

# SITE PLAN SUBMITTAL (07-31-20) SITE PLAN RE-SUBMITTAL (09-21-20)



Architecture + Interior Design Keith M. Spina # AR13419

285 BANYAN BLVD WEST PALM BEACH, FLORIDA 33401

ph: 561.684.6844 • spinaorourke.com FL Lic. # AA26002399



THOMAS ENGINEERING
Civil Engineer and
Lanscape Architecture

6300 NW 31ST AVENUE FORT LAUDERDALE, FL 33309 954.202.7000



PLACE PLANNING AND DESIGN Land Planner

700 US HIGHWAY ONE, SUITE C NORTH PALM BEACH, FL 33408



PLANNING SOLUTIONS
Land Planner

981 DELRAY LAKES DRIVE DELRAY BEACH, FL 33444 561 863 2722



INHABIT PROPERTY GROUP
Developer

2200 BUTTS ROAD, SUITE 300 BOCA RATON, FL 33431

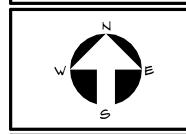


LAN APPLICATION
AGE FLATS

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Revisio

Project no: 19125 Date: (07-31-20)



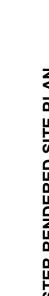


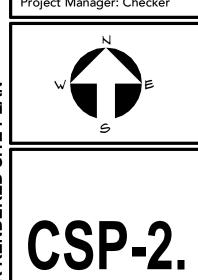
Project no: 19125 Date: (07-31-20)

SITE PLAN SUBMITTAL

SITE LOCATION PAGE







SITE PLAN SUBMITTAL

Project no: 19125 Date: (07-31-20) Drawn by: Author Project Manager: Checker

Lake & Lucerne Lake Worth Beach, F THESE DRAWINGS ARE FOR THE
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FL 33460



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SITE PLAN SUBMITTAL

Project no: 19125 Date: (07-31-20) Drawn by: Author Project Manager: Checker

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33460 ATS Lake & Lucerne Lake Worth Beach, F



33460

Lake & Lucerne Lake Worth Beach,

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Project no: 19125 Date: (07-31-20) Drawn by: Author Project Manager: Checker

SITE PLAN SUBMITTAL

GROUND FLOOR PLAN - PHASE 1

Scale: 1/16" = 1'-0"

PROJECT DATA

TOTAL AREA:

REQUIRED:

'VILLAGE FLATS' LAKE WORTH BEACH FLORIDA

SITE 1: 1207, 1209, 1211, 1213, 1215 & LUCERNE AVENUE. PHASE 1 PROPERTY:

1216, 1220 & 1230 LAKE AVENUE. 8 LOTS 100' X 35' EACH. 28,000 S.F.

SITE 2: LOTS 5, 6, 7 & 8 95' X 35' EACH (1401 LUCERNE) :13,300 S.F.

PHASE 2 PROPERTY: SITE 3: LOTS 13 & 14 95' X 35' EACH (1310 LAKE): 6650 S.F.

28,000 S.F. + 19, 950 S.F. = 47,950 = 1.10078 ACRES

MU-E - MIXED USE EAST - LAKE & LUCERNE AVENUES

CURRENT ZONING DESIGNATION: MULTI-FAMILY RESIDENTIAL PROPOSED USE:

SETBACKS: FRONT (LAKE & LUCERNE):

10' MINIMUM 22' MAXIMUM PROVIDED: 101

REAR:

REQUIRED: PROVIDED: N.A.

SIDE: REQUIRED: 10' ON STREET AND O FT. ON INTERIOR LOT. PROVIDED: 10' ON STREET AND O FT. ON INTERIOR LOT.

(ADDITIONAL SETBACK ABOVE 3RD STORY NOT PROVIDED)

PROPOSED AREA OF STRUCTURES PHASE 1: 25,884 S.F. PROPOSED AREA OF STRUCTURES PHASE 2: 12,802 S.F.

<u> F.A.R.:</u> 1.40 FAR ALLOWED: .92 FAR (PHASE 1) PROPOSED: .64 FAR (PHASE 2) .81 FAR (PHASE 1 & 2)

ALLOWED: 30 FT. MAX. (45 FT. WITH INCREASE OF ADDITIONAL 15' PER SUSTAINABLE BONUS INCENTIVE.) PROVIDED: 45 FT. MAX.

ALLOWED: 30 DU/ACRE WITH INCREASE OF 25% = 41.2 UNITS PROVIDED IN PHASE 1: 30 DWELLING UNITS

PROVIDED IN PHASE 2: 11 DWELLING UNITS PARKING PHASE 1:

REQUIRED: 1.5 REQUIRED / UNIT REQUIRED STUDIO & 1 BEDROOM: 1.75 SPACES/ UNIT REQUIRED 2 BEDROOM:

TOTAL PHASE 1 REQUIRED: 47 SPACES 36 SPACES (ON SITE) PROVIDED:

+ 12 PARALLEL ON STREET + 4 BIKES = 1 SPACE 49 SPACES TOTAL PHASE 1 PARKING:

<u>PARKING PHASE 2:</u> REQUIRED:

24 SPACES 29 SPACES PROVIDED:

IMPERMEABLE SURFACE:

ALLOWED: PROPOSED: PHASE 1: 53.4.% \* 65% MAX. PHASE 2: 65% MAX. 65%

\*PHASE 1 UTILIZES SEMI-PERVIOUS PAVERS W/ AREA CALCULATED AT LOT COVERAGE: ALLOWED: PROPOSED:

OPEN SPACE PROVIDED: 9,432 S.F. PHASE 2: 10,160 S.F.

55%

29%

28%

1,550 GSF

<u>UNIT AREAS</u>

PHASE 1:

PHASE 2:

UNIT #

BUILDING 1 - PHASE 1 MIN. AREA REQUIRED AREA PROPOSED UNIT # 1 BEDROOM 600 S.F. 715 - 723 G.S.F.

982-1041 G.S.F 2 BEDROOM 150 S.F. 1 BEDROOM 600 S.F. 686 G.S.F.

<u>BUILDING 2 - PHASE 1</u>

5 UNITS 3 BEDROOM

1 BEDROOM 600 S.F. 710 G.S.F.

900 S.F.

<u>BUILDING 3 - PHASE 2</u> 600 S.F. 100 GSF 1 BEDROOM 6 UNITS <u>BUILDING 4 - PHASE 2</u>

UNIT TABULATION

<u>PHASE 1</u>

<u>BUILDING 1 (24 UNITS)</u> 1ST FLOOR: (5) 1 BEDROOM UNITS: 4314 G.S.F.

2ND FLOOR: (5) 2 BEDROOM UNITS: 5618 G.S.F. 3RD FLOOR: (6) 1 BEDROOM UNITS + (1) 2 BEDROOM UNIT: 5618 G.S.F.

4TH FLOOR: (6) 1 BEDROOM UNITS + (1) 2 BEDROOM UNIT: 5618 G.S.F.

TOTAL AREA BUILDING 1: 21,168 G.S.F.

<u>BUILDING 2 (6 UNITS)</u> 1ST FLOOR: (2) 1 BEDROOM UNITS 1572 S.F. 2ND FLOOR: (2) 1 BEDROOM UNITS 1572 S.F.

3RD FLOOR: (2) 1 BEDROOM UNITS 1572 S.F.

