



HISTORIC RESOURCES PRESERVATION BOARD REPORT

HRPB Project Number 26-00100048: Consideration of a Certificate of Appropriateness (COA) for new construction of a single-family structure of approximately $\pm 7,828$ square feet at 1130 S Lakeside Drive. The subject property is located in the SFR—Single Family Residential Zoning District and has a future land use designation of Single Family Residential (SFR). The property is non-contributing to the South Palm Park Historic District.

Meeting Date: April 8, 2026

Property Owner: LWB Development LLC

Applicant: Wes Blackman; CWB Associates

Address: 1130 South Lakeside Drive

PCN: 38-43-44-27-01-051-0010

Size: ± 0.47 acres / 20,675 sf

General Location: East side of South Lakeside Drive between 11th Avenue South and 12th Avenue South

Existing Land Use: Vacant Residential Lot

Current Future Land Use Designation: Single Family Residential (SFR)

Zoning District: Single Family Residential (SFR)



RECOMMENDATION

The documentation and materials provided with the application request were reviewed for compliance with the applicable guidelines and standards found in the City of Lake Worth Beach Land Development Regulations (LDRs), the Historic Preservation Design Guidelines, and for consistency with the Comprehensive Plan. The proposed new single-family structure is consistent with the City's Land Development Regulations. As proposed, the structure's design is consistent with the Historic Preservation Ordinance and the Historic Preservation Design Guidelines' requirements for new construction. The proposed design falls under Contemporary style architecture and therefore is differentiated from surrounding historic structures as a new construction project.

PROJECT DESCRIPTION

The applicant, CWB Associates, on behalf of the property owner, LWB Development LLC, is requesting approval for the construction of a new ±7,828 square foot single-family residence at 1130 South Lakeside Drive. The applicant previously received approval for the demolition of the existing structure on the property in 2020 under HRPB 20-00100030, and subsequently split the lot into two 75 ft wide lots under approval number HP 20-01200001. A survey of the property is included in **Attachment A**. The parcel is located in the Single Family Residential (SFR) zoning district and has a Future Land Use (FLU) designation of Single Family Residential (SFR).

PUBLIC COMMENT

Staff has not received any letters of support or opposition for this application.

BACKGROUND

The property at 1130 S Lakeside Drive currently consists of a vacant 75 ft wide waterfront lot. In 2020, approval was granted under HRPB 20-00100030 for demolition of the structures on the lot and under HP 20-01200001 for a subdivision request in order to split the lot into two 75 ft wide parcels, now addressed separately as 1120 S Lakeside Drive and 1130 S Lakeside Drive. Construction was approved and has commenced on the northern lot (1120 S Lakeside Drive) which was split from the subject parcel; the applicant is now requesting approval for a new single family structure on the southern parcel at 1130 S Lakeside Drive.

The applicant's design team contacted the City's Historic Preservation staff in December of 2025 to discuss their proposal for new construction at the subject property. Staff was generally supportive of the proposed design, and discussed the required Base Flood Elevation (BFE) for new construction. After receiving a complete application package in March of 2026, Staff scheduled the project for the April HPRB meeting.

ANALYSIS

Consistency with the Comprehensive Plan

The subject site has a Future Land Use (FLU) designation of Single Family Residential (SFR). Per policy 1.1.1.2, the Single-Family Residential category is *"intended primarily to permit development of single-family structures at a maximum of 7 dwelling units per acre. Single-family structures are designed for occupancy by one family or household. Single-family homes do not include accessory apartments or other facilities that permit occupancy by more than one family or household. Residential units may be site-built (conventional) dwellings, mobile homes or modular units."*

Analysis: The proposed structure is a single-family residence and is consistent with the intent of the Single-Family Residential designation. The proposed floorplan does indicate two oven or range units being installed under the current proposal. The LDRs only permit one kitchen per dwelling unit. As such, staff has added a condition of approval in order to address this.

Consistency with the Land Development Regulations – Zoning

Single-Family Residential (SFR): Per LDR Section 23.3-7(a), *the "SF-R single-family residential district" is intended primarily to permit development of one (1) single-family structure per lot. Provision is made for a limited number of nonresidential uses for the convenience of residents. These nonresidential uses are compatible by reason of their nature*

and limited frequency of occurrence with an overall single-family residential character. The "SF-R single-family residential district" implements the "single-family residential" land use category of the Lake Worth Comprehensive Plan.

The proposed new construction project appears to be consistent with all site data requirements in the City's Land Development Regulations. Formal and complete review for compliance with the City's Land Development Regulations, including landscaping, will be conducted at building permit review. The proposed site plan and architectural drawings are included in this report in **Attachment A**.

Development Standard		Single Family Residential (SFR)	Provided
Lot Size (min)		5,000 sf	20,672 sf
Lot Width (min)		50'	75'
Setbacks	Front	50' ¹	50.16'
	Rear	15'	69.83'
	Side	7.5'	7.5'
Impermeable Surface Coverage (max)		50% (10,366 sf)	41% (8,449 sf)
Structure Coverage (max)		30% (6,201 sf)	29% (5,987 sf)
Front Yard		75% permeable & landscaped	76% (estimated)
Building Height (max)		30' principal structure (2 stories) ²	Not correctly measured on plans (condition added to address)
Maximum Wall Height at Side Setback		18' @ 5' setback up to 23' @ 10' setback	Not provided on plans (condition added to address)
Floor Area Ratio (FAR) (max)		0.45 (9,302 sf)	0.38 (7,828 sf)
Parking		2 spaces	3 spaces (garage)

¹ Per LDR Section 23.3-7(d)(1)(A), The following special setbacks and restrictions are hereby established in these several areas in the SF-R district: South Lakeside Drive. Setback from the street on the east side of South Lakeside Drive from 13th Avenue South, more specifically described as Lot 1, Block 60, Addition No. 1, to 5th Avenue South, further described as Lot 10, Block 5, Addition No. 1, shall not be less than fifty (50) feet from such street and the front of such lots and residences shall be on South Lakeside Drive.

² Per LDR Section 23.1-12, Building height: The vertical distance measured from the minimum required floor or base flood elevation or twelve (12) inches above the crown of the road, whichever is greater, to ... (e) the average height of a parapet.

Consistency with the Land Development Regulations – Historic Preservation

The proposed single-family residence is designed in a contemporary style. This architectural style is not based on any historic typology but is appropriate in form as the proposed design takes design inspiration from projects in the surrounding vicinity.

All new construction within a designated historic district shall be visually compatible. New buildings should take their design cues from the surrounding existing structures, using traditional or contemporary design standards and elements that relate to existing structures that surround them and within the historic district as a whole. Building design styles, whether contemporary or traditional, should be visually compatible with the existing structures in the district. The visual compatibility criteria for new construction within the city's historic districts is located in [Section 23.5-4\(k\)\(3\)\(A\)](#) in the LDRs. Staff has reviewed the criteria and provided an analysis in the section below. The applicant has also submitted a Justification Statement, provided in this report as **Attachment D**.

Section 23.5-4(k)3.A – Additional Guidelines for New Construction: In approving or denying applications for certificates of appropriateness for new construction, the City shall also, at a minimum, consider the following additional guidelines which help to define visual compatibility in the applicable property's historic district:

- (1) *The height of proposed buildings shall be visually compatible and in harmony with the height of existing buildings located within the historic district.*

Analysis: The surrounding structures in the general vicinity of this property are generally one story, with horizontal massing. The proposed new construction is two stories, which is distinct from the surrounding one story properties but is in line with the new construction next door at 1120 S Lakeside Drive. The proposed new construction steps down in height from the height proposed for the neighboring property, providing a visual transition to the surrounding one story heights and successfully avoids overwhelming these surrounding structures despite the required increase in Base Flood Elevation.

- (2) *The relationship of the width of the building to the height of the front elevation shall be visually compatible and in harmony with the width and height of the front elevation of existing buildings located within the district.*

Analysis: Many of the existing structures in the vicinity along South Lakeside Drive are wide, single-story, horizontally oriented Ranch-style homes. While the subject property and its neighbor at 1120 S Lakeside Drive are two story, the massing of the proposed design is horizontal, rather than vertically oriented. It therefore is proportionally designed in harmony with the existing surrounding properties.

- (3) *For landmarks and contributing buildings and structures, the openings of any building within a historic district should be visually compatible and in harmony with the openings in buildings of a similar architectural style located within the historic district. The relationship of the width of the windows and doors to the height of the windows and doors in a building shall be visually compatible with buildings within the district.*

Analysis: The proposed design is new construction and therefore will not be a landmarked or contributing building. The proposed structure features generally appropriate fenestration, with tall rows of full lite windows across the second story of the front façade lending an element of verticality to the structure and an appropriate spacing of openings.

- (4) *The relationship of solids to voids in the front facade of a building or structure shall be visually compatible and in harmony with the front facades of historic buildings or structures located within the historic district. A long, unbroken facade in a setting of existing narrow structures can be divided into smaller bays which will complement the visual setting and the streetscape.*

Analysis: The front elevation of the structure successfully avoids expanses of blank façade by staggering the planes of the façade, providing a deep overhang of the second story roofed balcony and providing a pleasing arrangement of windows along the façade. While “Option 1” features a blank façade along the garage facing South Lakeside Drive, “Option 2” provides a break by incorporating 3 small vertical windows.

- (5) *The relationship of a building to open space between it and adjoining buildings shall be visually compatible and in harmony with the relationship between buildings elsewhere within the district.*

Analysis: The proposed building adheres to the special 50’ setback requirement within the Single Family Residential zoning regulations for structures located along South Lakeside Drive and is spaced appropriately in relation to neighboring buildings.

- (6) *The relationship of entrance and porch projections to sidewalks of a building shall be visually compatible and in harmony with the prevalent architectural styles of entrances and porch projections on buildings and structures within the district.*

Analysis: The proposed design places the front entryway centered on the front elevation and gives appropriate visual prominence to the primary entry feature of the structure.

- (7) *The relationship of the materials, texture and color of the façade of a building shall be visually compatible and in harmony with the predominant materials used in the buildings and structures of a similar style located within the historic district.*

Analysis: The proposed structure will have a mixture of smooth stucco, vertical wood siding and stone as the exterior finish materials. While decidedly modern in style, this mix of textures creates visual differentiation in the massing of the structure, and smooth stucco is a common exterior finish material on structures in the surrounding district.

- (8) *The roof shape of a building or structure shall be visually compatible and in harmony with the roof shape of buildings or structures of a similar architectural style located within the historic district.*

Analysis: The structure proposes to use a flat roof, which are common on structures located within the surrounding historic district of various architectural styles.

- (9) *Appurtenances of a building, such as walls, wrought iron, fences, evergreen, landscape masses and building facades, shall, if necessary, form cohesive walls of enclosures along a street to ensure visual compatibility of the building to the buildings and places to which it is visually related.*

Analysis: The site features are appropriate for the structure and its context in the neighborhood.

