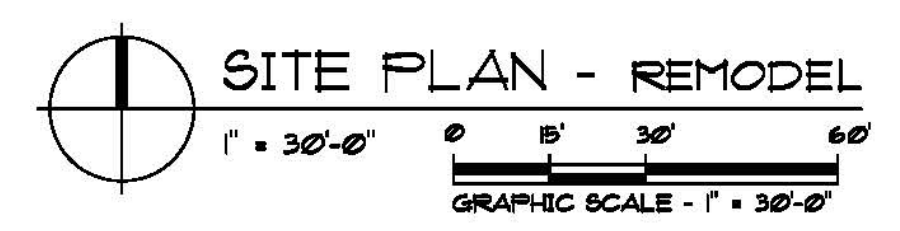
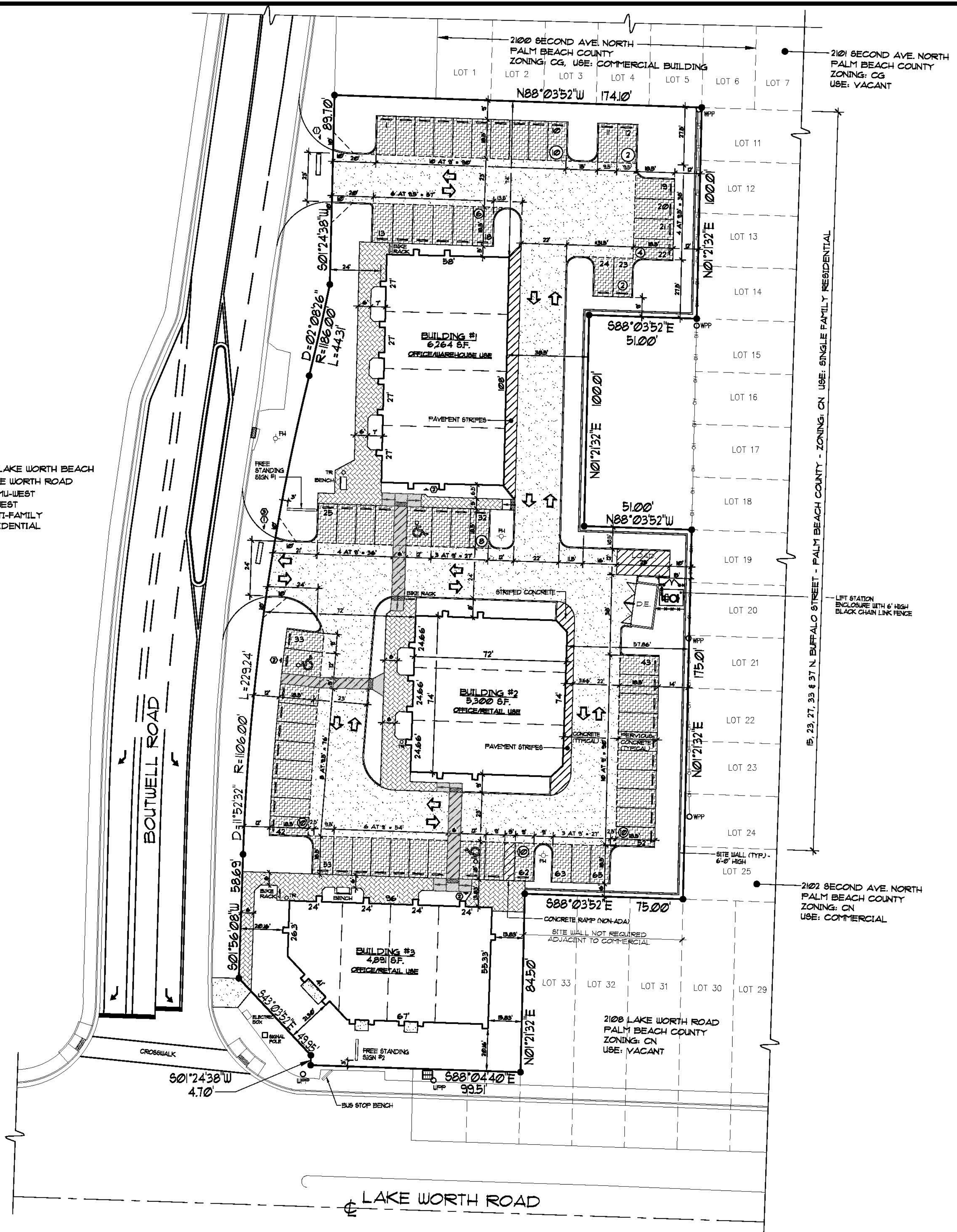


CITY OF LAKE WORTH BEACH
2202 LAKE WORTH ROAD
ZONING: MU-WEST
FLU: MU-WEST
USE: MULTI-FAMILY
RESIDENTIAL



- SITE PLAN NOTES:**
- 1.) Site Plan based upon survey prepared by Lidberg Surveying, Inc. Drawing #D05-061, Job #05-0610100, dated 5/25/05 and updated thru 2/7/19 and signed/sealed by David D. Lidberg, Florida PSM #3613.
 - 2.) All utilities shall be underground.
 - 3.) The project shall be constructed in one phase or multiple phases (to be determined).
 - 4.) No directional signs on site.
 - 5.) Landscaping shall not be planted in utility easements, except as shown.
 - 6.) Building and roof overhangs shall not encroach in easements.
 - 7.) All driveways within 100' of subject property shown.
 - 8.) No landscaping shall be installed in site triangles except for plantings permitted per FDOT design standards Index #546.
 - 9.) Electrical service shall be single phase fed from east power poles.
 - 10.) Master sign program by others.

215 LAKE WORTH ROAD
PALM BEACH COUNTY
ZONING: C6
USE: COMMERCIAL

2101 LAKE WORTH ROAD
PALM BEACH COUNTY
ZONING: C6
USE: COMMERCIAL

PROJECT DATA:

PRINCIPAL USE: OFFICE, RETAIL, WAREHOUSE
ZONING: MIXED USE - WEST (MU-W)
LAND USE: MIXED USE - WEST (MU-W)
LOT SIZE: 77,316 s.f. (1.77 ACRES)

DISTRIBUTION:

Building Area	= 16,455 S.F. = 21.28% < 50% Maximum (One Story Building)
Impervious Area	= 29,910 S.F. = 38.72% - Note #1
Pervious Area	= 30,951 S.F. = 40.00% - Note #1
TOTAL	= 77,316 S.F. = 100.00% lot coverage

NOTE #1 - PERVIOUS CONCRETE AT PARKING STALLS AND ON-SITE WALKWAYS COUNT AS 50% PERVIOUS AREA

F.A.R. = 0.2128

PARKING REQUIREMENTS:

OFFICE	- 1 SPACE PER 300 S.F.
RETAIL	- 1 SPACE PER 200 S.F.
WAREHOUSE	- 1 SPACE PER 500 S.F.

BUILDING #1 = 6,284 S.F.
100% RETAIL (NOTE A) = 5,312 S.F. / 200 S.F. = 27 SPACES

BUILDING #2 = 5,312 S.F.
100% RETAIL (NOTE A) = 4,892 S.F. / 200 S.F. = 24 SPACES

BUILDING #3 = 4,892 S.F.
100% RETAIL (NOTE A) = 4,892 S.F. / 200 S.F. = 24 SPACES

TOTAL = 65 SPACES REQUIRED = 65 SPACES PROVIDED

NOTE 'A': ALL OR PART OF BUILDING MAY BE USED FOR OFFICES.

3 handicapped spaces required and 3 provided within 65 provided stalls. Parking stalls shall be double striped per "Typical Parking Stalls Details" on Sheet R-1. 1 loading space required with 1 provided.

All stalls shall be striped and have concrete wheel stops. All landscaped areas shall be curbed or protected with wheel stops. Parking lot shall be 6" concrete or asphalt. Handicapped stalls shall have approved sign on pole and pavement marking.

BUILDING:

Required Setbacks		Actual Setbacks	
Front (South)	- 20' TO 30'	Front (South)	- 22.16'
Rear (North)	- 10'	Rear (North)	- 71.33'
Interior Side (East)	- 13'	Interior Side (East)	- 13.83'
Street Side (West)	- 20'	Street Side (West)	- 21.30'

Maximum Height - 30'-0" Height = 22'-8" at Building #1 & 2
27'-4" at Building #3

BUILDING TYPE: Type 5, unprotected and fire sprinkled at Buildings #1 & 2
Type 6, unprotected and unsprinkled at Building #3

HOURS OF OPERATION:
Monday thru Friday - 6:00 A.M. to 10:00 P.M.
Saturday & Sunday - 7:00 A.M. to 10:00 P.M.

Flood Zone 'X' - per FIRMAP 120099C 077F - Dated October 5, 2017

SIGN SCHEDULE: Signs shall comply with M.U.T.C.D.

- 1) Stop Sign with Stop Bar
- 2) Handicapped Sign with \$250 Fine
- 3) Right Turn Only

PCN # 38 - 43 - 44 - 20 - 01 - 117 - 0020

OWNER:
2202 LAKE WORTH ROAD, LLC
615 Pine Lake Drive
Delray Beach, Florida 33445

CIVIL ENGINEER:
McLEOD, MCCARTHY & ASSOCIATES, P.A.
1655 Palm Beach Lakes Blvd - Suite 901
West Palm Beach, Florida 33401
(561) 689-9500

SITE LIGHTING DESIGNER:
KUOPPALA & ASSOCIATES, P.A.
925 South Military Trail - Suite D-10
West Palm Beach, Florida 33415
(561) 682-1909

LANDSCAPE ARCHITECT:
LITTECKER LANDSCAPE ARCHITECTURE
2740 S.W. Martin Downs Blvd., Suite #199
Palm City, Florida 34980
(888) 719-3876

TRAFFIC ENGINEER:
H. BURTT SMITH
825 Whipoorwill Trail
West Palm Beach, Florida 33411
(561) 798-5058

SURVEYOR:
LIDBERG SURVEYING, INC.
675 W. Indiantown Road - Suite 200
Jupiter, Florida 33458
(561) 746-8454

PROPERTY DESCRIPTION (PER SURVEY)
ALL THAT PART OF TRACT 117, MODEL LAND COMPANY SUBDIVISION OF SECTION 20, TOWNSHIP 44 SOUTH, RANGE 43 EAST, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 5, PAGE 79, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LYING EAST OF THE EAST LINE OF THAT PARCEL OF LAND DESCRIBED IN OFFICIAL RECORD BOOK 12106, PAGE 1198, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

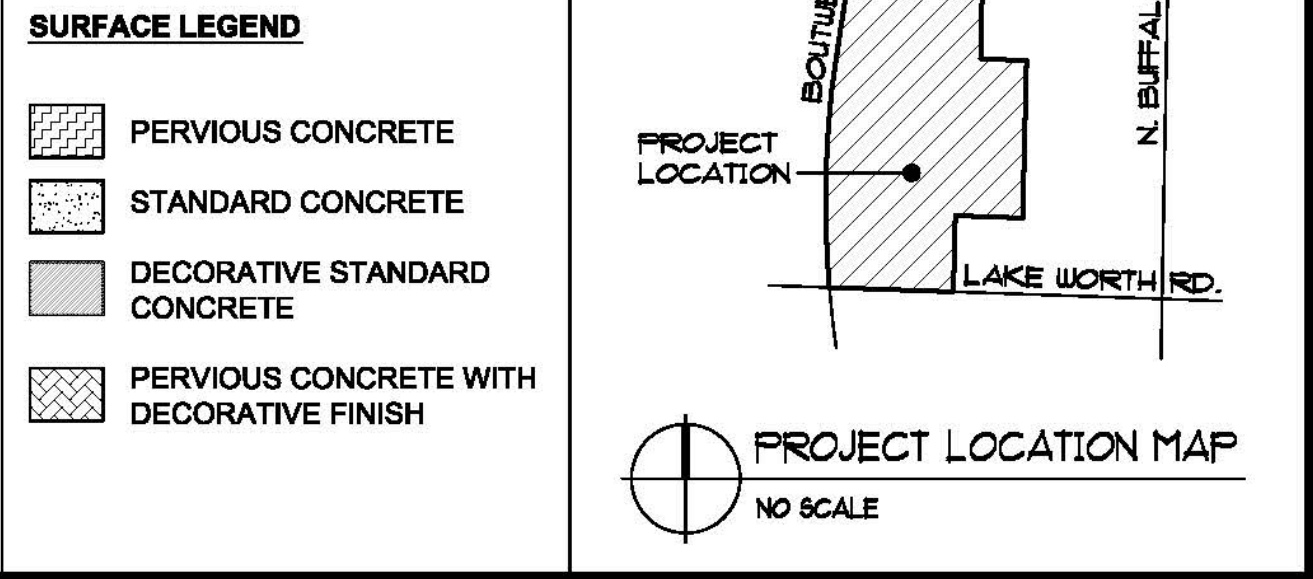
TOGETHER WITH:
ALL THAT PORTION OF ARC AND STREET, AS SHOWN ON THE PLAT OF BUFFALO HEIGHTS, AS RECORDED IN PLAT BOOK 4, PAGE 8, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LYING NORTH OF THE NORTH RIGHT OF WAY LINE OF LAKE WORTH ROAD (STATE ROAD 802) AS SHOWN ROAD PLAT BOOK 2, PAGE 91, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA AND LYING SOUTH OF THE WESTERLY PROLONGATION OF THE NORTH LINE OF LOT 50, AS SHOWN ON SAID PLAT, SAID PARCELS BEING A PORTION OF ARCAD STREET ABANDONED BY THE BOARD OF COUNTY COMMISSIONERS OF PALM BEACH COUNTY BY RESOLUTION R-2001-576, AND RECORDED IN OFFICIAL RECORD BOOK 12520, PAGE 395 PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

TOGETHER WITH:
LOTS 34 THROUGH 42, LESS THE SOUTH 3/4 OF FEET OF LOTS 34 AND 35, FOR THE RIGHT OF WAY FOR STATE ROAD 802, ALSO KNOWN AS LAKE WORTH ROAD, AND LOTS 47 THROUGH 50, ALL IN BLOCK 1 OF BUFFALO HEIGHTS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4, PAGE 8, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

TOGETHER WITH:
THE WEST 75.00 FEET OF LOTS 43, 44, 45, AND 46, BLOCK 1 OF BUFFALO HEIGHTS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4, PAGE 8, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

ABBREVIATIONS:

F.H.	FIRE HYDRANT
S.B.	SETBACK
L.S.	LANDSCAPE BUFFER
U.E.	UTILITY EASEMENT
M.H.	MANHOLE
F.F.	FINISHED FLOOR
M.S.L.	MEAN SEA LEVEL
F.P.L.	FLORIDA POWER & LIGHT
D.E.	DRAINAGE EASEMENT
I.C.B.	INCOMPATIBLE BUFFER
E.O.P.	EDGE OF PAVEMENT
C.B.	CATCH BASIN
T.R.	TRASH RECEPTACLE



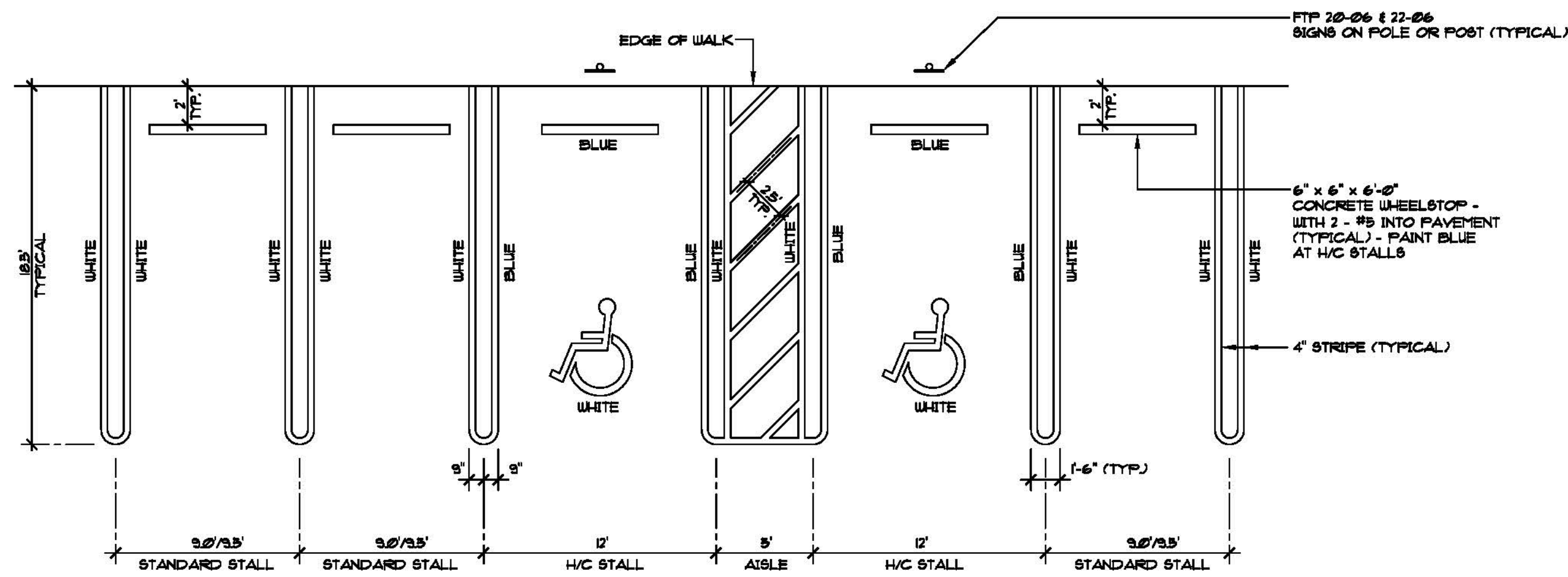
REVISIONS	BY

KUOPPALA & ASSOCIATES, P.A.
ARCHITECTS
LICENSE #AC-001666
ROBERT E. KUOPPALA
FLORIDA ARCHITECT #4461
925 SOUTH MILITARY TRAIL, SUITE D-10
WEST PALM BEACH, FLORIDA 33415
(561) 682-1909 - OFF.
(561) 682-1975 - FAX

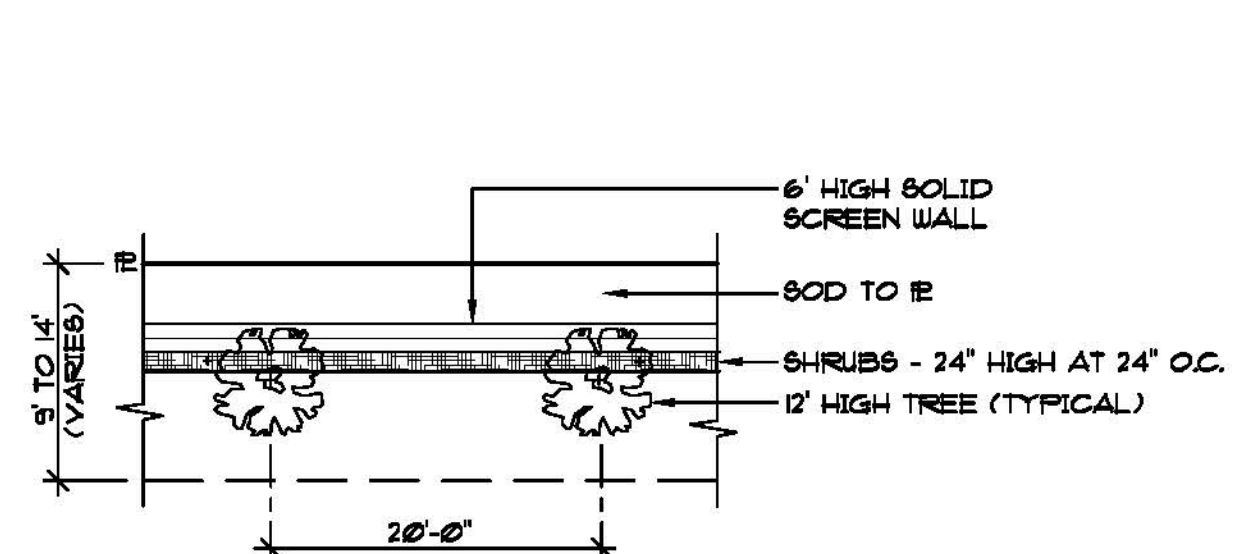
JANUARY 6, 2020

PROPOSED OFFICE / RETAIL PLAZA / WAREHOUSE PLAZA
2202 LAKE WORTH ROAD, LLC.
2202 LAKE WORTH ROAD
LAKE WORTH BEACH, FLORIDA

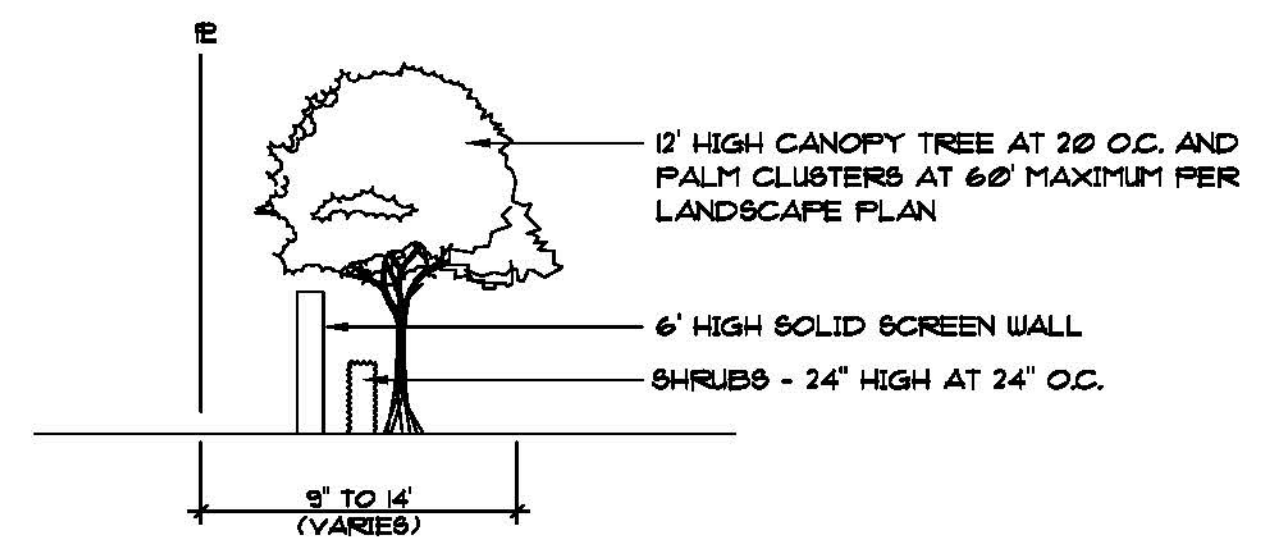
DRAWN: GUT
CHECKED: REK
DATE: JANUARY 6, 2020
SCALE: AS NOTED
COMM. NO.: 18-23
SHEET: SP-1
OF 1 SHEETS



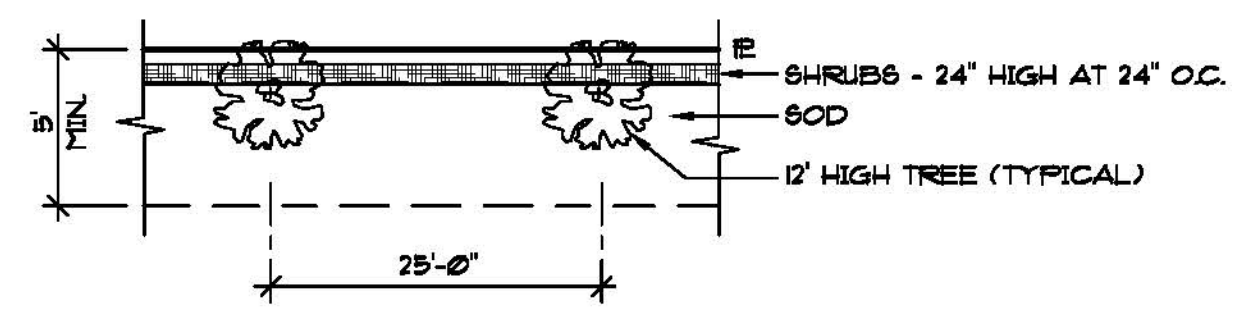
TYPICAL PARKING STALLS DETAIL - 90°
NO SCALE



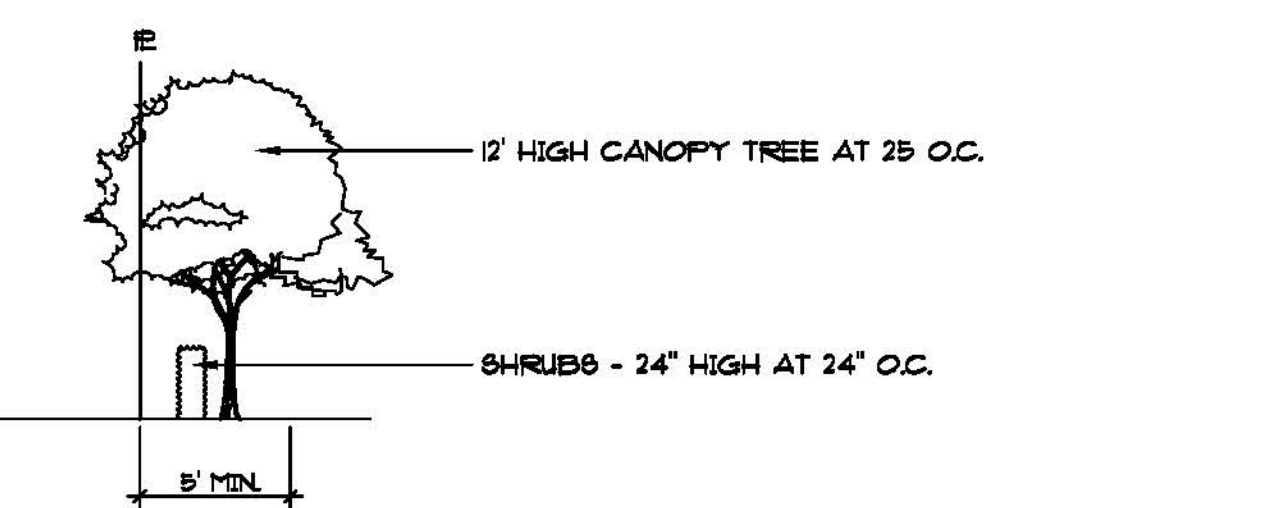
PLAN AT BUFFER ADJacent TO RESIDENTIAL
NO SCALE



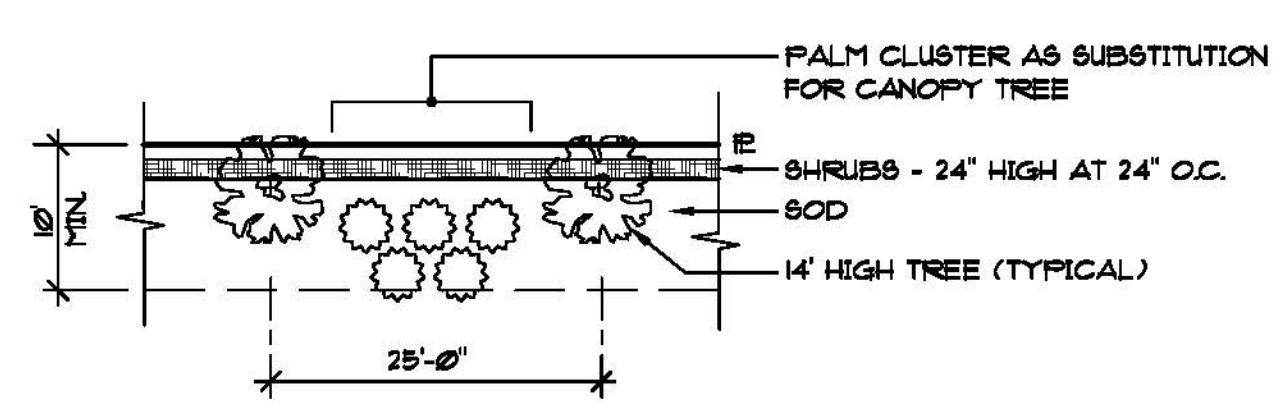
SECTION AT BUFFER ADJacent TO RESIDENTIAL
NO SCALE



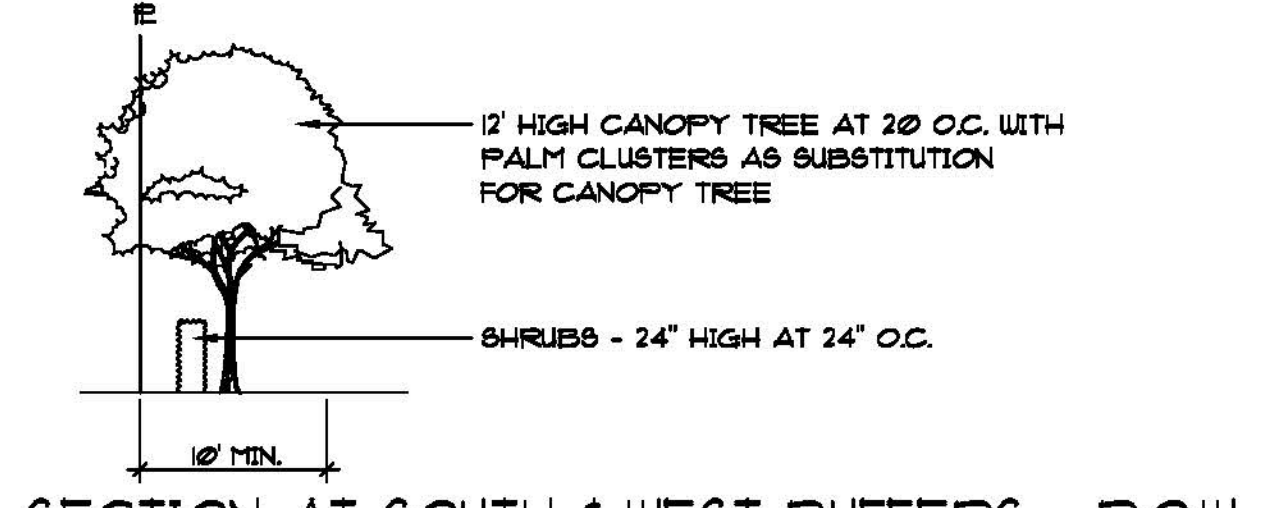
PLAN AT NORTH BUFFER ADJacent TO COMMERCIAL
NO SCALE