TOTAL AREA BUILDING 2: 4716 S.F.

TOTAL AREA BUILDING 1 & 2: 25,884 S.F. 30 UNITS IN PHASE 1

<u>PHASE 2</u>

BUILDING 3 (6 UNITS) 1ST FLOOR: (2) 1 BEDROOM UNITS 1684 G.S.F. 2ND FLOOR: (2) 1 BEDROOM UNITS 1684 G.S.F. 3RD FLOOR: (2) 1 BEDROOM UNITS 1684 G.S.F.

TOTAL AREA BUILDING 3: 5052 G.S.F.

BUILDING 4 (5 UNITS) (5) 2 STORY TOWNHOUSES: 1,550 4.S.F./ UNIT TOTAL AREA BUILDING 4: 1,750 G.S.F.

TOTAL AREA BUILDING 3 & 4: 12,802 S.F.

TOTAL UNITS PHASE 1 & 2: 41

11 UNITS IN PHASE 2

TOTAL AREA PHASE 1 & 2: 38,686 S.F.

ATS

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Revisions:

Project no: 19125 Date: (07-31-20) Drawn by: Author Project Manager: Checker

SITE PLAN SUBMITTAL

BUILDING 1 LEVEL 2 (5) 2 BEDROOM UNITS

2 BR.

BUILDING 2 LEVEL 2 (2) 1 BEDROOM

UNITS

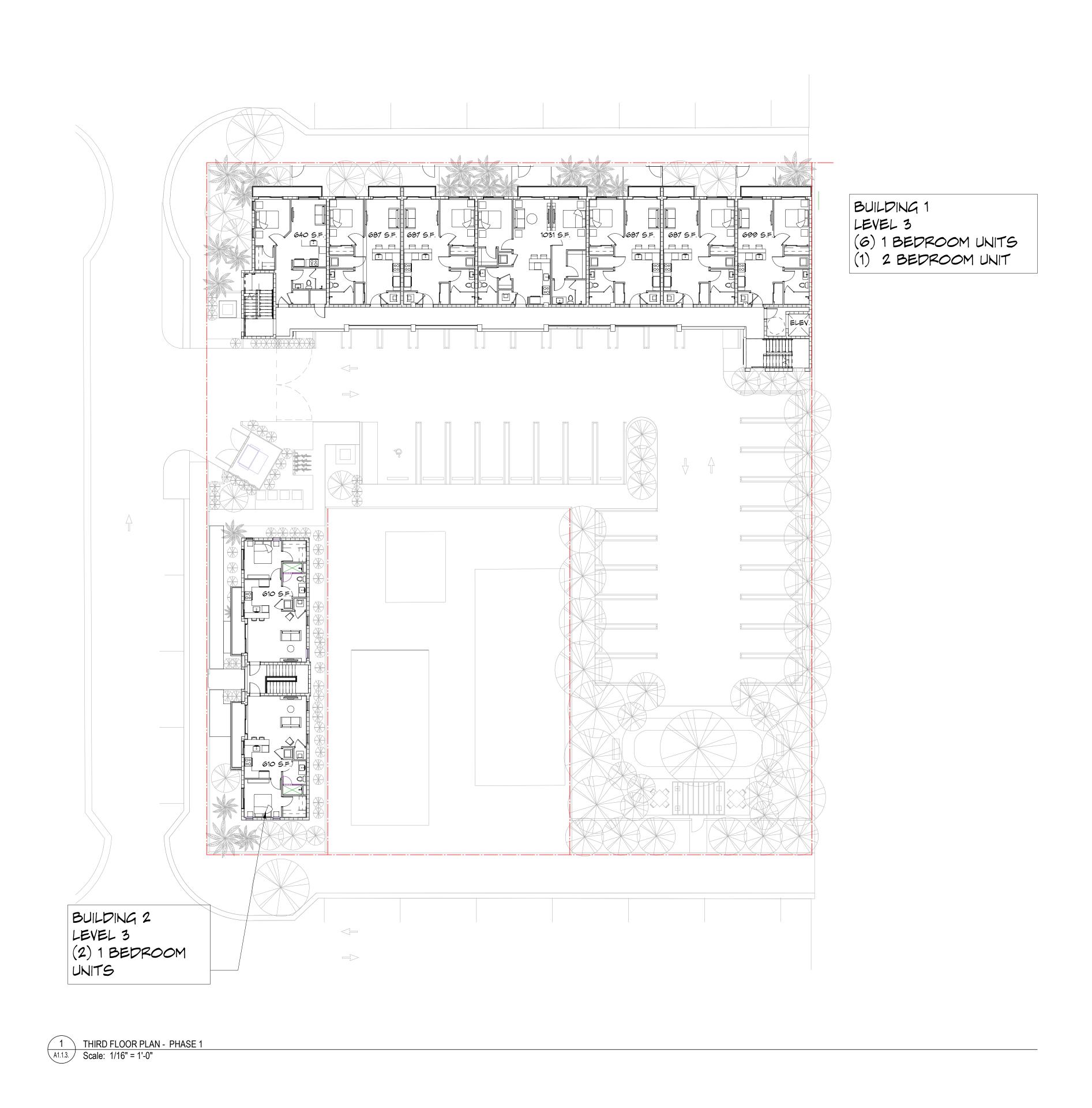
1 SECOND FLOOR PLAN - PHASE 1
A1.1.2. Scale: 1/16" = 1'-0"

THIS AREA N.I.C.