- (10) *The size and mass of a building in relation to open spaces, the windows, door openings, porches and balconies shall be visually compatible and in harmony with the buildings and places to which it is visually related.*

Analysis: As previously discussed, the size and mass of the proposed building are more substantial than the majority of the neighboring properties, which are low one-story structures, but are still in harmony as the size and mass are similarly horizontally oriented. The second story of the front façade does have more glazing than most other structures in the vicinity but is in keeping with the structure under construction at 1120 S Lakeside Drive.

- (11) *A building shall be visually compatible and in harmony with the buildings and places to which it is visually related in its directional character: vertical, horizontal or non-directional.*

Analysis: The applicant has provided a streetscape showing the building in relation to those properties on either side. The proposed structure is slightly smaller in scale and massing than the related new construction at 1120 S Lakeside Drive, and incorporates an appropriate “stepped down” massing in context with the adjacent unimproved right-of-way and horizontal one-story massing of the structure at 1202 S Lakeside Drive.

- (12) *The architectural style of a building shall be visually compatible with other buildings to which it is related in the historic district, but does not necessarily have to be in the same style of buildings in the district. New construction or additions to a building are encouraged to be appropriate to the style of the period in which it is created and not attempt to create a false sense of history.*

Analysis: The proposed new structure is designed as a contemporary style which avoids creating a false sense of development in the area; the structure is clearly identifiable as being new construction and appropriate to the period in which it is created.

(13) *In considering applications for certificates of appropriateness to install mechanical systems which affect the exterior of a building or structure visible from a public right-of-way, the following criteria shall be considered:*

(a) *Retain and repair, where possible, historic mechanical systems in their original location, where possible.*

Analysis: This requirement is not applicable to the new construction project.

(b) *New mechanical systems shall be placed on secondary facades only and shall not be placed on, nor be visible from, primary facades.*

Analysis: In the submitted site plan, all mechanical equipment is placed outside the required setbacks and is situated in such a way that it cannot be seen from the public right-of-way. Any additional proposed mechanical equipment shall be subject to review at the time of building permitting.

(c) *New mechanical systems shall not damage, destroy or compromise the physical integrity of the structure and shall be installed so as to cause the least damage, invasion or visual obstruction to the structure's building materials, or to its significant historic, cultural or architectural features.*

Analysis: This requirement is not applicable to the new construction project.

(14) *The site should take into account the compatibility of parking facilities, utility and service areas, walkways and appurtenances. These should be designated with the overall environment in mind and should be in keeping visually with related buildings and structures.*

Analysis: The site plan proposes to provide a one-car driveway leading to the proposed three-car side-loaded garage. The proposed site plan is visually in keeping with the patterning of driveways along South Lakeside Drive.

Consistency with the Historic Preservation Design Guidelines

Per the Lake Worth Beach Historic Guidelines, *“New construction can be designed utilizing the architectural language of one of the 10 defined primary styles, or an alternative yet compatible style. It is very important that new construction not hybridize the styles, borrowing pieces from one and another. This approach creates confusion and dilutes the intrinsic value of the historic structures and styles. The best approach is to choose one style of architecture, and to design a structure that utilizes the common characteristics, proportions, and materials of that style.”*

Analysis: New construction in the City's historic districts is not limited to any particular architectural style, but typically should align with one architectural style consistently rather than utilizing elements from many different styles. The proposed design is generally in keeping with Contemporary style architecture, featuring rectangular massing, varied exterior finish material including smooth stucco, vertical siding and stone finishes and wide expanses of glazing on the primary façade.

While construction of wholly contemporary architecture within historic districts is generally discouraged, the proposed new construction features sensitive massing, height and scale and provides visual texture and interest in such a way to adequately blend in with the surrounding historic structures. Staff is therefore supportive of the proposed new construction design.

CONCLUSION AND CONDITIONS

The proposed new construction application is consistent with the City's Land Development Regulations as well as with the Historic Preservation Ordinance and the Historic Preservation Design Guidelines' requirements for new construction. The proposed design successfully creates a Contemporary style design and will be generally compatible with the

surrounding neighborhood and South Palm Park Historic District as a whole with the alterations as conditioned by staff. If the HRPB moves to approve the new construction request, staff has drafted conditions of approval below.

Conditions of Approval:

- 1) The provided "Option 2" with vertical windows on the garage structure shall be approved rather than "Option 1".
- 2) The second range in the "Butler's pantry" shall be eliminated as only one range is permitted per single family property.
- 3) The wall height at the proposed 7.5' side setback should be clearly indicated on the provided plans and site data table.
- 4) The overall height shall be measured on plans from the minimum required floor or base flood elevation or twelve (12) inches above the crown of the road, whichever is greater, to the average height of the parapet. This shall be clearly delineated on elevations.
- 5) The front door and bathroom windows may utilize clear glass, frosted glass, or glass with a Low-E coating (60% minimum VLT). Tinted, highly reflective, grey, colored, etched, or leaded glass shall not be used.
- 6) The windows and doors (excluding the bathroom windows and front door) shall utilize glazing that is clear, non-reflective, and without tint. Low-E (low emissivity) is allowed but the glass shall have a minimum 60% visible light transmittance (VLT) measured from the center of glazing. Glass tints or any other glass treatments shall not be combined with the Low-E coating to further diminish the VLT of the glass.
- 7) The windows shall be recessed a minimum of two inches (2") in the wall, and shall not be installed flush with the exterior wall.
- 8) All divided light patterns shall be created utilizing exterior raised applied muntins with a pyramid or ogee profile. Exterior flat muntins or "grids between the glass" shall not be used.
- 9) Formal and complete review for compliance with the City's Land Development Regulations will be conducted at building permit review.
- 10) All improved surfaces shall be setback a minimum of 18" from property lines to allow for adequate water runoff within the property boundary.
- 11) All mechanical equipment shall be located behind the front façade of the structure and outside of all required setbacks.
- 12) In addition to a Landscape Plan, a tree survey and disposition plan shall also be required at building permit. Trees that are removed must be replaced on site and/or mitigated, and a tree removal permit shall be required. Landscaping shall be reviewed for compliance with the City's landscape requirements at building permit.

BOARD POTENTIAL MOTION:

I MOVE TO **APPROVE** HRPB Project Number 26-00100048 with staff recommended conditions for the construction of a new single-family structure at **1130 South Lakeside Drive**, based upon the competent substantial evidence in the staff report and pursuant to the City of Lake Worth Beach Land Development Regulations and Historic Preservation requirements.

I MOVE TO **DISAPPROVE** HRPB Project Number 26-00100048 for a Certificate of Appropriateness (COA) for the construction of a new single-family structure at **1130 South Lakeside Drive**, because the Applicant has not established by competent substantial evidence that the application complies with the City of Lake Worth Beach Land Development Regulation and Historic Preservation requirements.

Consequent Action: *The Historic Resources Preservation Board's decision will be final decision for the new construction. The Applicant may appeal the Board's decision to the City Commission.*

ATTACHMENTS

- A. Plan Set and Survey
- B. Photos
- C. Historic Preservation Design Guidelines – New Construction

D. Applicant's Justification Statement



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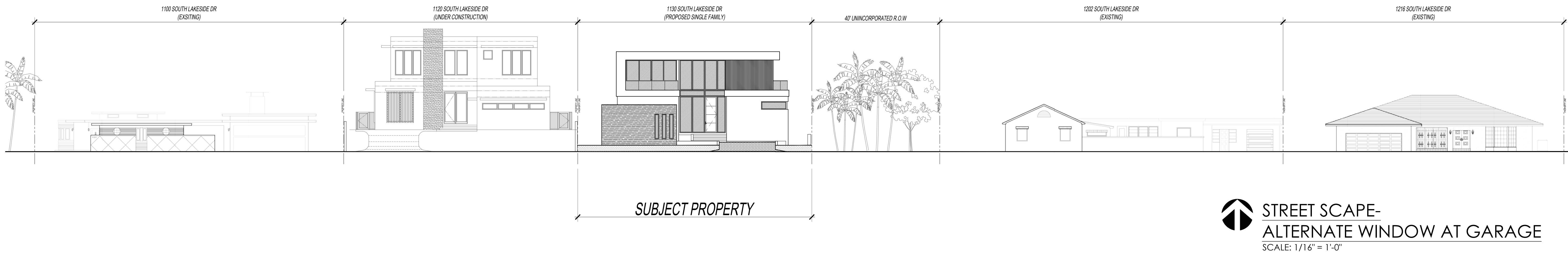
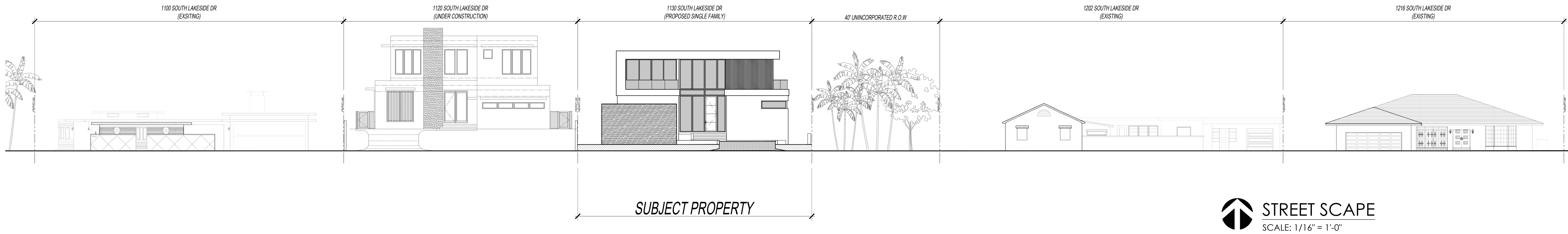
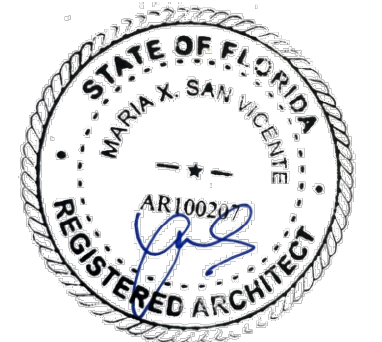
CLIENT:
**LWB DEVELOPMENT
 LLC**
 TBD

