

**LAKE WORTH BEACH, FL
PALM BEACH COUNTY**

PROJECT TEAM

OWNER

LAKE WORTH BEACH COMMUNITY REDEVELOPMENT AGENCY
1121 LUCERNE AVENUE
LAKE WORTH BEACH, FL 33460
JOAN OLIVA, EXECUTIVE DIRECTOR
PHONE: (561) 493-2550

DEVELOPER

OAG INVESTMENT 5, LLC.
1430 S. DIXIE HIGHWAY
SUITE 110
CORAL GABLES, FL 33416

ARCHITECT

THE MARTIN ARCHITECTURAL GROUP, P.C.
6810 LYONS TECHNOLOGY CIRCLE, SUITE 185
COCONUT CREEK, FL 33073
ANNABELLA GARCIA, SENIOR PROJECT MANAGER
PHONE: (954) 428-1618
FAX: (954) 428-4416
EMAIL: AGARCIA@MARTINAIA.COM

CIVIL ENGINEER

IBI GROUP (FLORIDA), INC.
1100 PARK CENTRAL BOULEVARD SOUTH - SUITE 3500
POMPANO BEACH, FLORIDA 33064
PATRICIA F. RAMUDO, P.E., LEED AP
PHONE: (954) 974-2200
FAX: (954) 973-2686
EMAIL: PATRICIA.RAMUDO@IBIGROUP.COM

LANDSCAPE ARCHITECT

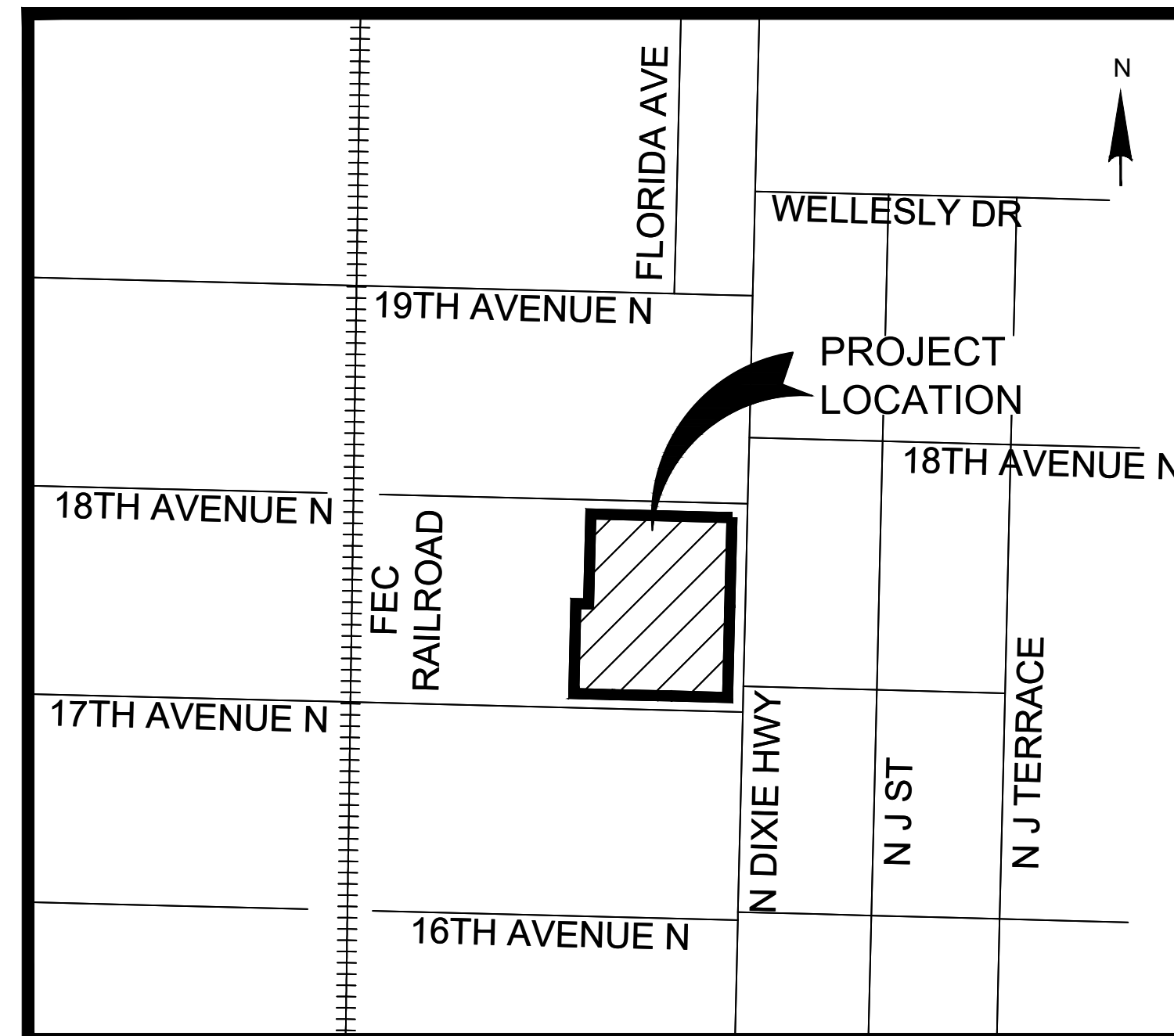
ANDRES MONTERO LANDSCAPE ARCHITECTURE, LLC.
2208 NE 26TH STREET, #1
FORT LAUDERDALE, FL 33305
ANDRES MONTERO, PLA, ASLA
PHONE: (954) 533-8259
EMAIL: AMONTERO@AMLASTUDIO.COM

MEP

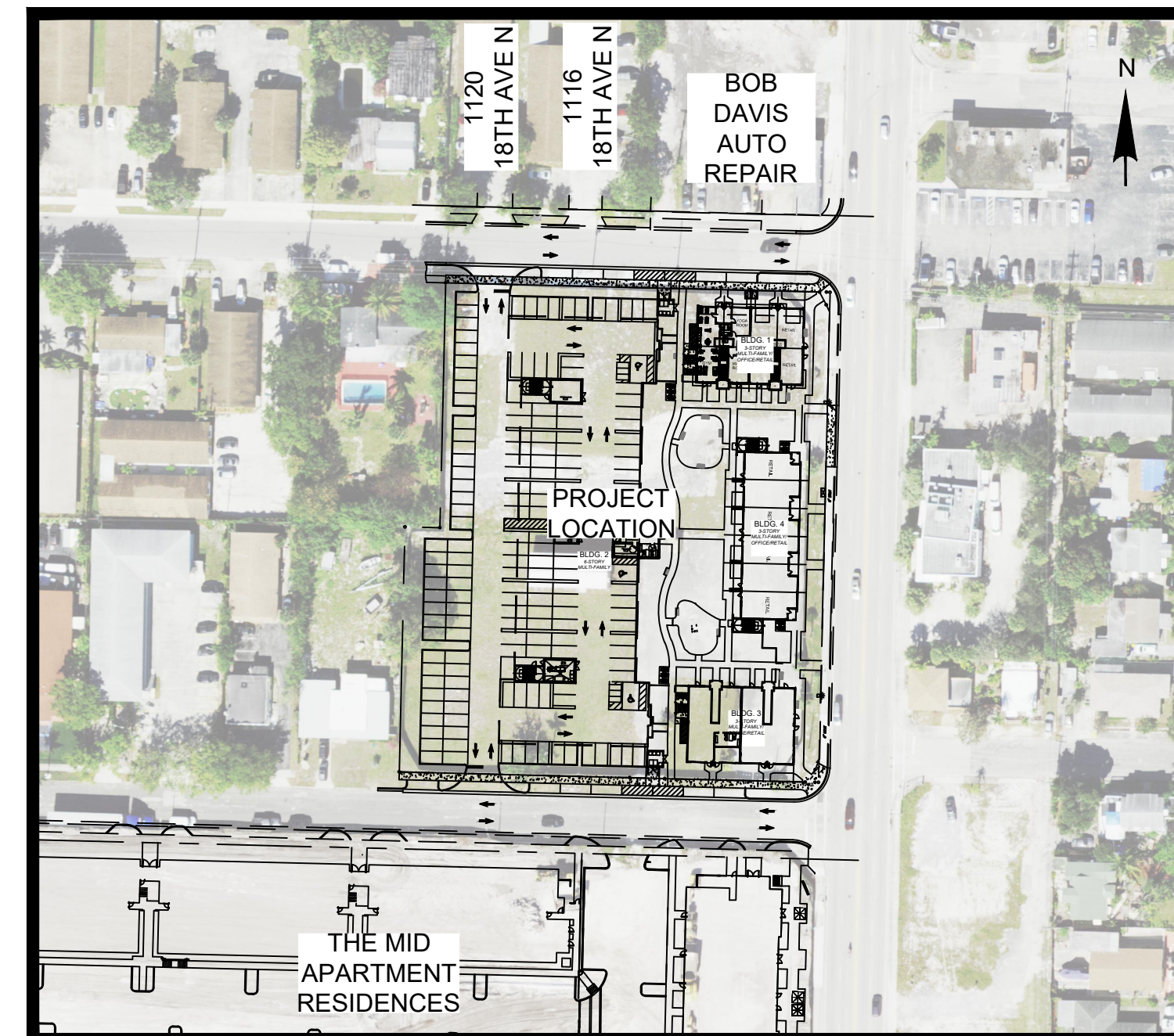
FORMICA & ASSOCIATES INC.
980 N. FEDERAL HIGHWAY, SUITE 110
BOCA RATON, FL 33432
JUAN MORENO, LEED AP
PHONE: (561) 368-3611
EMAIL: JUAN.M.MORENO@FORMICAENGINEERING.COM

SURVEYOR

MILLER LAND SURVEYING
1121 LAKE WORTH AVENUE
LAKE WORTH BEACH, FL 33460
MICHAEL MILLER, PLS
PHONE: (561) 586-2669
EMAIL: ORDERS@MILLERSURVEYING.COM



LOCATION MAP
NOT TO SCALE



PROJECT OVERVIEW

NOT TO SCALE

LEGAL DESCRIPTION:

PARCEL 1:
LOTS 1, 2 AND 3, BLOCK "D", LAKE WORTH HEIGHTS, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 7, PAGE 25, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA

PARCEL 2:
THE EAST 110 FEET OF LOT 1, BLOCK "E", LAKE WORTH HEIGHTS, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 7, PAGE 25, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

LESS FROM PARCELS 1 AND 2, THAT PARCEL DESCRIBED IN THE STIPULATED ORDER OF TAKING IN O.R. BOOK 9279, PAGE 1919, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A PORTION OF LOT 1, BLOCK E, LAKE WORTH HEIGHTS, AS RECORDED IN PLAT BOOK 7, PAGE 25, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LYING IN SECTION 16, TOWNSHIP 44 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SAID LOT 1; THENCE SOUTH 89°55'17" EAST ALONG THE SOUTHERLY BOUNDARY LINE OF SAID LOT 1, A DISTANCE OF 165.50 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 89°55'17" EAST ALONG SAID SOUTHERLY BOUNDARY LINE, A DISTANCE OF 7.00 FEET TO A POINT ON THE WESTERLY EXISTING RIGHT OF WAY LINE FOR STATE ROAD 805 (DIXIE HIGHWAY), SAID POINT BEING ON A LINE 2.50 FEET WESTERLY OF AND PARALLEL WITH THE EASTERLY BOUNDARY LINE OF SAID LOT 1; THENCE NORTH 00°00'02" WEST ALONG SAID WESTERLY EXISTING RIGHT OF WAY LINE AND SAID PARALLEL LINE, A DISTANCE OF 9.00 FEET; THENCE SOUTH 37°54'15" WEST, A DISTANCE OF 11.39 FEET TO THE POINT OF BEGINNING.

AND

A PORTION OF LOT 1, BLOCK D, LAKE WORTH HEIGHTS, AS RECORDED IN PLAT BOOK 7, PAGE 25, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LYING IN SECTION 16, TOWNSHIP 44 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF SAID LOT 1; THENCE SOUTH 89°55'10" EAST ALONG THE NORTHERLY BOUNDARY LINE OF SAID LOT 1, A DISTANCE OF 167.50 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 89°55'10" EAST ALONG SAID NORTHERLY BOUNDARY LINE, A DISTANCE OF 5.00 FEET TO A POINT ON THE WESTERLY EXISTING RIGHT OF WAY LINE FOR STATE ROAD 805 (DIXIE HIGHWAY), SAID POINT BEING ON A LINE 2.50 FEET WESTERLY OF AND PARALLEL WITH THE EASTERLY BOUNDARY LINE OF SAID LOT 1; THENCE SOUTH 00°00'02" EAST ALONG SAID WESTERLY EXISTING RIGHT OF WAY LINE AND SAID PARALLEL LINE, A DISTANCE OF 9.00 FEET; THENCE NORTH 29°02'10" WEST, A DISTANCE OF 10.31 FEET TO THE POINT OF BEGINNING.

PARCEL 3:
THE WEST 40 FEET OF LOT 1 AND ALL OF LOT 2, BLOCK E, LAKE WORTH HEIGHTS, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 7, PAGE 25, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

PARCEL 4:
LOT 3, AND THE EAST HALF (E ½) OF LOT 4, BLOCK E, LAKE WORTH HEIGHTS, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 7, PAGE 25, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

PARCEL 5:
THE EAST 25 FEET OF THE WEST 65 FEET OF LOT 1, BLOCK E, LAKE WORTH HEIGHTS, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 7, PAGE 25, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

TOTAL AREA AS DESCRIBED ABOVE = 100,791 SQUARE FEET (2.314 ACRES).

PERMITS REQUIRED

[illegible]

Revision/Submission

REVISION COMMENTS:			
△	04/09/2021	REVISED PER DRC COMMENTS	PF
No.	Date.	Comment.	By.