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SITE PLAN SUBMITTAL



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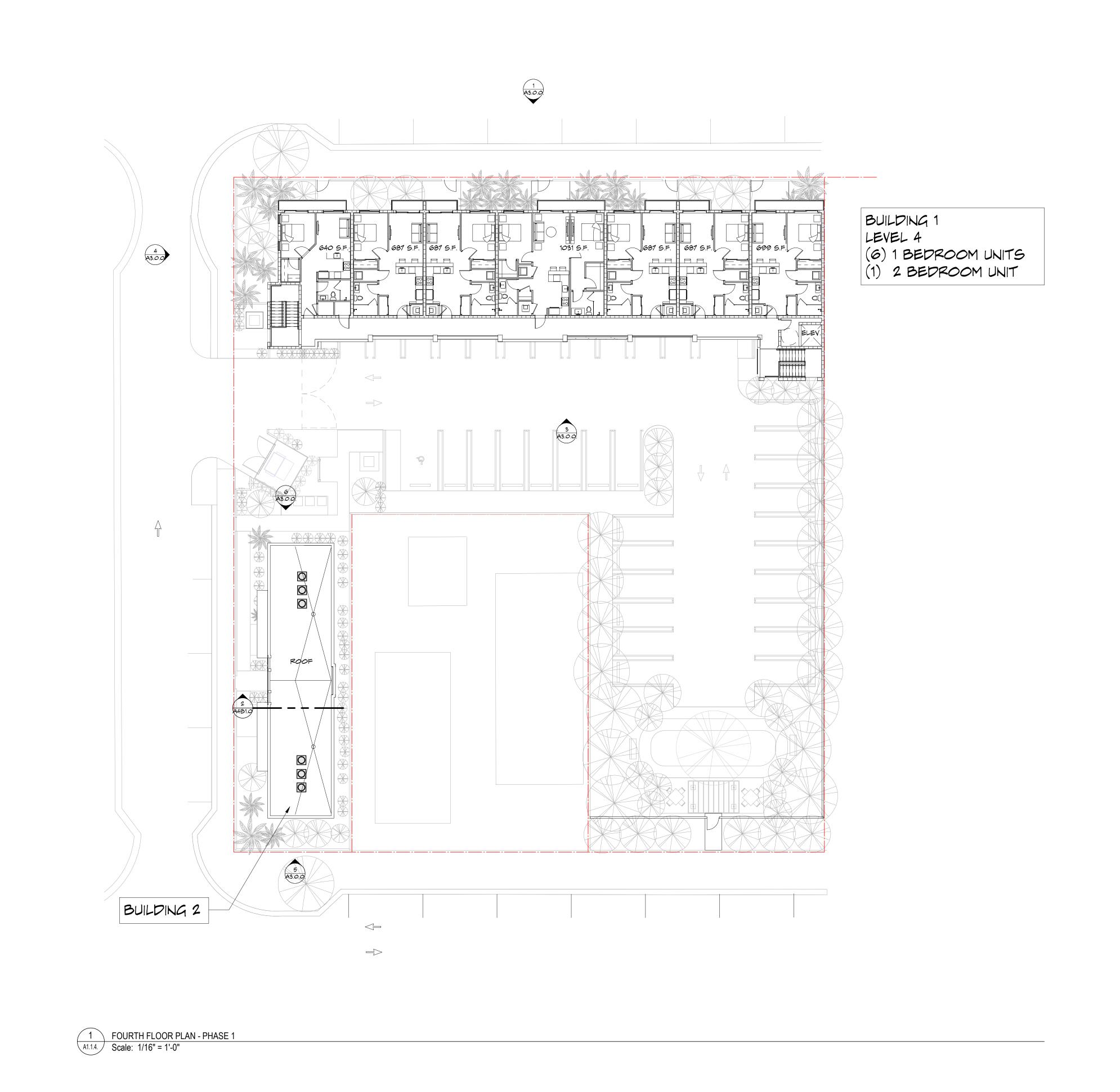
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SITE PLAN SUBMITTAL

Lake & Lucerne Lake Worth Beach, FL 33460



Project no: 19125
Date: (07-31-20)
Drawn by: Author
Project Manager: Checker

A 1.1.4.

SITE PLAN SUBMITTAL

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SITE PLAN APPLICATION

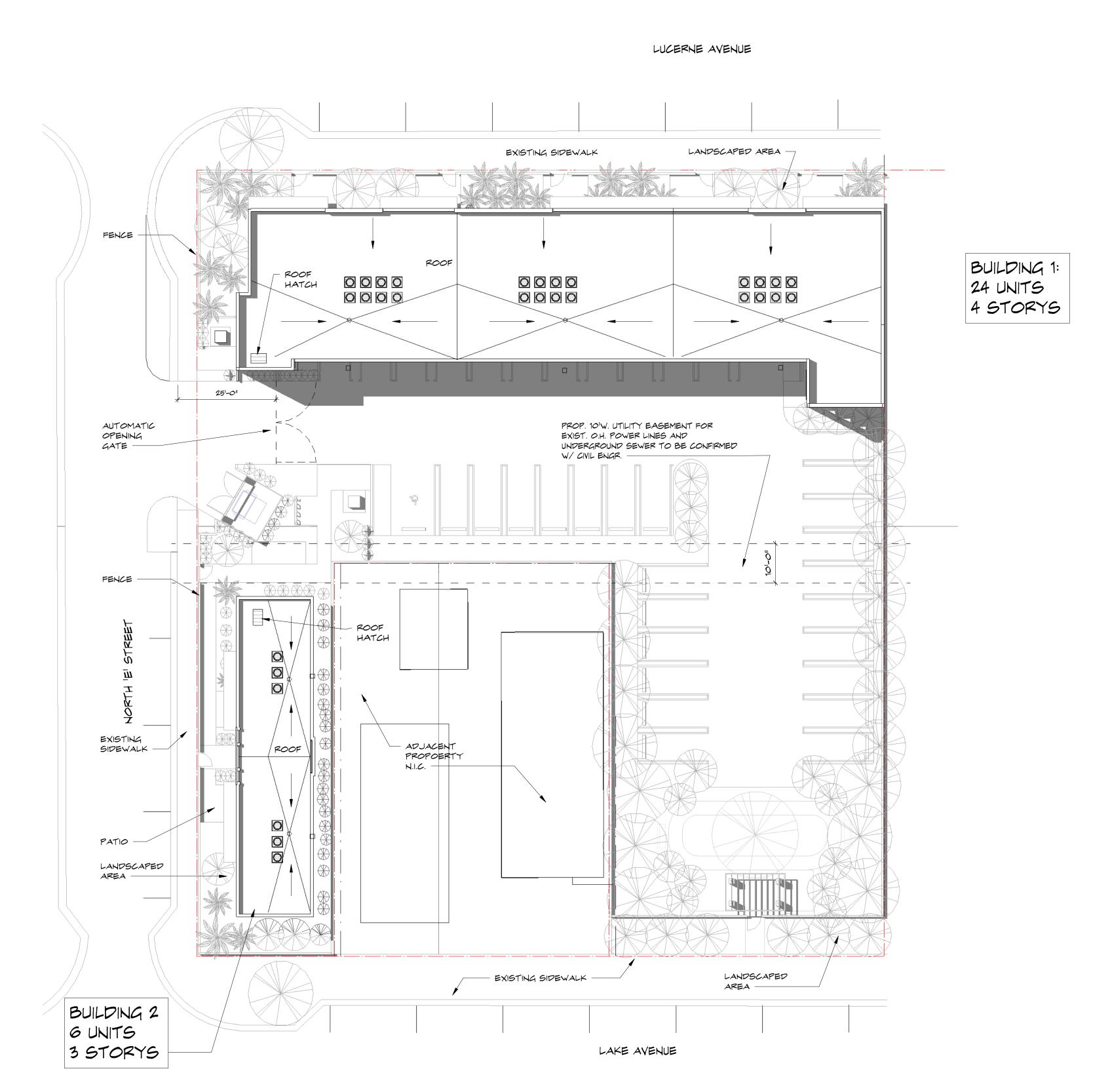
VILLAGE FLATS

Lake & Lucerne

Lake Worth Beach, FL 33460

SPINAOROURKE + P A R T N E R S

Z85 Banyan Blvd
West Palm Beach Florida 33401
561.684.6844 • Fax 561.684.5594
spinaorourke.com
FL Lic # AA26002399





SITE PLAN APPLICATION

VILLAGE FLATS

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SITE PLAN SUBMITTAL

33460 Lake & Lucerne Lake Worth Beach, FL

SITE PLAN APPLICATION

VILLAGE FLATS Lake & Lucerne Lake Worth Beach,

<u>PHASE 2 - BUILDING 3</u> (6) 1 BEDROOM UNITS

11<sup>1</sup>-5"