PROJECT:
**NEW SINGLE
 FAMILY RESIDENCE**
 1130 S LAKESIDE DR, LAKE WORTH
 BEACH, FL 33460

PROJECT NO.: 2521
 DRAWN BY: GC
 CHECKED BY: JB
 DATE: 10.01.2025

SHEET NAME:
STREET SCAPE

SHEET NUMBER:
SP-3





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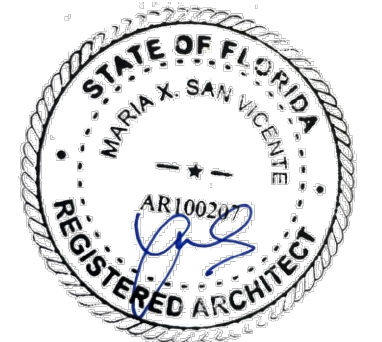
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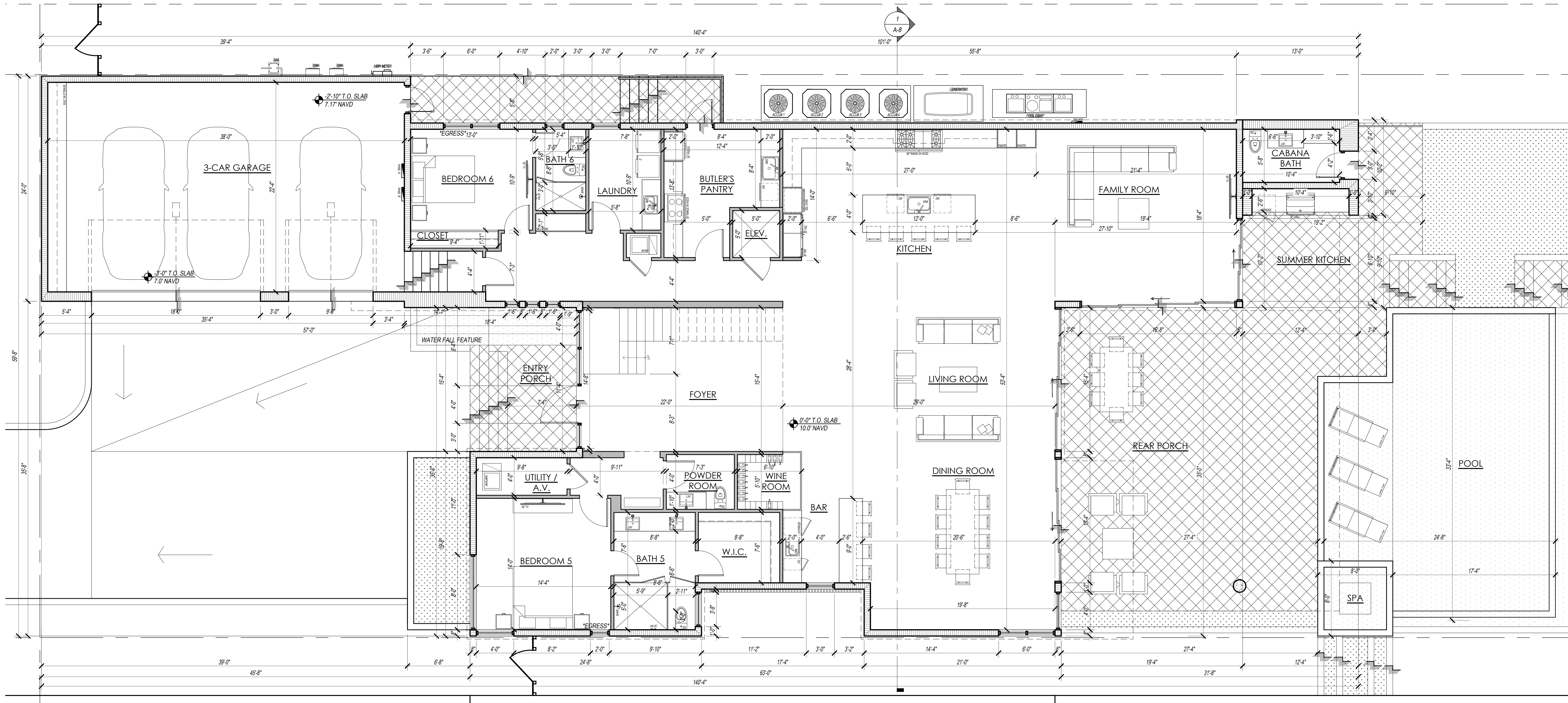
**FIRST
 FLOOR PLAN**

SHEET NUMBER:

A-1



FIRST FLOOR PLAN
 SCALE: 3/16" = 1'-0"





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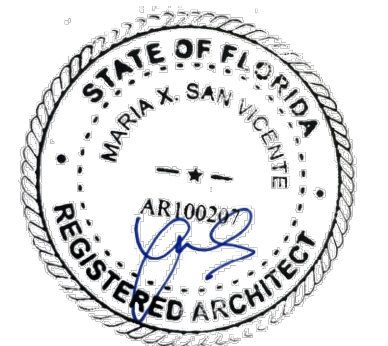
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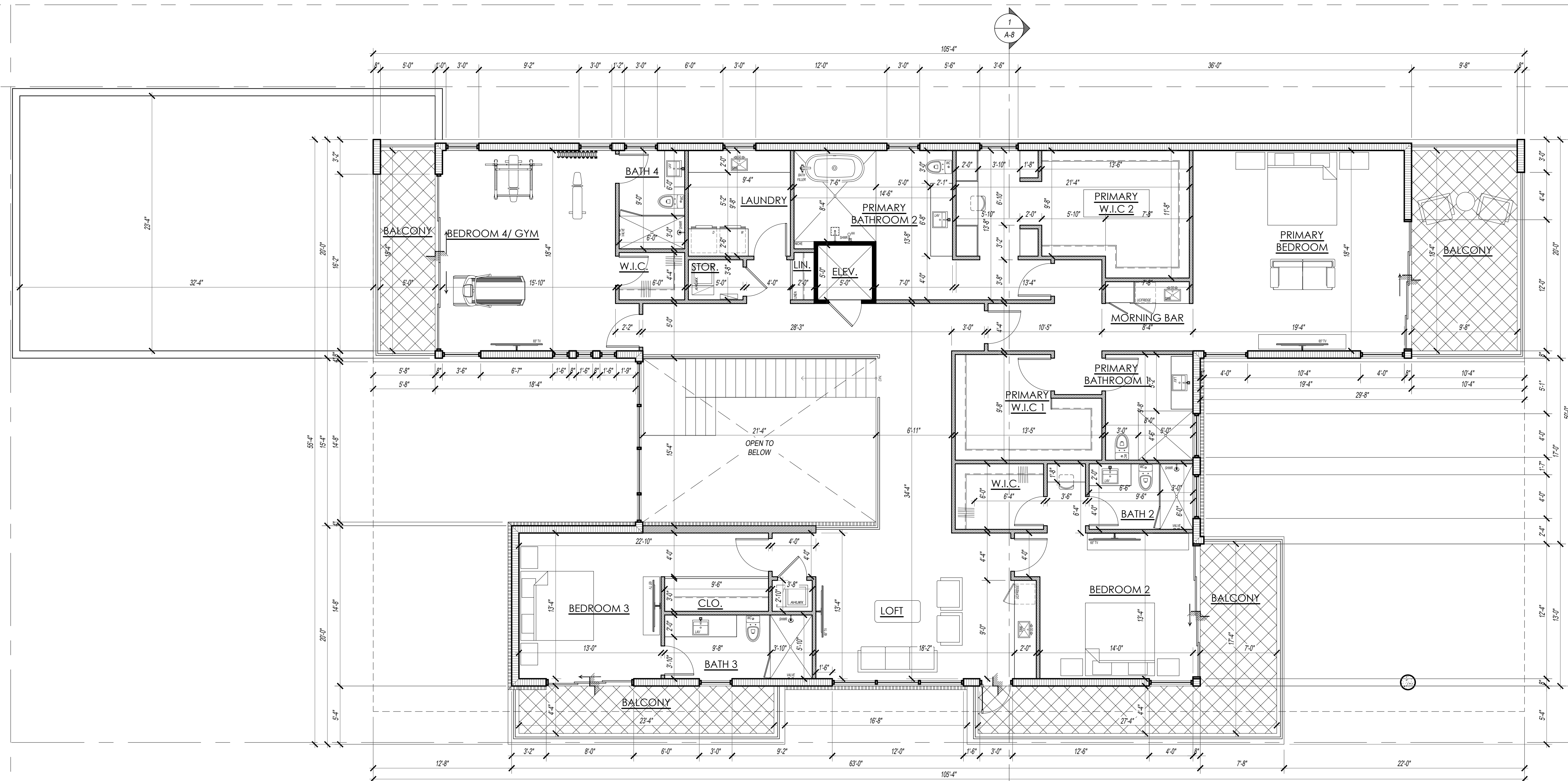
**SECOND
 FLOOR PLAN**

SHEET NUMBER:

A-2



SECOND FLOOR PLAN
 SCALE: 3/16 = 1'-0"





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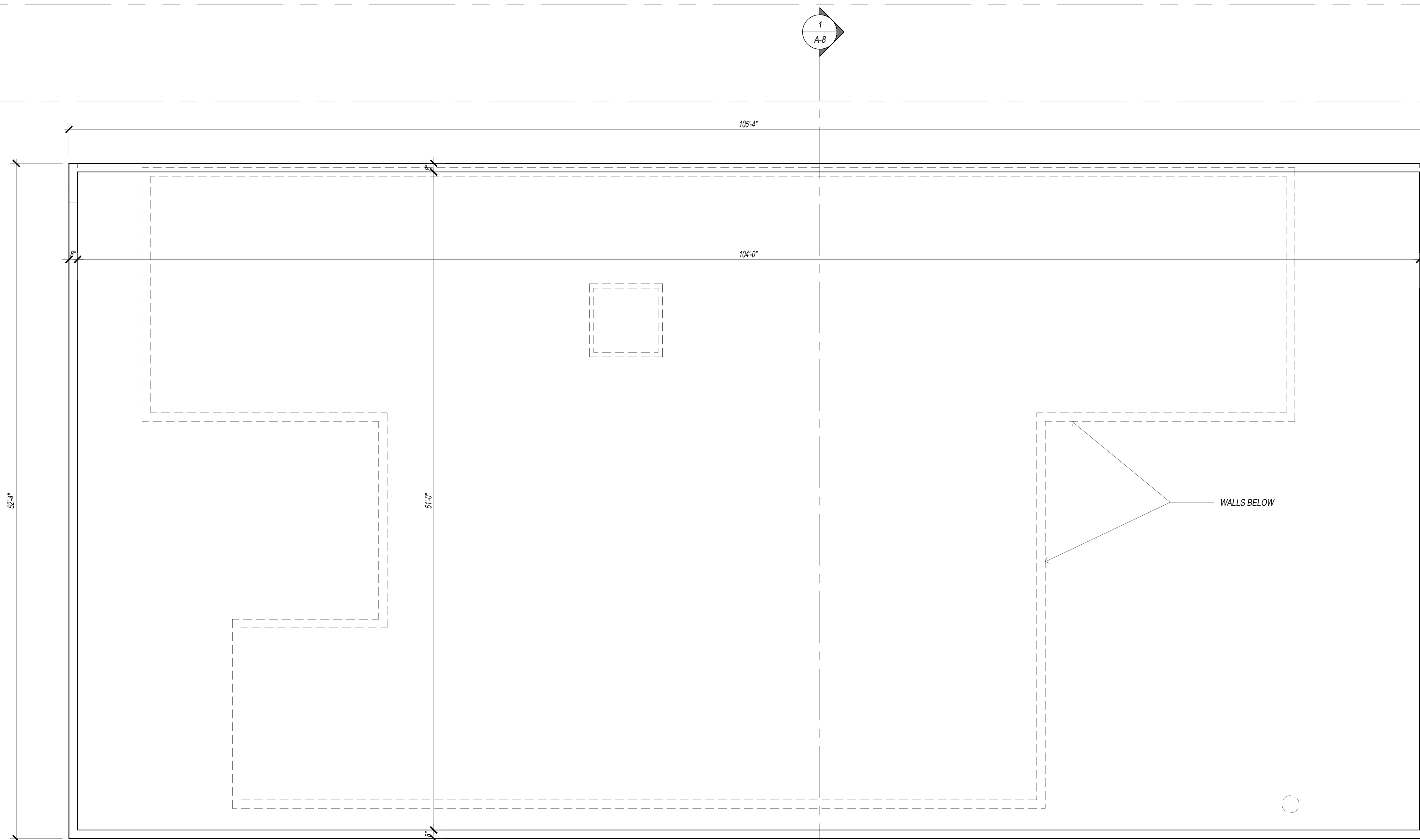
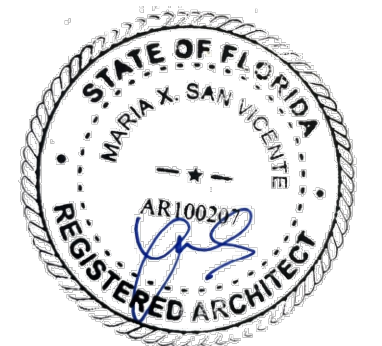
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SHEET NAME:

