

LINE	BEARING	LENGTH
L1	N29°02'10"W	10.31'
L2	N01°20'56"E	9.00'
L3	N89°34'12"W	2.50'
L4	S88°34'19"E	2.50'
L5	N01°20'56"E	9.00'
L6	S37°54'15"W	11.39'

CERTIFIED TO: OAG Investment 5 LLC, a Florida limited liability company; Marro Law, P.A.; Old Republic National Title Insurance Company
PROPERTY ADDRESS: 1715 North Dixie Hwy, Lake Worth, FL 33460
FLOOD ZONE: X (FIRM 120213-12099C05936F 10/05/2017)
DESCRIPTION:

Parcel 1: Lots 1, 2 and 3, Block "D", Lake Worth Heights, according to the Plat thereof as recorded in Plat Book 7, Page 25, Public Records of Palm Beach County, Florida.

Parcel 2: The East 110 feet of Lot 1, Block "E", Lake Worth Heights, according to the Plat thereof as recorded in Plat Book 7, Page 25, Public Records of Palm Beach County, Florida.

LESS from Parcels 1 and 2, that parcel described in the Stipulated Order of Taking in O.R. Book 9279, Page 1919, Public Records of Palm Beach County, Florida, more particularly described as follows:

A portion of Lot 1, Block E, Lake Worth Heights, as recorded in Plat Book 7, Page 25, Public Records of Palm Beach County, Florida, lying in Section 16, Township 44 South, Range 43 East, Palm Beach County, Florida, being more particularly described as follows:

Commence at the Southwest corner of said Lot 1; thence South 89°55'17" East along the Southerly boundary line of said Lot 1, a distance of 165.50 feet to the POINT OF BEGINNING; thence continue South 89°55'17" East along said Southerly boundary line, a distance of 7.00 feet to a point on the Westerly Existing Right of Way line for State Road 805 (Dixie Highway), said point being on a line 2.50 feet Westerly of and parallel with the Easterly boundary line of said Lot 1; thence North 00°00'02" West along said Westerly Existing Right of Way line and said parallel line, a distance of 9.00 feet; thence South 37°54'15" West, a distance of 11.39 feet to the POINT OF BEGINNING.

AND

A portion of Lot 1, Block D, Lake Worth Heights, as recorded in Plat Book 7, Page 25, Public Records of Palm Beach County, Florida, lying in Section 16, Township 44 South, Range 43 East, Palm Beach County, Florida, being more particularly described as follows:

Commence at the Northwest corner of said Lot 1; thence South 89°55'10" East along the Northerly boundary line of said Lot 1, a distance of 167.50 feet to the POINT OF BEGINNING; thence continue South 89°55'10" East along said Northerly boundary line, a distance of 5.00 feet to a point on the Westerly Existing Right of Way line for State Road 805 (Dixie Highway), said point being on a line 2.50 feet Westerly of and parallel with the Easterly boundary line of said Lot 1; thence South 00°00'02" East along said Westerly Existing Right of Way line and said parallel line, a distance of 9.00 feet; thence North 29°02'10" West, a distance of 10.31 feet to the POINT OF BEGINNING.

Parcel 3: The West 40 feet of Lot 1 and all of Lot 2, Block E, Lake Worth Heights, according to the plat thereof as recorded in Plat Book 7, Page 25, Public Records of Palm Beach County, Florida.

Parcel 4: Lot 3, and the East Half (E 1/2) of Lot 4, Block E, Lake Worth Heights, according to the plat thereof as recorded in Plat Book 7, Page 25, Public Records of Palm Beach County, Florida.

Parcel 5: The East 25 feet of the West 65 feet of Lot 1, Block E, Lake Worth Heights, according to the plat thereof as recorded in Plat Book 7, Page 25, Public Records of Palm Beach County, Florida.

TOTAL AREA AS DESCRIBED ABOVE = 100.791 SQUARE FEET (2.314 ACRES).

REVISIONS:

12/23/2020	ADD EASEMENT
------------	--------------

BOUNDARY AND TOPOGRAPHIC SURVEY

This survey is not valid without embossed surveyor's seal and electronic signature and is digitally signed by
Michael J Miller
 Date: 2020.12.23
 15:25:10 -0500
 inveyor, Florida Certificate No. MICHAEL J. MILLER #4034

CRD. FILE Y201078-A

LEGEND:

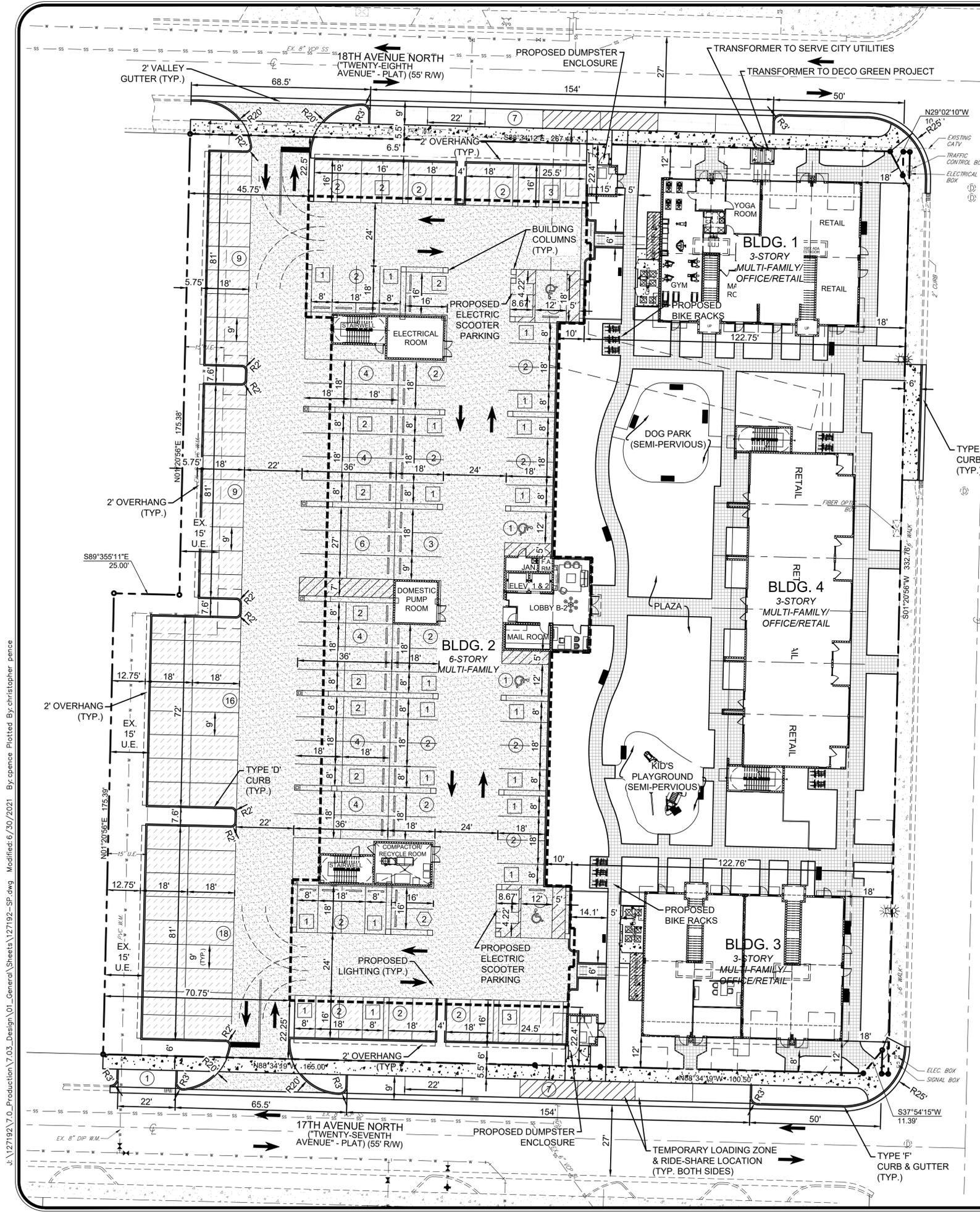
CLC = CALCULATED	(P) = PLAT	P1 = POINT OF INTERSECTION
C.B.S. = CONCRETE BLOCK STRUCTURE	R = RADIUS	P.O.C. = POINT OF COMMENCEMENT
CONC. MON. = CONCRETE MONUMENT	Δ = CENTRAL ANGLE	P.O.B. = POINT OF BEGINNING
CONC. = CONCRETE	L = ARC LENGTH	R.W. = RIGHT OF WAY
D.E. = DRAINAGE EASEMENT	C.M.B. = CURB MOUNTED BENCH	C.F. = CHAIN FENCE
U.E. = UTILITY EASEMENT	N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM	W.F. = WOOD FENCE
P.E. = POLE EASEMENT	P.B. = PLAT BOOK	M.F. = METAL FENCE
F.F.E.L. = FINISHED FLOOR ELEVATION	P.C. = POINT OF CURVATURE	C.L. = CENTERLINE
EL. = ELEVATION	P.T. = POINT OF TANGENCY	C.L. = CENTERLINE
(B.R.) = BEARING REFERENCE	P.R.C. = POINT OF REVERSE CURVATURE	C.L. = CENTERLINE
DI. = DIED	P.C.C. = POINT OF COMPOUND CURVATURE	C.L. = CENTERLINE
(M) = MEASURED		