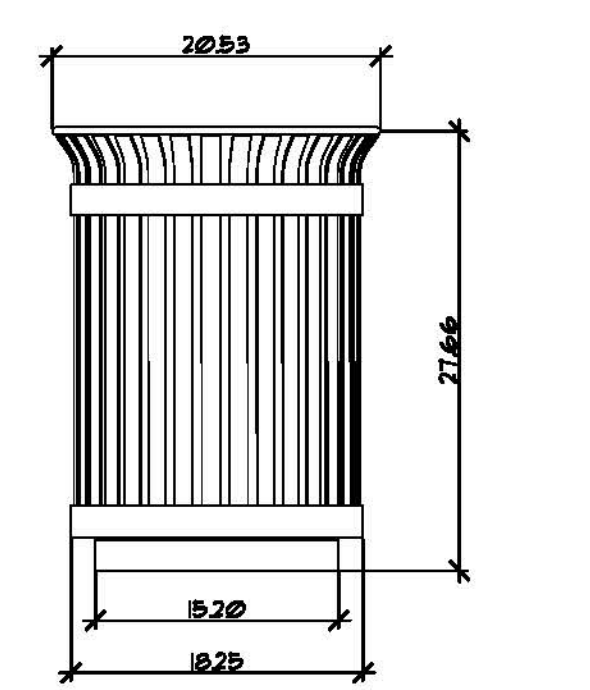
SECTION AT NORTH BUFFER TO COMMERCIAL
NO SCALE



PLAN AT SOUTH & WEST BUFFERS - R.O.W.
NO SCALE

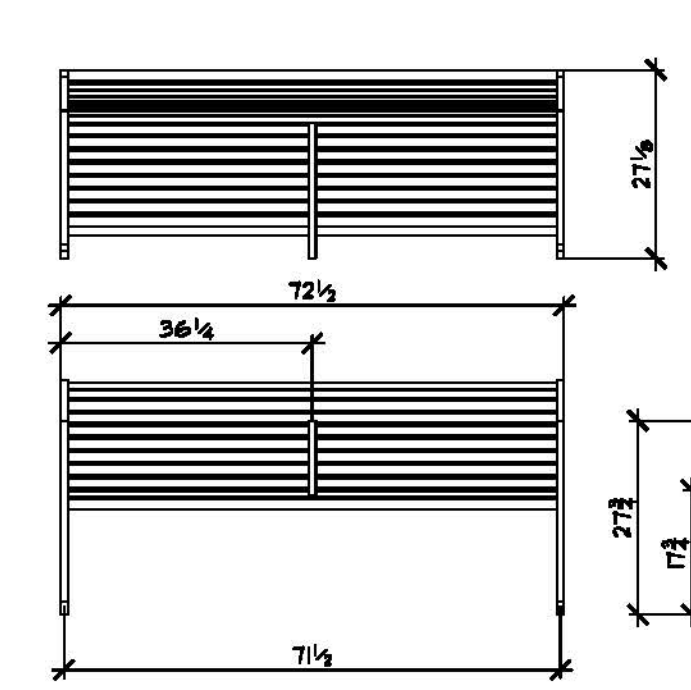


SECTION AT SOUTH & WEST BUFFERS - R.O.W.
NO SCALE



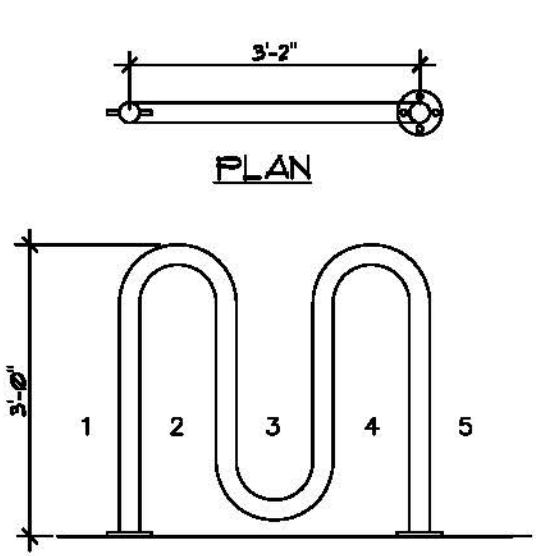
TRASH RECEPTACLE
NO SCALE

NOTES:
1) ANCHOR RECEPTACLE TO SLAB.
2) UNIT SHALL BE HUNTCO 'VENATCHEE' OR APPROVED EQUAL. COLOR SHALL BE MEDIUM BRONZE AND FINISH SHALL BE THERMOPLASTIC COATING.



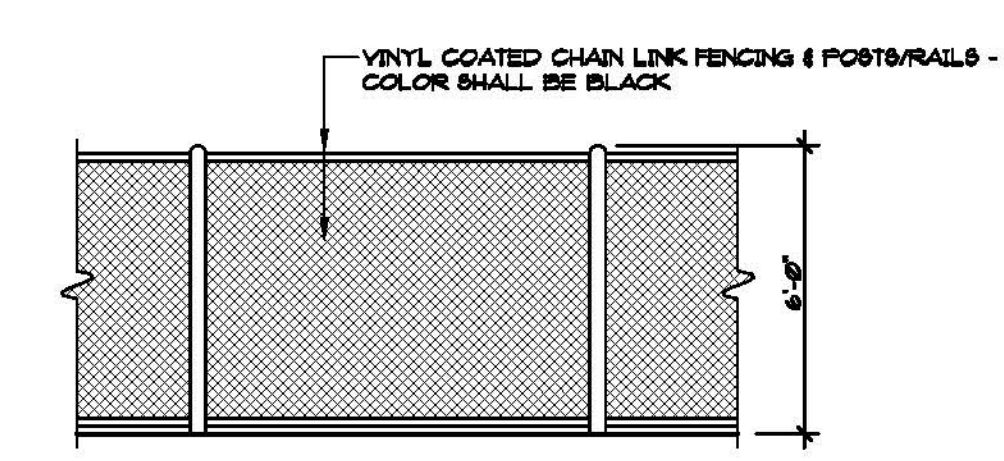
BENCH DETAIL
NO SCALE

NOTES:
1) ANCHOR BENCH TO SLAB.
2) UNIT SHALL BE HUNTCO 'MILLIAMETTE' OR APPROVED EQUAL. COLOR SHALL BE MEDIUM BRONZE AND FINISH SHALL BE THERMOPLASTIC COATING.

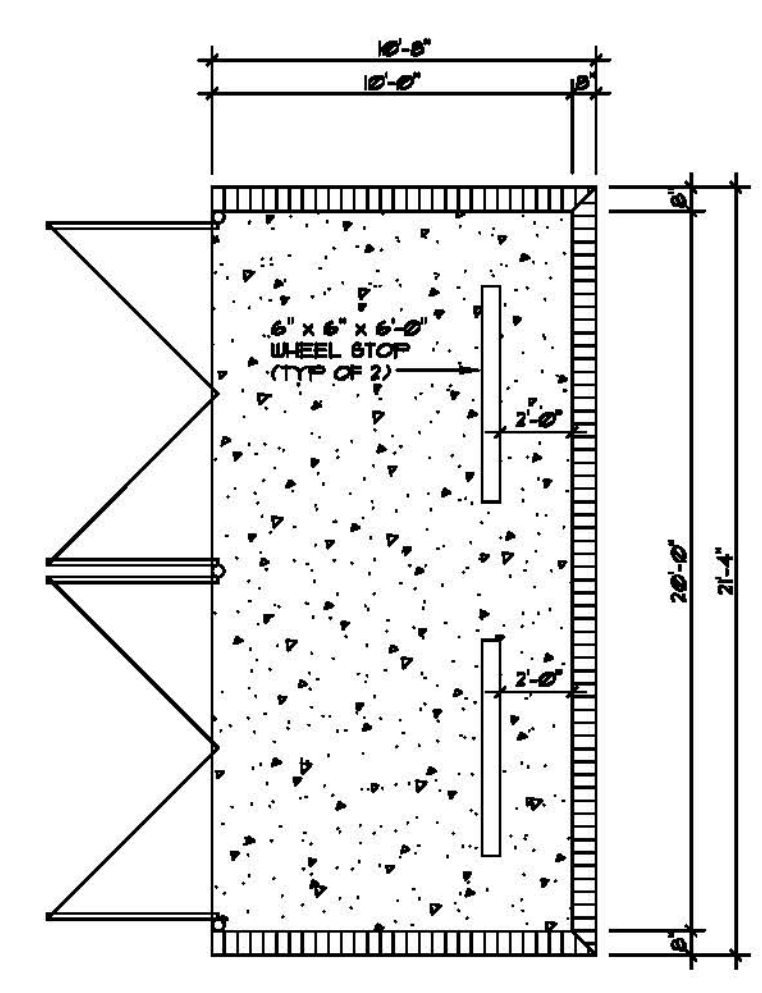


ELEVATION BIKE RACK
NO SCALE

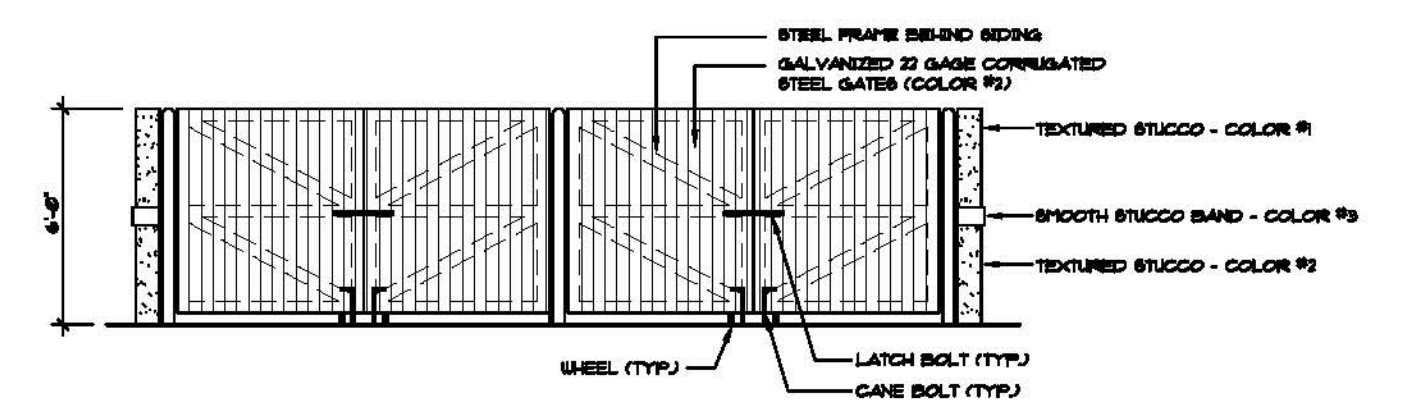
NOTES:
1) ANCHOR RACKS TO SLAB.
2) UNIT SHALL BE HUNTCO BR-5 OR APPROVED EQUAL. COLOR SHALL BE MEDIUM BRONZE AND FINISH SHALL BE THERMOPLASTIC COATING.



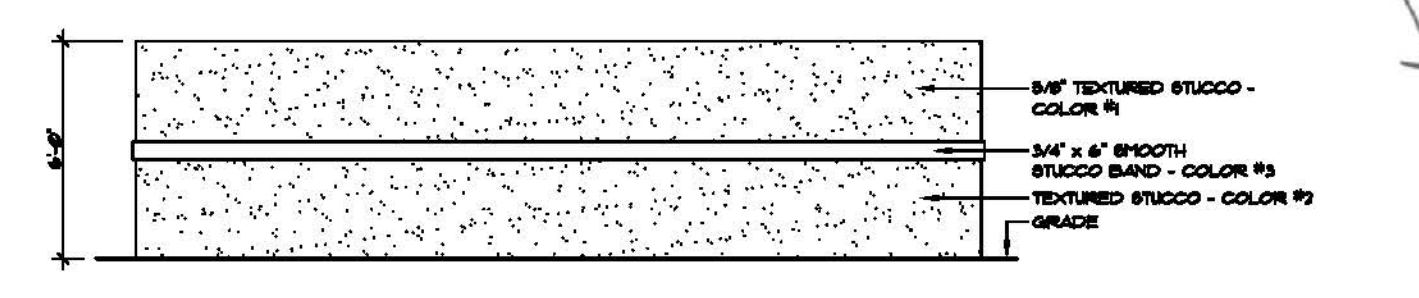
CHAIN LINK FENCE AROUND LIFT STATION
NO SCALE



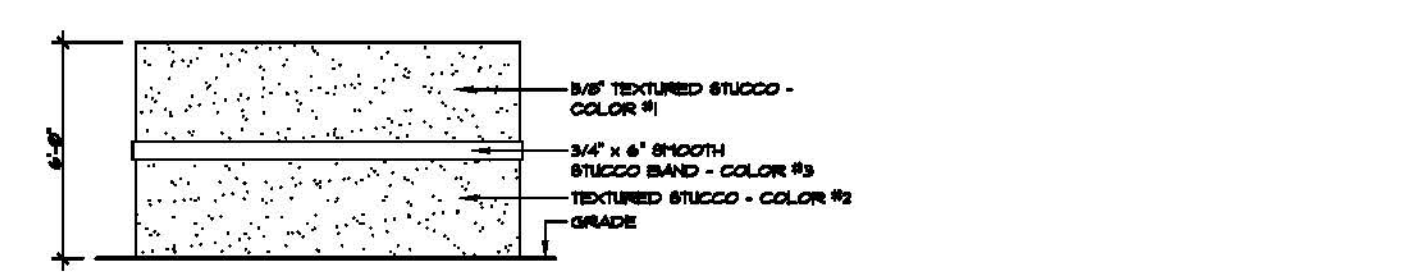
DUMPSTER ENCLOSURE PLAN
3/16\"/>



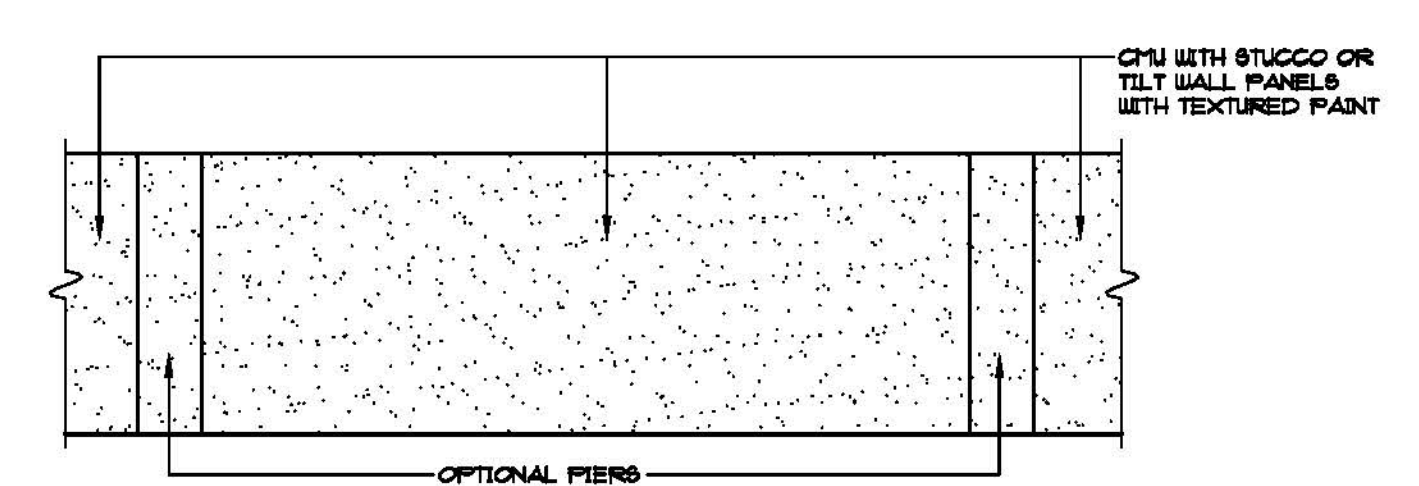
WEST ELEVATION (DUMPSTER ENCLOSURE)
3/16\"/>



EAST ELEVATION (DUMPSTER ENCLOSURE)
3/16\"/>



NORTH & SOUTH ELEVATION (DUMPSTER ENCLOSURE)
3/16\"/>



SITE WALL
NO SCALE

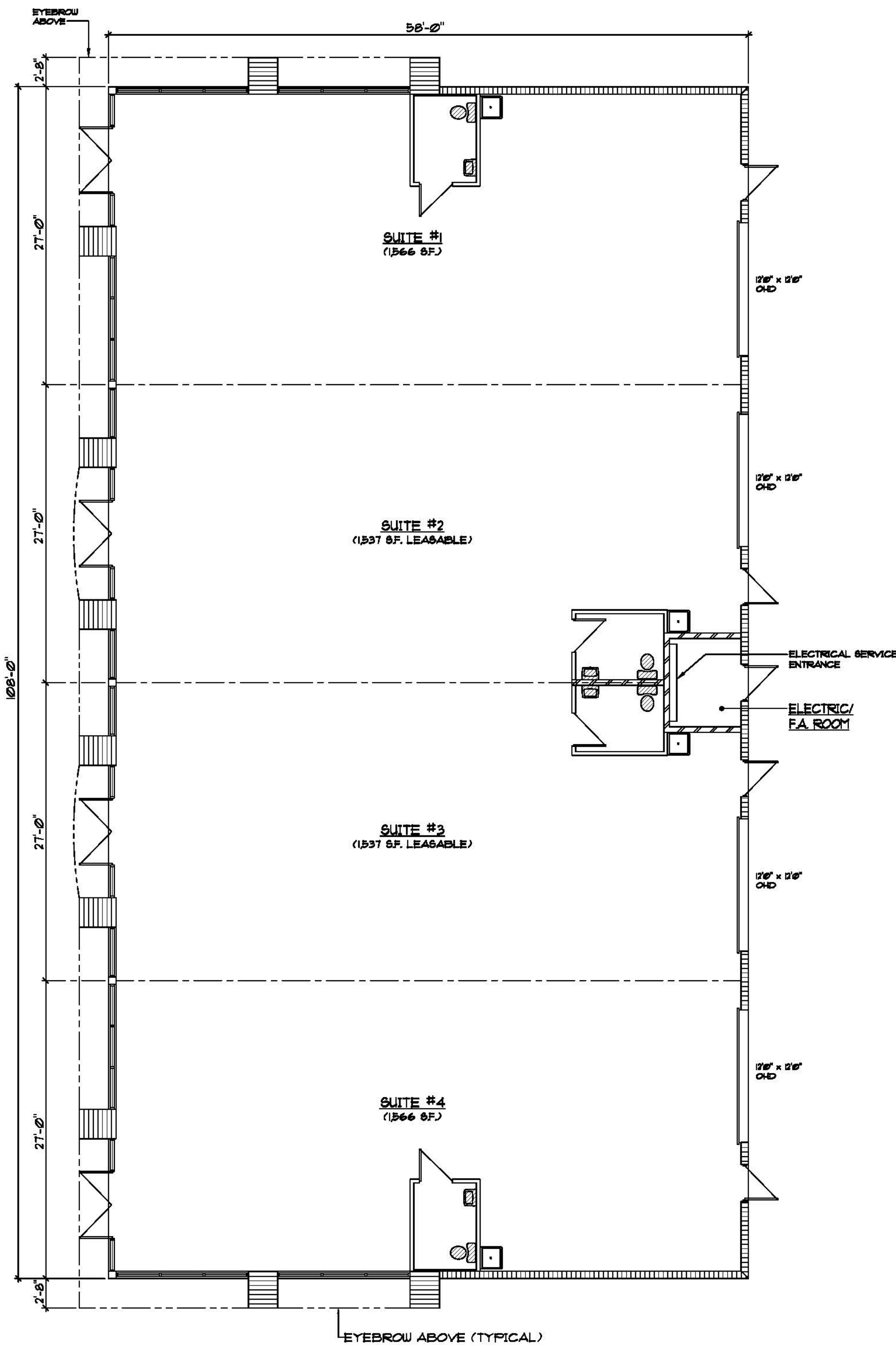
REVISIONS	BY

KUOPPALA & ASSOCIATES, P.A.
ARCHITECTS
FLORIDA ARCHITECT #4481
LICENSE #AAC-001866
925 SOUTH MILITARY TRAIL, SUITE D-10
WEST PALM BEACH, FLORIDA 33415
(561) 882-1909-OFF.
(561) 882-1975-FAX.

JANUARY 6, 2020

PROPOSED OFFICE / RETAIL PLAZA / WAREHOUSE PLAZA
2202 LAKE WORTH ROAD, LLC.
2202 LAKE WORTH ROAD
LAKE WORTH BEACH, FLORIDA

DRAWN	GUT
CHECKED	REK
DATE	JANUARY 6, 2020
SCALE	AS NOTED
COMPL. NO.	18-23
SHEET	1

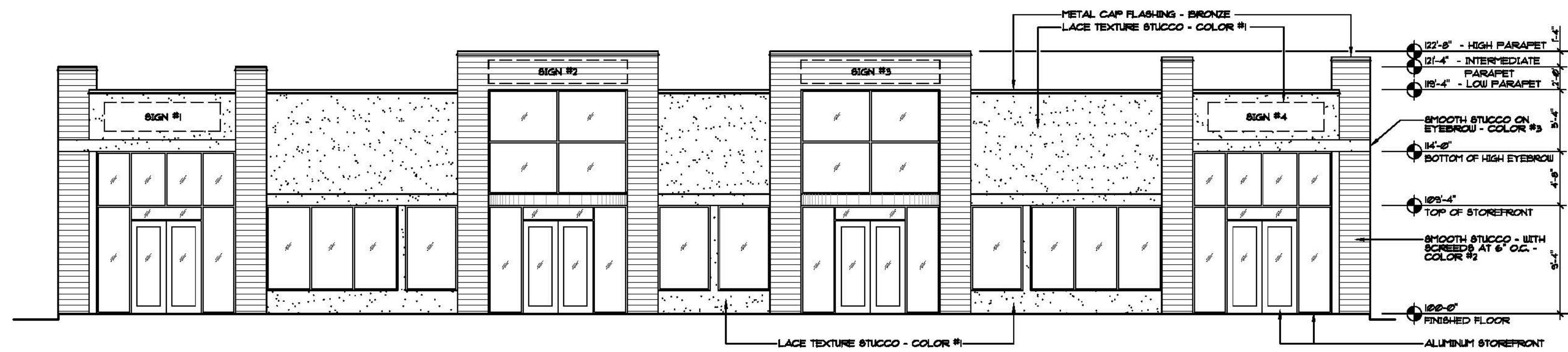


FLOOR PLAN - BUILDING #1
 1/8" = 1'-0" 20% OFFICE / 80% WAREHOUSE



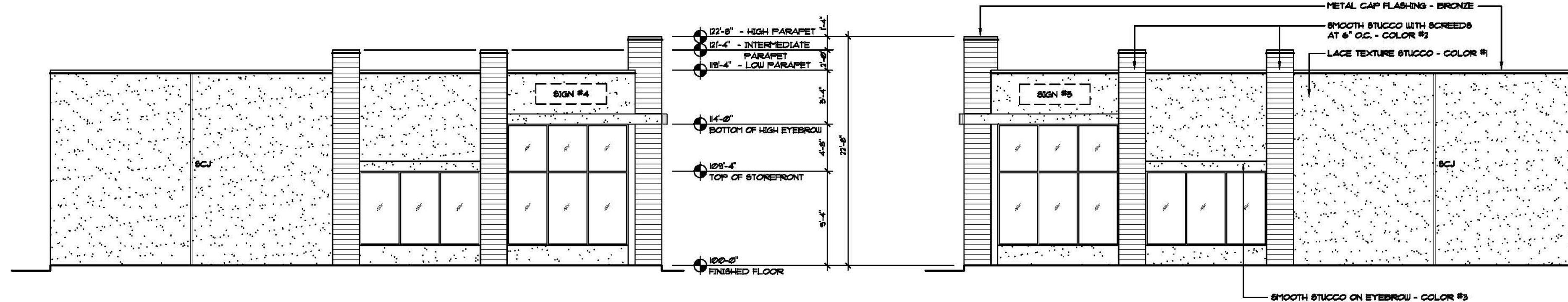
NOTES:

- 1) INTERIOR IMPROVEMENTS NOT SUBJECT TO REVIEW.



WEST ELEVATION - BUILDING #1

1/8" = 1'-0"

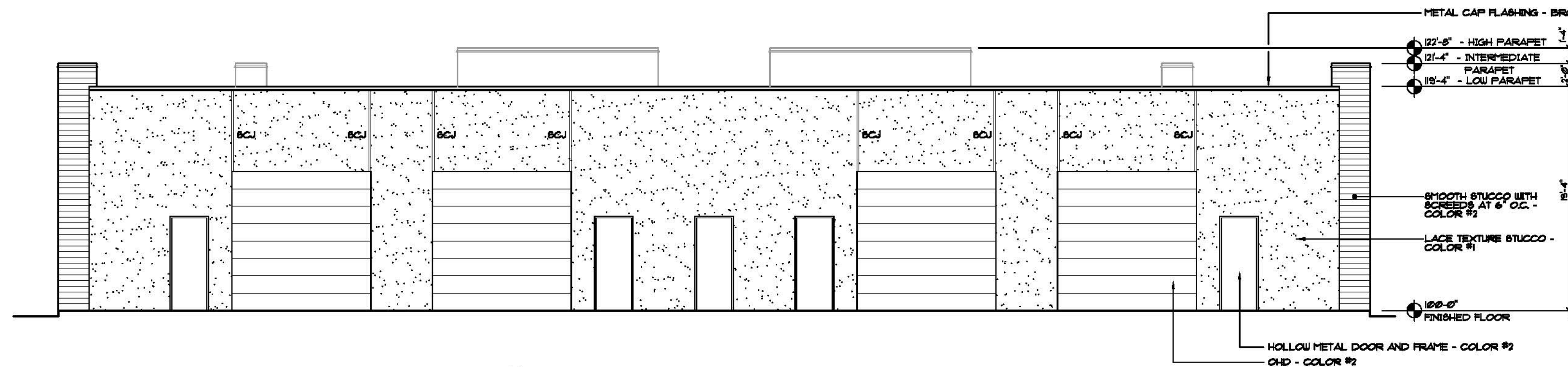


NORTH ELEVATION - BUILDING #1

1/8" = 1'-0"

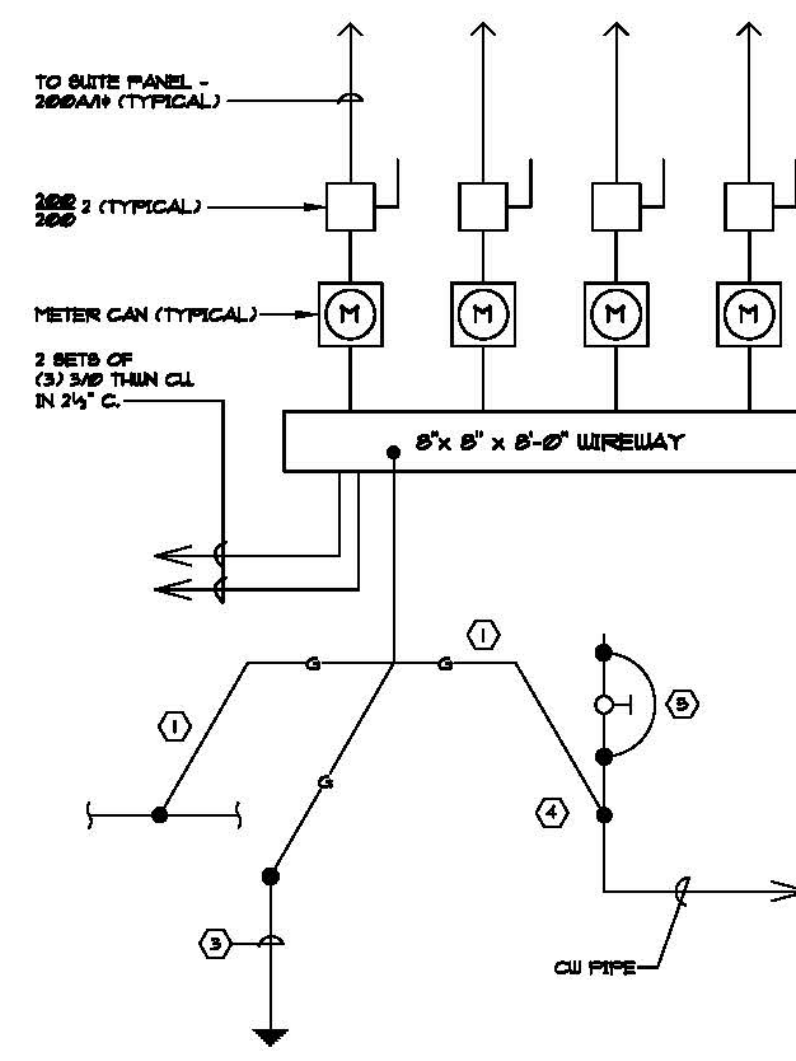
SOUTH ELEVATION - BUILDING #1

1/8" = 1'-0"



EAST ELEVATION - BUILDING #1

1/8" = 1'-0"



POWER RISER DIAGRAM

NO SCALE

ELECTRICAL SERVICE SHALL BE 400 AMP/240/1Ø

POWER RISER KEY NOTES:

- (1) #1/0 CU grounding electrode conductor in 1" Schedule 40 PVC conduit.
- Exothermic connection - Electrically continuous steel re-bar in bottom of foundation in direct contact with earth.
- 3/4" X 10' long copper driven ground electrode.
- Connection to metal cold water entrance pipe before first valve with heavy duty bronze clamp.
- (1) #1/0 CU bonding jumper around first valve.

