONTRACTOR SHALL PROVIDE AND BE RESPONSIBLE FOR ADEQUATE BRACING OF ALL MASONRY CONSTRUCTION. ALL WALLS ARE TO BE FULLY BRACED AGAINST WIND AND OTHER FORCES UNTIL THE ROOF, WALL, AND FLOOR CONSTRUCTION IS STRUCTURALLY COMPLETE.
- CARE MUST BE TAKEN BY THE CONTRACTOR TO INSURE QUALITY WORK AND PROPER PLACEMENT OF ALL REINFORCEMENT. VERTICAL WALL REINFORCEMENT SHALL BE LAP SPICED AT NO GREATER THAN 8'-0" O.C. AND SHALL BE LAPPED A MINIMUM OF 2'-4". CLEANOUTS MUST BE PROVIDED AT ALL LOCATIONS WHERE SPICES OCCUR WITHOUT EXCEPTION. THE CONTRACTOR SHALL ASSURE THAT ALL REINFORCEMENT IS PROPERLY PLACED AND CENTERED IN THE WALL.
- GROUTING OF CELLS: LOW-LIFT OR HIGH-LIFT GROUTING MAY BE USED IN GROUTING WALL CELLS. AT CONTRACTOR'S OPTION, THE FOLLOWING SPECIFICATIONS SHALL APPLY:
A. REINFORCING STEEL SHALL BE SECURED IN PLACE AND INSPECTED PRIOR TO GROUTING.
B. ALL GROUT SHALL BE PUDDLED OR VIBRATED IN PLACE.
C. GROUTING OF BEAM OVER OPENINGS SHALL BE DONE IN ONE CONTINUOUS OPERATION. THE TOP OF UNFILLED CELL COLUMNS UNDER A HORIZONTAL MASONRY BEAM SHALL BE COVERED WITH METAL LATH OR SPECIAL UNITS TO CONFINE THE GROUT FILL TO THE BEAM SECTION.
D. ALL BOLTS, ANCHORS AND OTHER EMBEDDED STEEL SHALL BE SOLIDLY GROUTED IN PLACE.
E. GROUT SHALL BE 3000PSI COURSE MASONRY GROUT ASTM C-476, PEA GRAVEL CONCRETE IS PROHIBITED.

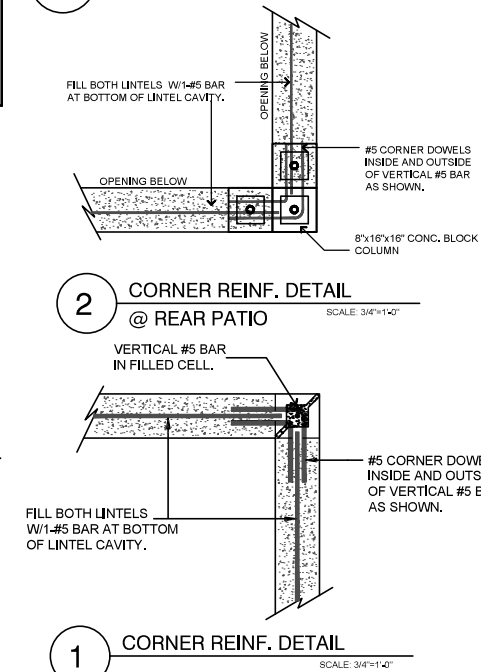
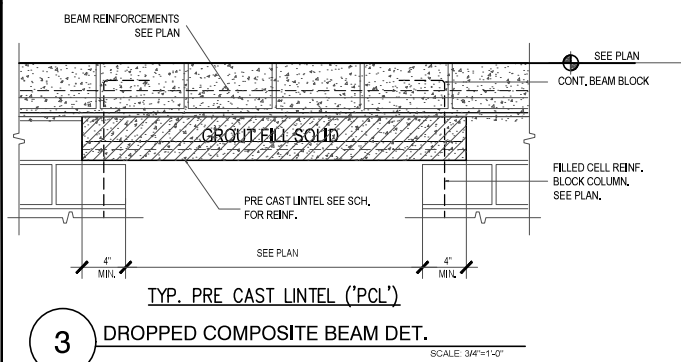
ROOF SHEATHING:
Z=4'
19/32" OR GREATER
NAIL:
3d
RING SHANK