3 STORIES 700 G.S.F. / UNIT 7 PARKING SPACES OFF STREET

TOTAL PARKING: 9 SPACES

2 PARKING SPACES PARALLEL ON STREET

1684 GROUND FLOOR BUILDING COVERAGE

5052 G.S.F. TOTAL INCLUDING NON-AC STAIR

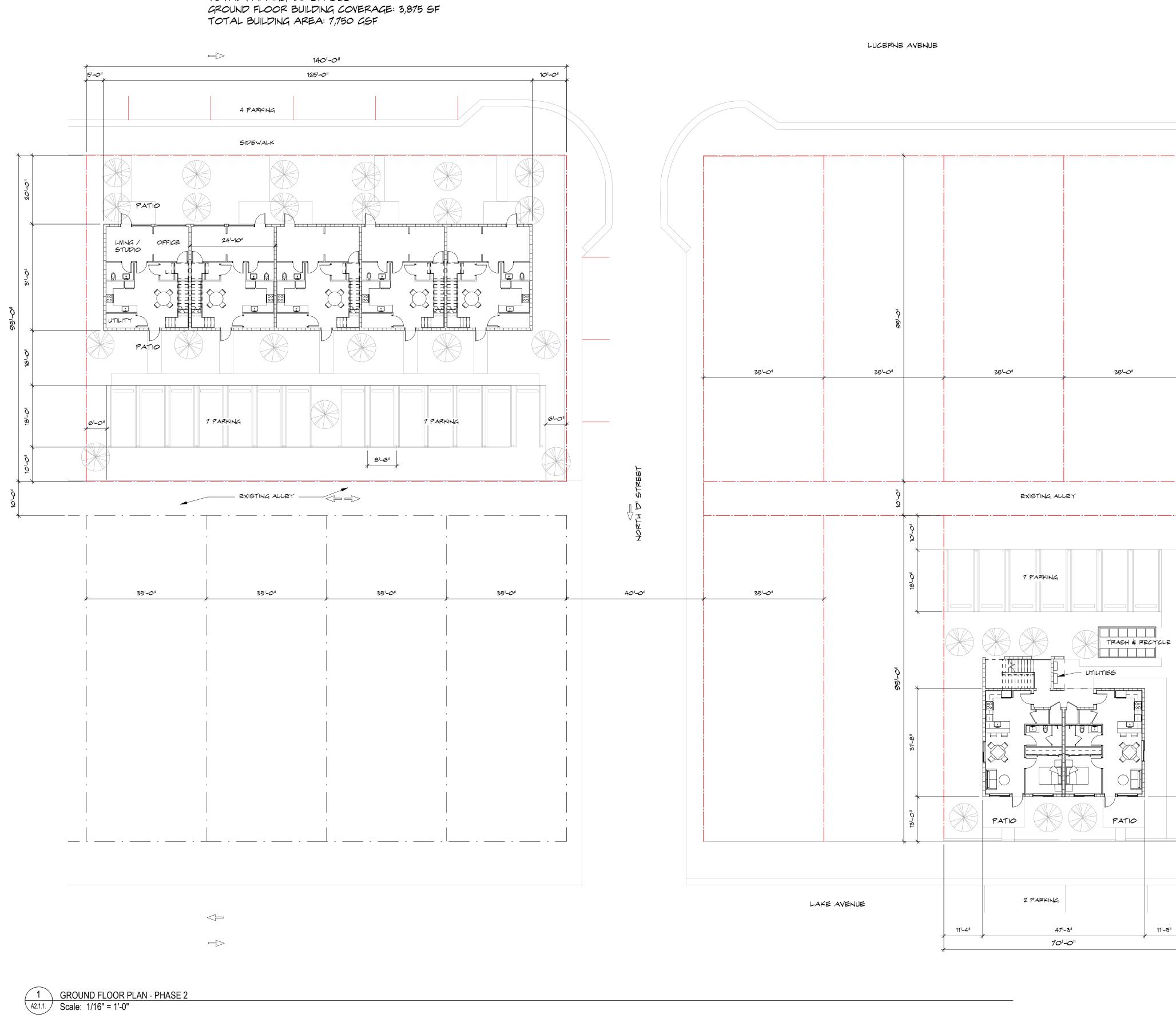
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Drawn by: Author Project Manager: Checker

SITE PLAN SUBMITTAL

PHASE 2 - BUILDING 4 5 UNITS 2 STORIES 3 BEDROOMS / UNIT 1550 G.S.F. / UNIT 14 PARKING SPACES OFF STREET 6 PARKING SPACES PARALLEL ON STREET TOTAL PARKING: 20 SPACES



