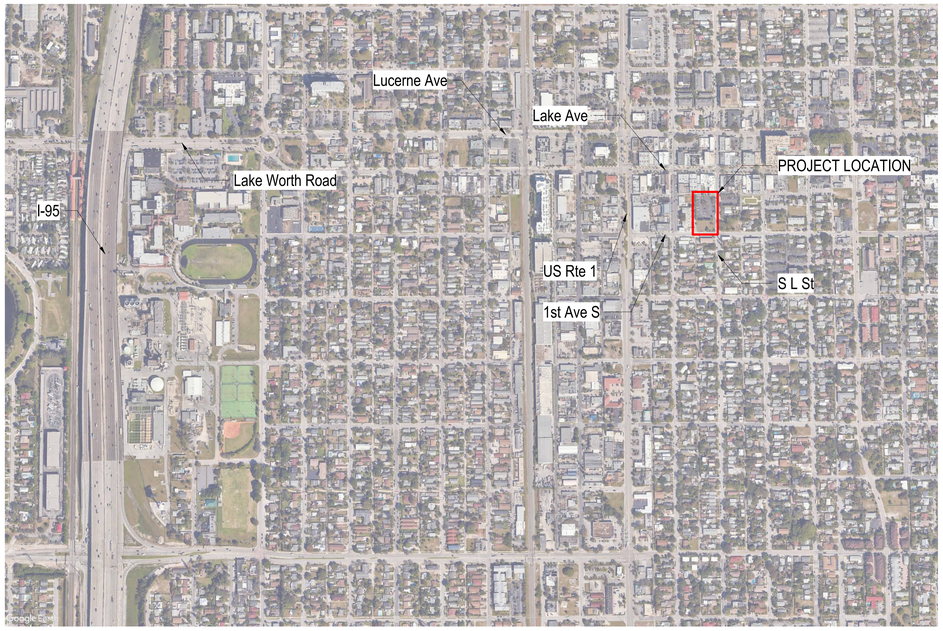
LAKE WORTH BEACH PARKING STRUCTURE

25 SOUTH K STREET LAKE WORTH BEACH, FL 33460



LOCATION MAP

LEGAL DESCRIPTION:
THE EAST 85 FEET OF LOTS 30 AND 31, BLOCK 19, TOWNSITE OF LUCERNE (NOW KNOWN AS LAKE WORTH), ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, RECORDED IN PLAT BOOK 2, PAGES 29 THROUGH 40, INCLUSIVE. AND THE WEST 50 FEET OF LOTS 30 AND 31, BLOCK 19 OF THE PALM BEACH FARMS COMPANY PLAT NO. 2 TOWNSITE OF LUCERNE NKA LAKE WORTH, ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, RECORDED IN PLAT BOOK 2, PAGE 29. AND LOT 29, BLOCK 19, IN THE TOWNSITE OF LUCERNE ACCORDING TO THE PALM BEACH FARMS COMPANY, PLAT NO. 2, RECORDED IN PLAT BOOK 2, PAGES 29 TO 40, INCLUSIVE, IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA. (THE TOWNSITE OF LUCERNE IS NOW KNOWN AS LAKE WORTH.) AND LOT 23 THROUGH 28, BLOCK 19, IN THE TOWNSITE OF LUCERNE, (NOW KNOWN AS LAKE WORTH), ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA RECORDED IN PLAT BOOK 2, PAGES 29-40, INCLUSIVE. AND LOT 22, BLOCK 19, IN THE TOWNSITE OF LUCERNE, (NOW KNOWN AS LAKE WORTH), ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA RECORDED IN PLAT BOOK 2, PAGES 29-40, INCLUSIVE.

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04/06/2026
SPRT RESPONSE TO COMMENTS

FILE NAME: Autodesk Docs://1008542.00 - Lake Worth Beach Garage/1008542_LWB_Garage_A.rvt
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DRAWING HISTORY

No.	DATE	DESCRIPTION
A	01/09/2026	PLANNING & ZONING SUBMITTAL
B	02/06/2026	PLANNING & ZONING SUBMITTAL
C	02/27/2026	DESIGN DEVELOPMENT
D	04/06/2026	SPRT RESPONSE TO COMMENTS

PROJECT NUMBER
1008542

SHEET TITLE
COVER SHEET

SHEET NUMBER
G0.00

SHEET INDEX

Sheet №	Sheet Name	Current Revision Date	Current Revision Description

SHEET INDEX

Sheet №	Sheet Name	Current Revision Date	Current Revision Description

SHEET INDEX

Sheet №	Sheet Name	Current Revision Date	Current Revision Description
E3.10	ELECTRICAL GROUND LEVEL LIGHTING PLAN	04/06/26	SPRT RESPONSE TO COMMENTS
E3.20	ELECTRICAL SECOND LEVEL LIGHTING PLAN	04/06/26	SPRT RESPONSE TO COMMENTS
E3.30	ELECTRICAL THIRD LEVEL LIGHTING PLAN	04/06/26	SPRT RESPONSE TO COMMENTS
E3.40	ELECTRICAL FOURTH LEVEL LIGHTING PLAN	04/06/26	SPRT RESPONSE TO COMMENTS
E3.50	ELECTRICAL FIFTH LEVEL LIGHTING PLAN	04/06/26	SPRT RESPONSE TO COMMENTS
General			
G0.00	COVER SHEET	04/06/2026	SPRT RESPONSE TO COMMENTS
G0.01	SHEET INDEX	04/06/2026	SPRT RESPONSE TO COMMENTS
G0.02	GENERAL PROJECT INFORMATION	04/06/2026	SPRT RESPONSE TO COMMENTS
Survey			
XX.XX	BOUNDARY AND TOPOGRAPHIC SURVEY	04/06/2026	SPRT RESPONSE TO COMMENTS
Civil			
C1.00	GENERAL NOTES & SPECIFICATIONS	04/06/2026	SPRT RESPONSE TO COMMENTS
C1.10	CIVIL LEGEND, ABBREVIATIONS, & SYMBOLS	04/06/2026	SPRT RESPONSE TO COMMENTS
C2.00	SITE CLEARING & DEMOLITION PLAN	04/06/2026	SPRT RESPONSE TO COMMENTS
C3.00	SITE GEOMETRY, MARKING, & SIGNAGE PLAN	04/06/2026	SPRT RESPONSE TO COMMENTS
C4.00	SITE PAVING, GRADING, & DRAINAGE PLAN	04/06/2026	SPRT RESPONSE TO COMMENTS
C5.00	SITE UTILITY PLAN	04/06/2026	SPRT RESPONSE TO COMMENTS
C5.10	WATER & SEWER DETAILS	04/06/2026	SPRT RESPONSE TO COMMENTS
C6.00	STORMWATER POLLUTION PREVENTION PLAN	04/06/2026	SPRT RESPONSE TO COMMENTS
C7.00	EMERGENCY VEHICLE CIRCULATION PLAN	04/06/2026	SPRT RESPONSE TO COMMENTS
Landscape			
L1.00	TREE DISPOSITION PLAN	04/06/2026	SPRT RESPONSE TO COMMENTS
L2.00	LANDSCAPE PLAN & DETAILS	04/06/2026	SPRT RESPONSE TO COMMENTS
L3.00	IRRIGATION PLAN & DETAILS	04/06/2026	SPRT RESPONSE TO COMMENTS
Architecture			
A1.00	PLANNING & ZONING DATA - OPTION 1	04/06/2026	SPRT RESPONSE TO COMMENTS
A1.00-2	PLANNING & ZONING DATA - OPTION 2	04/06/2026	SPRT RESPONSE TO COMMENTS
AD1.10	DEMOLITION SITE PLAN	04/06/2026	SPRT RESPONSE TO COMMENTS
A1.10	COLORED SITE PLAN - OPTION 1	04/06/2026	SPRT RESPONSE TO COMMENTS
A1.10-2	COLORED SITE PLAN - OPTION 2	04/06/2026	SPRT RESPONSE TO COMMENTS
A2.10	GROUND LEVEL FLOOR PLAN	04/06/2026	SPRT RESPONSE TO COMMENTS
A2.20	SECOND LEVEL FLOOR PLAN	04/06/2026	SPRT RESPONSE TO COMMENTS
A2.30	THIRD LEVEL FLOOR PLAN	04/06/2026	SPRT RESPONSE TO COMMENTS
A2.40	FOURTH LEVEL FLOOR PLAN	04/06/2026	SPRT RESPONSE TO COMMENTS
A2.50	FIFTH LEVEL FLOOR PLAN	04/06/2026	SPRT RESPONSE TO COMMENTS
A6.00	EXTERIOR ELEVATIONS - FINISHES - OPTION 1	04/06/2026	SPRT RESPONSE TO COMMENTS
A6.00-2	EXTERIOR ELEVATIONS - FINISHES - OPTION 2	04/06/2026	SPRT RESPONSE TO COMMENTS
A6.01	EXTERIOR ELEVATIONS - FINISHES - OPTION 1	04/06/2026	SPRT RESPONSE TO COMMENTS
A6.01-2	EXTERIOR ELEVATIONS - FINISHES - OPTION 2	04/06/2026	SPRT RESPONSE TO COMMENTS
A6.04	RENDERINGS	04/06/2026	SPRT RESPONSE TO COMMENTS
Mechanical			
M2.20	MECHANICAL SECOND LEVEL HVAC PLAN	04/06/2026	SPRT RESPONSE TO COMMENTS
M2.30	MECHANICAL THIRD LEVEL HVAC PLAN	04/06/2026	SPRT RESPONSE TO COMMENTS
M2.40	MECHANICAL FOURTH LEVEL HVAC PLAN	04/06/2026	SPRT RESPONSE TO COMMENTS
Electrical			
E3.10	ELECTRICAL GROUND LEVEL LIGHTING PLAN	04/06/2026	SPRT RESPONSE TO COMMENTS
E3.20	ELECTRICAL SECOND LEVEL LIGHTING PLAN	04/06/2026	SPRT RESPONSE TO COMMENTS
E3.30	ELECTRICAL THIRD LEVEL LIGHTING PLAN	04/06/2026	SPRT RESPONSE TO COMMENTS
E3.40	ELECTRICAL FOURTH LEVEL LIGHTING PLAN	04/06/2026	SPRT RESPONSE TO COMMENTS
E3.50	ELECTRICAL FIFTH LEVEL LIGHTING PLAN	04/06/2026	SPRT RESPONSE TO COMMENTS

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DRAWING HISTORY

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A	01/09/2026	PLANNING & ZONING SUBMITTAL
B	02/06/2026	PLANNING & ZONING SUBMITTAL
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PROJECT NAME

LAKE WORTH BEACH PARKING STRUCTURE

PROJECT LOCATION

25 SOUTH K STREET
LAKE WORTH BEACH, FL 33460

PROJECT NUMBER

1008542

SHEET TITLE

SHEET INDEX

SHEET NUMBER

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FILE NAME: Autodesk Docs://1008542.00 - Lake Worth Beach Garage/1008542_LWB_Garage_A.rvt
DATE STAMP: 4/8/2026 9:45:41 AM

POWER & COMM SYMBOLS

WALL RECEPTACLE SYMBOLS

- Quadplex 4-way Dedicated Circuit Receptacle
- Quadplex 2-way Dedicated Circuit Receptacle
- Quadplex Dedicated Circuit Receptacle
- Quadplex 4-way Separate Circuit Receptacle
- Quadplex 2-way Separate Circuit Receptacle
- Quadplex Convenience Receptacle
- Duplex Dedicated Circuit Receptacle
- Duplex Separate Circuit Receptacle
- Duplex Convenience Receptacle
- 220v Monoplex Receptacle
- Data Receptacle
- Voice Receptacle
- Combination Data / Voice Receptacle
- AV Receptacle
- Junction Box

FLOOR RECEPTACLE SYMBOLS

- Quadplex Convenience Receptacle Flush Mount
- Quadplex Convenience Receptacle Surface Mount
- Duplex Convenience Receptacle Flush Mount
- Duplex Convenience Receptacle Surface Mount
- 220v Monoplex Convenience Receptacle Flush Mount
- 220v Monoplex Convenience Receptacle Surface Mount
- Data Receptacle Flush Mount
- Data Receptacle Surface Mount
- Voice Receptacle Flush Mount
- Voice Receptacle Surface Mount
- Combination Data / Voice Receptacle Flush Mount
- Combination Data / Voice Receptacle Surface Mount
- AV Receptacle Flush Mount
- AV Receptacle Surface Mount

COMBINATION FLUSH MOUNT FLOOR RECEPTACLE SYMBOLS

COMBINATION SURFACE MOUNT FLOOR RECEPTACLE SYMBOLS

GENERAL PROJECT SYMBOLS

NORTH ARROW

- Project North Indicator
- Magnetic North Indicator

SPOT COORDINATE

N 1' - 0"
E 1' - 0"
Coordinates

SPOT ELEVATION

10' - 6"
Elevation

LEVEL HEAD

Name
Elevation

COLUMN GRIDLINES

New 10
Existing 10
Column Grid Reference
Column Centerline

ENLARGED PLAN / DETAIL CALLOUT REFERENCE

View Number
01 / A4.01 Sheet Number
SIM Reference

EXTERIOR ELEVATION REFERENCE

SIM Reference
01 / A8.00 Sheet Number
View Number

INTERIOR ELEVATION REFERENCE

SIM Reference
01 / A8.00 Sheet Number
View Number
01 SIM Reference
SIM 01 A8.00 01 SIM
Sheet Number

BUILDING / WALL SECTION REFERENCE

View Number
SIM Reference
01 / A2.01 Sheet Number

INTERIOR SECTION REFERENCE

View Number
SIM Reference
01 / A2.01 Sheet Number

MATCHLINE VIEW REFERENCE

MATCHLINE
REF. 01 / A2.01B Sheet Number
View Number
Reference Direction

GRAPHIC SCALE

0 4'-0" 8'-0" 16'-0"

FLOOR FINISH TRANSITION

FLOOR ELEVATION CHANGE

+6"
0"

ALIGN SYMBOL

ALIGN ALIGN

CENTERLINE

EXIT SIGN

DIRECTION SYMBOL

SHEET NOTE CALLOUT

A

ABOVE LINE

BEYOND LINE

BREAK LINE

WALL GRAPHIC LEGEND

- NEW CONSTRUCTION
- EXISTING TO REMAIN CONSTRUCTION
- EXISTING CONST. TO BE DEMOLISHED
- NEW 30 MIN. RATED CONSTRUCTION
- NEW 1 HR. RATED CONSTRUCTION
- NEW 2 HR. RATED CONSTRUCTION
- NEW 3 HR. RATED CONSTRUCTION
- NEW 4 HR. RATED CONSTRUCTION

LIFE SAFETY SYMBOLS & TAGS

Area Name

150 SF — Square Footage
CLASS — Occupancy Class
1:### ### — Occupant Load
Load Ratio

Exit Number

Width Factor
##.##" ## REQ. — Required Clear Width
OCC — Occupant Load
Provided Clear Width

Stair Number

Width Factor
##.##" ## REQ. — Required Clear Width
OCC — Occupant Load
Provided Clear Width

Egress Cumulative Load
Egress Exit Load
Common Travel Path
Egress Travel Path

STANDARD PROJECT TAGS

AREA TAG

AREA NAME — Area Name
1,250 SF — Area Area (SF)
AREA NAME — Area Name
20.05 AC — Area Area (AC)

ROOM TAG

OFFICE — Room Name
101X — Room #
150 SF — Room Area (SF)

PARTITION TAG

M33.3 — Partition Type
Batt Indicator

WINDOW / LOUVER TAG

W12 — Window / Louver Type

DOOR TAG

101A — Door #

CASEWORK TAG

Casework Type
B01 30W — Casework Width
24D 34H — Casework Height
Casework Depth

CEILING HEIGHT TAG

10'-6" — Height Above Finish Floor

REVISION TAG

1 — Revision #

FURNITURE / FURNITURE SYSTEM TAG

AB-1 — Furniture Type
1i — Furniture System Type

EQUIPMENT TAG

RF01 — Equipment Type

FINISH TAG

PT-01 — Finish Code

WALL & BASE FINISH TAG

PT-01 — Wall Finish Code
RB-01 — Wall Indicator Arrows (Optional)
Base Finish Code

ROOM FINISH TAG

ACT-01 C — Ceiling Finish Code
W PT-01 — Wall Finish Code
RB-01 B — Base Finish Code
F CP-01 — Floor Finish Code

MATERIAL SYMBOLS - PLAN

- BRICK
- CONCRETE MASONRY UNIT
- CONCRETE
- CAST-IN-PLACE CONCRETE
- PRECAST CONCRETE
- STONE
- GRAVEL
- COMPACTED EARTH FILL
- SAND

MATERIAL SYMBOLS - DETAIL

- STEEL
- OTHER METALS
- BATT INSULATION
- RIGID INSULATION
- GYPSUM BOARD
- PLASTER ON LATHE
- PLYWOOD
- MDF BOARD
- FINISHED WOOD
- CONTINUOUS WOOD BLOCKING
- WOOD SHIM