ZONE 1 & 2:
6" O.C. EDGE AND
6" O.C. FIELD
ZONE 3:
4" O.C. EDGE AND
6" O.C. FIELD



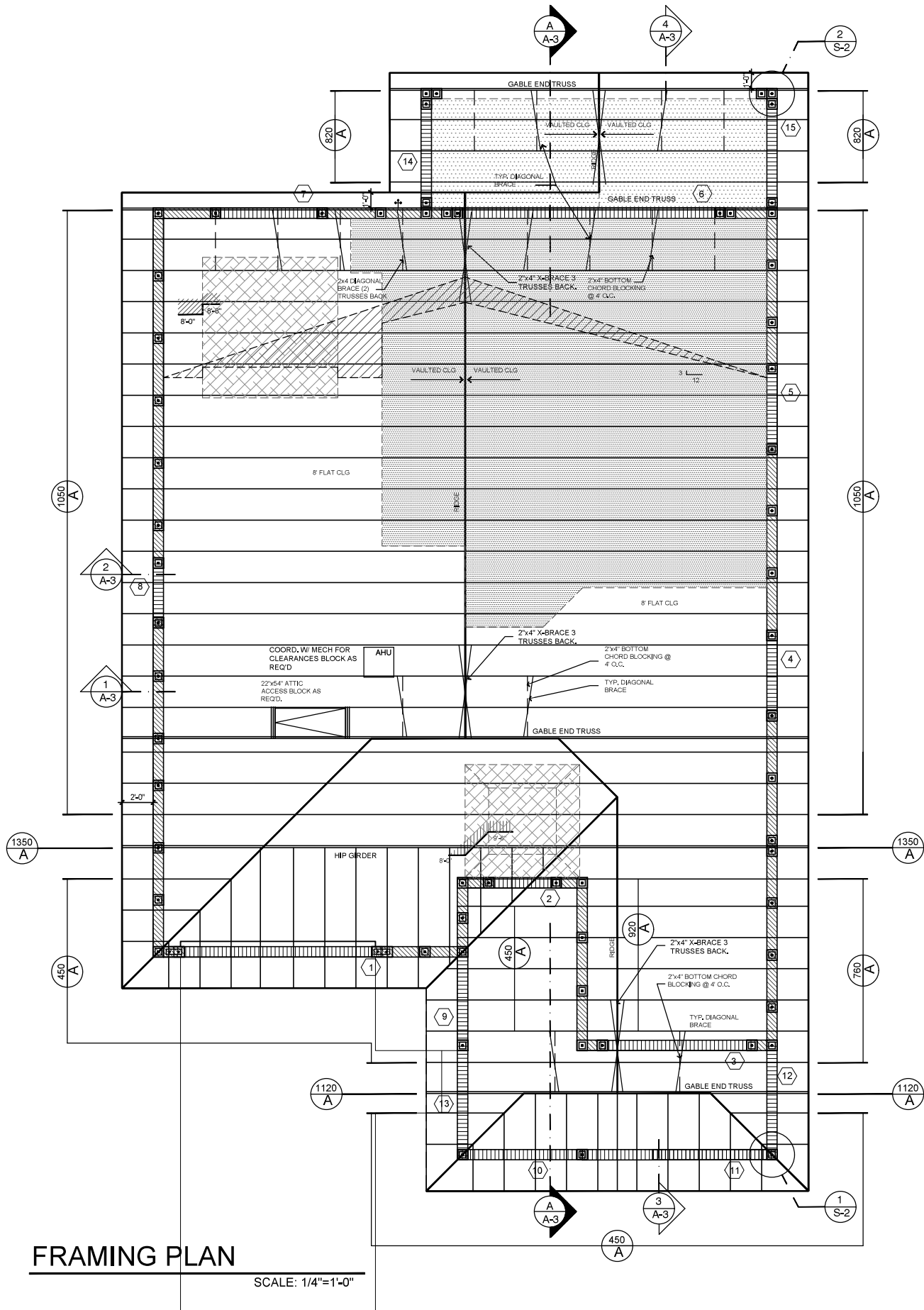
ROOF SHEATHING NAILING

NTS



FRAMING PLAN

SCALE: 1/4"=1'-0"

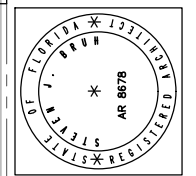


REVISION	PROJECT NO.	CHECKED BY
REVISION	47-13-2	SJB
REVISION		

ALL IDEAS, DESIGN ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF THIS OFFICE AND WERE CREATED, EVOLVED AND DESIGNED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NO PART OF THIS DRAWING SHALL BE USED FOR ANY OTHER PROJECT OR FOR ANY PURPOSES WITHOUT THE WRITTEN PERMISSION OF STEVEN BRUH ARCHITECT.