48 HOURS BEFORE DIGGING

 CALL 
TOLL FREE

811 or 1-800-432-4770
SUNSHINE STATE ONE CALL CENTER

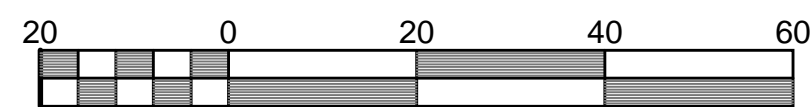
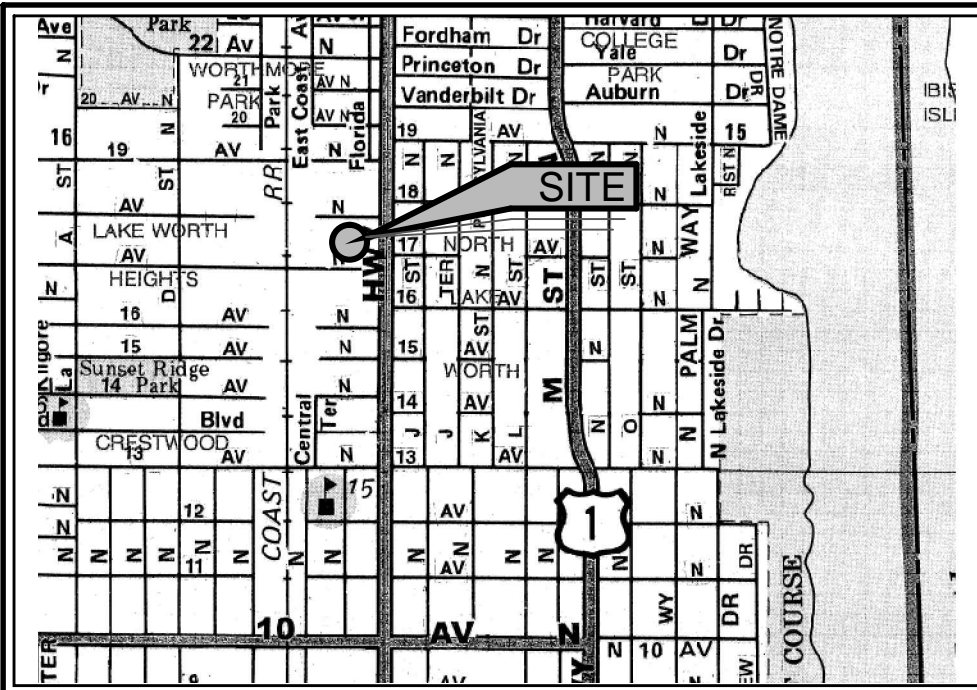
ENGINEER'S PROJECT# 127192

PATRICIA RAMUDO, PI
Digitally signed by **PATRICIA RAMUDO, PI**
33798
Date: 2021.07.01 16:44:41 -04'00'

NOT TO BE FILED FOR RECORD UNLESS SIGNED AND DATED
WITH THE ORIGINAL SEAL OF PATRICIA F. RAMUDO,
CLOCKWISE FROM TOP LEFT: THE SIGN

ENGINEER'S CERT. OF AUTH. #2966 LANDSCAPE LC #26000270

C:\Users\cpence\appdata\local\temp\AcPublish_12012\127192-COVER.dwg Cover Jul 01, 2021-4:00pm cpence;



Scale 1" = 20'

LOT 5
BLOCK D

LOT 4
BLOCK D

LOT 3
BLOCK D

LOT 2
BLOCK D

LOT 1
BLOCK D

LOT 5
BLOCK E

REMAINDER
OF
LOT 4
BLOCK E
(NOT INCLUDED)

PARCEL 4
LOT 3
BLOCK E

PARCEL 3
LOT 2
BLOCK E

LOT 1
BLOCK E

PARCEL 5

PARCEL 2
(LIGHT POLES ABANDONED)
(TYP.)

EAST 110'
OF
LOT 1
BLOCK E

NORTH DIXIE HIGHWAY
(AKA STATE ROAD 805)
(DIXIE HIGHWAY - PLAT)

- SURVEY NOTES:**
- 1.) Lands shown hereon were not abstracted for easements and/or rights-of-way of record by this office.
 - 2.) Elevations shown hereon are based on North Atlantic Vertical Datum of 1988 (NAVD 88).
 - a) Originating benchmark = Leica Global Positioning System.
 - b) 0.00 = existing elevation
 - 3.) All bearings and distances shown hereon are plat and measured unless otherwise noted.
 - 4.) This firm's "Certificate of Authorization" number is "LB 6838".

LINE	BEARING	LENGTH
L1	N29°02'10"W	10.31'
L2	N01°20'56"E	9.00'
L3	S89°34'12"W	2.50'
L4	S88°34'19"E	2.50'
L5	N01°20'56"E	9.00'
L6	S37°54'15"W	11.39'

CERTIFIED TO: OAG Investment 5 LLC, a Florida limited liability company; Marro Law, P.A.; Old Republic National Title Insurance Company
PROPERTY ADDRESS: 1715 North Dixie Hwy, Lake Worth, FL 33460
FLOOD ZONE: X (FIRM 120213-12099C05936F 10/05/2017)
DESCRIPTION:

Parcel 1:
Lots 1, 2 and 3, Block "D", Lake Worth Heights, according to the Plat thereof as recorded in Plat Book 7, Page 25, Public Records of Palm Beach County, Florida.

Parcel 2:
The East 110 feet of Lot 1, Block "E", Lake Worth Heights, according to the Plat thereof as recorded in Plat Book 7, Page 25, Public Records of Palm Beach County, Florida.

LESS from Parcels 1 and 2, that parcel described in the Stipulated Order of Taking in O.R. Book 9279, Page 1919, Public Records of Palm Beach County, Florida, more particularly described as follows:

A portion of Lot 1, Block E, Lake Worth Heights, as recorded in Plat Book 7, Page 25, Public Records of Palm Beach County, Florida, lying in Section 16, Township 44 South, Range 43 East, Palm Beach County, Florida, being more particularly described as follows:

Commence at the Southwest corner of said Lot 1; thence South 89°55'17" East along the Southerly boundary line of said Lot 1, a distance of 165.50 feet to the POINT OF BEGINNING; thence continue South 89°55'17" East along said Southerly boundary line, a distance of 7.00 feet to a point on the Westerly Existing Right of way line for State Road 805 (Dixie Highway), said point being on a line 2.50 feet Westerly of and parallel with the Easterly boundary line of said Lot 1; thence North 00°00'02" West along said Westerly Existing Right of way line and said parallel line, a distance of 9.00 feet; thence South 37°54'15" West, a distance of 11.39 feet to the POINT OF BEGINNING.

AND

A portion of Lot 1, Block D, Lake Worth Heights, as recorded in Plat Book 7, Page 25, Public Records of Palm Beach County, Florida, lying in Section 16, Township 44 South, Range 43 East, Palm Beach County, Florida, being more particularly described as follows:

Commence at the Northwest corner of said Lot 1; thence South 89°55'10" East along the Northerly boundary line of said Lot 1, a distance of 167.50 feet to the POINT OF BEGINNING; thence continue South 89°55'10" East along said Northerly boundary line, a distance of 5.00 feet to a point on the Westerly Existing Right of Way line for State Road 805 (Dixie Highway), said point being on a line 2.50 feet Westerly of and parallel with the Easterly boundary line of said Lot 1; thence South 00°00'02" East along said Westerly Existing Right of Way line and said parallel line, a distance of 9.00 feet; thence North 29°02'10" West, a distance of 10.31 feet to the POINT OF BEGINNING.

Parcel 3:
The West 40 feet of Lot 1 and all of Lot 2, Block E, Lake Worth Heights, according to the plat thereof as recorded in Plat Book 7, Page 25, Public Records of Palm Beach County, Florida.

Parcel 4:
Lot 3, and the East Half (E ½) of Lot 4, Block E, Lake Worth Heights, according to the plat thereof as recorded in Plat Book 7, Page 25, Public Records of Palm Beach County, Florida.

Parcel 5:
The East 25 feet of the West 65 feet of Lot 1, Block E, Lake Worth Heights, according to the plat thereof as recorded in Plat Book 7, Page 25, Public Records of Palm Beach County, Florida.

TOTAL AREA AS DESCRIBED ABOVE = 100.791 SQUARE FEET (2.314 ACRES).

REVISIONS:

12/23/2020 ADD EASEMENT

BOUNDARY AND TOPOGRAPHIC SURVEY

This survey is not valid without embossed surveyor's seal
This is a true and correct copy of the original survey as conducted by the surveyor.
Digitally signed by
Michael J Miller
Date: 2020.12.23
15:25:10 -0500
Inveyor, Florida Certificate No.
MICHAEL J. MILLER #4034

CRD. FILE Y201078-A

LEGEND:

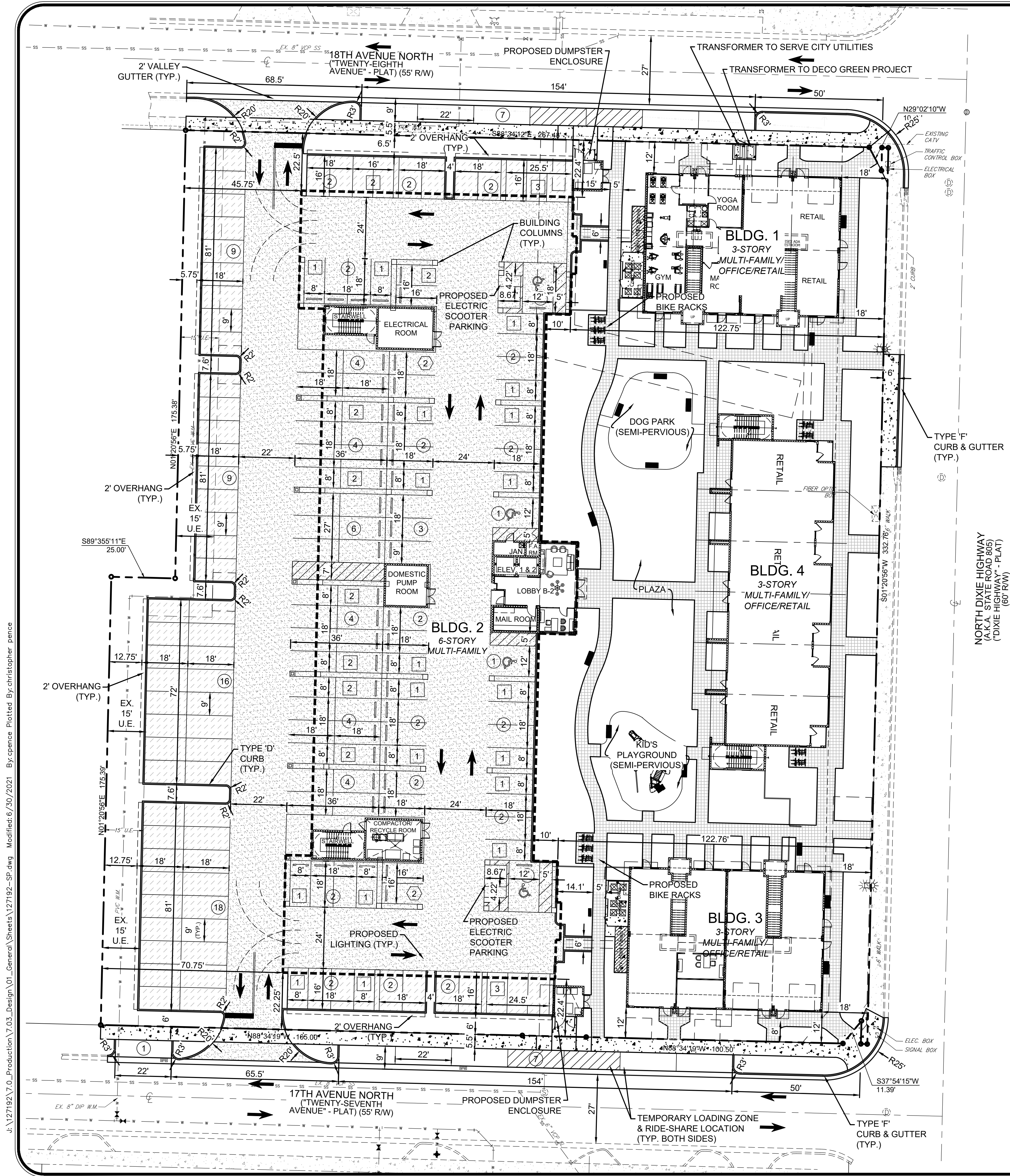
CALC. = CALCULATED	(P) = PLAT	P.I. = POINT OF INTERSECTION
C.B.E. = CONCRETE BLOCK STRUCTURE	R = RADIUS	P.O.C. = POINT OF COMMENCEMENT
CONC. MON. = CONCRETE MONUMENT	Δ = CENTRAL "DELTA" ANGLE	P.O.B. = POINT OF BEGINNING
CONC. = CONCRETE	L = ARC LENGTH	R.W. = RIGHT OF WAY
D.E. = DRAINAGE EASEMENT	C.B. = CHORD BEARING	C.F. = CHAIN FENCE
U.E. = UTILITY EASEMENT	N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM	M.F. = METAL FENCE
P.E. = POOL EQUIPMENT	O.R.B. = OFFICIAL RECORD BOOK	P.B. = PLAT BOOK
F.F.E.L. = FINISHED FLOOR ELEVATION	P.C. = POINT OF CURVATURE	C.E. = CENTERLINE
(B.R.) = BEARING REFERENCE	P.T. = POINT OF TANGENCY	C.O. = COVERED
ID. = DRED	P.R.C. = POINT OF REVERSE CURVATURE	O.D. = OVERHEAD LINES
(M) = MEASURED	P.C.C. = POINT OF COMPOUND CURVATURE	LOT TIE

SCALE: 1" = 20'
DRAWN BY: PICARD
FIELD WK: M.M. / B.M.
DATE: 11/16/2020

MILLER LAND SURVEYING
1121 LAKE AVENUE
LAKE WORTH, FLORIDA 33460
PHONE: (561) 586-2669 - FAX: (561) 582-0151
www.millersurveying.com
e-mail: orders@millersurveying.com

REF: X-847
A1868
18077
R2450
PREV. JOB NO'S: Y101030
Y180054
Y180420
JOB NO.: Y201078
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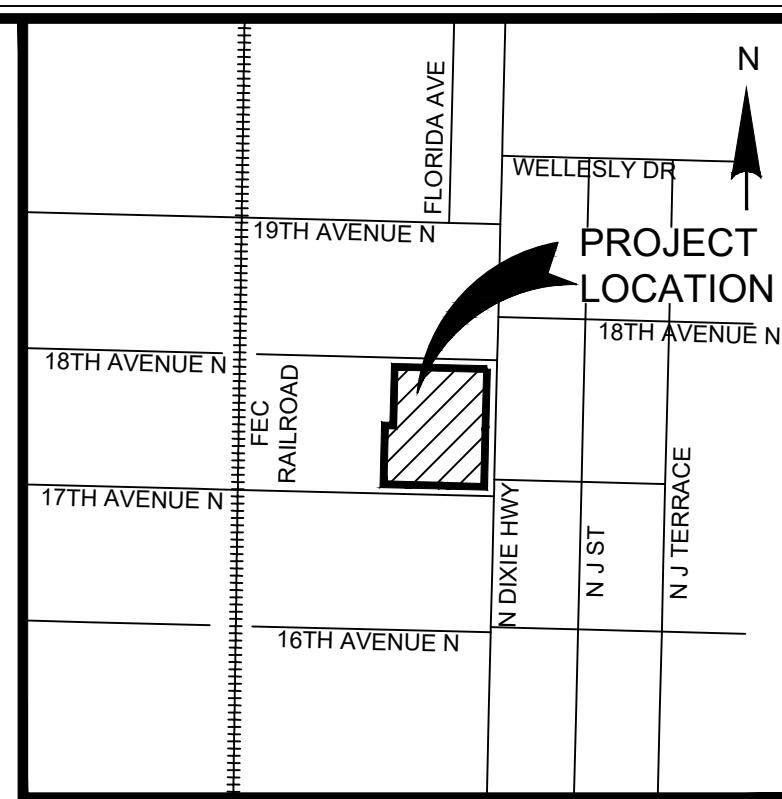
J:\127192\7.0_Production\7.03_Design\01_General\Sheets\127192-SP.dwg Modified:6/30/2021 By: cence Plotted By: christopher pence