ABBREVIATIONS

ABBREV	DESCRIPTION
A	
ABV	above
ACOUS	acoustical
ACT	acoustical ceiling tile
AD	area drain
ADJ	adjustable
AFF	above finished floor
ALT	alternate
ALUM	aluminum
APPROX	apponximate
ARCH	architect
B	
B.O.	bottom of
BALC	balcony
BD	board
BET	between
BLDG	building
BLKG	blocking
BLW	below
BM	beam
BOT	bottom
BRKT	bracket
BULKHD	bulkhead
BUR	built up roof
C	
C.G.	corner guard
CAB	cabinet
CALK	caulking
CEM	cement
CER	ceramic
CJ	control joint
CLG	ceiling
CLOS	closet
CLR	clear
CO	cased opening
COL	column
CONC	concrete
CONT	continous
CPT	carpet
CT	ceramic tile
CTR	center
D	
DBL	double
DET	detail
DIA	diameter
DIM	dimension
DN	down
DR	door
DS	down spout
DW	dishwasher
DWG	drawing
E	
E	east
EA	each
EIFS	exterior insulation & finish system
ELEC	electric(al)
ELEV	elevation
EMER	emergency
ENCL	enclosure
EOS	edge of slab
EQ	equal
EQUIP	equipment
ETR	existing to remain
EW	each way
EXP JT	expansion joint
EXST	existing
F	
F.O.	face of
FA	fire alarm
FAP	fire annunciator panel
FD	floor drain
FE	fire extinguisher
FEC	fire extinguisher cabinet
FG	finish group
FH	fire hydrant
FHC	fire hose cabinet
FIN	finish
FLR	floor
FLUOR	fluorescent
FT	foot or feet
FUR	furring
G	
GAL	gallon
GALV	galvanized
GB	grab bar
GC	general contractor
GL	glass
GND	ground
GWB	gypsum board
GYP	gypsum
H	
H.W.H.	hot water heater
HC	handicapped
HDWD	hardwood
HDWR	hardware
HM	hollow metal
HORIZ	horizontal
HR	hour
HT	height
I	
ID	inner diameter
INCAN	incandescent
INSUL	insulation
INT	interior
J	
JAN	janitor
JST	joist

ABBREV	DESCRIPTION
JT	joint
L	
LAM	laminate
LAV	lavatory
LB(S)	pounds
LDG	landing
LT	light
M	
MAX	maximun
MECH	mechanical
MEMB	membrane
MFR	manufacturer
MIN	minimum
MISC	miscellaneous
MO	masonry opening
MTD	mounted
MTL	metal
N	
N	north
NIC	not in contract
NO	number
NOM	nominal
NTS	not to scale
O	
O.P.	overflow pipe
OA	overall
OC	on center
OD	outside diameter
OFF	office
OH	opposite hand
OPG	opening
OPP	opposite
P	
PART	partition
PERM	perimeter
PG	paint grade
PLAM	plastic laminate
PLAS	plaster
PLYWD	plywood
PR	pair
PT	paint
PTD	painted
R	
R	riser
RAD	radius
RCP	reflected ceiling plan
RD	roof drain
RE	refer
REF	refrigerator
REINF	reinforced
REQD	required
RESIL	resilient
RM	room
RO	rough opening
RTU	root top unit (mech)
S	
S	south
SAFB	sound attenunation fiber batt
SC	scupper
SCHED	schedule
SEAL	sealant
SECT	section
SF	square foot
SHT	sheet
SIM	similar
SPEC	specification
SQ	square
SS	stainless steel
STD	standard
STL	steel
STOR	storage
STRUCT	structural
SUSP	suspended
SYM	symmetrical
T	
T	tread
T&G	tongue & groove
TEL	telephone
TER	terrazzo
THK	thick
THR	threshold
TO	top of
TYP	typical
U	
UC	undercut
UNFIN	unfinished
UNO	unless noted otherwise
UON	unless otherwise noted
UTIL	utility
V	
VCT	vinyl compostion tile
VERT	vertical
VIF	verify in field
VTR	vent termination pipe
VWC	vinyl wall covering
W	
W	west
W/	with
W/O	without
WC	watercloset
WIN	window
WP	waterproof
WS	wetstack
WSCT	wainscot
WT	weight

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DRAWING HISTORY

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D	04/06/2026	SPRT RESPONSE TO COMMENTS

PROJECT NAME

LAKE WORTH BEACH PARKING STRUCTURE

PROJECT LOCATION

25 SOUTH K STREET
LAKE WORTH BEACH, FL 33460

PROJECT NUMBER

1008542

SHEET TITLE

GENERAL PROJECT INFORMATION

SHEET NUMBER

G0.02

FILE NAME: Autodesk Docs://1008542.00 - Lake Worth Beach Garage/1008542_LWB_Garage_A.rvt
DATE STAMP: 4/6/2026 10:58:31 AM

PARKING DATA

LEVEL	Standard Parking	Compact Parking	HC Parking	Total Parking	GSF	Remarks
LVL 5	25	0	1	26	11,408	
LVL 4	53	10	2	65	22,324	
LVL 3	53	10	2	65	22,324	
LVL 2	53	10	2	65	22,324	
LVL G	27	10	2	39	17,474	Not including ramp to L2
Total	211	40	9	260	95,854	
Existing Parking Spaces	64					Count. Includes approx. (7) parralel spaces on K Street
Total Parking Spaces	260					
Net Parking Spaces	196					
SF / Parking Space	369					
Compact Percentage	15%					

SITE PLAN DATA

Item	Code Section	Allowance (Urban Mixed-Use PD) - DT Zoning District	Provided	Remarks
Height	23.3.14 (D)	Additional 15 ft height under SBIP (30 ft not to exceed 2 stories)	Varies refer to exterior elevations	10'-0" allowed above height requiremnt for stair/elevator towers. Requesting sustainable bonus and Planned Development
FLOOR AREA RATIO (FAR) Option 1	23.3.14 (D) 23.4-12 (d)	(35,000) 1.6 = 56,000 SF	33,732 SF (Garage Levels 4 & 5) + 3,625 SF (17 S M Levels 1 & 2) = 37,357 SF	1.6 PUD. First 3 levels exempt
FLOOR AREA RATIO (FAR) Option 2	23.3.14 (D) 23.4-12 (d)	(35,000) 1.6 = 56,000 SF	33,732 SF (Garage Levels 4 & 5) + 2,861 SF (17 S M Levels 1 & 2) = 36,593 SF	1.6 PUD. First 3 levels exempt
Setbacks	23.3.14 (D)	Front-10'-0" Side - 10 ft. on street and 0 ft. on interior lot Side - 10 ft. on street and 0 ft. on interior lot Rear - 10 ft. general or 5 ft. for accessory	S. Façade: 10'-0" to Bld. B, 10 ft. to Bld. A, 50'-0" to garage East Facade - 10'-0" to property line W. Facade - 10'-0" to property line (5'-0" and 5'-0" alley) North Facade - 15'-0"	Buildings in excess of 30 feet in height shall provide an additional front and rear setback of between 8 and 12 feet to the minimum required front and rear setbacks
Impermeable Area - Option 1		90% max (31,500 SF)	88% (30,974 SF)	Incl. 5 ft (half) of the W. Alley (1,250SF)
Impermeable Area - Option 2		90% max (31,500 SF)	87% (30,622 SF)	Incl. 5 ft (half) of the W. Alley (1,250SF)
Lot Coverage (Garage)		70% Allowed (24,500 SF) for small lot cov.	64% provided (22,420 SF)	Incl. 5 ft (half) of the W. Alley (1,250SF) Relocated bldgs included
Lot Coverage w/ Relocated Bldgs Option 1		70% Allowed (24,500 SF) for small lot cov.	69.8% provided (24,444 SF)	Incl. 5 ft (half) of the W. Alley (1,250SF) Relocated bldgs included
Lot Coverage w/ Relocated Bldgs Option 2		70% Allowed (24,500 SF) for small lot cov.	68.7% provided (24,058 SF)	Incl. 5 ft (half) of the W. Alley (1,250SF) Relocated bldgs included
Lot Area	23.3.14 (D)	Minimum Area - 6,500 SF	Area provided - 35,000 SF	
Lot Width	23.3.14 (D)	Minimum Width - 50 Ft	Width provided - 135 Ft	
Parking	23.4-10 23.4-12	Existing L & M Surface Parking: 63 spaces Existing K St Surface Parking & On Street: 64 spaces (57 Surface & 7 On Street) 17 S M: Total Spaces: 127 parking spaces Institutional Req: 1 space per 200 gross SF of space (=18 Parking Spaces)	9 x 18 (90 degree) - 211 parking Spaces 8 x 16 (Compact / 90 degree) - 40 parking spaces (15%) HC 12x18 / 5FT Aisle Parking Spaces - 9 (Incl. 2 Van) Total Parking Spaces - 260 spaces	Future Obligated Parking Inventory: 36 spaces Parking Agreement Spaces: 50 spaces Total Spaces: 86 parking spaces Refer to Parking Data Table for further information
Bicycle, Scooter, & M.cycle Parking	23.4-8	No requirement	Bicycle Parking (ground level rack)- Approx. 4 spaces Scooter/ Motorcycle Parking (4 x 9) - 16 spaces. Distributed on upper levels.	Up to twenty-five (25) percent of the parking spaces may be met with bicycle, scooter or motorcycle storage. Four (4) bicycle storage spaces shall equal one (1) parking space; two (2) scooter storage spaces shall equal one (1) parking space; and two (2) motorcycle storage spaces shall equal one (1) parking space
Landscape / Pervious Area Option 1		3,500 SF (10% Min)	6,434 SF (18%)	PD / Sustainable Bonus Program
Landscape / Pervious Area Option 2		3,500 SF (10% Min)	6,785 SF (19%)	PD / Sustainable Bonus Program
Signage	23.5-1	Sign regulations subject to P&Z review	18 inch high stainless steel channel letters - backlite	

GRAPHICS LEGEND

- LOT COVERAGE
- IMPERMEABLE AREA
- PERVIOUS AREA
- FAR EXEMPT (FIRST 3 LEVELS)
- FLOOR AREA RATIO

GENERAL DATA

City of Lake Worth Beach, Florida

Zoning District
DT (Down Town)
Old Town Historic District

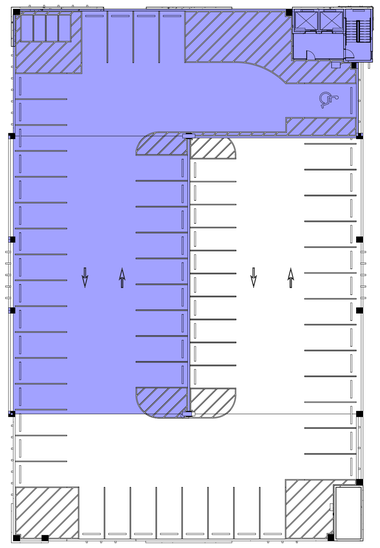
Future Land Use Designation
Down Town Mixed Use (DMU)

Acres
.77 acres (33,750 SF)
.80 acres 35,000 SF (Half W. Alley 1,250SF)

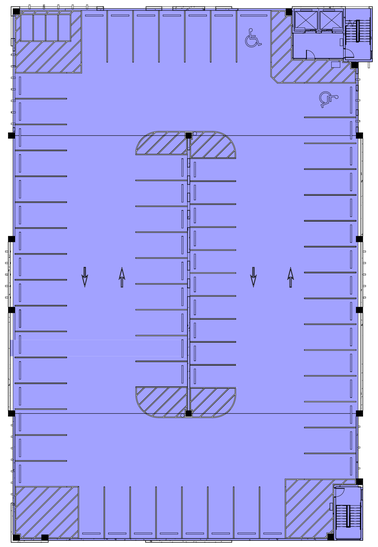
Building GSF - Option 1
Garage Building - 95,854 SF
Relocated Building - 17A, 2 Stories (Approx. 1,609 SF)
17B (Approx. 415 SF)
Sidewalks, ramps, etc. - (Approx. 687 SF)
Relocated Bldgs Lot Coverage - Approx. 2,024 SF

Building GSF - Option 2
Garage Building - 95,854 SF
Relocated Building - 17A, 2 Stories (Approx 1,223 SF)
17B (Approx. 415 SF)
Sidewalks, ramps, etc. - (Approx. 722 SF)
Relocated Bldgs Lot Coverage Approx 1,638 SF

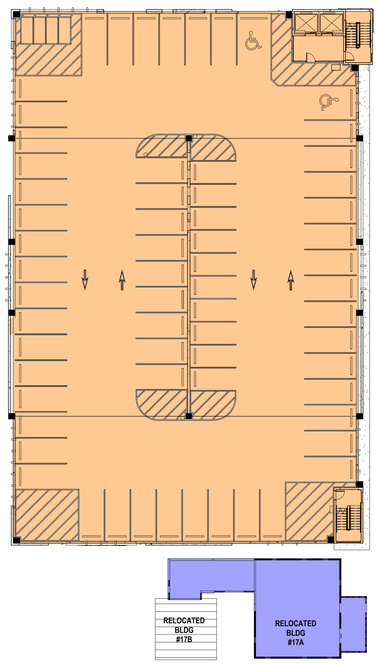
Applicable Codes and Standards
City of Lake Worth Beach Code of Ordinance
FL Blding Code, 2023 Eighth Edition
FL Blding Code, Accessibility, 2023 Eighth Edition
FL Fire Prevention Code, 2023 8th Ed (NFPA 1 and 101)
CPTED Standards, Guidelines & Policies
Major Thoroughfare Design Guidelines
Historic Preservation Design Guidelines



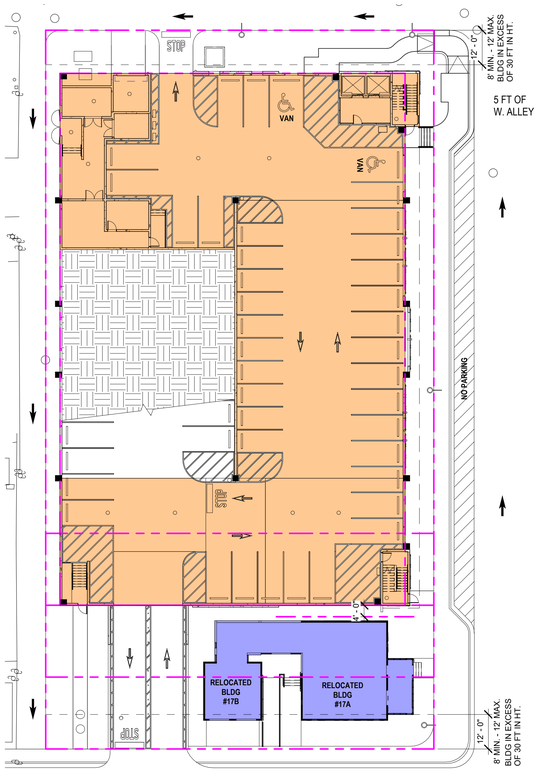
FAR - FIFTH LEVEL SCALE : NTS 6



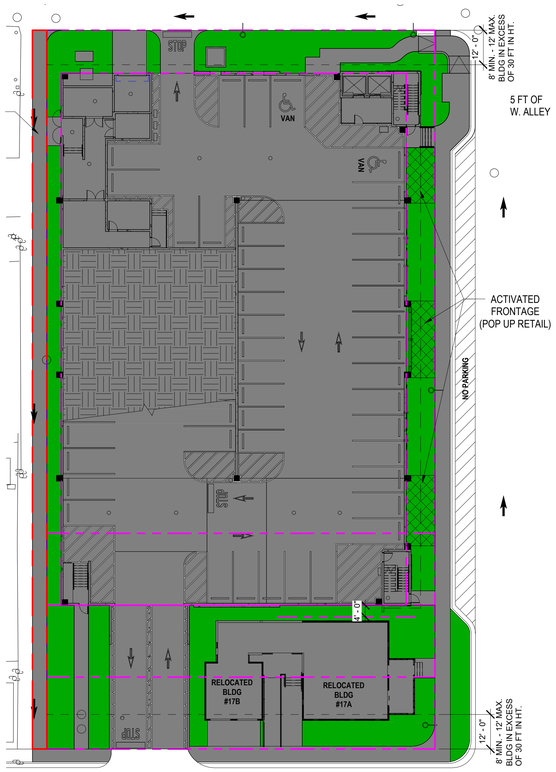
FAR - FOURTH LEVEL SCALE : NTS 5



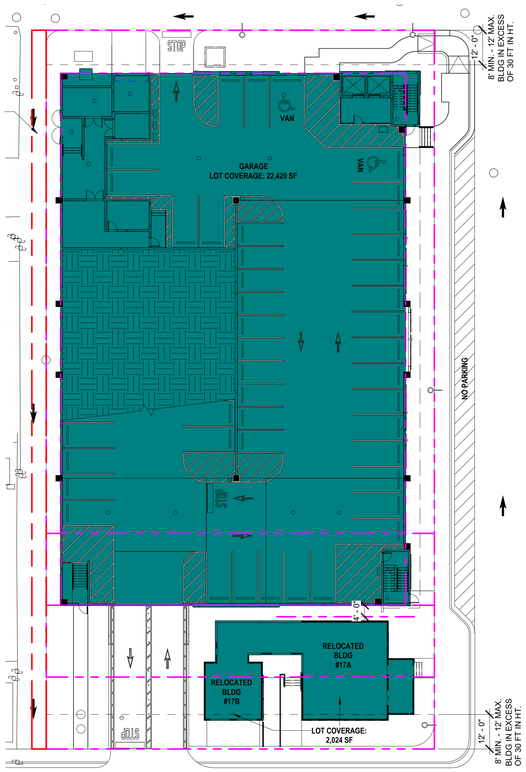
FAR - 2ND & 3RD LEVELS SCALE : NTS 4



FAR - GROUND LEVEL SCALE : NTS 3



IMPERVIOUS AREA - GROUND LEVEL SCALE : NTS 2



LOT COVERAGE - GROUND LEVEL SCALE : NTS 1

CLIENT
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DRAWING HISTORY

№	DATE	DESCRIPTION
A	01/09/2026	PLANNING & ZONING SUBMITTAL
B	02/06/2026	PLANNING & ZONING SUBMITTAL
C	02/27/2026	DESIGN DEVELOPMENT
D	04/06/2026	SPRT RESPONSE TO COMMENTS