ROOF PLAN

SHEET NUMBER:

A-3



ROOF PLAN
 SCALE: 3/16" = 1'-0"



1
A-4 FRONT (SOUTHWEST) RENDER
SCALE: N.T.S



1.1
A-4 FRONT (SOUTHWEST) RENDER WITH GARAGE WINDOWS
SCALE: N.T.S



2
A-4 REAR (EAST) RENDER
SCALE: N.T.S



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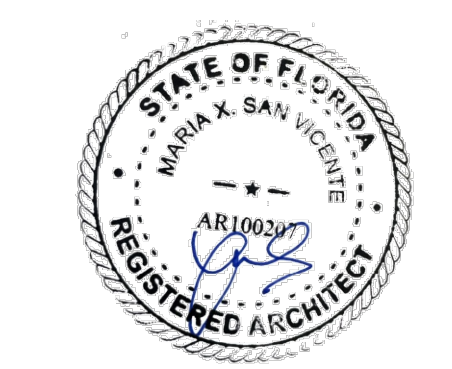
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SHEET NAME:
 RENDERINGS

SHEET NUMBER:
 A-4

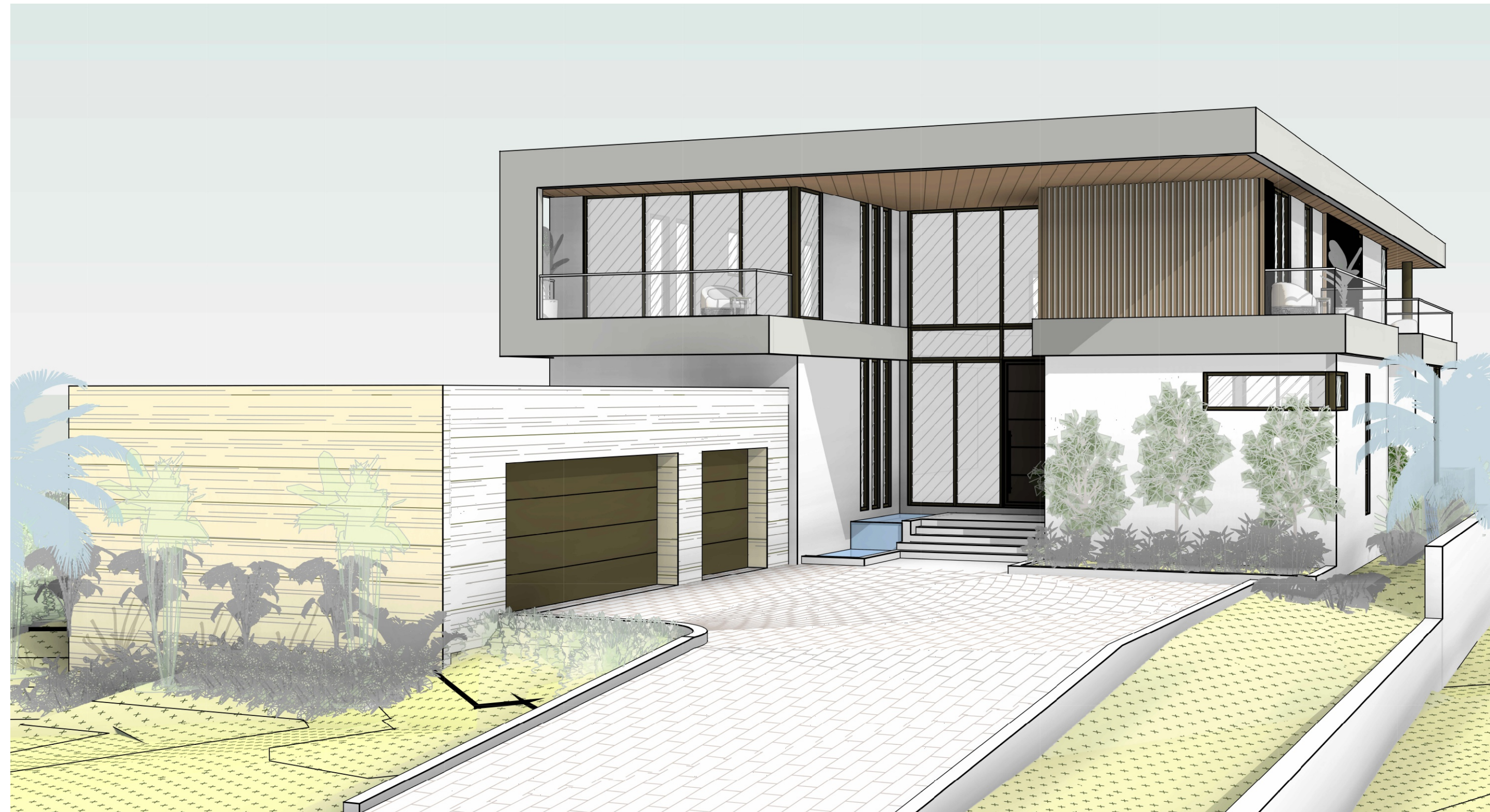




1
A-5 FRONT (WEST) PERSPECTIVE
SCALE: N.T.S



1.1
A-5 FRONT (WEST) PERSPECTIVE WITH GARAGE WINDOWS
SCALE: N.T.S



2
A-5 FRONT (SOUTHWEST) PERSPECTIVE
SCALE: N.T.S



2.1
A-5 FRONT (SOUTHWEST) PERSPECTIVE WITH GARAGE WINDOWS
SCALE: N.T.S



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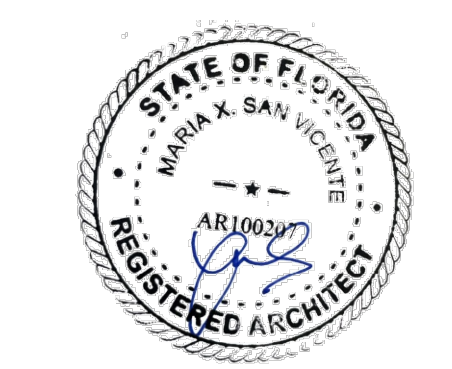
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SHEET NAME:
 PERSPECTIVE
 IMAGES

SHEET NUMBER:
 A-5





1
A-5.1 **SOUTHWEST PERSPECTIVE**
SCALE: N.T.S



2
A-5.1 **SOUTH PERSPECTIVE**
SCALE: N.T.S



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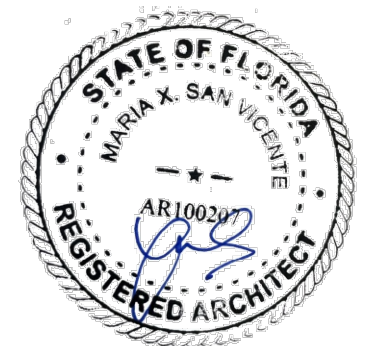
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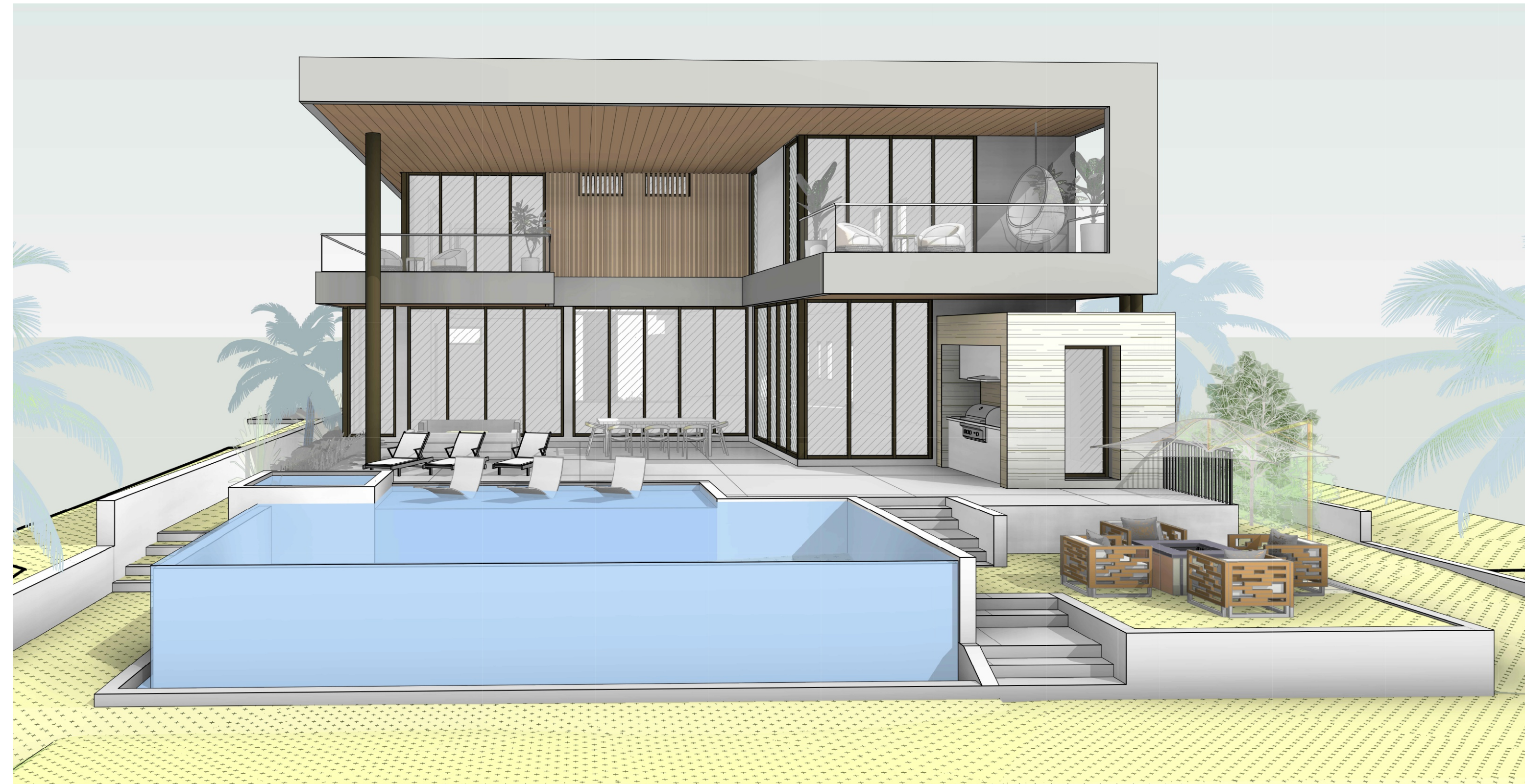
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SHEET NAME:
**PERSPECTIVE
 IMAGES**