F FINISH: ALUM RAILINGS, COLOR: GRAY

H FINISH: SMOOTH STUCCO, YELLOW COLOR

G FINISH: WOOD FENCE, COLOR: NATURAL WOOD - PRESSURE

FINISH: ALUMINUM TRELLIS STRUCTURE PAINTED GREY

SITE PLAN APPLICATION

VILLAGE FLATS Lake & Lucerne Lake Worth Beach,

33460

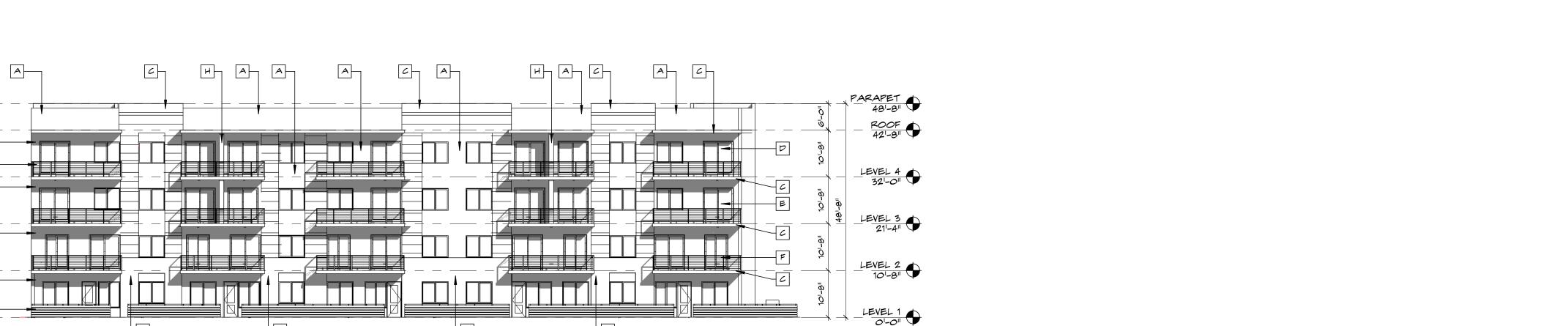
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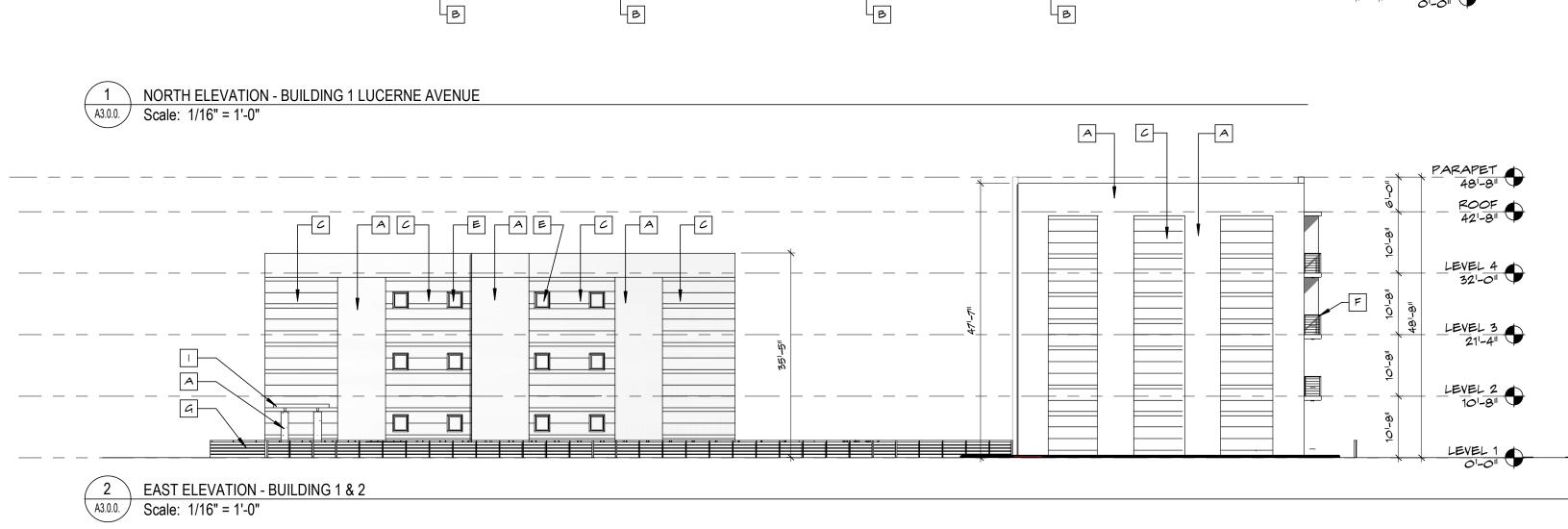
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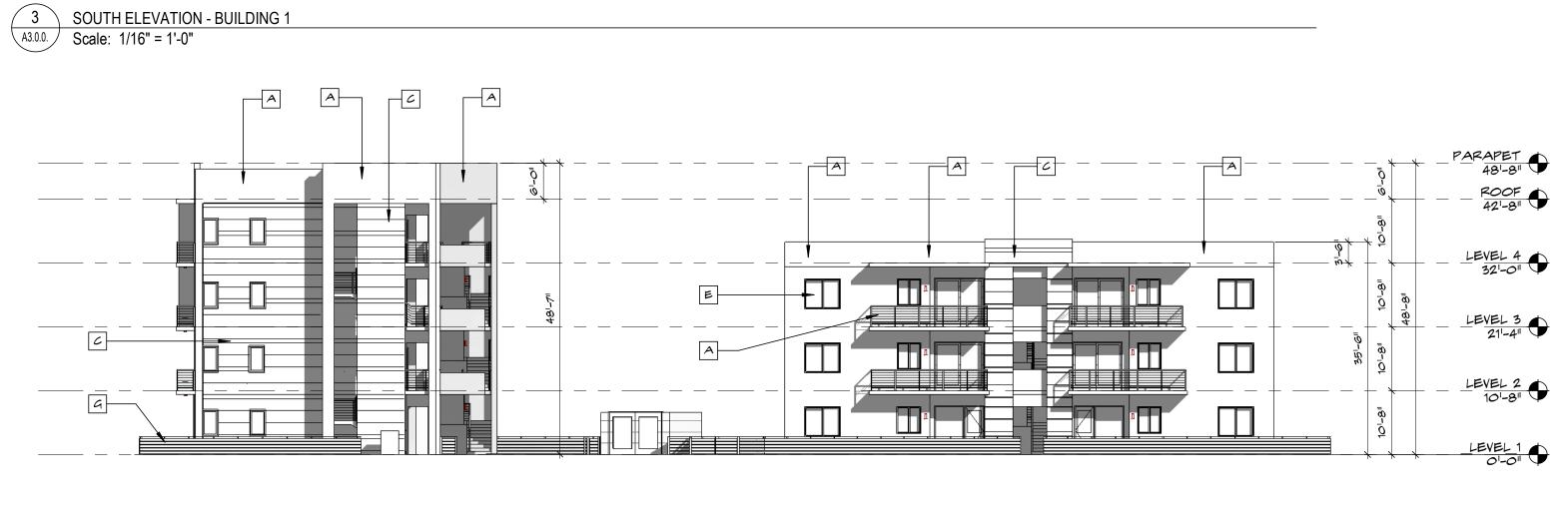
Drawn by: Author Project Manager: Checker

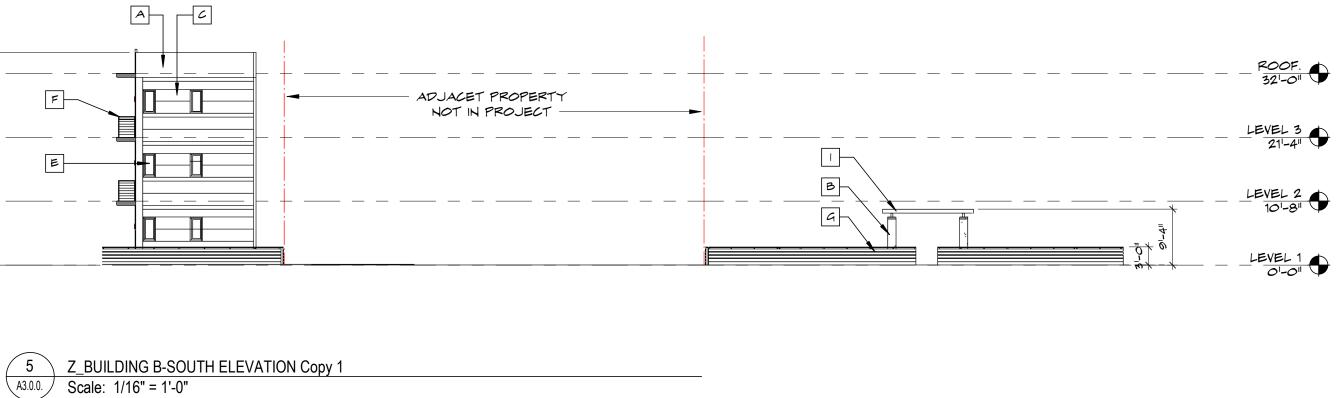
SITE PLAN SUBMITTAL

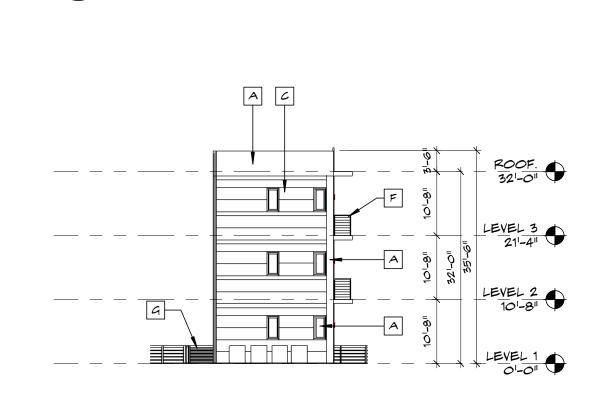












6 Z\_BUILDING B- NORTH ELEVATION Copy 1
A3.0.0. Scale: 1/16" = 1'-0"









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SITE PLAN SUBMITTAL



3 UNIT PLANS - UNIT 3 - THIRD FLOOR - BUILDING 1

A9.0.1. Scale: 3/16" = 1'-0"



