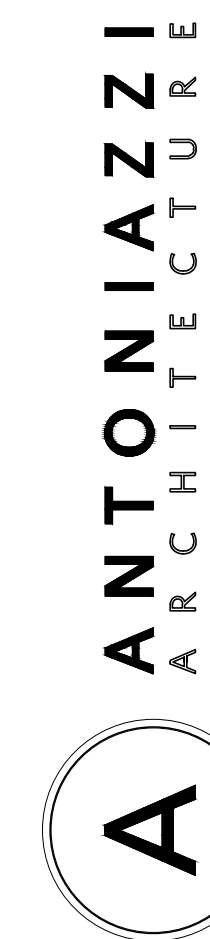
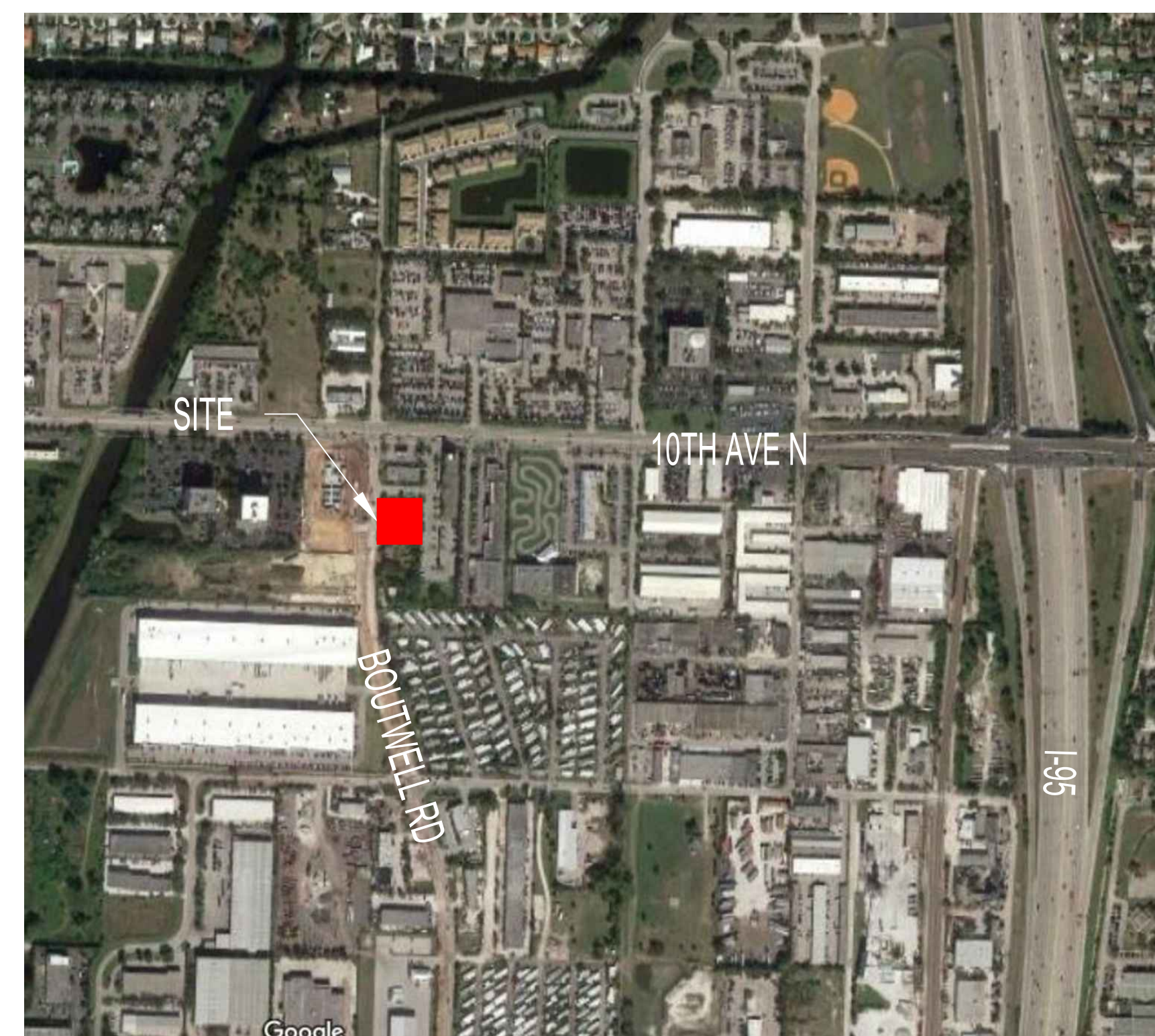


3322 BOUTWELL RD.

LAKE WORTH BEACH, FLORIDA 33461

LANDSCAPE SITEPLAN SET 09/30/2020

INDEX OF DRAWINGS		
DESCRIPTION (LANDSCAPE SITEPLAN SET)		
1	L0-00	LANDSCAPE INDEX
2	L0-01	LANDSCAPE NOTES
3	L0-02	LANDSCAPE CALCULATIONS
4	L0-03	TREE SURVEY
5	L1-00	TREE DISPOSITION PLAN
6	L1-01	TREE MITIGATION PLAN
7	L1-10	RENDERED PLAN
8	L1-11	HARDSCAPE PLAN
9	L1-20	TREE PLAN
10	L1-30	SHRUB PLAN
11	L5-10	HARDSCAPE DETAILS
12	L5-20	PLANTING DETAILS
13	L6-00	TREE DISPOSITION & MITIGATION SCHEDULES
14	L6-10	LANDSCAPE SCHEDULES



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3322 BOUTWELL
3322 Boutwell Rd.
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33461

CONCEPT

ISSUE #	DESCRIPTION	DATE
1	COMMENTS	09/30/2020

SEAL:



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L0-00

DRAWING NAME: LANDSCAPE INDEX
SCALE: DATE: 09/30/2020
PROJECT NUMBER: 1913

GENERAL NOTES

1. These plans reflect the scope of the Landscape Architect external services. For Architectural, Civil, Lighting please refer to the appropriate consultant documents.
2. The locations of all site amenities are approximate and may be adjusted in the field with owner and/or their representatives approval. See plans for locations of fixed amenities.
3. The locations of plants, as shown in these plans, are approximate. The final locations may be adjusted to accommodate unforeseen field conditions to comply with safety criteria, to avoid creating unsafe sight conditions, or as otherwise directed by or approved by the landscape architect or owner's representative.
4. Construction shall comply with all local building codes.
5. All dimensions shall be verified in the field prior to construction. Written dimensions shall take precedence over scaled drawings.
6. If a discrepancy should arise between layout geometry and design intent, design intent shall take precedence.
7. A Tree Protection Plan shall be provided prior to the issuance of a building permit.
8. A Tree Care & Watering plan shall be submitted prior to the issuance of a building permit.
9. All existing and proposed utilities will be verified prior to the issuance of a building permit, and will be adequately screened from sight by landscape materials.

GENERAL GRADING NOTES

1. All grading information outside the below grade parking decks provided is intended for aesthetic purposes and to show relationships only. For detailed grading information see Civil Engineers drawings.
2. Rough grading and site preparation shall be completed for review by Landscape Architect / or owners representative prior to final grading.
3. Roadway grading and transition areas to be reviewed and approved by Civil / Traffic Engineer.
4. Grading and calculations for retention areas to be provided by Civil Engineers.
5. Contractor shall not substantially modify grading plan without the approval of designer. All site aesthetic grading is subject to review and approval of the landscape architect or owner's representative.
6. Contours for earth mounds shall be smooth, continuous arcs. Side slopes shall be smooth and even in transition and void of depressions. Careful attention should be given to the grading plans concerning the shapes and formations of proposed slopes.
7. All graded areas shall be dragged with a drag mat or hand radeel to blend in small imperfections and round off any sharp lines that may have been constructed by equipment. All areas to be planted shall have no water holding pockets.

IRRIGATION NOTES

1. All landscaped areas within the property shall be irrigated with automatic irrigation system which shall utilize well and/or domestic water supply.
2. Irrigation system shall be equipped with rain sensor.
3. Irrigation system shall provide 100% coverage. Plans will be submitted prior to the issuance of a building permit.

GENERAL LANDSCAPE NOTES

1. The Contractor shall be responsible for verifying all underground utilities prior to digging in any area. The contractor shall notify all necessary utility companies 48 hours minimum prior to digging for verification of all underground utilities, irrigation and all other obstructions and coordinate with Owner's Representative prior to initiating operations. Drawings are prepared according to the best information available at the time of preparing documents.
2. The contractor is responsible to ensure proper watering and maintenance of new and relocated plant materials during the one year warranty period.
3. Contractor is to report any discrepancies between the construction drawings and field conditions to the Owner's Representative immediately.
4. Landscape Contractor shall coordinate all work with related contractors and with the general construction of the project in order not to impede the progress of the work of others or the contractor's own work. Landscape contractor shall provide schedule of his/her work two weeks in advance, beginning two weeks prior to commencing landscape trade construction.
5. The location of the landscape holding area will be identified by the Owner or Owner's Representative. The Contractor shall adhere to the access routes to and from the holding area without disrupting or impeding access to the site by others. Contractor is responsible for the maintenance of all plant materials, including temporary irrigation and fertilization if necessary during construction, while being held in landscape holding areas.
6. The Contractor shall bear all costs of testing of soils, amendments, etc. associated with the work and included in the specifications. Prior to commencement of the landscape planting work the Contractor shall provide complete soil tests with recommendations for soil treatment in the construction area.
7. Landscape Contractor shall field stake the location of all plant material or field stake the plants prior to initiating installation for the review and approval of the Owner's representative and/or Landscape Architect. Note: **No planting shall commence until there is a functional irrigation system in the area to be planted. No trees shall be planted on top of irrigation lines.**
8. Landscape Contractor shall field adjust location of plant material as necessary to avoid damage to all existing underground utilities and/ or existing above ground elements. All changes required shall be completed at the Contractor's expense and shall be coordinated with Owner's Representative and the Landscape Architect.
9. Any substitutions in size and/or plant species must be approved by the Landscape Architect or Owner's Representative prior to modification of the contract, purchasing and delivery of plants. All plants will be subject to approval by Landscape Architect and/or Owner's Representative before planting can begin. All plant materials will not include any plants considered to be invasive by the City of Lake Worth Beach.
10. Contractor shall refer to the landscape planting details, general notes and the project manual and/or specifications for further and complete landscape planting instructions.
11. Landscape Contractor shall coordinate all planting work with permanent or temporary irrigation work. Landscape Contractor shall be responsible for all hand watering as required by Owner's Representative to supplement irrigation watering and rainfall. Landscape Contractor shall be responsible for hand watering in all planting areas, regardless of the status of existing or proposed irrigation.
12. Landscape Contractor shall clean the work areas at the end of each working day. Rubbish and debris shall be collected and deposited off-site or in an approved disposal area daily. All materials, products and equipment shall be stored in an organized fashion as directed by the Owner's Representative.
13. Landscape Contractor shall re-grade all areas disturbed by plant removal, relocation and/or installation work. Landscape Contractor shall replace (by equal size and quality) any and all existing or new plant material disturbed or damaged by plant removal, relocation, and/or installation work.
14. Site distance concerns must be maintained for clear site visibility from thirty (30) inches to seventy-two (72) inches, tree trunks are excluded as specified in appropriate municipal codes.
15. Guying / staking practices shall not permit nails, screws, wires, etc., to penetrate outer surface of any tree or palm. Trees or palms rejected due to this practice shall be replaced at the Contractor's expense.
16. Burlap material, wire cages, plastic straps, etc., must be cut and removed from top one-third (1/3) of root ball.
17. Trees grown in grow bags or grow bag type material are not allowed.
18. All planting materials shall meet or exceed local requirements as specified by local plant standards.
19. All landscape installations shall meet or exceed the minimum requirements as shown in appropriate municipal codes.
20. The Contractor shall be responsible for the guarantee of all plant material for a period of twelve (12) months from the date of substantial completion. Substantial completion constitutes the beginning of guarantee period.
21. Plant size specifications take precedence over container size.
22. Contractor to verify quantities and report any discrepancies to Owners representative and/or Landscape Architect.
23. All plant material shall be graded Florida #1 or better.