PROJECT NAME
LAKE WORTH BEACH PARKING STRUCTURE

PROJECT LOCATION
25 SOUTH K STREET
LAKE WORTH BEACH, FL 33460

PROJECT NUMBER
1008542

SHEET TITLE
PLANNING & ZONING DATA - OPTION 1

SHEET NUMBER
A1.00

FILE NAME: Autodesk Docs://1008542.00 - Lake Worth Beach Garage/1008542_LWB_Garage_A.rvt
DATE STAMP: 4/6/2026 10:58:37 AM

PARKING DATA

LEVEL	Standard Parking	Compact Parking	HC Parking	Total Parking	GSF	Remarks
LVL 5	25	0	1	26	11,408	
LVL 4	53	10	2	65	22,324	
LVL 3	53	10	2	65	22,324	
LVL 2	53	10	2	65	22,324	
LVL G	27	10	2	39	17,474	Not including ramp to L2
Total	211	40	9	260	95,854	
Existing Parking Spaces	64					Count. Includes approx. (7) parralel spaces on K Street
Total Parking Spaces	260					
Net Parking Spaces	196					
SF / Parking Space	369					
Compact Percentage	15%					

SITE PLAN DATA

Item	Code Section	Allowance (Urban Mixed-Use PD) - DT Zoning District	Provided	Remarks
Height	23.3.14 (D)	Additional 15 ft height under SBIP (30 ft not to exceed 2 stories)	Varies refer to exterior elevations	10'-0" allowed above height requiremnt for stair/elevator towers. Requesting sustainable bonus and Planned Development
FLOOR AREA RATIO (FAR) Option 1	23.3.14 (D) 23.4-12 (d)	(35,000) 1.6 = 56,000 SF	33,732 SF (Garage Levels 4 & 5) + 3,625 SF (17 S M Levels 1 & 2) = 37,357 SF	1.6 PUD. First 3 levels exempt
FLOOR AREA RATIO (FAR) Option 2	23.3.14 (D) 23.4-12 (d)	(35,000) 1.6 = 56,000 SF	33,732 SF (Garage Levels 4 & 5) + 2,861 SF (17 S M Levels 1 & 2) = 36,593 SF	1.6 PUD. First 3 levels exempt
Setbacks	23.3.14 (D)	Front-10'-0" Side - 10 ft. on street and 0 ft. on interior lot Side - 10 ft. on street and 0 ft. on interior lot Rear - 10 ft. general or 5 ft. for accessory	S. Façade: 10'-0" to Bld. B, 10 ft. to Bld. A, 50'-0" to garage East Facade - 10'-0" to property line W. Facade - 10'-0" to property line (5'-0" and 5'-0" alley) North Facade - 15'-0"	Buildings in excess of 30 feet in height shall provide an additional front and rear setback of between 8 and 12 feet to the minimum required front and rear setbacks
Impermeable Area - Option 1		90% max (31,500 SF)	88% (30,974 SF)	Incl. 5 ft (half) of the W. Alley (1,250SF)
Impermeable Area - Option 2		90% max (31,500 SF)	87% (30,622 SF)	Incl. 5 ft (half) of the W. Alley (1,250SF)
Lot Coverage (Garage)		70% Allowed (24,500 SF) for small lot cov.	64% provided (22,420 SF)	Incl. 5 ft (half) of the W. Alley (1,250SF) Relocated bldgs included
Lot Coverage w/ Relocated Bldgs Option 1		70% Allowed (24,500 SF) for small lot cov.	69.8% provided (24,444 SF)	Incl. 5 ft (half) of the W. Alley (1,250SF) Relocated bldgs included
Lot Coverage w/ Relocated Bldgs Option 2		70% Allowed (24,500 SF) for small lot cov.	68.7% provided (24,058 SF)	Incl. 5 ft (half) of the W. Alley (1,250SF) Relocated bldgs included
Lot Area	23.3.14 (D)	Minimum Area - 6,500 SF	Area provided - 35,000 SF	
Lot Width	23.3.14 (D)	Minimum Width - 50 Ft	Width provided - 135 Ft	
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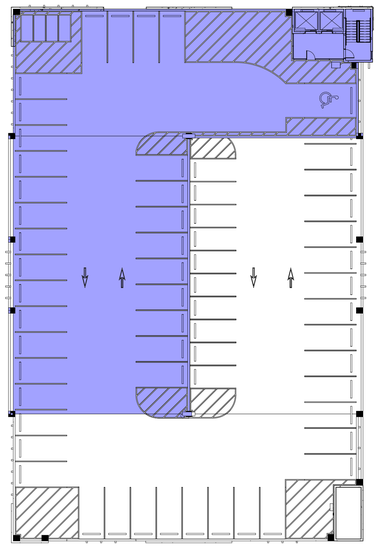
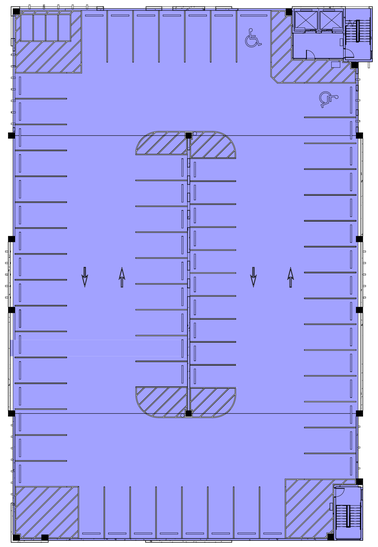
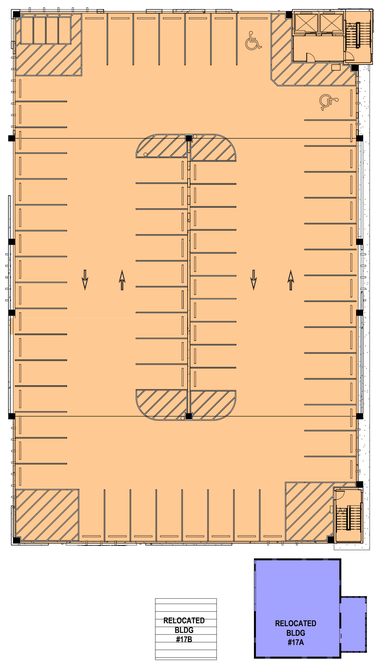


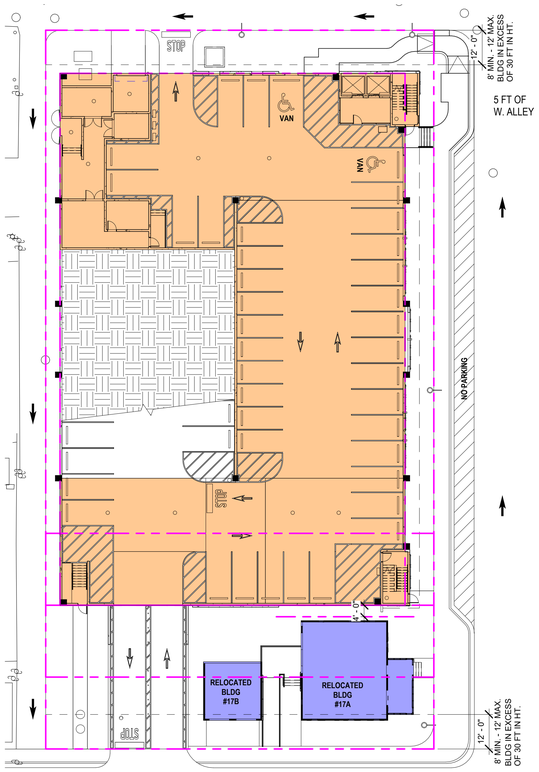
FAR - FIFTH LEVEL SCALE : NTS 6



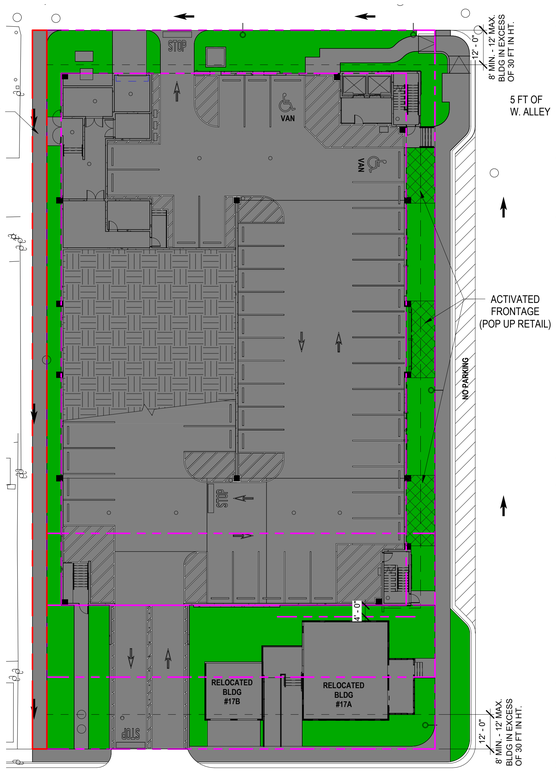
FAR - FOURTH LEVEL SCALE : NTS 5



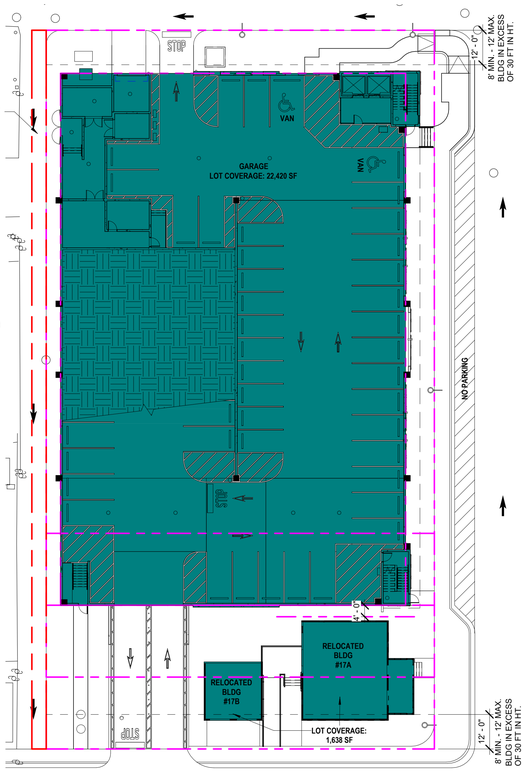
FAR - 2ND & 3RD LEVELS SCALE : NTS 4



FAR - GROUND LEVEL SCALE : NTS 3



IMPERVIOUS AREA - GROUND LEVEL SCALE : NTS 2



LOT COVERAGE - GROUND LEVEL SCALE : NTS 1

CLIENT

SUNSHINE LAKE WORTH DEVELOPMENT LLC

166 Montague Street
Brooklyn, NY 11201

ARCHITECT

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Ian Nestler

DRAWING HISTORY

№	DATE	DESCRIPTION
A	04/06/2026	SPRT RESPONSE TO COMMENTS

PROJECT NAME
LAKE WORTH BEACH PARKING STRUCTURE

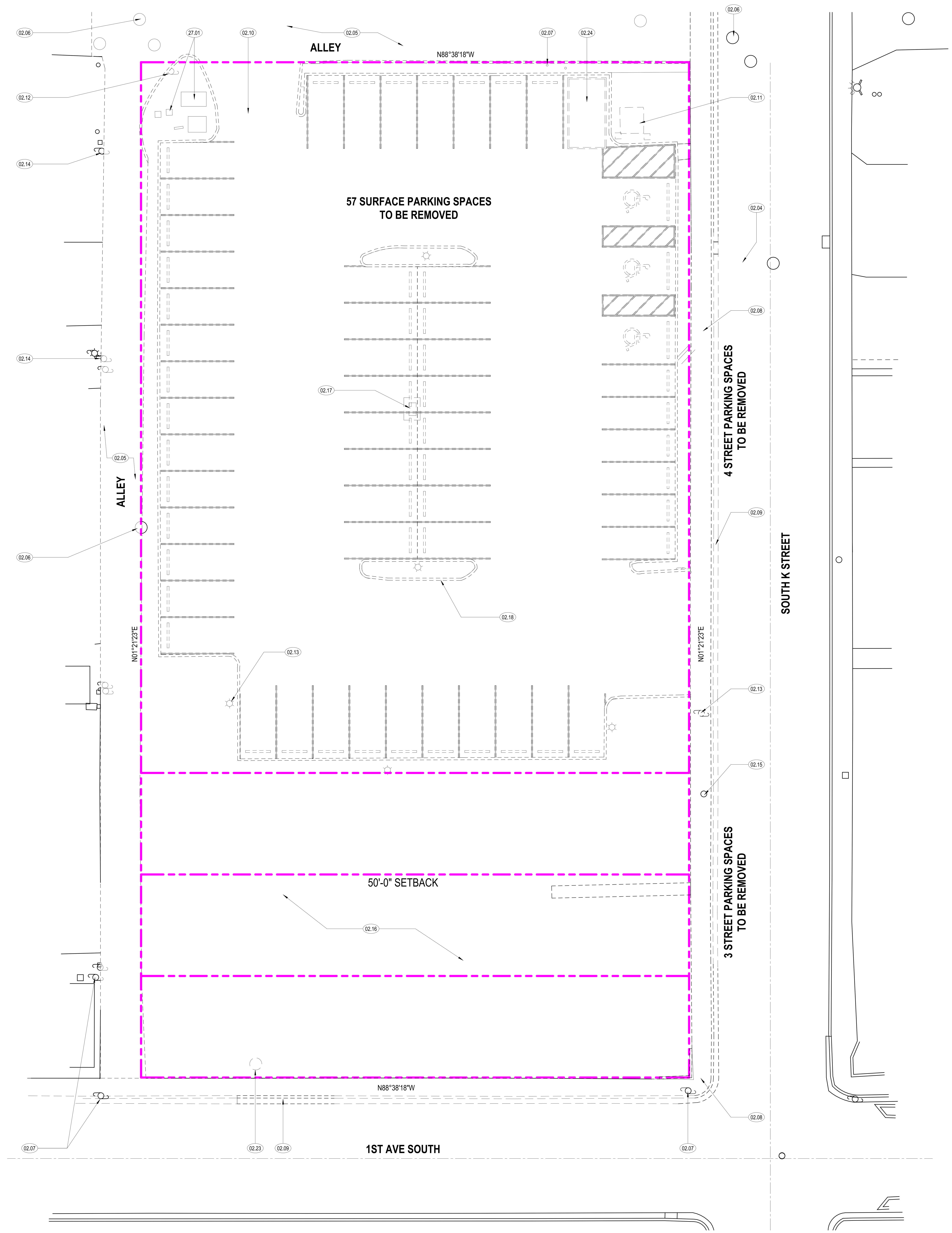
PROJECT LOCATION
25 SOUTH K STREET
LAKE WORTH BEACH, FL 33460

PROJECT NUMBER
1008542

SHEET TITLE
PLANNING & ZONING DATA - OPTION 2

SHEET NUMBER
A
A1.00-2

FILE NAME: Autodesk Docs://1008542.00 - Lake Worth Beach Garage/1008542_LWB_Garage_A.rvt
DATE STAMP: 4/6/2026 10:58:40 AM