NEW RESIDENCE FOR:
RBG LLC.
403 SOUTH M ST
LAKE WORTH, FLORIDA

STEVEN J. BRUH
ARCHITECT LEED AP
AR008678



STEVEN BRUH ARCHITECT
CONSTRUCTION COORDINATION
ARCHITECTURE & DESIGN



DRAWN
SJB, KC

DATE
NOVEMBER 15, 2018

SCALE
AS SHOWN
SHEET

S-2
FRAMING PLAN
OF 7 SHEETS

OFFICE @ 9100 BELVEDERE RD, STE. 105 RPB,
6169 EATON STREET W. P. B. FLORIDA 33411
steven bruh - 561-252-6777 email: sbruh@bruhdesign.com

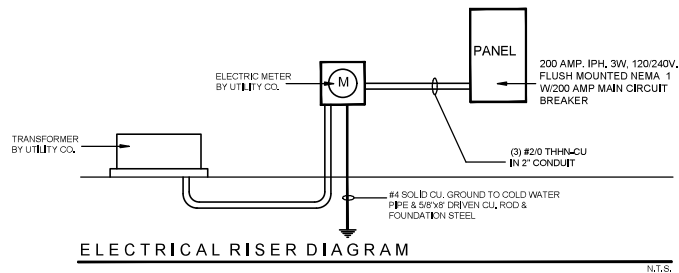
GENERAL ELECTRICAL NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH BOTH LOCAL AND 2014 NATIONAL ELECTRICAL CODES.
2. ELECTRICAL CONTRACTOR SHALL VERIFY ELECTRICAL PLAN, RISER DIAGRAM, AND LOADS, AND NOTIFY THE GENERAL CONTRACTOR OF ANY ERRORS OR DISCREPANCIES PRIOR TO INSTALLATION.
3. ALL EQUIPMENT INSTALLED OUTSIDE OR EXPOSED TO WEATHER SHALL BE NEMA TYPE 3R.
4. MINIMUM WIRE SIZE SHALL BE #14 COPPER.
5. ALL CONDUCTORS ARE TO BE COPPER, TYPE THHN, UNLESS OTHERWISE NOTED.
6. CONNECT GROUNDING ELECTRODE CONDUCTOR TO GROUND ROD AND NEAREST COPPER WATER LINE (COLD).
7. ALL 120V, 1 PHASE 15A, AND 20A, BATHROOM, AND EXTERIOR RECEPTACLES, SHALL HAVE GROUND FAULT INTERRUPTER (GFI) PROTECTION WITH EXTERIOR RECEPTACLES OF THE WATERPROOF TYPE. ELECTRICAL CONTRACTOR MAY INSTALL INDIVIDUAL (GFI) IN LIEU OF (GFI) BREAKER WITH SEPARATE CIRCUIT.
8. SWITCHES SHALL BE OF STANDARD GRADE OF SILENT TYPE.
9. RECEPTACLES SHALL BE 15A, AND 120V, OF THE GROUND TYPE.
10. THE ELECTRICAL CONTRACTOR IS TO SIZE MOST BRANCH CIRCUITS: A MAXIMUM VOLTAGE DROP OF 3% IS PERMITTED.
11. THE ELECTRICAL CONTRACTOR IS TO ARRANGE FOR TELEPHONE SERVICE AND TELEPHONE WIRING, COORDINATE WITH THE TELEPHONE COMPANY UNLESS OTHERWISE SPECIFIED.
12. BRANCH CIRCUITS SHALL BE IN THIN WALL CONDUIT OR APPROVED ROMEX.
13. LIGHTING FIXTURES SHALL BE SELECTED BY THE OWNER, 75% OF THE LAMPS SHALL BE HIGH EFFICACY TYPE.
14. SMOKE ALARMS SHALL BE DIRECT WIRE 120V, UL 217 APPROVED TYPE WITH AUDIBLE ALARM INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND LISTING.
15. CARBON MONOXIDE DETECTOR(S) TO COMPLY W/ UL2034-96.
16. ALL DEVICES SHALL BE SMOOTH TYPE, IVORY COLOR, UNLESS OTHERWISE SPECIFIED.
17. ALL MECHANICAL EQUIPMENT SHALL BE PROTECTED BY OVERCURRENT DEVICES OF TYPE AND RATING PER MANUFACTURER NAMEPLATE SPECIFICATIONS.
18. THE ELECTRICAL CONTRACTOR IS TO COORDINATE WITH OTHER TRADES TO MAKE CERTAIN THAT ALL AIR-CONDITIONING POWER AND CONTROL WIRING AND CONDUITS ARE IN THE BID.
19. EXHAUST FANS IN BATHROOMS (IF USED) SHALL BE RATED AT 1 CFM/SF OF VENTILATED FLOOR AREA.
20. ALL FAN VENTING AND ROOF PENETRATIONS SHALL BE BY MECHANICAL CONTRACTOR.
21. ELECTRICAL CONTRACTOR IS TO COORDINATE ALL SERVICE REQUIREMENTS WITH THE POWER COMPANY BEFORE BIDDING TO BE CERTAIN THAT ALL WORK NECESSARY TO MEET POWER COMPANY SPECIFICATIONS IS IN THE BID.
22. ALL RECEPTACLES SHALL BE TAMPER RESISTANT AND IN ACCORD W/ NEC 210.52 AND ARC FAULT PROTECTED IN ACCORD W/ NEC 210.12(A).
23. CEILING FANS TO BE MOUNTED PER NEC 422.19, 422.20, 422.21.
24. INSTALLATION HEIGHTS ABOVE FINISH FLOOR UNLESS OTHERWISE NOTED.
- 45" TO CENTER WALL HUNG TELEPHONE
- 12" TO CENTER TELEPHONE JACKS
- 46" TO CENTER LIGHT SWITCHES
- 18" TO CENTER RECEPTACLES
- 46" TO CENTER KITCHEN RECEPTACLES OVER VANITIES
- 42" TO CENTER BATH RECEPTACLES
- 12" TO CENTER TELEVISION JACKS