VIEW LOOKING SOUTHEAST ON LUCERNE AVENUE

SITE PLAN APPLICATION

Project no: Project Number Date: (07-31-20) Drawn by: Author Project Manager: Checker



VIEW LOOKING SOUTHEAST ON LUCERNE AVENUE

Project no: Project Number Date: (07-31-20) Drawn by: Author Project Manager: Checker

SITE PLAN APPLICATION

Revisions:

Project no: Project Number Date: (07-31-20) Drawn by: Author Project Manager: Checker

TERIAL BOARD

MTL-1
SITE PLAN APPLICATION



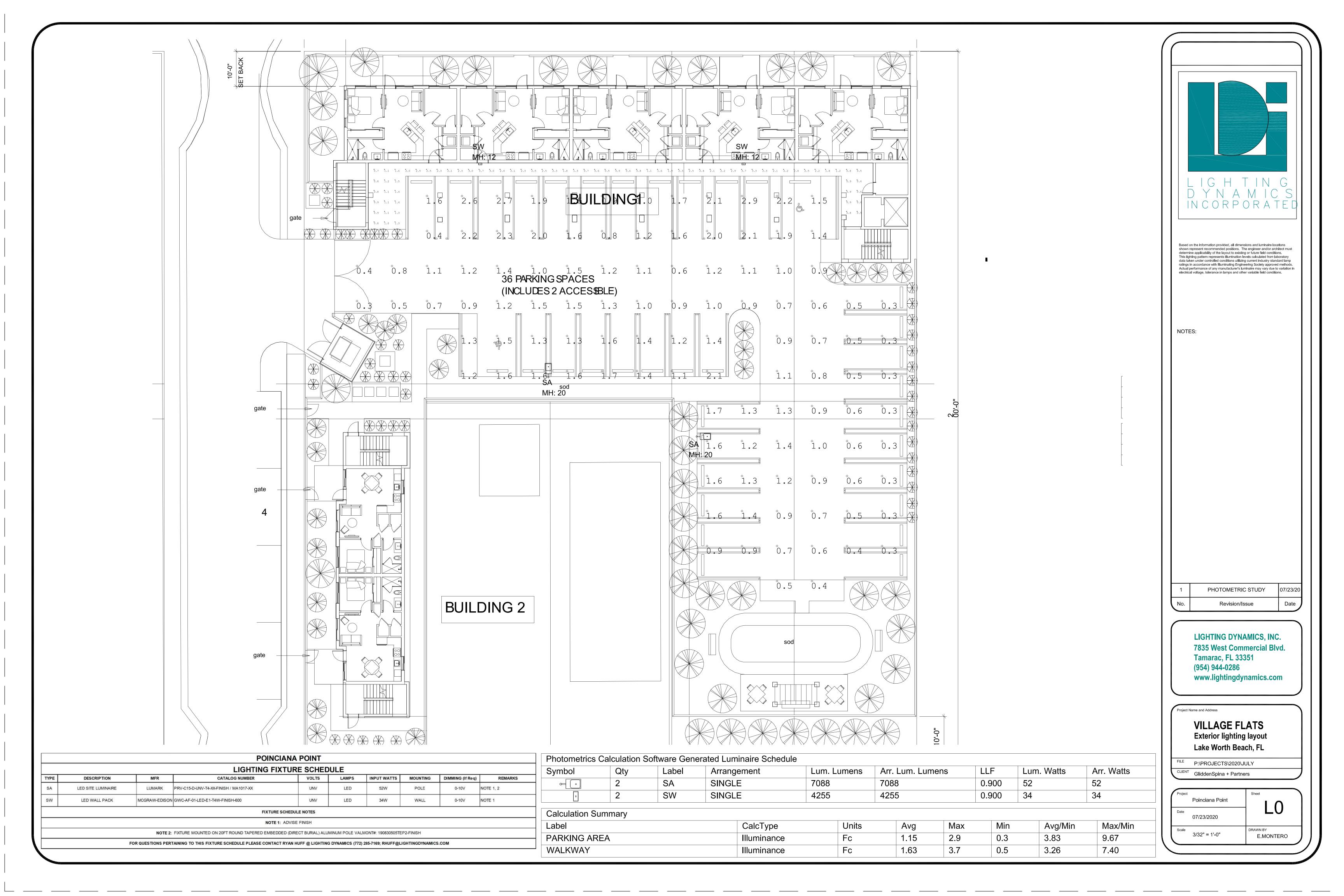


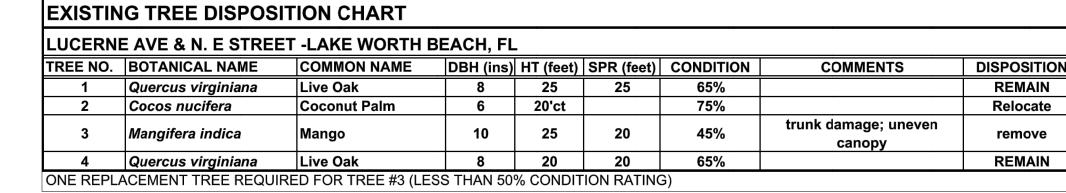
VIEW LOOKING NORTHEAST ON LAKE AVENUE & NORTH 'E' STREET

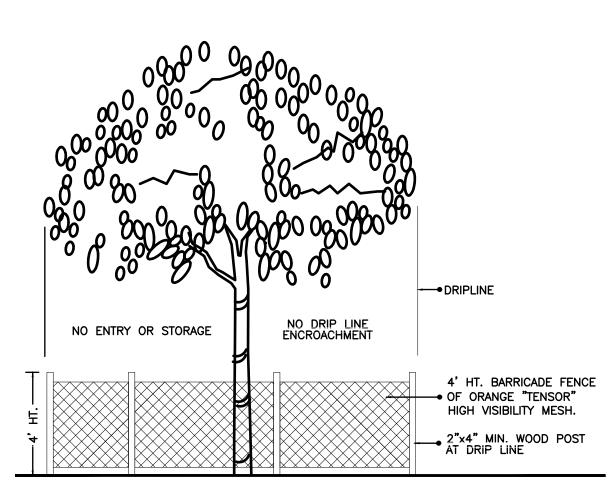
R-2. SITE PLAN SUBMITTAL

Project no: 19125 Date: (07-31-20) Drawn by: MR Project Manager: CS, EL

SITE PLAN APPLICATION VILLAGE FLATS THESE DRAWINGS ARE FOR THE
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# TREE PRESERVATION BARRICADE FENCING DETAIL

GENERAL NOTES:

1. Contractor is responsible for determining all utility locations and installing facilities so as to not conflict.

All damage to existing utilities or improvements caused by Contractor shall be repaired at no additional cost to the Owner.

2. Contractor to notify "Sunshine State One Call of Florida, Inc." at 1-800-432-4770 Two Full Business Days prior to digging for underground utility locations.

3. Contractor shall be responsible for providing final grading of all associated planting areas.

4. After final grade, area to be raked to 6" depth and all rock and foreign inorganic materials removed and disposed of properly off-site.

5. All planting holes to be hand dug except where machine dug holes will not adversely affect or damage utilities or improvements (see note 8).

6. No plunging of any tree or palm will be accepted. All plants to be planted at the nursery grade or

slightly higher.

7. Contractor shall stake & guy all trees and palms at time of planting as per the appropriate detail. Contractor is responsible for the maintenance and/or repair of all staking and guying during warranty period and removal & disposal of staking after establishment period.