ELECTRICAL LOAD CALCULATIONS FOR BUILDING #1:

A/C units - 4 @ 10 KW each	40,000 WATTS
Power - 6,264 S.F. @ 5 watts/S.F.	31,320
Lights - 6,264 S.F. @ 1.5 watts/S.F.	9,396
Total Connected Load =	80,716 WATTS
	240 VOLTS = 336 AMPS

BUILDING TENANT WALL SIGN CALCULATIONS

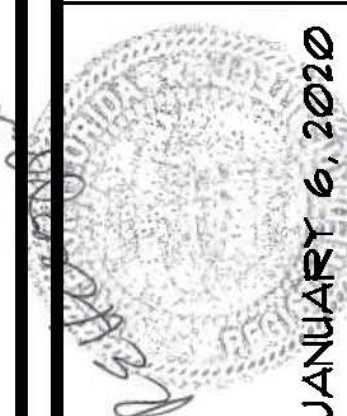
- Building #1: Frontage = 1 S.F. Per Lineal Foot
 - A) Signs # 1 - 4
 - Frontage = 27' - 0" (Facing Street)
 - Maximum Area = 27 S.F.
 - Actual Area = 27 S.F.
 - Length = 10.0 Feet
 - Height = 2.7 Feet
 - B) Signs #5 & 6:
 - 20% of Maximum Allowed Frontage (Facing Parking Lot)
 - 20% of 27 S.F. = 5.4 S.F.
 - Actual Area = 5.4 S.F.
 - Length = 2.0 Feet
 - Height = 1.8 Feet
- Master sign program by others.

COLOR SELECTIONS:

COLOR #1	- SHERWIN WILLIAMS #7086 - EXTRA WHITE
COLOR #2	- SHERWIN WILLIAMS #6076 - TURKISH COFFEE
COLOR #3	- SHERWIN WILLIAMS #7653 - SILVER POINTE
STOREFRONT FRAMES AND DOORS	- MILL FINISH
HOLLOW METAL	- COLOR #2
GLASS	- BRONZE TINT AND / OR CLEAR

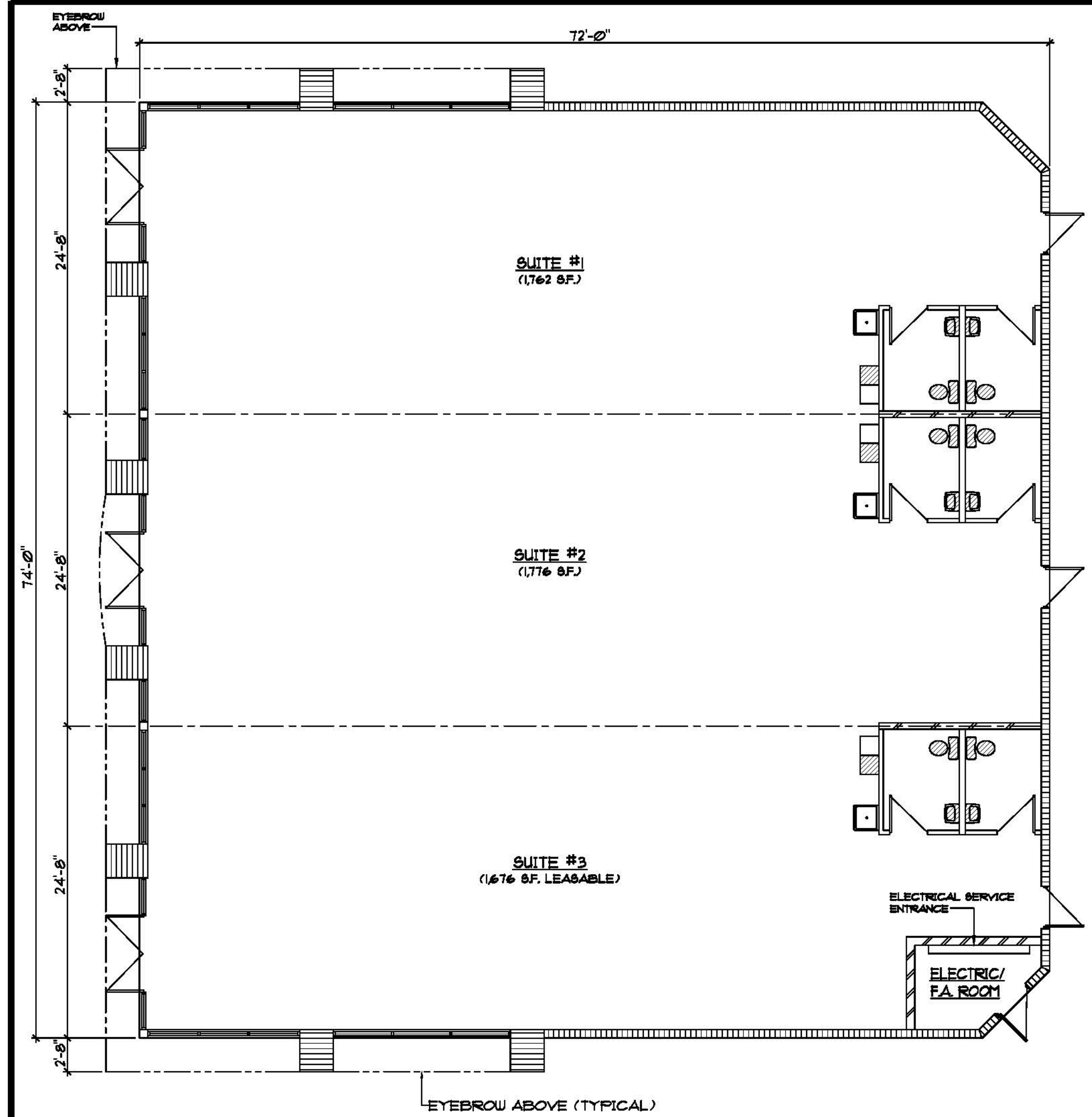
REVISIONS	BY

KUOPPALA & ASSOCIATES, P.A.
 ARCHITECTS
 ROBERT E. KUOPPALA
 FLORIDA ARCHITECT #4481
 LICENSE #AAC-001656
 925 SOUTH MILITARY TRAIL, SUITE D-10
 WEST PALM BEACH, FLORIDA 33415
 (561) 682-1909-0FF.
 (561) 682-1978-FAX.



PROPOSED OFFICE / RETAIL PLAZA / WAREHOUSE PLAZA
2202 LAKE WORTH ROAD, LLC.
 2202 LAKE WORTH ROAD
 LAKE WORTH BEACH, FLORIDA

DRAWN
 GIJT
 CHECKED
 KUOPPALA
 DATE
 JANUARY 6, 2020
 SCALE
 AS NOTED
 COMM. NO.
 18-23
 SHEET
A-1

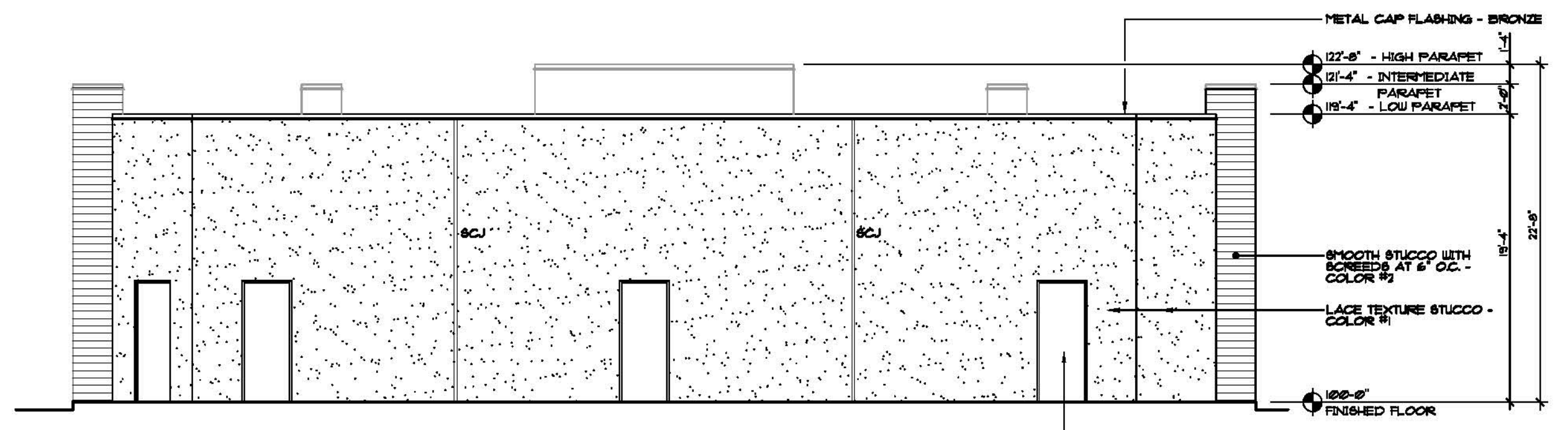


FLOOR PLAN - BUILDING #2
 1/8" = 1'-0"
 RETAIL / OFFICE

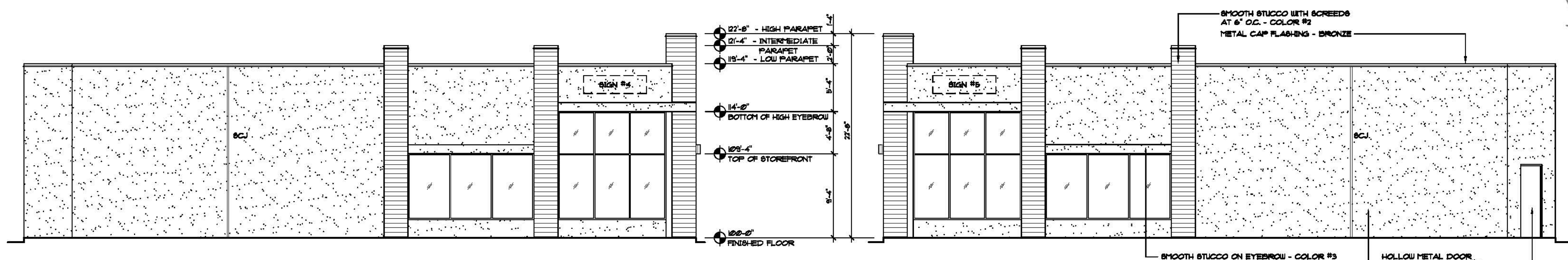
NOTES:
 1) INTERIOR IMPROVEMENTS NOT SUBJECT TO REVIEW.



WEST ELEVATION - BUILDING #2
 1/8" = 1'-0"

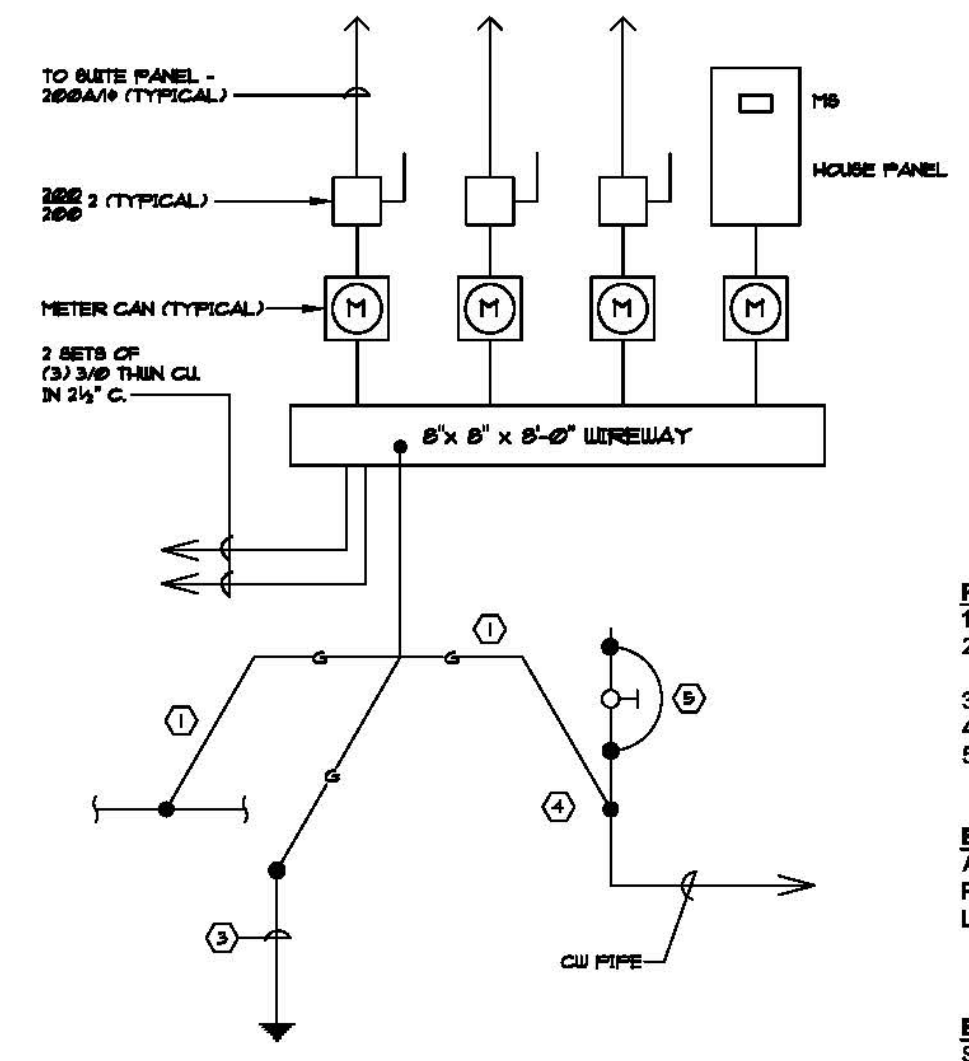


EAST ELEVATION - BUILDING #2
 1/8" = 1'-0"



NORTH ELEVATION - BUILDING #2
 1/8" = 1'-0"

SOUTH ELEVATION - BUILDING #2
 1/8" = 1'-0"



POWER RISER DIAGRAM
 NO SCALE
 ELECTRICAL SERVICE SHALL BE 400 AMP/240V/1Ø

- POWER RISER KEY NOTES:**
- (1) #1/0 CU grounding electrode conductor in 1" Schedule 40 PVC conduit.
 - Exothermic connection - Electrically continuous steel re-bar in bottom of foundation in direct contact with earth.
 - 3/4" x 10' long copper driven ground electrode.
 - Connection to metal cold water entrance pipe before first valve with heavy duty bronze clamp.
 - (1) #1/0 CU bonding jumper around first valve.

ELECTRICAL LOAD CALCULATIONS FOR BUILDING #2:

A/C units - 3 @ 10 KW each	30,000 WATTS
Power - 5,300 S.F. @ 5 watts/S.F.	26,500
Lights - 6,300 S.F. @ 1.5 watts/S.F.	7,950
	64,450 WATTS
	240 VOLTS = 269 AMPS

ELECTRICAL LOAD CALCULATIONS FOR HOUSE PANEL:

Site Lights	3,000 WATTS
Irrigation System (2HP)	3,200
Grinder Pump (5 HP)	7,500
	13,900 WATTS
	240 VOLTS = 60 AMPS

TOTAL CONNECTED LOAD = 320 AMPS

BUILDING TENANT WALL CALCULATIONS

- Building #2: Frontage = 1 S.F. Per Lineal Foot

A) Signs #1 - 3	Frontage = 24'-8"
	Maximum Area = 24.8 S.F.
	Actual Area = 24.8 S.F.
	Length = 10.00 Feet
	Height = 2.48 Feet
B) Signs #4 & 5:	20% of Maximum Allowed Frontage (facing parking lot)
	= 5.0 S.F.
	Actual Area = 5.0 S.F.
	Length = 2.8 Feet
	Height = 1.8 Feet
- Master sign program by others.

COLOR SELECTIONS:

COLOR #1	- SHERWIN WILLIAMS #7086 - EXTRA WHITE
COLOR #2	- SHERWIN WILLIAMS #6076 - TURKISH COFFEE
COLOR #3	- SHERWIN WILLIAMS #7653 - SILVER POINTE
STOREFRONT FRAMES AND DOORS	- MILL FINISH
HOLLOW METAL	- COLOR #2
GLASS	- BRONZE TINT AND / OR CLEAR

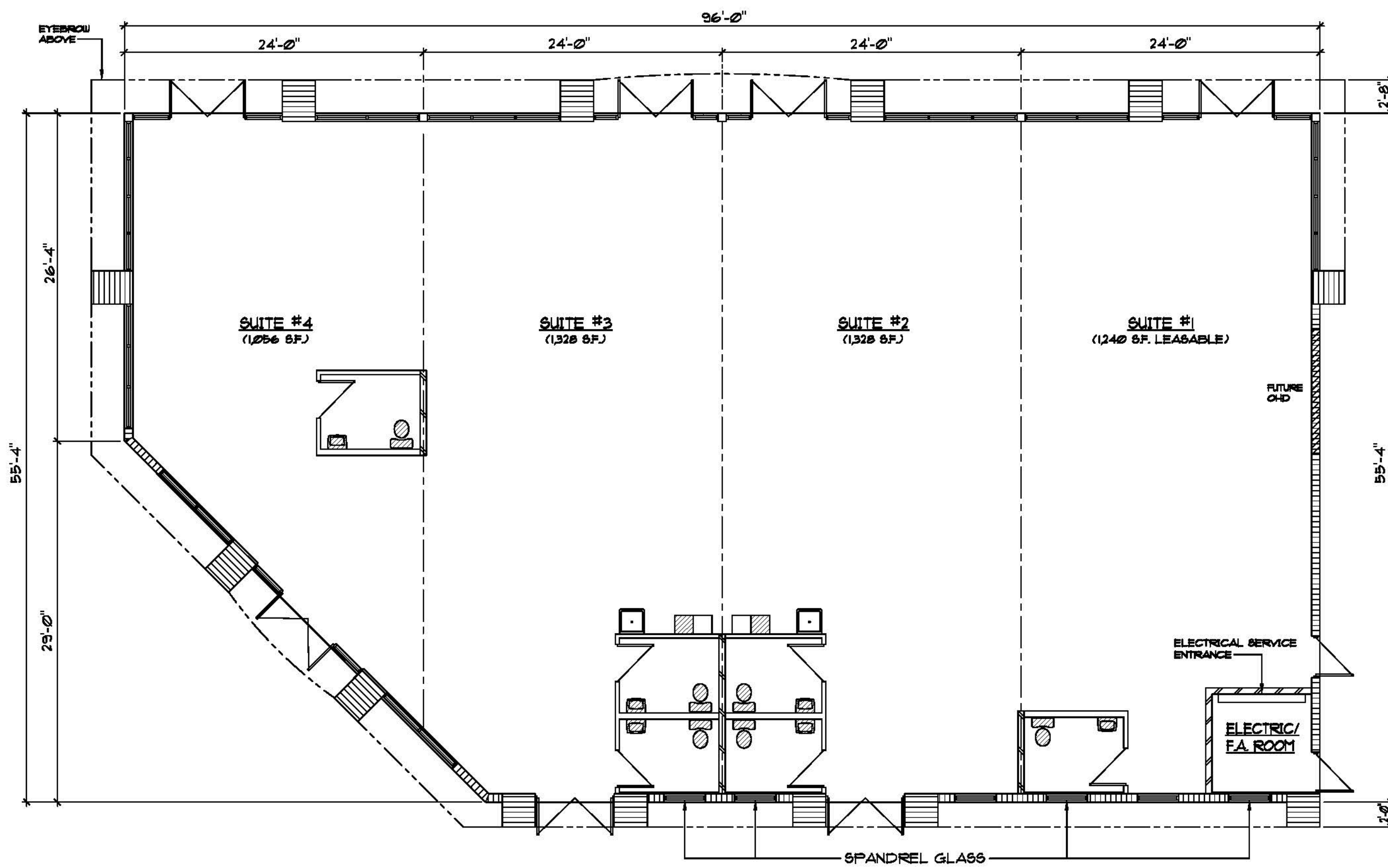
REVISIONS	BY

KUOPPALA & ASSOCIATES, P.A.
 ARCHITECTS
 LICENSE #AAC-001050
 ROBERT E. KUOPPALA
 FLORIDA ARCHITECT #481
 925 SOUTH MILITARY TRAIL, SUITE D-10
 WEST PALM BEACH, FLORIDA 33415
 (561) 682-1909-0FF.
 (561) 682-1978-FAX.



PROPOSED OFFICE / RETAIL PLAZA / WAREHOUSE PLAZA
2202 LAKE WORTH ROAD, LLC.
 2202 LAKE WORTH ROAD
 LAKE WORTH BEACH, FLORIDA

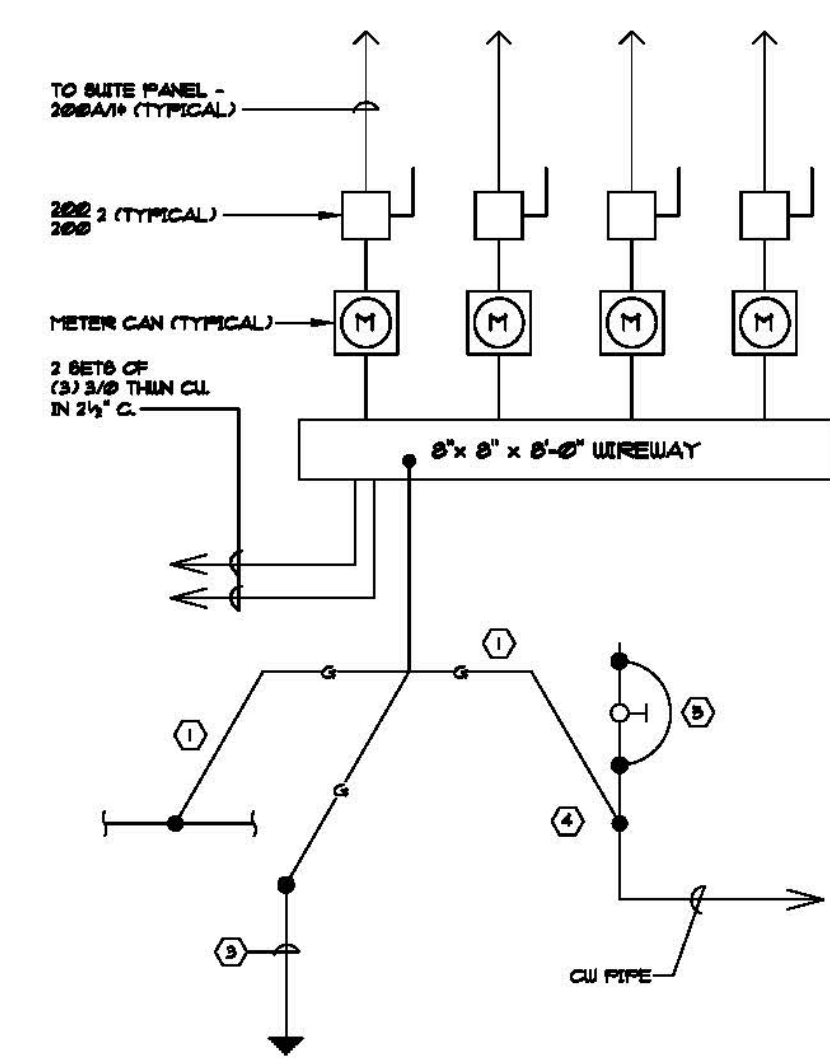
DRAWN	GIJT
CHECKED	KUOPPALA
DATE	JANUARY 6, 2020
SCALE	AS NOTED
CONTR. NO.	18-23
SHEET	A-2
OF	3 SHEETS



FLOOR PLAN - BUILDING #3
 1/8" = 1'-0"
 RETAIL / OFFICE



NOTES:
 1) INTERIOR IMPROVEMENTS NOT SUBJECT TO REVIEW.



POWER RISER DIAGRAM
 NO SCALE
 ELECTRICAL SERVICE SHALL BE 400 AMP/240V/3P

POWER RISER KEY NOTES:
 1. (1) #10 CU grounding electrode conductor in 1" Schedule 40 PVC conduit.
 2. Exothermic connection - Electrically continuous steel re-bar in bottom of foundation in direct contact with earth.
 3. 3/2" x 10' long copper driven ground electrode.
 4. Connection to metal cold water entrance pipe before first valve with heavy duty bronze clamp.
 5. (1) #10 CU bonding jumper around first valve.

ELECTRICAL LOAD CALCULATIONS FOR BUILDING #3:
 A/C units - 4 @ 10 KW each 40,000 WATTS
 Power - 4,891 S.F. X 5 watts/S.F. 24,455
 Lights - 4,891 S.F. X 1.5 watts/S.F. 7,336
 Total Connected Load = 71,791 WATTS
 240 VOLTS = 299 AMPS



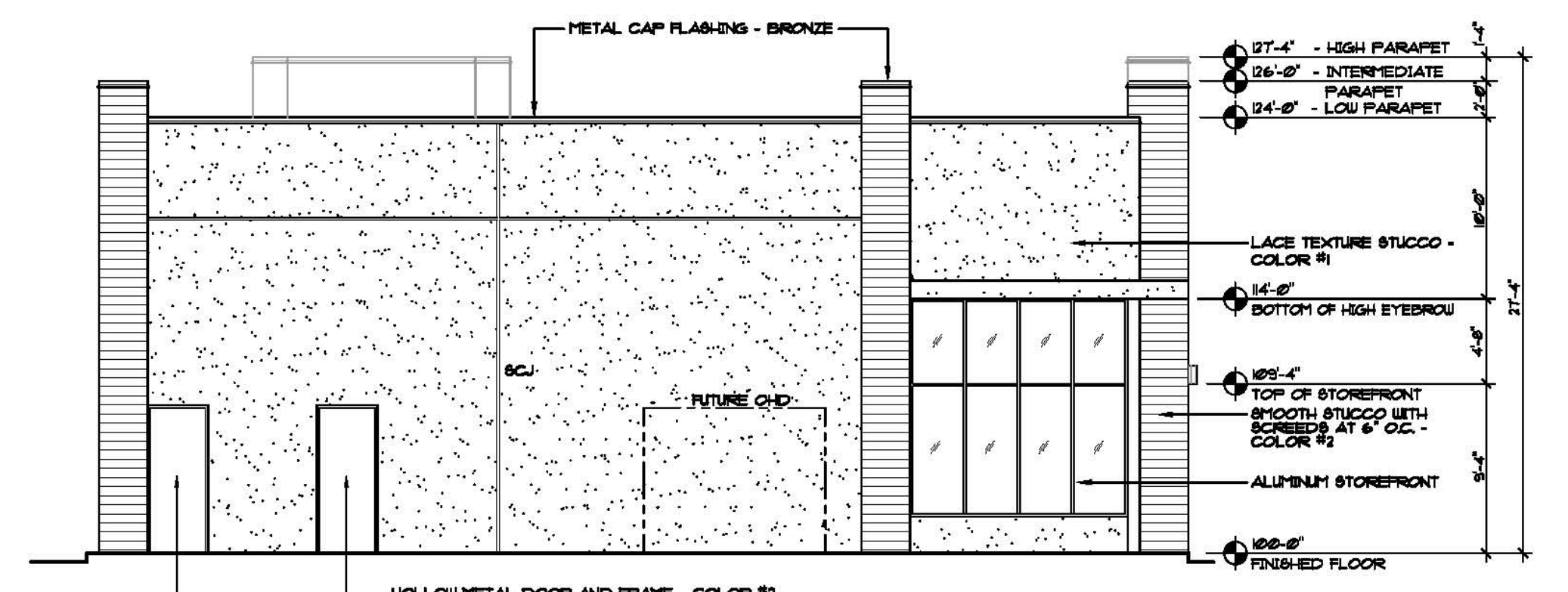
NORTH ELEVATION - BUILDING #3
 1/8" = 1'-0"



WEST ELEVATION - BUILDING #3
 1/8" = 1'-0"



SOUTH ELEVATION - BUILDING #3
 1/8" = 1'-0"



EAST ELEVATION - BUILDING #3
 1/8" = 1'-0"

BUILDING TENANT WALL SIGN CALCULATIONS

- Building #3: Frontage = 1 S.F. Per Lineal Foot
 - Signs #1 - 4:
 - Frontage = 24' - 0" (facing parking lot)
 - Maximum Area = 24 S.F.
 - Actual Area = 24 S.F.
 - Length = 10.00 Feet
 - Height = 2.00 Feet
 - Signs #5 - 8:
 - Facing Lake Worth Road
 - Maximum Area = 24 S.F.
 - Actual Area = 24 S.F.
 - Length = 12.00 Feet
 - Height = 2.00 Feet

2.) Master sign program by others.