- SURVEY NOTES:**
- Lands shown hereon were not abstracted for easements and/or rights-of-way of record by this office.
 - Elevations shown hereon are based on North Atlantic Vertical Datum of 1988 (NAVD 88).
 - Originating benchmark = Leica Global Positioning System.
 - 0.00 = existing elevation
 - All bearings and distances shown hereon are plat and measured unless otherwise noted.
 - This firm's "Certificate of Authorization" number is "LB 6838".

SCALE: 1" = 20'
 DRAWN BY: PICARD
 FIELD WK: M.M. / B.M.
 DATE: 11/16/2020

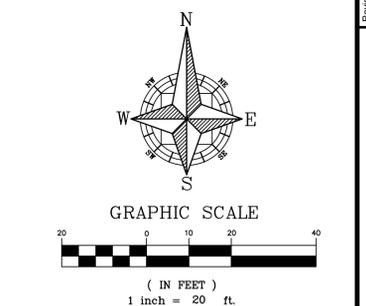
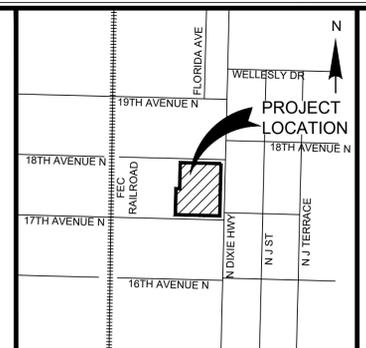
MILLER LAND SURVEYING
 1121 LAKE AVENUE
 LAKE WORTH, FLORIDA 33460
 PHONE: (561) 596-2669 - FAX: (561) 582-0151
 www.millersurveying.com
 e-mail: orders@millersurveying.com

REF: X-847
 A18088
 Y180054
 R2450
 K417
 PREV. JOB NO'S: Y101030
 Y180054
 Y180420
 JOB NO.: Y201078
 L - 1470 - C



SITE DATA

	REQUIRED	PROVIDED
EXISTING ZONING	MU-DH MIXED-USE DIXIE HIGHWAY	MU-DH MIXED-USE DIXIE HIGHWAY
PROPOSED ZONING	MU-DH MIXED-USE DIXIE HIGHWAY	MU-DH MIXED-USE DIXIE HIGHWAY
EXISTING FUTURE LAND USE	MU-E MIXED-USE EAST	MU-E MIXED-USE EAST
PROPOSED FUTURE LAND USE	MU-E MIXED-USE EAST	MU-E MIXED-USE EAST
LOT AREA	13,000 SF (0.298 AC)	100,791sf (2.314 AC)
LOT WIDTH	100'	350.76'
BUILDING HEIGHT (BUILDING 2)	45	62
BUILDING HEIGHT (BUILDINGS 1, 2 & 3)	43.5	34
NUMBER OF STORIES (BUILDING 2)	2	6
NUMBER OF STORIES (BUILDINGS 1, 3 & 4)	2	3
BUILDING SETBACKS		
FRONT	10'	18'
REAR	15'	45.75' & 70.75'
SIDE STREET (17TH AVENUE N)	10'	22'
SIDE STREET (18TH AVENUE N)	10'	22'
RESIDENTIAL DENSITY (55 UNITS PER ACRE)	127	127
BUILDING AREA (SF)		
BUILDING 2		127076
BUILDING 1		10842
BUILDING 3		10842
BUILDING 4		17754
TOTAL BUILDING AREA		137918
FLOOR AREA RATIO (FAR)	2.5575	1.652
BUILDING COVERAGE - GROUND FLOOR (SF)	45%	17%
BUILDING 2		2732
BUILDING 1		4288
BUILDING 3		4288
BUILDING 4		5610
TOTAL BUILDING COVERAGE AREA		16918
LIVING AREA		
1 Bedroom Units	600 SF	Unit A = 816 Unit Ab = 800 Unit Ac = 734 Unit Ad = 745 Unit Ae = 795 Unit B = 1160 Unit Bb = 1302 Unit D = 1310 Unit E = 947 Unit F = 830 Unit G = 803 Unit C = 1323
2 Bedroom Units	750 SF	
3 Bedroom Units	900 SF	
IMPERMEABLE SURFACE (IMPERVIOUS)	65%	64.32%
BUILDINGS		16.93%
CONCRETE PAVEMENT (PARKING)		35.95%
PERVIOUS CONCRETE PAVEMENT (@ 50%)		5.44%
HARDSCAPE COURTYARD AND WALKWAYS		4.53%
SEMI-PERVIOUS SYNTHETIC TURF AREA (Dog Park & Playground) @ 50%		1.00%
MISCELLANEOUS CONCRETE		0.47%
PERMEABLE SURFACE (PERVIOUS)	35%	35.68%
PERVIOUS CONCRETE PAVEMENT (@ 50%)		5.44%
LANDSCAPE & OPEN-SOD LAWN		24.72%
SEMI-PERVIOUS AREAS (Hardscape, Dog Park & Playground) @ 50%		5.53%
PARKING REQUIREMENTS		
MB-1BR = 71 UNITS @ 1.5 PER UNIT	106	See below.
MF-2BR = 48 UNITS @ 1.75 PER UNIT	84	See below.
MF-3BR = 8 UNITS @ 2.0 PER UNIT	16	See below.
REGULAR RETAIL = 6896 SF @ 1 PER 500 SF	14	See below.
OFFICE = 1912 SF @ 1 PER 400 SF	5	See below.
GROSS PARKING REQUIRED	225	See below.
REQUIRED PARKING WITH SHARED PARKING CREDIT OF 25%	169	181
Off-street (on-site) Regular Parking Spaces	115	
Off-street (on-site) Compact Parking Spaces @ 25% of Required Parking	43	
Off-street (on-site) Handicap Parking Spaces	4	
Side-street Parallel Parking Spaces	11	
Bonus Parking = Bike Racks = 10 sets of 2 = 20 @ 1 space per 4	5	
Bonus Parking = Scooter Parking = 6 scooter spaces @ 1 space per 2	3	
Electric Charging Spaces (4%)	7	4 now and 3 future