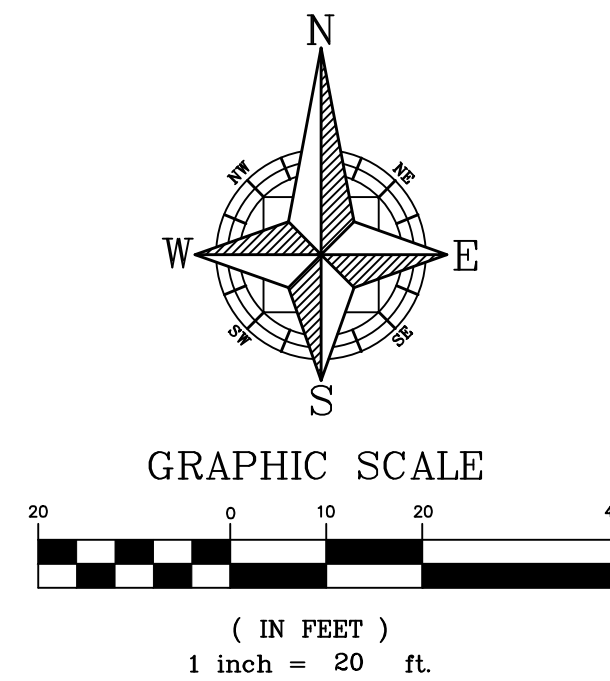
SITE DATA

EXISTING ZONING	MU-DH	MIXED-USE DIXIE HIGHWAY
PROPOSED ZONING	MU-DH	MIXED-USE DIXIE HIGHWAY
EXISTING FUTURE LAND USE	MU-E	MIXED-USE EAST
PROPOSED FUTURE LAND USE	MU-E	MIXED-USE EAST

	REQUIRED	PROVIDED
LOT AREA	13,000 SF (0.298 AC)	100,791 sf (2.314 AC)
LOT WIDTH	100'	350.76'
BUILDING HEIGHT (BUILDING 2)	45	62
BUILDING HEIGHT (BUILDINGS 1, 2 & 3)	43.5	34
NUMBER OF STORIES (BUILDING 2)	2	6
NUMBER OF STORIES (BUILDINGS 1, 3 & 4)	2	3
BUILDING SETBACKS		
FRONT	10'	18'
REAR	15'	45.75' & 70.75'
SIDE STREET (17TH AVENUE N)	10'	22'
SIDE STREET (18TH AVENUE N)	10'	22'
RESIDENTIAL DENSITY (55 UNITS PER ACRE)	127	127
BUILDING AREA (SF)		
BUILDING 2		127076
BUILDING 1		10842
BUILDING 3		10842
BUILDING 4		17754
TOTAL BUILDING AREA		137918
FLOOR AREA RATIO (FAR)	2.5575	1.652
BUILDING COVERAGE - GROUND FLOOR (SF)	45%	17%
BUILDING 2		2732
BUILDING 1		4288
BUILDING 3		4288
BUILDING 4		5610
TOTAL BUILDING COVERAGE AREA		16918
LIVING AREA		
1 Bedroom Units	600 SF	Unit A = 816 Unit Ab = 800 Unit Ac = 734 Unit Ad = 745 Unit Ae = 795 Unit B = 1160 Unit Bb = 1302 Unit D = 1310 Unit E = 947 Unit F = 830 Unit G = 803 Unit C = 1323
2 Bedroom Units	750 SF	
3 Bedroom Units	900 SF	
IMPERMEABLE SURFACE (IMPERVIOUS)	65%	64.32%
BUILDINGS		16.93%
CONCRETE PAVEMENT (PARKING)		35.95%
PERVIOUS CONCRETE PAVEMENT @ 50%		5.44%
HARDSCAPE COURTYARD AND WALKWAYS		4.53%
SEMI-PERVIOUS SYNTHETIC TURF AREA (Dog Park & Playground) @ 50%		1.00%
MISCELLANEOUS CONCRETE		0.47%
PERMEABLE SURFACE (PERVIOUS)	35%	35.68%
PERVIOUS CONCRETE PAVEMENT @ 50%		5.44%
LANDSCAPE & OPEN-SOD LAWN		24.72%
SEMI-PERVIOUS AREAS (Hardscape, Dog Park & Playground) @ 50%		5.53%
PARKING REQUIREMENTS		
MB-1BR = 71 UNITS @ 1.5 PER UNIT	106	See below.
MF-2BR = 48 UNITS @ 1.75 PER UNIT	84	See below.
MF-3BR = 8 UNITS @ 2.0 PER UNIT	16	See below.
REGULAR RETAIL = 6896 SF @ 1 PER 500 SF	14	See below.
OFFICE = 1912 SF @ 1 PER 400 SF	5	See below.
GROSS PARKING REQUIRED	225	See below.
REQUIRED PARKING WITH SHARED PARKING CREDIT OF 25%	169	181
Off-street (on-site) Regular Parking Spaces		115
Off-street (on-site) Compact Parking Spaces @ 25% of Required Parking		43
Off-street (on-site) Handicap Parking Spaces		4
Side-street Parallel Parking Spaces		11
Bonus Parking = Bike Racks = 10 sets of 2 = 20 @ 1 space per 4		5
Bonus Parking = Scooter Parking = 6 scooter spaces @ 1 space per 2		3
Electric Charging Spaces (4%)	7	4 now and 3 future



LOCATION MAP (N.T.S.)



LEGEND

- CONCRETE PARKING AREA
- PERVIOUS CONCRETE PARKING AREA
- CONCRETE
- PERVIOUS PAVERS
- COMPACT PARKING SPACES
- STANDARD PARKING SPACES
- ELECTRIC VEHICLE CHARGING SPACES (COMPACT)

IBI GROUP (FLORIDA) INC
1100 Park Central Boulevard South - Suite 3500
Pompano Beach FL 33064 USA
tel 954 974 2200 fax 954 973 2686
ibigroup.com

DECO GREEN,
LAKE WORTH, FLORIDA

PRELIMINARY SITE PLAN

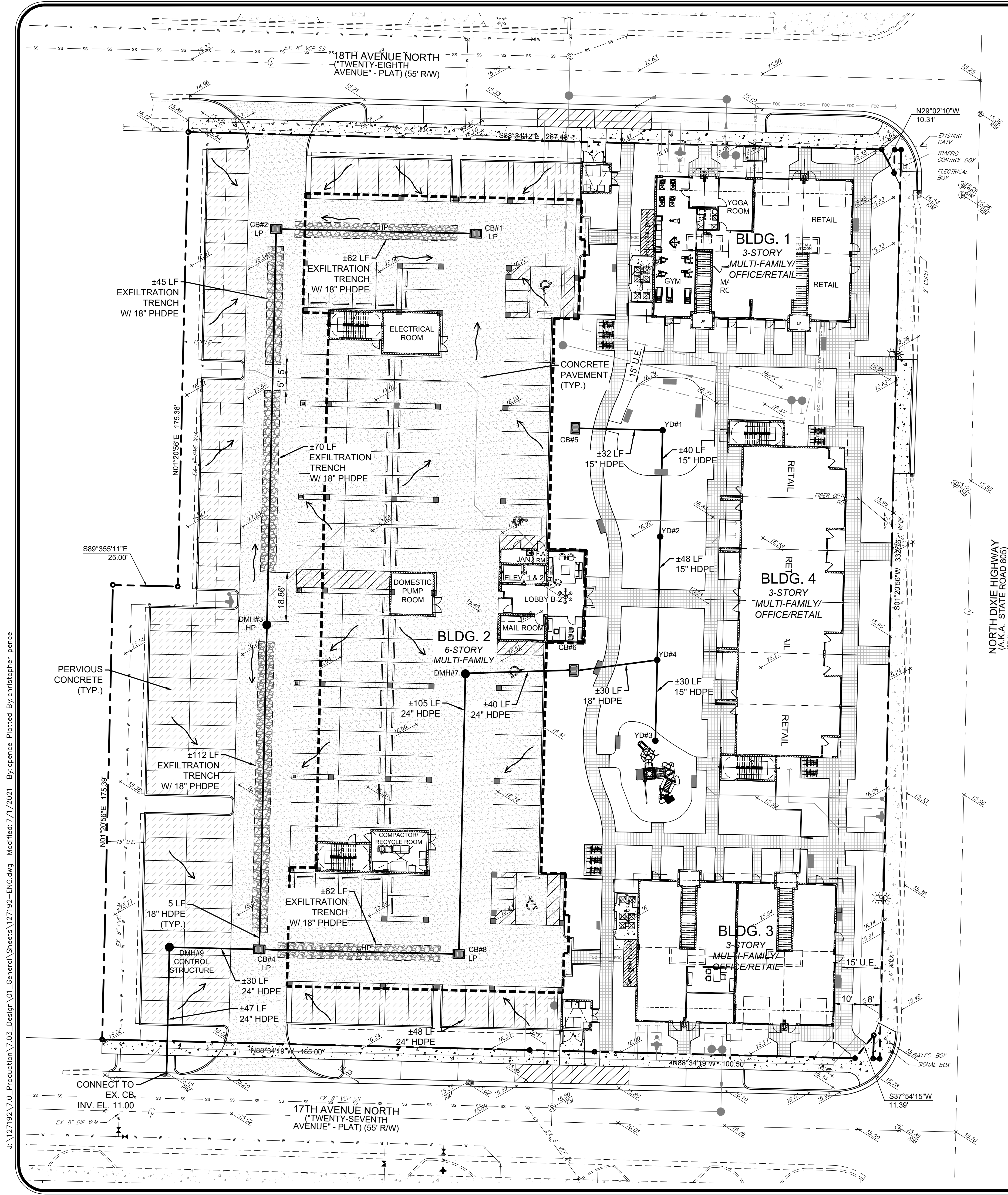
PATRICIA RAMUDOS
DO, PE 35798
Date: 2021.07.01
13:02:18
-04'00'

DISCLAIMER
This drawing, as an instrument of service, is the property of the Engineer and may not be reproduced without their permission and the reproduction carries their name. All design and other information shown on this drawing are for the use on the specified project only and shall not be used otherwise without written permission of the Engineer. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and the Engineer shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to the Engineer for approval before proceeding with fabrication.

48 HOURS BEFORE DIGGING
CALL
TOLL FREE
811 or 1-800-432-4770
SUNSHINE STATE ONE CALL CENTER

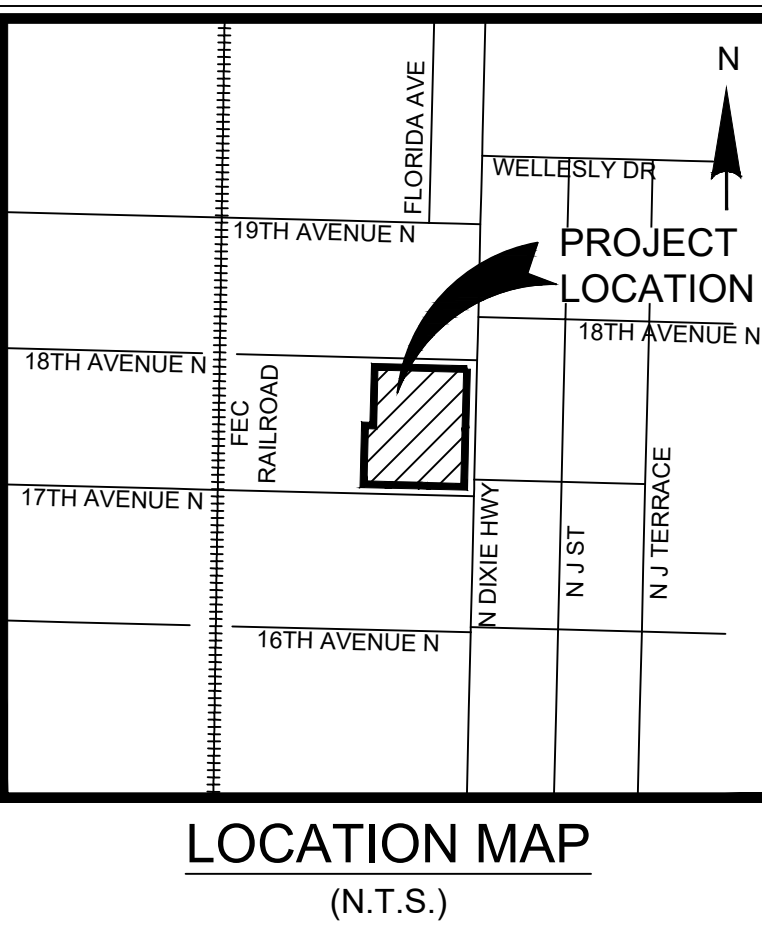
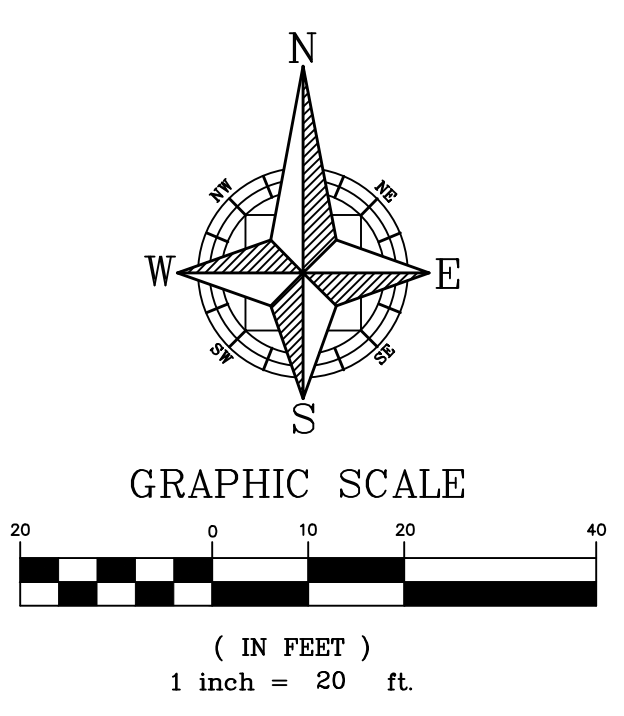
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DESIGNED: PFR
CHECKED: PFR
DATE: 07/02/2021