ELECTRICAL LOAD CALCULATIONS

CIRCUIT #	DESCRIPTION	CIRCUIT BKR. POLE	TRIP	WIRE	WATTS	REMARKS
1	REFRIGERATOR	1	20	#12	700	AT NAMEPLATE RATING
2	GAS RANGE	1	20	#12	700	IGNITER
3,5	SM APPLIANCES	1	20	#12	3000	GFI & AFCI
4	GAS TANKLESS WH	1	20	#12	700	IGNITER
6	GAS DRYER	1	20	#12	700	IGNITER
7,9	COND UNIT #1	2	30	#10	----	(NON-COINCIDENTAL)
10,12	A.H.U. #1	2	60	#6	10000	10 K.W. STRIP
11,13	LIGHTS / RECEP.	1	15	#14	4740	AT 3W / SF
14	BATH GFI	1	20	#12	----	----
15	DISWASHER	1	20	#12	1500	----
16	DISPOSAL	1	20	#12	800	----
17	MICRO HOOD	1	20	#12	700	AT NAMEPLATE RATING
18	WASHER	1	20	#12	1500	----
19,21	LIGHTS / RECEP.	1	15	#14	----	----
20	GAR. DR. OPENER	1	20	#12	1000	----
22	DINING	1	20	#12	1500	----
23	SMOKE DETECTOR	1	20	#12	200	----
24,26	SPARE		20	#12	----	----
25,27-30	SPACES				----	----

DEMAND FACTOR TOTAL LOAD CONNECTED	27740
A/C AT 65%	6500
1st 10000 AT 100%	10000
REMAINDER AT 40%	3066
n.e.c. 220-82 optional calc. dwelling units	19556 / 240
	81.7 A.



ELECTRICAL LEGEND

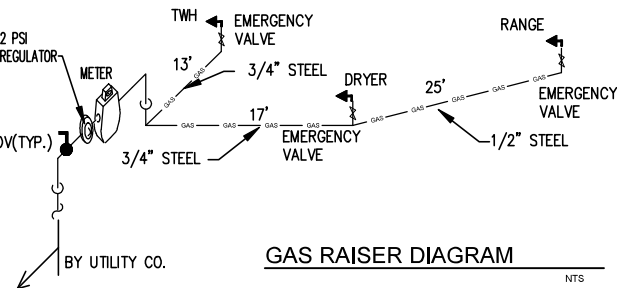
- DUPLEX CONVENIENCE OUTLET
- DUPLEX - SPLIT WIRE
- GROUND FAULT INTERRUPTER
- WEATHER PROOF GROUND FAULT INTERRUPTER
- SINGLE CONVENIENCE OUTLET
- 230 VOLT OUTLET
- SPECIAL PURPOSE OUTLET (120V OR 240V)
- FLOOR OUTLET 120V
- SMOKE ALARM - DIRECT WIRE
- CO2 SMOKE ALARM - DIRECT WIRE
- TELEPHONE OUTLET
- FLUORESCENT FIXTURE
- DOORBELL CHIMES
- A/C DISCONNECT
- CABLE TV OUTLET
- SWITCH
- 3 WAY SWITCH
- 4 WAY SWITCH
- CEILING LIGHT OUTLET
- PENDANT LIGHT OUTLET
- WALL MOUNT LIGHT OUTLET
- ATTIC LIGHT WITH PULL CHAIN
- RECESSED IN CEILING HIGH HAT
- VAPOR PROOF
- EXHAUST FAN
- LIGHT / EXHAUST FAN COMBO
- PUSH BUTTON SWITCH
- CEILING FAN (OUTLET ONLY)
- JUNCTION BOX
- FLOOD LIGHTS