COLOR SELECTIONS:

- COLOR #1 - SHERWIN WILLIAMS #7086 - EXTRA WHITE
- COLOR #2 - SHERWIN WILLIAMS #6076 - TURKISH COFFEE
- COLOR #3 - SHERWIN WILLIAMS #7653 - SILVER POINTE
- STOREFRONT FRAMES AND DOORS - MILL FINISH
- HOLLOW METAL - COLOR #2
- GLASS - BRONZE TINT AND / OR CLEAR

REVISIONS	BY

KUOPPALA & ASSOCIATES, P.A.
 ARCHITECTS
 LICENSE #AAC-001689
 ROBERT E. KUOPPALA
 FLORIDA ARCHITECT #481
 925 SOUTH MILITARY TRAIL, SUITE D-10
 WEST PALM BEACH, FLORIDA 33415
 (561) 682-1909 - OFF.
 (561) 682-1975 - FAX.

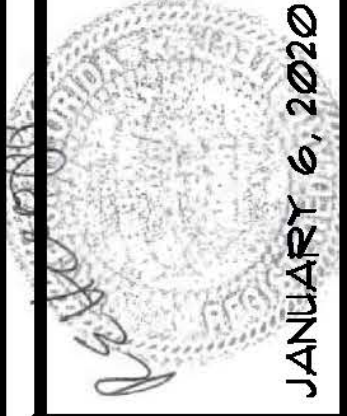


PROPOSED OFFICE / RETAIL PLAZA / WAREHOUSE PLAZA
2202 LAKE WORTH ROAD, LLC.
 2202 LAKE WORTH ROAD
 LAKE WORTH BEACH, FLORIDA

DRAWN GUT
CHECKED KUOPPALA
DATE JANUARY 6, 2020
SCALE AS NOTED
CONV. NO. 18-23
SHEET A-3
OF 3 SHEETS

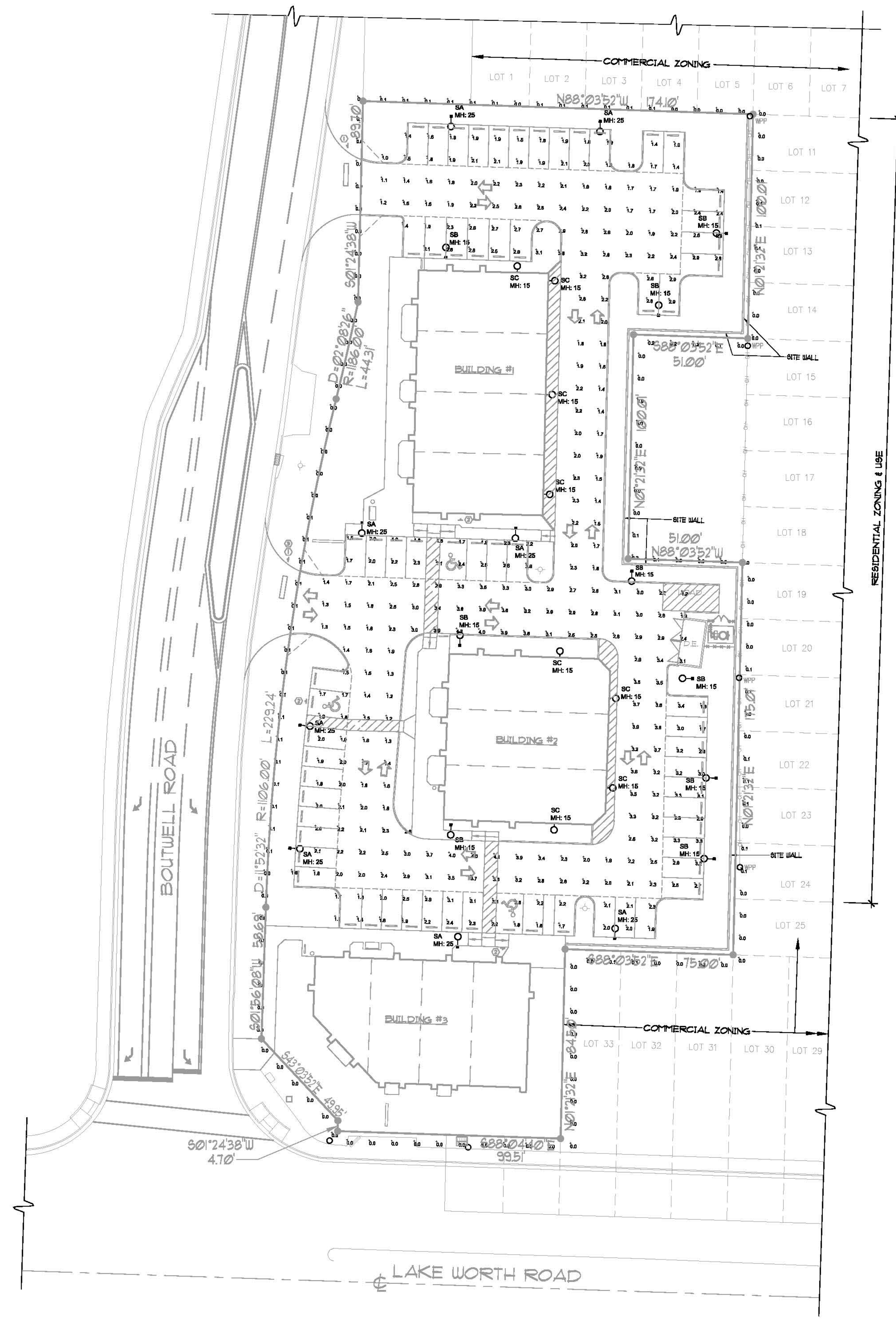
REVISIONS	BY

KUOPPALA & ASSOCIATES, P.A.
ARCHITECTS
 LICENSE #AC-001666
 ROBERT E. KUOPPALA
 FLORIDA ARCHITECT #4461
 925 SOUTH MILITARY TRAIL, SUITE D-10
 WEST PALM BEACH, FLORIDA 33415
 (561) 682-1909-OFF.
 (561) 682-1975-FAX.

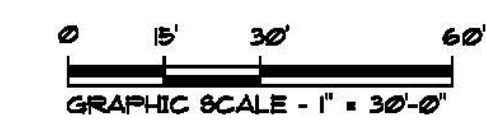


PROPOSED OFFICE / RETAIL PLAZA / WAREHOUSE PLAZA
2202 LAKE WORTH ROAD, LLC.
 2202 LAKE WORTH ROAD
 LAKE WORTH BEACH, FLORIDA

DATE: **JANUARY 6, 2020**
 SCALE: **AS NOTED**
 COMM. NO.: **18-23**
 SHEET: **SL-1**



SITE LIGHTING PLAN - REMODEL
 1" = 30'-0"



Luminaire Schedule						
Symbol	Qty	Label	Description	LLF	Lum. Lumens	
○	8	SA	HCI LTG#: F-180-CAC-120LED-4K-TYPE IV / MTD AT 25' AFG	0.900	8627	
○	9	SB	HCI LTG#: F-180-CAC-60LED-4K-TYPE IV / MTD AT 15' AFG	0.900	4627	
○	8	SC	HCI LTG#: F-180-CAC-60LED-4K-TYPE IV-HSS / WALL MTD AT 15' AFG	0.900	4627	

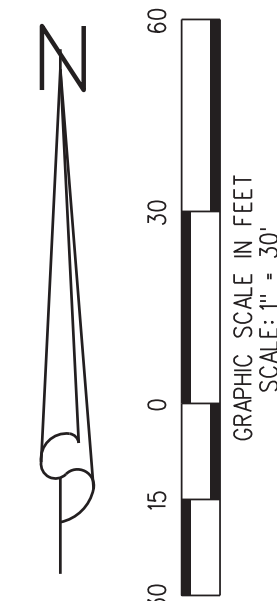
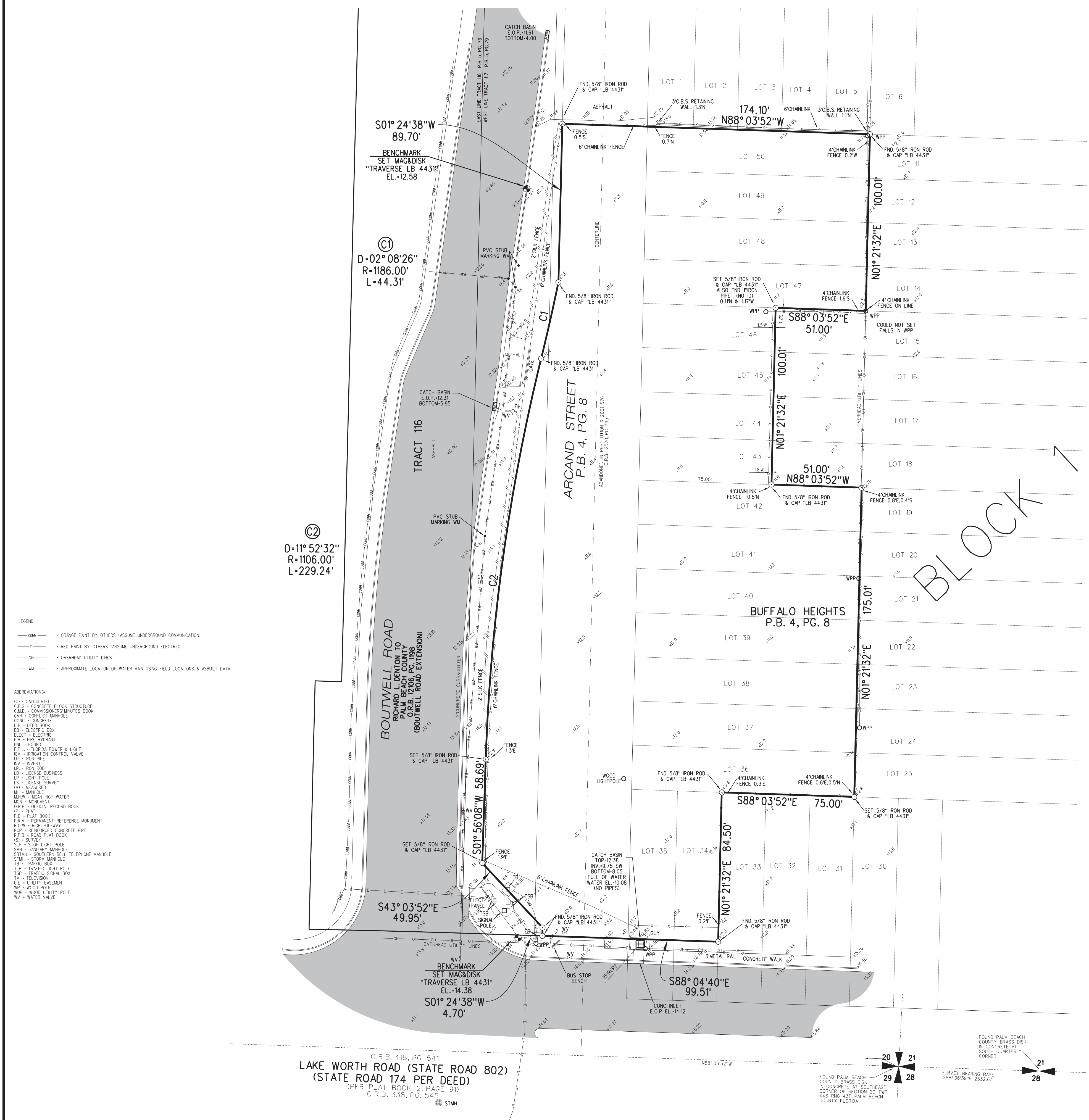
Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
PARKING AREAS	Fc		2.34	4.2	1.0	2.34
PROPERTY LINE	Fc		0.03	0.2	0.0	N.A.

SITE LIGHT POLE
 NO SCALE

NOTES:
 1.) Pole manufacturer shall design footing for 170 MPH wind load.
 2.) Fixture & pole shall be bronze finish.

HCI
 1280 Foster Drive, Mississauga, Ontario, Canada L4W 1A4
 Tel: (905) 238-2648 Fax: (905) 238-9960
 Toll Free Canada & USA 1-800-367-3175
 E: sales@hclighting.com WEB: www.hciighting.com

Diffuser Type: Clear
Diffuser Material: Tempered Glass
Hardware: Stainless steel.
Diffuser Material Holder: Die cast Aluminum and spun Aluminum.
Driver: LED high power factor mounted on a removable plate. A quick disconnect wiring system allows for fast and easy maintenance.
Wattage: 120 WATT
Voltage: -120V / 277V
CCF: -4000K
Photocontrol: None
Optical System: LED
Light Distribution: IES Type 4
Arm Material: The arm made of two 2-3/8" OD, 0.154" th Aluminum Extrusion.
Scroll Material: Scroll made of bent extruded 1" OD x 1/8" th Aluminum.
Tenon: 1/2" x 3.50" Round pole tenon.
Tenon: 2" ID Opening on Fixture side.
Pole: Steel-1 1/2" fluted, tapered (87" to 24") pole welded to steel base plate.
Base Cover: Two-piece cast aluminum attached to pole with four tamper-resistant stainless steel screws.
Anchor bolts: 4 galvanized 19mm (3/4") x 610 mm (24") long. The bolt circle template is supplied by HCI.
Bolt Circle: 211-127".
Finish: Electrostatically applied thermoset polyester powder-coat with the XL4 four part corrosion inhibiting process.



PROPERTY DESCRIPTION

ALL THAT PART OF TRACT 117, MODEL LAND COMPANY SUBDIVISION OF SECTION 20, TOWNSHIP 44 SOUTH, RANGE 43 EAST, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 5, PAGE 79, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LYING EAST OF THE EAST LINE OF THAT PARCEL OF LAND DESCRIBED IN OFFICIAL RECORD BOOK 12106, PAGE 1198, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

TOGETHER WITH:

ALL THAT PORTION OF ARCAND STREET, AS SHOWN ON THE PLAT OF BUFFALO HEIGHTS, AS RECORDED IN PLAT BOOK 4, PAGE 8, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LYING NORTH OF THE NORTH RIGHT OF WAY LINE OF LAKE WORTH ROAD (STATE ROAD 802) AS SHOWN ROAD PLAT BOOK 2, PAGE 91, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA AND LYING SOUTH OF THE WESTERLY PROLONGATION OF THE NORTH LINE OF LOT 50, AS SHOWN ON SAID PLAT, SAID PARCEL BEING A PORTION OF ARCAND STREET ABANDONED BY THE BOARD OF COUNTY COMMISSIONERS OF PALM BEACH COUNTY BY RESOLUTION R-2001-576, AND RECORDED IN OFFICIAL RECORD BOOK 12520, PAGE 395 PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

TOGETHER WITH:

LOTS 34 THROUGH 42, LESS THE SOUTH 34.0 FEET OF LOTS 34 AND 35, FOR THE RIGHT OF WAY FOR STATE ROAD 802, ALSO KNOWN AS LAKE WORTH ROAD; AND LOTS 47 THROUGH 50, ALL IN BLOCK 1 OF BUFFALO HEIGHTS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4, PAGE 8, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

TOGETHER WITH:

THE WEST 75.00 FEET OF LOTS 43, 44, 45, AND 46, BLOCK 1 OF BUFFALO HEIGHTS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4, PAGE 8, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

SURVEY REPORT

- THIS IS A BOUNDARY SURVEY.
- LEGAL DESCRIPTION WAS FURNISHED BY CLIENT AS PER OFFICIAL RECORD BOOK 18400, PAGE 388.
- BEARING BASIS: S 88°06'39" E ALONG THE SOUTH LINE OF SECTION 21/44/43
- THE SUBJECT PROPERTY LIES WITHIN FLOOD ZONE X (OUTSIDE THE 0.2% CHANCE FLOODPLAIN). PER FLOOD INSURANCE RATE MAP NO. 12099C0777E, EFFECTIVE DATE OCTOBER 5, 2017. NO SEARCH FOR ANY MAP AMENDMENTS OR REVISIONS HAS BEEN MADE BY THIS OFFICE.
- TOTAL AREA - 77,316 SQUARE FEET, MORE OR LESS.
- THERE MAY BE ADDITIONAL EASEMENTS AND/OR RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF PALM BEACH COUNTY. NO SEARCH OF THE PUBLIC RECORDS HAS BEEN PERFORMED BY LIBBERG LAND SURVEYING, INC.
- ALL FIELD-MEASURED CONTROL MEASUREMENTS EXCEEDED AN ACCURACY OF 1" IN 7,500'.
- ELEVATIONS SHOWN ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88) AND ARE REFERENCED TO PALM BEACH COUNTY BENCHMARK "S 104" ELEVATION + 14.074. BENCHMARKS SET OR FOUND FOR THIS SURVEY ARE NOTED ON THE SKETCH. NOTE TO CONVERT FROM NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88) TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D. 29) ADD 1.523 FEET.
- THIS SURVEY IS PREPARED ONLY FOR THE PARTIES LISTED BELOW AND IS NOT ASSIGNABLE. PREPARED FOR: JUAN AND SYLVIA PADRON, KEITH H. PARK, P.A., ATTORNEYS TITLE INSURANCE FUND, INC., ATTORNEYS TITLE FUND SERVICES, LLC, OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY.
- COPYRIGHT 2019 BY LIBBERG LAND SURVEYING, INC. THE SKETCH OF SURVEY AND REPORT COMPRISE THE COMPLETE SURVEY. THIS SURVEY IS NOT VALID UNLESS THE SKETCH AND REPORT ACCOMPANY EACH OTHER. REPRODUCTIONS OF THIS SURVEY ARE NOT VALID WITHOUT THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER EMPLOYED BY LIBBERG LAND SURVEYING, INC.

LIBBERG LAND SURVEYING, INC. Digitally signed by DAVID C. LIBBERG, DN: c=US, o=LIBBERG LAND SURVEYING, INC., ou=LIBBERG LAND SURVEYING, INC., cn=DAVID C. LIBBERG, 0.9.2342.19200100.100.1.1=A0109700000106E5CE8CB8000C49, dnm=20190709 09:35:19 -0400

DATE OF SURVEY: FEBRUARY 7, 2019

BY: DAVID C. LIBBERG, PROFESSIONAL SURVEYOR AND MAPPER, FLORIDA CERTIFICATE No. 3613

DATE	REVISIONS	BY:
03/07/19	UPDATE SURVEY - ROD TOPO - 405-0611048 - AN - FB 145/03-03 (FILE)	R.J.W.
05/10/13	UPDATE SURVEY - 05-0611044 - F.B. 843/47 - JP	L.J.C.
07/07/11	UPDATE SURVEY - 05-0611044 - F.B. 607/54 - KF	L.J.C.

LIBBERG LAND SURVEYING, INC.
 675 West Indiantown Road, Suite 200,
 Jupiter, Florida 33458 TEL. 561-746-8454

**BOUNDARY SURVEY
 BUFFALO HEIGHTS**
 PREPARED FOR:
JUAN AND SYLVIA PADRON

CAD.	K:\UST\204443\05-0611005-0611005.DGN		
REF.			
FLD.	B.D.	FB. PG.	JOB 05-061-100
OFF.	L.J.C.	473 08	DATE 05/25/05
CKD.	D.C.L.	SHEET 1 OF 1	DWG. 005-061



Litterick Landscape Architecture

2740 SW Martin Downs Blvd. #199 Palm City, FL 34990 561-719-3876 JasonLA1677@yahoo.com

Project Name

PROPOSED OFFICE / RETAIL PLAZA / WAREHOUSE PLAZA

2202 LAKE WORTH ROAD, LLC.

2202 LAKE WORTH ROAD LAKE WORTH BEACH, FLORIDA

Landscape Architect of Record



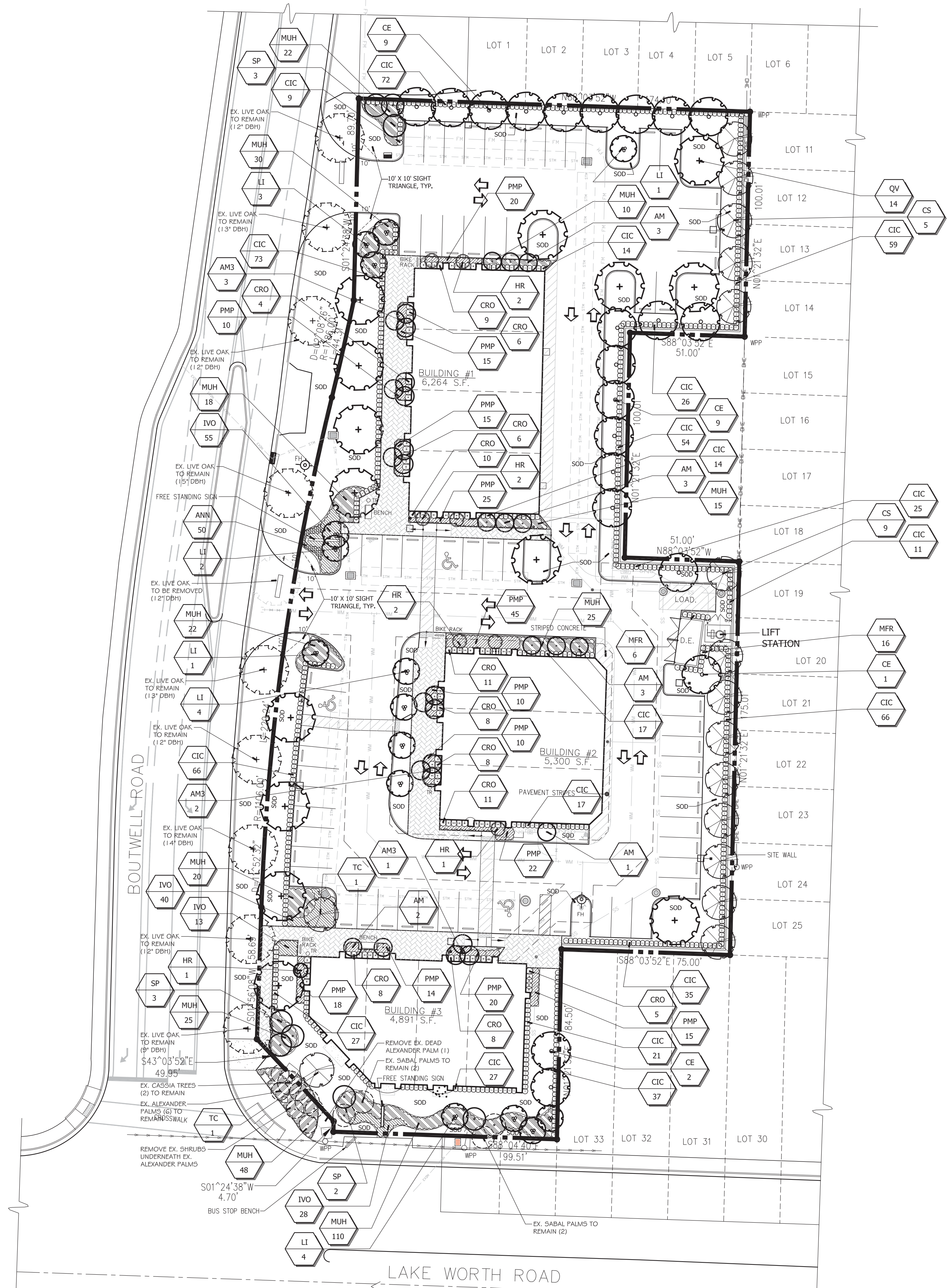
Jason M. Litterick, RLA (LA0001677)

Scale: 1" = 30'-0"

Designed: JML Drawn: JML Approved: JML Date: 7/17/19 Job no. 10/7/19 Revisions: 1/16/20

Sheet No.

LP-1



PLANT LIST

Table with columns: SYM, QTY, BOTANICAL NAME, COMMON NAME, HEIGHT, SPR., NOTES. Lists various plant species like Quercus virginiana, Adonidia merrillii, Tabebuia caraiba, etc.

KEY: * ASTERISK DENOTES NATIVE PLANT MATERIAL. V INDICATES VERY DROUGHT TOLERANT PLANT MATERIAL. M INDICATES MODERATELY DROUGHT TOLERANT PLANT MATERIAL. SOD: ST. AUGUSTINE 'FLORITAM'. MULCH: 3" SHREDDED MELALEUCA MULCH (OR APPROVED RECYCLED MULCH) TO BE APPLIED TO ALL PLANTING BEDS.

IRRIGATION NOTE: ALL NEW AND EXISTING LANDSCAPE AREAS SHALL RECEIVE 100% OVERLAP COVERAGE FROM A FULLY AUTOMATIC IRRIGATION SYSTEM EQUIPPED WITH A RAIN SENSOR. IRRIGATION WATER SOURCE: WELL & PUMP.

LANDSCAPE NOTES

- 1. ALL PLANT MATERIAL SHALL BE FLORIDA NUMBER 1 OR BETTER AS DEFINED BY THE DIVISION OF PLANT INDUSTRY 'GRADES AND STANDARDS' LATEST EDITION. 2. ALL LANDSCAPE SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF LAKE WORTH CODE. 3. THE LANDSCAPE CONTRACTOR SHALL NOT MAKE ANY SUBSTITUTIONS CHANGES WITHOUT THE AUTHORIZATION OF THE CITY OF LAKE WORTH, THE OWNER, AND THE LANDSCAPE ARCHITECT.

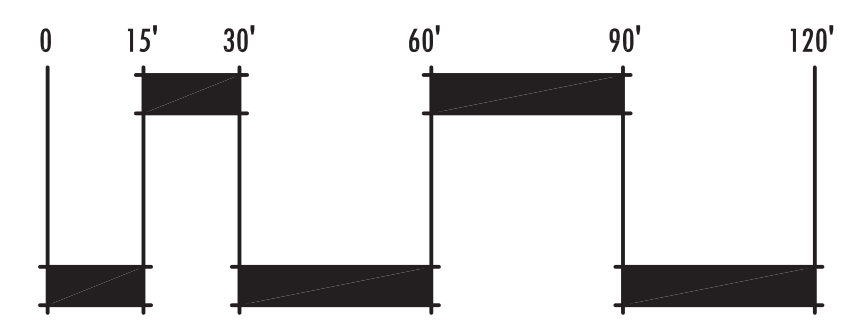
LANDSCAPE DATA:

LOT SIZE: 77,316 S.F. (1.77 ACRES) LANDSCAPE AREA PROVIDED (OPEN SPACE): 19,987 S.F. (25.86%) VEHICULAR USE AREA: 33,427.77 S.F. INTERIOR LANDSCAPE AREA REQ'D.: 6,685.6 S.F. (MIN. 20% OF VEH. USE AREA) INTERIOR LANDSCAPE AREA PROVIDED: 6,730.4 S.F. INTERIOR TREES REQUIRED: 27 TREES (1/250 S.F. OF REQ'D INT. LAND. AREA) INTERIOR TREES PROVIDED: 29 TREES MAX. # OF PALMS ALLOWED: 20 PALMS (20% MAX) # OF PALMS PROVIDED: 20 PALMS (20%)



Know what's below Call before you dig.