OVERALL DEMOLITION SITE PLAN

SCALE : 3/32" = 1'-0" 1

GENERAL DEMOLITION NOTES

1. CONTRACTOR SHALL SECURE ALL APPLICABLE PERMITS FOR DEMOLITION OF THE SITE PRIOR TO MOBILIZATION.
2. CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO BEGINNING WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY ANY ABOVE OR BELOW GROUND STRUCTURES OR SERVICES THAT IMPACT THIS PROJECT. THIS MAY REQUIRE NEW SERVICE TIE-INS TO EXISTING SOURCES.
3. ALL CAPPING SHALL BE INSPECTED AND APPROVED BY THE PUBLIC UTILITY OWNING THE LINES.
4. ALL ADJACENT PROPERTIES AND AREAS ACCESSIBLE TO THE PUBLIC AND EXTERIOR PROPERTY LINES SHALL BE PROTECTED AGAINST DEBRIS FALLING OVER THE PROPERTY LINES.
5. ALL APPLICABLE ORDINANCES SHALL BE FOLLOWED AS THEY RELATE TO AIR, NOISE, AND RUNOFF FROM THE SITE. (I.E. ALL RUBBLE SHALL BE WATERED CONTINUOUSLY TO CONTROL DUST AND FLYING DEBRIS.)
6. ALL UTILITIES WITHIN THE DEMOLITION AREA OF WORK SHALL BE REMOVED OR CAPPED AS REQUIRED FOR A CLEAN AND SAFE SITE. WHEN CAPPING EXISTING SEWER SERVICES, CONTRACTORS SHALL FORWARD AS-BUILT PLANS PREPARED BY A LICENSED SURVEYOR AT THE CONTRACTOR'S EXPENSE FOR REVIEW AND APPROVAL BY THE CITY AND/OR ENGINEER. VERIFY HORIZONTALLY AND VERTICALLY.
7. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO MOBILIZATION.
8. ASPHALT, PAVERS, AND ROCK TO BE REMOVED AND DISPOSED OF AT LANDFILL AND/OR AS REQUIRED BY CITY, COUNTY, STATE, AND FEDERAL REGULATIONS.
9. REFER TO CIVIL DOCUMENTS FOR WORK OUTSIDE THE LIMITS SHOWN ON THIS PLAN.
10. CUTTING & REMOVAL INDICATED ARE GENERAL INDICATIONS ONLY & DO NOT NECESSARILY SHOW THE FULL EXTENT OF CUTTING & REMOVAL WHICH MAY BE REQUIRED BY JOB CONDITION.
11. CONTRACTOR SHALL INSPECT & ASSESS THE SITE TO FULFILL THE INTENT OF THE WORK REQUIRED BY THE CONTRACT DOCUMENTS AND PRIOR TO THE ISSUE OF THE GUARANTEED MAXIMUM PRICE. DEVIATIONS FROM THE CONTRACT DOCUMENTS REQUIRED BY FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR REVIEW BEFORE PROCEEDING. DEMOLISHED & REMOVED ITEMS SHALL BE DISCARDED. TRANSPORT DEMOLISHED MATERIALS OFF OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM. RELOCATED ITEMS MAY REQUIRE TEMPORARY STORAGE.
12. A CONSTRUCTION FENCE WITH SCREEN MUST BE ERECTED PRIOR TO THE START OF THE WORK AND MAINTAINED THROUGHOUT CONSTRUCTION.
13. SITE AREA CLEAN UP MUST TAKE PLACE SEVERAL TIMES A DAY OR WHEN NEEDED. REMOVAL FROM CONSTRUCTION SITE IS THE RESPONSIBILITY OF THE CONTRACTOR.
14. CONTRACTOR SHALL MAINTAIN CLEAN, CLEAR, AND SAFE PUBLIC ACCESS AT ALL TIMES.
15. ALL BELOW GROUND ELEMENTS WITHIN THE APPROXIMATE PROJECT LIMITS SHALL BE REMOVED OR RELOCATED AS REQUIRED FOR THIS PROJECT.
16. PEDESTRIAN ACCESS SHALL BE MAINTAINED TO ALL ADJACENT FACILITIES DURING CONSTRUCTION.
17. ALL UTILITIES, STRUCTURES, AND OTHER INFORMATION IDENTIFIED ON THIS PLAN ARE BASED ON THE SURVEY, REFER TO SURVEY FOR ADDITIONAL INFORMATION ON EXISTING CONDITIONS.
18. ALL TRAFFIC SIGNAGE CONFLICTING WITH THIS PROJECT SHALL BE COORDINATED WITH THE AUTHORITY HAVING JURISDICTION PRIOR TO REMOVAL OR RELOCATION.
19. REFER TO CIVIL, ELECTRICAL, AND LANDSCAPING FOR ADDITIONAL DEMOLITION INFORMATION.
20. REFER TO LANDSCAPE PLANS FOR TREE DISPOSITION PLANS.

GRAPHICS LEGEND

EXISTING TO REMAIN

EXISTING TO BE REMOVED

KEYNOTE LEGEND

Key Value	Keynote Text
02.04	EXISTING STREET PAVEMENT TO REMAIN. PATCH AND REPAIR EXISTING CONDITIONS DISTURBED DURING CONSTRUCTION FOR NEW WORK. TYP.
02.05	EXISTING ALLEY PAVEMENT TO REMAIN. PATCH AND REPAIR EXISTING CONDITIONS DISTURBED DURING CONSTRUCTION FOR NEW WORK. TYP.
02.06	SANITARY SEWER AND ASSOCIATED LINES TO REMAIN. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO STARTING WORK. TYP.
02.07	EXISTING POWER POLES AND OVERHEAD LINES TO BE COORDINATED WITH THE CITY PRIOR TO STARTING WORK. TYP.
02.08	EXISTING SIDEWALK TO BE REPLACED AS REQUIRED FOR NEW WORK. TYP.
02.09	EXISTING CURB AND GUTTER TO BE REMOVED. REF. TO CIVIL. TYP.
02.10	CONTRACTOR TO FIELD VERIFY COMMUNICATION LINES AND RELOCATE AS REQUIRED FOR NEW WORK. TYP.
02.11	EQUIPMENT IN THIS AREA TO BE REMOVED.
02.12	POWER POLES TO BE REMOVED.
02.13	LIGHT POLES AND POWER LINES TO BE REMOVED. TYP.
02.14	POWER POLES TO REMAIN.
02.15	EXISTING SIGNAGE WITHIN THE AREA OF WORK SHALL BE REMOVED. COORDINATE WITH CITY PRIOR TO THE REMOVAL. TYP.
02.16	FIELD VERIFY ALL ABOVE GROUND CONDITIONS WITHIN THE PROJECT LIMITS PRIOR TO STARTING WORK.
02.17	DRAINAGE STRUCTURE TO BE REMOVED. TYP.
02.18	CURBS, PAVEMENT, STRIPING, AND SIGNAGE TO BE REMOVED. TYP.
02.23	EXISTING POWER POLE TO BE RELOCATED BY OTHERS.
02.24	DUMPSTER TO BE REMOVED.
27.01	EXISTING COMMUNICATION CABINETS TO REMAIN.

0 8'-0" 16'-0" 32'-0"

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DRAWING HISTORY

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A	01/09/2026	PLANNING & ZONING SUBMITTAL
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PROJECT LOCATION
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LAKE WORTH BEACH, FL 33460

PROJECT NUMBER
1008542

SHEET TITLE
DEMOLITION SITE PLAN

SHEET NUMBER
D
AD1.10

FILE NAME: Autodesk Docs://1008542.00 - Lake Worth Beach Garage/1008542_LWB_Garage_A.rvt
DATE STAMP: 4/6/2026 10:58:42 AM

SITE PLAN LEGEND

1. STAIR/ELEVATOR
2. STAIR
3. VEHICULAR ENTRANCE
4. VEHICULAR EXIT
5. PEDESTRIAN ENTRANCE
6. ACTIVE USE AREA
7. BICYCLE RACK
8. TRANSFORMER
9. UTILITY ACCESS
10. COMMUNICATION CABINETS

KEYNOTE LEGEND

Key Value	Keynote Text

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PROJECT LOCATION
25 SOUTH K STREET
LAKE WORTH BEACH, FL 33460

PROJECT NUMBER
1008542

SHEET TITLE
COLORED SITE PLAN - OPTION 1

SHEET NUMBER
A1.10

COLORED SITE PLAN SCALE : 3/32" = 1'-0" 1

0 8'-0" 16'-0" 32'-0"

FILE NAME: Autodesk Docs://1008542.00 - Lake Worth Beach Garage/1008542_LWB_Garage_A.rvt
DATE STAMP: 4/6/2026 10:58:56 AM

FILE NAME: Autodesk Docs://1008542.00 - Lake Worth Beach Garage/1008542_LWB_Garage_A.rvt
DATE STAMP: 4/6/2026 10:59:09 AM

COLORED SITE PLAN | SCALE : 3/32" = 1'-0" | 1

SITE PLAN LEGEND

1. STAIR/ELEVATOR
2. STAIR
3. VEHICULAR ENTRANCE
4. VEHICULAR EXIT
5. PEDESTRIAN ENTRANCE
6. ACTIVE USE AREA
7. BICYCLE RACK
8. TRANSFORMER
9. UTILITY ACCESS
10. COMMUNICATION CABINETS

KEYNOTE LEGEND

Key Value	Keynote Text

0 8'-0" 16'-0" 32'-0"

CLIENT

SUNSHINE LAKE WORTH DEVELOPMENT LLC

166 Montague Street
Brooklyn, NY 11201

ARCHITECT

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REGISTRATION

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Ian Nestler

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Date: 2026.04.08 10:03:14-04'00'

DRAWING HISTORY

№.	DATE	DESCRIPTION
A	04/06/2026	SPRT RESPONSE TO COMMENTS

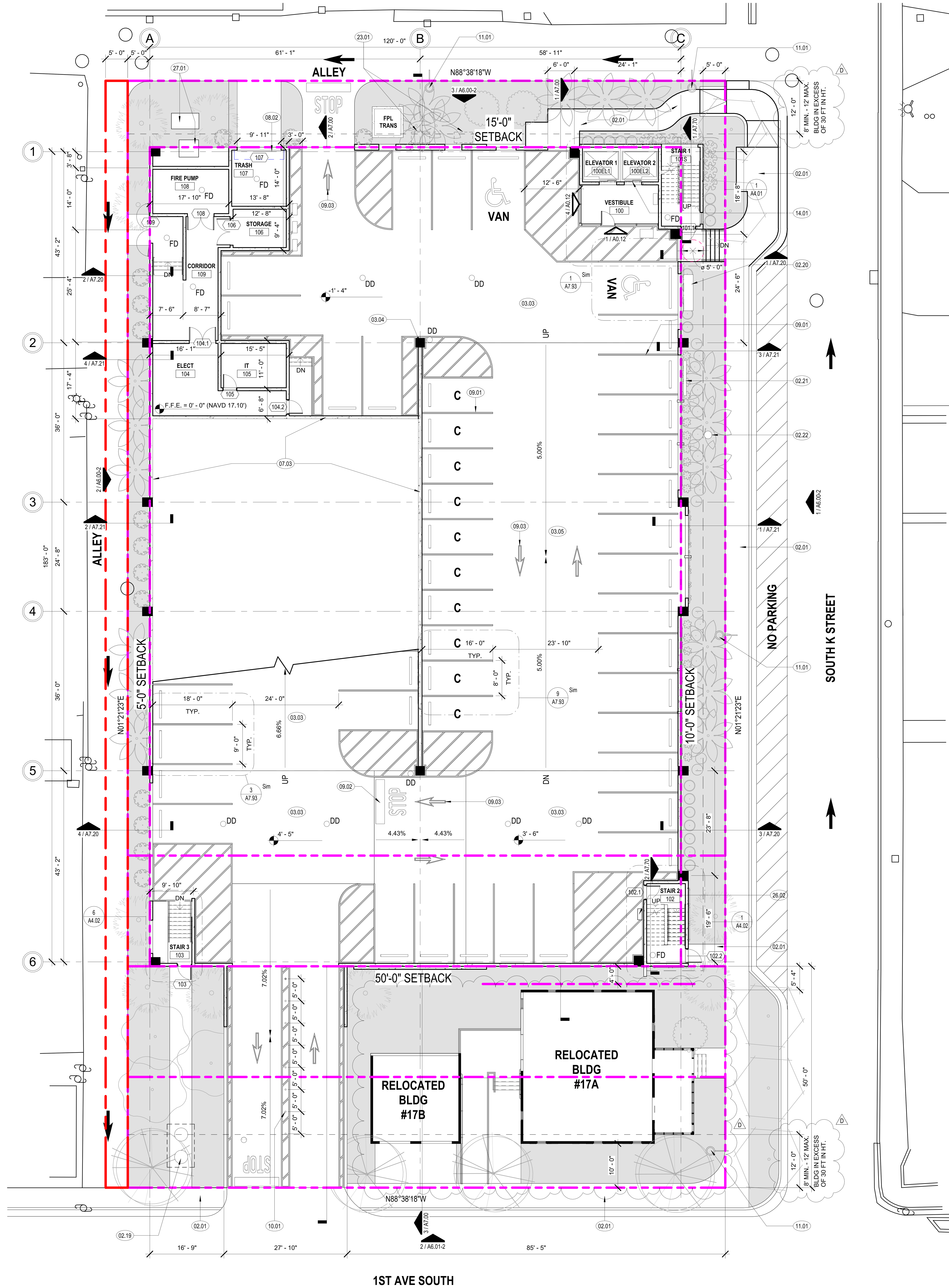
PROJECT NAME
LAKE WORTH BEACH PARKING STRUCTURE

PROJECT LOCATION
25 SOUTH K STREET
LAKE WORTH BEACH, FL 33460

PROJECT NUMBER
1008542

SHEET TITLE
COLORED SITE PLAN - OPTION 2

SHEET NUMBER
A1.10-2



GROUND LEVEL SITE PLAN SCALE : 3/32" = 1'-0" 1

GENERAL PLAN NOTES

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3. ALL DIMENSIONS ARE TO FACE OF STUD, GRID LINES AND FACE OF MASONRY INFILL WALL U.N.O. ALL DIMENSIONS TO EXISTING WALLS ARE TO FACE OF WALL ASSEMBLY U.N.O.
4. ALL 36" WIDE INTERIOR SWING DOORS SHALL BE LOCATED 2'-0" FROM CENTER OF DOOR TO PERPENDICULAR SURFACE OF ADJACENT WALL AT DOOR JAMB U.N.O.
5. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
6. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY, INACCURACY OR CONFLICTING INFORMATION BEFORE EXECUTION OF WORK.
7. REFER TO WALL TYPE SCHEDULE FOR ADDITIONAL INFORMATION.
8. ALL SHAFTS PENETRATING SLAB SHALL BE RATED 2HR.
9. PROVIDE IN-WALL REINFORCEMENT FOR ALL WALL MOUNTED FURNITURE AND EQUIPMENT AS REQUIRED.
10. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ALL INFORMATION REGARDING SITE ELEMENTS INCLUDING BUT NOT LIMITED TO PAVING, GRADING, SITE DRAINAGE, PLANTINGS ETC.
11. SPOT ELEVATIONS SHOWN ARE AT T.O. SLAB, T.O. PAVERS OR T.O. STAIR LANDING.
12. REFER TO LIFE SAFETY CODE ANALYSIS SHEET FOR PARKING COUNT BY LEVEL.
13. ALL EXPOSED PIPING VISIBLE FROM EXTERIOR MUST BE PAINTED.
14. ALL FLAT ROOF SLOPES SHALL BE 1/4" PER FOOT U.N.O.

PLAN GRAPHICS LEGEND

REFER TO TYPICAL PLAN LEGEND GRAPHICS ON GENERAL PROJECT INFORMATION SHEET

INDICATES 1/4" PER FOOT SLOPE TO DRAIN AT ROOF

SLOPE ELEVATED PRECAST DECK DRAINS AT A MIN. 1/8" PER FOOT AS DETERMINED BY THE ENGINEER OF RECORD.

SLOPE ROOFS AT 1/4" PER FOOT MIN. AS SHOWN ON THE PLANS.

TD-X TRENCH DRAIN AS INDOCATED ON THE PLUMBING DRWGS.

FD-X FLOOR DRAIN AS INDICATED IN THE PLUMBING DRWGS.

AD-X AREA DRAIN AS INDICATED IN THE PLUMBING DRWGS.

XX SIGNAGE TAG - REFER TO PARKING SIGNAGE SHEETS FOR DETAILS.