NOTE:

ALL EXTERIOR FIXTURES SHALL BE UL RATED FOR EXTERIOR.
PROVIDE BUBBLE COVER OVER EXT. RECEPTACLES
ALL KITCHEN COUNTERTOP RECEPTACLES SHALL BE GFI PROTECTED.
PUSH BUTTON SHALL BE 8" FROM JAMB.

GAS SIZING BASED ON THE FOLLOWING:

- LOW PRESSURE SIDE (INSIDE)
1. FLORIDA BUILDING CODE- FUEL GAS = TABLE 402.4(2)
 2. PIPE MATERIAL
 3. GAS TYPE = NATURAL
 2. INLET PRESSURE = 0.5 PSI OR LESS
 3. PRESSURE DROP = 0.5 INCH WATER COLUMN
 4. SPECIFIC GRAVITY = 0.6
 5. HEATING VALUE = 1,000 BTU/CFH
 6. MAXIMUM DEVELOPED LENGTH = 30 FEET



GAS CALCULATION	
RANGE	142000 BTUH
WATER HEATER	160,000 BTUH
DRYER	22000 BTUH
TOTAL CONNECTED LOAD	324000 BTUH
LP GAS @ 11" WC @ .5" PD	
USE 3/4" SUPPLY @ 10LF	