Landscape Plan

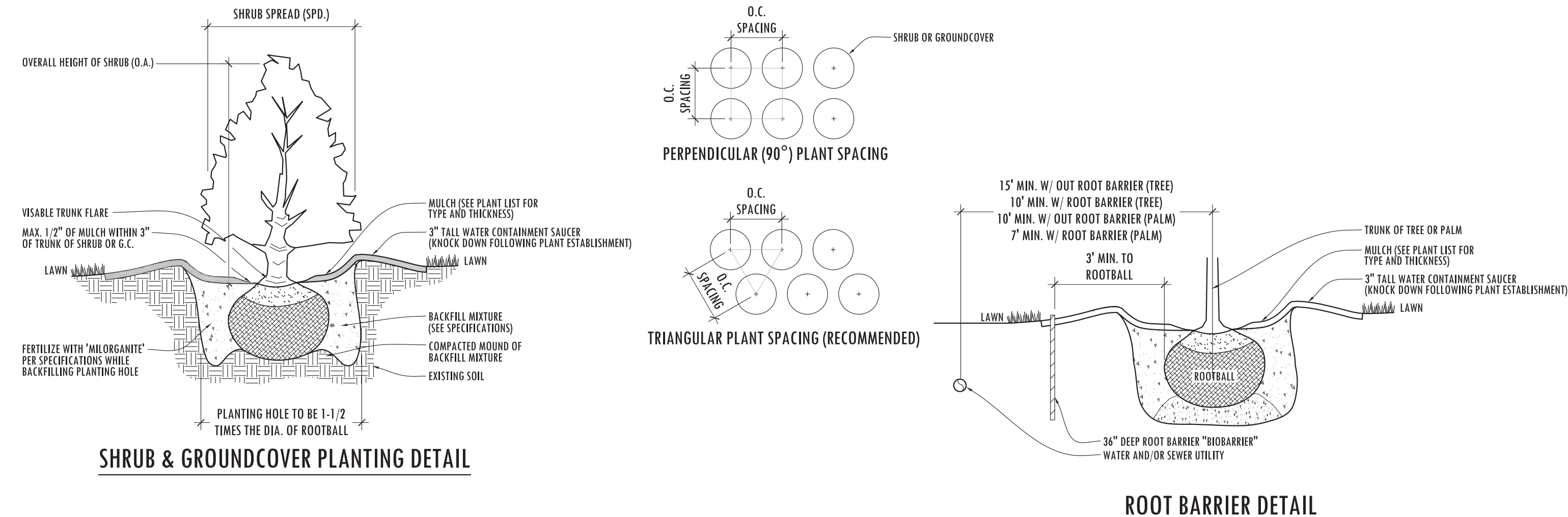
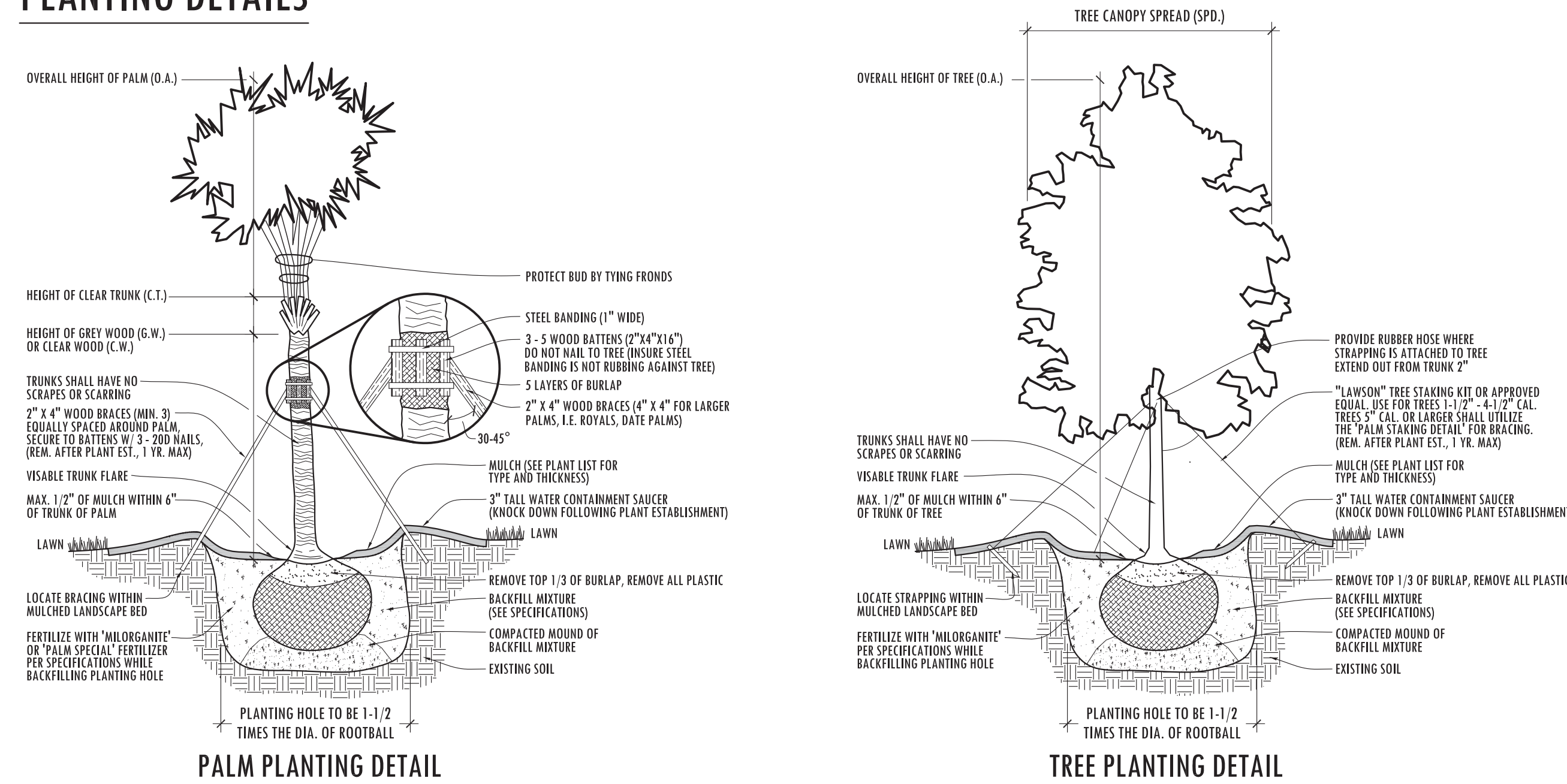


REFER TO SHEET LP-2 FOR PLANTING DETAILS AND SPECIFICATIONS

PLANT LIST

SEE SHEET LP-1 FOR PLANT LIST

PLANTING DETAILS



PLANTING SPECIFICATIONS

1. SCOPE OF WORK
 LANDSCAPE CONTRACT WORK INCLUDES, BUT IS NOT LIMITED TO, SOIL PREPARATION, FINE OR FINISH GRADING, FURNISHING AND INSTALLING PLANT MATERIAL, WATERING, STAKING, GUYING AND MULCHING.

ALL LABOR AND MATERIAL FOR SOIL AMENDMENTS AND FERTILIZER THAT IS REQUIRED TO INSURE THE SUCCESSFUL ESTABLISHMENT AND SURVIVAL OF THE PROPOSED VEGETATION, AS WELL AS ALL THE COST FOR THE REMOVAL OF UNSUITABLE OR EXCESS BACKFILL MATERIAL, SHALL BE INCLUDED IN THE CONTRACTOR'S BID TO PERFORM THE WORK REPRESENTED IN THIS PLAN SET.

2. QUALITY ASSURANCE
 LANDSCAPE CONTRACTOR MUST BE REGULARLY ENGAGED IN THE INSTALLATION OF LIVING PLANT MATERIAL. LABOR CREWS SHALL BE CONTROLLED AND DIRECTED BY A LANDSCAPE FOREMAN WELL VERSED IN LANDSCAPE INSTALLATION, PLANT MATERIALS, READING PLANS AND COORDINATION BETWEEN THE JOB AND NURSERY.

THE LANDSCAPE CONTRACTOR AND IRRIGATION CONTRACTOR SHALL REVIEW LAYOUT AND SCHEDULING PRIOR TO INSTALLATION OF MATERIAL. MINOR ADJUSTMENT TO IRRIGATION DESIGN MAY BE MADE IN RESPONSE TO THE NEEDS OF SPECIFIC PLANT MATERIAL. THE LANDSCAPE ARCHITECT MUST BE NOTIFIED OF SUCH CHANGES.

3. MATERIALS
PLANT SIZE AND QUALITY
 PLANT SPECIES AND SIZES SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARD PLANT NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS PARTS I & II, LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE FLORIDA GRADE NUMBER 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. TIGHTLY KNIT PLANT, SO TRAINED OR FAVORED IN ITS DEVELOPMENT THAT FIRST APPEARANCE IS UNQUESTIONABLE AND IT IS OUTSTANDINGLY SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL BE FRESHLY DIGG, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND FREE OF DISEASE AND INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES AND PALMS FOR PLANTING ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT. THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY AND FLORIDA NUMBER 1. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT. ALL PLANTS SHALL BE FREE OF WEEDS OR ANY OTHER OBJECTIONABLE VEGETATION.

ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS OF GOOD QUALITY AND BE IN A HEALTHY GROWING CONDITION.

CONTAINER GROWN PLANTS SHALL HAVE A DEVELOPED ROOT STRUCTURE SO THAT THE ROOT MASS STAYS IN TACT WHEN REMOVED FROM CONTAINER. IN NO CASE SHALL THE PLANT CONTAIN CIRCLING ROOTS NOR BE ROOT-BOUND.

QUANTITIES
 ALL QUANTITIES INDICATED ON THE PLANT LIST ARE INTENDED AS A GUIDE FOR THE BIDDERS AND DOES NOT RELIEVE THE BIDDER OF HIS RESPONSIBILITY TO DO A COMPREHENSIVE PLANT TAKE OFF. SHALL A DISCREPANCY OCCUR BETWEEN THE BIDDER'S TAKE OFF AND THE PLANT LIST QUANTITY, THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED FOR CLARIFICATION PRIOR TO THE SUBMISSION OF THE BID.

MULCH
 MULCH SHALL BE A SHREDDED VARIETY AS SPECIFIED IN THE PLANT LIST. ALL MULCH IS TO BE APPLIED TO A DEPTH OF 3" EXCEPT FOR THOSE SPECIFIC SITUATIONS SHOWN BELOW IN SECTION 4 AND IN PLANTING DETAILS.

FERTILIZER
 FERTILIZER IN BACKFILL MIXTURE FOR ALL PLANTS SHALL CONSIST OF "MILORGANITE" ACTIVATED SLUDGE MIXED WITH THE BACKFILL AT A RATE OF NOT LESS THAN 50 LBS. PER CUBIC YARD.

FERTILIZER FOR TREES AND SHRUBS MAY BE TABLET FORM OR GRANULAR. GRANULAR FERTILIZER SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE-FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED BAGS, EACH BEARING THE MANUFACTURER'S STATEMENT OF ANALYSIS. FERTILIZE ALL NEW PLANTINGS PER RATES SHOWN BELOW:

TREES:
 FERTILIZE NEW TREES WITH "MILORGANITE" AT THE FOLLOWING RATES:
 - 8' AND SMALLER: 2-4 LBS.
 - 8'-12' TALL: 4-6 LBS.
 - 12' AND TALLER: 6-8 LBS.
 (3 CUPS = 1 LB.)

SHRUBS:
 FERTILIZE NEW SHRUBS AND ACCENTS WITH "MILORGANITE" AT THE FOLLOWING RATES:
 - 4-6" POTS: 1/2 CUP
 - 1 GAL.: 1/2 CUP
 - 3 GAL.: 1 CUP
 - 7-10 GAL.: 2 CUPS
 - 15 GAL. AND GREATER: 3 CUPS

PALM TREES:
 FERTILIZE NEW PALM TREES WITH A "PALM SPECIAL" FERTILIZER IN SLOW RELEASE FORM. FERTILIZER SHALL CONTAIN AN ADDITIONAL MAGNESIUM AND MICRO-NUTRIENT AMENDMENT

SOIL
 PLANTING SOIL SHALL BE SANDY LOAM AND SHALL CONTAIN A 25% MINIMUM AMOUNT OF DECOMPOSED ORGANIC MATTER. PLANTING SOIL SHALL BE FREE OF CLAY, STONES, PLANTS, ROOTS AND OTHER FOREIGN MATERIALS WHICH MIGHT BE A HINDRANCE TO PLANTING OPERATIONS OR BE DETRIMENTAL TO GOOD PLANT GROWTH. SOIL SHALL BE DELIVERED IN A LOOSE FRABLE CONDITION AND APPLIED IN ACCORDANCE WITH THE PLANTING SPECIFICATIONS.

ALL SHRUBS, TREES AND GROUND COVER WILL HAVE IMPROVED SOIL AS PER PLANTING SOIL NOTES. THE SOILS SHALL BE PLACED IN THE HOLE DURING PLANTING. TOP DRESSING ONLY IS NOT ACCEPTABLE.

DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING. ALL TREES SHALL BE SPIKED IN UTILIZING WATER AND A TREE BAR.

4. EXECUTION
 FIELD GROWN TREES AND PALMS PREVIOUSLY ROOT PRUNED SHALL OBTAIN A ROOT BALL WITH SUFFICIENT ROOTS FOR CONTINUED GROWTH WITHOUT RESULTING SHOCK.

CONTRACTOR SHALL NOT MARK OR SCAR TRUNK IN ANY FASHION.

PLANTS SHALL BE WATERED AS NECESSARY OR WITHIN 24 HOURS AFTER NOTIFICATION BY THE LANDSCAPE ARCHITECT.

THE LOCATIONS OF PLANTS, AS SHOWN IN THESE PLANS, ARE APPROXIMATE. THE FINAL LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE UNFORESEEN FIELD CONDITIONS. MAJOR ADJUSTMENTS TO THE LAYOUT ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT.

ALL PLASTIC FABRIC SHALL BE REMOVED FROM PLANT MATERIAL AT TIME OF INSTALLATION.

ALL TREES MUST BE STAKED AS SHOWN ON THE PLANTING DETAILS WITHIN 24 HOURS OF PLANTING. STAKES TO REMAIN FOR A MINIMUM OF 9 MONTHS, BUT NO LONGER THAN 18 MONTHS. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND REMOVAL OF THE STAKES.

ALL TREES MUST BE PRUNED AS PER LANDSCAPE ARCHITECT'S DIRECTION. SABAL PALMS MAY BE HURRICANE CUT.

ALL SHRUBS, TREES AND GROUND COVER WILL HAVE IMPROVED SOIL AS PER PLANTING SOIL NOTES. THE SOILS SHALL BE PLACED IN THE HOLE DURING PLANTING. TOP DRESSING ONLY IS NOT ACCEPTABLE.

DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING. ALL TREES SHALL BE SPIKED IN UTILIZING WATER AND A TREE BAR.

AFTER FINAL SETTLING OF RAILED AND BURLAP PLANTS, LOOSEN BURLAP WRAPPING EXPOSING THE TOP OF THE ROOTBALL, LEAVING THE BALL UNBROKEN. REMOVE EXCESS AMOUNTS OF BURLAP TO ELIMINATE VOIDS WHICH MAY BE CAUSED UPON DECOMPOSITION.

CONTAINER GROWN PLANTS SHALL, WHEN DELIVERED, SHALL HAVE SUFFICIENCY GROWTH TO HOLD EARTH INTACT WHEN REMOVED FROM CONTAINER AND SHALL NOT BE ROOT BOUND. PLANT PITS FOR CONTAINER MATERIALS SHALL BE FORMED FLAT ON THE BOTTOM TO AVOID AIR POCKETS AT THE BOTTOM OF ROOT BALLS AND CONTAINERS SHALL BE REMOVED CAREFULLY TO PREVENT DAMAGE TO THE PLANT OR ROOT SYSTEMS.

TEST TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. PITS WHICH ARE FOUND NOT TO BE ADEQUATELY DRAINING SHALL BE EXCAVATED TO A DEPTH SUFFICIENT FOR DRAINAGE AND BACKFILLING WITH GRAVEL OR CRUSHED ROCK. NO ALLOWANCES WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE.

PLANTING BED PREPARATION
 ALL PLANTING BEDS SHALL BE PROPERLY PREPARED PRIOR TO THE COMMENCEMENT OF ANY PLANTING. PLANTING AREAS, INCLUDING LAWNS SHALL BE FREE OF ALL WEEDS AND NUISANCE VEGETATION. IF TORPEDO GRASS (PANICUM REPENS) IS PRESENT OR ENCOUNTERED DURING PLANTING, THE LANDSCAPE CONTRACTOR SHALL STOP ALL PLANTING UNTIL IT CAN BE DEMONSTRATED THAT IT HAS BEEN COMPLETELY REMOVED OR ERADICATED. THERE SHALL BE NO EXCEPTIONS TO THIS PROVISION.

ALL LANDSCAPE ISLANDS AND BEDS WILL BE FREE OF SHELL ROCK AND CONSTRUCTION DEBRIS AND WILL BE EXCAVATED TO A DEPTH OF 30 INCHES OR TO CLEAN, NATIVE SOIL AND FILLED WITH THE SPECIFIED BACKFILL MIXTURE.

PLANTING TREES
 EXCAVATE PIT AS PER PLANTING DETAILS. COMPACT LAYER OF TOPSOIL IN PIT WITH A SLIGHTLY DISHED GRADE TO CENTER.

BACKFILL AROUND BALL WITH TOPSOIL AND SLIGHTLY COMPACT, WATER THOROUGHLY AS LAYERS ARE PLACED TO ELIMINATE VOIDS AND AIR POCKETS. BUILD A 6" HIGH BERM OF TOPSOIL BEYOND EDGE OF EXCAVATION. APPLY 3" (AFTER SETTLEMENT) OF MULCH.

PRUNE TREE TO REMOVE DAMAGED BRANCHES, IMPROVE NATURAL SHAPE AND THIN OUT STRUCTURE. DO NOT REMOVE MORE THAN 15% OF BRANCHES. DO NOT PRUNE BACK TERMINAL LEADER.

GUY AND STAKE TREE IN ACCORDANCE WITH THE STAKING DETAILS IMMEDIATELY AFTER PLANTING.

PLANTING SHRUBS
 LAYOUT SHRUBS TO CREATE A CONTINUOUS SMOOTH FRONT LINE AND FILL IN BEHIND.

EXCAVATE PIT OR TRENCH TO 1-1/2 TIMES THE DIAMETER OF THE BALLS OR CONTAINERS OR 1'-0" WIDER THAN THE SPREAD OF ROOTS AND 3" DEEPER THAN REQUIRED FOR POSITIONING AT PROPER HEIGHT. COMPACT A LAYER OF TOPSOIL IN BOTTOM BEFORE PLACING PLANTS. BACKFILL AROUND PLANTS WITH PLANTING MIXTURE, COMPACTED TO ELIMINATE VOIDS AND AIR POCKETS. FORM GRADE SLIGHTLY DISHED AND BERMED AT EDGES OF EXCAVATION. APPLY 3" OF MULCH.

PRUNE SHRUBS TO REMOVE DAMAGED BRANCHES, IMPROVE NATURAL SHAPE AND THIN OUT STRUCTURE. DO NOT REMOVE MORE THAN 15% OF BRANCHES.

PLANTING GROUND COVER
 LOOSEN SUBGRADE TO DEPTH OF 4" IN AREAS WHERE TOPSOIL HAS BEEN STRIPPED AND SPREAD SMOOTH.

SPACE PLANTS AS OTHERWISE INDICATED. DIG HOLES LARGE ENOUGH TO ALLOW SPREADING OF ROOTS. COMPACT BACKFILL TO ELIMINATE VOIDS AND LEAVE GRADE SLIGHTLY DISHED AT EACH PLANT. WATER THOROUGHLY. APPLY 3" OF MULCH OVER ENTIRE PLANTING BED, LIFTING PLANT FOLIAGE ABOVE MULCH. PURPLE QUEEN GROUND COVER, IF SPECIFIED, SHALL ONLY RECEIVE 1" OF MULCH.

DURING PERIODS OF HOT SUN AND/OR WIND AT TIME OF PLANTING, PROVIDE PROTECTIVE COVER FOR SEVERAL DAYS OR AS NEEDED.

PLANTING SOD
 SODDING: SOD TYPE SPECIFIED ON PLANT LIST SHALL BE MACHINE STRIPPED NOT MORE THAN 24 HOURS PRIOR TO LAYING. SOD SHALL BE FIRM, TOUGH TEXTURE, HAVING A COMPACT GROWTH OF GRASS WITH GOOD ROOT DEVELOPMENT, AND SHALL CONTAIN NO BERMUDDA GRASS, WEEDS OR ANY OTHER OBJECTIONABLE VEGETATION.

LOOSEN SUBGRADE TO DEPTH OF 4" AND GRADE WITH TOPSOIL EITHER PROVIDED ON SITE OR IMPORTED TO FINISH DESIGN ELEVATIONS. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO FINISH GRADE ALL LANDSCAPE AREAS, ELIMINATING ALL BUMPS, DEPRESSIONS, STICKS, STONES AND OTHER DEBRIS. ROLL PREPARED LAWN SURFACE. WATER THOROUGHLY, BUT DO NOT CREATE MUDDY SOIL CONDITION.

FERTILIZE SOIL AT THE RATE OF APPROXIMATELY 1 LBS. PER 1,000 S.F. SPREAD FERTILIZER OVER THE AREA TO RECEIVE GRASS BY USING AN APPROVED DISTRIBUTION DEVICE CALIBRATED TO DISTRIBUTE THE APPROPRIATE QUANTITY. DO NOT FERTILIZE WHEN WIND VELOCITY EXCEEDS 15 M.P.H. THOROUGHLY MIX FERTILIZER INTO THE TOP 2" OF TOPSOIL.

LAY SOD STRIPS WITH TIGHT JOINTS. DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES. WORK SIFTED SOIL MIX INTO MINOR CRACKS BETWEEN PIECES OF SOD AND REMOVE EXCESS SOIL DEPOSITS FROM SODDED AREAS. SOD ON SLOPES GREATER THAN 3:1 SHALL BE STAKED IN PLACE. ROLL OR STAMP LIGHTLY AND WATER THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING.

5. MISCELLANEOUS LANDSCAPE WORK
LANDSCAPE MAINTENANCE
 MAINTAIN LANDSCAPE WORK IMMEDIATELY AFTER PLANTING AND UNTIL FINAL ACCEPTANCE IS ISSUED BY THE OWNER'S REPRESENTATIVE. INCLUDE WATERING, WEEDING, CULTIVATING, RESTORATION OF GRADE, MOWING AND TRIMMING GRASS, PRUNING TREES AND SHRUBS, PROTECTION FROM INSECTS AND DISEASES, FERTILIZING AND SIMILAR OPERATIONS AS NEEDED TO INSURE NORMAL GROWTH AND GOOD HEALTH FOR LIVE PLANT MATERIAL. SETTLED PLANTS SHALL BE RESET TO PROPER GRADE, PLANTING SAUCERS RESTORED, AND DEFECTIVE WORK CORRECTED.

IN THE EVENT OF SERIOUS DAMAGE FROM INSECTS OR DISEASE PRIOR TO FINAL ACCEPTANCE, THE PLANTS SHALL BE TREATED BY PREVENTATIVE OR REMEDIAL MEASURES APPROVED FOR GOOD HORTICULTURAL PRACTICE AT NO ADDITIONAL COST TO THE OWNER.

CLEAN UP
 THE LANDSCAPE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR DEBRIS CAUSED BY HIS CREWS DURING THE PERFORMANCE OF THE WORK. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL PROMPTLY REMOVE ALL WASTE MATERIALS, DEBRIS, UNUSED PLANT MATERIAL, EMPTY PLANT CONTAINERS AND ALL EQUIPMENT FROM THE PROJECT SITE.

ANY SOIL, PEAT OR SIMILAR MATERIAL WHICH HAS BEEN BROUGHT ONTO ANY PAVED AREAS SHALL BE REMOVED PROMPTLY KEEPING THESE AREAS CLEAN AS THE WORK PROGRESSES. UPON COMPLETION OF THE PLANTING, ALL EXCESS SOIL, STONES AND DEBRIS WHICH HAS NOT BEEN PREVIOUSLY CLEANED UP SHALL BE REMOVED FROM THE SITE.

INSPECTION & ACCEPTANCE
 THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT UPON COMPLETION OF THE WORK TO REQUEST A FINAL INSPECTION OF THE INSTALLATION AND PLANT MATERIALS. THE LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE WILL NOTIFY THE LANDSCAPE CONTRACTOR OF ANY DEFICIENCIES AS A "PUNCH LIST" WHICH SHALL BE PROMPTLY CORRECTED BY THE LANDSCAPE CONTRACTOR. CONDITIONAL LANDSCAPE ACCEPTANCE OF ALL PLANT MATERIAL AND WORKMANSHIP WILL BE GIVEN IN WRITING BY THE LANDSCAPE ARCHITECT AFTER ALL "PUNCH LIST" ITEMS HAVE BEEN CORRECTED AND ANY PLANT REPLACEMENTS MADE. THIS ACCEPTANCE WILL BEGIN THE WARRANTY PERIOD. DEFICIENCIES NOTED AFTER THE CONDITIONAL LANDSCAPE ACCEPTANCE SHALL BE RECTIFIED DURING THE WARRANTY PERIOD AND PRIOR TO FINAL LANDSCAPE ACCEPTANCE.

GUARANTEE AND REPLACEMENT
 ALL PLANT MATERIAL AND WORKMANSHIP SHALL BE GUARANTEED BY THE LANDSCAPE CONTRACTOR FOR A PERIOD OF SIX (6) MONTHS FROM THE DATE OF CONDITIONAL LANDSCAPE ACCEPTANCE BY THE LANDSCAPE ARCHITECT. ANY PLANT MATERIAL OR WORKMANSHIP THAT IS DEFICIENT OR HAS DIED SHALL BE REPLACED AT THE SAME SPECIFICATION NOTED IN THE APPROVED LANDSCAPE PLANS. REPLACEMENTS SHALL BE MADE BY THE LANDSCAPE CONTRACTOR WITHIN TWO (2) WEEKS OF NOTIFICATION BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER. WARRANTIES OF REPLACEMENT MATERIAL SHALL BE SIX (6) MONTHS FROM THE DATE OF REPLACEMENT INSTALLATION. DEATH OR DAMAGE RESULTING FROM LIGHTNING, VANDALISM OR AUTOMOBILES OR BY NEGLIGENCE BY THE OWNER SHALL NOT BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. UNLESS OTHERWISE ARRANGED WITH THE OWNER, THE CONTRACTOR IS RESPONSIBLE FOR GENERAL PLANT MAINTENANCE INCLUDING WATERING AND MOWING UP UNTIL THE DATE OF CONDITIONAL ACCEPTANCE.

PLANT MATERIAL SUBSTITUTION
 THERE WILL BE NO SUBSTITUTION OF PLANT MATERIAL UNLESS AUTHORIZED BY THE LANDSCAPE ARCHITECT AND/OR OWNER. THIS INCLUDES SPECIES AND SIZE OF PLANT MATERIAL.



Litterick Landscape Architecture
 2740 SW Martin Downs Blvd. #199
 Palm City, FL 34990
 561-719-3876
 JasonLA1677@yahoo.com

Project Name

PROPOSED OFFICE / RETAIL PLAZA / WAREHOUSE PLAZA
2202 LAKE WORTH ROAD, LLC.
 2202 LAKE WORTH ROAD
 LAKE WORTH BEACH, FLORIDA

Landscape Architect of Record
Jason Litterick
 Digitally signed by Jason Litterick
 Date: 2020.01.15 11:51:03 -05'00'

Scale: Not to Scale

Designed:	JML
Drawn:	JML
Approved:	JML
Date:	7/17/19
Job no.:	107/19
Revisions:	1/16/20

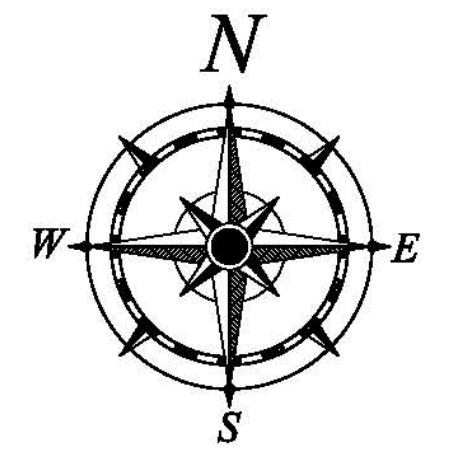
Sheet No.
LP-2

Landscape Specifications & Planting Details



**McLeod • McCarthy
& Associates, P.A.**
Civil Engineers

The Forum III
1655 Palm Beach Lakes Blvd, Ste. 901
West Palm Beach, FL 33401
P: 561.689.9500
F: 561.689.8080
www.mcleodmccarthy.com



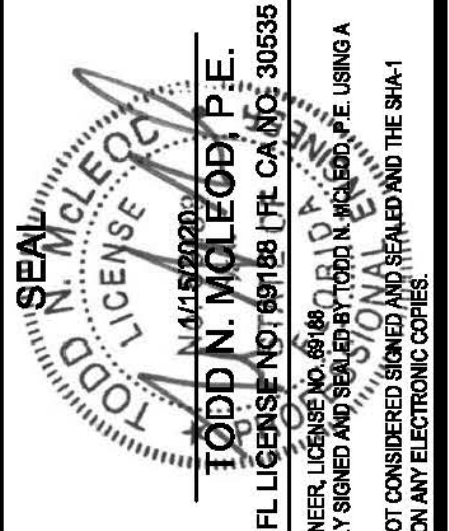
0 30 60
SCALE: 1" = 30'

LEGEND

PROP. SIGN	
SURFACE FLOW ARROW	
PROP. CONCRETE PAVEMENT	
PROP. PERMEABLE CONCRETE	
PROP. DECORATIVE CONCRETE	
PROPOSED ELEVATION	
EXIST. ELEVATION	

NOTES:

- EXIST. UTILITIES, DRAINAGE, & ELEVATIONS BASED ON SURVEY PREPARED BY LIDBERG LAND SURVEYING. CONTRACTOR SHALL VERIFY INVERTS, PIPE SIZES, AND STRUCTURE LOCATIONS PRIOR TO SUBMITTING SHOP DRAWINGS.
- ALL LANDSCAPE AREAS ADJACENT TO BUILDING SHALL BE GRADED TO DRAIN AWAY FROM BUILDING.
- CONTRACTOR SHALL CONFIRM DETECTABLE WARNING REQUIREMENTS WITH BUILDING OFFICIAL PRIOR TO INSTALLATION.
- WHERE LANDSCAPE/SOD ABUTS BUILDING SLAB, A MINIMUM 3" SLAB REVEAL SHALL BE PROVIDED.
- MAXIMUM SLOPE FROM TOP OF CURB AND BACK OF WALK TO FINISHED GRADE SHALL BE 4(H):1(V), UNLESS OTHERWISE NOTED.
- REFER TO SITE PLAN PREPARED BY KUOPPALA & ASSOCIATES FOR ADDITIONAL SITE REQUIREMENTS.
- ALL BUFFER & UNPAVED/UNLANDSCAPED AREAS SHALL BE SODDED BY CONTRACTOR.
- ALL OFFSITE DISTURBED AREAS SHALL BE SODDED BY CONTRACTOR. ALL DAMAGED CURBING, PAVEMENT, STRIPING, SIGNAGE, LANDSCAPING, ETC. SHALL BE RESTORED BY CONTRACTOR.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR PREPARING MAINTENANCE OF TRAFFIC (MOT) PLANS AND OBTAINING ALL REGULATORY APPROVALS FOR MOT PLANS. COPIES OF APPROVED MOT PLANS SHALL BE PROVIDED TO ENGINEER PRIOR TO COMMENCING WORK.