LEGEND

- CONCRETE PARKING AREA
- PERVIOUS CONCRETE PARKING AREA
- CONCRETE
- PERVIOUS PAVERS
- COMPACT PARKING SPACES
- STANDARD PARKING SPACES
- ELECTRIC VEHICLE CHARGING SPACES (COMPACT)

PARKING REQUIREMENTS

MB-1BR = 71 UNITS @ 1.5 PER UNIT	106	See below.
MF-2BR = 48 UNITS @ 1.75 PER UNIT	84	See below.
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IBI GROUP (FLORIDA) INC
1100 Park Central Boulevard South - Suite 3500
Pompano Beach FL 33064 USA
tel 954-974-2200 fax 954-973-2686
ibigroup.com

IBI

ENGINEER'S CERT. OF AUTH. #2966

DECO GREEN
LAKE WORTH, FLORIDA

PRELIMINARY SITE PLAN

PATRICIA RAMUDOS, PE
35798
Date: 2021.07.01
13:02:18
-04'00"

Digitally signed by PATRICIA RAMUDOS, PE
35798
Date: 2021.07.01
13:02:18
-04'00"

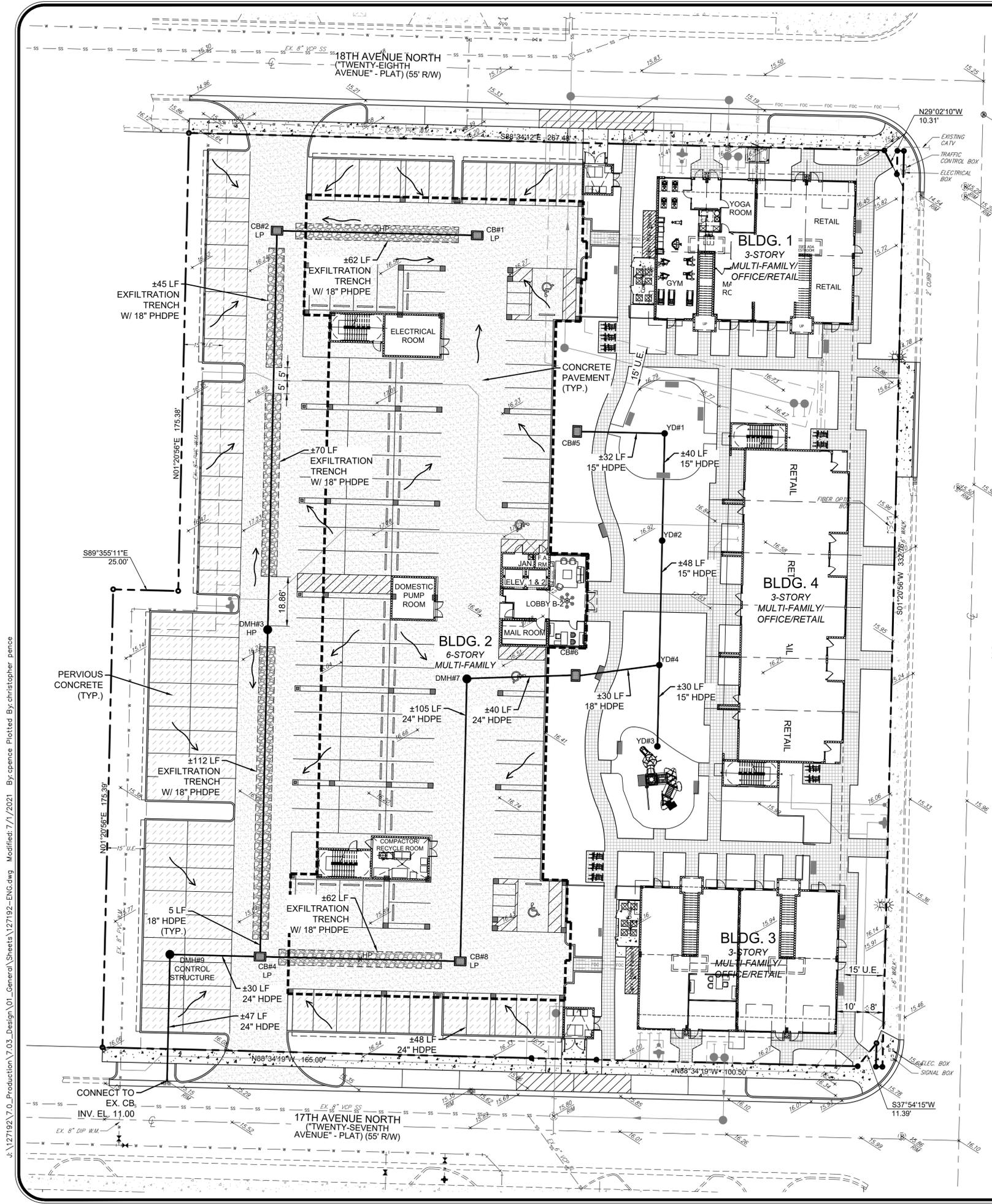
DRAWN: CMP
DESIGNED: PFR
CHECKED: PFR
DATE: 07/02/2021

SCALE: 1" = 20'
PROJECT: 127192
SHEET: SP1.0

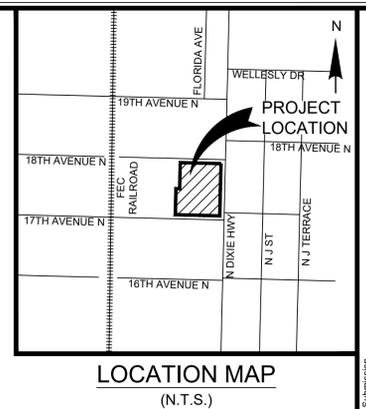
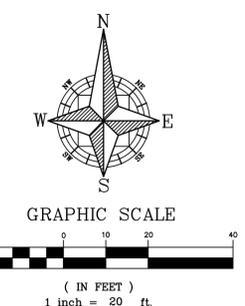
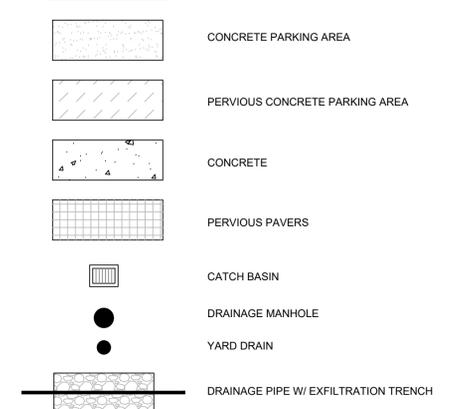
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SUNSHINE STATE ONE CALL CENTER