SOIL PREPARATION AND SOIL MIX

1. All plants noted for removal shall be relocated as shown on plans or removed and properly disposed of offsite at contractors expense unless otherwise noted.
2. Before finishing top soil grading, scarify & rake subsoil clear of stones (1" diameter and larger), debris, rubbish, and remaining roots from removed plant material to a depth of 6".
3. Plant holes should be dug and the sides and bottom of the hole should be stable, regardless of depth. Soil scarification is necessary if sides of the hole are compacted.
4. Contractor to apply approved pre-emergent herbicide in accordance with manufacturer's rate and specifications. Contractors to provide manufacturer's specifications for approval.
5. Planting soil mix for planters, trees, shrubs, and ground cover & grasses shall be determined by soil analysis prior to planting landscape.

The planting soil mix should be what comes out of the hole so the plant adapts to the surrounding/existing soil and grows into it. This is why the sides and the bottom of the planting hole should never be compacted with the digging implements. Never fertilize newly planted plants and trees. Please note that peat moss will eventually decompose and clog soil pores thereby inhibiting the plants water and oxygen consumption.

6. Topsoil shall be natural, fertile, agricultural soil capable of sustaining vigorous plant growth. It shall be of uniform composition throughout, with admixture of subsoil, it shall be free of stones, lumps, live plants and their roots, sticks, and other extraneous material. Top soil brought in should match as well as possible the existing soil texture and Ph. Planted material should never be "mounded" or raised; the soil will eventually wash away exposing the roots and it will be difficult to establish the plant material due to drought and excessive soil transpiration. All plant/tree material should be installed with the root collar exposed (approximately 1/2" to 1"). Landscape contractor should find the uppermost lateral root and plant that just below the soil surface.

7. Smooth topsoil without compaction to two inches (2") below finish grade in areas to be sodded without compaction.

8. Finish grade all topsoil areas to a smooth non-compacted, even surface assuring positive drainage away from the structures and eliminate any low areas except in retention areas where water may collect.

9. Contractor to remove debris and excess material immediately from job site while keeping in mind that heavy equipment will compact soil to the detriment of water drainage and the health of the newly installed plants. All planting areas with compacted soil will have surfaces scarified to a min. of 6" in depth.

PLANTING SPECIFICATIONS

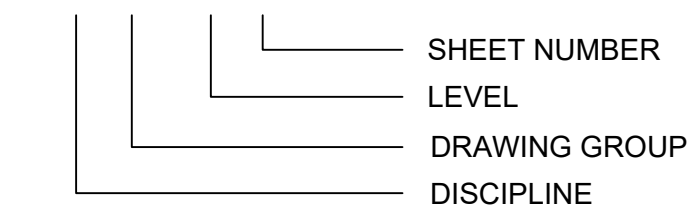
1. The contractor is responsible for maintaining, in full, all planting areas (including watering, spraying, mulching, mowing, fertilizing, etc.) Until the job is accepted, in full, by the owner, its representative and Landscape Architect.
2. All plant material shall be protected during transport and delivery to final location with shade cloth or other acceptable means of windburn prevention. Plant/tree material shall conform to Florida # 1 as described in Florida grades & standards, the latest issue.
3. All trees must be guyed or staked as shown in details.
4. When plant material is delivered onsite, it shall not be laid down for more than two hours. Plant material when stored onsite shall be placed and maintained in good condition in a vertical position. All plants held onsite shall be kept watered regularly in sufficient amounts to permit continuous and vigorous growth.
5. Installation of all plant material shall be installed in a sound, workmanlike manner and according to accepted good planting and tree relocation procedures with the quality of plant materials as hereinafter described. All elements of landscaping shall be installed so as to meet all applicable ordinances and code requirements.
6. There shall be no chains or cables used directly on trees or palms, handle with 2" minimum width nylon straps or equal.
7. Contractor shall assure drainage and percolation of all planting pits. Prior to installation of plant material, contractor shall fill all tree pits with water before planting to assure that proper drainage and percolation is available. Correct if required to assure percolation. Contractor is responsible for replacement of all plants lost due to inadequate drainage conditions. Plant/tree material that has bark scraped off due to shipping, handling, and installation issues may be rejected upon inspection by the L.A.
8. Contractor to request inspection of project in writing. If all work is satisfactory and complete in accordance with conditions of contract documents, then the owner, its representative, and landscape architect shall declare the project substantially complete.
9. Substantial completion constitutes the beginning of guarantee period.
10. Contractor to replace rejected plant within two (2) weeks of notice.
11. Crown pruning of any trees or palms is generally not approved by the national arborist association standards. When it is approved, it must be done in writing.
12. Xeriscaping principles as outlined in the South Florida Water Management District Xeriscape Plant Guide 2 shall be applied throughout landscape installation and maintenance.

DRAWING ORGANIZATION

1. DRAWING NUMBERING SYSTEM

THE DRAWING NUMBER FOR EACH SHEET CONSISTS OF THE FOLLOWING:

L0-01



2. DRAWING GROUP

LANDSCAPE DRAWINGS ARE ORGANIZED INTO THE FOLLOWING GROUPS:

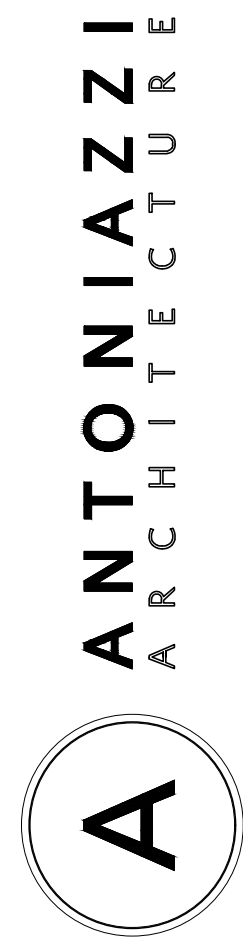
- L0 = GENERAL
- L1 = PLANS
- L2 = ELEVATIONS
- L3 = SECTIONS
- L4 = ENLARGEMENTS
- L5 = DETAILS
- L6 = SCHEDULES

3. SHEET NUMBER

EACH DRAWING SHEET WITHIN EACH GROUP/MULTIPLE SHALL BE NUMBERED SEQUENTIALLY FROM 01 TO 99.

4. DRAWING NUMBER EXAMPLES:

L0-01 LANDSCAPE NOTES



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CONCEPT

ISSUE #	DESCRIPTION	DATE
1	COMMENTS	09/30/2020

SEAL:



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L0-01

DRAWING NAME: LANDSCAPE NOTES
SCALE: DATE: 09/30/2020
PROJECT NUMBER: 1913

3322 BOUTWELL
3322 Boutwell Rd.
Lake Worth Beach Florida,
33461

SITE LANDSCAPE CALCULATIONS	
SITE DATA	
MUNICIPALITY	LAKEWORTH BEACH
ZONING CLASSIFICATION	MUW - Mixed use West
PROPERTY ADDRESS	3322 Boutwell Rd.
LOT AREA	22500 SF = 5 ACRES
IMPERVIOUS AREA	9,576 SF
PERVIOUS AREA	5,277 SF
STREET TREE REQUIREMENTS:	
STREET TREES REQUIRED (150 LF/25 LF)	6
STREET TREES PROVIDED (RIGHT OF WAY CONSTRAINTS, < 5' SIDEWALK)	0
ROW BUFFER REQUIREMENTS:	
TREES REQUIRED (150 LF/ 25 LF)	6
TREES PROVIDED	6
SHRUBS REQUIRED (150 LF/ 2 LF)	75
SHRUBS PROVIDED	152
BUFFER AREA REQUIRED (150 LF X 5 SF)	750
BUFFER AREA PROVIDED	1,122
INTERIOR SITE PLANTING REQUIREMENTS:	
TREES REQUIRED (4,915 SF/ 225 SF)	22
TREES PROVIDED	24
NATIVE TREES REQUIRED (75%):	17
NATIVE TREES PROVIDED (100%):	24
SHRUBS REQUIRED (384 LF X 5 SF/ 5 SF)	384
SHRUBS PROVIDED	1052
NATIVE SHRUBS & GROUNDCOVER REQUIRED (75%):	288
NATIVE SHRUBS & GROUNDCOVER PROVIDED (99%):	1077
BUFFER AREA REQUIRED (228 LF X 5 SF)	1,140
BUFFER AREA PROVIDED	1,950
OFF-STREET PARKING PLANTING REQUIREMENTS:	
PLANTING SF REQUIRED (6,800 SF X 20%)	1,360
PLANTING SF PROVIDED	1,742
TREES REQUIRED (1,742 / 125 SF)	14
TREES PROVIDED	16
BUFFER TREES REQUIRED (220 LF / 20')	10
BUFFER TREES PROVIDED	10
TOTAL TREES REQUIRED:	48
TOTAL TREES PROVIDED:	49
TOTAL SHRUBS & GROUNDCOVER REQUIRED:	459
TOTAL SHRUBS & GROUNDCOVER PROVIDED:	1081

CONCEPT

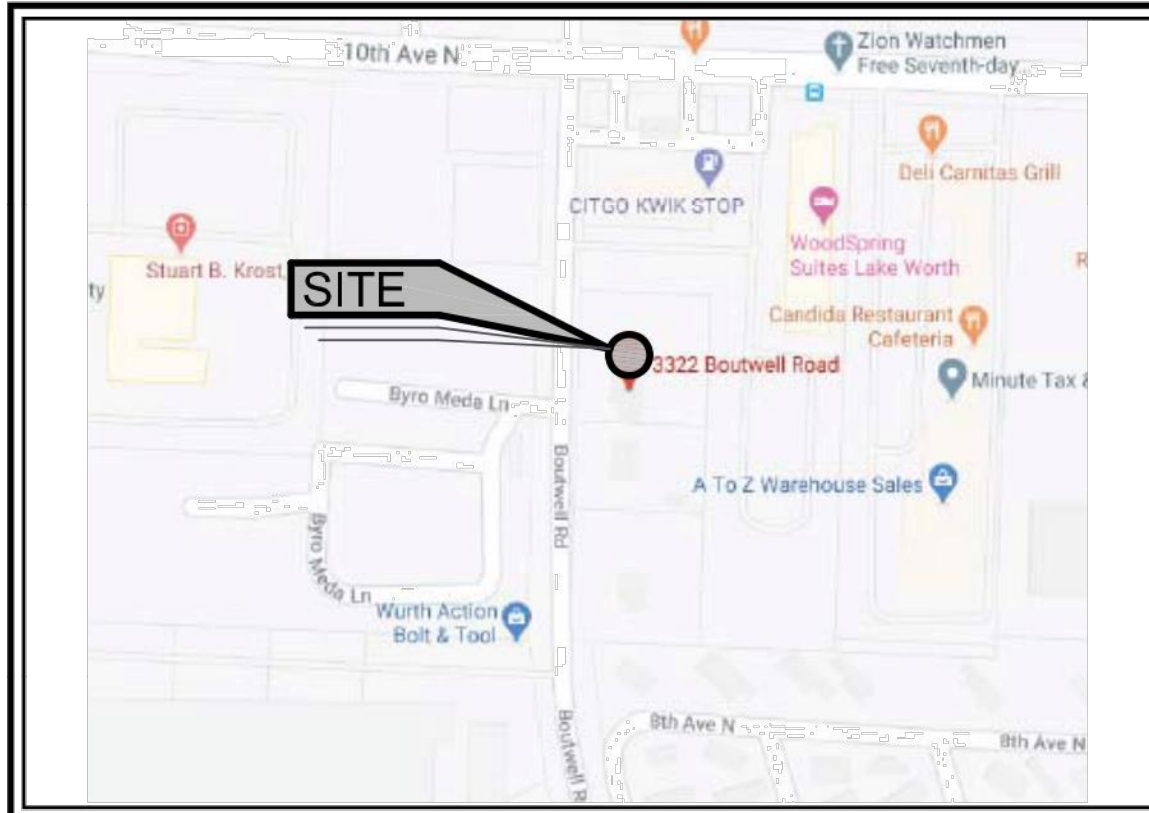
ISSUE #	DESCRIPTION	DATE
1	COMMENTS	09/30/2020