NEW PRECAST WALL CONSTRUCTION (FULL HEIGHT)

NEW WALL CONSTRUCTION (HALF HEIGHT)

NEW CMU WALL

KEYNOTE LEGEND

NOTE: KEYNOTE NUMBERING IS FOR ORGANIZATIONAL PURPOSES ONLY AND NOT INTENDED TO REFERENCE A SPECIFIC CSI DIVISION

Key Value	Keynote Text
02.01	PAVEMENT. REF. TO CIVIL FOR ALL WORK OUTSIDE BUILDING ENVELOPE. TYP.
02.19	DRAINAGE WELL. REF. TO CIVIL FOR FURTHER INFORMATION.
02.20	DOMESTIC WATER METER & BACKFLOW PREVENTER. REF. TO CIVIL FOR FURTHER INFORMATION.
02.21	DOUBLE DETECTOR CHECK VALVE. REF. TO CIVIL FOR FURTHER INFORMATION.
02.22	FIRE DEPARTMENT CONNECTION. REF. TO CIVIL FOR FURTHER INFORMATION.
03.03	PRETOPPED PRECAST DOUBLE TEES WITH MED. BROOM FINISH. SEALER TO BE APPLIED WHEN VEHICULAR TRAFFIC BEARING WATERPROOFING IS NOT USED. TYP.
03.04	PRECAST COLUMN WITH PAINTED FINISH AND 42" HT. EMBEDDED GALV. (PAINTED YELLOW) METAL CORNER GUARDS AT ALL CORNERS WITHIN PARKING AREA. ALL INTERIOR FACES OF COLUMNS SHALL BE PAINTED YELLOW UP TO TOP OF CORNER GUARD. TYP.
03.05	REINF. CONC. SLAB ON GRADE W/ MED. BROOM FINISH AND CONCRETE SEALER FINISH OVER VAPOR BARRIER. TYP.
07.03	CONTINUOUS BENTONITE WATERPROOFING. TYP.
08.02	AUTOMATIC OVERHEAD COILING DOOR.
09.01	4" WIDE PAINTED WHITE PARKING STRIPE WITH 6" HIGH PRECAST CONCRETE WHEEL STOP ATTACHED TO DECK WITH EPOXY. SEE DETAIL 4/A7.93
09.02	PAINTED "STOP" SIGN AND STOP BAR AS SCHEDULED. SEE DEATILS 6/A7.93 & 7/A7.93
09.03	PAINTED DIRECTIONAL ARROW. SEE DETAIL 5/A7.93
10.01	4" X 36" HT. LANE DELINEATOR. TYP.
11.01	LIGHT POLE BY OTHERS.
14.01	TRACTION ELEVATOR.
23.01	EXHAUST FANS TO BE WALL MOUNTED. REFER TO MECHANICAL FOR FURTHER INFORMATION.
26.02	WALL MOUNTED EMERGENCY CALL BOX BY OTHERS. TYP.
27.01	EXISTING COMMUNICATION CABINETS TO REMAIN.

CLIENT

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C	02/27/2026	DESIGN DEVELOPMENT
D	04/06/2026	SPRT RESPONSE TO COMMENTS

PROJECT NAME
LAKE WORTH BEACH PARKING STRUCTURE

PROJECT LOCATION
25 SOUTH K STREET
LAKE WORTH BEACH, FL 33460

PROJECT NUMBER
1008542

SHEET TITLE
GROUND LEVEL FLOOR PLAN

SHEET NUMBER
A2.10

FILE NAME: Autodesk Docs://1008542.00 - Lake Worth Beach Garage/1008542_LWB_Garage_A.rvt
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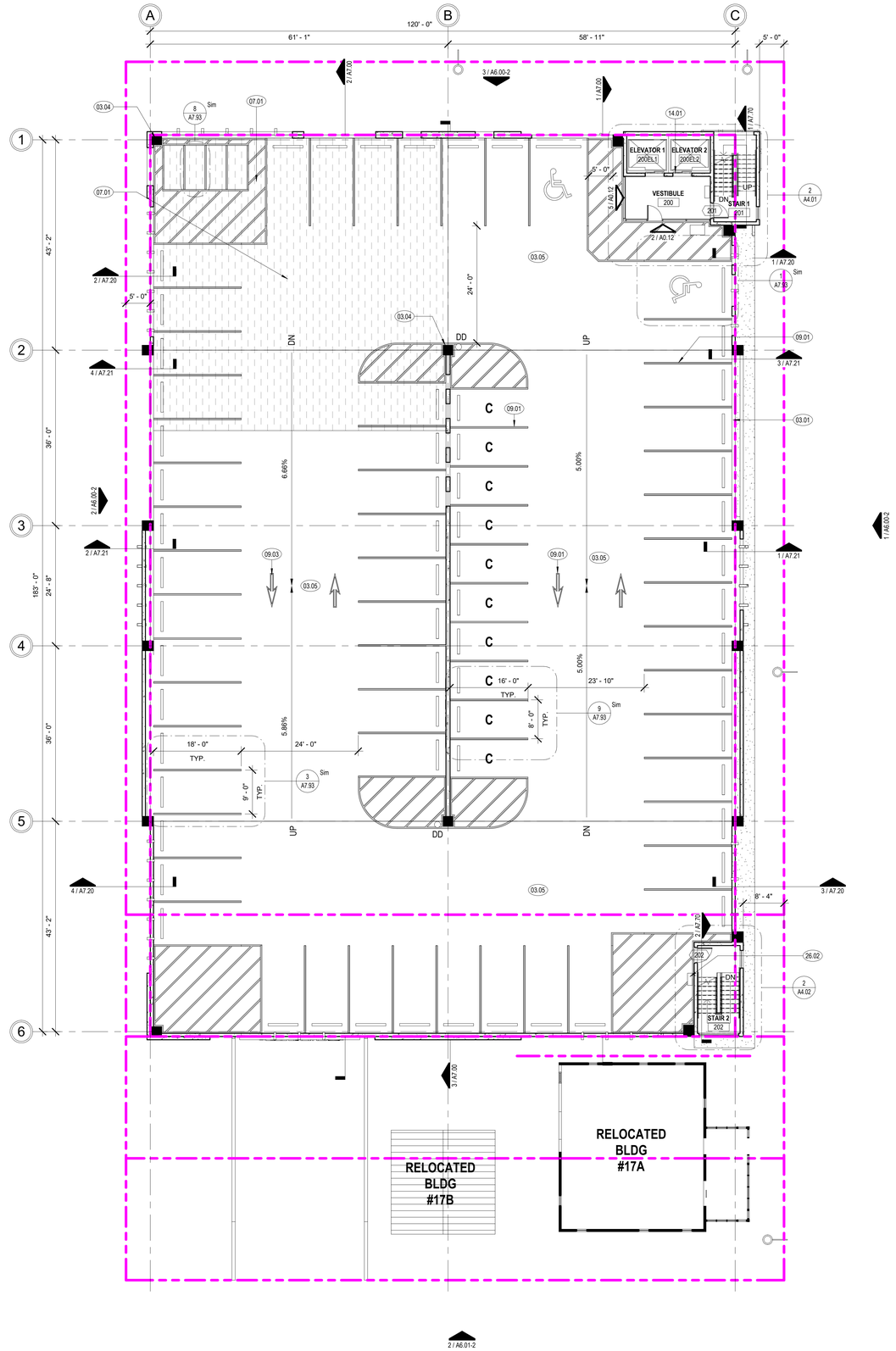

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PLAN GRAPHICS LEGEND

REFER TO TYPICAL PLAN LEGEND GRAPHICS ON GENERAL PROJECT INFORMATION SHEET

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NEW PRECAST WALL CONSTRUCTION (FULL HEIGHT)

NEW WALL CONSTRUCTION (HALF HEIGHT)

NEW CMU WALL

KEYNOTE LEGEND

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07.01	VEHICULAR TRAFFIC BEARING WATERPROOFING APPLIED TO PRECAST DOUBLE TEES.
09.01	4" WIDE PAINTED WHITE PARKING STRIPE WITH 6" HIGH PRECAST CONCRETE WHEEL STOP ATTACHED TO DECK WITH EPOXY. SEE DETAIL 4/A7.93
09.03	PAINTED DIRECTIONAL ARROW. SEE DETAIL 5/A7.93
14.01	TRACTION ELEVATOR.
26.02	WALL MOUNTED EMERGENCY CALL BOX BY OTHERS. TYP.

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D	04/06/2026	SPRT RESPONSE TO COMMENTS

PROJECT NAME

LAKE WORTH BEACH PARKING STRUCTURE

PROJECT LOCATION

25 SOUTH K STREET
LAKE WORTH BEACH, FL 33460

PROJECT NUMBER

1008542

SHEET TITLE

SECOND LEVEL FLOOR PLAN

SHEET NUMBER

A2.20

SECOND LEVEL FLOOR PLAN SCALE : 3/32" = 1'-0" (1)

0 8'-0" 16'-0" 32'-0"

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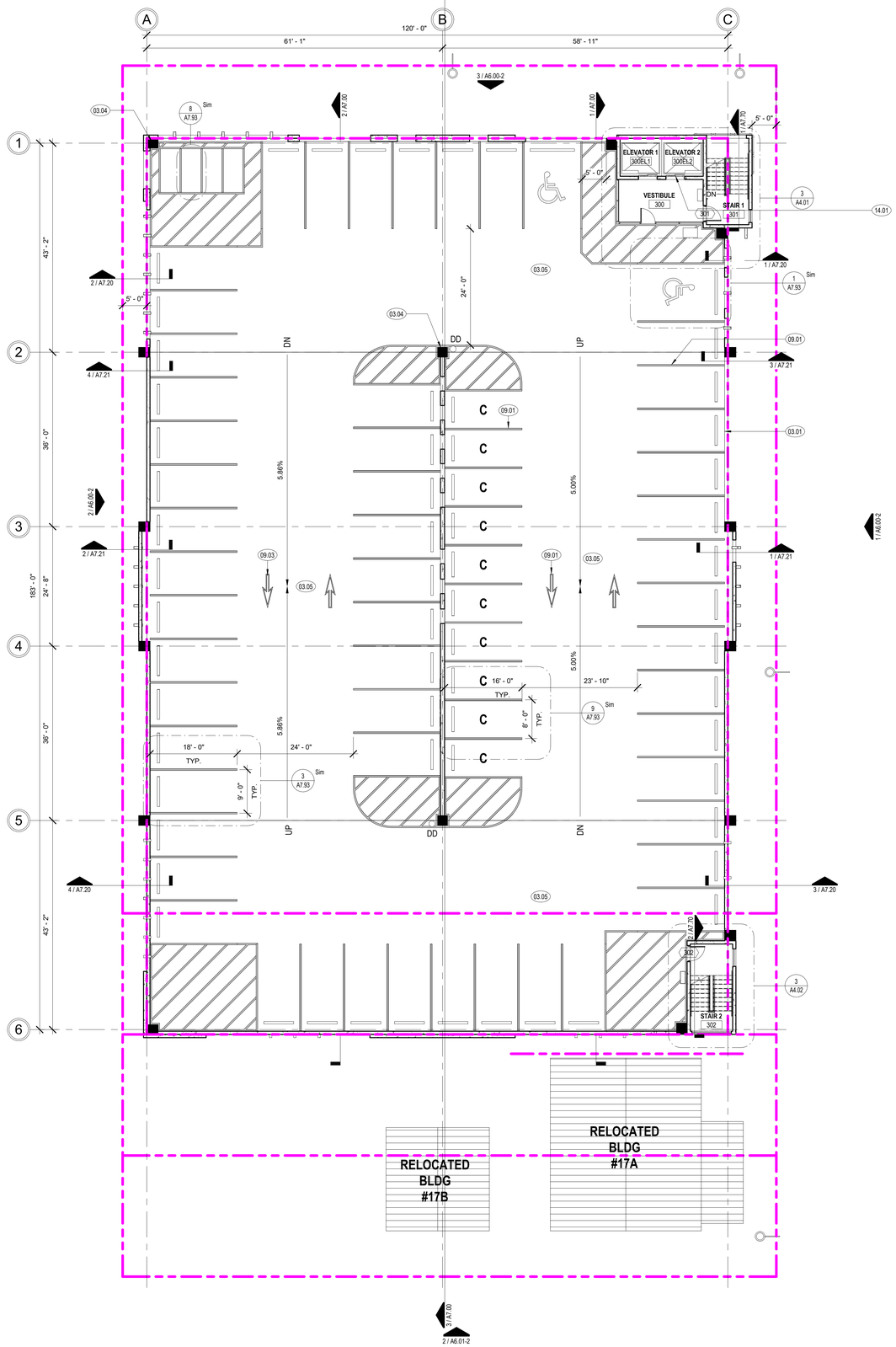

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14. ALL FLAT ROOF SLOPES SHALL BE 1/4" PER FOOT U.N.O.

PLAN GRAPHICS LEGEND

REFER TO TYPICAL PLAN LEGEND GRAPHICS ON GENERAL PROJECT INFORMATION SHEET

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AD-X AREA DRAIN AS INDICATED IN THE PLUMBING DRWGS.

XX SIGNAGE TAG - REFER TO PARKING SIGNAGE SHEETS FOR DETAILS.

NEW PRECAST WALL CONSTRUCTION (FULL HEIGHT)

NEW WALL CONSTRUCTION (HALF HEIGHT)

NEW CMU WALL

KEYNOTE LEGEND

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09.01	4" WIDE PAINTED WHITE PARKING STRIPE WITH 6" HIGH PRECAST CONCRETE WHEEL STOP ATTACHED TO DECK WITH EPOXY. SEE DETAIL 4/A7.93
09.03	PAINTED DIRECTIONAL ARROW. SEE DETAIL 5/A7.93
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PROJECT NAME
LAKE WORTH BEACH PARKING STRUCTURE

PROJECT LOCATION
25 SOUTH K STREET
LAKE WORTH BEACH, FL 33460

PROJECT NUMBER
1008542

SHEET TITLE
THIRD LEVEL FLOOR PLAN

SHEET NUMBER
A2.30

THIRD LEVEL FLOOR PLAN SCALE : 3/32" = 1'-0" (1)

0 8'-0" 16'-0" 32'-0"

FILE NAME: Autodesk Docs://1008542.00 - Lake Worth Beach Garage/1008542_LWB_Garage_A.rvt
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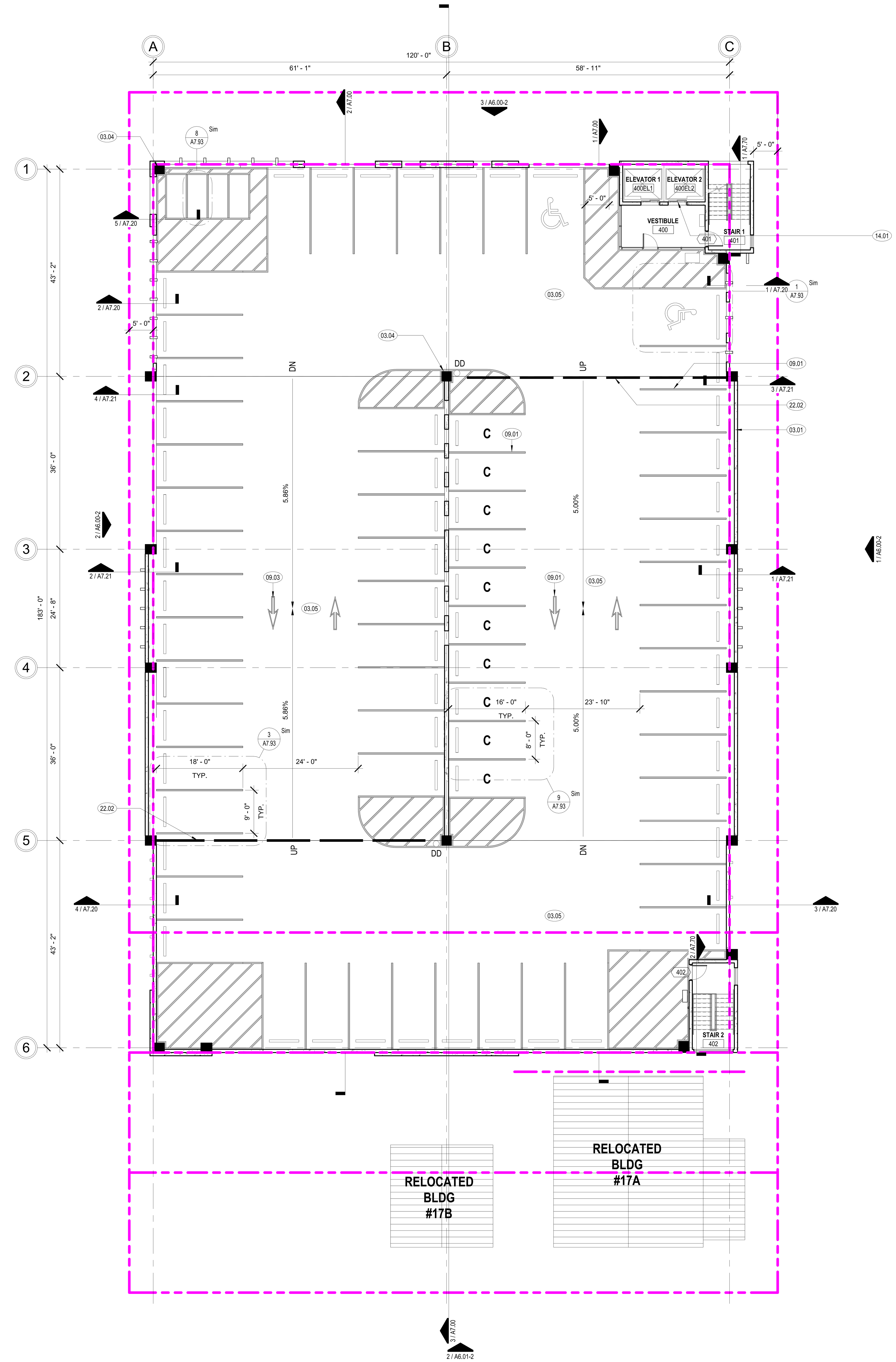

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PLAN GRAPHICS LEGEND

REFER TO TYPICAL PLAN LEGEND GRAPHICS ON GENERAL PROJECT INFORMATION SHEET

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XX SIGNAGE TAG - REFER TO PARKING SIGNAGE SHEETS FOR DETAILS.