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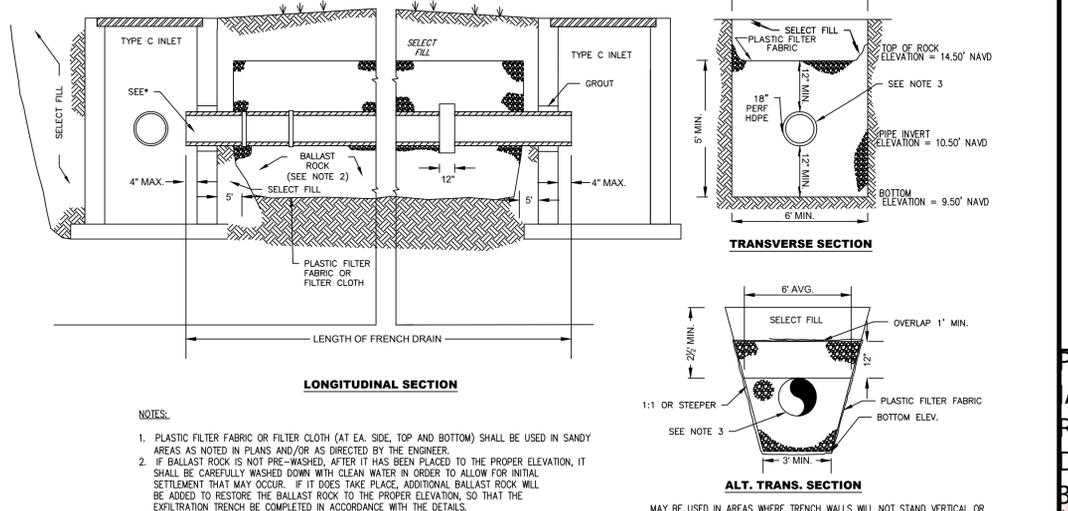


LEGEND



PAVING AND DRAINAGE SPECIFICATIONS

- ELEVATIONS SHOWN HEREON ARE BASED ON THE 1988 NATIONAL AMERICAN VERTICAL DATUM.
- ALL MUCK/ORGANIC MATERIALS ARE TO BE REMOVED PER PALM BEACH COUNTY ENGINEERING DIVISION.
- PRIME COAT AND TACK COAT FOR BASE COURSES SHALL CONFORM TO THE REQUIREMENTS OF PALM BEACH COUNTY/FDOT ENGINEERING DIVISION. PRIME COAT SHALL BE APPLIED AT A RATE OF 0.25 GALLONS PER SQUARE YARD.
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED.
- ALL LABOR, MATERIALS, AND METHODS OF CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY OF POMPAÑO BEACH AND PALM BEACH COUNTY ENGINEERING DIVISION.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES, THE CITY OF LAKE WORTH BEACH ENGINEERING DEPARTMENT 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROTECT ALL UTILITIES AND SHALL BE RESPONSIBLE FOR ALL DAMAGES CAUSED DURING CONSTRUCTION AND SHALL REPAIR SAID DAMAGES AT HIS EXPENSE.
- SHOP DRAWINGS OF ALL MATERIALS BEING USED SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO ORDERING MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REVISED OR UNACCEPTABLE MATERIALS INSTALLED OR ORDERED WITHOUT AN APPROVED SHOP DRAWING.
- ALL DRAINAGE PIPE IN AND PARALLEL TO THE ROADWAY SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76. (UNLESS OTHERWISE NOTED ON THE PLANS).
- PVC PIPE SHALL BE NON-PRESSURE PIPE CONFORMING TO ASTM D-3034 SDR 35.
- RESTORE ALL SIDEWALK, PAVEMENT, CURB, SODDING, SIGNAGE, PAVEMENT MARKINGS, ETC. DAMAGED DURING CONSTRUCTION TO ITS ORIGINAL CONDITION.
- ANY EXISTING, UNUTILIZED WATER, SEWER OR GAS SERVICES MUST BE CUT AND CAPPED OR SLEEVED IN PLACE AT ITS RESPECTIVE MAIN.
- ANY CONFLICT WITH EXISTING OR PROPOSED UTILITIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- AT THE END OF EACH WORK PERIOD, ANY DROP-OFF IN THE AREA ADJACENT TO THE TRAVEL WAY SHALL BE BACKFILLED IN ACCORDANCE WITH STANDARD INDEX 600 OR SHALL BE OTHERWISE PROTECTED WITH A TEMPORARY BARRIER WALL AT THE CONTRACTOR'S EXPENSE.
- THE APPLICANT AT THE EARLIEST CONVENIENT TIME SHALL NOTIFY IN WRITING ALL RIGHT-OF-WAY USERS AFFECTED BY THE CONSTRUCTION OF THIS PROJECT.
- LIMEROCK BASE SHALL BE A MINIMUM OF 8" AND COMPACTED IN 4" LIFTS TO 98% MAXIMUM DENSITY ACCORDING TO AASHTO-T180. CONSTRUCTION TO CONFORM TO SECTION 200. BASE TO BE PRIMED AFTER COMPACTION.
- STABILIZED SUBGRADE - MINIMUM 12" THICK AND COMPACTED TO 98% MAXIMUM DENSITY ACCORDING TO AASHTO-180. MATERIAL TO HAVE MINIMUM L.B.R OF 40 AND CONFORM TO SECTION 160.
- ALL CURB CUT RAMPS MUST FACE IN THE DIRECTION OF PEDESTRIAN TRAVEL.
- FLAGGERS MUST BE PRESENT DURING THE INGRESS AND EGRESS OF CONSTRUCTION VEHICLES TO AND FROM THE PROJECT SITE. WARNING SIGNS MUST BE ERECTED ADVISING MOTORISTS OF TRUCKS ENTERING THE HIGHWAY.
- BASE AND SUB-GRADE DENSITY TESTS SHALL BE CONDUCTED FOR A MAXIMUM 7000 SQUARE FEET OF FINISHED PAVEMENT OR AS DIRECTED BY ENGINEER OR CITY.
- LABORATORY PROCTOR COMPACTION TESTS (T-180) SHALL BE PERFORMED ON ALL MATERIAL. SUB-GRADE AND BASE ANY SUBSEQUENT CHANGES IN MATERIALS. LIMEROCK BEARING RATIOS, SIEVE ANALYSIS AND DENSITIES REQUIRED BY THE CONTRACT DOCUMENTS SHALL BE SUBMITTED BY THE CITY.
- ALL REPAIRS TO EXISTING PAVEMENT SHALL RECEIVE SAW-CUT EDGES PRIOR TO RELAYING ASPHALT. UTILITY PIPING OR WIRING LESS THAN FOUR (4) INCHES IN DIAMETER REQUIRES A SCHEDULE 40 PVC CASING PIPE WITH SAND BACKFILLS UNDER PAVED AREAS ONLY.
- ALL CONTROL STRUCTURES SHALL HAVE POLLUTION RETARDANT BAFFLE AT THE DISCHARGE PIPE OPENING.



- NOTES:**
- PLASTIC FILTER FABRIC OR FILTER CLOTH (AT EA. SIDE, TOP AND BOTTOM) SHALL BE USED IN SANDY AREAS AS NOTED IN PLANS AND/OR AS DIRECTED BY THE ENGINEER.
 - IF BALLAST ROCK IS NOT PRE-WASHED, AFTER IT HAS BEEN PLACED TO THE PROPER ELEVATION, IT SHALL BE CAREFULLY WASHED DOWN WITH CLEAN WATER IN ORDER TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR. IF IT DOES TAKE PLACE, ADDITIONAL BALLAST ROCK WILL BE ADDED TO RESTORE THE BALLAST ROCK TO THE PROPER ELEVATION, SO THAT THE EXFILTRATION TRENCH BE COMPLETED IN ACCORDANCE WITH THE DETAILS.
 - INVERT ELEVATION TO BE AS SHOWN IN PLANS.