SEAL:

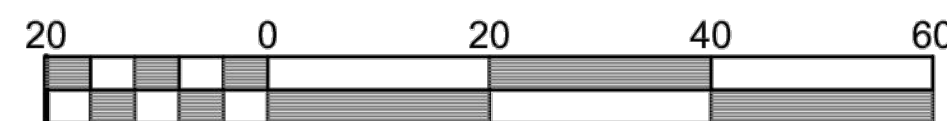


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L0-02



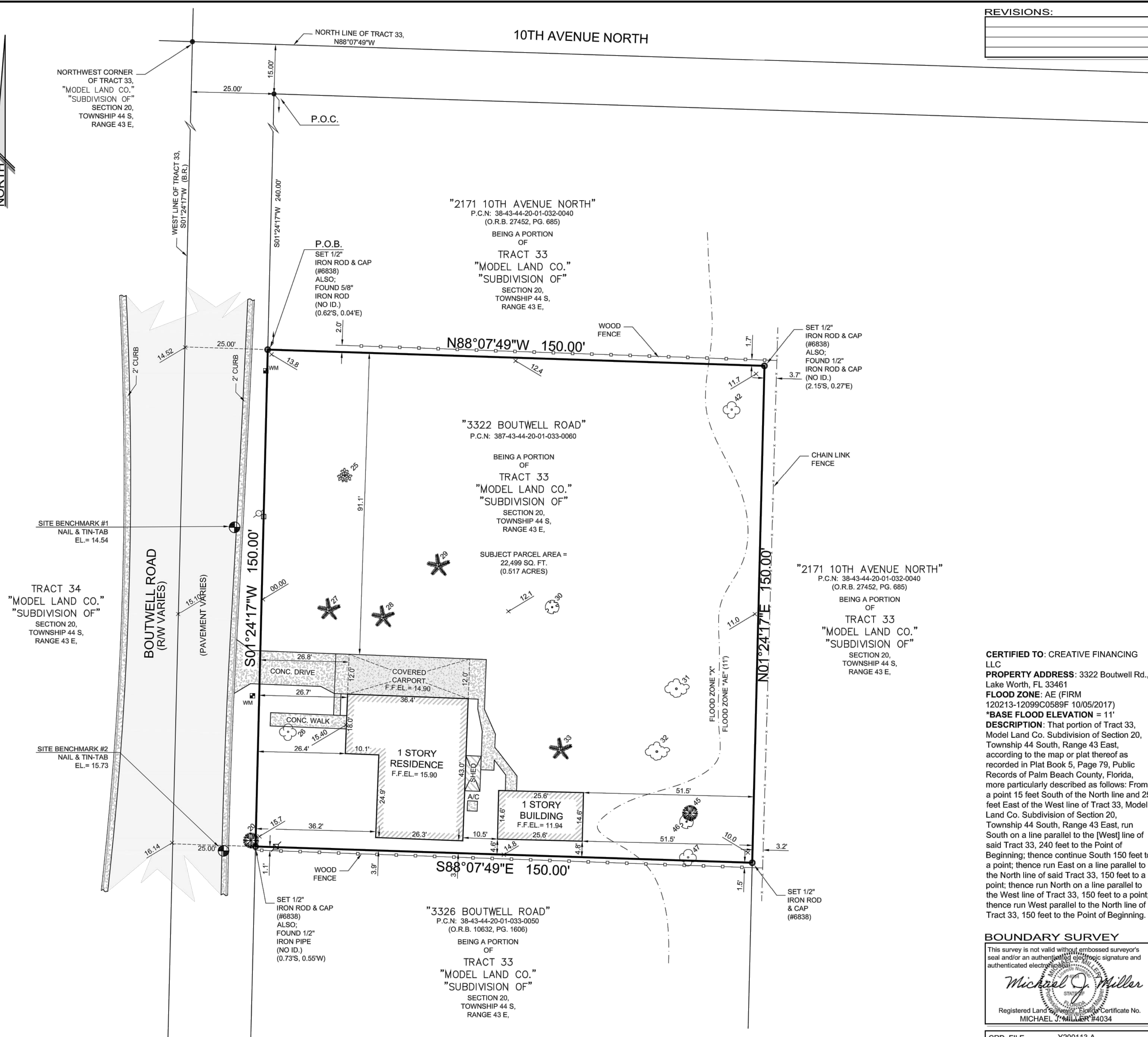
LOCATION MAP N.T.S.



Scale 1" = 20'

NO.	DIA.	TREE TYPE
20	18"	CABBAGE PALM
25	12"	CACTUS
26	4"	UNKNOWN
27	12"	COCONUT PALM
28	8"	COCONUT PALM
29	8"	COCONUT PALM
30	14"	MANGO
31	40"	BANYAN
32	40"	BANYAN
33	12"	COCONUT PALM
42	4"	UNKNOWN
45	10"	CABBAGE PALM
46	10"	MANGO
47	5"	UNKNOWN

- TREE LEGEND:
- = CABBAGE PALM TREE
 - = CACTUS
 - = COCONUT PALM TREE
 - = MANGO TREE
 - = BANYAN TREE
 - = UNKNOWN TREE



REVISIONS:

CERTIFIED TO: CREATIVE FINANCING LLC
PROPERTY ADDRESS: 3322 Boutwell Rd., Lake Worth, FL 33461
FLOOD ZONE: AE (FIRM 120213-12099C0589F 10/05/2017)
"BASE FLOOD ELEVATION = 11'
DESCRIPTION: That portion of Tract 33, Model Land Co., Subdivision of Section 20, Township 44 South, Range 43 East, according to the map or plat thereof as recorded in Plat Book 5, Page 79, Public Records of Palm Beach County, Florida, more particularly described as follows: From a point 15 feet South of the North line and 25 feet East of the West line of Tract 33, Model Land Co. Subdivision of Section 20, Township 44 South, Range 43 East, run South on a line parallel to the [West] line of said Tract 33, 240 feet to the Point of Beginning; thence continue South 150 feet to a point; thence run East on a line parallel to the North line of said Tract 33, 150 feet to a point; thence run North on a line parallel to the West line of Tract 33, 150 feet to a point; thence run West parallel to the North line of Tract 33, 150 feet to the Point of Beginning.

BOUNDARY SURVEY
 This survey is not valid without the embossed surveyor's seal and/or an authorized electronic signature and authenticated electronic data.

 Registered Land Surveyor, Florida Certificate No. MICHAEL J. MILLER #4034
 CRD. FILE Y200113-A

SCALE:	1" = 20'
DRAWN BY:	PICARD
FIELD WK:	M.M. / B.M.
DATE:	02/10/2020
REF:	T34/57
PREV. JOB NO'S:	
JOB NO.:	Y200113
	M - 4731

LEGEND:

CALC. = CALCULATED	(P) = PLAT	P.I. = POINT OF INTERSECTION	ASPH. = ASPHALT PAVEMENT
C.B.S. = CONCRETE BLOCK STRUCTURE	R = RADIUS	P.O.C. = POINT OF COMMENCEMENT	CONC. = CONCRETE
CONC. MON. = CONCRETE MONUMENT	Δ = CENTRAL "DELTA" ANGLE	P.O.B. = POINT OF BEGINNING	PAV. BRICK = PAVEMENT BRICK FLATWORK
CONC. = CONCRETE	A = ARC LENGTH	R.W. = RIGHT OF WAY	WOOD FENCE = WOOD FENCE
D.E. = DRAINAGE EASEMENT	C.H.S. = CHORD BEARING	M.F. = METAL FENCE	W.P.F. = WOOD POWER POLE
U.E. = UTILITY EASEMENT	N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM	C.L. = CENTERLINE	W.M. = WATER METER
P.E. = POOL EQUIPMENT	O.R.B. = OFFICIAL RECORD BOOK	E. = EASEMENT	F.H. = FIRE HYDRANT
F.F.E.L. = FINISHED FLOOR ELEVATION	P.B. = PLAT BOOK	C. = COVERED	C.B. = CATCH BASIN
E.L. = ELEVATION	P.C. = POINT OF CURVATURE	O.L. = OVERHEAD LINES	S.M. = SANITARY MANHOLE
(B.A.) = BEARING REFERENCE	P.T. = POINT OF TANGENCY	--- = LOT LINE	
(D) = DEED	P.R.C. = POINT OF REVERSE CURVATURE		
(M) = MEASURED	P.C.C. = POINT OF COMPOUND CURVATURE		

- SURVEY NOTES:**
- Lands shown hereon were not abstracted for easements and/or rights-of-way of record by this office.
 - Elevations shown hereon are based on North Atlantic Vertical Datum of 1988 (NAVD 88).
 - Originating benchmark = Leica Global Positioning System.
 - $\times 0.00$ = existing elevation (NAVD 88 typical).
 - No underground improvements located.
 - All bearings and distances shown hereon are plat and measured unless otherwise noted.
 - This firm "Certificate of Authorization" number is "LB 6838".