NEW PRECAST WALL CONSTRUCTION (FULL HEIGHT)

NEW WALL CONSTRUCTION (HALF HEIGHT)

NEW CMU WALL

KEYNOTE LEGEND

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09.03	PAINTED DIRECTIONAL ARROW. SEE DETAIL 5/A7.93
14.01	TRACTION ELEVATOR.
22.02	TRENCH DRAIN. REFER TO PLUMBING FOR FURTHER INFO.

CLIENT

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PROJECT NAME
LAKE WORTH BEACH PARKING STRUCTURE

PROJECT LOCATION
25 SOUTH K STREET
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PROJECT NUMBER
1008542

SHEET TITLE
FOURTH LEVEL FLOOR PLAN

SHEET NUMBER
A2.40

FOURTH LEVEL FLOOR PLAN | SCALE : 3/32" = 1'-0" | 1

0 8'-0" 16'-0" 32'-0"

FILE NAME: Autodesk Docs://1008542.00 - Lake Worth Beach Garage/1008542_LWB_Garage_A.rvt
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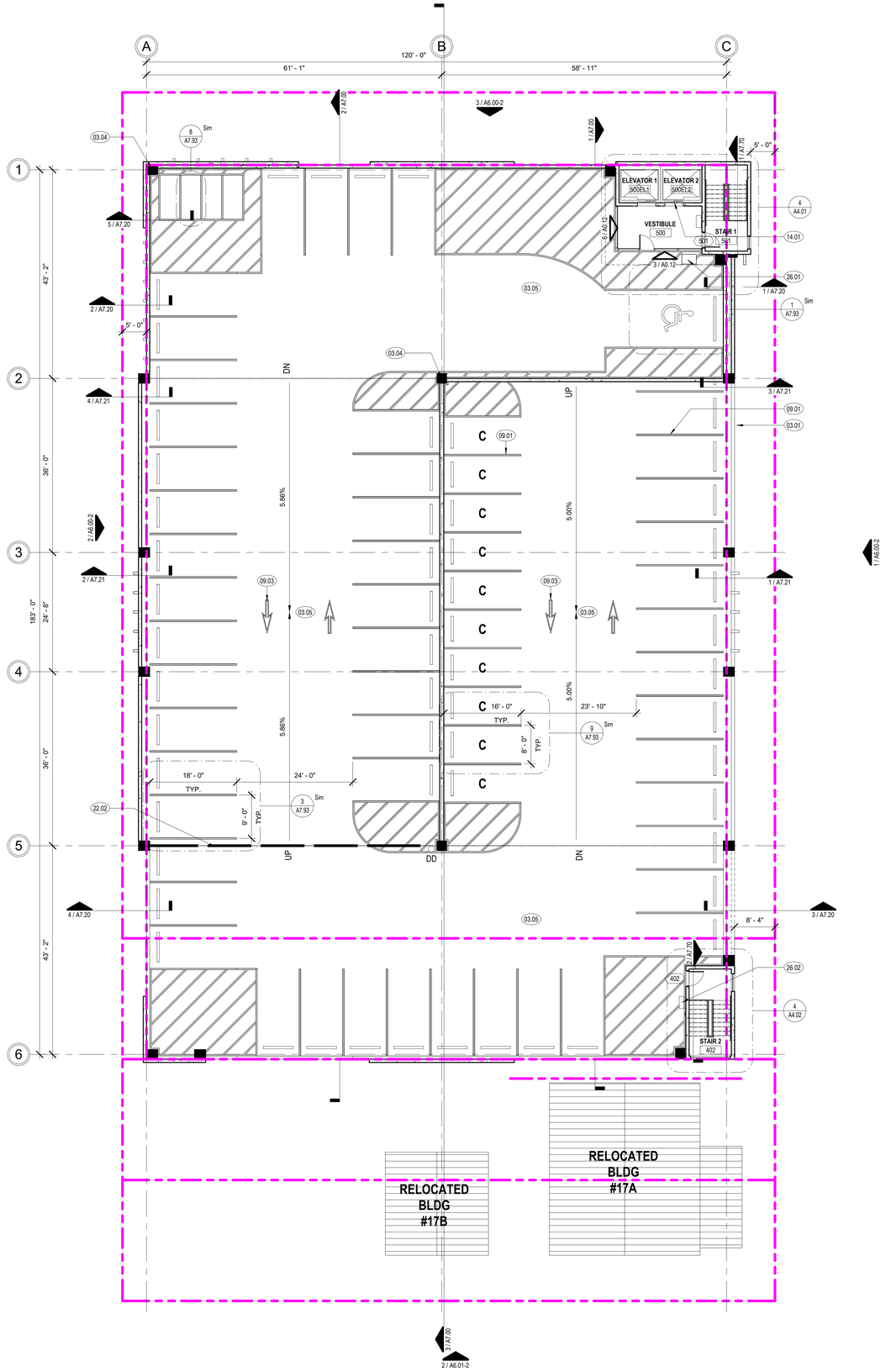

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2. DO NOT SCALE DIMENSIONS FROM DRAWINGS, ANY UNKNOWN DIMENSION SHALL BE OBTAINED FROM DESIGN PROFESSIONALS VIA REQUEST FOR INFORMATION (RFI).
3. ALL DIMENSIONS ARE TO FACE OF STUD, GRID LINES AND FACE OF MASONRY INFILL WALL U.N.O. ALL DIMENSIONS TO EXISTING WALLS ARE TO FACE OF WALL ASSEMBLY U.N.O.
4. ALL 36" WIDE INTERIOR SWING DOORS SHALL BE LOCATED 2'-0" FROM CENTER OF DOOR TO PERPENDICULAR SURFACE OF ADJACENT WALL AT DOOR JAMB U.N.O.
5. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
6. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY, INACCURACY OR CONFLICTING INFORMATION BEFORE EXECUTION OF WORK.
7. REFER TO WALL TYPE SCHEDULE FOR ADDITIONAL INFORMATION.
8. ALL SHAFTS PENETRATING SLAB SHALL BE RATED 2HR.
9. PROVIDE IN-WALL REINFORCEMENT FOR ALL WALL MOUNTED FURNITURE AND EQUIPMENT AS REQUIRED.
10. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ALL INFORMATION REGARDING SITE ELEMENTS INCLUDING BUT NOT LIMITED TO PAVING, GRADING, SITE DRAINAGE, PLANTINGS ETC.
11. SPOT ELEVATIONS SHOWN ARE AT T.O. SLAB, T.O. PAVERS OR T.O. STAIR LANDING.
12. REFER TO LIFE SAFETY CODE ANALYSIS SHEET FOR PARKING COUNT BY LEVEL.
13. ALL EXPOSED PIPING VISIBLE FROM EXTERIOR MUST BE PAINTED.
14. ALL FLAT ROOF SLOPES SHALL BE 1/4" PER FOOT U.N.O.

PLAN GRAPHICS LEGEND

REFER TO TYPICAL PLAN LEGEND GRAPHICS ON GENERAL PROJECT INFORMATION SHEET

INDICATES 1/4" PER FOOT SLOPE TO DRAIN AT ROOF

SLOPE ELEVATED PRECAST DECK DRAINS AT A MIN. 1/8" PER FOOT AS DETERMINED BY THE ENGINEER OF RECORD.

SLOPE ROOFS AT 1/4" PER FOOT MIN. AS SHOWN ON THE PLANS.

TD-X TRENCH DRAIN AS INDOCATED ON THE PLUMBING DRWGS.

FD-X FLOOR DRAIN AS INDICATED IN THE PLUMBING DRWGS.

AD-X AREA DRAIN AS INDICATED IN THE PLUMBING DRWGS.

XX SIGNAGE TAG - REFER TO PARKING SIGNAGE SHEETS FOR DETAILS.

NEW PRECAST WALL CONSTRUCTION (FULL HEIGHT)

NEW WALL CONSTRUCTION (HALF HEIGHT)

NEW CMU WALL

KEYNOTE LEGEND

NOTE: KEYNOTE NUMBERING IS FOR ORGANIZATIONAL PURPOSES ONLY AND NOT INTENDED TO REFERENCE A SPECIFIC CSI DIVISION

Key Value	Keynote Text
03.01	PRECAST CONCRETE SPANDREL PANEL WITH PAINTED FINISH. TYP.
03.04	PRECAST COLUMN WITH PAINTED FINISH AND 42" HT. EMBEDDED GALV. (PAINTED YELLOW) METAL CORNER GUARDS AT ALL CORNERS WITHIN PARKING AREA. ALL INTERIOR FACES OF COLUMNS SHALL BE PAINTED YELLOW UP TO TOP OF CORNER GUARD. TYP.
03.05	REINF. CONC. SLAB ON GRADE W/ MED. BROOM FINISH AND CONCRETE SEALER FINISH OVER VAPOR BARRIER, TYP.
09.01	4" WIDE PAINTED WHITE PARKING STRIPE WITH 6" HIGH PRECAST CONCRETE WHEEL STOP ATTACHED TO DECK WITH EPOXY. SEE DETAIL 4/A7.93
09.03	PAINTED DIRECTIONAL ARROW. SEE DETAIL 5/A7.93
14.01	TRACTION ELEVATOR.
22.02	TRENCH DRAIN. REFER TO PLUMBING FOR FURTHER INFO.
26.01	FLOOR MOUNTED PARKING PAYMENT KIOSK BY OTHERS. TYP.
26.02	WALL MOUNTED EMERGENCY CALL BOX BY OTHERS. TYP.

CLIENT

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Brooklyn, NY 11201

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DRAWING HISTORY

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A	01/09/2026	PLANNING & ZONING SUBMITTAL
B	02/06/2026	PLANNING & ZONING SUBMITTAL
C	02/27/2026	DESIGN DEVELOPMENT
D	04/06/2026	SPRT RESPONSE TO COMMENTS

PROJECT NAME
LAKE WORTH BEACH PARKING STRUCTURE

PROJECT LOCATION
25 SOUTH K STREET
LAKE WORTH BEACH, FL 33460

PROJECT NUMBER
1008542

SHEET TITLE
FIFTH LEVEL FLOOR PLAN

SHEET NUMBER
A2.50

FIFTH LEVEL FLOOR PLAN SCALE : 3/32" = 1'-0" 1

0 8'-0" 16'-0" 32'-0"

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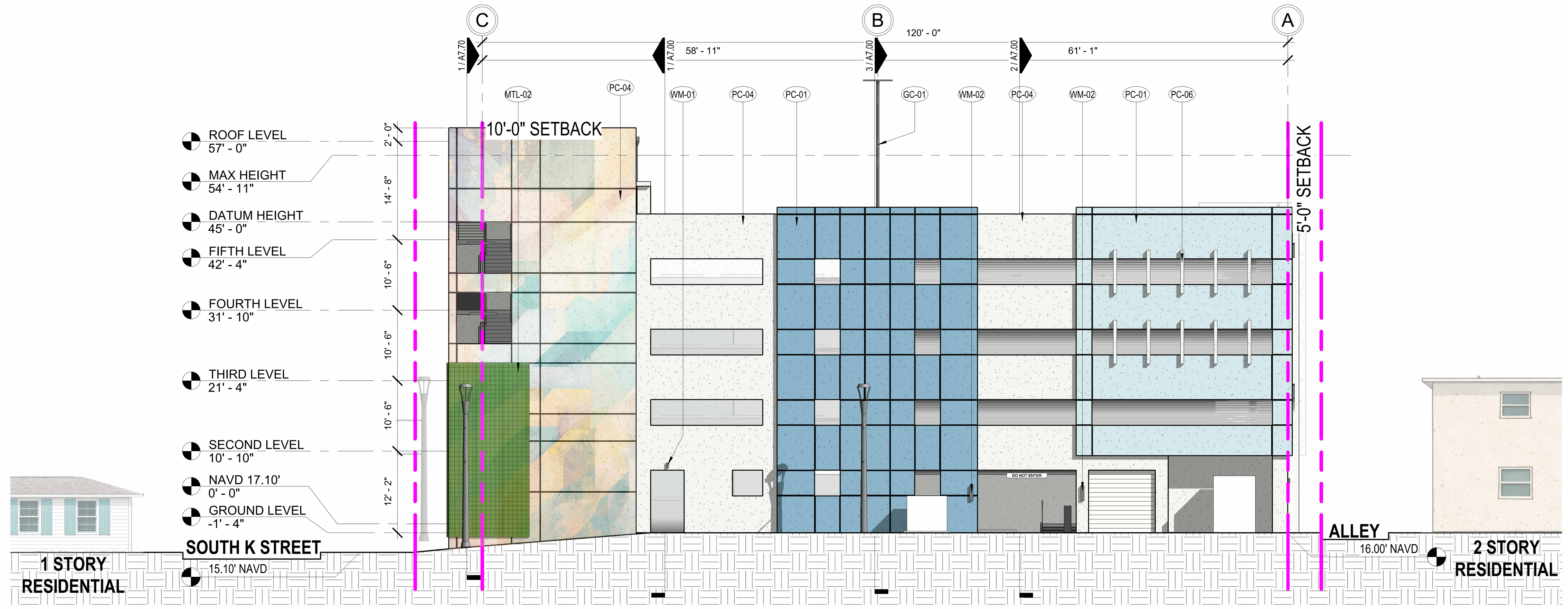
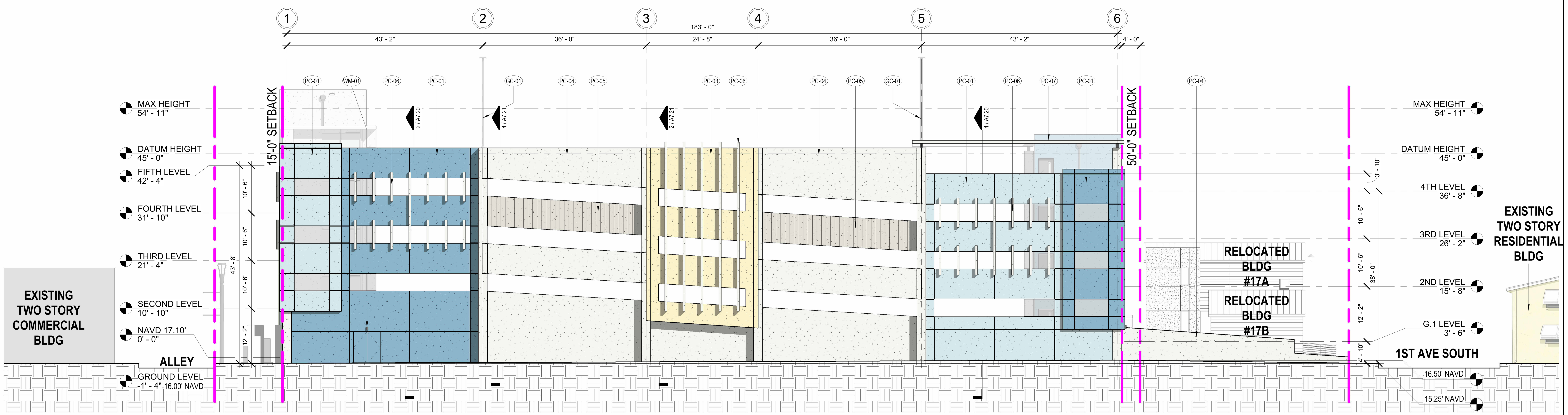
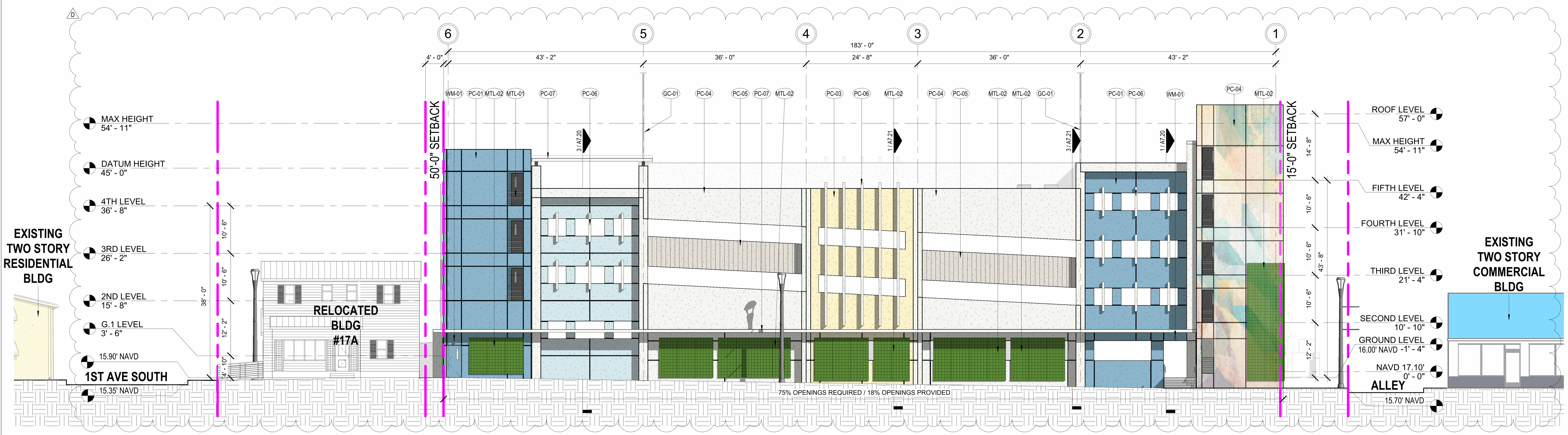


NORTH EXTERIOR ELEVATION SCALE : 3/32" = 1'-0" 3



WEST EXTERIOR ELEVATION SCALE : 3/32" = 1'-0" 2



EAST EXTERIOR ELEVATION SCALE : 3/32" = 1'-0" 1

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5. ALL SHAFTS PENETRATING SLAB SHALL BE RATED 2HR.
6. ALL ROOF SLOPES SHALL BE 1/4" PER FOOT U.N.O.
7. VERIFY ALL EXTERIOR PAINT COLORS WITH OWNER PRIOR TO PURCHASE.
8. STUCCO CONTROL JOINTS (CJ) SHOWN FOR ARCHITECTURAL PURPOSES. PROVIDE ADDITIONAL CONTROL JOINTS AS REQUIRED NOT EXCEEDING AREA LIMITATIONS AND MAXIMUM HEIGHT / LENGTH OF STUCCO SURFACES AS SPECIFIED. COORDINATE LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.