MAY BE USED IN AREAS WHERE TRENCH WALLS WILL NOT STAND VERTICAL OR WHERE CAVE IN BELOW THE WATER TABLE IS LIKELY TO OCCUR. TO BE USED AT THE ENGINEER'S DISCRETION.

EXFILTRATION TRENCH DETAIL

48 HOURS BEFORE DIGGING

CALL TOLL FREE
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SUNSHINE STATE ONE CALL CENTER

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1100 Park Central Boulevard South - Suite 3500
Pompano Beach FL 33064 USA
tel 954-974-2200 fax 954-973-2686
ibigroup.com

DECO GREEN
LAKE WORTH, FLORIDA

PRELIMINARY PAVING, GRADING AND DRAINAGE PLAN

PATRICIA RAMUCCI, PE
Digitally signed by Patricia Ramucci, PE
Date: 2021.07.01 12:51:41 -0400

DRAWN: CMP	SCALE: 1" = 20'
DESIGNED: PFR	PROJECT: 127192
CHECKED: PFR	SHEET: C3.0
DATE: 07/02/2021	

I:\27192\7.0_Production\7.03_Design\01_General\Sheets\127192-ENG.dwg Modified: 7/1/2021 By: cence Plotted By: christopher_pence

Rev	Date	Description
1		
2		
3		
4	07/02/21	City Commissioners Comments
5		
6		

Sheet Title:
**ILLUSTRATIVE
LANDSCAPE
SITE PLAN**

Project Name:
DECO GREEN
1715 North Dixie Highway,
Lake Worth, FL 33460

Andres E Montero
2021.07.02
00:57:50 - 04'00'

Date: January 14, 2021
Scale: 1" = 20'
Drawn By: AEM/GMP
Approved By: AEM
Project No: 1.20011

Sheet Number:
L-00

- LEGEND:**
1. Building #1 - 3 Story
Retail/Office/Gym/Residential
 2. Building #2 - 6 Story
Parking/Residential
 3. Building #3 - 3 Story
Community room/Office/Retail/Residential
 4. Building #4 - 3 Story
Office/Retail/Residential
 5. Courtyard
 6. Playground
 7. Dog Park
 8. Bicycle Rack
 9. Security Fence
 10. Dumpster (Buildings #1, #3 & #4)
 11. Parking - Pervious Concrete
 12. Transformers
 13. Parallel Parking
 14. Loading Zone
 15. Pergola Over Parking

- LARGE SHADE TREE
- MEDIUM SHADE TREE
- ORNAMENTAL TREE
- LARGE PALM
- SMALL PALM
- SCREENING HEDGE
- SHRUBS & GROUNDCOVERS
- SOD



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Know what's below.
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SITE PLAN APPROVAL SET - NOT FOR CONSTRUCTION



NORTH DIXIE HIGHWAY
(A.K.A. STATE ROAD 805)
("DIXIE HIGHWAY" - PLAT)
(60' R/W)



LANDSCAPE ARCHITECTURE
 LAND PLANNING
 URBAN DESIGN
 2208 NE 28TH STREET #1
 FORT LAUDERDALE, FLORIDA 33305 USA
 www.andresmontero.com
 LC2600088

Rev	Date	Description	By
1	04/09/21	Site Plan Review Comments from 03/19/2021	AEM/GMP
2			
3	07/02/21	City Commissioners Comments	AEM/GMP
4			
5			
6			

Sheet Title:
SITE LAYOUT PLAN

Project Name:
DECO GREEN
 1715 North Dixie Highway,
 Lake Worth, FL 33460

Andres E Montero
 2021.07.02
 00:58:42 - 04'00"

Date: January 14, 2021
 Scale: 1" = 20'
 Drawn By: AEM/GMP
 Approved By: AEM
 Project No: 1.20011

Sheet Number:
L-01

LEGEND

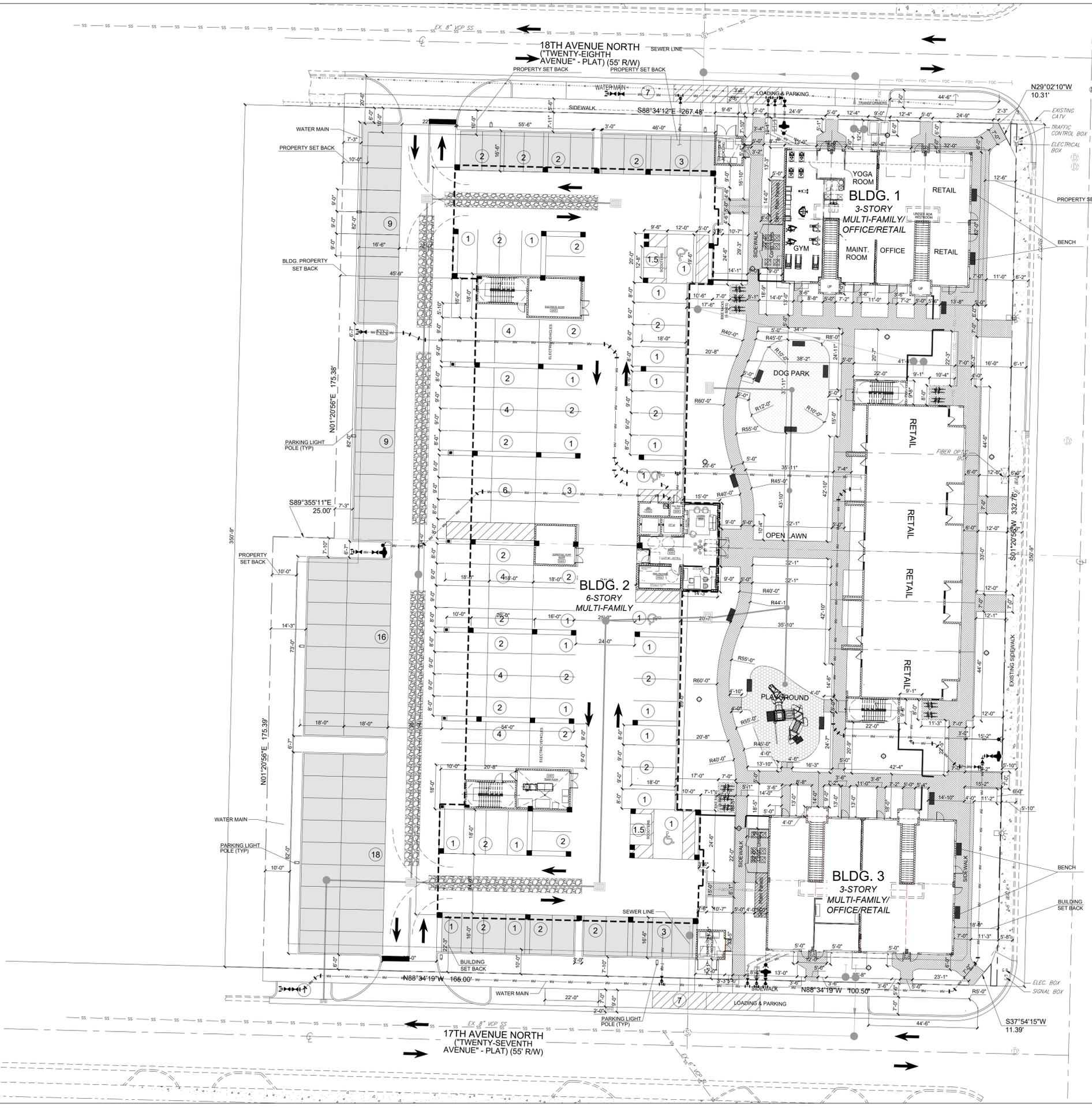
- PERVIOUS CONCRETE
- PERVIOUS CONCRETE PAVERS
- DOG PARK
- PLAYGROUND

GRAPHIC SCALE
 NORTH 0' 20' 40' 60'