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ISSUE #	DESCRIPTION	DATE
1		09/30/2020



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L0-03

1 TREE SURVEY
 SCALE: 1" = 20'

DRAWING NAME: TREE SURVEY
 SCALE: 1" = 20'
 DATE: 09/30/2020
 PROJECT NUMBER: 1913



NOTE: REFER TO SHEET L6-00 FOR TREE DISPOSITION SCHEDULE

1 TREE DISPOSITION PLAN
SCALE: 1/8" = 1'-0"

3322 BOUTWELL
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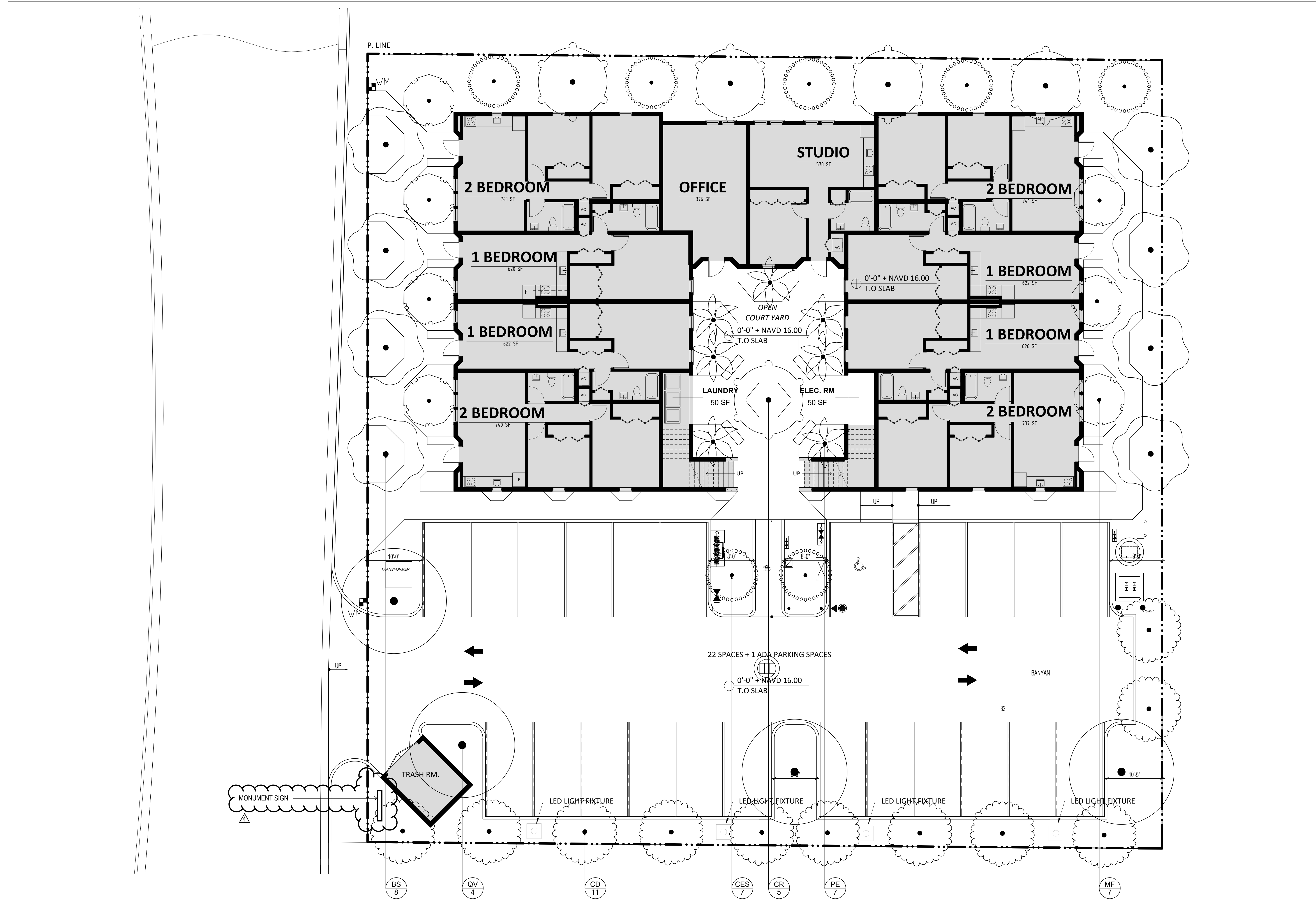
ISSUE #	DESCRIPTION	DATE
1	COMMENTS	09/30/2020



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L1-00

DRAWING NAME: TREE DISPOSITION PLAN
SCALE: 1/8" = 1'-0" DATE: 09/30/2020
PROJECT NUMBER: 1913



NOTE: REFER TO SHEET L6-00 FOR TREE MITIGATION SCHEDULE

1 TREE MITIGATION PLAN
SCALE: 1/8" = 1'-0"

3322 BOUTWELL
3322 Boutwell Rd.
Lake Worth Beach Florida,
33461

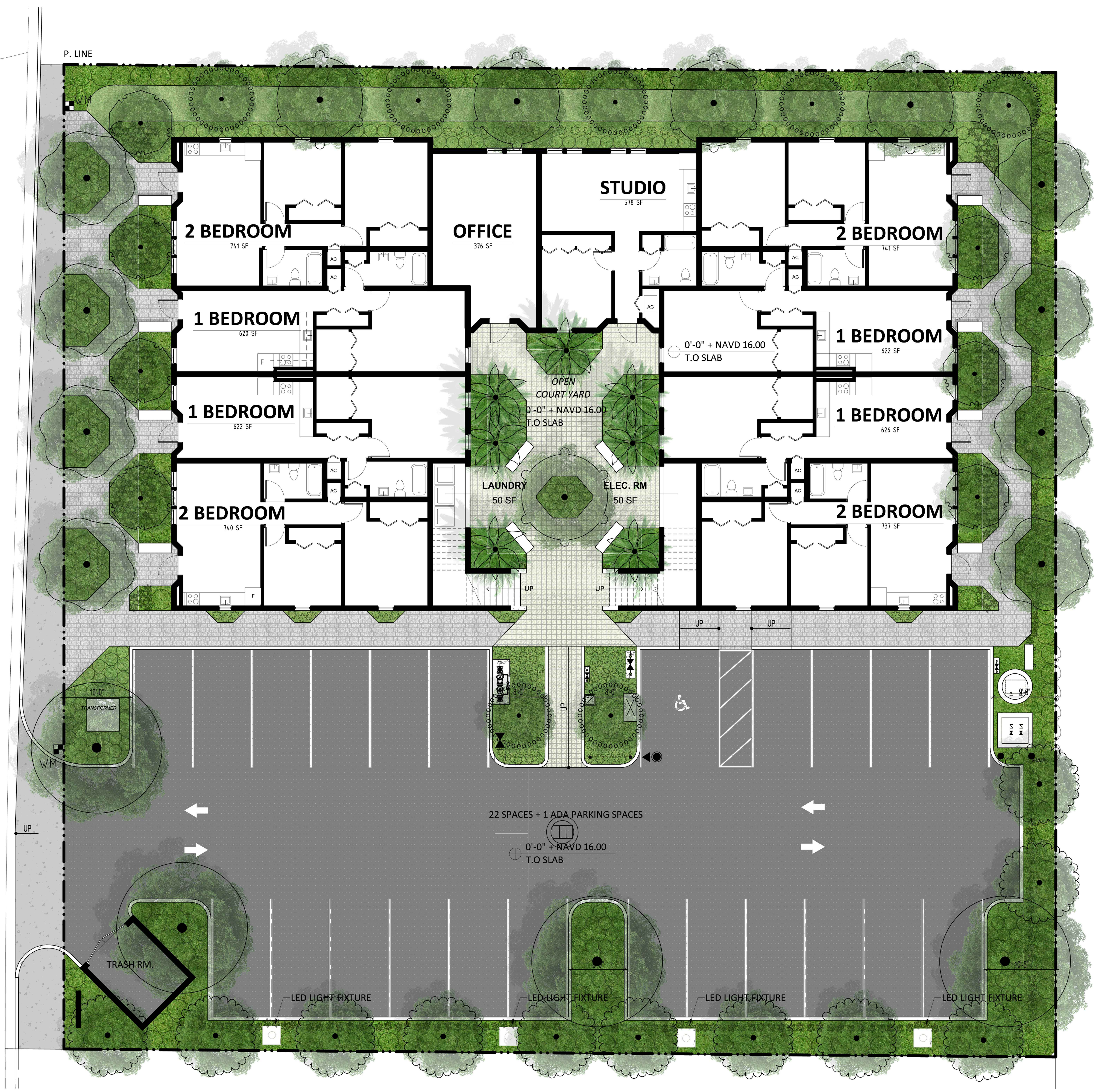
ISSUE #	DESCRIPTION	DATE
1	COMMENTS	09/30/2020
4	COMMISSION COMMENT	01/03/2022



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L1-01

DRAWING NAME: TREE MITIGATION PLAN
SCALE: 1/8" = 1'-0" DATE: 09/30/2020
PROJECT NUMBER: 1913

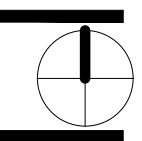


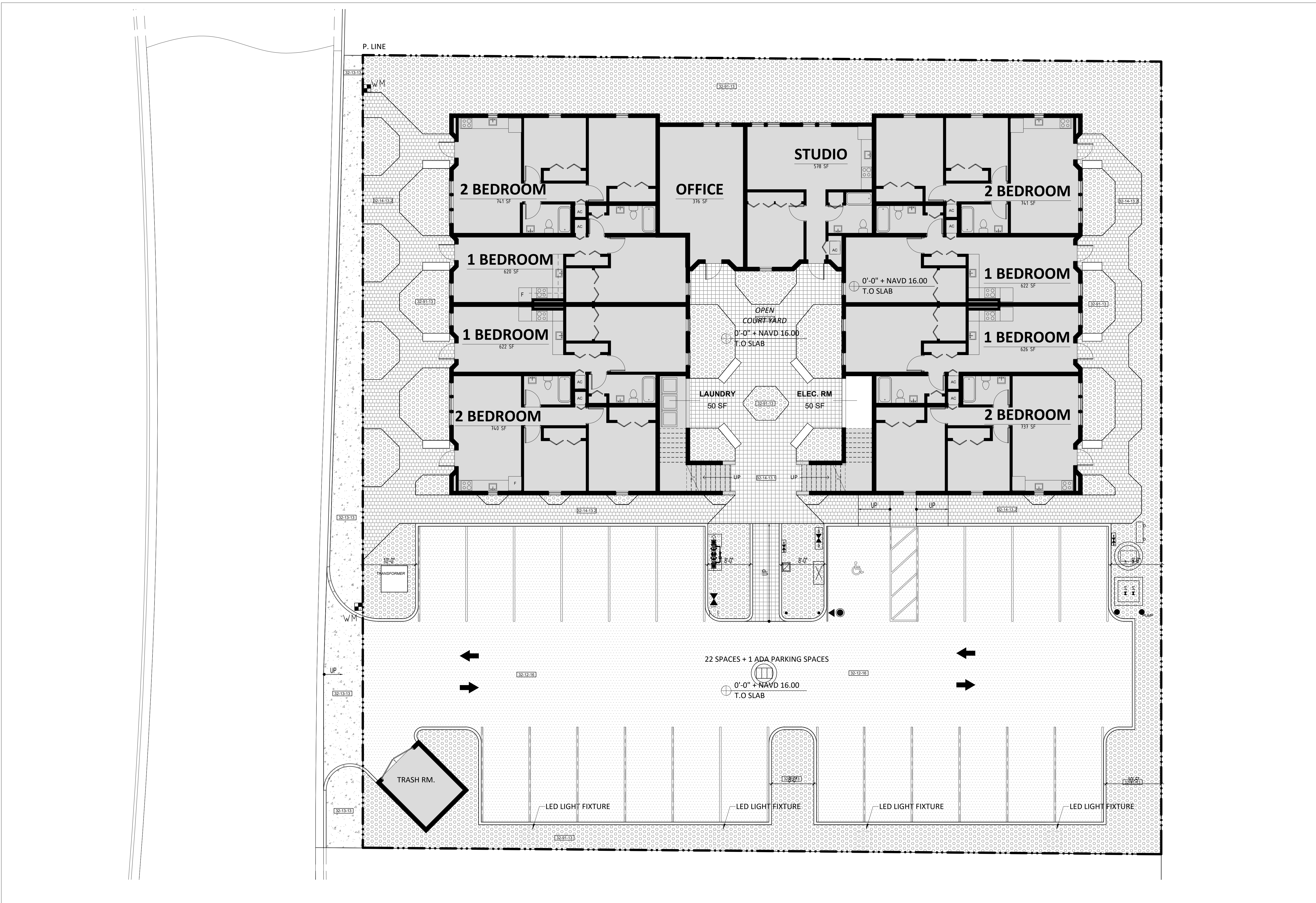
ISSUE #	DESCRIPTION	DATE
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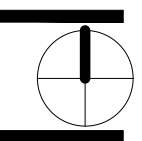
L1-10