SHEET NUMBER:
A-5.1

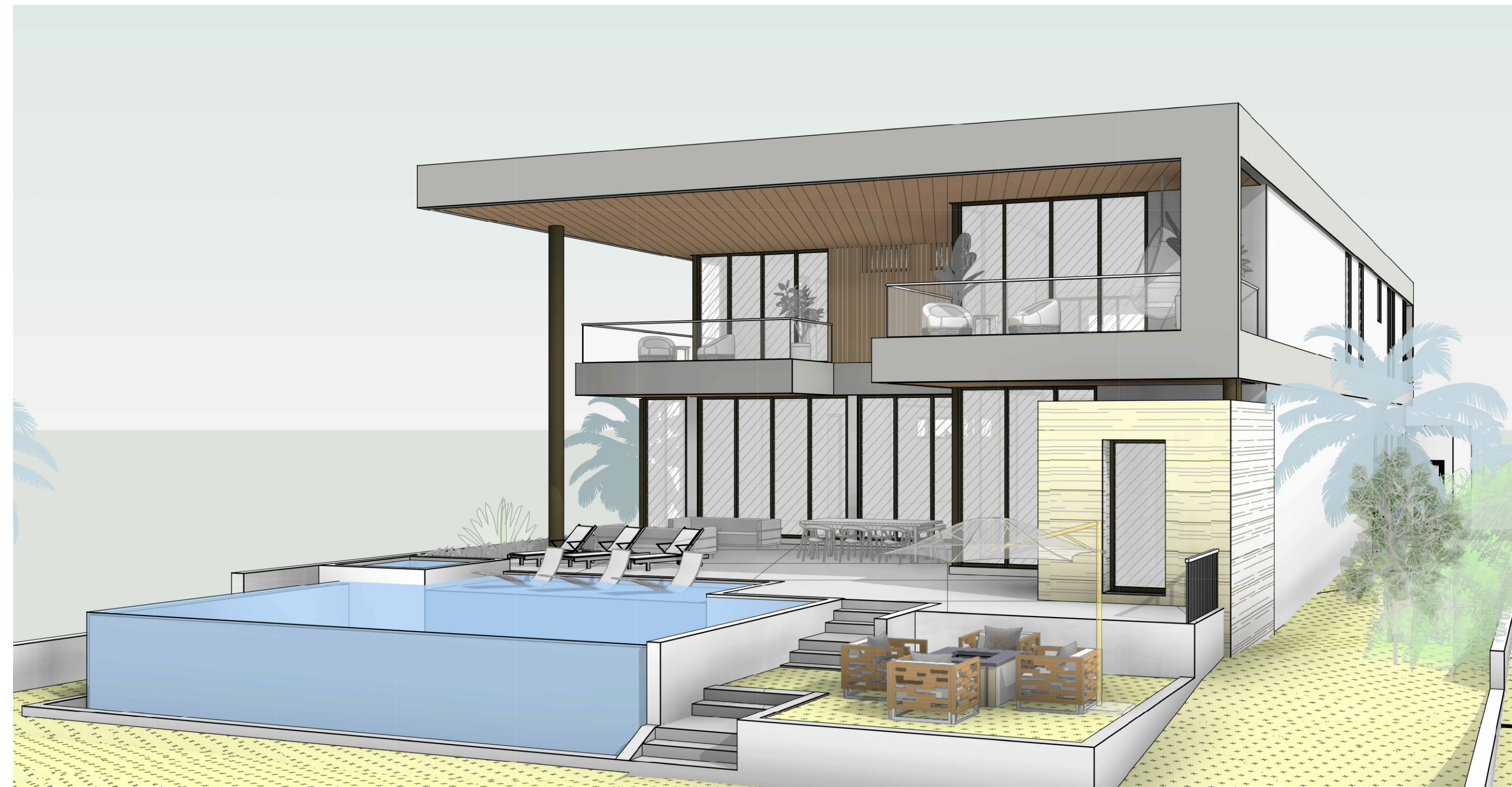




1
A-5.2 REAR (EAST) PERSPECTIVE
SCALE: N.T.S



2
A-5.2 REAR (SOUTHEAST) PERSPECTIVE
SCALE: N.T.S



3
A-5.2 REAR (NORTHEAST) PERSPECTIVE
SCALE: N.T.S



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PROJECT:

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PROJECT NO.: 2521
DRAWN BY: GC
CHECKED BY: JB
DATE: 10.01.2025

SHEET NAME:

PERSPECTIVE
IMAGES

SHEET NUMBER:

A-5.2





XBarchitecture, PLLC
 2300 East Oakland Park Blvd
 Suite 208
 Fort Lauderdale, FL 33306
 office@xb-architecture.com
 Tel: 754-243-7594

ISSUE FOR:
 01.09.2026 - HPRB SUBMITTAL

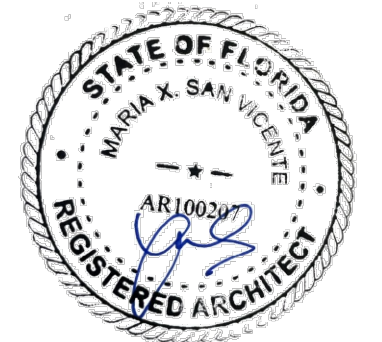
CLIENT:
 LWB DEVELOPMENT
 LLC
 TBD

PROJECT:
 NEW SINGLE
 FAMILY RESIDENCE
 1130 S LAKESIDE DR, LAKE WORTH
 BEACH, FL 33460

PROJECT NO.: 2521
 DRAWN BY: GC
 CHECKED BY: JB
 DATE: 10.01.2025

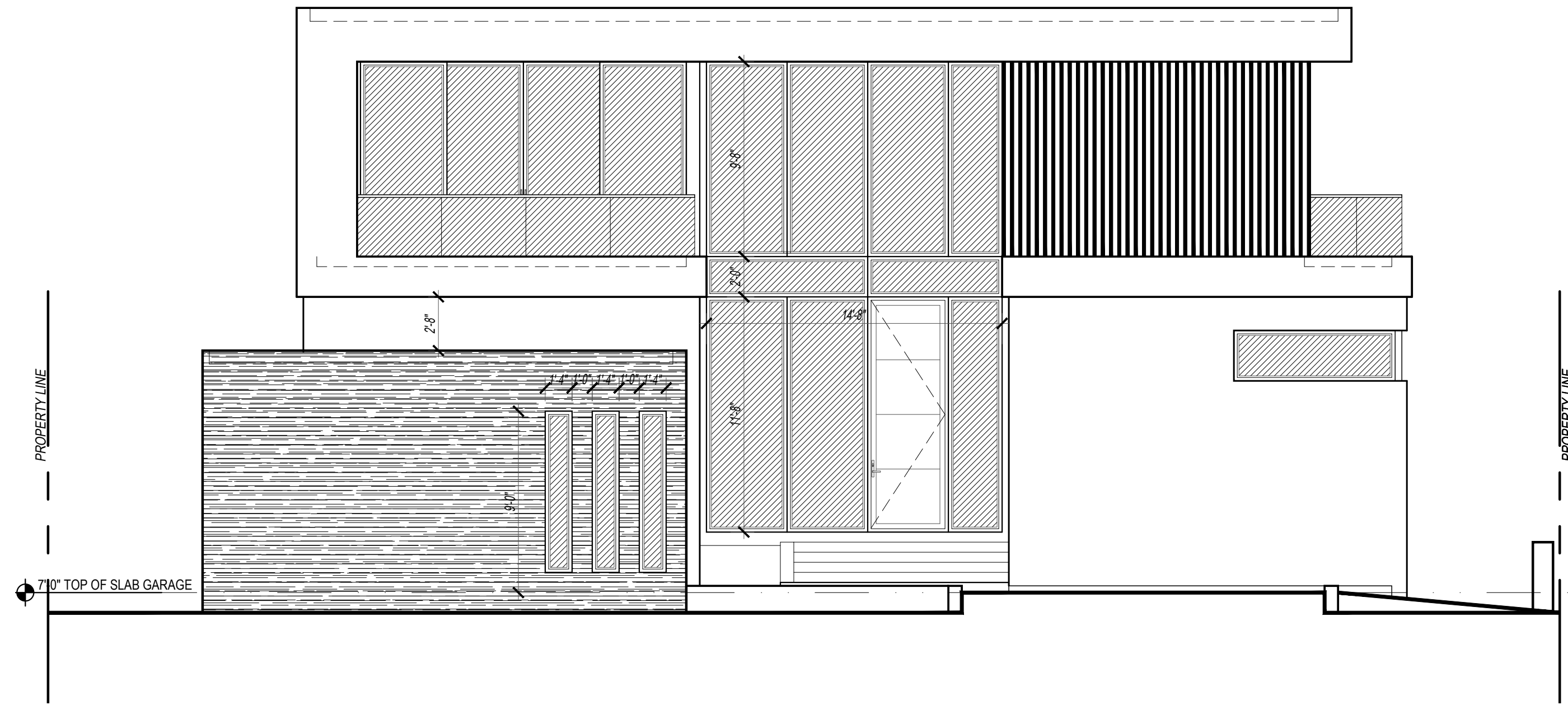
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 ELEVATIONS