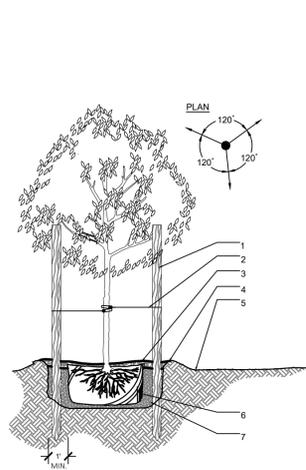
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811

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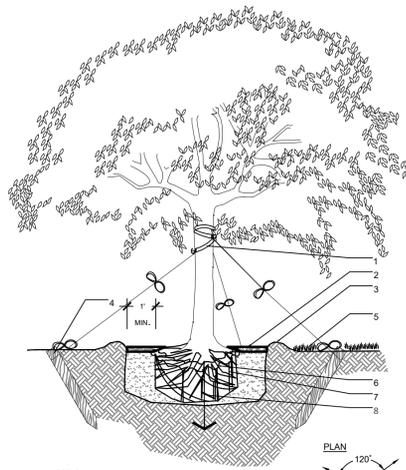


SITE PLAN APPROVAL SET - NOT FOR CONSTRUCTION



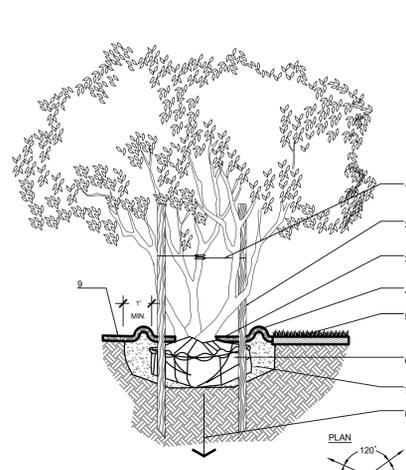
- LEGEND**
- THREE 2"x4" STAKES SPACE EVENLY AROUND TREE
 - PAINTED BROWN
 - #10 GALIAGE WIRE
 - 3" MINIMUM OF MULCH AS SPECIFIED
 - SOIL BERM TO HOLD WATER
 - FINISHED GRADE (SEE GRADING PLAN)
 - B&B OR CONTAINERIZED (SEE SPECIFICATIONS FOR ROOT BALL REQUIREMENTS)
 - PLANTING PIT SHALL BE A MINIMUM OF 2 TIMES SIZE OF ROOTBALL. PREPARED PLANTING SOIL AS SPECIFIED.
- NOTE**
- CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY L.A.
 - PROTECT TREE TRUNK WITH BLACK RUBBER HOSE

1 SMALL TREE SECTION D_XXXX-01.DWG SCALE: N.T.S.



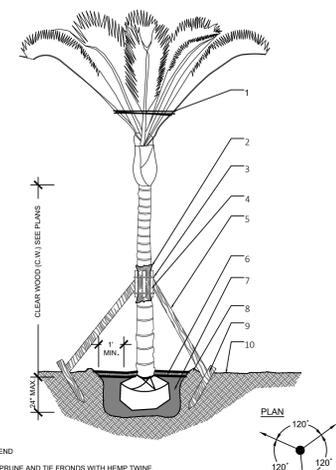
- LEGEND**
- 2" NYLON STRAPPING W/ RUBBER HOSE-WRAPPED 360 AROUND TRUNK BEFORE TYING-WRAP @ LATERAL BRANCH
 - 3" MULCH AS SPECIFIED MIN. 24" FROM TRUNK
 - SOIL BERM TO HOLD WATER
 - 3" MIN. MULCH (SEE SPECIFICATIONS FOR GRADING PLAN)
 - FINISHED GRADE - SOID CONDITION (SEE GRADING PLAN)
 - B&B OR CONTAINERIZED (SEE SPECIFICATIONS FOR ROOT BALL REQUIREMENTS)
 - PLANTING PIT SHALL BE A MINIMUM OF 2 TIMES SIZE OF ROOTBALL. PREPARED PLANTING SOIL AS SPECIFIED.
 - AUGER PER SPECS FOR PERCOLATION
- NOTE**
- CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

2 LARGE TREE SECTION D_XXXX-02.DWG SCALE: N.T.S.



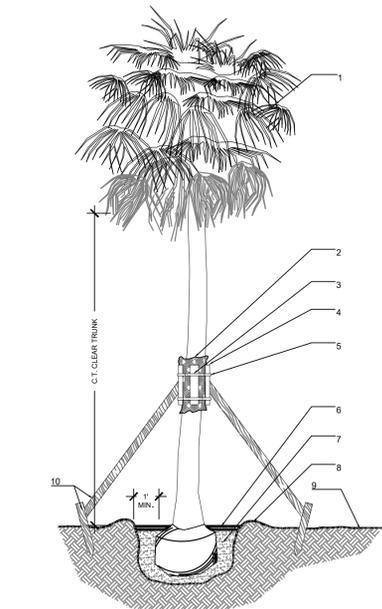
- LEGEND**
- 2" NYLON STRAPPING
 - THREE-2"x2" STAKES
 - 3" MULCH AS SPECIFIED
 - SOIL BERM TO HOLD WATER
 - FINISHED GRADE - SOID CONDITION (SEE GRADING PLAN)
 - B&B OR CONTAINERIZED (SEE SPECIFICATIONS FOR ROOT BALL REQUIREMENTS)
 - PLANTING PIT SHALL BE A MINIMUM OF 2 TIMES SIZE OF ROOTBALL. PREPARED PLANTING SOIL AS SPECIFIED
 - AUGER PER SPECS FOR PERCOLATION
 - MULCH CONTIGUES - SHRUB BED CONDITION
- NOTE**
- FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY THE L.A.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

3 MULTI-TRUNK TREE SECTION D_XXXX-03.DWG SCALE: N.T.S.



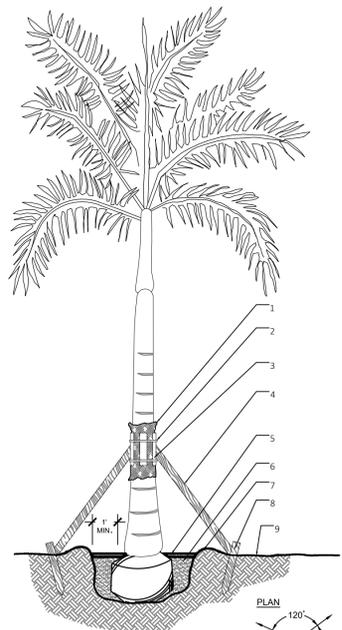
- LEGEND**
- PRUNE AND TIE FRONDS WITH HEMP TWINE
 - TWO LAYERS OF BURLAP TO PROTECT TRUNK
 - TWO STEEL BANDS TO SECURE BATTONS
 - THREE 2" X 4" WOOD BATTONS
 - 3/2" X 4" LUMBER POLE BRACES, NAIL, DRILL AND NAIL IF NECESSARY TO BATTONS & 2" X 4" STAKES. FLAG AT MIDPOINT
 - 3" MIN. MULCH - SEE SPECIFICATIONS
 - PLANTING PIT SHALL BE A MINIMUM OF 2 TIMES SIZE OF ROOTBALL. PREPARED PLANTING SOIL AS SPECIFIED
 - B&B OR CONTAINERIZED (SEE SPECIFICATIONS FOR ROOT BALL REQUIREMENTS)
 - SOIL BERM TO HOLD WATER
 - FINISHED GRADE
- NOTE**
- FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY LANDSCAPE ARCHITECT
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