NOTE: REFER TO SHEET L6-10 FOR HARDSCAPE SCHEDULE

1 HARDSCAPE PLAN
SCALE: 1/8" = 1'-0"



3322 BOUTWELL

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Lake Worth Beach Florida,
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ISSUE #	DESCRIPTION	DATE
1	CONCEPT	09/30/2020

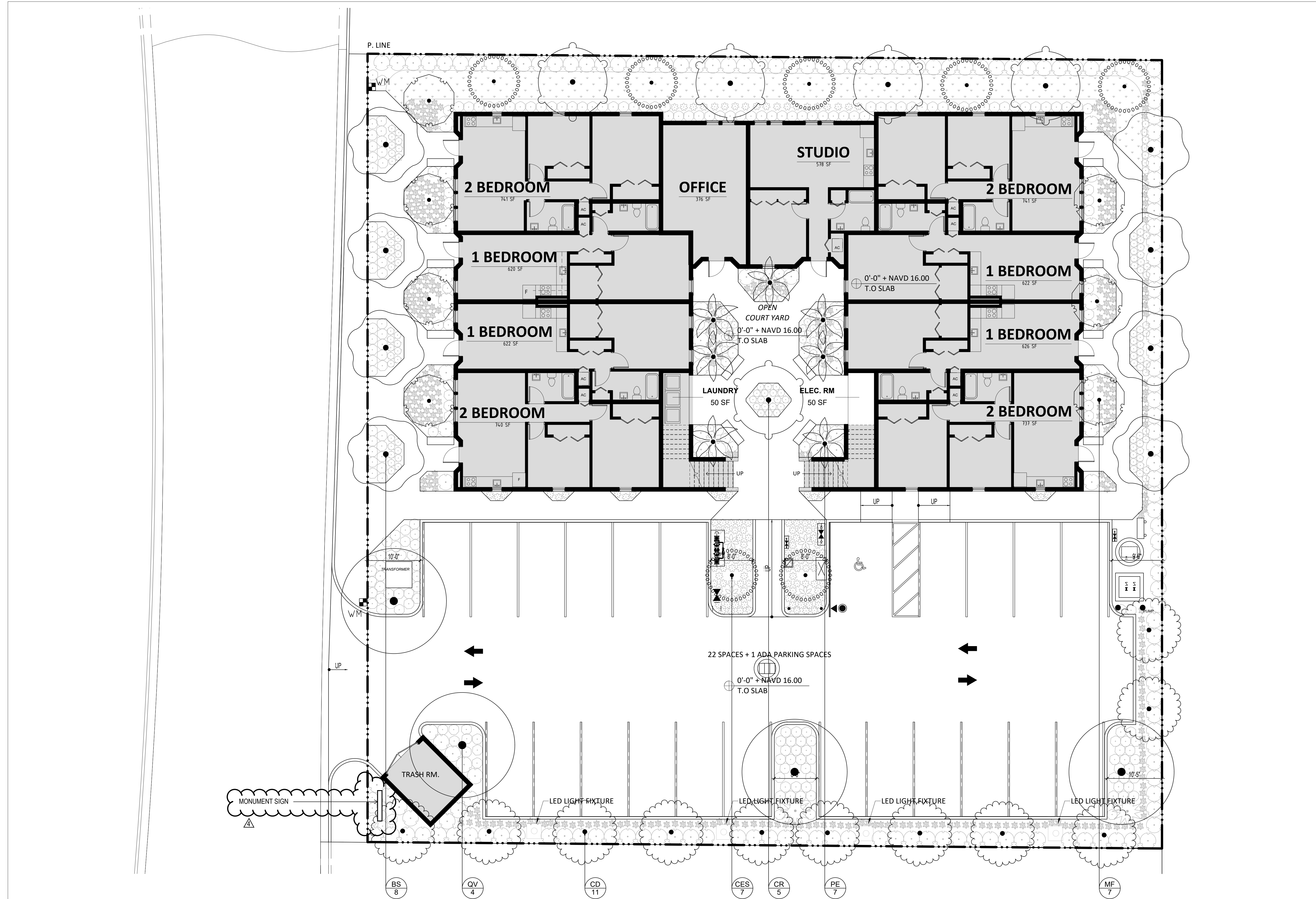
SEAL:



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L1-11

DRAWING NAME: HARDSCAPE PLAN
SCALE: 1/8" = 1'-0" DATE: 09/30/2020
PROJECT NUMBER: 1913



NOTE: REFER TO SHEET L6-10 FOR TREE SCHEDULE

1 TREE PLAN
SCALE: 1/8" = 1'-0"

3322 BOUTWELL
3322 Boutwell Rd.
Lake Worth Beach Florida,
33461

CONCEPT

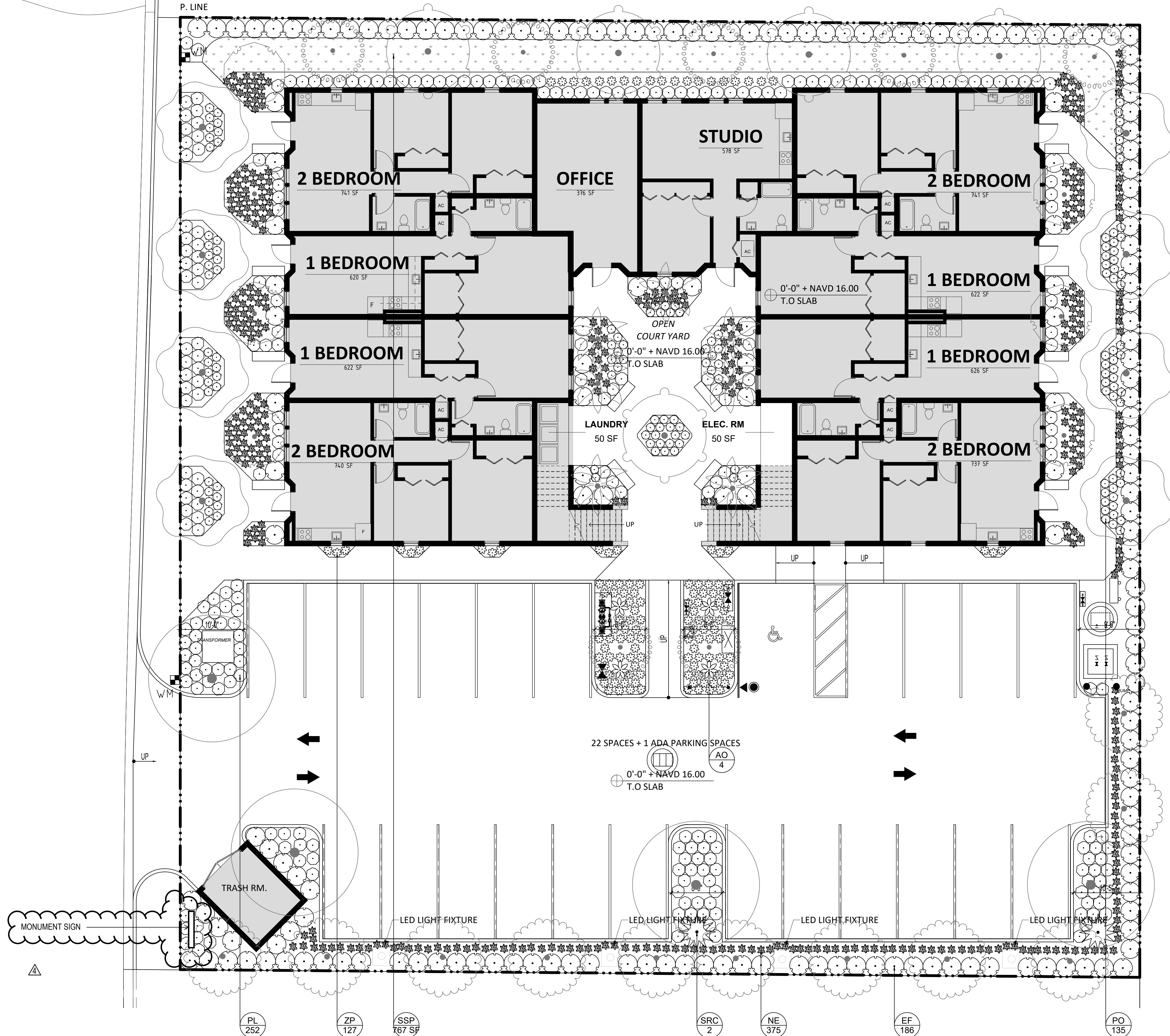
ISSUE #	DESCRIPTION	DATE
1	COMMENTS	09/30/2020
4	COMMISSION COMMENT	01/03/2022



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L1-12

DRAWING NAME: TREE PLAN
SCALE: 1/8" = 1'-0" DATE: 09/30/2020
PROJECT NUMBER: 1913



NOTE: REFER TO SHEET L6-10 FOR SHRUB & GROUND COVER SCHEDULE

1 SHRUB PLAN
SCALE: 1/8" = 1'-0"

3322 BOUTWELL
3322 Boutwell Rd.
Lake Worth Beach Florida,
33461

ISSUE #	DESCRIPTION	DATE
1	COMMENTS	09/30/2020
4	COMMISSION COMMENT	01/03/2022



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L1-13

DRAWING NAME: SHRUB PLAN
SCALE: 1/8" = 1'-0" DATE: 09/30/2020
PROJECT NUMBER: 1913

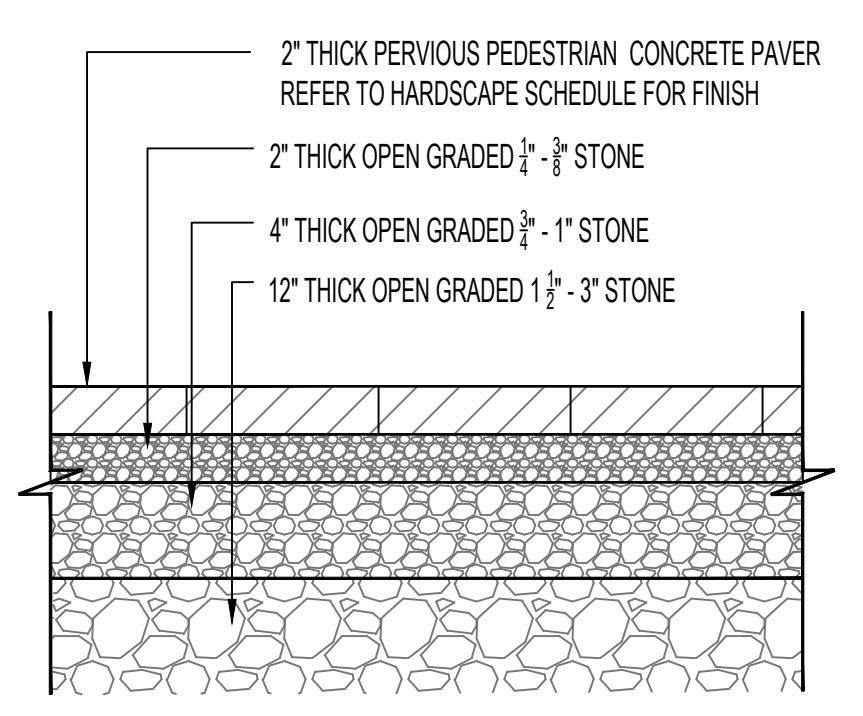
ISSUE #	DESCRIPTION	DATE
1	COMMENTS	09/30/2020