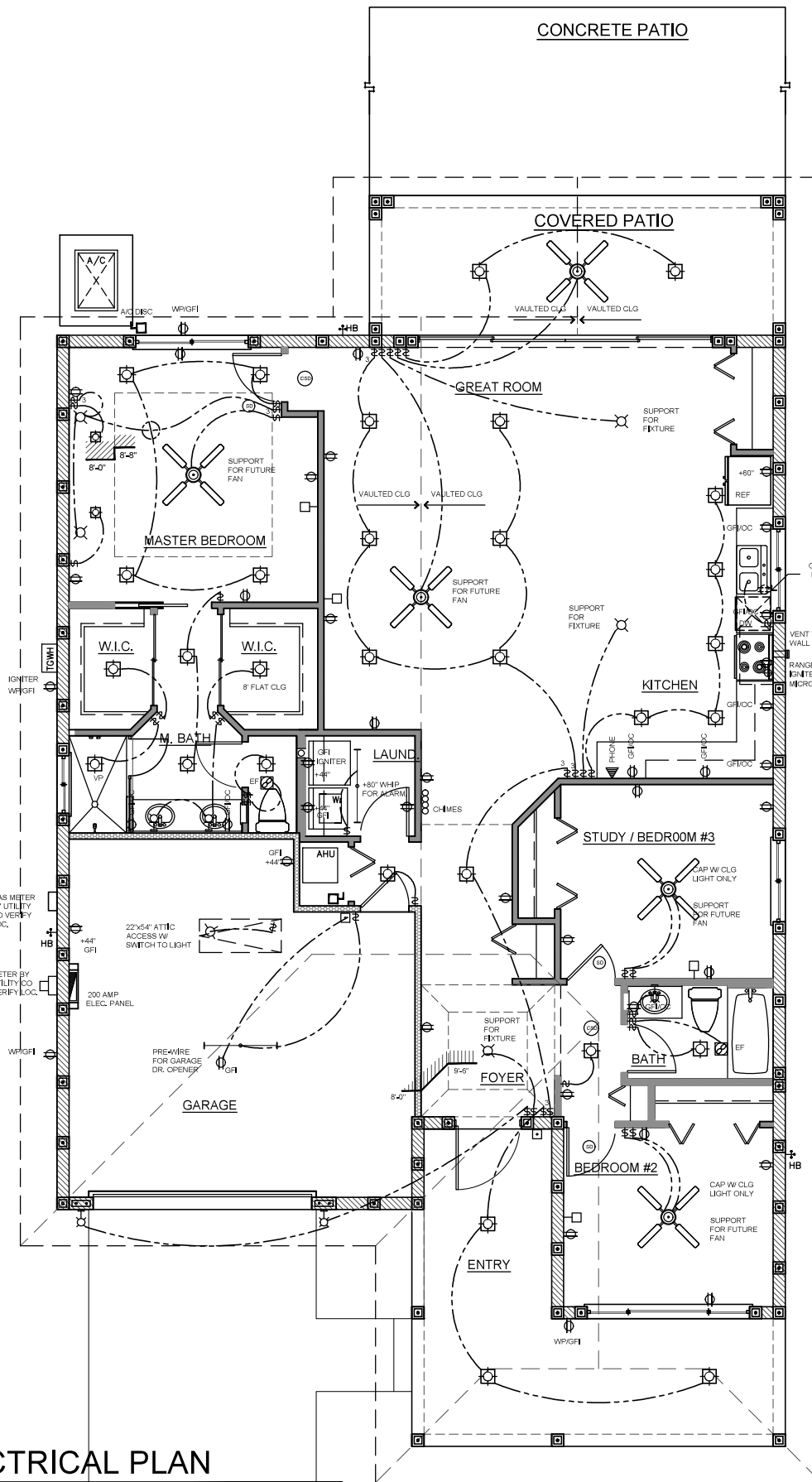
COMBUSTION AIR CALCULATION

AS PER FLORIDA GAS CODE, 304.5.2, COMBUSTION AIR REQUIREMENTS ARE:

GAS WH
INPUT CAPACITY = 50,000 BTUH
COMBUSTION AIR REQUIREMENTS USING ONE-PERMANENT-OPENING METHOD = MINIMUM FREE AREA OF 1 SQUARE INCH PER 3,000 BTUH APPLIANCE
INPUT RATING
TOTAL COMBUSTION AIR OPENING REQUIRED = 50,000 BTUH x 1 SQ.IN./3,000 = 16.67 SQ.IN.
PER FGC 304.10, METAL LOUVERS SHALL BE ASSUMED TO HAVE A FREE AREA OF 75%. THE METAL LOUVER SHALL HAVE A MINIMUM AREA OF 16.67 SQ.IN./0.75 = 22.2 SQ.IN.
PROVIDE 6"x8" METAL LOUVER IN EXTERIOR WALL OF WATER HEATER/STORAGE CLOSET MOUNTED WITH TOP OF LOUVER AT 12" BELOW TOP OF EXTERIOR WALL.

GAS SYSTEM NOTES

1. GAS PIPING SHALL BE SCHEDULE 40 GALV STEEL WITH MALLEABLE THREADED FITTINGS.
2. CONTRACTOR SHALL PAY ALL FEES AND OBTAIN ALL PERMITS REQUIRED FOR THE INSTALLATION OF GAS SERVICE TO BUILDING, SEPARATE GAS PERMIT WILL BE REQUIRED.
3. ALL NATURAL GAS LINES SHALL BE BLOWN CLEAN OF DEBRIS AND FOREIGN MATTER WITH COMPRESSED AIR PRIOR TO FINAL CONNECTION TO EQUIPMENT.
4. FROM GAS HEADER INSTALL PIPE DROP WITH A 6" LONG SEGMENT TRAP, PROVIDE GAS SHUT OFF VALVE ACCESSIBLE FOR MANUAL SHUT-OFF OF GAS TO EQUIPMENT.
5. CONTINUE GAS SERVICE AND PROVIDE CONNECTION TO MAIN GAS SERVICE LINE.
6. LOCATION OF CONNECTION, INCLUDING GAS METER, MAIN SHUT-OFF VALVE, ETC., SHALL BE COORDINATED WITH LOCAL GAS COMPANY.
7. CONTRACTOR SHALL COORDINATE ALL OWNER SUPPLIED EQUIPMENT PIPING REQUIREMENTS PRIOR TO INSTALLATION OF PIPING SYSTEMS.
8. PROVIDE PIPE HANGERS FOR ALL PIPING, HANGER RODS AND DEVICES SHALL BE USED FOR SUPPORT OF ALL PIPING, MAKESHIFT DEVICES WILL NOT BE ACCEPTABLE. PROVIDE GALVANIZED STEEL SADDLES AS REQUIRED, PIPING SUPPORT SPACING SHALL COMPLY WITH THE FLORIDA PLUMBING CODE-2010, TABLE 308.5.
9. CONTRACTOR SHALL PROVIDE NECESSARY REGULATORS FOR EACH APPLIANCE TO DROP GAS LINE PRESSURE TO APPLIANCE'S REQUIREMENTS.