SCALE: 1" = 20'
PROJECT: 127192
SHEET: SP1.0



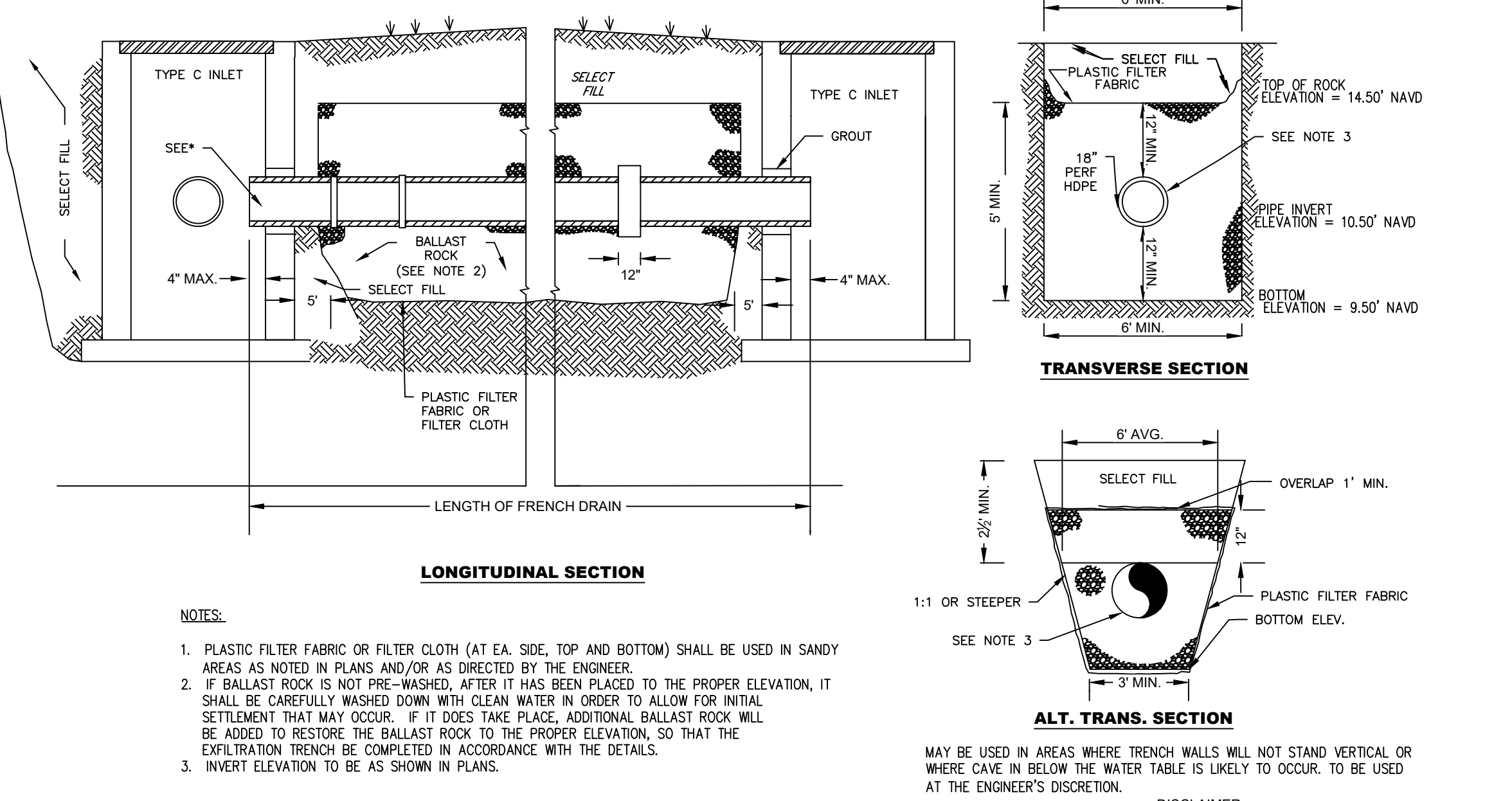
LEGEND

- CONCRETE PARKING AREA
- PERVIOUS CONCRETE PARKING AREA
- CONCRETE
- PERVIOUS PAVERS
- CATCH BASIN
- DRAINAGE MANHOLE
- YARD DRAIN
- DRAINAGE PIPE W/ EXFILTRATION TRENCH



PAVING AND DRAINAGE SPECIFICATIONS

- ELEVATIONS SHOWN HEREON ARE BASED ON THE 1988 NATIONAL AMERICAN VERTICAL DATUM.
- ALL MUCK/ORGANIC MATERIALS ARE TO BE REMOVED PER PALM BEACH COUNTY ENGINEERING DIVISION.
- PRIME COAT AND TACK COAT FOR BASE COURSES SHALL CONFORM TO THE REQUIREMENTS OF PALM BEACH COUNTY/FDOT ENGINEERING DIVISION. PRIME COAT SHALL BE APPLIED AT A RATE OF 0.25 GALLONS PER SQUARE YARD.
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED.
- ALL LABOR, MATERIALS, AND METHODS OF CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY OF POMPAÑO BEACH AND PALM BEACH COUNTY ENGINEERING DIVISION.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES, THE CITY OF LAKE WORTH BEACH ENGINEERING DEPARTMENT 48 HOURS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROTECT ALL UTILITIES AND SHALL BE RESPONSIBLE FOR ALL DAMAGES CAUSED DURING CONSTRUCTION AND SHALL REPAIR SAID DAMAGES AT HIS EXPENSE.
- SHOP DRAWINGS OF ALL MATERIALS BEING USED SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO ORDERING MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REVISED OR UNACCEPTABLE MATERIALS INSTALLED OR ORDERED WITHOUT AN APPROVED SHOP DRAWING.
- ALL DRAINAGE PIPE IN AND PARALLEL TO THE ROADWAY SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76, (UNLESS OTHERWISE NOTED ON THE PLANS).
- PVC PIPE SHALL BE NON-PRESSURE PIPE CONFORMING TO ASTM D-3034 SDR 35.
- RESTORE ALL SIDEWALK, PAVEMENT, CURB, SODDING, SIGNAGE, PAVEMENT MARKINGS, ETC. DAMAGED DURING CONSTRUCTION TO ITS ORIGINAL CONDITION.
- ANY EXISTING, UNUTILIZED WATER, SEWER OR GAS SERVICES MUST BE CUT AND CAPPED OR SLEEVED IN PLACE AT ITS RESPECTIVE MAIN.
- ANY CONFLICT WITH EXISTING OR PROPOSED UTILITIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- AT THE END OF EACH WORK PERIOD, ANY DROP-OFF IN THE AREA ADJACENT TO THE TRAVEL WAY SHALL BE BACKFILLED IN ACCORDANCE WITH STANDARD INDEX 600 OR SHALL BE OTHERWISE PROTECTED WITH A TEMPORARY BARRIER WALL AT THE CONTRACTOR'S EXPENSE.
- THE APPLICANT AT THE EARLIEST CONVENIENT TIME SHALL NOTIFY IN WRITING ALL RIGHT-OF-WAY USERS AFFECTED BY THE CONSTRUCTION OF THIS PROJECT.
- LIMEROCK BASE SHALL BE A MINIMUM OF 8" AND COMPACTED IN 4" LIFTS TO 98% MAXIMUM DENSITY ACCORDING TO AASHTO-T180. CONSTRUCTION TO CONFORM TO SECTION 200. BASE TO BE PRIMED AFTER COMPACTION.
- STABILIZED SUBGRADE - MINIMUM 12" THICK AND COMPACTED TO 98% MAXIMUM DENSITY ACCORDING TO AASHTO-180. MATERIAL TO HAVE MINIMUM L.B.R OF 40 AND CONFORM TO SECTION 160.
- ALL CURB CUT RAMPS MUST FACE IN THE DIRECTION OF PEDESTRIAN TRAVEL.
- FLAGGERS MUST BE PRESENT DURING THE INGRESS AND EGRESS OF CONSTRUCTION VEHICLES TO AND FROM THE PROJECT SITE. WARNING SIGNS MUST BE ERECTED ADVISING MOTORISTS OF TRUCKS ENTERING THE HIGHWAY.
- BASE AND SUB-GRADE DENSITY TESTS SHALL BE CONDUCTED FOR A MAXIMUM 7000 SQUARE FEET OF FINISHED PAVEMENT OR AS DIRECTED BY ENGINEER OR CITY.
- LABORATORY PROCTOR COMPACTION TESTS (T-180) SHALL BE PERFORMED ON ALL MATERIAL. SUB-GRADE AND BASE ANY SUBSEQUENT CHANGES IN MATERIALS. LIMEROCK BEARING RATIOS, SIEVE ANALYSIS AND DENSITIES REQUIRED BY THE CONTRACT DOCUMENTS SHALL BE SUBMITTED BY THE CITY.
- ALL REPAIRS TO EXISTING PAVEMENT SHALL RECEIVE SAW-CUT EDGES PRIOR TO RELAYING ASPHALT. UTILITY PIPING OR WIRING LESS THAN FOUR (4) INCHES IN DIAMETER REQUIRES A SCHEDULE 40 PVC CASING PIPE WITH SAND BACKFILLS UNDER PAVED AREAS ONLY.
- ALL CONTROL STRUCTURES SHALL HAVE POLLUTION RETARDANT Baffle AT THE DISCHARGE PIPE OPENING.



- NOTES:
- PLASTIC FILTER FABRIC OR FILTER CLOTH (AT EA. SIDE, TOP AND BOTTOM) SHALL BE USED IN SANDY AREAS AS NOTED IN PLANS AND/OR AS DIRECTED BY THE ENGINEER.
 - IF BALLAST ROCK IS NOT PRE-WASHED, AFTER IT HAS BEEN PLACED TO THE PROPER ELEVATION, IT SHALL BE CAREFULLY WASHED DOWN WITH CLEAN WATER IN ORDER TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR. IF IT DOES TAKE PLACE, ADDITIONAL BALLAST ROCK WILL BE ADDED TO RESTORE THE BALLAST ROCK TO THE PROPER ELEVATION, SO THAT THE EXFILTRATION TRENCH BE COMPLETED IN ACCORDANCE WITH THE DETAILS.
 - INVERT ELEVATION TO BE AS SHOWN IN PLANS.

EXFILTRATION TRENCH DETAIL

48 HOURS BEFORE DIGGING
CALL
TOLL FREE
811 or 1-800-432-4770
SUNSHINE STATE ONE CALL CENTER

DECO GREEN
LAKE WORTH, FLORIDA

PRELIMINARY PAVING, GRADING AND DRAINAGE
PLAN

IBI GROUP (FLORIDA) INC
1100 Park Central Boulevard South - Suite 3500
Pompano Beach FL 33064 USA
tel 954 974 2200 fax 954 973 2686
ibigroup.com

PATRICIA RAMUDOS, PE
2021.07.01
12:51:41 -04'00

DRAWN: CMP	SCALE: 1" = 20'
DESIGNED: PFR	PROJECT: 127192
CHECKED: PFR	SHEET: C3.0
DATE: 07/02/2021	

48 HOURS BEFORE DIGGING

 CALL 
TOLL FREE

811 or 1-800-432-4770

SUNSHINE STATE ONE CALL CENTER

Rev	Date	Description	By
1			
2			
3			
4			
5			
6			

ILLUSTRATIVE
LANDSCAPE
SITE PLAN

Project Name:
DECO GREEN
1715 North Dixie Highway,
Lake Worth, FL 33460

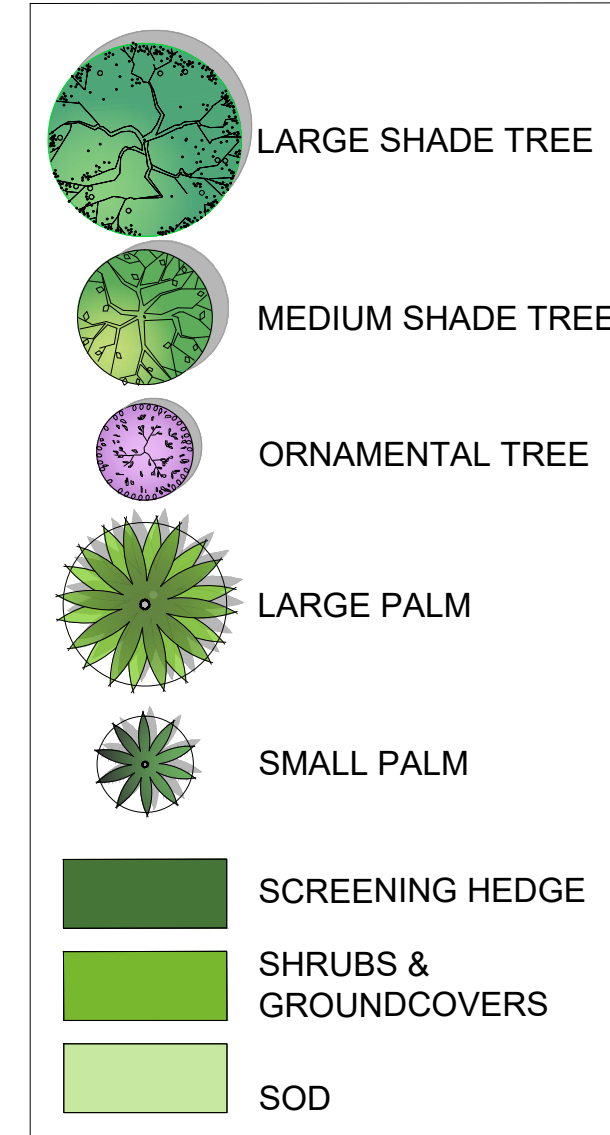
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2021.07.02
00:57:50 - 04:00'

Date: January 14, 2021
Scale: 1" = 20'
Drawn By: AEM/GMP
Approved By: AEM
Project No: 1.20011

Sheet Number:
L-00

LEGEND:

- Building #1 - 3 Story
Retail/Office/Gym/Residential
- Building #2 - 6 Story
Parking/Residential
- Building #3 - 3 Story
Community room/Office/Retail/Residential
- Building #4 - 3 Story
Office/Retail/Residential
- Courtyard
- Playground
- Dog Park
- Bicycle Rack
- Security Fence
- Dumpster (Buildings #1, #3 & #4)
- Parking - Pervious Concrete
- Transformers
- Parallel Parking
- Loading Zone
- Pergola Over Parking



- LARGE SHADE TREE
- MEDIUM SHADE TREE
- ORNAMENTAL TREE
- LARGE PALM
- SMALL PALM
- SCREENING HEDGE
- SHRUBS & GROUNDCOVERS
- SOD

GRAPHIC SCALE
NORTH 0' 20' 40' 60'