SHEET NUMBER:
 A-6

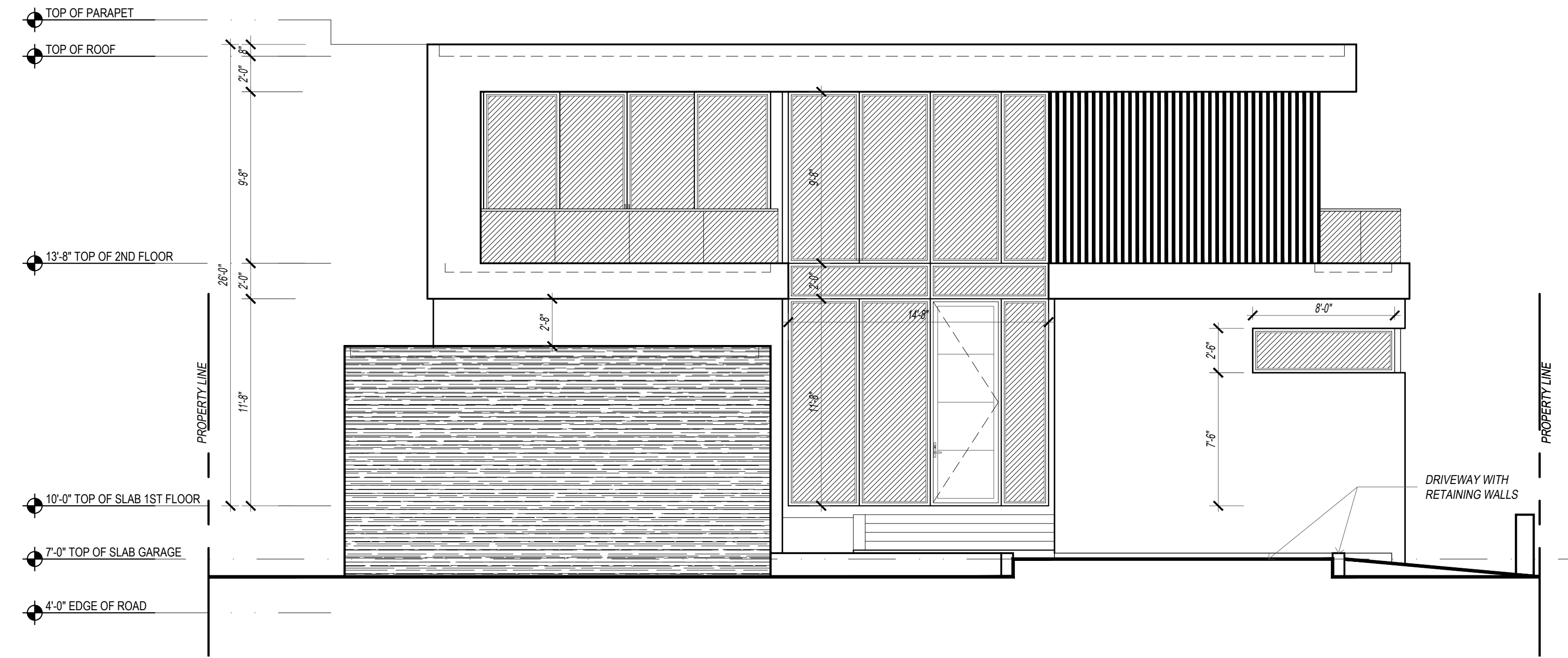


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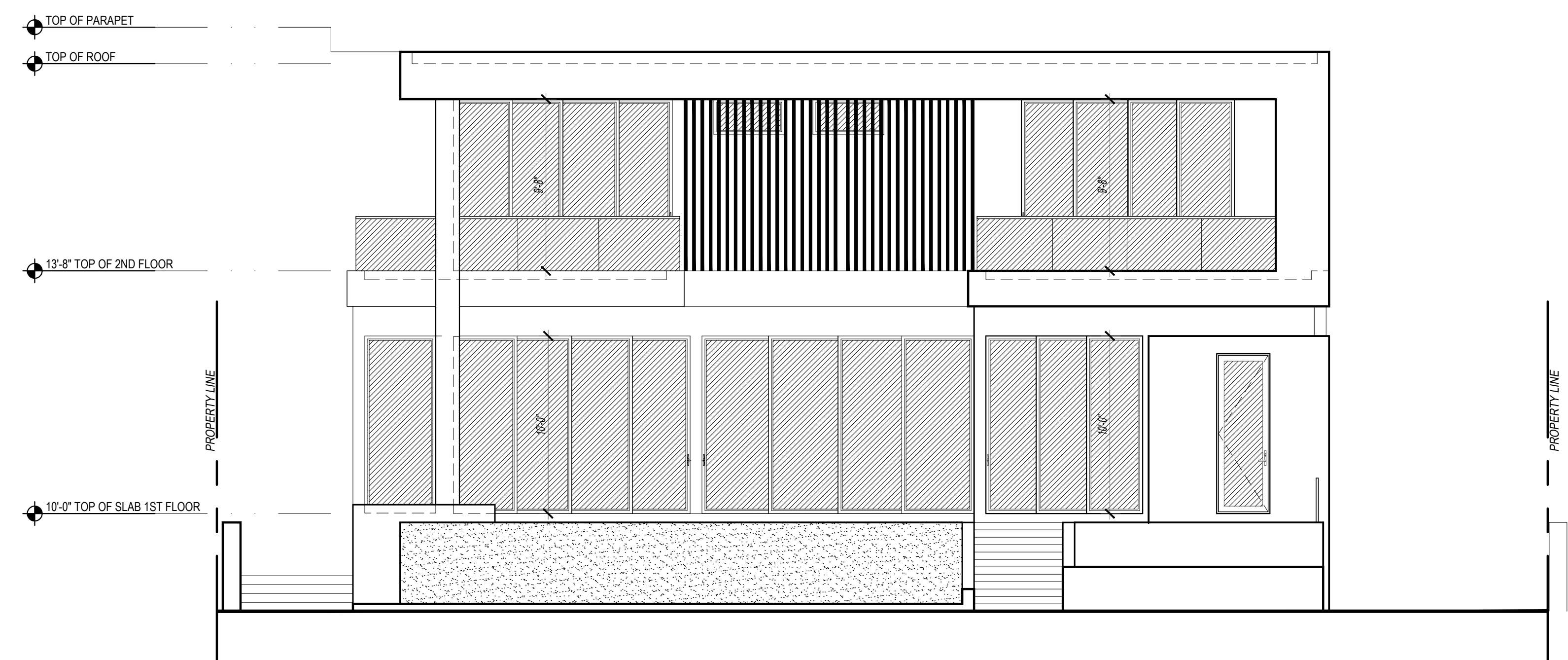
WINDOW AND DOOR NOTES:
 • WINDOWS AND DOORS SHALL BE ESW IMPACT RATED ALUMINUM WINDOWS WITH DARK BRONZE FRAMES. NOAS ARE INCLUDED WITH HPRB SUBMITTAL PACKAGE.
 • WINDOW GLAZING SHALL BE CLEAR, LOW-E WITH A MINIMUM VLT OF 60%



1.1
 A-6
**FRONT ELEVATION- WEST-
 ALTERNATE WINDOW AT GARAGE**
 SCALE: 3/16" = 1'-0"



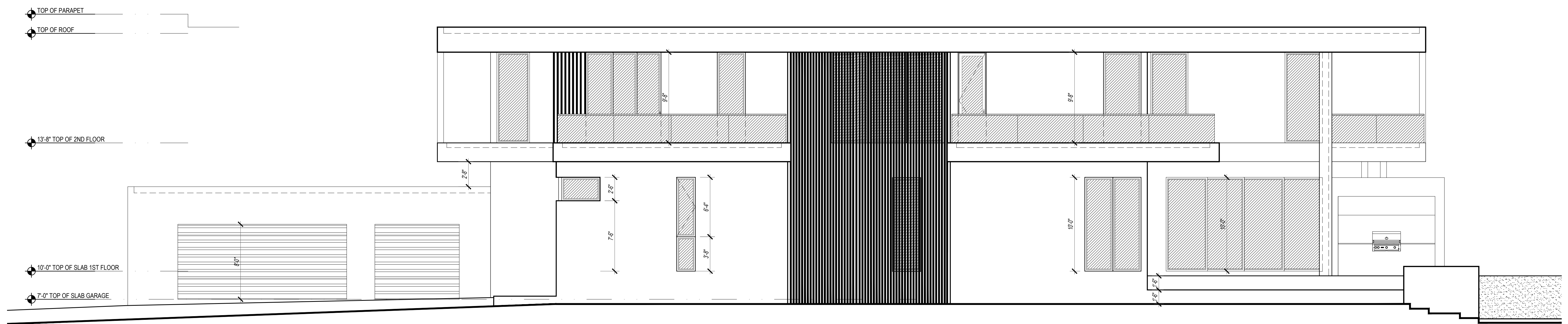
1
 A-6
FRONT ELEVATION- WEST
 SCALE: 3/16" = 1'-0"



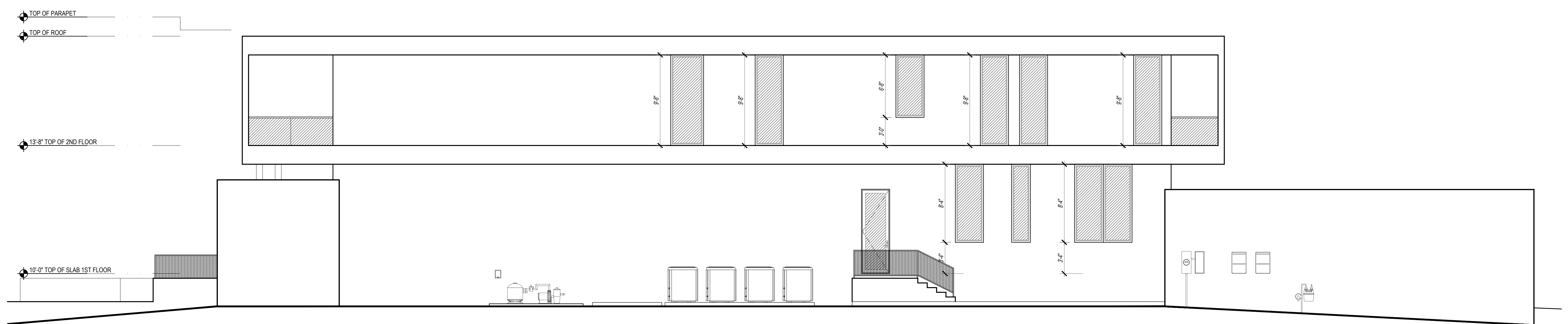
2
 A-6
REAR ELEVATION- EAST
 SCALE: 3/16" = 1'-0"

WINDOW AND DOOR NOTES:

- WINDOWS AND DOORS SHALL BE ESW IMPACT RATED ALUMINUM WINDOWS WITH DARK BRONZE FRAMES. NOAS ARE INCLUDED WITH HPRB SUBMITTAL PACKAGE.
- WINDOW GLAZING SHALL BE CLEAR, LOW-E WITH A MINIMUM VLT OF 60%



1 SOUTH ELEVATION
A-7
SCALE: 3/16" = 1'-0"



2 NORTH ELEVATION
A-7
SCALE: 3/16" = 1'-0"



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PROJECT:

NEW SINGLE
FAMILY RESIDENCE
1130 S LAKESIDE DR, LAKE WORTH
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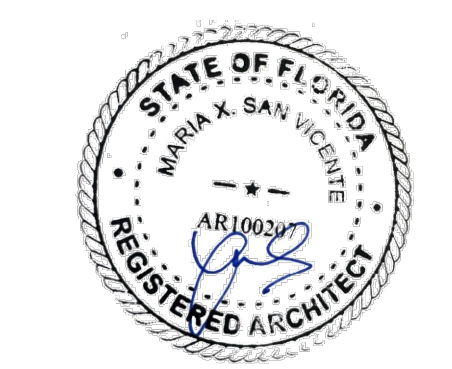
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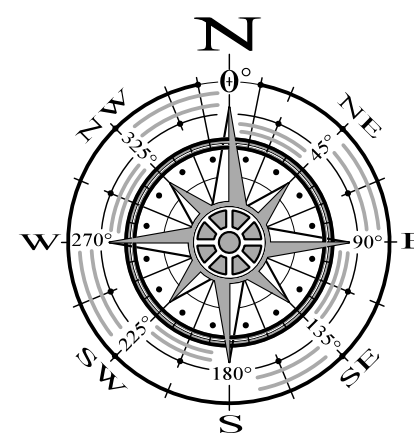
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ELEVATIONS