FINISH & MATERIAL LEGEND

PC-01
PRECAST PANEL WITH SMOOTH FACTORY FINISH. 1" REVEALS AS SHOWN ON ELEVATIONS.
PAINT - SW 6503 Atmospheric

PC-02
PRECAST PANEL WITH SMOOTH FACTORY FINISH. 1" REVEALS AS SHOWN ON ELEVATIONS.
PAINT - SW 6507 Resolute Blue

PC-03
PRECAST PANEL WITH SMOOTH FACTORY FINISH. 1" REVEALS AS SHOWN ON ELEVATIONS.
PAINT - SW 1668 Pineapple Cream

PC-04
PRECAST PANEL WITH SMOOTH FACTORY FINISH. 1" REVEALS AS SHOWN ON ELEVATIONS.
PAINT - SW 9582 White Sand

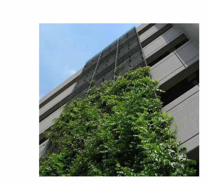
PC-05
PRECAST PANEL WITH SMOOTH FACTORY FINISH. 1/2" REVEALS AS SHOWN ON ELEVATIONS.
PAINT - SW 7015 Repose Gray

PC-06
PRECAST VERTICAL FINS WITH SMOOTH FACTORY FINISH.
PAINT - SW 9582 White Sand

PC-07
PRECAST HORIZONTAL EYEBROWS WITH SMOOTH FACTORY FINISH.
PAINT - SW 9582 White Sand

MTL-01
PAINTED METAL RAILING.
PAINT - SW 9582 White Sand

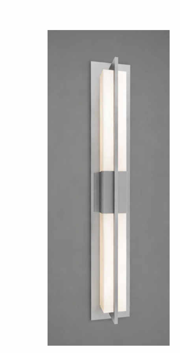
MTL-02
GREEN SCREEN WALL MOUNTED TRELLIS.
PAINT - POWDER COAT PINE. TIGER DRYLAC 49/50002 RAL 6005



LIGHT FIXTURE LEGEND

WM-01
WALL SCONCE
SCOTT S9370
SILVER FINISH

WM-02
WALL SCONCE
SCOTT FIERO S9405
SILVER FINISH



GC-01
ROOF DECK POLE MOUNTED DUAL HEAD FIXTURE
GARDCO ECO FORM GEN 2
MEDIUM GRAY FINISH

0 8'-0" 16'-0" 32'-0"

CLIENT

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DN: E=INestler@pgal.com, CN=Ian Nestler, O="PGAL, Inc.", OID.2.5.4.97="NTRUS+TX-0112993500", L=Houston, S=Texas, SERIALNUMBER=MAS20260402891889, C=US
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DRAWING HISTORY

№.	DATE	DESCRIPTION
A	01/09/2026	PLANNING & ZONING SUBMITTAL
B	02/06/2026	PLANNING & ZONING SUBMITTAL
C	02/27/2026	DESIGN DEVELOPMENT
D	04/06/2026	SPRT RESPONSE TO COMMENTS

PROJECT NAME
LAKE WORTH BEACH PARKING STRUCTURE

PROJECT LOCATION
25 SOUTH K STREET
LAKE WORTH BEACH, FL 33460

PROJECT NUMBER
1008542

SHEET TITLE
EXTERIOR ELEVATIONS - FINISHES - OPTION 1

SHEET NUMBER
A6.00

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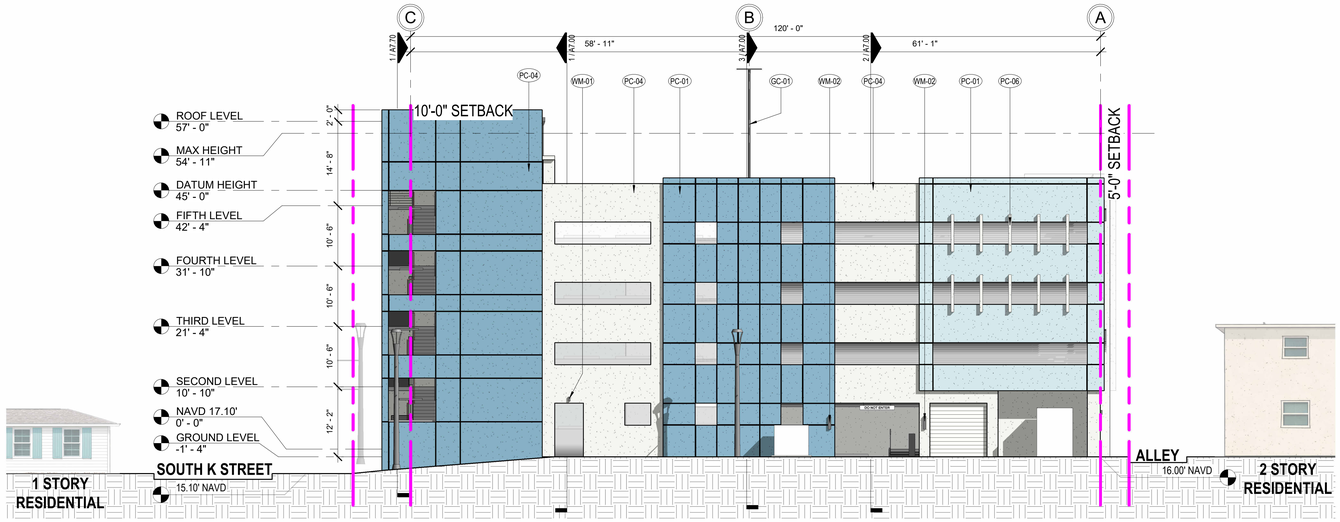
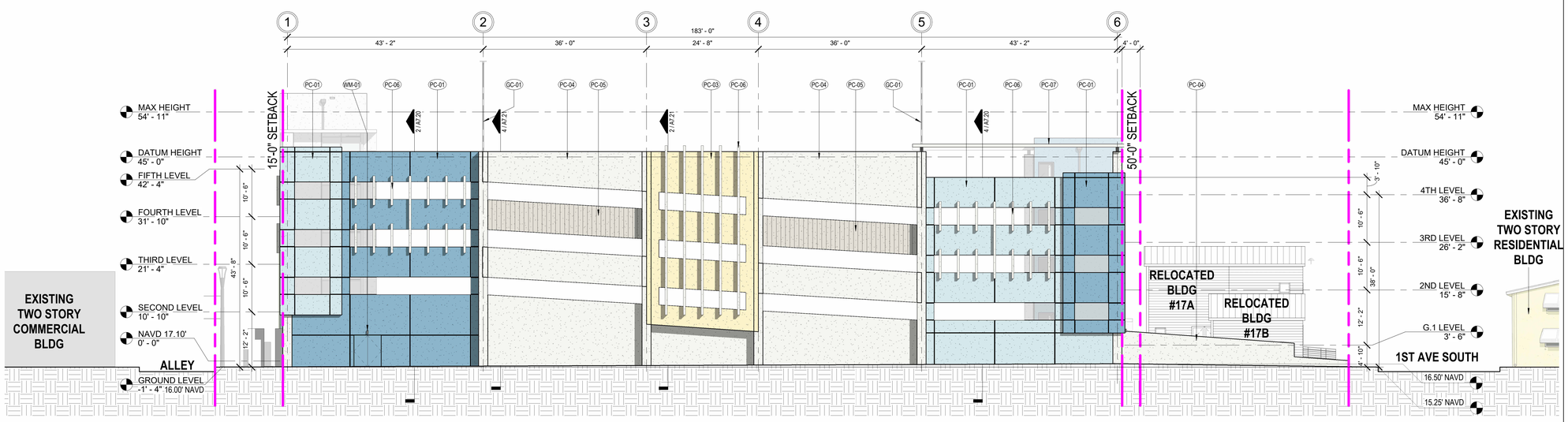
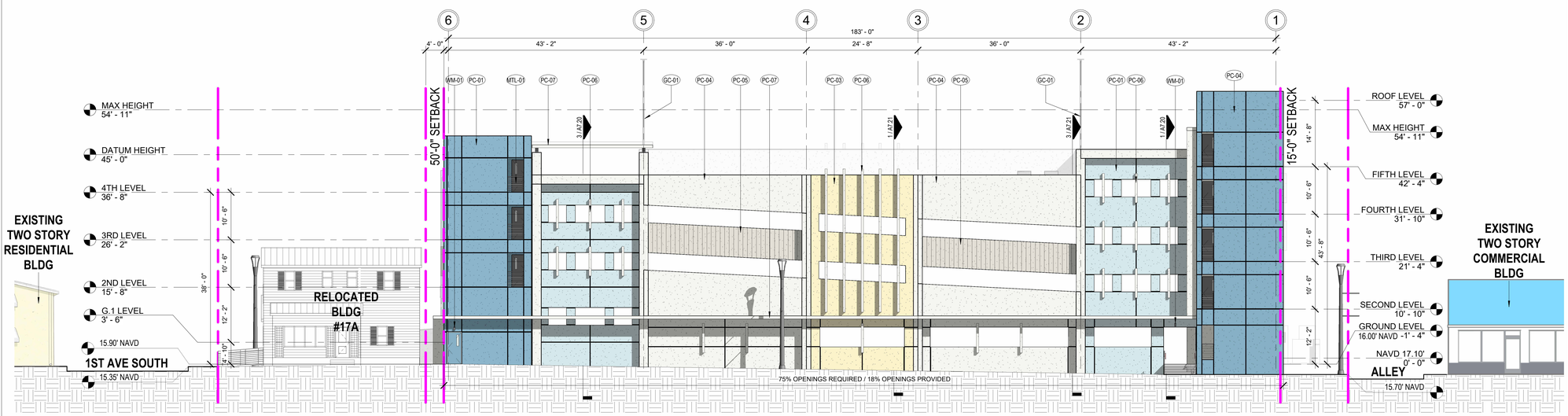


NORTH EXTERIOR ELEVATION SCALE : 3/32" = 1'-0" 3



WEST EXTERIOR ELEVATION SCALE : 3/32" = 1'-0" 2



EAST EXTERIOR ELEVATION SCALE : 3/32" = 1'-0" 1

GENERAL NOTES

1	CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
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5	ALL SHAFTS PENETRATING SLAB SHALL BE RATED 2HR.
6	ALL ROOF SLOPES SHALL BE 1/4" PER FOOT U.N.O.
7	VERIFY ALL EXTERIOR PAINT COLORS WITH OWNER PRIOR TO PURCHASE.
8	STUCCO CONTROL JOINTS (CJ) SHOWN FOR ARCHITECTURAL PURPOSES. PROVIDE ADDITIONAL CONTROL JOINTS AS REQUIRED NOT EXCEEDING AREA LIMITATIONS AND MAXIMUM HEIGHT / LENGTH OF STUCCO SURFACES AS SPECIFIED. COORDINATE LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.

FINISH & MATERIAL LEGEND

PC-01

PRECAST PANEL WITH SMOOTH FACTORY FINISH. 1" REVEALS AS SHOWN ON ELEVATIONS.

PAINT - SW 6503 Atmospheric

PC-02

PRECAST PANEL WITH SMOOTH FACTORY FINISH. 1" REVEALS AS SHOWN ON ELEVATIONS.

PAINT - SW 6507 Resolute Blue

PC-03

PRECAST PANEL WITH SMOOTH FACTORY FINISH. 1" REVEALS AS SHOWN ON ELEVATIONS.

PAINT - SW 1668 Pineapple Cream

PC-04

PRECAST PANEL WITH SMOOTH FACTORY FINISH. 1" REVEALS AS SHOWN ON ELEVATIONS.

PAINT - SW 9582 White Sand

PC-05

PRECAST PANEL WITH SMOOTH FACTORY FINISH. 1/2" REVEALS AS SHOWN ON ELEVATIONS.

PAINT - SW 7015 Repose Gray

PC-06

PRECAST VERTICAL FINS WITH SMOOTH FACTORY FINISH.

PAINT - SW 9582 White Sand

PC-07

PRECAST HORIZONTAL EYEBROWS WITH SMOOTH FACTORY FINISH.

PAINT - SW 9582 White Sand

MTL-01

PAINTED METAL RAILING.

PAINT - SW 9582 White Sand

MTL-02

GREEN SCREEN WALL MOUNTED TRELLIS.

PAINT - POWDER COAT PINE. TIGER DRYLAC 49/50002 RAL 6005

LIGHT FIXTURE LEGEND

WM-01

WALL SCONCE
SCOTT S9370
SILVER FINISH

WM-02

WALL SCONCE
SCOTT FIERO S9405
SILVER FINISH

GC-01
ROOF DECK POLE MOUNTED
DUAL HEAD FIXTURE
GARDCO ECO FORM GEN 2
MEDIUM GRAY FINISH

0 8'-0" 16'-0" 32'-0"