ELECTRICAL PLAN

SCALE: 1/4"=1'-0"

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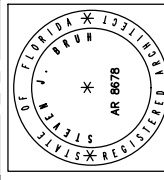
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NEW RESIDENCE FOR:
RBG LLC.
403 SOUTH M ST
LAKE WORTH, FLORIDA

STEVEN J. BRUH
ARCHITECT - LEED AP
AR008678



STEVEN BRUH ARCHITECT
CONSTRUCTION COORDINATION
ARCHITECTURE & DESIGN

OFFICE @ 9100 BELVEDERE RD, STE. 105 RPB,
6169 EATON STREET W. P. B. FLORIDA 33411
steven bruh - 561-452-4737 email: sbarcht.design@gmail.com

SBA

DRAWN
SJB, KC

DATE
NOVEMBER 15, 2018

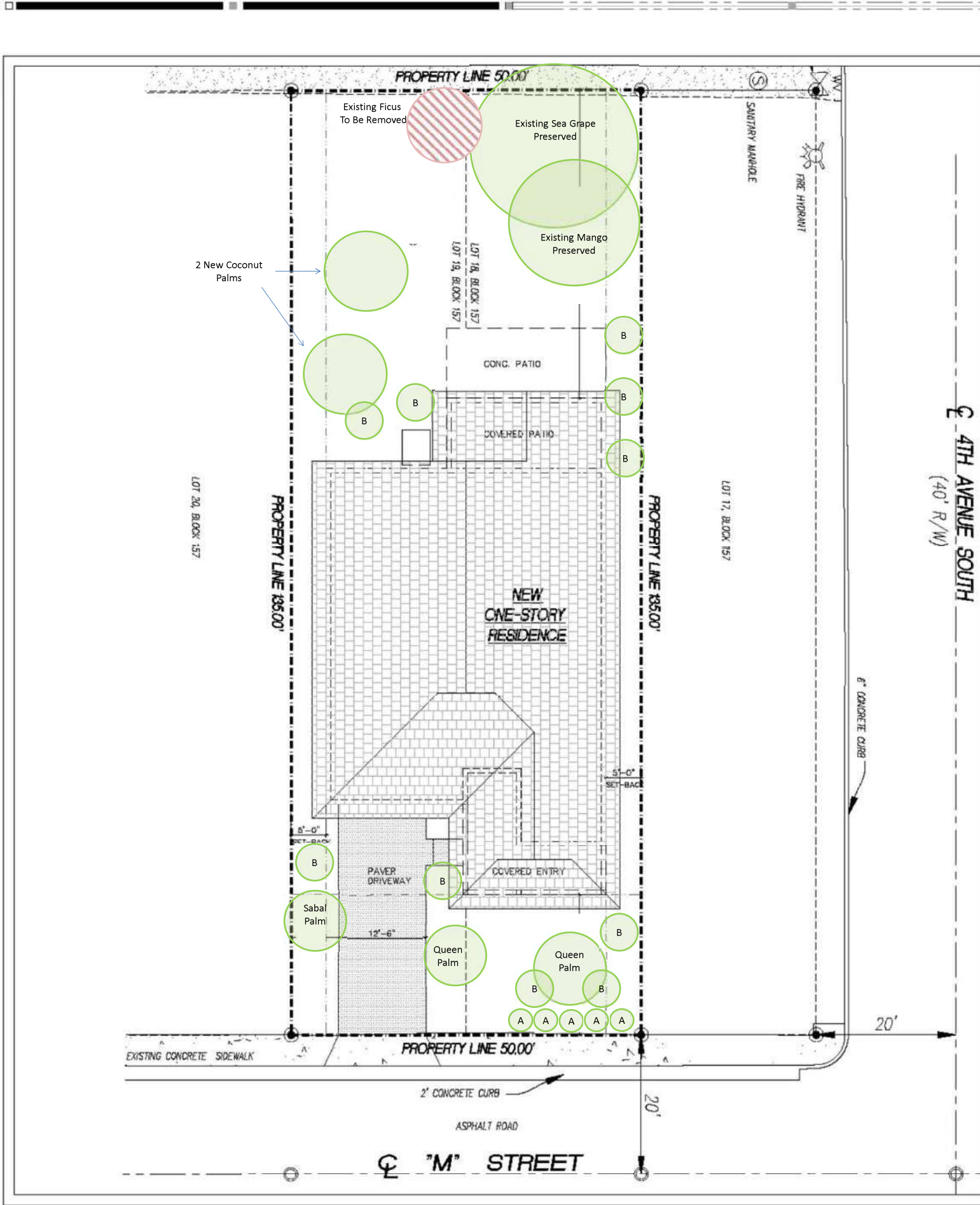
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SHEET