SEAL:

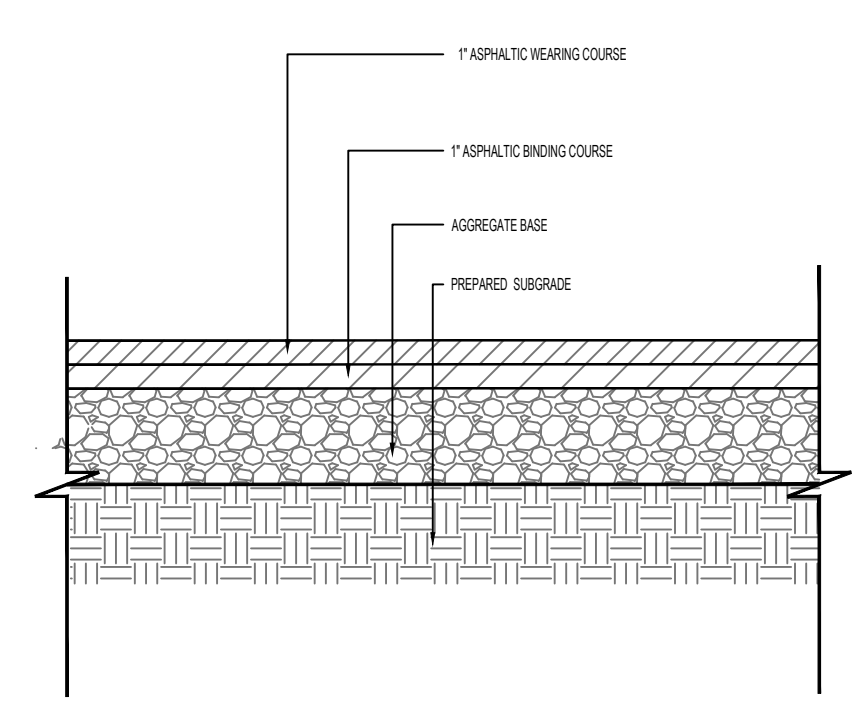


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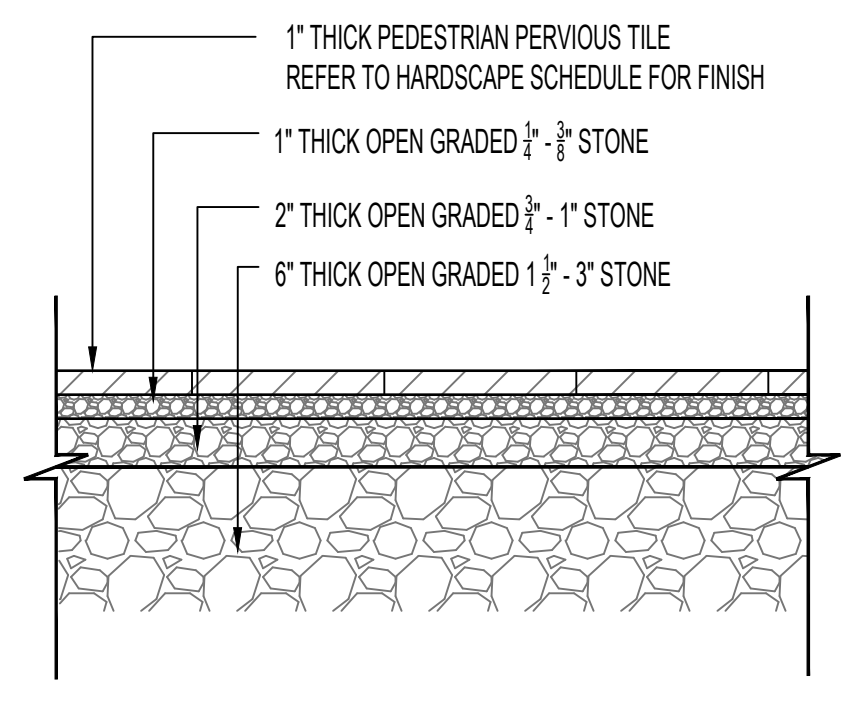
L5-11



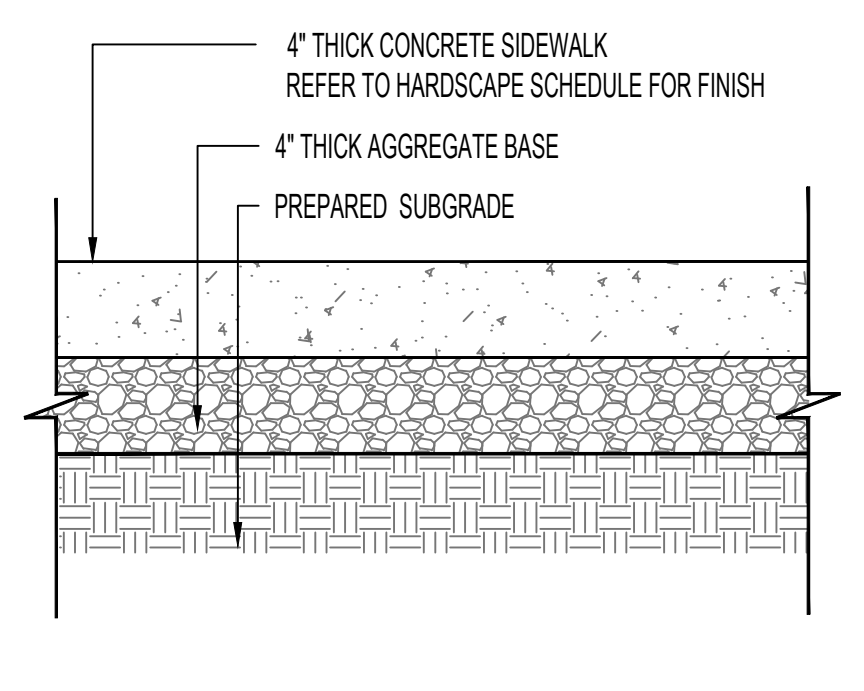
4 2" THICK PERVIOUS PEDESTRIAN CONCRETE PAVER
SCALE: 1-1/2"=1'-0"



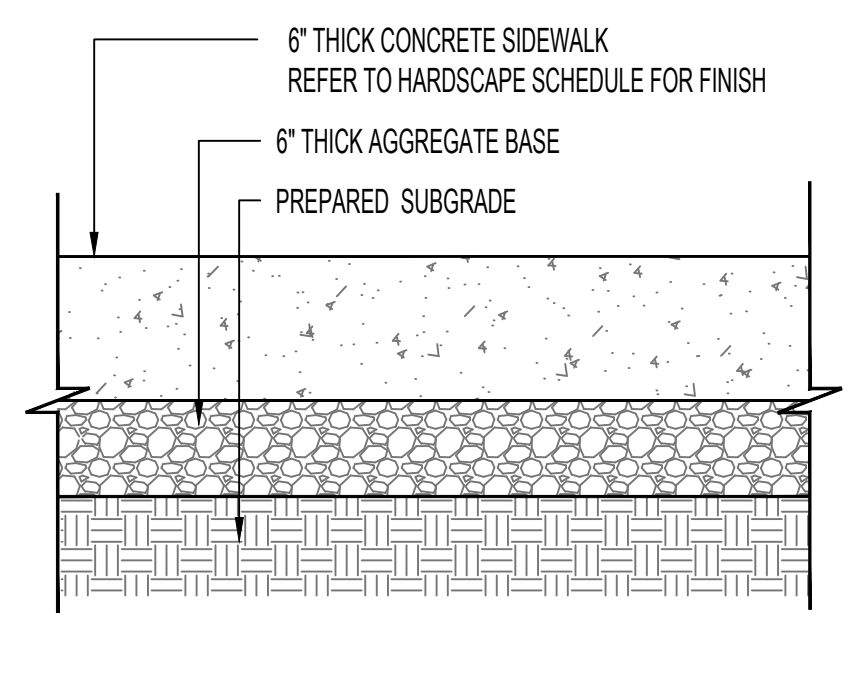
1 ASPHALT PAVING
SCALE: 1-1/2"=1'-0"



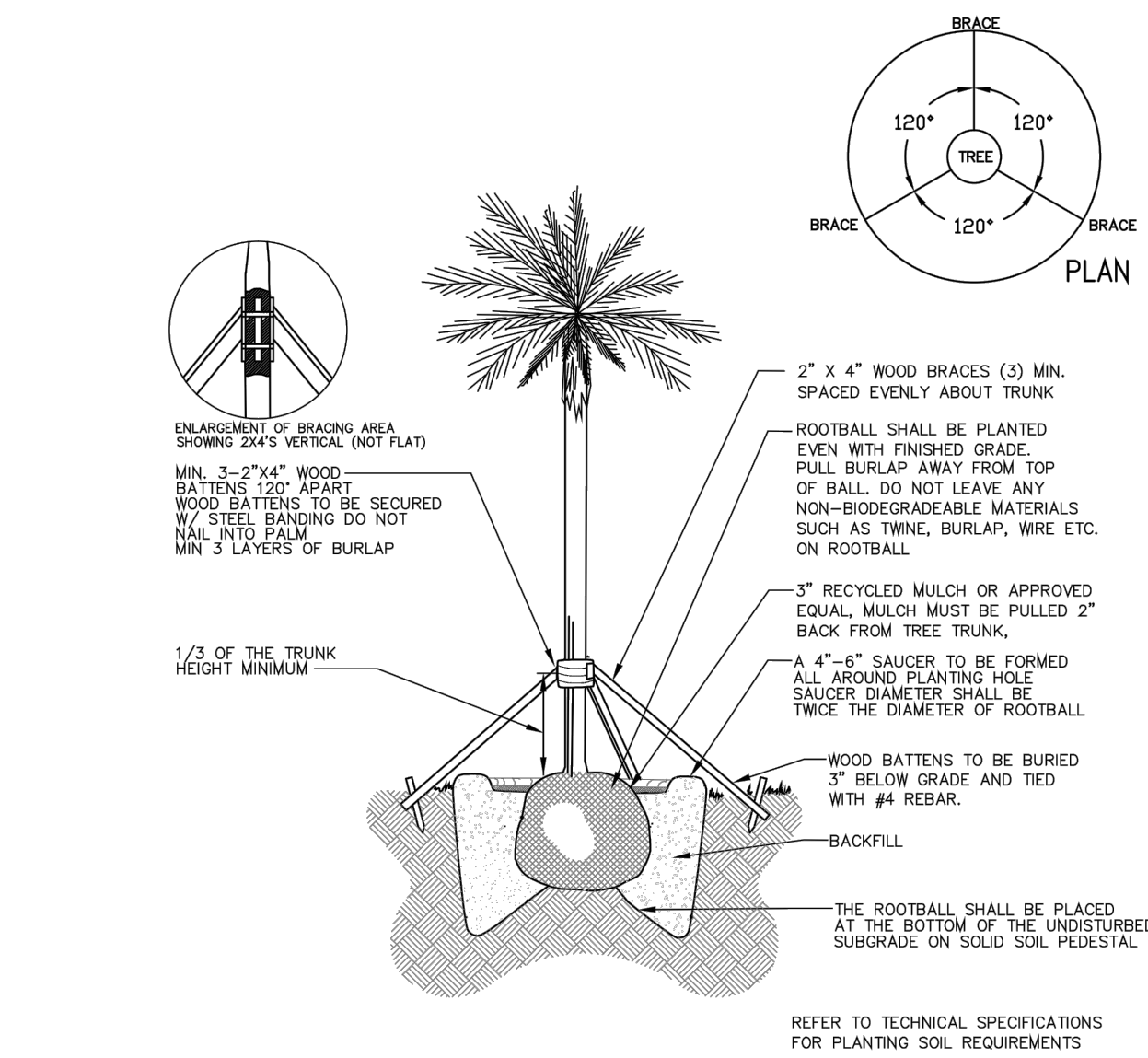
5 1" THICK PERVIOUS PEDESTRIAN TILE
SCALE: 1-1/2"=1'-0"