4 SMALL PALM SECTION D_XXXX-07.DWG SCALE: N.T.S.



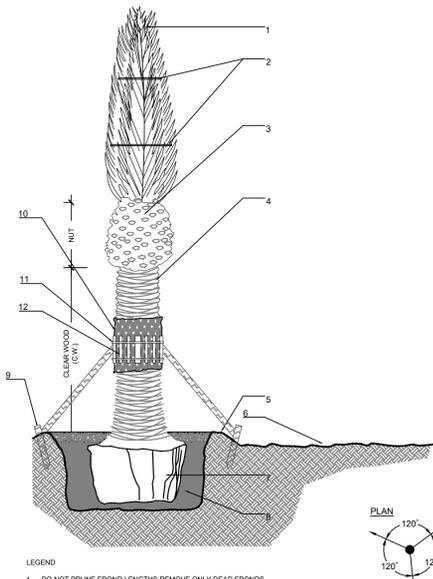
- LEGEND**
- PRUNE AND TIE FRONDS WITH HEMP TWINE. (WASHINGTONIA PALMS REMOVE PER SPECS. HURRICANE CUT SABAL PALM)
 - TWO LAYERS OF BURLAP TO PROTECT TRUNK
 - TWO STEEL BANDS TO SECURE BATTONS
 - 3/2" X 4" LUMBER POLE BRACES @ 120° NAIL, DRILL AND NAIL IF NECESSARY TO BATTONS & 2" X 4" STAKES. FLAG AT MIDPOINT.
 - 3" MIN. MULCH (SEE SPECIFICATIONS)
 - PLANTING PIT SHALL BE A MINIMUM OF 2 TIMES SIZE OF ROOTBALL. PREPARED PLANTING SOIL AS SPECIFIED
 - SOIL BERM TO HOLD WATER
 - FINISHED GRADE
 - 2" X 4" WOOD STAKES
 10. 2" X 4" WOOD STAKES
- NOTES**
- SABAL PALMS W/ BOOTS REMOVED
 - SEE PLANS AND SPECS. FOR PALMS W/ BOOTS TO REMAIN ON TRUNK
 - FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY L.A.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

5 SABAL PALM SECTION D_XXX-14.DWG SCALE: N.T.S.



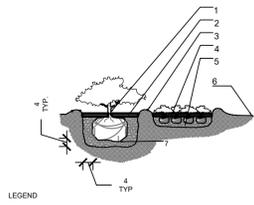
- LEGEND**
- TWO LAYERS OF BURLAP TO PROTECT TRUNK
 - TWO STEEL BANDS TO SECURE BATTONS
 - THREE 2" X 4" X 18" WOOD BATTONS
 - 3/2" X 4" LUMBER POLE BRACES, NAIL, DRILL AND NAIL IF NECESSARY TO BATTONS & 2" X 4" STAKES. FLAG AT MIDPOINT.
 - 3" MIN. MULCH (SEE SPECIFICATIONS)
 - PLANTING PIT SHALL BE A MINIMUM OF 2 TIMES SIZE OF ROOTBALL. PREPARED PLANTING SOIL AS SPECIFIED
 - PALMS SHALL BE PLANTED WITH THE TOP OF ROOTBALL AT FINISHED GRADE
 - BERM SOIL TO HOLD WATER
 - 2" X 4" X 3" WOOD STAKES
 - FINISH GRADE
- NOTE**
- CONTRACTOR TO ASSURE DRAINAGE/PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.
 - CONTRACTOR TO STAKE LOCATION OF PALMS FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.
 - STAKE PALMS (B+C/W) PER STAKING DETAIL.

6 ROYAL PALM SECTION D_XXXX-6.DWG SCALE: N.T.S.



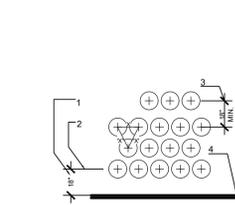
- LEGEND**
- DO NOT PRUNE FROND LENGTHS REMOVE ONLY DEAD FRONDS
 - TIE FRONDS WITH HEMP TWINE DO NOT CUT HEAD OPEN WITHOUT LANDSCAPE ARCHITECT APPROVAL
 - SPRAY BUD WITH APPROVED PRODUCTS PER SCHEDULE (SEE APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTIONS" FLEXIBLE BARRIERS SHALL BE 36" PANELS MANUFACTURED BY BIOBARRIER
 - ALL ROOT BARRIERS SHALL BE 4" MINIMUM FROM ALL CITY FACILITIES.
 - THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH CITY AND INSPECTED BY CITY PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
 - ROOT BARRIERS SHALL BE MINIMUM 36" DEEP.
 - APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTIONS" FLEXIBLE BARRIERS SHALL BE 36" PANELS MANUFACTURED BY BIOBARRIER.
 - ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.
- NOTE**
- CONTRACTOR TO ASSURE DRAINAGE/PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.
 - CONTRACTOR TO STAKE LOCATION OF PALMS FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.
 - STAKE PALMS (B+C/W) PER STAKING DETAIL.

7 DATE PALM SECTION C 7.DWG SCALE: N.T.S.



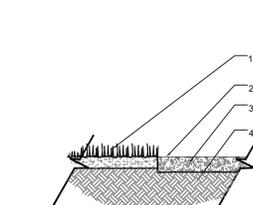
- LEGEND**
- PLANT MATERIAL SHALL BE PLANTED 2" HIGH WITH SOIL MOUNDING UP TO THE TOP OF ROOT BALL
 - 3" MINIMUM OF MULCH
 - SOIL BERM TO HOLD WATER
 - MINIMUM DEPTH OF 12" PLANTING SOIL FOR GROUNDCOVER BED
 - FINISHED GRADE (SEE GRADING PLAN)
 - PREPARED PLANTING SOIL AS SPECIFIED
- NOTE**
- WHEN GROUNDCOVERS AND SHRUBS USED IN MASSES, ENTIRE BED TO BE EXCAVATED TO RECEIVE PLANTING SOIL & PLANT MATERIAL, UNLESS NOTED OTHERWISE
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION

8 SHRUBS AND GROUNDCOVERS SECTION D_XXXX-8.DWG SCALE: N.T.S.



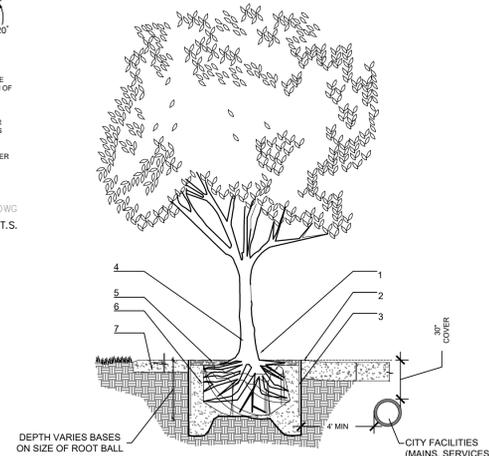
- LEGEND**
- SETBACK FOR SHRUBS PLANTED 24" O.C. OR GREATER
 - SETBACK FOR GROUNDCOVER AND ANNUALS
 - PROVIDE MIN. 18" SPACING BETWEEN DIFFERENT PLANT TYPES
 - CURB OR EDGE OF PAVEMENT
- NOTE**
- ALL SHRUBS AND GROUNDCOVER MASSES TO USE TRIANGULAR SPACING EXCEPT WHERE NOTED REFER TO PLANT LIST FOR INDIVIDUAL PLANT SPACING "X"