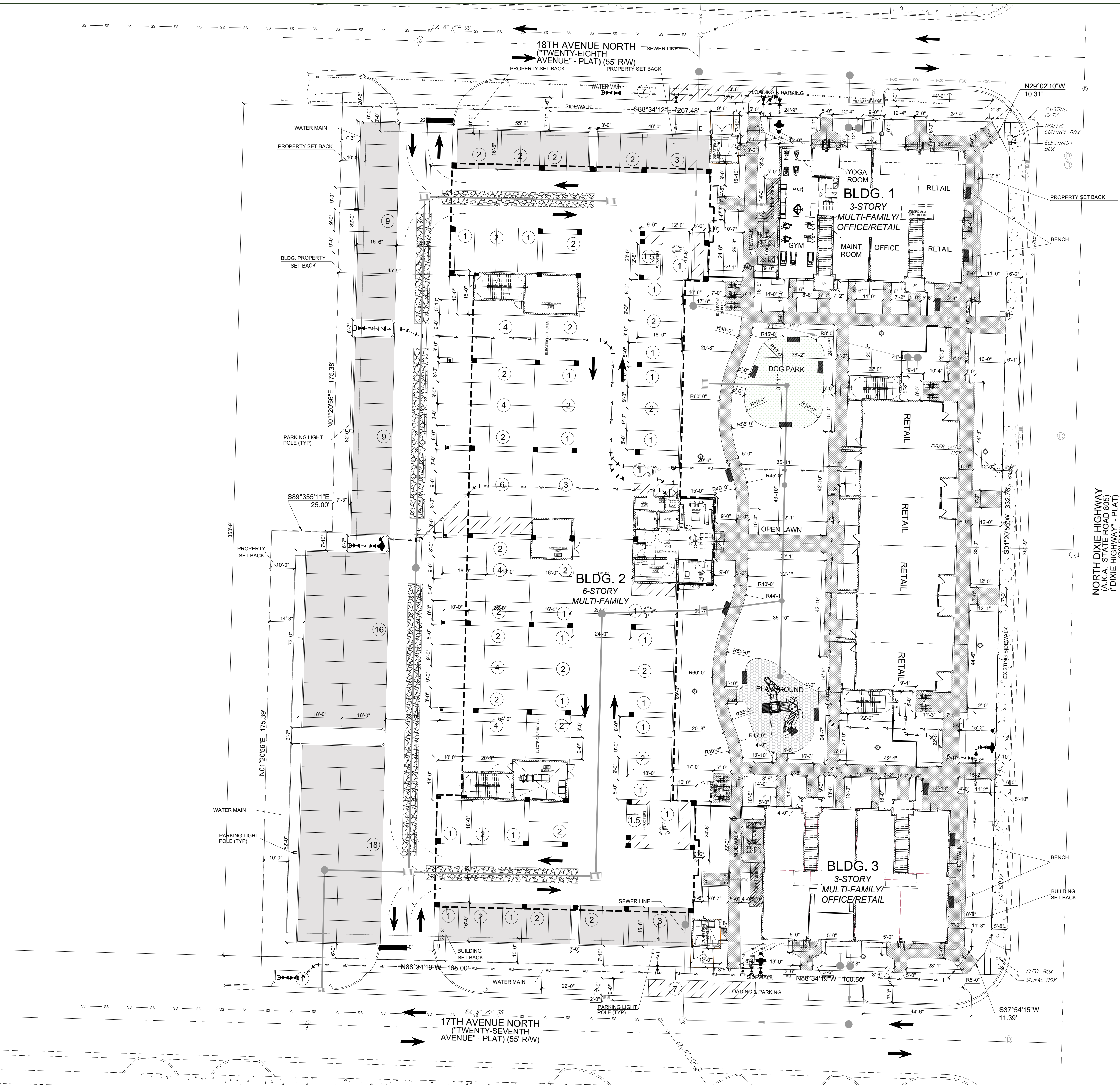
**Sunshine
State
One Call**

811

Know what's below.
Call before you dig.

SITE PLAN APPROVAL SET - NOT FOR CONSTRUCTION





LEGEND

- PERVIOUS CONCRETE
- PERVIOUS CONCRETE PAVERS
- DOG PARK
- PLAYGROUND

GRAPHIC SCALE
NORTH 0' 20' 40' 60'

Sunshine State One Call

811

Know what's below.
Call before you dig.



LANDSCAPE ARCHITECTURE
LAND PLANNING
URBAN DESIGN
2208 NE 20 TH STREET #1
FORT LAUDERDALE, FLORIDA 33305 USA
www.andresmontero.com
LC2600588

Rev	Date	Description	By
1	04/09/21	Site Plan Review Comments from 03/19/2021	AEM/GMP
2			
3	07/02/21	City Commissioners Comments	AEM/GMP
4			
5			
6			

Sheet Title:
SITE LAYOUT PLAN

Project Name:
DECO GREEN
1715 North Dixie Highway,
Lake Worth, FL 33460

Andres E Montero
2021.07.02
00:58:42 -04'00'

Date: January 14, 2021
Scale: 1" = 20'
Drawn By: AEM/GMP
Approved By: AEM
Project No: 1.20011

Sheet Number:
L-01

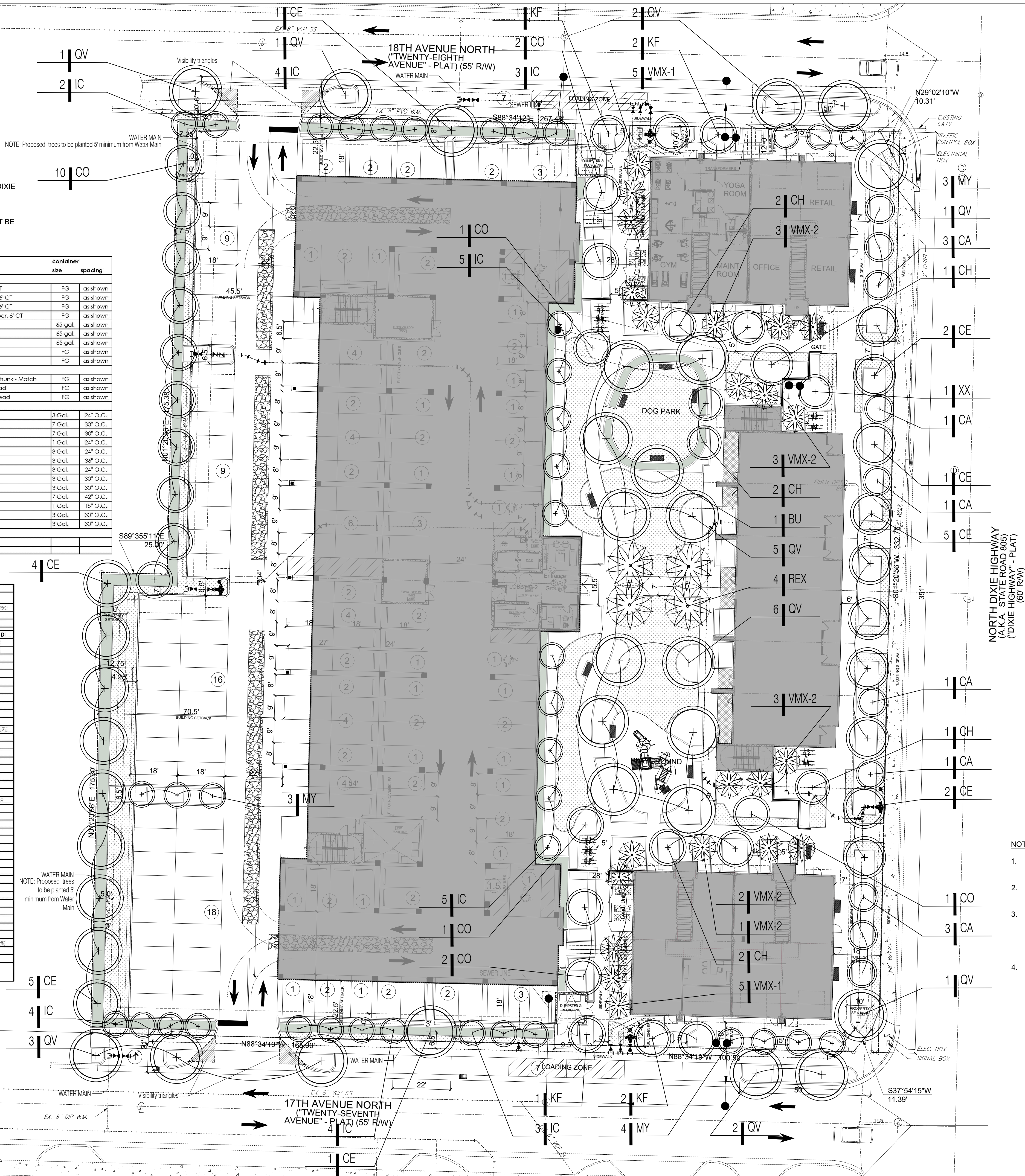
SITE PLAN APPROVAL SET - NOT FOR CONSTRUCTION



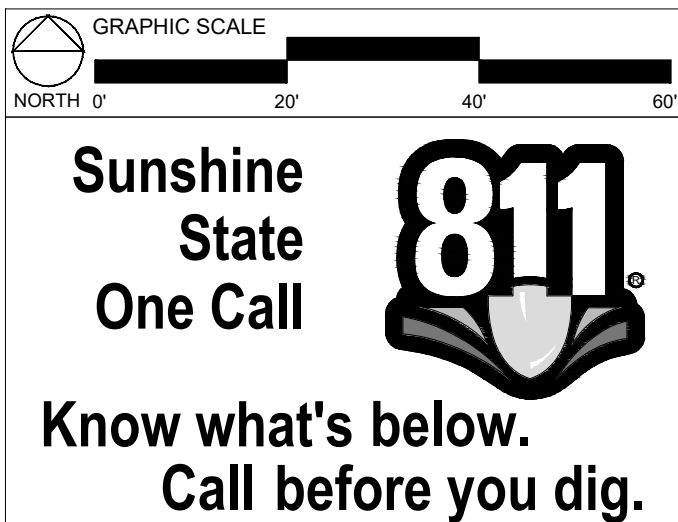
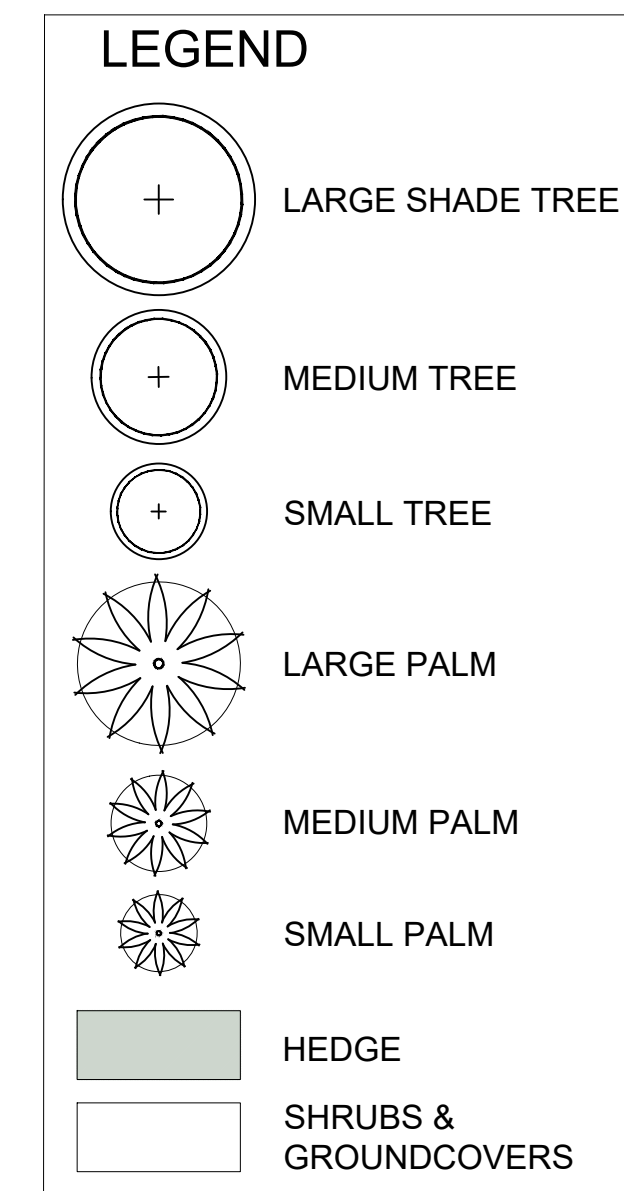
SIGHT DISTANCE NOTES

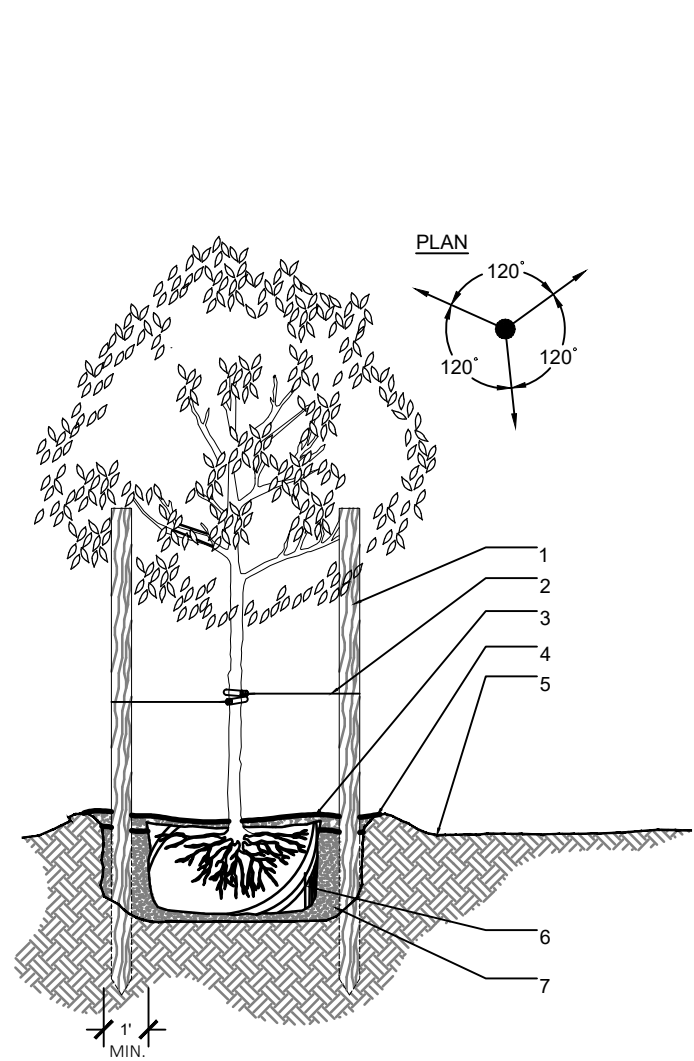
1. SIGHT DISTANCES AT INTERSECTIONS OF 17TH AVENUE NORTH AND 18TH AVENUE NORTH WITH DIXIE HIGHWAY ARE BASED ON FDOT DESIGN STANDARDS.
2. MINIMUM DRIVER EYE SETBACK SHALL BE 14.5' FROM THE EDGE OF THE TRAVELED WAY.
3. INTERSECTION SIGHT DISTANCE ARE PROVIDED FOR PASSENGER VEHICLES.
4. LIMITS OF CLEAR SIGHT DEFINE A CORRIDOR THROUGHOUT WHICH A CLEAR SIGHT WINDOW MUST BE PRESERVE BETWEEN 18" BELOW THE SIGHT LINE DATUM AND 5'-0" ABOVE THE SIGHT LINE DATUM.
5. DESIGN SPEED 40 MPH.