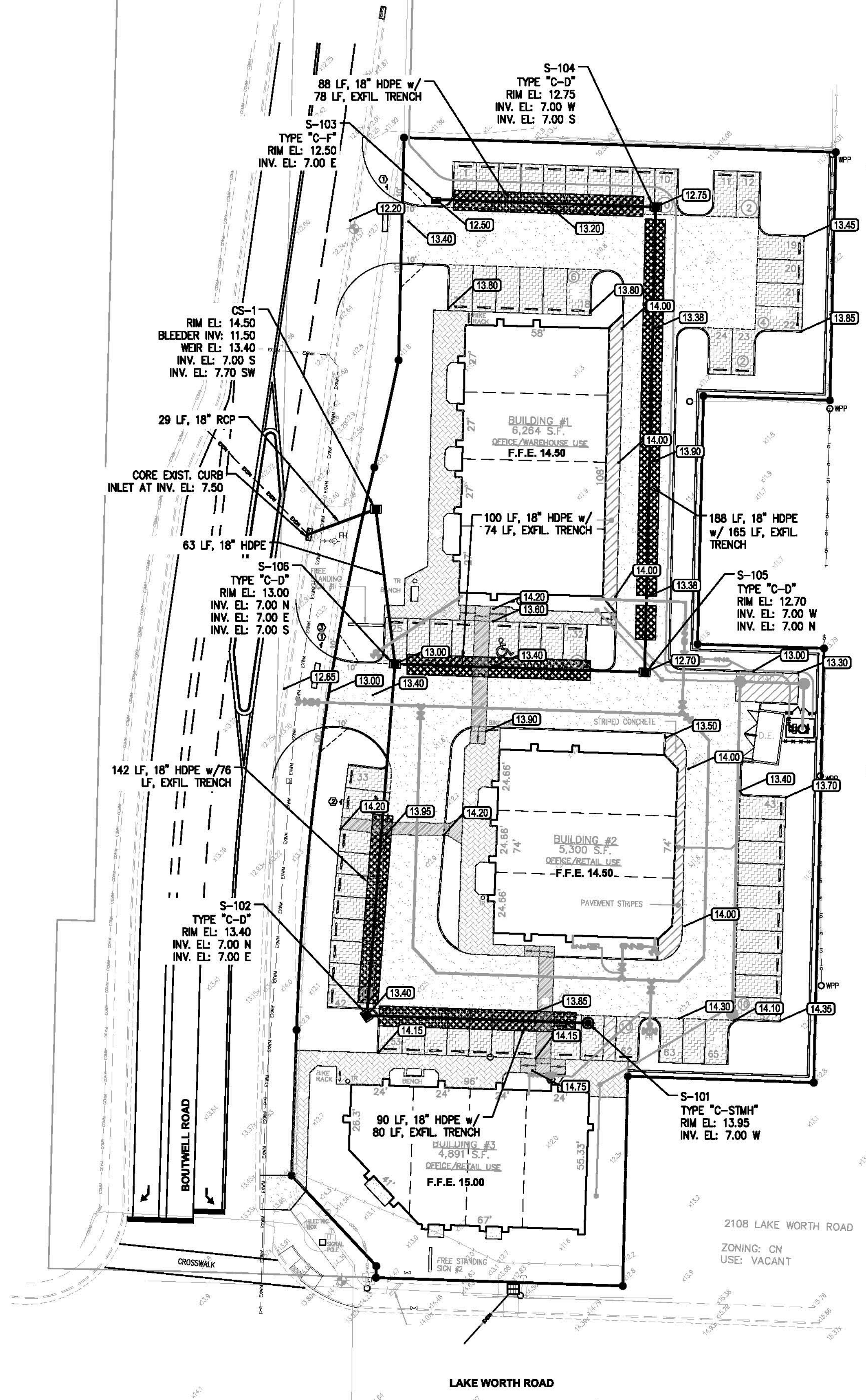
FIELD:
DRAWN: P. Saffold
DESIGNED: TMM
APPROVED: TMM
PROJECT #: 19-046

NO.	DATE	REVISIONS
2	10/20/20	REV PER NEW SITE PLAN
1	10/17/19	REV PER NEW SITE PLAN

**CONCEPTUAL PAVING, GRADING, &
DRAINAGE PLAN**
2202 LAKE WORTH ROAD, LLC
2202 LAKE WORTH ROAD
LAKE WORTH BEACH, FLORIDA

SCALE: AS SHOWN
DATE: 7/15/19

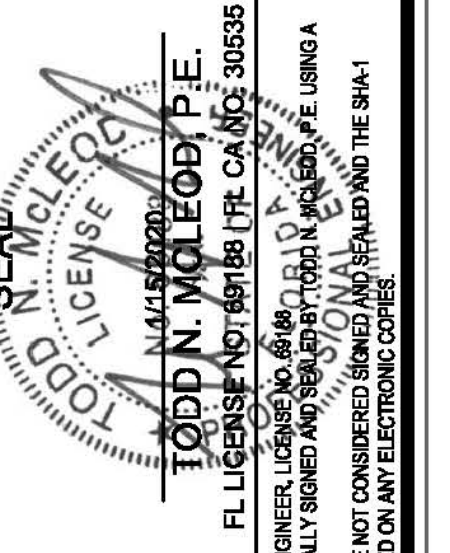
SHEET
C1.1
OF 3





**McLeod & McCarthy
& Associates, P.A.**
Civil Engineers

The Forum III
1655 Palm Beach Lakes Blvd, Ste. 901
West Palm Beach, FL 33401
P: 561.689.9500
F: 561.689.8080
www.mcleodmccarthy.com



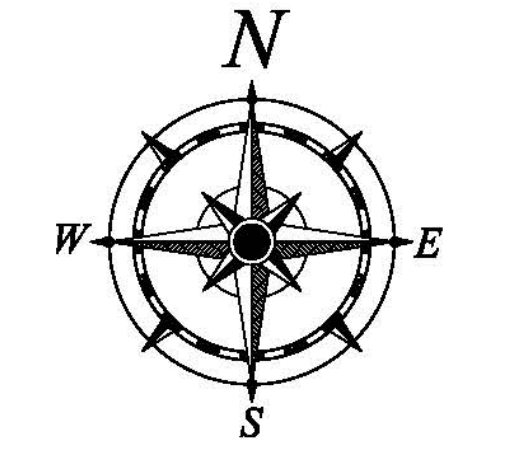
FIELD: DRAWN: P. Seiffold
DESIGNED: TMM
APPROVED: TMM
PROJECT #: 19-046

NO.	DATE	REVISIONS
2	11/20/20	REV PER NEW SITE PLAN
1	10/17/18	REV PER NEW SITE PLAN

**CONCEPTUAL WATER
& WASTEWATER PLAN**
2202 LAKE WORTH ROAD, LLC
2202 LAKE WORTH ROAD
LAKE WORTH BEACH, FLORIDA

SCALE: AS SHOWN
DATE: 7/15/19

SHEET
C1.2
OF 3



0 30 60
SCALE: 1" = 30'

LEGEND

	EASEMENT LINE
	EXISTING WATER MAIN, GATE VALVE (G.V.), TEE, F.H. AND PLUG
	EXISTING SANITARY SEWER MAIN, MANHOLE AND DIRECTION OF FLOW.
	PROPOSED WATER MAIN, GATE VALVE (G.V.), BEND AND TEE WITH FIRE HYDRANT ASSEMBLY.
	PROPOSED SANITARY SEWER MAIN, SINGLE & DOUBLE SEWER SERVICE CLEAN OUT (C.O.), MANHOLE AND
	CONCRETE
	PAVEMENT RESTORATION
	ASPHALT PAVEMENT
	UTILITY CONFLICT
	UTILITY EASEMENT

NOTES:

1. ALL WATER & SEWER FACILITIES SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH CITY OF LAKE WORTH UTILITIES DEPARTMENT STANDARDS, LATEST EDITION.
2. UTILITY LOCATIONS SHOWN BASED ON INFORMATION PROVIDED BY CLW PUBLIC SERVICES & UTILITIES DEPARTMENTS. CONTRACTOR TO FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES, AND MUST CALL 811 AT LEAST 48 HRS PRIOR TO EXCAVATION.
3. ALL UN-LANDSCAPED/UNPAVED AREAS SHALL BE SODDED UNLESS OTHERWISE NOTED.
4. CONTRACTOR SHALL PROVIDE ENGINEER AND CITY A MINIMUM OF 48 HOURS NOTICE FOR ALL INSPECTIONS.
5. ALL RPZ BACKFLOW PREVENTERS SHALL BE USC APPROVED.
6. ALL FIRELINE PIPING SHALL BE DIP AND SHALL BE PRESSURE TESTED WITH PBC FIRE RESCUE PERSONNEL PRESENT, FIRELINE JOINTS EXPOSED, AND IN ACCORDANCE WITH PBCFR/NFPA REQUIREMENTS.
7. CONTRACTOR SHALL PROVIDE ELECTRICAL SERVICE TO DCDA TAMPER SWITCHES.

NOTE: ALL WATER MAIN PIPE, INCLUDING FITTINGS, INSTALLED ON OR AFTER AUGUST 28, 2003, EXCEPT PIPE INSTALLED UNDER CONSTRUCTION PERMIT FOR WHICH THE DEPARTMENT RECEIVED A COMPLETE APPLICATION BEFORE AUGUST 28, 2003, SHALL BE COLOR CODED OR MARKED USING BLUE AS A PREDOMINANT COLOR TO DIFFERENTIATE DRINKING WATER FROM RECLAIMED OR OTHER WATER. UNDERGROUND PLASTIC PIPE SHALL BE SOLID-WALL BLUE PIPE, SHALL HAVE A CO-EXTRUDED BLUE EXTERNAL SKIN, OR SHALL BE WHITE OR BLACK WITH BLUE STRIPES INCORPORATED INTO, OR APPLIED TO, THE PIPE WALL; AND UNDERGROUND METAL OR CONCRETE PIPE SHALL HAVE BLUE STRIPES APPLIED TO THE PIPE WALL. PIPE STRIPED DURING MANUFACTURING OF THE PIPE SHALL HAVE CONTINUOUS STRIPES THAT RUN PARALLEL TO THE AXIS OF THE PIPE, THAT ARE LOCATED AT NO GREATER THAN 90-DEGREE INTERVALS AROUND THE PIPE, AND THAT WILL REMAIN INTACT DURING AND AFTER INSTALLATION OF THE PIPE. IF TAPE OR PAINT IS USED TO STRIPE PIPE DURING INSTALLATION OF THE PIPE, THE TAPE OR PAINT SHALL BE APPLIED IN A CONTINUOUS LINE THAT RUNS PARALLEL TO THE AXIS OF THE PIPE AND THAT IS LOCATED ALONG THE TOP OF THE PIPE; FOR PIPES WITH AN INTERNAL DIAMETER OF 24 INCHES OR GREATER, TAPE OR PAINT SHALL BE APPLIED IN CONTINUOUS LINES ALONG EACH SIDE OF THE PIPE AS WELL AS ALONG THE TOP OF THE PIPE. ABOVEGROUND PIPE AT DRINKING WATER TREATMENT PLANTS SHALL BE COLOR CODED AND LABELED IN ACCORDANCE WITH SUBSECTION 62-555.320(10), F.A.C., AND ALL OTHER ABOVEGROUND PIPE SHALL BE PAINTED BLUE OR COLOR CODED OR MARKED LIKE UNDERGROUND PIPE.

RECORD DRAWING NOTES:

1. RECORD DRAWINGS SHALL BE PREPARED IN THE STATE PLANE COORDINATE SYSTEM.
2. ALL UTILITY FEATURES SHALL BE SHOWN IN THEIR AS-BUILT LOCATION.
3. STATE PLANE COORDINATES SHALL BE DISPLAYED ON RECORD DRAWINGS FOR ALL FEATURES SPECIFIED IN THE CITY OF LAKE WORTH STANDARDS.
4. STATE PLANE COORDINATES SHALL BE SHOWN ON PROPERTY CORNERS.

GENERAL WATER NOTES:

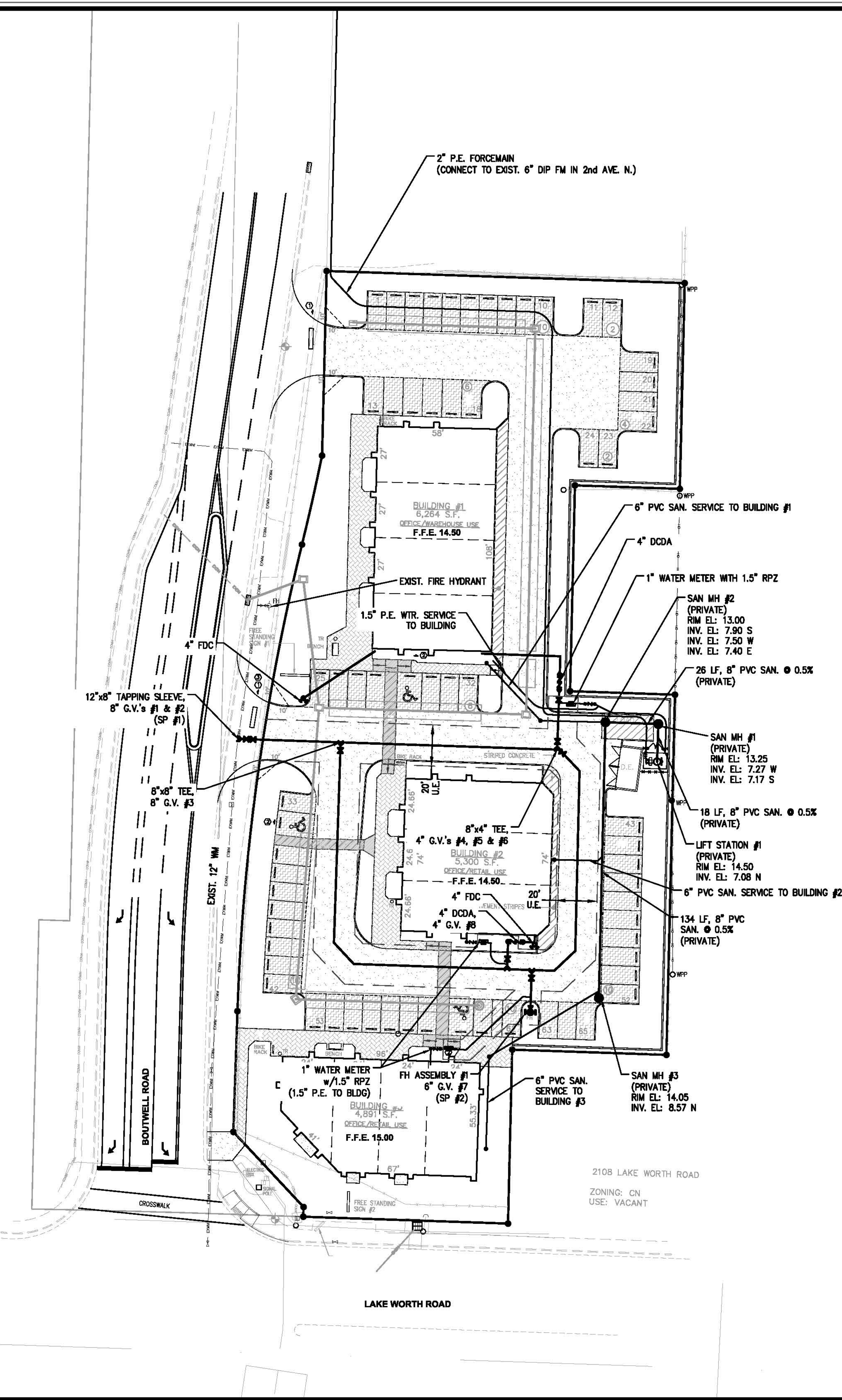
1. ALL WATER MAIN DUCTILE IRON PIPE (DIP) AND PIPE FITTINGS SHALL BE PAINTED WITH A 4" WIDE CONTINUOUS BLUE LINE THAT RUNS PARALLEL TO THE AXIS OF THE PIPE AND IS LOCATED ALONG THE TOP OF THE PIPE.
2. ALL WATER MAINS SHALL BE MARKED WITH ONE CONTINUOUS STRIP OF 6" WIDE MAGNETIC BLUE CODED TAPE IMPRINTED WITH TWO (2) INCH HIGH LETTERING READING "CAUTION - POTABLE WATER LINE BURIED BELOW" AND LOCATED APPROXIMATELY TWELVE (12) INCHES ABOVE THE CROWN OF THE PIPE. THE WORDING SHALL OCCUR EVERY THREE (3) FEET.
3. ALL WATER SERVICE BRASS ARE REQUIRED TO BE LEAD FREE.
4. ALL EXISTING VALVE BOXES WITHIN PROJECT LIMITS SHALL BE REPLACED. BOXES SHALL BE ADJUSTED TO FINAL FINISHED GRADE, AS REQUIRED. VALVE BOXES IN GREEN/UNPAVED AREAS SHALL HAVE 2'x2' CONC. COLLARS POURED.

GENERAL SEWER NOTES:

1. ON-SITE SEWER LATERALS, FORCEMAIN, & SEWER MAINS ARE PRIVATELY OWNED AND MAINTAINED.

NOTES:

1. PRIOR TO CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY (ELEVATION & LOCATION) ALL EXISTING UTILITIES. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONTINUATION OF WORK.
2. ALL SANITARY SEWER SHALL BE P.V.C. SDR 26 (UNLESS OTHERWISE NOTED).
3. ALL WATER MAINS & FORCE MAINS SHALL BE DUCTILE IRON UNLESS OTHERWISE NOTED.
4. FIRE HYDRANTS SHALL BE LOCATED A MINIMUM OF 7.5' AND A MAXIMUM OF 12' FROM EDGE OF PAVEMENT.
5. VALVES SHALL NOT BE PLACED IN CURBS.
6. ALL WATER AND SANITARY SERVICES SHALL BE CONSTRUCTED A MINIMUM OF 5' FROM DRAINAGE STRUCTURES.
7. MAGNETIC TAPE IS REQUIRED FOR ALL WATER & FORCE MAINS AND SHALL BE 6" WIDE, IMPRINTED WITH 2" HIGH LETTERING READING "CAUTION - WATER MAIN BURIED BELOW" OR "CAUTION - FORCE MAIN BURIED BELOW", AS REQUIRED.
8. RECORD DRAWINGS MUST HAVE DATA FOR TAP AND METER LOCATIONS FOR ALL NON-PERPENDICULAR WATER MAIN SERVICES.
9. PRESSURE TESTING AND CERTIFICATION SHALL FOLLOW CITY OF LAKE WORTH CONSTRUCTION STANDARDS, LATEST EDITION.
10. ALL WATERMANS TO CROSS OVER SANITARY SEWER SERVICES, WHERE 18" MINIMUM CLEARANCE CANNOT BE MAINTAINED, 20 LINEAR FEET OF DUCTILE IRON WATERMAIN SHALL BE CENTERED ON THE CROSSING AND THE SEWER SERVICE SHALL BE C-900, SDR-18. IN NO CASE SHALL THERE BE LESS THAN 6" CLEARANCE.
13. WATER/SEWER SYMBOLS ARE REPRESENTATIVE OF THE CORRESPONDING FITTINGS ONLY. CONTRACTOR SHALL NOT ATTEMPT TO ATTEMPT TO CONSTRUCT WATER/SEWER SYSTEM BY SCALING THE SYMBOLS FROM THESE PLANS. ALL FITTINGS SHALL INSTEAD BE BUILT PER THE ENCLOSED DETAILS.
14. CONTRACTOR SHALL PROVIDE COMPLETE 3 PHASE ELECTRICAL SERVICE TO LIFT STATION. CONTRACTOR SHALL COORDINATE ELECTRICAL REQUIREMENTS WITH ATLANTIC ENVIRONMENTAL SYSTEMS PRIOR TO SUBMITTING SHOP DRAWINGS.
15. ALL PRIVATE FIRE LINES AND APPURTENANCES SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH NFPA STANDARDS.





McLeod • McCarthy & Associates, P.A.
Civil Engineers

The Forum III
1655 Palm Beach Lakes Blvd, Ste. 901
West Palm Beach, FL 33401
P: 561.689.9500
F: 561.689.8080
www.mcleodmccarthy.com



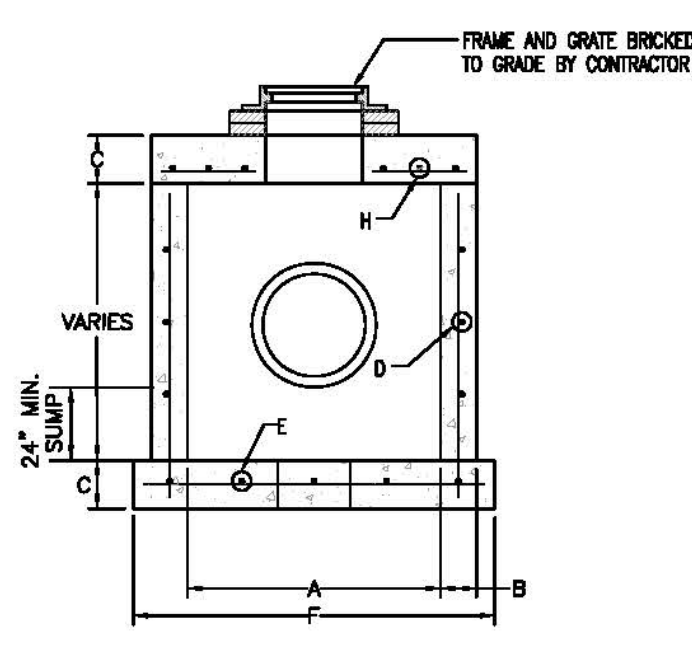
FIELD: DRAWN: P. Seiffold
DESIGNED: TMM
APPROVED: TMM
PROJECT #: 19-046
TODD N. McLEOD, P.E.
FL LICENSE NO. 48466
THIS DOCUMENT HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY THE ENGINEER USING A PRINTED COPY OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SEALED AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES

NO. DATE REVISIONS
1 10/7/19 REV PER NEW SITE PLAN

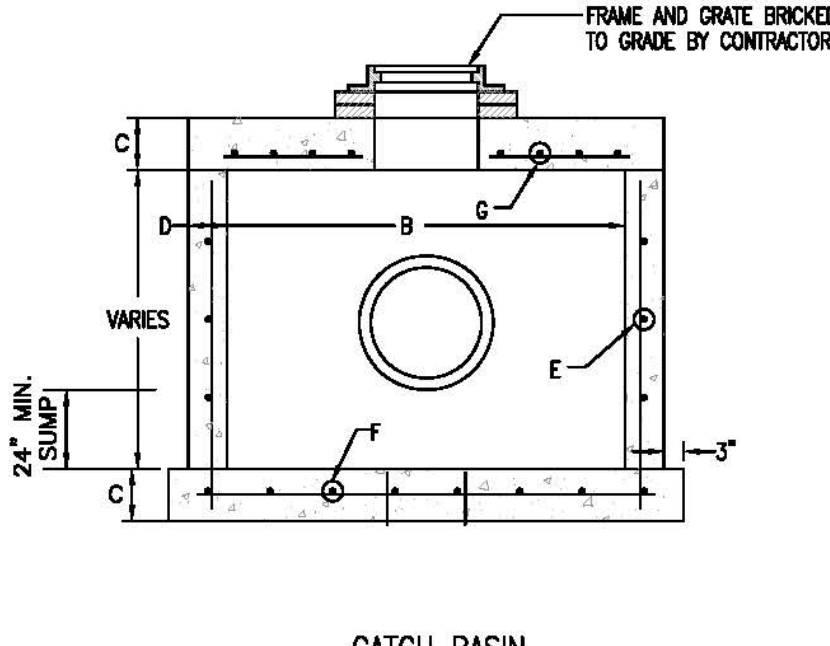
PRELIMINARY ENGINEERING DETAILS
2202 LAKE WORTH ROAD, LLC
2202 LAKE WORTH ROAD
LAKE WORTH BEACH, FLORIDA

SCALE: AS SHOWN
DATE: 7/15/19

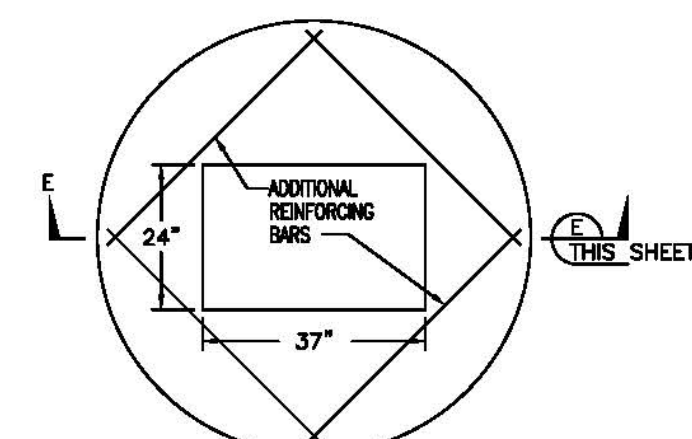
SHEET
C2.1
OF 3



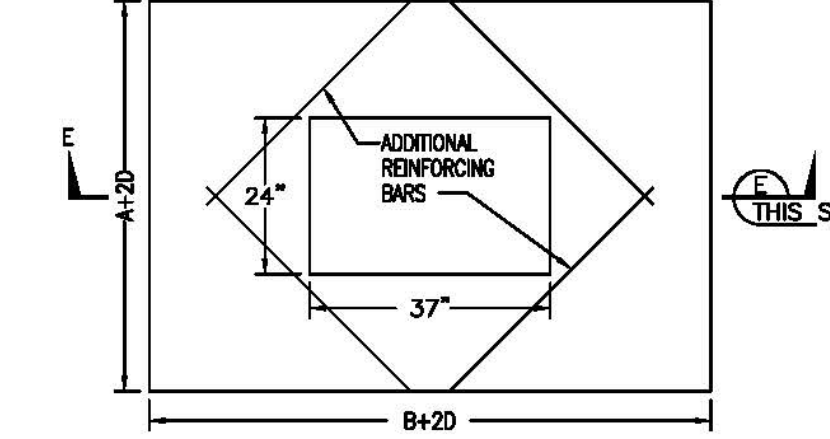
CATCH BASIN
(SEE TABLE FOR DIMENSIONS)



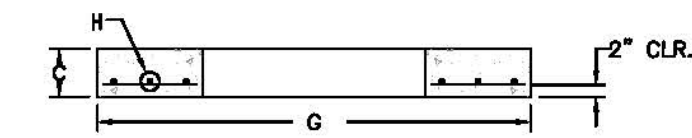
CATCH BASIN
(SEE TABLE FOR DIMENSIONS)