CLIENT

SUNSHINE LAKE WORTH DEVELOPMENT LLC

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Brooklyn, NY 11201

ARCHITECT

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DRAWING HISTORY

No	DATE	DESCRIPTION
A	04/06/2026	SPRT RESPONSE TO COMMENTS

PROJECT NAME

LAKE WORTH BEACH PARKING STRUCTURE

PROJECT LOCATION

25 SOUTH K STREET
LAKE WORTH BEACH, FL 33460

PROJECT NUMBER

1008542

SHEET TITLE

EXTERIOR ELEVATIONS - FINISHES - OPTION 2

SHEET NUMBER

A6.00-2

FILE NAME: Autodesk Docs://1008542.00 - Lake Worth Beach Garage/1008542_LWB_Garage_A.rvt
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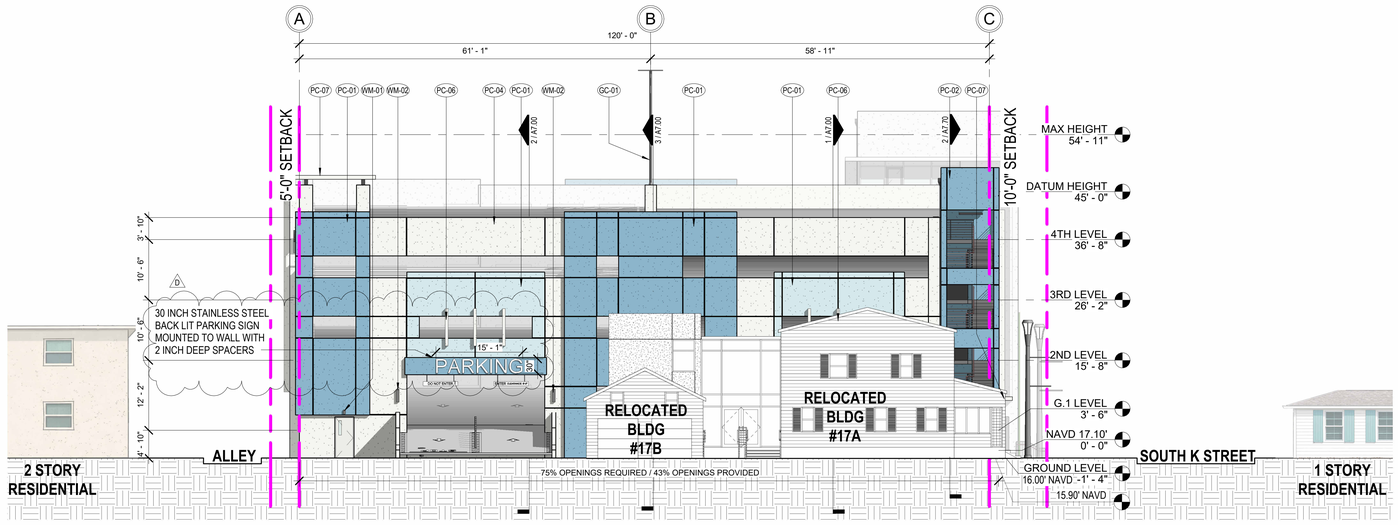
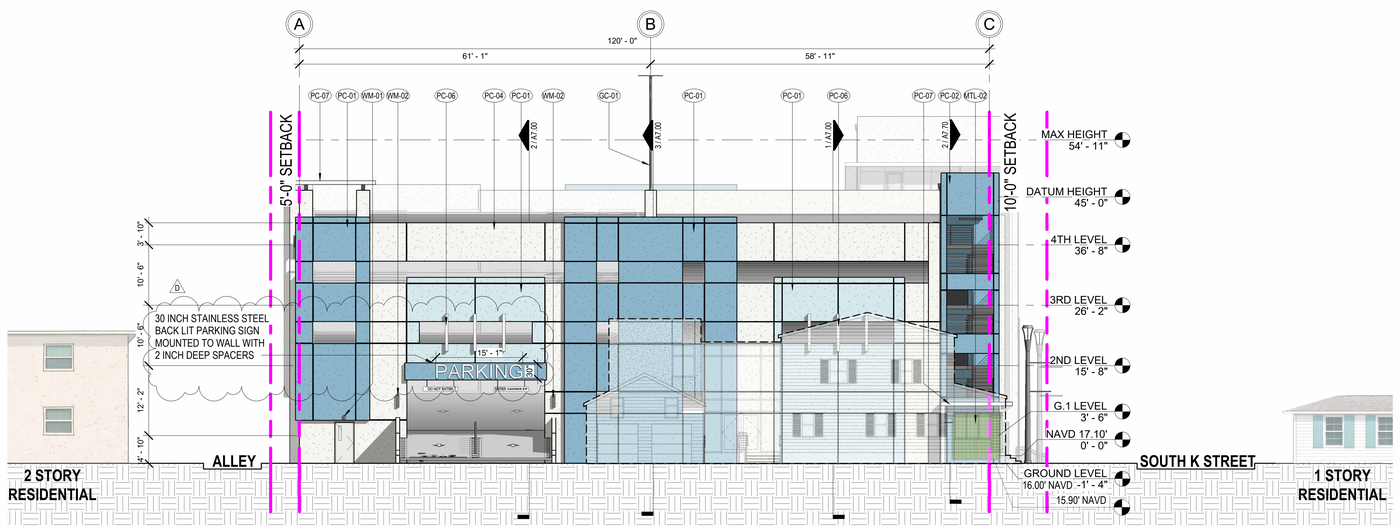


SOUTH EXTERIOR ELEVATION (WITH 17 SOUTH M STREET BUILDINGS) SCALE : 3/32" = 1'-0" (2)



SOUTH EXTERIOR ELEVATION SCALE : 3/32" = 1'-0" (1)

GENERAL NOTES

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5	ALL SHAFTS PENETRATING SLAB SHALL BE RATED 2HR.
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7	VERIFY ALL EXTERIOR PAINT COLORS WITH OWNER PRIOR TO PURCHASE.
8	STUCCO CONTROL JOINTS (CJ) SHOWN FOR ARCHITECTURAL PURPOSES. PROVIDE ADDITIONAL CONTROL JOINTS AS REQUIRED NOT EXCEEDING AREA LIMITATIONS AND MAXIMUM HEIGHT / LENGTH OF STUCCO SURFACES AS SPECIFIED. COORDINATE LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.

FINISH & MATERIAL LEGEND

PC-01

PRECAST PANEL WITH SMOOTH FACTORY FINISH. 1" REVEALS AS SHOWN ON ELEVATIONS.

PAINT - SW 6503 Atmospheric

PC-02

PRECAST PANEL WITH SMOOTH FACTORY FINISH. 1" REVEALS AS SHOWN ON ELEVATIONS.

PAINT - SW 6507 Resolute Blue

PC-03

PRECAST PANEL WITH SMOOTH FACTORY FINISH. 1" REVEALS AS SHOWN ON ELEVATIONS.

PAINT - SW 1668 Pineapple Cream

PC-04

PRECAST PANEL WITH SMOOTH FACTORY FINISH. 1" REVEALS AS SHOWN ON ELEVATIONS.

PAINT - SW 9582 White Sand

PC-05

PRECAST PANEL WITH SMOOTH FACTORY FINISH. 1/2" REVEALS AS SHOWN ON ELEVATIONS.

PAINT - SW 7015 Repose Gray

PC-06

PRECAST VERTICAL FINS WITH SMOOTH FACTORY FINISH.

PAINT - SW 9582 White Sand

PC-07

PRECAST HORIZONTAL EYEBROWS WITH SMOOTH FACTORY FINISH.

PAINT - SW 9582 White Sand

MTL-01

PAINTED METAL RAILING.

PAINT - SW 9582 White Sand

MTL-02

GREEN SCREEN WALL MOUNTED TRELLIS.

PAINT - POWDER COAT PINE. TIGER DRYLAC 49/50002 RAL 6005

LIGHT FIXTURE LEGEND

WM-01

WALL SCONCE
SCOTT S9370
SILVER FINISH

WM-02

WALL SCONCE
SCOTT FIERO S9405
SILVER FINISH

GC-01
ROOF DECK POLE MOUNTED
DUAL HEAD FIXTURE
GARDCO ECO FORM GEN 2
MEDIUM GRAY FINISH

0 8'-0" 16'-0" 32'-0"

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C	02/27/2026	DESIGN DEVELOPMENT
D	04/06/2026	SPRT RESPONSE TO COMMENTS

PROJECT NAME
LAKE WORTH BEACH PARKING STRUCTURE

PROJECT LOCATION
25 SOUTH K STREET
LAKE WORTH BEACH, FL 33460

PROJECT NUMBER
1008542

SHEET TITLE
EXTERIOR ELEVATIONS - FINISHES - OPTION 1

SHEET NUMBER
A6.01

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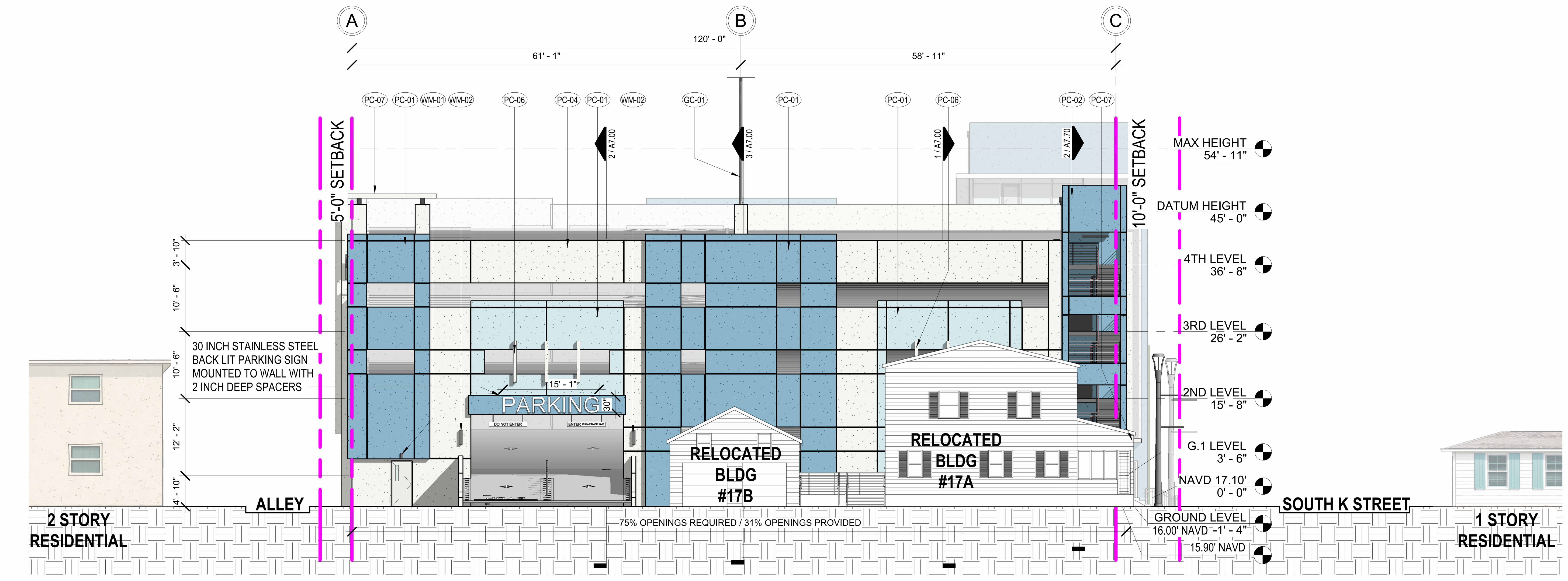
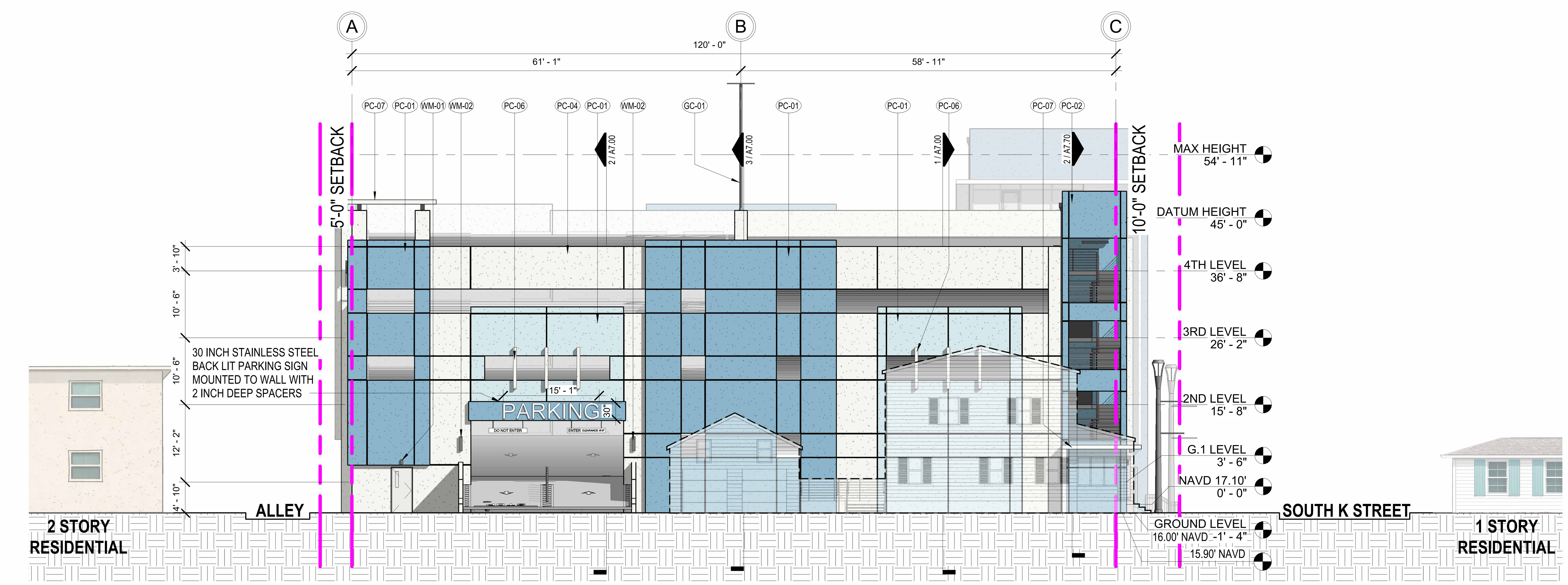


SOUTH EXTERIOR ELEVATION (WITH 17 SOUTH M STREET BUILDINGS) SCALE : 3/32" = 1'-0" 2



SOUTH EXTERIOR ELEVATION SCALE : 3/32" = 1'-0" 1

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FINISH & MATERIAL LEGEND

PC-01
PRECAST PANEL WITH SMOOTH FACTORY FINISH. 1" REVEALS AS SHOWN ON ELEVATIONS.
PAINT - SW 6503 Atmospheric

PC-02
PRECAST PANEL WITH SMOOTH FACTORY FINISH. 1" REVEALS AS SHOWN ON ELEVATIONS.
PAINT - SW 6507 Resolute Blue

PC-03
PRECAST PANEL WITH SMOOTH FACTORY FINISH. 1" REVEALS AS SHOWN ON ELEVATIONS.
PAINT - SW 1668 Pineapple Cream

PC-04
PRECAST PANEL WITH SMOOTH FACTORY FINISH. 1" REVEALS AS SHOWN ON ELEVATIONS.
PAINT - SW 9582 White Sand

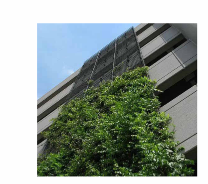
PC-05
PRECAST PANEL WITH SMOOTH FACTORY FINISH. 1/2" REVEALS AS SHOWN ON ELEVATIONS.
PAINT - SW 7015 Repose Gray

PC-06
PRECAST VERTICAL FINS WITH SMOOTH FACTORY FINISH.
PAINT - SW 9582 White Sand

PC-07
PRECAST HORIZONTAL EYEBROWS WITH SMOOTH FACTORY FINISH.
PAINT - SW 9582 White Sand

MTL-01
PAINTED METAL RAILING.
PAINT - SW 9582 White Sand

MTL-02
GREEN SCREEN WALL MOUNTED TRELLIS.
PAINT - POWDER COAT PINE. TIGER DRYLAC 49/50002 RAL 6005



LIGHT FIXTURE LEGEND

WM-01
WALL SCONCE
SCOTT S9370
SILVER FINISH

WM-02
WALL SCONCE
SCOTT FIERO S9405
SILVER FINISH

GC-01
ROOF DECK POLE MOUNTED DUAL HEAD FIXTURE
GARDCO ECO FORM GEN 2
MEDIUM GRAY FINISH

0 8'-0" 16'-0" 32'-0"

CLIENT

SUNSHINE LAKE WORTH DEVELOPMENT LLC

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Brooklyn, NY 11201

ARCHITECT

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DN: E=INestler@pgal.com, CN=Ian Nestler, O="PGAL, Inc.", OID.2.5.4.97="NTRUS+TX-0112993500", L=Houston, S=Texas, SERIALNUMBER=MAS20260402891889, C=US
Date: 2026.04.08 10:05:49-04'00'

DRAWING HISTORY

№.	DATE	DESCRIPTION
A	04/06/2026	SPRT RESPONSE TO COMMENTS

PROJECT NAME
LAKE WORTH BEACH PARKING STRUCTURE

PROJECT LOCATION
25 SOUTH K STREET
LAKE WORTH BEACH, FL 33460

PROJECT NUMBER
1008542

SHEET TITLE
EXTERIOR ELEVATIONS - FINISHES - OPTION 2

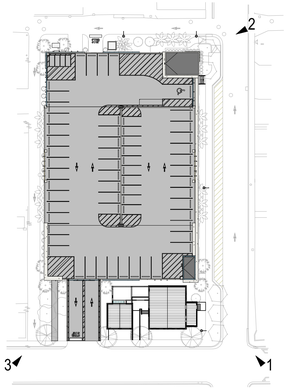
SHEET NUMBER
A6.01-2

SOUTHWEST CORNER RENDERING SCALE : NTS 3

NORTHEAST CORNER RENDERING SCALE : NTS 2

SOUTHEAST CORNER RENDERING SCALE : NTS 1

KEY PLAN



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DRAWING HISTORY

No.	DATE	DESCRIPTION
A	01/06/2026	PLANNING & ZONING SUBMITTAL
B	02/06/2026	PLANNING & ZONING SUBMITTAL
C	02/27/2026	DESIGN DEVELOPMENT
D	04/06/2026	SPRT RESPONSE TO COMMENTS

PROJECT NAME

LAKE WORTH BEACH PARKING STRUCTURE

PROJECT LOCATION

25 SOUTH K STREET
LAKE WORTH BEACH, FL 33460

PROJECT NUMBER

1008542

SHEET TITLE

RENDERINGS

SHEET NUMBER

A6.04

FILE NAME: Autodesk Docs://1008542.00 - Lake Worth Beach Garage/1008542_LWB_Garage_A.rvt
DATE STAMP: 4/6/2026 11:00:14 AM