9 TYPICAL PLANT SPACING SECTION D_XXXX-9.DWG SCALE: N.T.S.



- LEGEND**
- SOD (PROVIDE CLEAN, SMOOTH EDGE BETWEEN SOD AND MULCHED AREAS)
 - 2" MULCH (SEE SPECIFICATIONS)
 - COMPLETELY REMOVE EXISTING SOD AS REQUIRED PRIOR TO PLACING MULCH
 - PLANTING SOIL (FINE RAKED AND FREE OF WEEDS AND OTHER DELETERIOUS MATERIALS. SEE SPECIFICATIONS)
- NOTE**
- ALL MULCH SHALL BE FREE OF FIRE ANTS AND DEBRIS

10 MULCH SECTION D_XXXX-10.DWG SCALE: N.T.S.



- LEGEND**
- SET ROOT-TRUNK COLLAR FLUSH 1" ABOVE FINISHED GRADE.
 - SIDEWALK OR PAVERS
 - 18" ROOT BARRIER. EXTEND A MINIMUM 6" IN BOTH DIRECTION FROM THE CENTERLINE OF THE TREES
 - CENTER TREE IN PLANTER OPENING.
 - MULCH
 - BACKFILL WITH TOPSOIL OR AMENDED TOPSOIL.
 - CONCRETE SIDEWALK
- NOTE**
- DEPTH VARIES BASES ON SIZE OF ROOT BALL
 - CITY FACILITIES (MANS, SERVICES, ETC.)

11 ROOT BARRIER INSTALLATION SECTION d-2011-Root barrier.dwg SCALE: N.T.S.

General Notes:

- All plants noted for removal shall be removed and properly disposed off-site at Landscape Contractor's expense unless otherwise noted. Any and all the trees/palms to be removed shall require proper permitting and documentation of size, specie and condition.
- Before construction begins, the Landscape Contractor is responsible for locating all underground utilities and most avoid damaging any services during construction. If any damage occurs by fault of the Contractor, the necessary repairs must take place at the Landscape Contractor's expense and under the supervision of the Owner's representative.
- All proposed trees and plant materials shall be graded as Nursery Grade Florida No. 1 or better as outlined by the Florida Department of Agriculture and Consumer Services, Division of Plant Industry "Grades and standards for Nursery Plants", most current edition. All planting shall be done in accordance with the Florida Nurserymen's and Grower's Association approved practices.
- In addition to these requirements the Landscape Contractor shall comply with all local landscape codes and requirements as part of this base bid and contract in order to satisfy the review and approval of the governing agency.
- Plants shall meet size, container, and spacing specifications. Plant size shall take precedence over container size. Any material not meeting specifications shall be removed and replaced at the contractor's expense.
- The plant list is presented for the convenience of the Landscape Contractor. In the event of a discrepancy between the plan and the plant list, the plan shall take precedence over the plant list.
- All planting beds shall be excavated to a minimum depth of twelve (12") inches and backfilled with a suitable soil. All plant material shall be planted in planting soil that is delivered to the site in a loose, clean and friable condition. The planting soil shall be the approximate proportions as follows: 50% sand and 50% organic material consisting of native peat, well-decomposed sawdust, leaf mold and top soil. It shall provide a good pliable and thoroughly mixed medium with adequate aeration, drainage and water-holding capacity. It shall also be free of all extraneous debris, such as roots, stones, weeds, etc.
- All screening hedges shall be planted and maintained in a way that they form a continuous visual screen. Screening hedges at VUA to be maintained at a minimum height of thirty (30) inches to thirty six (36) inches depending on code requirements.
- All trees/palms and shrubs shall be fertilized with "Agriform" 20-10-5 planting tablets as per the manufacturers specifications at the time of installation and prior completion of pit backfilling also in conjunction with note #5. Tablets to be placed uniformly around the root mass at a depth that is between the middle and bottom of root mass at an application rate of: One (1) - 21 gram tablet for 1 gal container, two (2)- tablets for 3 gal container, three (3)- tablets for 5 gal container, four (4)-tablets for 7 gal container, three (3)-tablets for each 1/2 inch of tree caliper, and seven (7) tablets for palms. Ground Cover areas shall receive fertilization with "Ozmocote" time release fertilizer as per manufacturer's specification.
- All plant beds shall receive a minimum 2" layer of organic mulch, which is to be watered-in after installation. Mulch should be at least six (6) inches away from any portion of a structure or tree trunk and three (3) inches away from the base of shrubs.
- All plant material shall be thoroughly watered in at the time of planting and until landscape material is established. No dry material shall be permitted.
- All tree and shrub locations shall be approved by Landscape Architect prior to planting.
- The Landscape Contractor shall grade planting beds, as required, to provide positive drainage and promote optimum plant growth.
- The Landscape Contractor shall be responsible for examining fully both the site and bid documents. Discrepancies in the documents or the actual site conditions shall be reported to the Landscape Architect in writing at the time of bidding or discovery. No account shall be made after contract completion for failure by the Landscape Contractor to report such condition or for errors on the part of the Landscape Contractor at the time of bidding.
- The Landscape Contractor shall be responsible for securing all necessary applicable permits and licenses to perform the work set forth in this plan set and the specifications unless otherwise noted.
- Plant material shall be bid as specified unless unavailable, at which time the Landscape Architect shall be notified in writing of intended changes.
- All questions concerning the plan set and/or specifications shall be directed to the Landscape Architect.
- There shall be no additions, deletions or substitutions without written approval of the Landscape Architect.
- The Landscape Contractor shall guarantee, in writing, plant survivability. All landscape including shrubs and groundcovers shall be guaranteed for one year after final landscape inspection.
- All dimensions to be field-checked by the Landscape Contractor prior to landscape material installation. Discrepancies shall be reported immediately to the Landscape Architect.
- All materials must be as specified on the landscape plan. If materials or labor do not adhere to specifications, they will be rejected by the Landscape Architect with proper installation carried out by the Landscape Contractor at no additional cost.
- Existing sod shall be removed as necessary to accommodate new plantings
- All existing trees on site shall be protected from damage during construction. See existing tree protection fence detail.
- Any existing landscape and hardscape areas that are unnecessarily disturbed during the landscape installation shall be restored to original conditions by the Landscape Contractor.
- The Landscape Contractor will be responsible for the collection, removal, and proper disposal of any and all debris generated during the installation of this project.
- All landscape areas to have a positive drainage away from buildings and structures. Finished grade of landscape areas to be at or below the grade of adjacent sidewalks, slabs or VUA.
- All trees installed within the right-of-way, less than 15 from a road right-of-way, sidewalks or public infrastructure shall utilize a root barrier system.



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Rev	Date	Description	By
1	04/09/21	Site Plan Review Comments from 03/18/2021	AEM/GMP
2	07/02/21	City Commissioners Comments	AEM/GMP
3			
4			
5			
6			

LANDSCAPE DETAILS
& GENERAL NOTES

Project Name:
DECO GREEN
1715 North Dixie Highway,
Lake Worth, FL 33460

Date: January 14, 2021
Scale: N.T.S.
Drawn By: AEM/GMP
Approved By: AEM
Project No: 1.20011

Sheet Number:
L-03

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SITE PLAN APPROVAL SET - NOT FOR CONSTRUCTION