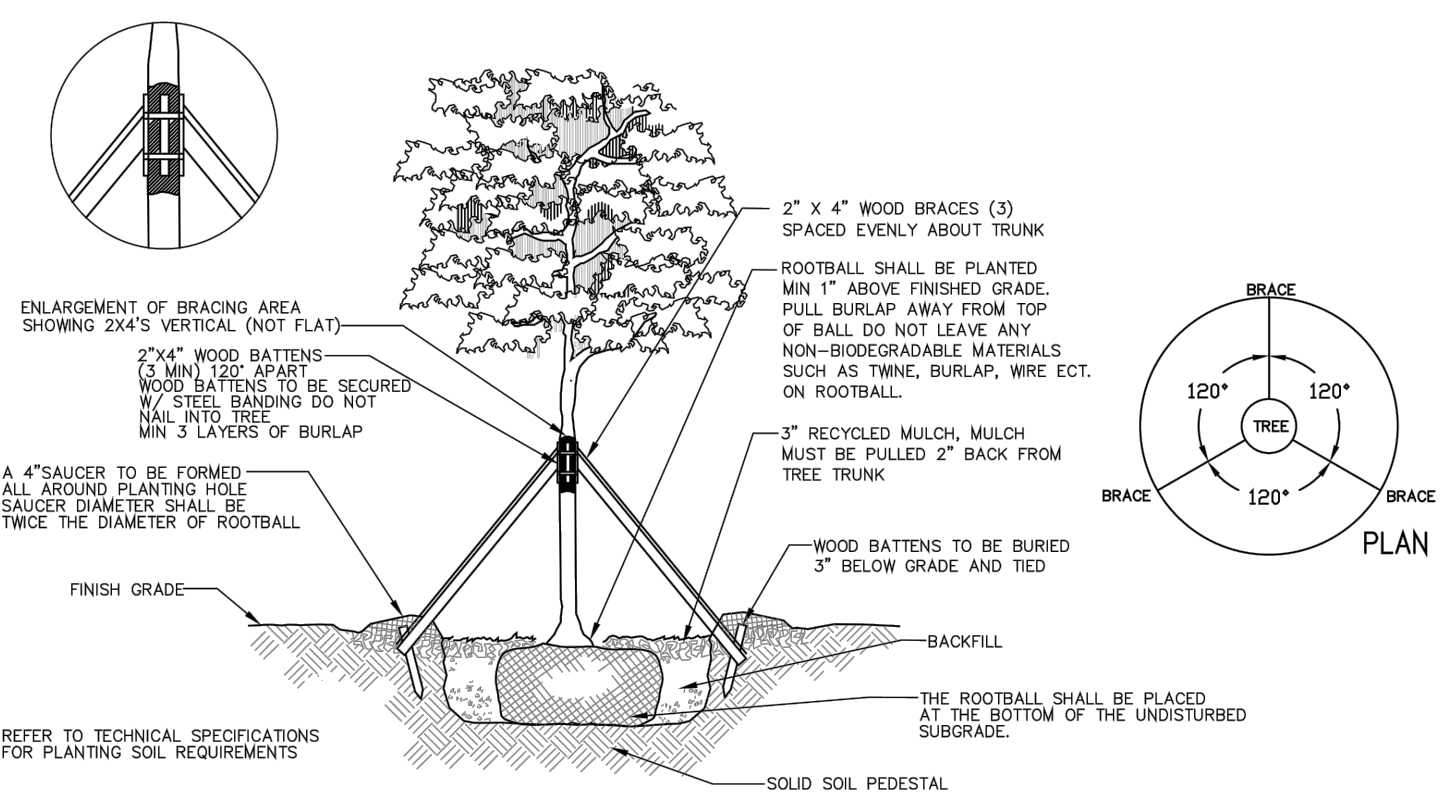
2 4" THICK CONCRETE SIDEWALK
SCALE: 1-1/2"=1'-0"



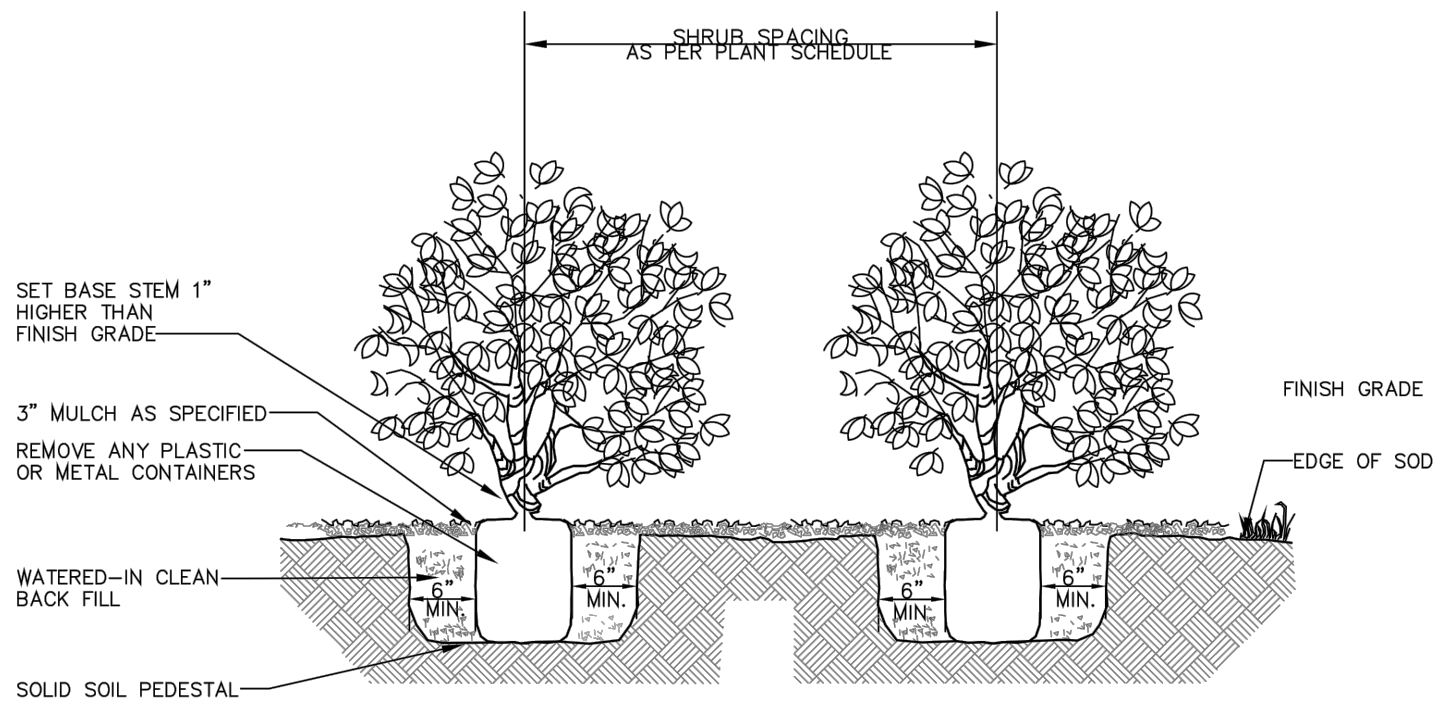
3 6" THICK CONCRETE SIDEWALK AT DRIVEWAYS
SCALE: 1-1/2"=1'-0"