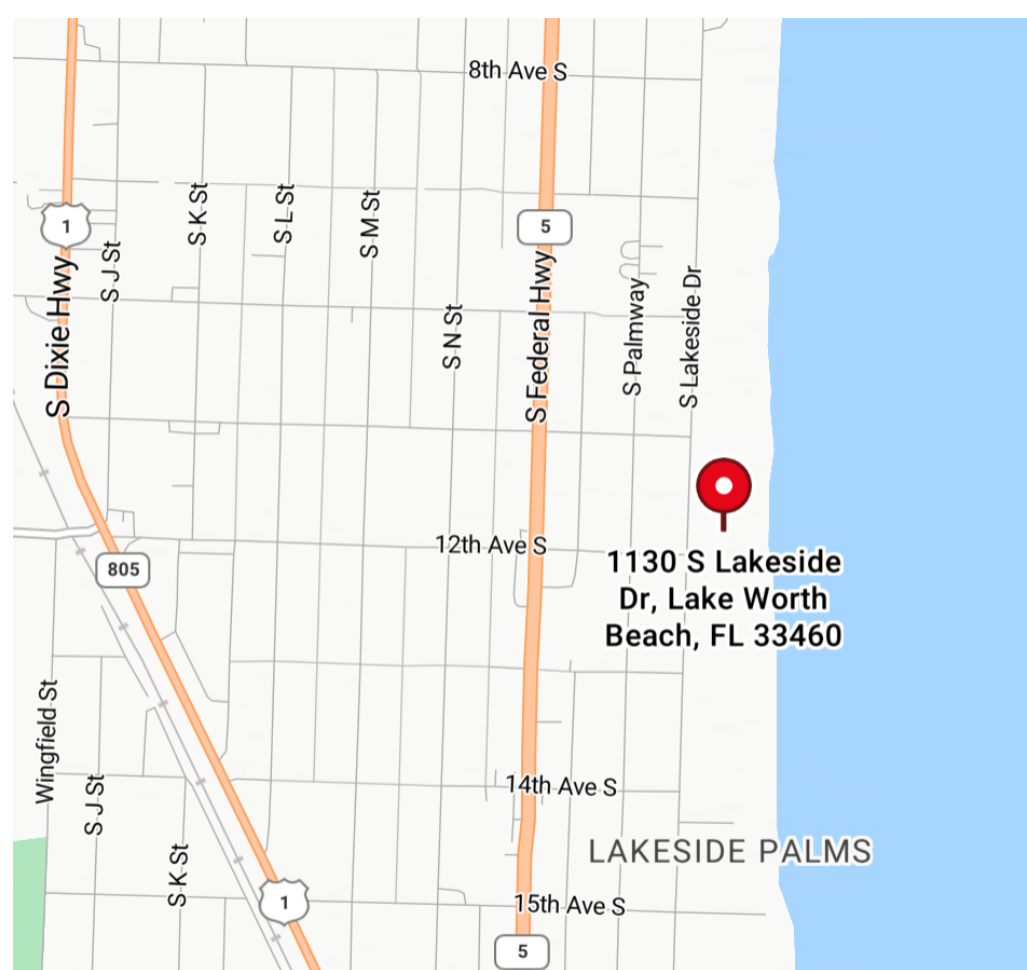
SHEET NUMBER:

A-7

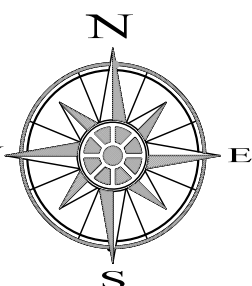




GRAPHIC SCALE: 0 5 10 25 50 75 100 150 200 250 300 325



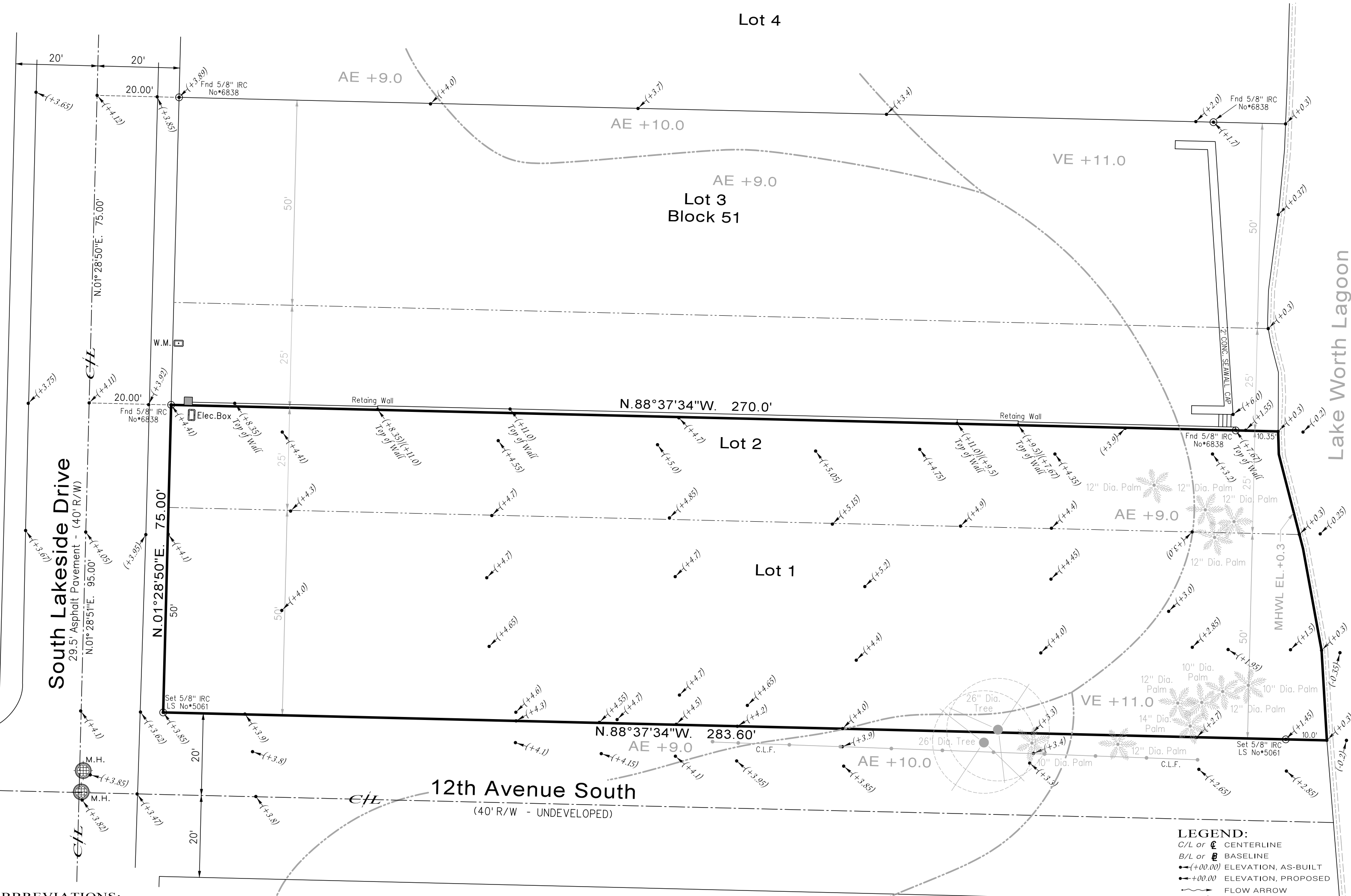
Location Map:
(Not to Scale)



Legal Description:

Lot 1, and the South one-half of Lot 2, Block 51,
The Palm Beach Farms Co. Plat No. 4, Addition Number
One to the Town of Lake Worth, according to the Plat
thereof as recorded in Plat Book 5, Page 6, Public Records
of Palm Beach County, Florida.

Subject to riparian rights along the East line pursuant to
Florida Statutes Sec. 253.141.



LEGEND:

- C/L or CENTERLINE
- B/L or BASELINE
- ELEVATION, AS-BUILT
- ELEVATION, PROPOSED
- FLOW ARROW
- EDGE OF WATER
- MANHOLE
- CATCH BASIN
- FIRE HYDRANT
- SURVEY POINTS

ABBREVIATIONS:

A = ARC LENGTH	(D) = DEED	L.A.E. = LIMITED ACCESS EASEMENT	P.O.B. = POINT OF BEGINNING
A/C = AIR CONDITIONER	DEC. = DECORATIVE	L.E. = LANDSCAPE EASEMENT	P.O.C. = POINT OF COMMENCEMENT
ALUM. = ALUMINIUM	D.E. = DRAINAGE EASEMENT	L.M.E. = LAKE MAINTENANCE EASEMENT	P.O.T. = POINT OF TERMINATION
ASPH. = ASPHALT	DIA. = DIAMETER	(M) = MEASURED	R = RADIUS
AVE. = AVENUE	DRAIN. = DRAINAGE	(M) = MEAN HIGH WATER LINE	(R) = RECORD
B.C.R. = BROWARD COUNTY RECORDS	E.O.W. = EDGE OF WATER	M.H. = MANHOLE	(R) = RECORD
BFP = BACKFLOW PREVENTER	E.W. = EDGE OF WATER	N.E. = NORTH, SOUTH, EAST, WEST	S.D. = STORM DRAINAGE
BLDG. = BUILDING	F.F. = FINISHED FLOOR	N.E. SW = NORTHEAST, SOUTHWEST	S.F. = SQUARE FEET
C. = CALCULATED	F.H. = FIRE HYDRANT	N.W. SE = NORTHWEST, SOUTHWEST	S.L. = SEWER SERVICE LINE
CABLE TV = CABLE TV	FM. = FORCE MAIN	N.T.S. = NOT TO SCALE	S.L.C.R. = SAINT LUCIE COUNTY RECORDS
C.B. = CATCH BASIN	FL. = FLORIDA POWER & LIGHT	NSD = NAIL & DISK	SEC. = SECTION
C.B.S. = CONCRETE BLOCK & STUCCO	GAR. = GARAGE	N&T = NAIL & TAB	S.S. = SANITARY SEWER
CH. = CHORD	FND. = FOUND	NVA = NON-VEHICULAR ACCESS	ST. = STREET
CIR. = CIRCLE	INV. = INVERT	O.R.B. = OFFICIAL RECORDS BOOK	SVC. = SERVICE
C.L.F. = CHAIN LINK FENCE	IP. = IRON PIPE	P.B. = PLAT BOOK	T.O.B. = TOP OF BANK
C/O = CLEAN-OUT	IPC = IRON PIPE & CAP	P.B.C.R. = PALM BEACH COUNTY RECORDS	TYP. = TYPICAL
COL. = COLUMN	IR. = IRON ROD	PROP. = PROPOSED	U.E. = UTILITY EASEMENT
CONC. = CONCRETE	IRC = IRON ROD & CAP	PAVE. = PAVEMENT	UTIL. = UTILITY
COV. = COVERED	IRR. = IRRIGATION CONTROL VALVE	P.C.P. = PERMANENT CONTROL POINT	W.L. = WATER TRANSPORT LINE
Δ = DELTA (CENTRAL) ANGLE		P.R.M. = PERMANENT REFERENCE MONUMENT	W.M. = WATER METER
		(P) = PLAT	W.V. = WATER VALVE

- NOTES:**
- Elevations when shown refer to the North American Vertical Datum (NAVD) of 1988.
 - This firm has made no attempt to locate footings and/or foundations or other underground improvements (unless otherwise noted).
 - The lands shown hereon have not been abstracted by this firm regarding matters of interest by other parties, such as easements, rights-of-ways, reservations, etc., such information should be obtained and verified by others through appropriate title verification.
 - This drawing is the property of H P A , S u r v e y o r s , I n c . and was prepared for and certified to the party and/or parties indicated hereon and is not transferable or assignable, it shall not be used or reproduced whole or in part without written authorization.
 - All Iron Pipes/Rods, Nails & Discs, set by this Firm, set with Cap/or/Disc with L.B. 5061.
 - All easements shown on the attached drawing are per the record plat (unless otherwise noted).