LANDSCAPE CALCULATIONS		
ZONING	MU-DH	
SITE AREA	100,791 SF	2.314 Acres
VEHICULAR USE AREA (VUA)	20943	
IMPERVIOUS AREA	REQUIRED	PROVIDED
PERVIOUS AREA	65%	64.52%
	3.5%	35.68%
VUA/PERIMETER BUFFER LANDSCAPE (Fronting 17th Ave. North and 18th Ave. North)		
PERIMETER LANDSCAPE STRIP BETWEEN OFF-STREET PARKING AND R.O.W		
375 LF OF VUA FRONTING R.O.W.	5'	6' to 8'
1 LARGE TREE/ 25 LF	20	24
1 MEDIUM TREE/ 20 LF		
1 SMALL TREE/ 15 LF		
CONTINUOUS 3' HEDGE		Yes
PERIMETER LANDSCAPE BETWEEN OFF-STREET PARKING AND ABUTTING PROPERTIES	5'	5.75' to 12.75'
375 LF OF VUA FRONTING R.O.W.		
1 TREE/ 20 LF	19	19
CONTINUOUS 3' TO 6' HEDGE		Yes
INTERIOR LANDSCAPE FOR PARKING AREAS		
TOTAL VUA LANDSCAPE ISLANDS (SF)		
1 TREE/ 125 SF	4	3
INTERIOR LANDSCAPE (EXCLUSIVE OF VUA AND BUILDINGS)	25,049 SF	28,500 SF
1 LARGE TREE/ 625 SF	40	26
1 MEDIUM TREE/ 400 SF		16
1 SMALL TREE/ 225 SF		26
TOTAL INTERIOR LANDSCAPE TREES/PALMS		68
STREET TREES ALONG DIXIE HIGHWAY		12
STREET TREES ALONG 17TH AVENUE NORTH		5
STREET TREES ALONG 18TH AVENUE NORTH		4
TOTAL PLANT MATERIAL	21	
TREES (TREES/PALMS)	104	135
SHRUBS & GROUNDCOVERS		2,567
NATIVE PLANT MATERIAL CALCULATIONS		
SEVENTY-FIVE (75) PERCENT OF REQUIRED TREES SHALL BE NATIVE	75%	90%
SEVENTY-FIVE (75) PERCENT OF REQUIRED SHRUBS SHALL BE NATIVE	75%	89%
NO MORE THAN 30% OF LANDSCAPE AREAS SHALL BE SOD	12456	8,891 (36%)
HEDGE/FENCE PROVIDED TO SCREEN MECH. EQUIPMENT		Yes
NOTE: ALL SOD AND LANDSCAPE TO RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE. IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN SENSOR.		



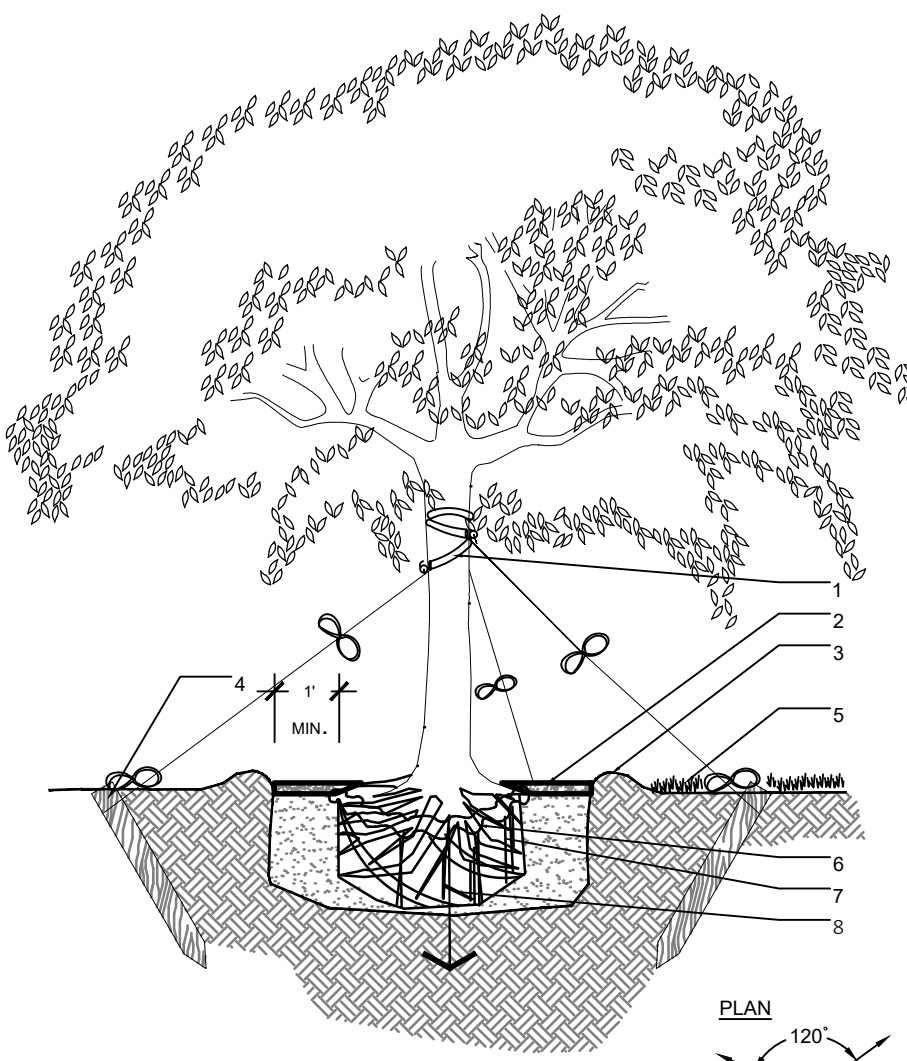
- NOTES:**
1. THE UNPAVED PORTION OF THE RIGHT-OF-WAY ADJACENT TO THE PROPERTY LINE TO BE LANDSCAPED AND PROVIDED WITH IRRIGATION AND MAINTENANCE.
 2. ROOT BARRIERS SHALL BE INSTALLED AT ALL TREES/PALMS THAT ARE PLANTED WITHIN FIVE (5) FEET OF UNDERGROUND UTILITIES OR UTILITY EASEMENT.
 3. ALL LANDSCAPE AREAS SHALL BE PROVIDED WITH A FULLY AUTOMATICALLY OPERATED IRRIGATION SYSTEM. IRRIGATION SYSTEM SHALL PROVIDE COMPLETE COVERAGE OF ALL PLANT MATERIALS. THIS SYSTEM SHOULD HAVE RAIN SENSOR AND SHOULD AUTOMATICALLY SHUT OFF WHEN RAINING.
 4. WITHIN VISIBILITY TRIANGLES, LANDSCAPE SHALL BE MAINTAIN TO PROVIDE CLEAR VISIBILITY WITHOUT OBSTRUCTION FROM AN AREA BETWEEN THIRTY (30) INCHES AND EIGHT (8) FEET ABOVE AVERAGE ELEVATION OF THE INTERSECTION.





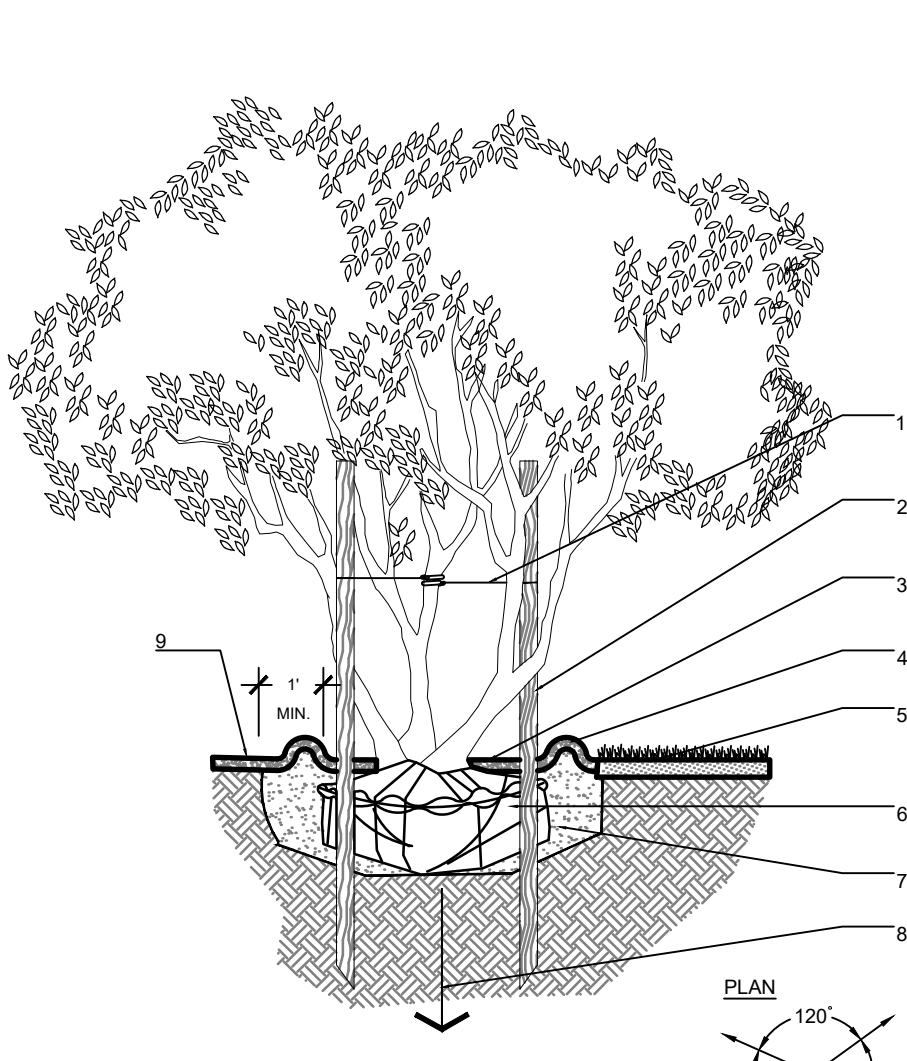
- LEGEND
- THREE 2"x4"x8" STAKES SPACE EVENLY AROUND TREE
 - PAINTED BROWN
 - #10 GAUGE WIRE
 - 3" MINIMUM OF MULCH AS SPECIFIED
 - SOIL BERM TO HOLD WATER
 - FINISHED GRADE (SEE GRADING PLAN)
 - BAB OR CONTAINERIZED (SEE SPECIFICATIONS FOR ROOT BALL REQUIREMENTS)
 - PLANTING PIT SHALL BE A MINIMUM OF 2 TIMES SIZE OF ROOTBALL. PREPARED PLANTING SOIL AS SPECIFIED.
- NOTE
- CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY THE L.A.
 - PROTECT TREE TRUNK WITH BLACK RUBBER HOSE

1 SMALL TREE SECTION D_XXXX-01.DWG SCALE: N.T.S.



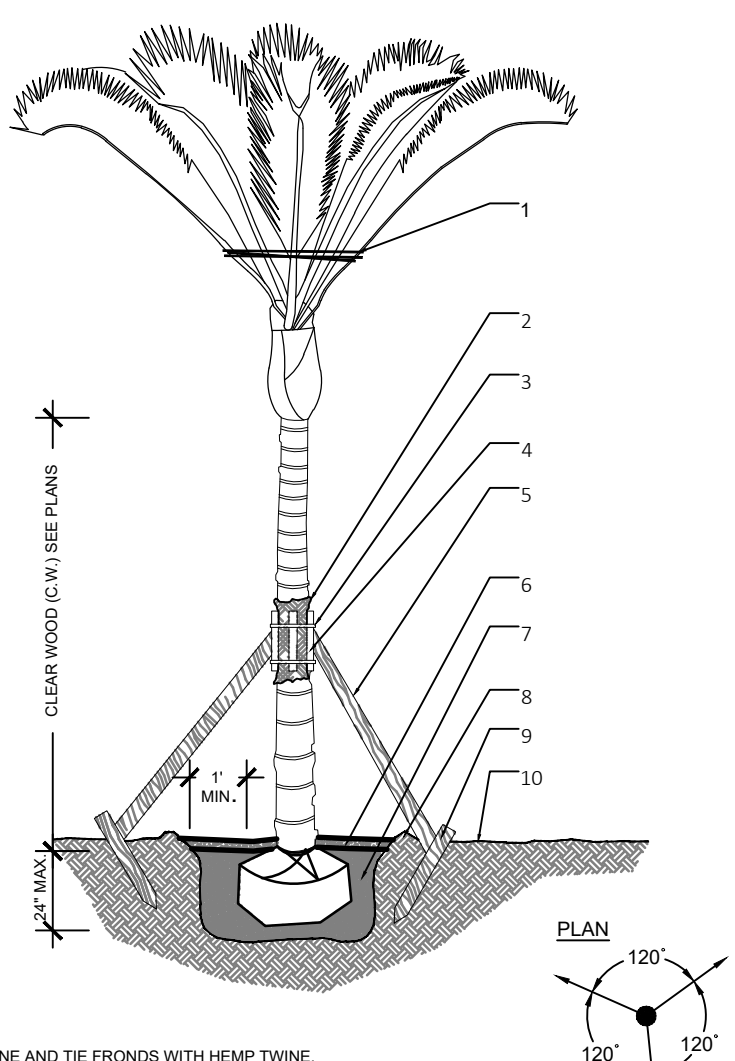
- LEGEND
- 2" NYLON STRAPPING WRUBBER HOSE-WRAPPED 360 AROUND TRUNK BEFORE TYING-WRAP @ LATERAL BRANCH
 - 3" MULCH AS SPECIFIED MIN. 24" FROM TRUNK
 - SOIL BERM TO HOLD WATER
 - 3"x4" LUMBER POLE BRACES. NAIL DRILL AND NAIL IF NECESSARY TO BATONS & 2"x4" STAKES. FLAG AT MIDPOINT
 - FINISHED GRADE - SOD CONDITION (SEE GRADING PLAN)
 - BAB OR CONTAINERIZED (SEE SPECIFICATIONS FOR ROOT BALL REQUIREMENTS)
 - PLANTING PIT SHALL BE A MINIMUM OF 2 TIMES SIZE OF ROOTBALL. PREPARED PLANTING SOIL AS SPECIFIED.
 - AUGER PER SPECS FOR PERCOLATION
- NOTE
- CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