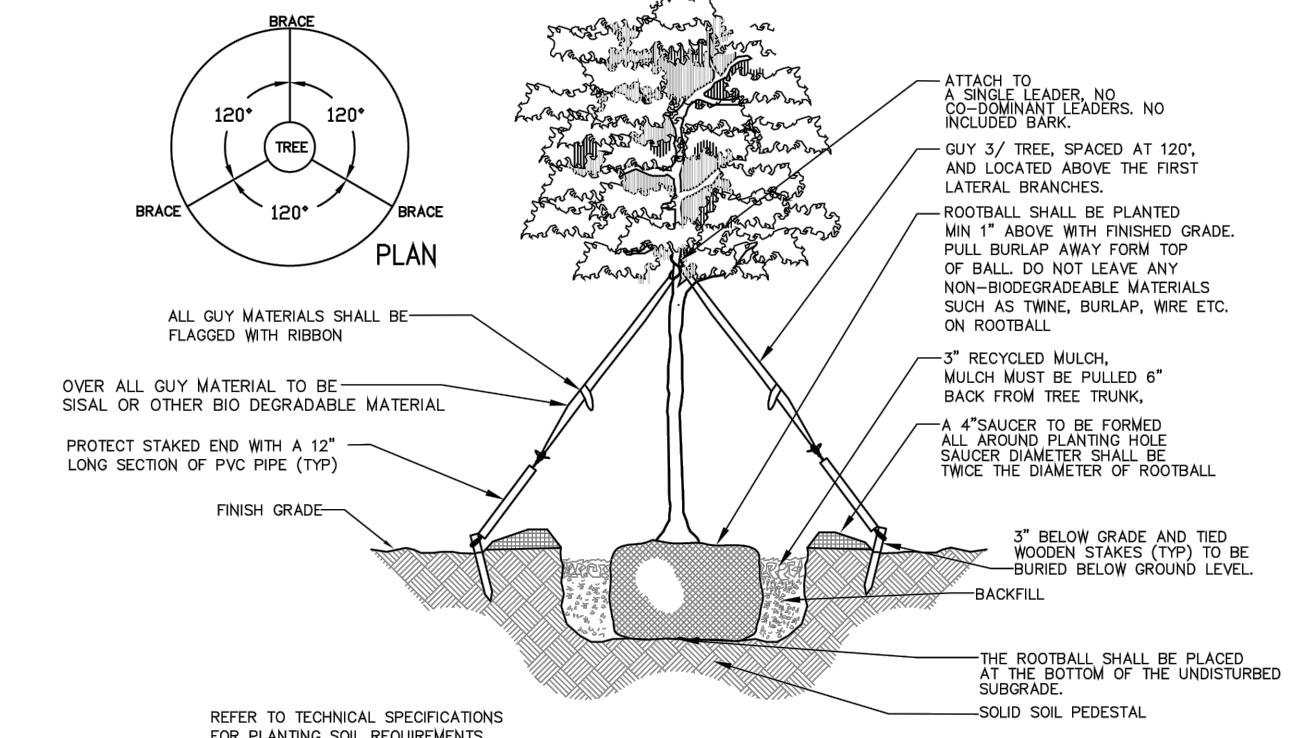
4 PALM PLANTING
SCALE: NTS



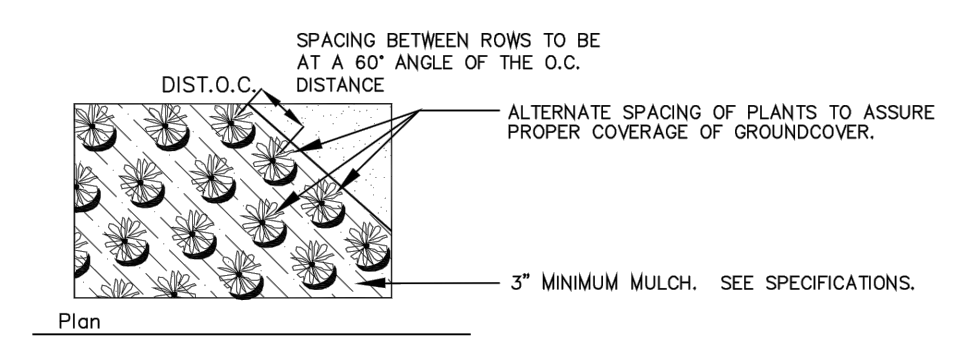
1 LARGE TREE PLANTING TRUNK > 4\"/>



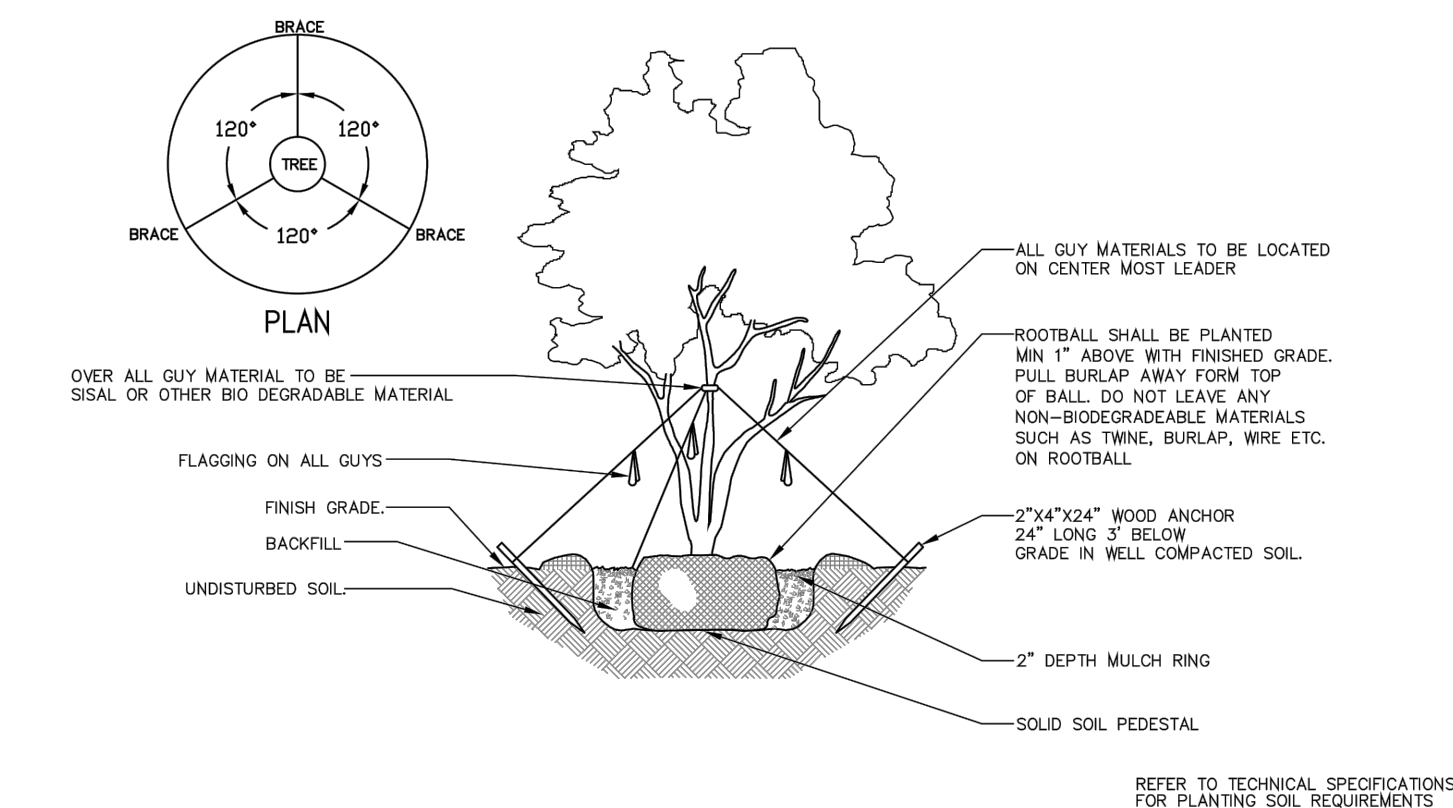
5 SHRUB PLANTING
SCALE: NTS



2 SMALL TREE PLANTING TRUNK < 4\"/>



6 GROUNDCOVER PLANTING
SCALE: NTS



3 MULTI-TRUNK TREE PLANTING
SCALE: NTS

SEAL:



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L5-12



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L6-00

TREE DISPOSITION SCHEDULE

CODE	SYMBOL	BOTANICAL NAME	COMMON NAME	DBH	NATIVE	DISPOSITION	CALC. DBH
20		Sabal palmetto	Cabbage Palm	18"	Yes	REMOVE	0"
25		-	Cactus	12"	-	REMOVE	12"
26		-	UNKNOWN	4"	-	REMOVE	4"
27		Cocos nucifera	Coconut Palm	12"	No	REMOVE	0"
28		Cocos nucifera	Coconut Palm	8"	No	REMOVE	0"
29		Cocos nucifera	Coconut Palm	8"	No	REMOVE	0"
30		Mangifera indica	Mango	14"	No	REMOVE	14"
31		Ficus spp.	Banyan	40"	-	REMOVE	40"
32		Ficus spp.	Banyan	40"	-	REMOVE	40"
33		Cocos nucifera	Coconut Palm	12"	No	REMOVE	0"
42		-	UNKNOWN	4"	-	REMOVE	4"
45		Sabal palmetto	Cabbage Palm	10"	Yes	REMOVE	0"
46		Mangifera indica	Mango	10"	No	REMOVE	10"
47		-	UNKNOWN	5"	-	REMOVE	5"
TOTAL REMOVED DBH							129"
TOTAL PALMS REMOVED							6

NOTE: REFER TO SHEET L1-00 FOR TREE DISPOSITION PLAN

TREE MITIGATION SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	DBH	CLEAR TRUNK	NATIVE	DROUGHT	TOTAL DBH
	BS	8	Bursera simaruba	Gumbo Limbo	20'	10'	6"	5'	Yes	Yes	48
	CD	11	Coccoloba diversifolia	Pigeon Plum	12'	6'	2"	3.5'	Yes	Yes	22
	CES	7	Conocarpus erectus var. sericeus	Silver Buttonwood	10'	5'	1.5"	3'	Yes	Yes	10.5
	CR	5	Clusia rosea	Pitch Apple	14'	7'	3"	4'	Yes	Yes	15
	MF	7	Myrcianthes fragrans	Simpsons Stopper	10'	5'	1.5"	3'	Yes	Yes	10.5
	QV	4	Quercus virginiana	Live Oak	20'	10'	6"	5'	Yes	Yes	24
PALMS	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	DBH	CLEAR TRUNK	NATIVE	DROUGHT	TOTAL DBH
	PE	7	Ptychosperma elegans	Alexander Palm - Double	12'	12'	4"	6' GW	No	Yes	-
TOTAL MITIGATION DBH											130"
TOTAL PALMS PROPOSED											7

NOTE: REFER TO SHEET L1-01 FOR TREE MITIGATION PLAN

TREE SCHEDULE										
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	DBH	CLEAR TRUNK	NATIVE	DROUGHT
	BS	8	Bursera simaruba	Gumbo Limbo	20'	10'	6"	5'	Yes	Yes
	CD	11	Coccoloba diversifolia	Pigeon Plum	12'	6'	2"	3.5'	Yes	Yes
	CES	7	Conocarpus erectus var. sericeus	Silver Buttonwood	10'	5'	1.5"	3'	Yes	Yes
	CR	5	Clusia rosea	Pitch Apple	14'	7'	3"	4'	Yes	Yes
	MF	7	Myrcianthes fragrans	Simpsons Stopper	10'	5'	1.5"	3'	Yes	Yes
	QV	4	Quercus virginiana	Live Oak	20'	10'	6"	5'	Yes	Yes
PALMS	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	DBH	CLEAR TRUNK	NATIVE	DROUGHT
	PE	7	Ptychosperma elegans	Alexander Palm - Double	12'	12'	4"	6' GW	No	Yes

NOTE: REFER TO SHEET L1-12 FOR TREE PLAN

SHRUB & GROUNDCOVER SCHEDULE										
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	GAL	NATIVE	DROUGHT	
	AO	4	Alcantarea odorata	Silver Bromeliad	2.5'	3'	7G	No	Yes	
	EF	186	Eugenia foetida	Spanish Stopper	4'	2'	7G	Yes	Yes	
	PL	252	Psychotria ligustrifolia	Bahama Coffee	2'	2'	3G	Yes	Yes	
	SRC	2	Serenoa repens 'Cinerea'	Silver Saw Palmetto	2'	2'	7G	Yes	Yes	
	ZP	127	Zamia pumila	Coonite	1.5'	1.5'	3G	Yes	Yes	
GROUNDCOVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	GAL	NATIVE	DROUGHT	
	NE	375	Nephrolepis exaltata	Boston Fern	1'	1'	1G	Yes	Yes	
	PO	135	Peperomia obtusifolia	Baby Rubber Plant	1'	1'	1G	Yes	Yes	
SOD	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	GAL	NATIVE	DROUGHT	
	SSP	767 sf	Stenotaphrum secundatum 'Palmetto'	St. Augustine Palmetto	Flat			No	Yes	

NOTE: REFER TO SHEET L1-13 FOR SHRUB PLAN

HARDSCAPE SCHEDULE			
SYMBOL	CODE	32 EXTERIOR IMPROVEMENTS DESCRIPTION	QTY
	32-12-16	ITEM: Asphalt Paving APPLICATION: Site Driveways	7,025 sf
	32-13-13	ITEM: Concrete Paving APPLICATION: Right-of-Way Sidewalk FINISH: Broomed / Brushed	853 sf
	32-14-13.1	ITEM: Pedestrian Precast Pervious Concrete Unit Paving APPLICATION: Courtyard MANUFACTURER: Tremron PRODUCT: Pervious Paver SIZE: Olde Towne, 6"x4", 6"x6", 6"x9" COLOR: Sierra	913 sf
	32-14-13.2	ITEM: Pedestrian Precast Pervious Concrete Unit Paving APPLICATION: Walkways MANUFACTURER: Tremron PRODUCT: Pervious Paver SIZE: 4"x8" COLOR: Sand Dune	1,762 sf
	32-91-13	ITEM: Mulching APPLICATION: Planting beds TYPE: Mini-Pine Bark Nuggets	5,306 sf

NOTE: REFER TO SHEET L1-11 FOR HARDSCAPE PLAN



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