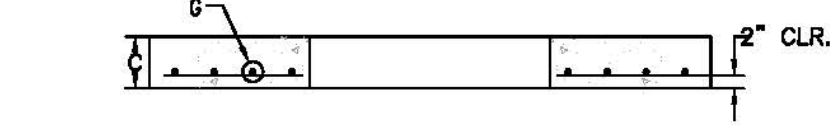
TOP SLAB FOR CATCH BASIN



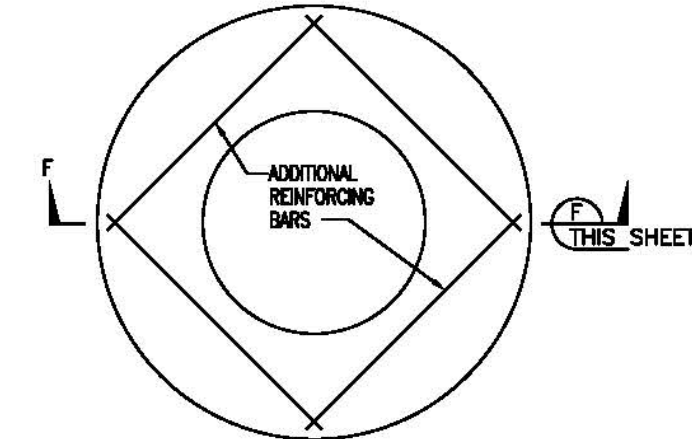
TOP SLAB FOR CATCH BASIN



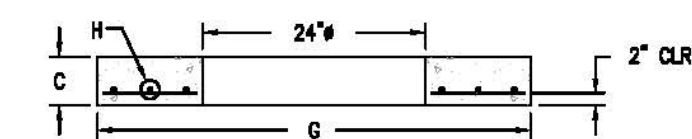
SECTION E
(SEE TABLE FOR DIMENSIONS) THIS SHEET



SECTION E
(SEE TABLE FOR DIMENSIONS) THIS SHEET



TOP SLAB FOR MANHOLE



SECTION F
(SEE TABLE FOR DIMENSIONS) THIS SHEET

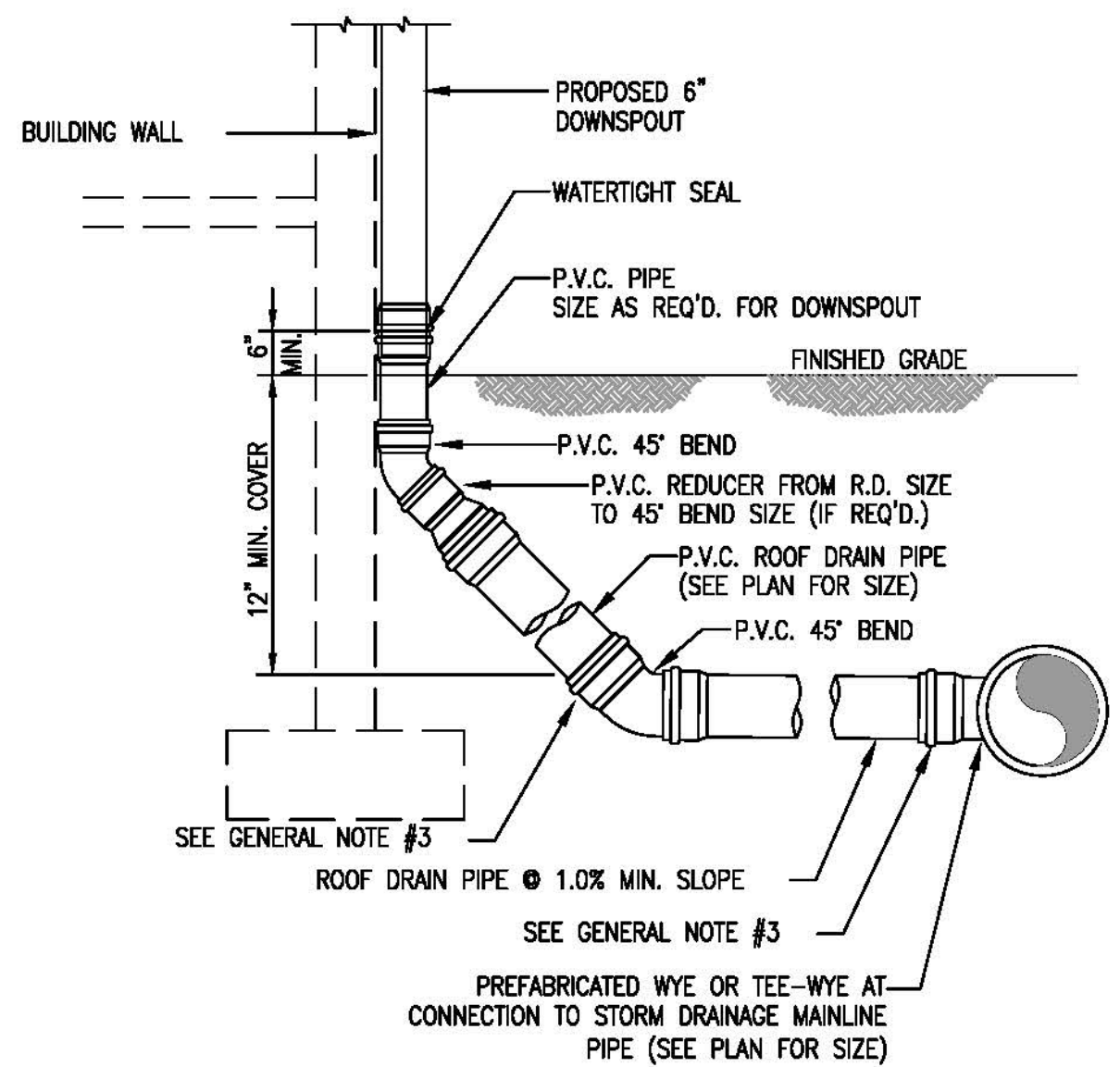
A	B	C	D	E*	F*	G*	H*
3'-6"	4'	8"	ASPH C-476	#4 @ 12"	4'-6"	4'-2"	#4 @ 8"
3'-6"	6"	8"	ASPH C-476	#4 @ 12"	5'-0"	4'-5"	#4 @ 8"
4'	8"	8"	ASPH C-476	#4 @ 12"	8'-0"	5'-0"	#4 @ 8"
4'	8"	8"	ASPH C-476	#4 @ 12"	8'-4"	5'-4"	#4 @ 8"
5'-0"	8"	8"	ASPH C-476	#5 @ 12"	7'-4"	8'-4"	#5 @ 8"
6'-0"	8"	8"	ASPH C-476	#5 @ 8"	8'-0"	7'-0"	#5 @ 8"
6'-0"	8"	8"	ASPH C-476	#5 @ 8"	8'-4"	7'-4"	#5 @ 8"
7'-0"	8"	8"	ASPH C-476	#5 @ 8"	8'-4"	8'-4"	#5 @ 8"
8'-0"	10'	10'	ASPH C-476	#5 @ 8"	10'-8"	9'-8"	#5 @ 8"
10'-0"	12'	12'	ASPH C-476	#5 @ 8"	12'-0"	12'-0"	#5 @ 8"

INLET NOTES

BEVELED EDGES: ALL EXPOSED CORNERS AND EDGES TO BE CHAMFERED 3/4".
FOUNDATION MATERIAL: WHERE MATERIAL UNSATISFACTORY FOR FOUNDATION IS ENCOUNTERED, ALL SUCH MATERIAL MUST BE REMOVED DOWN TO SATISFACTORY MATERIAL AND BACKFILLED TO SUBGRADE WITH CLEAN SAND.
INLET TYPES: INLETS ARE TO BE CONSTRUCTED TO THE DIMENSIONS SHOWN HEREON. INLETS RECEIVING PIPE LARGER THAN 42" DIAMETER SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARDS

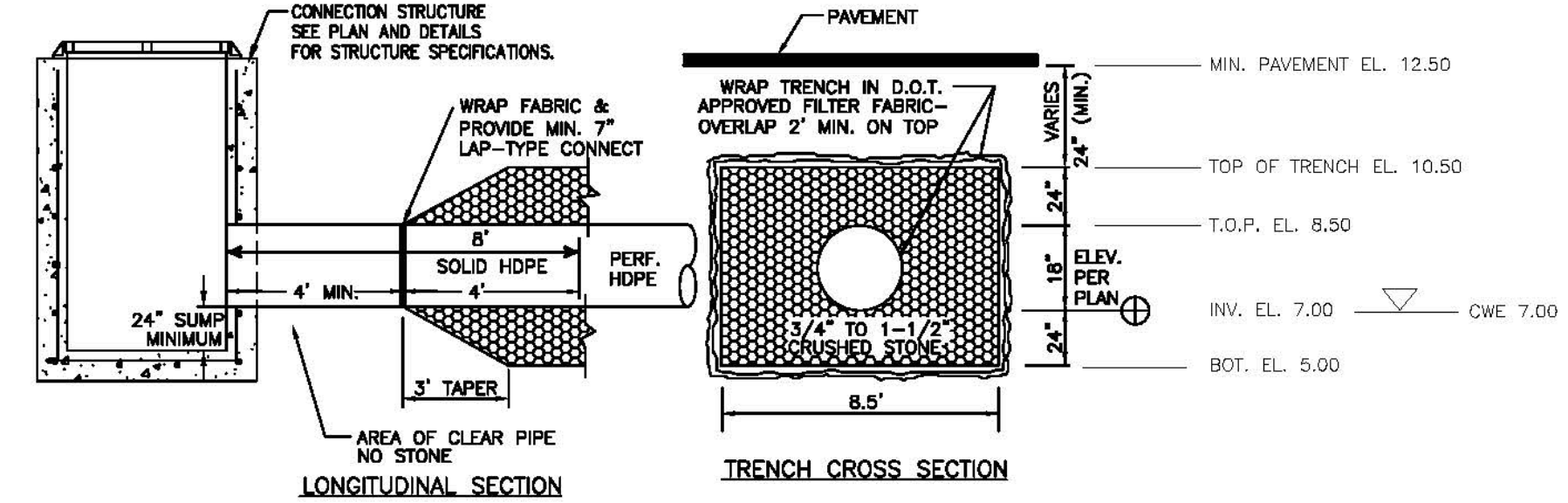
MATERIAL: INLET WALLS AND BASES MAY EITHER BE CAST-IN-PLACE CLASS I, 2500 P.S.I. CONCRETE OR PRECAST CLASS II, 4000 (MIN.) P.S.I. CONCRETE.

CIRCULAR CATCH BASIN (ON-SITE)



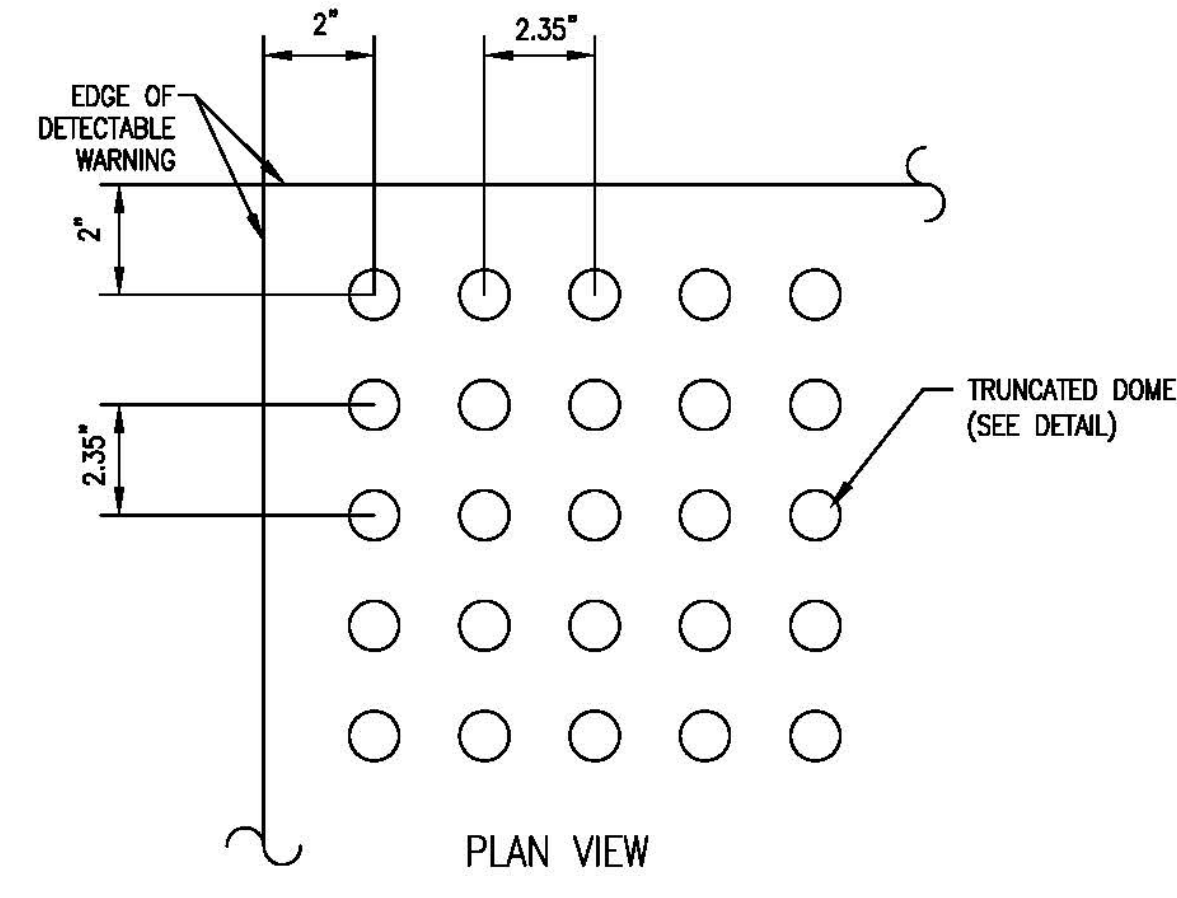
DOWNSPOUT TIE-IN DETAIL
N.T.S.

- GENERAL NOTES:**
1. PROVIDE TEMPORARY P.V.C. PLUG IN BELL END OF DOWNSPOUT SERVICE STUB-UP.
 2. ADDITIONAL BENDS MAY BE REQUIRED TO CLEAR BUILDING FOUNDATIONS OR TO CONNECT TO MAIN TRUNK LINE STORM DRAINAGE PIPES.
 3. USE A FABRICATED P.V.C. TRANSITION ADAPTER TO TRANSITION FROM P.V.C. PIPE TO H.D.P.E. PIPE OR FITTINGS.
 4. ALL PIPE AND FITTING JOINTS SHALL BE WATERTIGHT.

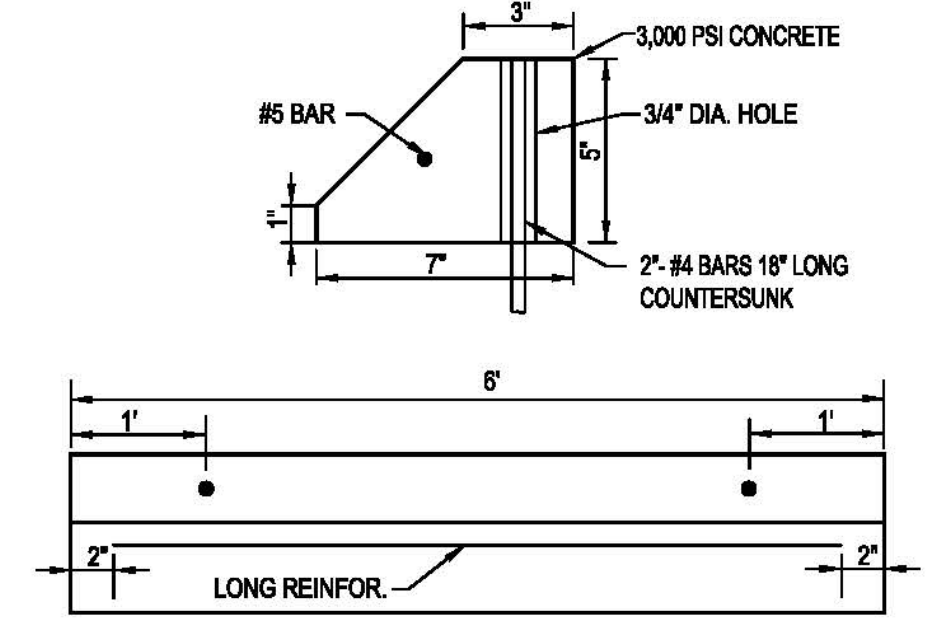


ON-SITE EXFILTRATION TRENCH DETAIL
N.T.S.

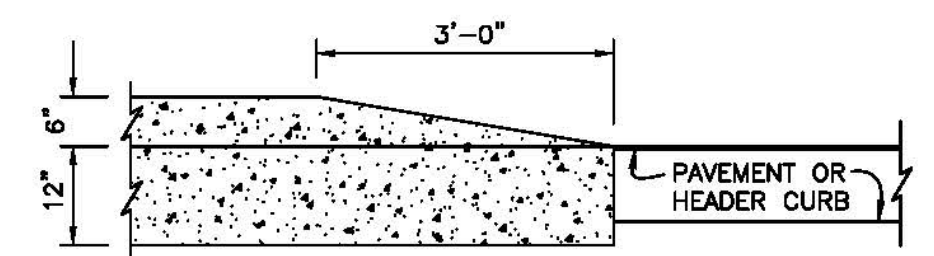
NOTES: COMPACT TRENCH BACKFILL AND SOIL WITHIN MIN. 5' OF TRENCH TO MIN. 98% OF MAX. DRY DENSITY PER ASTM D-1557.



TYPICAL CURB RAMP DETECTABLE WARNING DETAIL
(COMPLY WITH FOOT INDEX 304 & FBC) N.T.S.

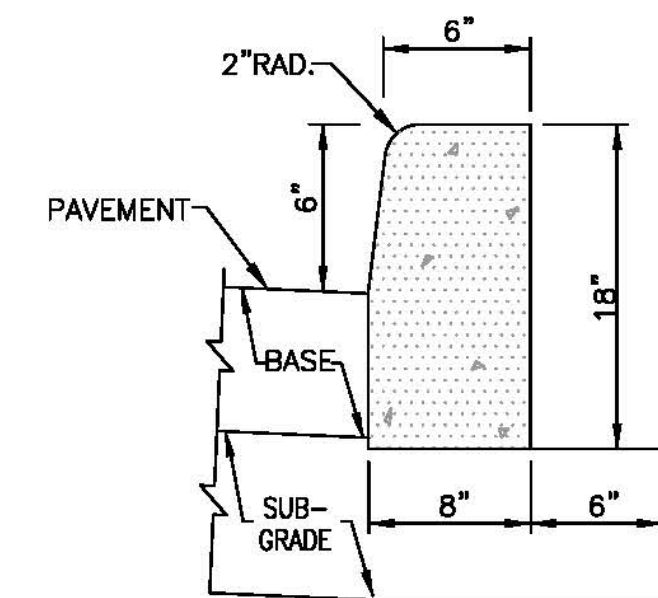


CONCRETE WHEEL STOP DETAIL
N.T.S.

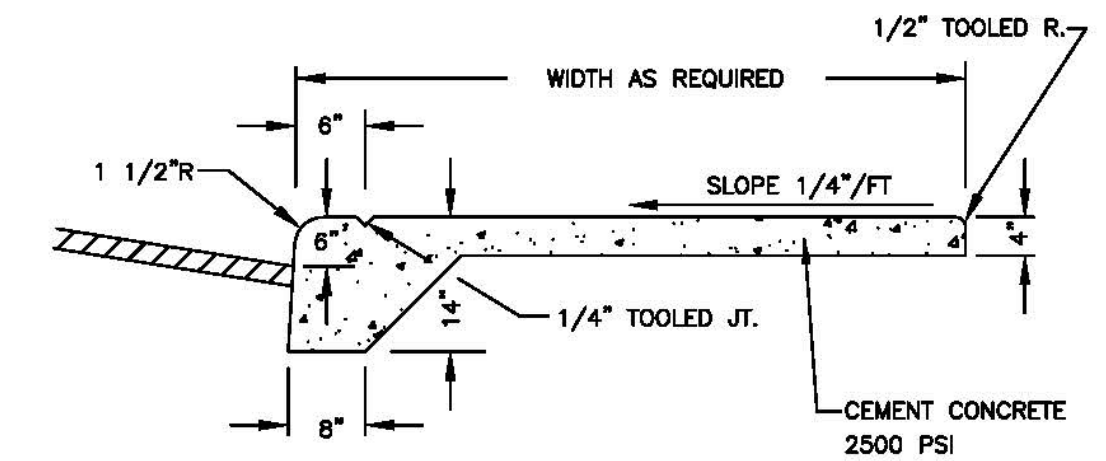


TRANSITION CURB TAPER DETAIL
N.T.S.

NOTE: WHEN CURB TRANSITIONS ARE ADJACENT TO SIDEWALK THE TRANSITION MUST BE 12:1



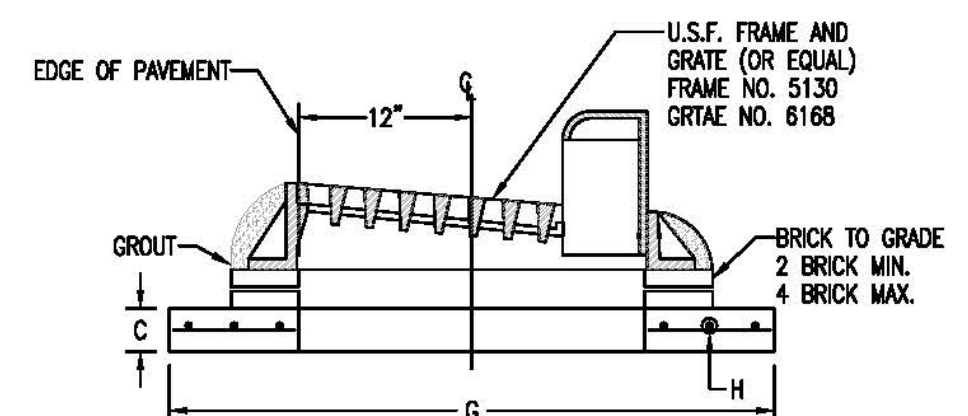
TYPE "D" CURB
N.T.S.



MONOLITHIC CURB AND SIDEWALK SECTION
N.T.S.

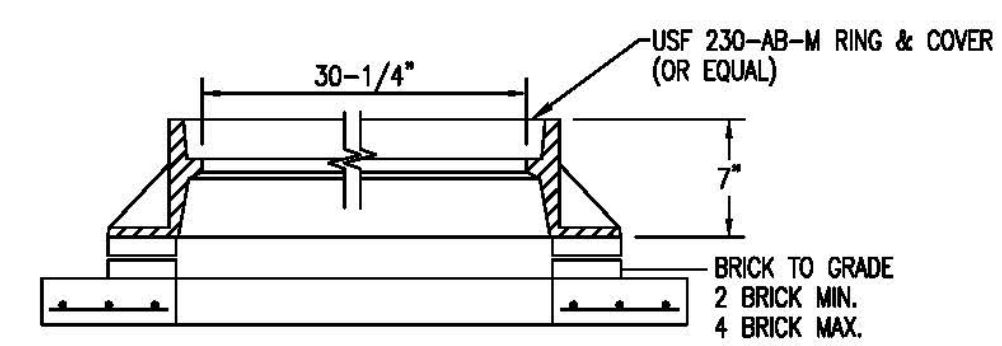
- NOTES:**
1. THE REVEAL SHOWN MAY VARY. REFER TO PLANS FOR LOCATIONS.
 2. MONOLITHIC WALK & CURB REQUIRED AT ALL LOCATIONS WHERE PROPOSED SIDEWALK ABUTS ASPHALT PAVEMENT.

RECTANGULAR CATCH BASIN (ON-SITE)

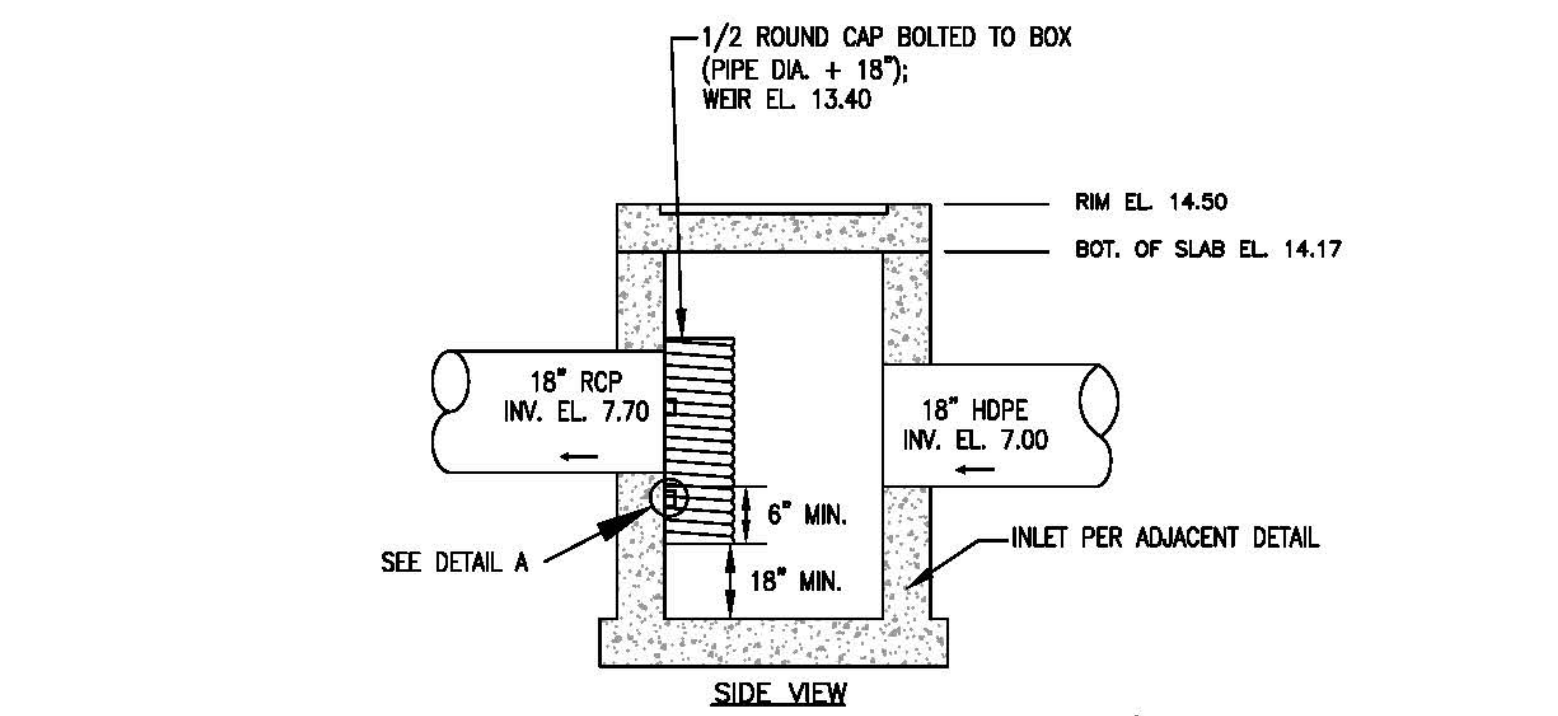


TYPE 'F' CURB & GUTTER TOP (TYPE 'C-F' INLET)

GRATE ELEVATION AS SHOWN ON PLANS = EDGE OF PAVEMENT ELEVATION



ON-SITE MANHOLE FRAME & COVER
N.T.S.



DRAINAGE STRUCTURE WEIR BOX DETAIL
N.T.S.

TYPE	PAVEMENT SECTION REQUIREMENTS		
	WEARING SURFACE	BASE	SUB-GRADE
CONCRETE PAVEMENT (ON-SITE)	6" THICK (4,000 PSI) WITH JOINTING PER ACI 330. JOINTING PLAN TO BE SUBMITTED PRIOR TO POURING CONCRETE	N/A	12" THICK, COMPACTED TO 98% MAXIMUM DRY DENSITY A.A.S.H.T.O. T-180 (LBR 30)
PERVIOUS CONCRETE (ON-SITE)	6" THICK PERVIOUS CONCRETE (4,000 PSI MIN.) PER ACI 522R	12" THICK AGGREGATE RESERVOIR LAYER COMPRISED OF NO. 57 STONE PROOF ROLLED TO OBTAIN REQ'D PWMT. THICKNESS	NON-WOVEN GEOTEXTILE FABRIC OVER 12" COMPACTED SUBGRADE COMPACTED TO 92% AASHTO T-180. COMPACTED SUBGRADE SHALL HAVE PERMEABILITY OF 1/2"/HR PER ASTM D 3385
SIDEWALKS	SIDEWALK: 4" THICK CONCRETE (3,000 PSI). CONCRETE TO BE BROOM FINISHED WITH EVEN, DUSTLESS SURFACE. CONTROL JOINTS TO BE SPACED 5' ON CENTER. ISOLATION JOINTS REQUIRED WHERE SIDEWALK ABUTS BUILDING, EXISTING PAVEMENT, OR OTHER STRUCTURES.		



BUILDING #1 - WEST ELEVATION



BUILDING #1 - NORTH ELEVATION

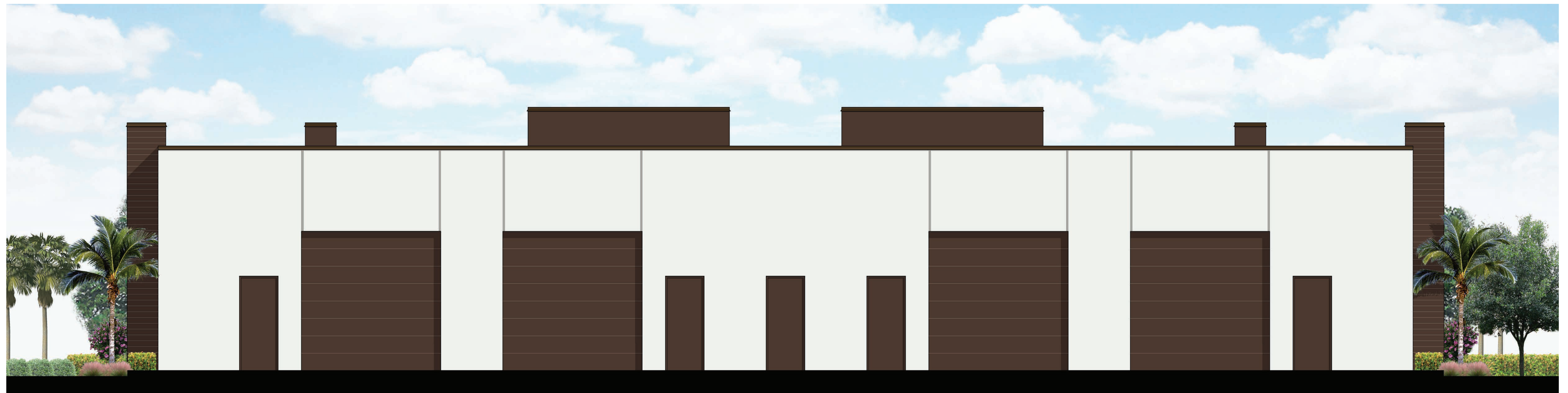
PALM BEACH RENDERINGS
LAKE WORTH, FLORIDA

PADRON
2D ARTISTIC RENDERING

KUOPPALA & ASSOCIATES
WEST PALM BEACH, FLORIDA



BUILDING #1 - SOUTH ELEVATION



BUILDING #1 - EAST ELEVATION

PALM BEACH RENDERINGS
LAKE WORTH, FLORIDA

PADRON
2D ARTISTIC RENDERING

KUOPPALA & ASSOCIATES
WEST PALM BEACH, FLORIDA



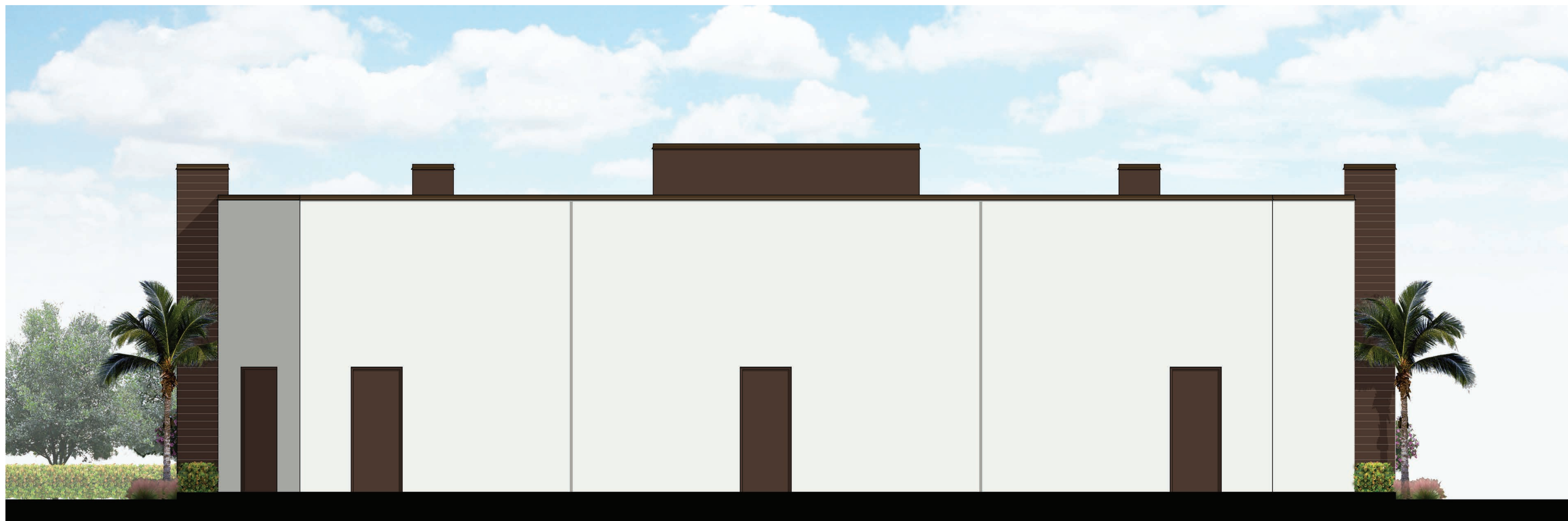
BUILDING #2 - WEST ELEVATION



BUILDING #2 - NORTH ELEVATION



BUILDING #2 - SOUTH ELEVATION



BUILDING #2 - EAST ELEVATION



BUILDING #3 - NORTH ELEVATION



BUILDING #3 - EAST ELEVATION



BUILDING #3 - WEST ELEVATION



BUILDING #3 - SOUTH ELEVATION

2202 LAKE WORTH RD, LLC TENANT SIGN CRITERIA

PURPOSE OF CRITERIA

The purpose of this criteria is to establish standards and specifications to assure that all signage and the project as a whole will be consistent and enhance the identity of all the retail tenants at 2202 Lake Worth Rd, LLC .