2 LARGE TREE SECTION D_XXXX-02.DWG SCALE: N.T.S.



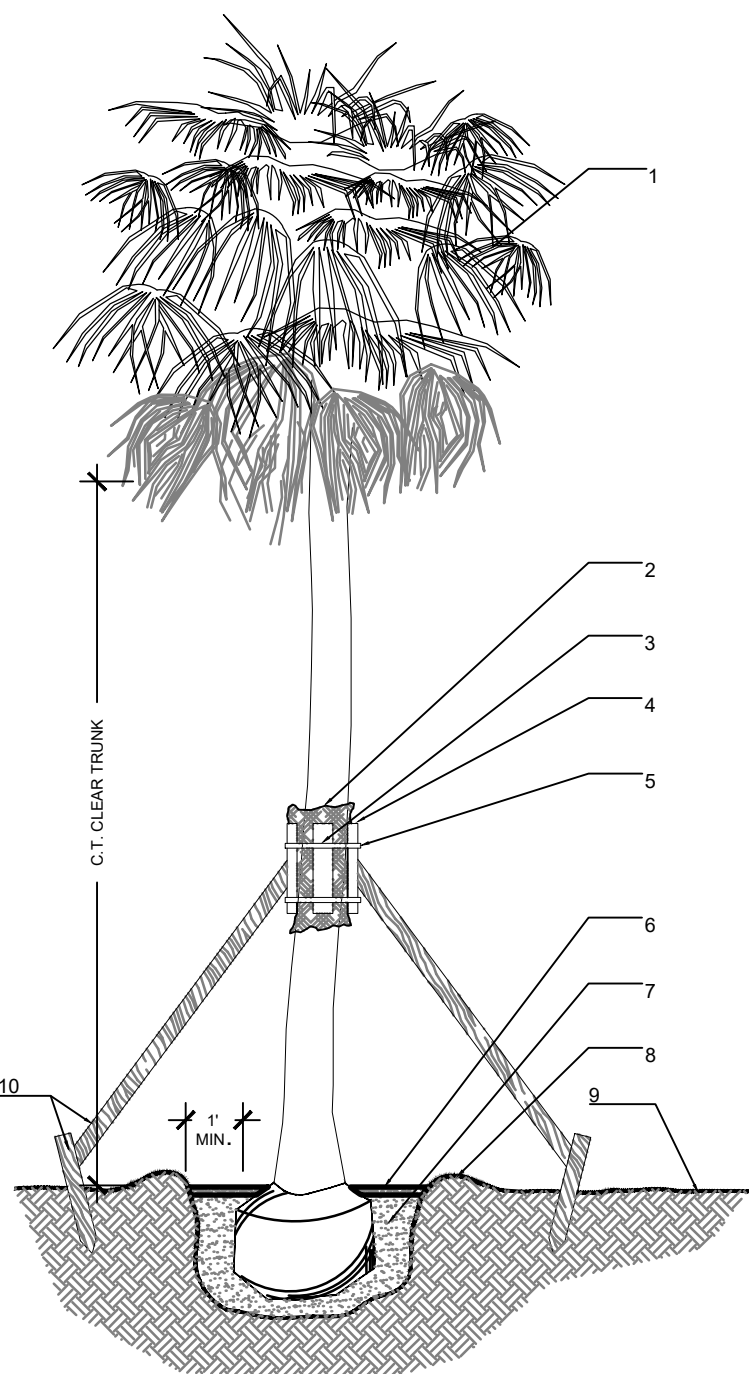
- LEGEND
- 2" NYLON STRAPPING
 - THREE 2"x4"x8" STAKES
 - 3" MULCH AS SPECIFIED
 - SOIL BERM TO HOLD WATER
 - FINISHED GRADE - SOD CONDITION (SEE GRADING PLAN)
 - BAB OR CONTAINERIZED (SEE SPECIFICATIONS FOR ROOT BALL REQUIREMENTS)
 - PLANTING PIT SHALL BE A MINIMUM OF 2 TIMES SIZE OF ROOTBALL. PREPARED PLANTING SOIL AS SPECIFIED
 - AUGER PER SPECS FOR PERCOLATION
 - MULCH CONTIGUES - SHRUB BED CONDITION
- NOTE
- FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY THE L.A.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

3 MULTI-TRUNK TREE SECTION D_XXXX-03.DWG SCALE: N.T.S.



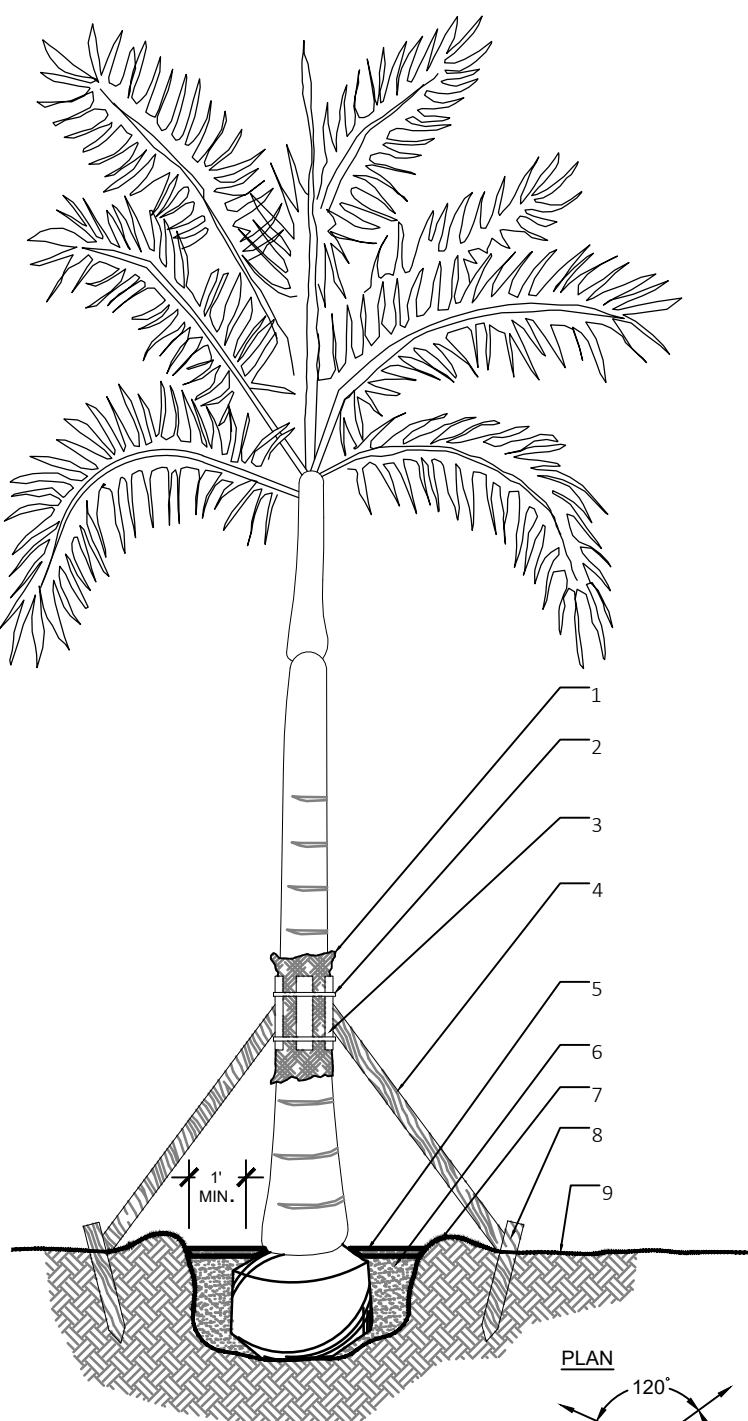
- LEGEND
- PRUNE AND TIE FRONDS WITH HEMP TWINE
 - TWO LAYERS OF BURLAP TO PROTECT TRUNK
 - TWO STEEL BANDS TO SECURE BATONS
 - THREE 2"x4"x8" WOOD BATONS
 - 3"x4" LUMBER POLE BRACES. NAIL DRILL AND NAIL IF NECESSARY TO BATONS & 2"x4" STAKES. FLAG AT MIDPOINT
 - 3" MIN. MULCH - SEE SPECIFICATIONS
 - PLANTING PIT SHALL BE A MINIMUM OF 2 TIMES SIZE OF ROOTBALL. PREPARED PLANTING SOIL AS SPECIFIED
 - BALMS SHALL BE PLANTED WITH THE TOP OF ROOTBALL AT FINISHED GRADE
 - BERM SOIL TO HOLD WATER
 - 2" X 4" X 3" WOOD STAKES
 - FINISH GRADE
- NOTES
- FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY LANDSCAPE ARCHITECT
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

4 SMALL PALM SECTION D_XXXX-07.DWG SCALE: N.T.S.



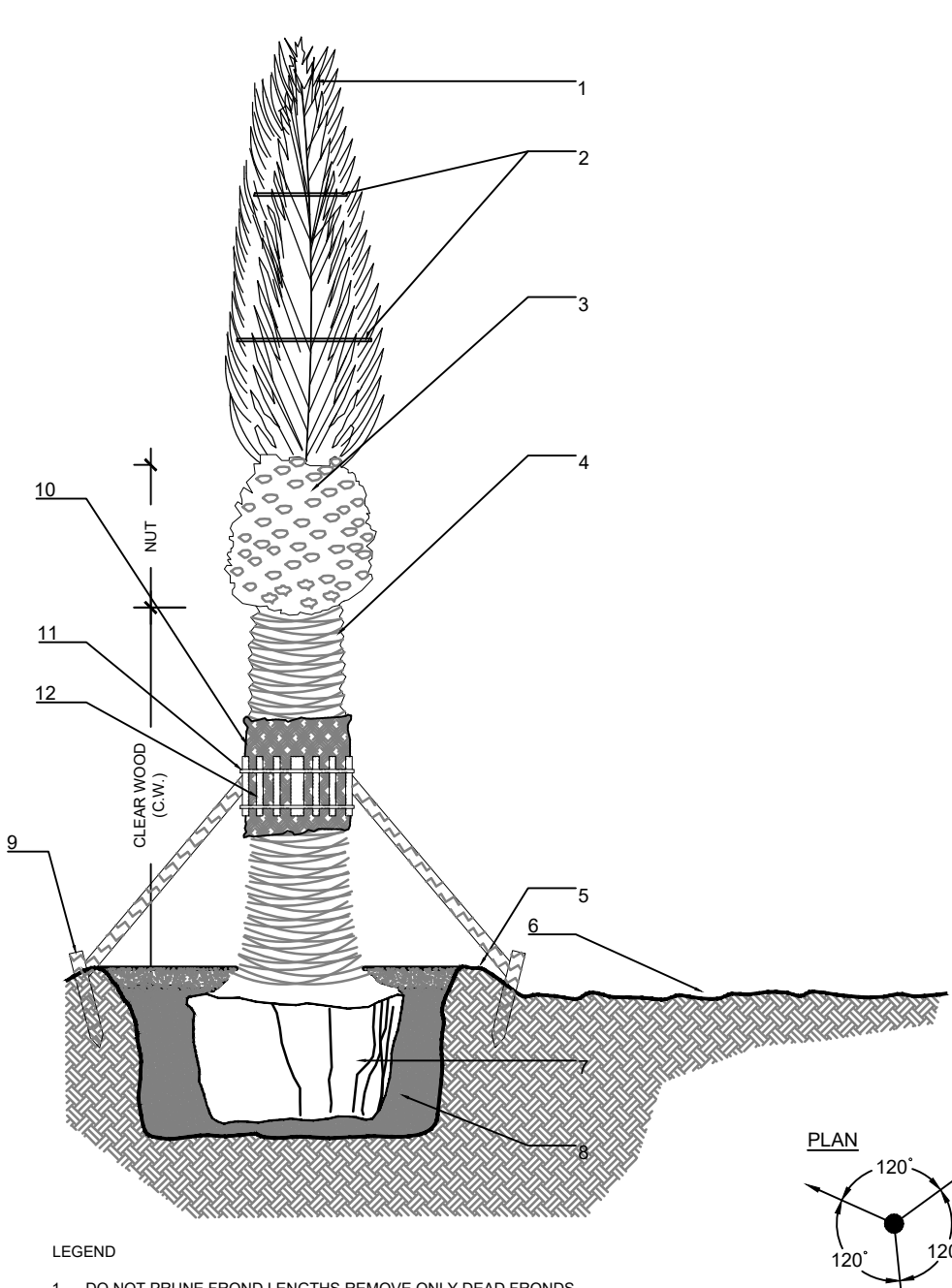
- LEGEND
- PRUNE AND TIE FRONDS WITH HEMP TWINE (WASHINGTONIA PALMS REMOVE PER SPECS. HURRICANE CUT SABAL PALM)
 - TWO LAYERS OF BURLAP TO PROTECT TRUNK
 - TWO STEEL BANDS TO SECURE BATONS
 - SIX 2" X 4" X 18" WOOD BATONS PAINTED BROWN
 - 3"x4" LUMBER POLE BRACES @ 120 NAIL DRILL AND NAIL IF NECESSARY TO BATONS & 2"x4" STAKES. FLAG AT MIDPOINT
 - 3" MIN. MULCH - SEE SPECIFICATIONS
 - PLANTING PIT SHALL BE A MINIMUM OF 2 TIMES SIZE OF ROOTBALL. PREPARED PLANTING SOIL AS SPECIFIED
 - BERM SOIL TO HOLD WATER FINISH GRADE
 - 2" X 4" WOOD STAKES
- NOTES
- SABAL PALMS WY BOTS REMOVED
 - SEE PLANS AND SPECS. FOR PALMS WY BOTS TO REMAIN ON TRUNK
 - FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY L.A.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

5 SABAL PALM SECTION D_XXX-14.DWG SCALE: N.T.S.



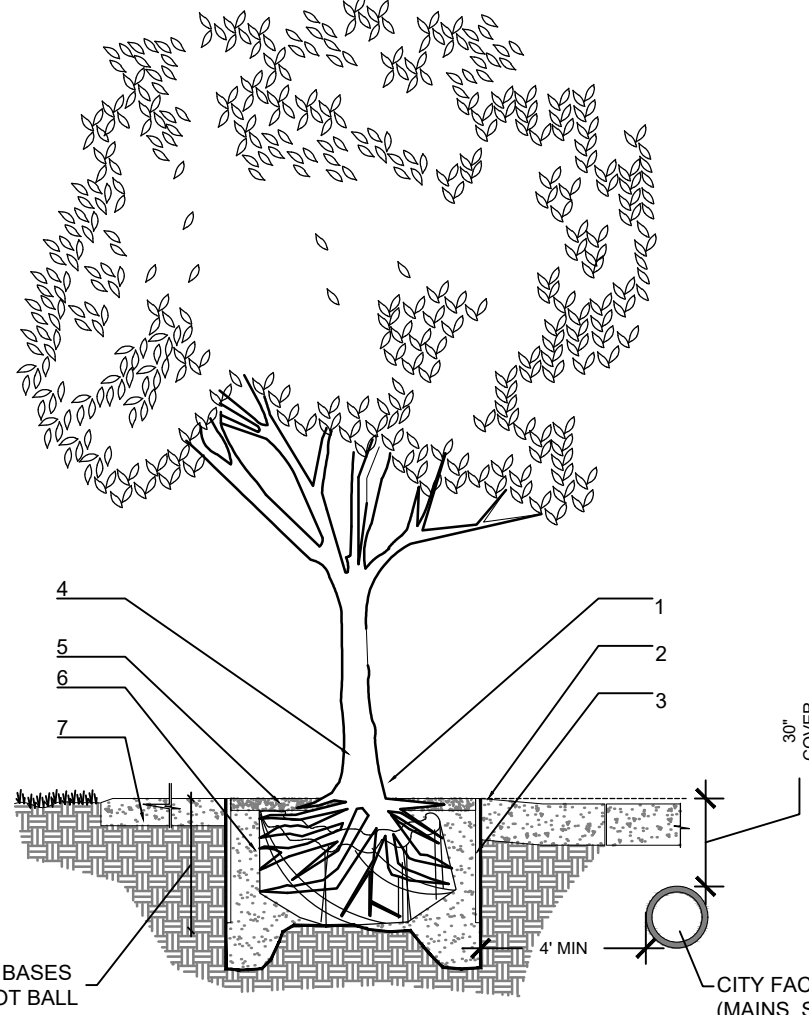
- LEGEND
- TWO LAYERS OF BURLAP TO PROTECT TRUNK
 - TWO STEEL BANDS TO SECURE BATONS
 - THREE 2" X 4" X 18" WOOD BATONS
 - 3"x4" LUMBER POLE BRACES. NAIL DRILL AND NAIL IF NECESSARY TO BATONS & 2"x4" STAKES. FLAG AT MIDPOINT
 - 3" MIN. MULCH - SEE SPECIFICATIONS
 - PLANTING PIT SHALL BE A MINIMUM OF 2 TIMES SIZE OF ROOTBALL. PREPARED PLANTING SOIL AS SPECIFIED
 - BALMS SHALL BE PLANTED WITH THE TOP OF ROOTBALL AT FINISHED GRADE
 - BERM SOIL TO HOLD WATER
 - 2" X 4" X 3" WOOD STAKES
 - FINISH GRADE
- NOTE
- DO NOT PRUNE FROND LENGTHS REMOVE ONLY DEAD FRONDS
 - TIE FRONDS WITH HEMP TWINE DO NOT CUT HEAD OPEN WITHOUT LANDSCAPE ARCHITECT APPROVAL
 - SPRAY BUD WITH APPROVED PRODUCTS PER SCHEDULE (SEE SPECIFICATIONS)
 - TRUNKS TO BE FREE OF DAMAGE (IE. CHAIN MARKS, BURNS, GOUGES, ETC.) AND HAVE UNIFORM TAPER
 - SOIL BERM TO HOLD WATER
 - FINISHED GRADE
 - ROOTBALL SIZE. SEE SPECS. FOR MINIMUM DIMENSIONS PER PALM HEIGHTS
 - PLANTING PIT SHALL BE A MINIMUM OF 2 TIMES SIZE OF ROOTBALL. PREPARED PLANTING SOIL AS SPECIFIED
 - 2" X 4" X 30" WOOD STAKES
 - FIVE LAYERS OF BURLAP TO PROTECT TRUNK
 - TWO STEEL BANDS TO SECURE BATONS
 - 4" X 4" WOOD BRACES. NAIL TO BATONS AND FLAG AT MIDPOINT USE 3 @ 120 FOR ROX-1, 4 @90 FOR ROX-2 AND ROX-3