ADDRESS:
1130 S Lakeside Drive,
Lake Worth Beach, FL 33460

AREA:
20,843 Square Feet
0.478489 Acres

REVISIONS:

BENCHMARK:
PBC "DAWSON"; brass disk in conc. mon.; 17' E. FEC
RR Tracks; 135' N. of C/L 14th Ave S.; W. Side US-1;
Lat. 26°35'57.38"N., Long. 80°03'22.75"W.;
Elevation = +14.834 NAVD88.

This survey is certified to the following:

-
-
-
-

HPA LAND DEVELOPMENT CONSULTANTS
LAND SURVEYING • CONSTRUCTION CONTROL • CONSTRUCTION LAYOUT
BOUNDARY SURVEYS • TOPOGRAPHIC SURVEYS • MEAN HIGH WATER
CONDOMINIUMS • PLATTING • PERMIT PLANS • ENGINEERING AS-BUILTS
Professional Surveyors & Mappers, Certificate of Authorization L.B. No. 8161
215 Via Villagio, Hypoluxo, Florida 33462
Phone: (561) 427-0990 Email: hpasurveyor@yahoo.com

SURVEYOR'S CERTIFICATION:
I hereby certify that the attached "Boundary Survey"
complies with the "Standards and Practices"
for surveys as contained in Chapter 5J-17, Florida
Administrative Code, pursuant to Section 472.027,
Florida Statutes.

Thomas R. Palbicke
Thomas R. Palbicke, Professional Land Surveyor
No. 5061, State of Florida

Date of Last Field Work: 01/18/2026

Property and Surrounding Area Photos



View 1: Closest Intersection to subject property



View 2: Adjacent 40' unimproved right-of-way



View 2a: Residential property south of 12th Avenue
South right-of-way



View 3: Subject property looking east from South Lakeside Drive



View 5: Subject property looking north along western property line.



View 6: Residential property west of subject property



View 7: Property to the north, currently under construction, adjacent residential property to the north



View 8: Interior of subject property looking northeast



View 9: Interior of subject property looking west



View 10: Looking northeast from western interior of subject property



View 11: View from western interior portion of subject property looking southeast

**CERTIFICATE OF
APPROPRIATENESS
Application**

1130 South Lakeside Drive

**South Palm Park Historic District
Lake Worth Beach, Florida**

Prepared for:
City of Lake Worth Beach
Community Sustainability Department
Historic Resources Preservation Board

Prepared by:
CWB Associates
Wes Blackman, AICP



Project Description and Justification Statement

Project Description

The application proposes the construction of a new single-family residence of approximately 7,828 square feet. The proposed structure is a two-story residence with an attached garage. The property is currently vacant and the proposed development will establish a single-family residential use consistent with surrounding properties along South Lakeside Drive.

The applicant team met with City staff on December 18, 2025 for the required pre-application meeting.

Justification Statement

This application represents the second request for a Certificate of Appropriateness for new construction on this property. The proposed design incorporates several modifications intended to address site conditions and compatibility with the surrounding neighborhood.

The base floor elevation (BFE) of the residence is proposed at 10 feet NAVD, a determination made after consultation with the City's Chief Building Official. This elevation is three feet lower than the residential structure immediately north of the subject property, thereby moderating the relative height relationship between the two structures.

The proposed building complies with the 50-foot front setback requirement applicable to this portion of South Lakeside Drive. The eastern portion of the structure consists of a single-story garage volume with side-facing garage doors, which reduces the visual mass of the building along the street frontage. From the eastern garage wall westward, the structure transitions to its two-story configuration. The design approach intentionally moderates the perceived scale of the building through setbacks, articulation, and the placement of the single-story garage volume.

The west façade facing South Lakeside Drive is illustrated with two alternative treatments: one without windows and one incorporating three vertical windows intended to provide architectural articulation and visual interest. Both treatments are consistent with the overall architectural design and either option could be implemented depending on the preference of staff or the Historic Resources Preservation Board.

As indicated in the tabular data provided on the site plan, the proposed development complies with all applicable single-family residential development regulations, including setbacks, lot coverage, and other dimensional standards.

Special consideration has been given to the southern façade, which will be visible from the public realm due to the presence of the unimproved 12th Avenue South right-of-way adjacent to the property. As discussed in the compatibility analysis, this 40-foot public right-of-way provides additional separation between the proposed residence and the property to the south, functioning as a permanent open-space buffer. The presence of this right-of-way effectively increases the perceived lot width and reduces the visual impact of the proposed structure within the streetscape.

Compatibility Standards Analysis

Effect on Property

The proposed residence introduces a new single-family residential structure on a currently vacant parcel. The design incorporates setbacks, articulated massing, and a single-story garage volume along the eastern portion of the building in order to moderate the visual scale of the structure. These design elements maintain compatibility with the residential character of the surrounding neighborhood. Therefore, the project meets this standard.

Relationship to Other Structures

The building is positioned within setbacks consistent with surrounding development along South Lakeside Drive and maintains the established pattern of structures set within landscaped yards. The eastern portion of the building consists of a single-story garage volume with side-facing garage doors, which reduces the perceived mass of the structure along the street frontage and provides a transition to the two-story portion of the building. Therefore, the project meets this standard.

Effect on Historic and Architectural Character

The proposal maintains compatibility with the historic district through scale, site placement, and architectural articulation while allowing contemporary architectural expression consistent with the evolving architectural character of the district. The façade design incorporates vertical window elements and articulated wall planes that contribute to a visually balanced composition. Therefore, the project meets this standard.

Reasonable Beneficial Use

The proposal allows development of a vacant residential parcel with a single-family residence consistent with zoning regulations and the established residential use pattern of the surrounding neighborhood. Therefore, the project meets this standard.

Technical Feasibility

Architectural plans demonstrate a buildable structure that complies with applicable zoning and development regulations and can be constructed within a reasonable timeframe. The proposed base floor elevation of 10 feet NAVD was established in consultation with the City's Chief Building Official and reflects appropriate consideration of site conditions and regulatory requirements. Therefore, the project meets this standard.

Consistency with Secretary of the Interior Standards

The proposed design represents new construction that is distinguishable from historic structures while maintaining compatibility of scale, massing, and site relationships consistent with the Secretary of the Interior's Standards for Rehabilitation. The project respects the surrounding development pattern while incorporating contemporary architectural design. Therefore, the project meets this standard.

Least Adverse Effect

The subject property is currently vacant and no historic structure is being altered or removed as part of the proposed development. The project therefore does not adversely affect designated historic features within the district. Therefore, the project meets this standard.

Additional Visual Compatibility Standards for New Construction

Height

The proposed residence is two stories in height with a base floor elevation of 10 feet NAVD. This elevation is three feet lower than the residential structure immediately north of the subject property, which moderates the relative height relationship between the two structures and maintains compatibility with surrounding development. Therefore, the project meets this standard.

Width-to-Height Relationship

The proportions of the building façade maintain a balanced relationship between width and height consistent with residential structures within the district. Architectural articulation and window placement further contribute to an appropriate façade composition. Therefore, the project meets this standard.

Window and Door Openings

Window and door openings maintain proportions consistent with residential architecture and provide a rhythm across the façade that contributes to visual compatibility with surrounding structures. The west façade includes an option incorporating three vertical windows that add architectural articulation and visual interest. Therefore, the project meets this standard.

Solids and Voids

The building façade incorporates articulated wall planes and architectural elements that avoid long unbroken wall surfaces and maintain a balanced relationship between solid wall areas and openings. An option is presented for alternative western garage door fenestration. Therefore, the project meets this standard.

Relationship to Open Space

The building maintains appropriate side yard setbacks and benefits from the presence of the adjacent 40-foot-wide unimproved 12th Avenue South right-of-way. This public right-of-way functions as a permanent open-space buffer and effectively increases the spatial separation between the proposed residence and the property to the south. Therefore, the project meets this standard.

Entrance and Porch Relationship

Entry features and architectural projections are oriented toward the street in a manner consistent with residential development patterns within the district. Therefore, the project meets this standard.

Materials, Texture and Color

Exterior materials are consistent with high-quality residential construction appropriate to the coastal environment while maintaining compatibility with surrounding structures within the district. Therefore, the project meets this standard.

Roof Shape

The roof form is consistent with residential roof profiles found within the district and contributes to a compatible building silhouette within the streetscape. Therefore, the project meets this standard.

Appurtenances and Landscape

Site elements including walls, landscaping, and other architectural features contribute to the streetscape and maintain visual continuity with surrounding properties. Therefore, the project meets this standard.

Additional Visual Compatibility Standards for New Construction (continued)

Size and Mass Relative to Openings

The size and mass of the building maintain appropriate proportions relative to windows, doors, and architectural elements. The placement of the single-story garage volume along the eastern portion of the structure further reduces perceived building mass. Therefore, the project meets this standard.

Directional Character

The architectural composition balances vertical and horizontal elements consistent with residential design patterns found within the district. Therefore, the project meets this standard.

Architectural Style

The design represents contemporary residential architecture appropriate to the period of construction while remaining visually compatible with surrounding structures and avoiding the creation of a false sense of historical development. Therefore, the project meets this standard.

Mechanical Systems

Mechanical equipment will be located so as not to be visible from primary façades and will not compromise the architectural integrity of the structure. Therefore, the project meets this standard.

Site Features and Utilities

Parking, service areas, walkways, and utilities are integrated into the site plan in a manner consistent with the residential character of the district and are arranged to minimize visual impacts from the public realm. Therefore, the project meets this standard.

Property and Surrounding Area Photos



View 1: Closest Intersection to subject property



View 2: Adjacent 40' unimproved right-of-way



View 2a: Residential property south of 12th Avenue
South right-of-way



View 3: Subject property looking east from South Lakeside Drive



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View 8: Interior of subject property looking northeast



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View 10: Looking northeast from western interior of subject property



View 11: View from western interior portion of subject property looking southeast