SUBMITTALS AND APPROVALS

The tenant or a sign contractor shall submit for Landlord approval three (3) sets of complete and detailed shop drawings. All tenant submittals shall be reviewed by Landlord and/or its agent for conformance with the provision of the City approved signage program.

SIGNAGE

Each tenant may have one (1) on-building sign. Landlord shall provide illuminated cabinet box above store frontage. Tenant is responsible for sign face vinyl and Landlord/City approved signage. If a new acrylic face is needed, the tenant is to provide this.

COLOR & FONT

Vinyl color shall match building color. Oracal 8800 (translucent) Coffee Brown. Font specified is Futura Book. No full color digital signage is allowed on cabinet faces or window vinyl. Logos allowed in approved colors unless it is a National trademarked logo. Trademark shall be attached to shop drawings to be reviewed by Landlord/City.

WINDOW SIGNAGE

Tenant shall be allowed to use 25% of each window with white vinyl and approved font. Vinyl shall be applied by a sign contractor.

MONUMENT - TENANT PANELS

Design of tenant panel face for monument sign shall be consistent with cabinet signs, ie: color and font.

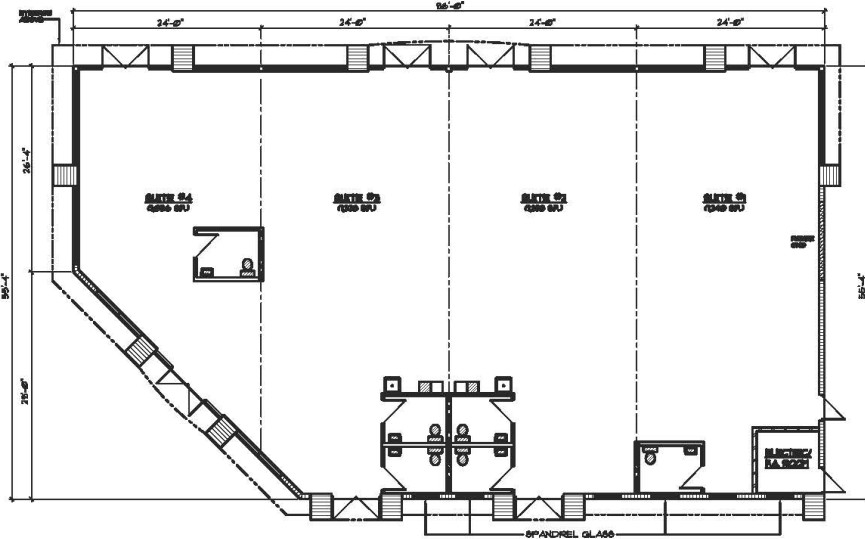
GENERAL SPECIFICATIONS AND REQUIREMENTS

Extruded Aluminum Cabinet Boxes and all sign circuits are provided to sign locations by Landlord.

All local, state and national codes are to be strictly complied with. Fabrication and installation to be Underwriter Laboratory (UL) approved with required markings.

All building penetrations are to be sealed and completely waterproof.

Samples Attached.



FLOOR PLAN - BUILDING #3
1/8" = 1'-0" FURNITURE / OFFICES



NOTES:
1) INTERIOR IMPROVEMENTS NOT SUBJECT TO REVIEW

BUILDING TENANT WALL SIGN CALCULATIONS

1.) Building #3: Frontage = 1 S.F. Per Lineal Foot

- A) Signs #1 - 4: Frontage = 24' - 0" (facing parking lot)
Maximum Area = 24 S.F.
Actual Area = 24 S.F.
Length = 10.00 Feet
Height = 2.00 Feet
- B) Signs #5 - 8: Facing Lake Worth Road
= 24 S.F.
Actual Area = 24 S.F.
Length = 12.00 Feet
Height = 2.00 Feet



COLOR SELECTIONS:

- COLOR #1 - SHERWIN WILLIAMS #7006 - EXTRA WHITE
- COLOR #2 - SHERWIN WILLIAMS #6076 - TURKISH COFFEE
- COLOR #3 - SHERWIN WILLIAMS #7653 - SILVER POINTE
- STOREFRONT FRAMES AND DOORS - MILL FINISH
- HOLLOW METAL - COLOR #2
- GLASS - BRONZE TINT AND / OR CLEAR



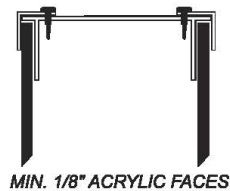
NORTH ELEVATION - BUILDING #3
1/8" = 1'-0"



BUILDING #3 - NORTH ELEVATION



RETAINER DETAILS
#12 x 1-1/2" S.S. Screws
Min. 3'0" On Centers





BUILDING #1 - NORTH ELEVATION



BUILDING #1 - SOUTH ELEVATION



BUILDING #1 - WEST ELEVATION



BUILDING #1 - EAST ELEVATION



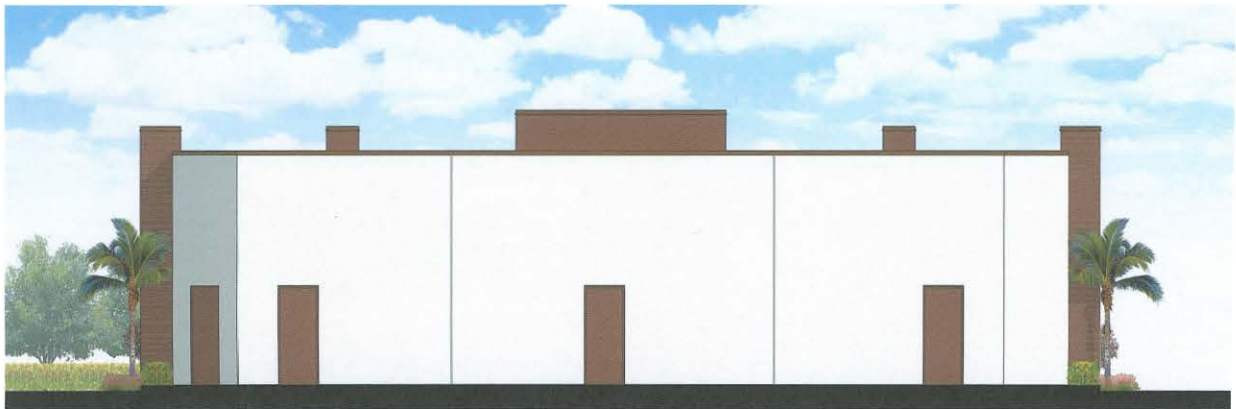
BUILDING #2 - WEST ELEVATION



BUILDING #2 - NORTH ELEVATION



BUILDING #2 - SOUTH ELEVATION



BUILDING #2 - EAST ELEVATION



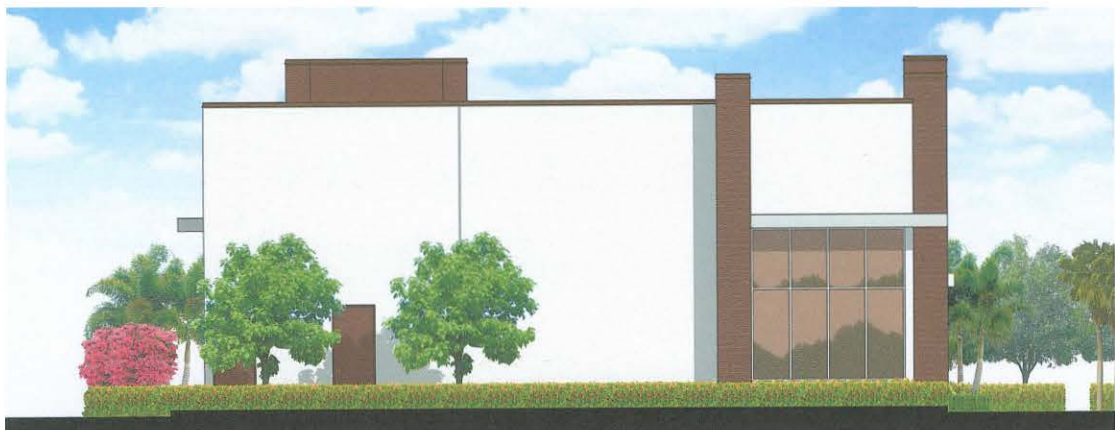
BUILDING #3 - NORTH ELEVATION



BUILDING #3 - SOUTH ELEVATION



BUILDING #3 - WEST ELEVATION

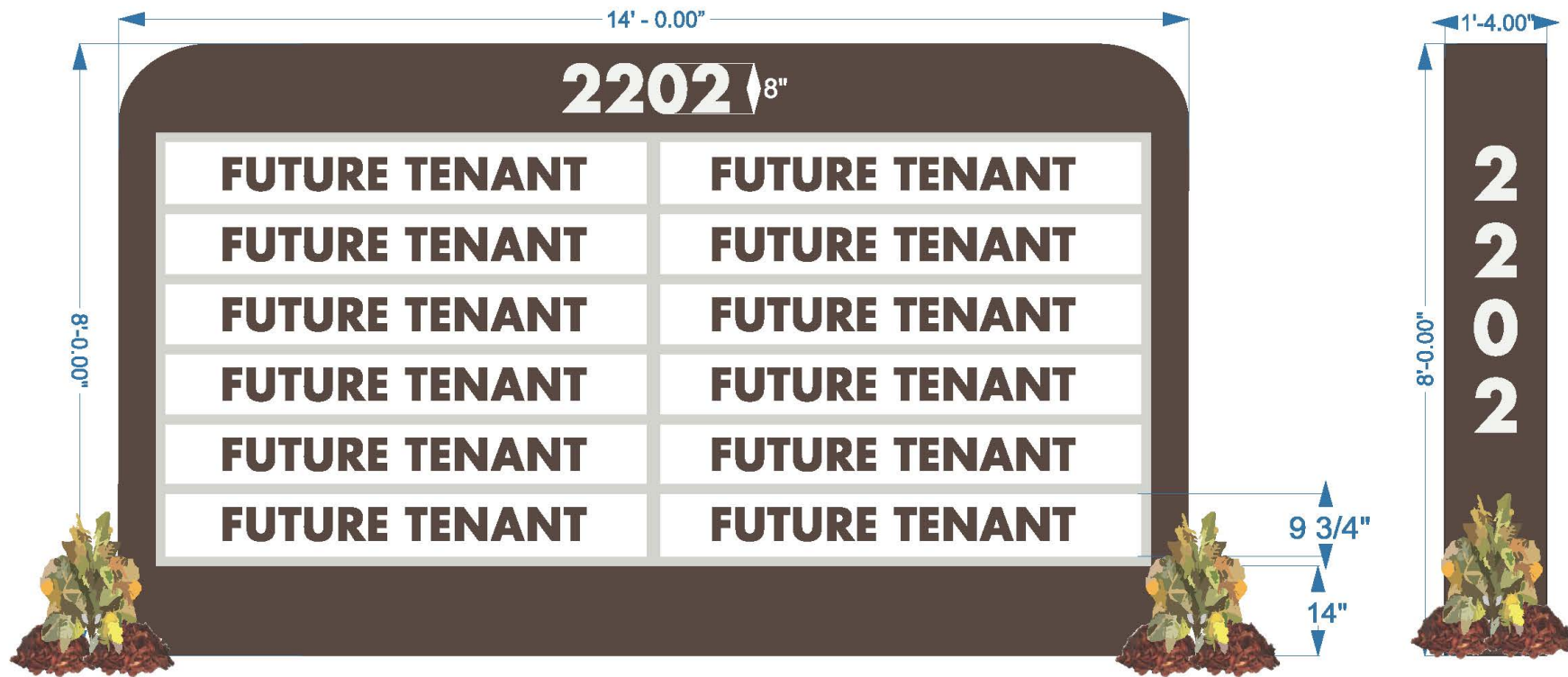


BUILDING #3 - EAST ELEVATION

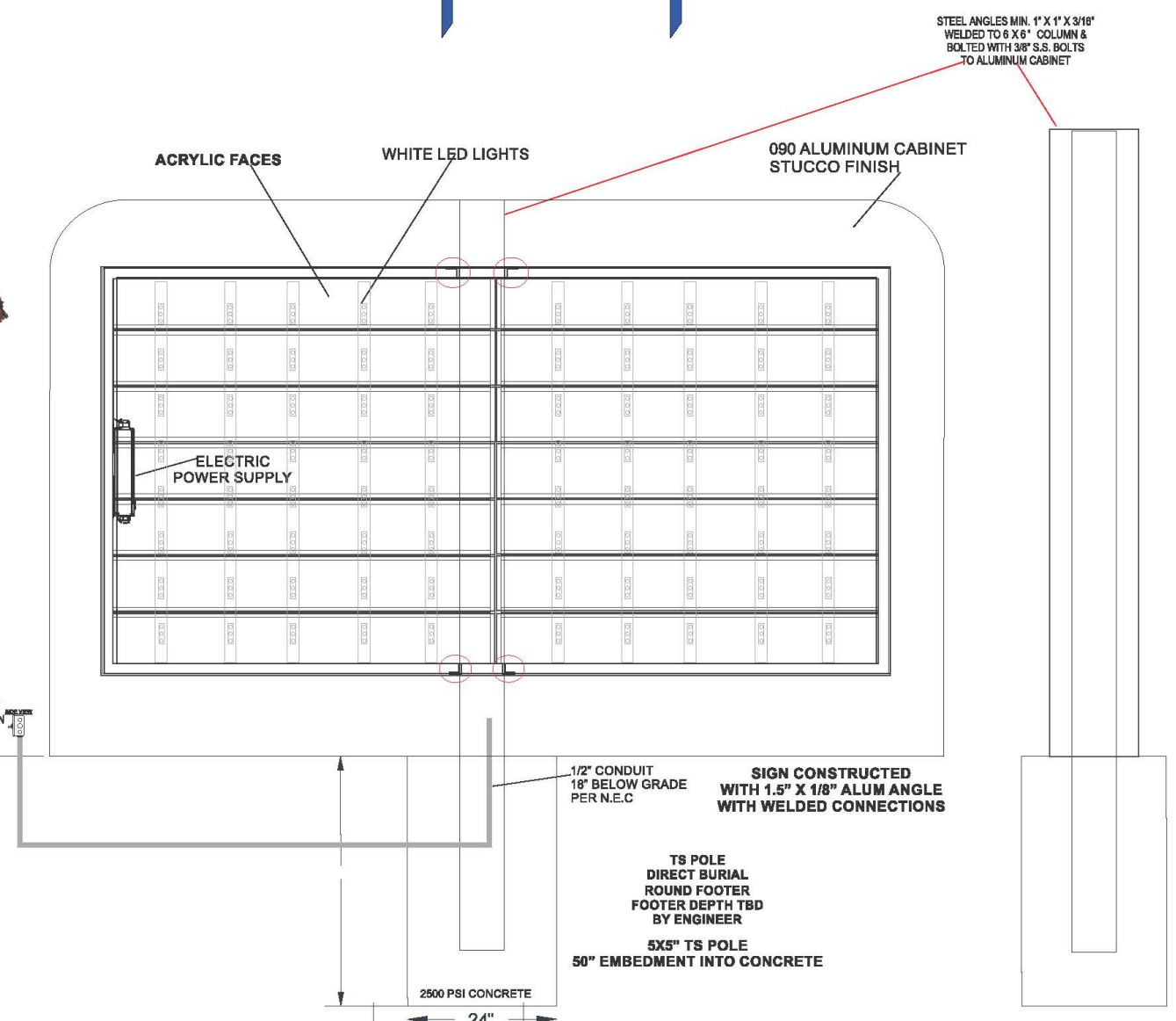
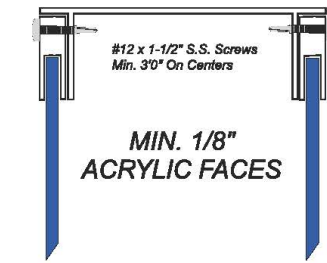
MONUMENT SIGN

112' proposed

West Elevation



RETAINER DETAILS



DOUBLE SIDED MONUMENT SIGN WITH ACRYLIC FACES WITH VINYL COPY(TENANTS) TENANT PANELS ARE 9.75" EACH ADDRESS 8" PROPOSED MONUMENT INSTALL LANDSCAPING ON EITHER SIDE OF SIGN BASE-TO BE DONE BY OTHERS



SOIL STATEMENT
Visual inspection indicates 2,500 P.S.F. for which footings are designed. If a bearing capacity of less than 2,500 P.S.F. is encountered at site, the engineer should be notified before proceeding with work.

ELECTRICAL NOTES ILLUMINATED CABINETS
Primary wire size - #12 THWN
Disconnect switch - at base of sign, 20 amp single pole, timeclock at panel room and a 10hr battery backup
Maximum load - 16 amps 120 volts per circuit maximum circuit size 20 amps per NEC 600-6A
Power Supply - 120/225 Volt to 12 Volt DC output : 60 watts
Illumination - T-12 Tap Out Stik brand LED - 15.84 watts per strip -10" spacing
Conduit - minimum 1/2"
Total sign load - 2 amps 120 volts
Total sign circuits - 1
All components shall be U.L. approved
Ballasts shall have independent U.L. approval (fused where required)
All installations shall be in compliance with N.E.C. and state, county, or local codes
All signs shall be bonded to building equipment bonding conductor per N.E.C. 250

ES0000229

**1740 HILL AVENUE
WEST PALM BEACH, FL.
33407
561-840-6382
(FAX) 561-840-6385**

CUSTOMER:

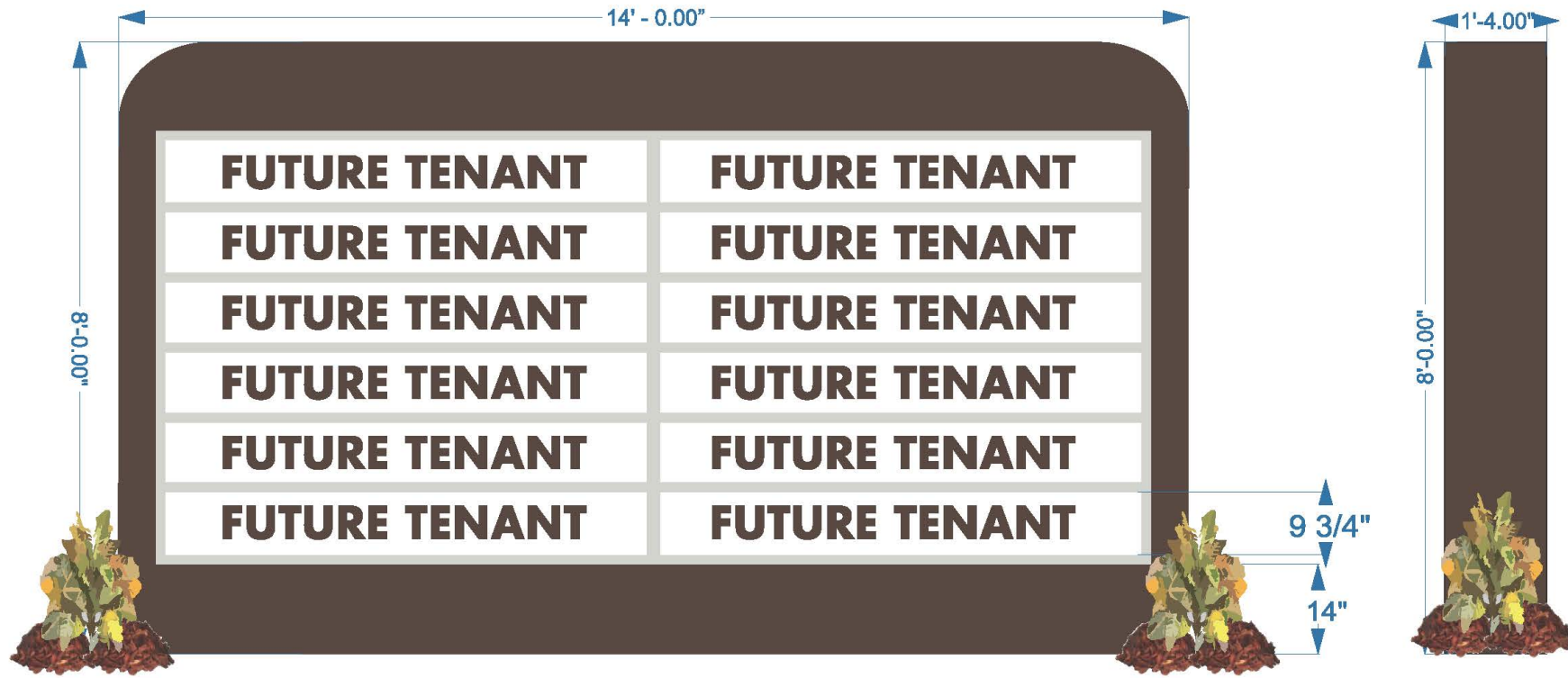
**DRAWN BY: PAM REEVES
DATE: 10.09.19**

© COPYRIGHT 2016 BY KEMP SIGN & SERVICE. ALL RIGHTS RESERVED

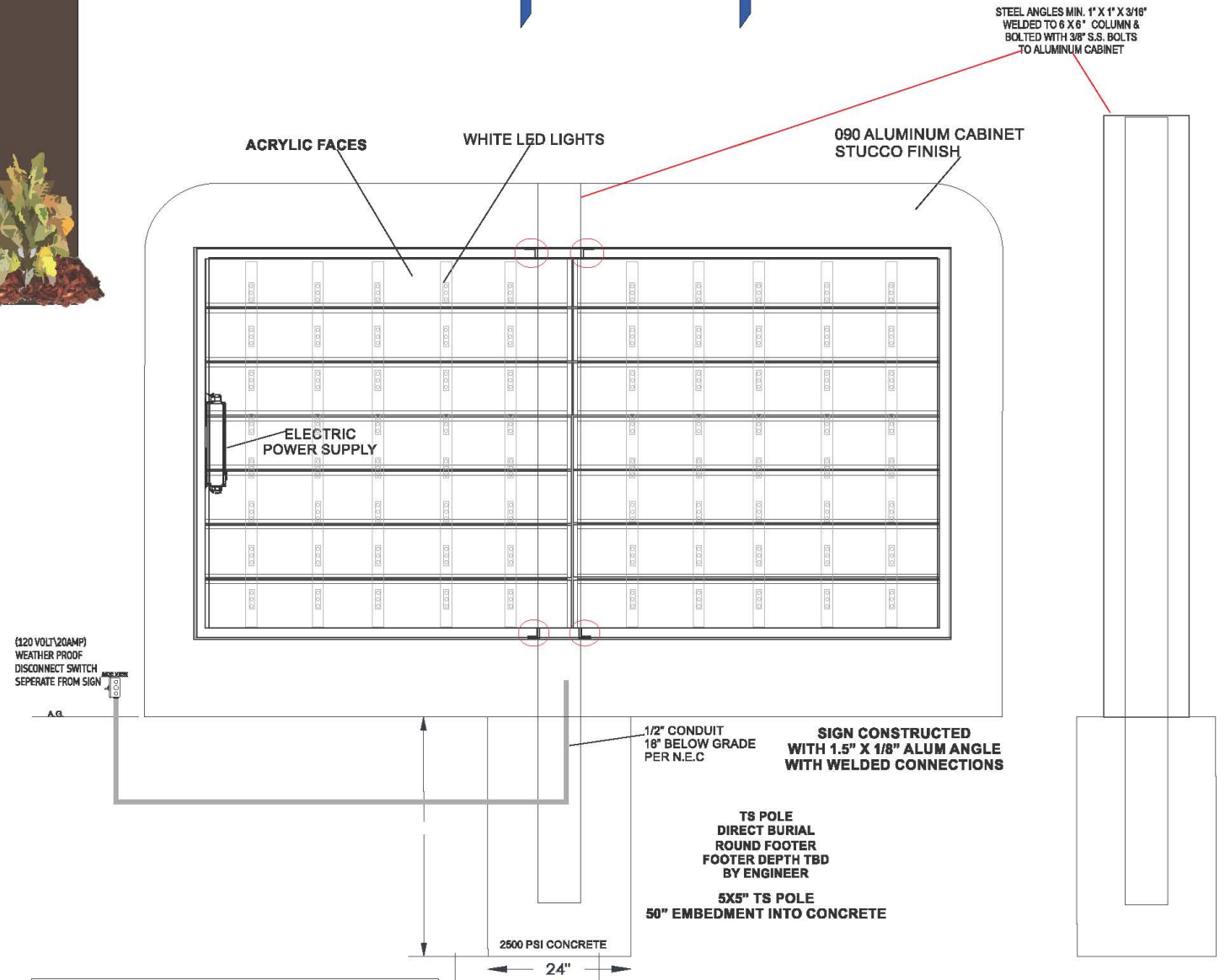
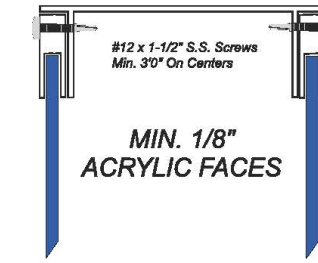
UL ALL ELECTRICAL TO BE U.L. LISTED COMPONENTS AND SHALL MEET ALL N.E.C. STANDARDS

MONUMENT SIGN 112' proposed

East Elevation



RETAINER DETAILS



DOUBLE SIDED MONUMENT SIGN WITH ACRYLIC FACES WITH VINYL COPY(TENANTS) TENANT PANELS ARE 9.75" EACH ADDRESS 8" PROPOSED MONUMENT INSTALL LANDSCAPING ON EITHER SIDE OF SIGN BASE-TO BE DONE BY OTHERS

SOIL STATEMENT
Visual inspection indicates 2,500 P.S.F. for which footings are designed. If a bearing capacity of less than 2,500 P.S.F. is encountered at site, the engineer should be notified before proceeding with work.

ELECTRICAL NOTES ILLUMINATED CABINETS
Primary wire size - #12 THWN
Disconnect switch - at base of sign, 20 amp single pole, timeclock at panel room and a 10hr battery backup
Maximum load - 16 amps 120 volts per circuit maximum circuit size 20 amps per NEC 600-6A
Power Supply - 120/225 Volt to 12 Volt DC output : 60 watts
Illumination - T-12 Tap Out Stik brand LED - 15.84 watts per strip -10" spacing
Conduit - minimum 1/2"
Total sign load - 2 amps 120 volts
Total sign circuits - 1
All components shall be U.L. approved
Ballasts shall have independent U.L. approval (fused where required)
All installations shall be in compliance with N.E.C. and state, county, or local codes
All signs shall be bonded to building equipment bonding conductor per N.E.C. 250



KEMP Signs & Service, Inc.
ES0000229

**1740 HILL AVENUE
WEST PALM BEACH, FL.
33407
561-840-6382
(FAX) 561-840-6385**

CUSTOMER:

**DRAWN BY: PAM REEVES
DATE: 10.09.19**

© COPYRIGHT 2016 BY KEMP SIGN & SERVICE. ALL RIGHTS RESERVED
UL ALL ELECTRICAL TO BE U.L. LISTED COMPONENTS AND SHALL MEET ALL N.E.C. STANDARDS