6 ROYAL PALM SECTION D_XXXX-6.DWG SCALE: N.T.S.



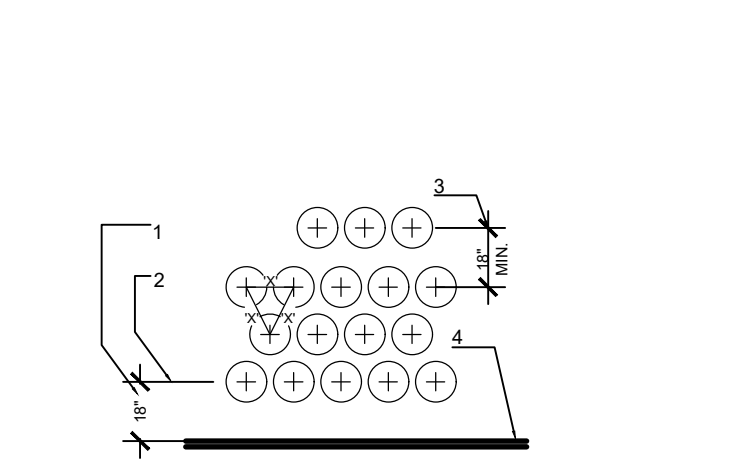
- LEGEND
- DO NOT PRUNE FROND LENGTHS REMOVE ONLY DEAD FRONDS
 - TIE FRONDS WITH HEMP TWINE DO NOT CUT HEAD OPEN WITHOUT LANDSCAPE ARCHITECT APPROVAL
 - SPRAY BUD WITH APPROVED PRODUCTS PER SCHEDULE (SEE SPECIFICATIONS)
 - TRUNKS TO BE FREE OF DAMAGE (IE. CHAIN MARKS, BURNS, GOUGES, ETC.) AND HAVE UNIFORM TAPER
 - SOIL BERM TO HOLD WATER
 - FINISHED GRADE
 - ROOTBALL SIZE. SEE SPECS. FOR MINIMUM DIMENSIONS PER PALM HEIGHTS
 - PLANTING PIT SHALL BE A MINIMUM OF 2 TIMES SIZE OF ROOTBALL. PREPARED PLANTING SOIL AS SPECIFIED
 - 2" X 4" X 30" WOOD STAKES
 - FIVE LAYERS OF BURLAP TO PROTECT TRUNK
 - TWO STEEL BANDS TO SECURE BATONS
 - 4" X 4" WOOD BRACES. NAIL TO BATONS AND FLAG AT MIDPOINT USE 3 @ 120 FOR ROX-1, 4 @90 FOR ROX-2 AND ROX-3
- NOTES
- CONTRACTOR TO ASSURE DRAINAGE/PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION
 - CONTRACTOR TO STAKE LOCATION OF PALMS FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION
 - STAKE PALMS (H+ C.W.) PER STAKING DETAIL

7 DATE PALM SECTION C-7.DWG SCALE: N.T.S.



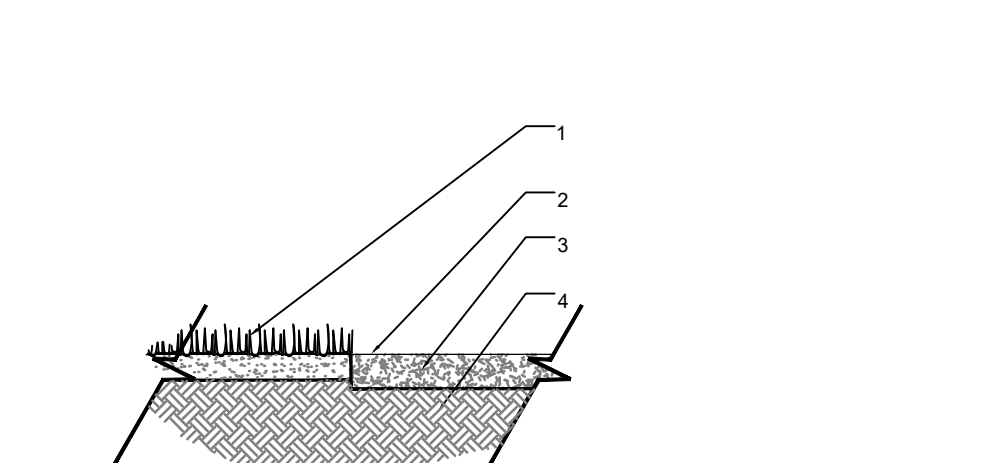
- LEGEND
- PLANT MATERIAL SHALL BE PLANTED 2" HIGH WITH SOIL MOUNDING UP TO THE TOP OF ROOT BALL
 - 3" MINIMUM OF MULCH
 - SOIL BERM TO HOLD WATER
 - MINIMUM DEPTH OF 12" PLANTING SOIL FOR GROUNDCOVER BED
 - FINISHED GRADE (SEE GRADING PLAN)
 - PREPARED PLANTING SOIL AS SPECIFIED
- NOTE
- CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION
- NOTE: WHEN GROUNDCOVERS AND SHRUBS USED IN MASSES, ENTIRE BED TO BE EXCAVATED TO RECEIVE PLANTING SOIL & PLANT MATERIAL, UNLESS NOTED OTHERWISE

8 SHRUBS AND GROUNCOVERS SECTION D_XXXX-8.DWG SCALE: N.T.S.



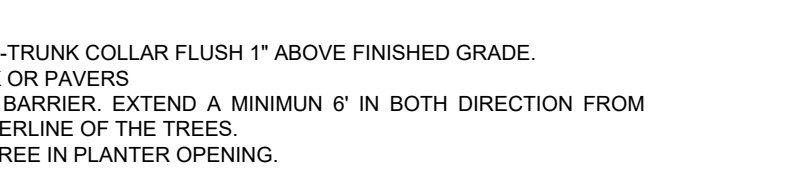
- LEGEND
- SETBACK FOR SHRUBS PLANTED 24" O.C. OR GREATER
 - SETBACK FOR GROUNDCOVER AND ANNUALS
 - PROVIDE MIN. 18" SPACING BETWEEN DIFFERENT PLANT TYPES
 - CURB OR EDGE OF PAVEMENT
- NOTE
- ALL SHRUBS AND GROUNDCOVER MASSES TO USE TRIANGULAR SPACING EXCEPT WHERE NOTED REFER TO PLANT LIST FOR INDIVIDUAL PLANT SPACING "X"

9 TYPICAL PLANT SPACING SECTION D_XXXX-9.DWG SCALE: N.T.S.



- LEGEND
- SOD (PROVIDE CLEAN, SMOOTH EDGE BETWEEN SOD AND MULCHED AREAS)
 - 3" MULCH (SEE SPECIFICATIONS)
 - COMPLETELY REMOVE EXISTING SOD AS REQUIRED PRIOR TO PLACING MULCH
 - PLANTING SOIL (FINE RAKED) AND FREE OF WEEDS AND OTHER DELETERIOUS MATERIALS. SEE SPECIFICATIONS)
- NOTE
- ALL MULCH SHALL BE FREE OF FIRE ANTS AND DEBRIS

10 MULCH SECTION D_XXXX-10.DWG SCALE: N.T.S.



- LEGEND
- SET ROOT-TRUNK COLLAR FLUSH 1" ABOVE FINISHED GRADE
 - SIDEWALK OR PAVERS
 - 18" ROOT BARRIER. EXTEND A MINIMUM 6" IN BOTH DIRECTION FROM THE CENTERLINE OF THE TREES
 - CENTER TREE IN PLANTER OPENING
 - MULCH
 - BACKFILL WITH TOPSOIL OR AMENDED TOPSOIL
 - CONCRETE SIDEWALK
- NOTE
- DEPTH VARIES BASES ON SIZE OF ROOT BALL

11 ROOT BARRIER INSTALLATION SECTION d-2011-Root barrier.dwg SCALE: N.T.S.

General Notes:

- All plants noted for removal shall be removed and properly disposed off-site at Landscape Contractor's expense unless otherwise noted. Any and all the trees/palms to be removed shall require proper permitting and documentation of size, specie and condition.
- Before construction begins, the Landscape Contractor is responsible for locating all underground utilities and most avoid damaging any services during construction. If any damage occurs by fault of the Contractor, the necessary repairs must take place at the Landscape Contractor's expense and under the supervision of the Owner's representative.
- All proposed trees and plant materials shall be graded as Nursery Grade Florida No. 1 or better as outlined by the Florida Department of Agriculture and Consumer Services, Division of Plant Industry "Grades and standards for Nursery Plants", most current edition. All planting shall be done in accordance with the Florida Nurserymen's and Grower's Association approved practices.
- In addition to these requirements the Landscape Contractor shall comply with all local landscape codes and requirements as part of this base bid and contract in order to satisfy the review and approval of the governing agency.
- Plants shall meet size, container, and spacing specifications. Plant size shall take precedence over container size. Any material not meeting specifications shall be removed and replaced at the contractor's expense.
- The plant list is presented for the convenience of the Landscape Contractor. In the event of a discrepancy between the plan and the plant list, the plan shall take precedence over the plant list.
- All planting beds shall be excavated to a minimum depth of twelve (12") inches and backfilled with a suitable soil. All plant material shall be planted in planting soil that is delivered to the site in a loose, clean and friable condition. The planting soil shall be the approximate proportions as follows: 50% sand and 50% organic material consisting of native peat, well-decomposed sawdust, leaf mold and top soil. It shall provide a good pliable and thoroughly mixed medium with adequate aeration, drainage and water-holding capacity. It shall also be free of all extraneous debris, such as roots, stones, weeds, etc.
- All screening hedges shall be planted and maintained in a way that they form a continuous visual screen. Screening hedges at VUA to be maintained at a minimum height of thirty (30) inches to thirty six (36) inches depending on code requirements.
- All trees/palms and shrubs shall be fertilized with "Agriform" 20-10-5 planting tablets as per the manufacturers specifications at the time of installation and prior completion of pit backfilling also in conjunction with note #5. Tablets to be placed uniformly around the root mass at a depth that is between the middle and bottom of root mass at an application rate of: One (1) - 21 gram tablet for 1 gal container, two (2)- tablets for 3 gal container, three (3)- tablets for 5 gal container, four (4)-tablets for 7 gal container, three (3)-tablets for each 1/2 inch of tree caliper, and seven (7) tablets for palms. Ground Cover areas shall receive fertilization with "Ozmocote" time release fertilizer as per manufacturer's specification.
- All plant beds shall receive a minimum 2" layer of organic mulch, which is to be watered-in after installation. Mulch should be at least six (6) inches away from any portion of a structure or tree trunk and three (3) inches away from the base of shrubs.
- All plant material shall be thoroughly watered in at the time of planting and until landscape material is established. No dry material shall be permitted.
- All tree and shrub locations shall be approved by Landscape Architect prior to planting.
- The Landscape Contractor shall grade planting beds, as required, to provide positive drainage and promote optimum plant growth.
- The Landscape Contractor shall be responsible for examining fully both the site and bid documents. Discrepancies in the documents or the actual site conditions shall be reported to the Landscape Architect in writing at the time of bidding or discovery. No account shall be made after contract completion for failure by the Landscape Contractor to report such condition or for errors on the part of the Landscape Contractor at the time of bidding.
- The Landscape Contractor shall be responsible for securing all necessary applicable permits and licenses to perform the work set forth in this plan set and the specifications unless otherwise noted.
- Plant material shall be bid as specified unless unavailable, at which time the Landscape Architect shall be notified in writing of intended changes.
- All questions concerning the plan set and/or specifications shall be directed to the Landscape Architect.
- There shall be no additions, deletions or substitutions without written approval of the Landscape Architect.
- The Landscape Contractor shall guarantee, in writing, plant survivability. All landscape including shrubs and groundcovers shall be guaranteed for one year after final landscape inspection.
- All dimensions to be field-checked by the Landscape Contractor prior to landscape material installation. Discrepancies shall be reported immediately to the Landscape Architect.
- All materials must be as specified on the landscape plan. If materials or labor do not adhere to specifications, they will be rejected by the Landscape Architect with proper installation carried out by the Landscape Contractor at no additional cost.
- Existing sod shall be removed as necessary to accommodate new plantings
- All existing trees on site shall be protected from damage during construction. See existing tree protection fence detail.
- Any existing landscape and hardscape areas that are unnecessarily disturbed during the landscape installation shall be restored to original conditions by the Landscape Contractor.
- The Landscape Contractor will be responsible for the collection, removal, and proper disposal of any and all debris generated during the installation of this project.
- All landscape areas to have a positive drainage away from buildings and structures. Finished grade of landscape areas to be at or below the grade of adjacent sidewalks, slabs or VUA.
- All trees installed within the right-of-way, less than 15 from a road right-of-way, sidewalks or public infrastructure shall utilize a root barrier system.

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Rev	Date	Description	By
1	04/09/21	Site Plan Review Comments from 03/18/2021	AEM/GMP
2	07/02/21	City Commissioners Comments	AEM/GMP
3			
4			
5			
6			

LANDSCAPE DETAILS
& GENERAL NOTES

DECO GREEN
1715 North Dixie Highway,
Lake Worth, FL 33460

Andres E Montero
2021.07.02
00:56:05 -04'00'

Date: January 14, 2021
Scale: N.T.S.
Drawn By: AEM/GMP
Approved By: AEM
Project No: 1.20011

Sheet Number:
L-03

SITE PLAN APPROVAL SET - NOT FOR CONSTRUCTION