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ELECTRICAL PLAN

OF 7 SHEETS



NEW RESIDENCE FOR:
ROYALL BUILDING GROUP LLC
403 SOUTH M ST.
LAKE WORTH, FLORIDA



Existing Ficus to be removed



Existing Sea Grape – Preserved



Existing Mango – Preserved

403 S M St - Landscaping Data

Quantity			Points
Existing Sea Grape Tree	1	Large Shade Tree	10
Existing Mango Tree	1	Large Shade Tree	10
Coconut Palm	2	12' Minimum	20
B - Allamonda Bush	5	Shrub	20
Points in Back Yard			50
Queen Palm	2	12' Minimum	10
Sabal Palm	1	12' Minimum	10
A - Dwarf Allamonda	5	Shrub	10
B - Allamonda Bush	5	Shrub	10
Points in Front Yard			50
Total Points			100
Points Required			100
Shade Trees Required	3		
Shade Trees Provided	5		

Base of trees and shrubs to be covered with appropriate landscape mulch. All other areas not otherwise landscaped to receive Bermuda Grass. Irrigation to be provided by rain water capture cistern to be provided with building plans.

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RBG LLC.

403 SOUTH M ST

LAKE WORTH, FLORIDA

Royal Building Group, LLC

LP – 1

Landscape Plan



Entrance Door – 42"x80" Single Light Impact
Smooth Star by Therma-Tru



Windows – HR710 Aluminum Impact
Winguard by PGT



12' x 7' Garage Door – 24 Gauge Steel
Clopay Flush Panel



Flat Concrete Tile Roofing – Boral Roofing
Bermuda Style – Boca White

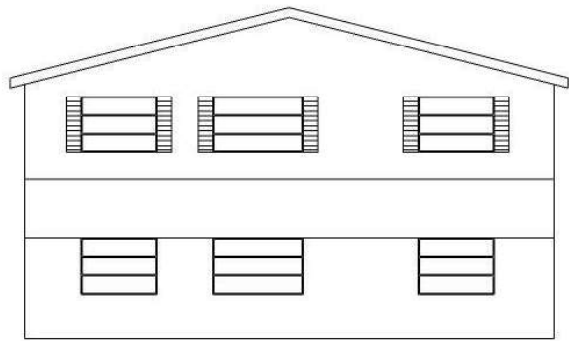
Royal Building Group, LLC

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Compatibility

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LAKE WORTH, FLORIDA

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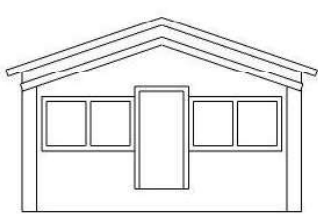
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411 S M St
Existing Multi-Family



411 S M St
Existing Multi-Family



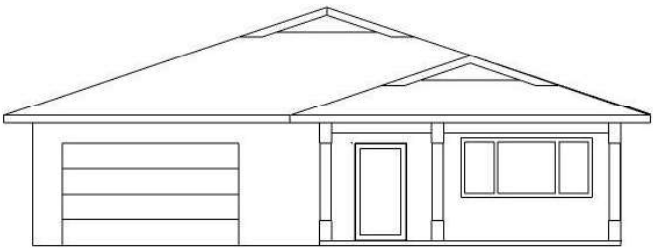
409 S M St
Existing Single Family



409 S M St
Existing Single Family



405 S M St
Existing Single Family



403 S M St - Proposed Residence



Subject Property – Property on Both Sides Currently Vacant

401 S M St – 25' Vacant Lot



520 S M St
Existing Single Family – Compatible Historic Home



310 S M St
Existing Single Family – Compatible Historic Home



503 S M St
Existing Single Family – Across Street From Proposed Home

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OF SHEETS



Isometric View including Neighboring Properties

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