8. WATERING: All plant material shall be watered in at time of planting in accordance with standard nursery practices. In addition, Contractor will continue watering of plant material until substantial completion and as

needed thereafter for a period of 2 months.

9. No plant material will be accepted showing evidence of cable, chain marks, equipment scars, or otherwise

10. Plant material will not be accepted when the ball of earth surrounding its roots has been cracked, broken or otherwise damaged.

11. Root-prune all trees a minimum of (8) weeks prior to planting.

12. Tree protection barricades shall be provided by Landscape Contractor around existing trees that may be impacted by the proposed construction. Prior to any construction a tree protection barricade inspection shall be conducted by the landscape architect, owner or governing municipality. Refer to Landscape detail for tree preservation barricade fencing.



REVISIONS

COMMENT:

SITE PLAN SUBMITTAL

www.callsunshine.com

PROJECT No.: DRAWN BY:

CHECKED BY: MTK
DATE: 07-24-2020
CAD I.D.: F200053 LANDSCAPE

PROJECT:

VILLAGE FLATS

FOR
INHABIT LAKE
WORTH BEACH, LLC

LAKE WORTH BEACH, FL



6300 NW 31ST AVENUE FORT LAUDERDALE, FL 33309 PH: (954) 202-7000 FX: (954) 202-7070 www.ThomasEngineeringGroup.com

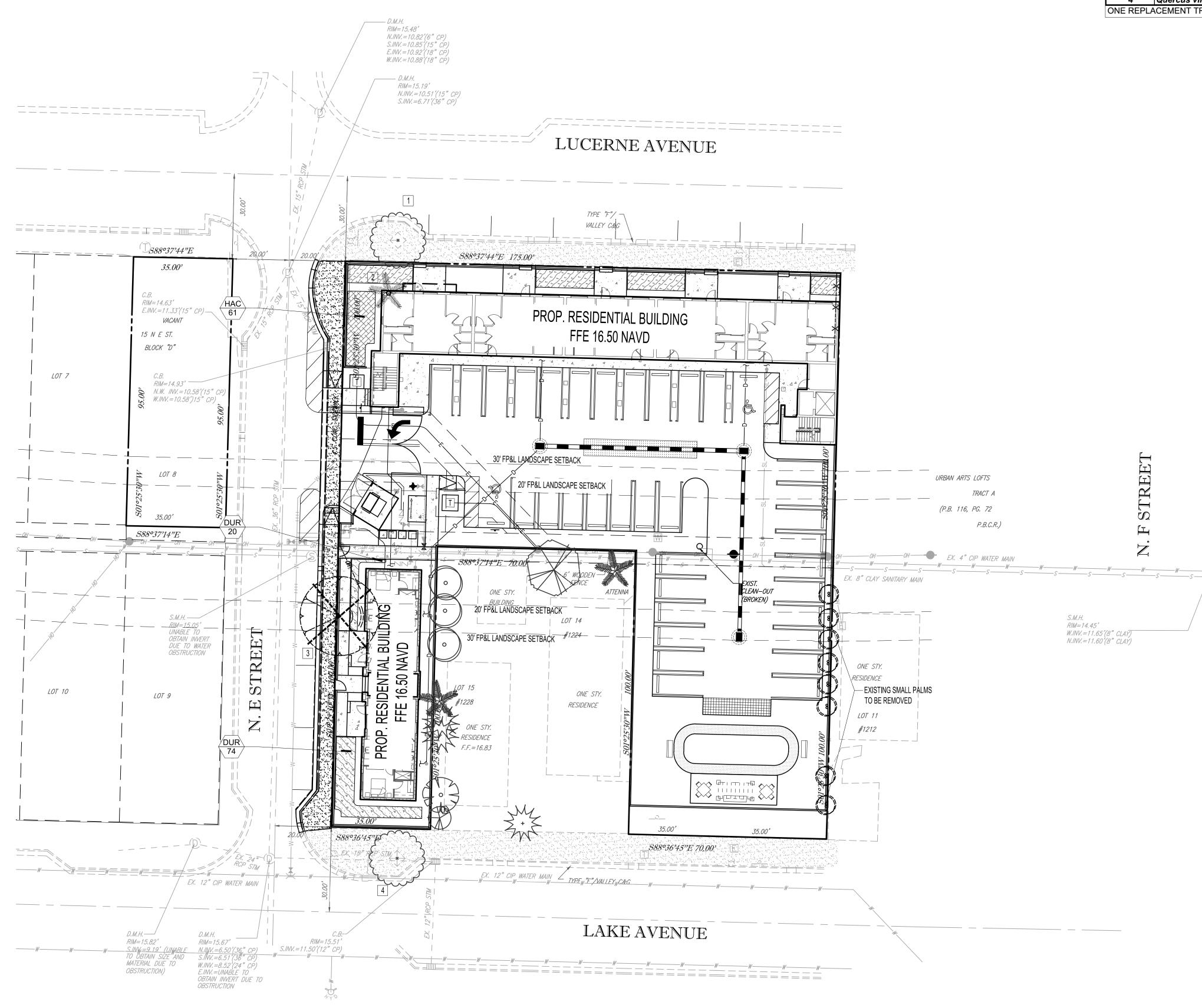


REGISTERED LANDSCAPE ARCHITECT FLORIDA LICENSE No. 6666871 September 21, 2020 FLORIDA BUSINESS CERT. OF AUTH. No. 27528

SHEET TITLE:

TREE DISPOSITION PLAN

SHEET NUMBER:



**ERADICATED & REMOVED** FROM THE ENTIRE SITE

IRRIGATION SYSTEM AS PER CITY CODES AND REQUIREMENTS. SEE SEPARATE IRRIGATION PLANS FOR FURTHER INFORMATION.

SEE SHEET L-2.1 FOR PLANT SCHEDULES, CODE CHART, & TREE MITIGATION REQUIREMENTS

PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE APPLICANT SHALL FINE GRADE AND SOD ALL DISTURBED AREAS WITH BAHIA SOD

ALL MECHANICAL EQUIPMENT, BACKFLOW PREVENTERS, DUMPSTER ENCLOSURES, A/C UNITS, ETC., SHALL BE SCREENED A MIN. OF 6" ABOVE THE TOP OF THE EQUIPMENT IN ADDITION TO THE MINIMUM LANDSCAPE REQUIREMENTS (INCLUDING THOSE VISIBLE FROM PUBLIC RIGHT-OF-WAYS).

ALL EXISTING TREES TO REMAIN SHALL BE STRUCTURALLY PRUNED AND TRIMMED UNDER THE SUPERVISION OF AN ISA CERTIFIED ARBORIST.

ALL COMPACTED SOIL, ROAD ROCK AND EXCESS DEBRIS SHALL BE REMOVED AND A 24" LAYER OF SOIL FAVORABLE TO TREE AND SHRUB GROWTH AND SUSTAINABILITY EXISTS OVER ALL PLANTING AREAS. SOIL COMPOSITION SHOULD CONTAIN 2-4% OR ORGANIC MATTER WITH REMOVAL OF ANY LARGE ROCKS OR DEBRIS, LARGER THAN A LEMON.

DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES, IT SHALL BE UNLAWFUL TO REMOVE VEGETATION BY GRUBBING OR TO PLACE SOIL DEPOSITS, DEBRIS, SOLVENTS, CONSTRUCTION MATERIAL, MACHINERY OR OTHER EQUIPMENT OF ANY KIND WITHIN THE DRIPLINE OF A TREE TO REMAIN ON THE SITE UNLESS OTHERWISE APPROVED BY THE CITY

ANY PERVIOUS AREA TO REMAIN THAT IS DISTURBED BY CONSTRUCTION & IS NOT NOTED ON THE LANDSCAPE PLAN TO HAVE SHRUBS OR GROUNDCOVER SHALL BE SODDED

ALL TREES TO REMAIN MUST BE PROTECTED BY TREE PROTECTION BARRICADES MEETING THE MINIMUM STANDARDS. PROTECTIVE BARRICADES SHALL REMAIN IN PLACE UNTIL LAND ALTERATION AND CONSTRUCTION ACTIVITIES ARE COMPLETED.

ALL TRIMMING UNDERTAKEN ON A TREE PROTECTED BY THE PROVISIONS OF THE LAND DEVELOPMENT CODE SHALL BE PRUNED IN ACCORDANCE WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A-300 PRUNING STANDARDS

ALL SOD SHALL BE ST. AUGUSTINE 'FLORATAM' SOLID SOD UNLESS OTHERWISE NOTED. ALL SOD IN DETENTION AREAS SHALL BE BAHIA 'ARGENTINE'

ANY EXISTING SOD OFFSITE OR WITHIN THE RIGHT-OF-WAYS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY CONTRACTOR





COMMENT:

REVISIONS:

www.callsunshine.com

KNOW WHAT'S BELOW

**ALWAYS CALL 811** 

SITE PLAN SUBMITTAL

DRAWN BY: 07-24-2020 F200053 LANDSCAPE

**VILLAGE FLATS** 

INHABIT LAKE WORTH BEACH, LLC

LAKE WORTH BEACH, FL



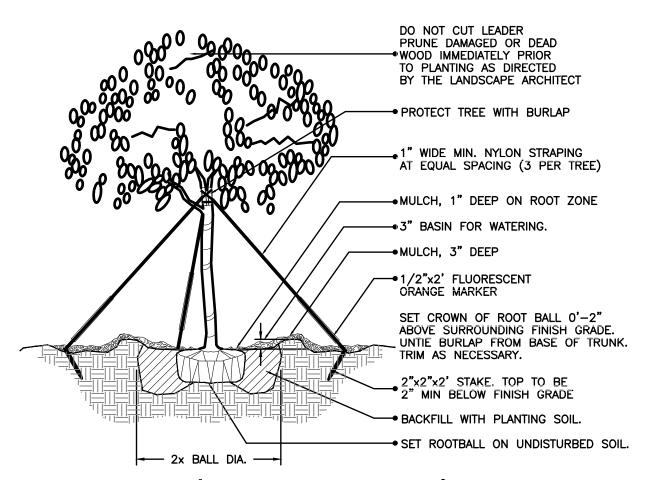
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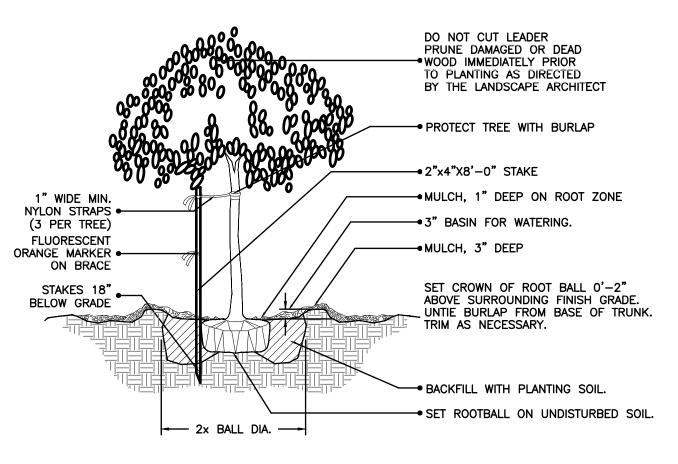
September 21, 2020 FLORIDA BUSINESS CERT. OF AUTH. No. 2752

LANDSCAPE PLAN

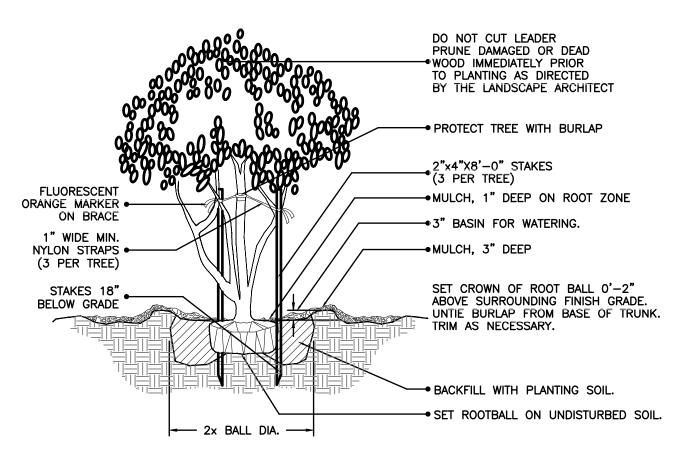
23; ARTICLE 6. Environmental Regulations			
PLANT MATERIAL STANDARDS	<u> </u>	SITE AREA: 0.64 AC ± (27,96)	2.5 S.F.)
Plant materials shall be Florida No. 1 or better			
Trees: 12' ht., 4' ct., 3" Cal.; 50% Native Min.; Existing trees may be credited toward Small Tree: Less than 20' ht. @ Maturity;	min. tree planting	requirements	
Medium Tree: 20'-30' ht. @ Maturity;			
Large Tree: Greater than 30' ht. @ Maturity	_	DEGUIDED	DD01//DED
Sec 23.6-1.(C).2: NEW MULTI-FAMILY/COMMERCIAL DEVELOPMENT		REQUIRED	PROVIDED
<ul><li>b) 10' wide landscape strip between off-street parking/VUA and R/O/W;</li><li>5' wide landscape strip between alleys and off-street parking/VUA</li></ul>			Complies
(1) Small Tree / 15 LF; (1) Medium Tree / 20 LF; OR (1) Large Tree / 25 LF Lucerne Ave 175.0 LF	(175.0.1.5(20)	9 MEDIUM TREES	9 MEDIUM TREES
N. E Street 173.0 LF of Refuse Storage/Structure =	(175.0 LF/20) (155.0 LF/20)	8 MEDIUM TREES	8 MEDIUM TREES
<u>Lake Ave</u> 105.00 LF =	(105.0 LF/15)	7 SMALL TREES	7 Small Trees
Hedge, wall or durable landscape area along interior perimeter or landscape	,		Continuous Hedge 2.5'
<ul> <li>c) 5' wide landscape strip between common lot line &amp; VUA of abutting properties         Not applicable where a proposed parking area or other vehicular use area             an existing hedge or established tree line     </li> <li>(1) Shade Tree / 20 LF</li> </ul>			
<u>East P/L:</u> 80 LF	(80 LF/20)	4 SHADE TREES	4 SHADE TREES
<ul> <li>d) Interior Landscaping:of All pervious areas of a Site (exclusive of VUA/ bldg for not associated with required water retention         <ul> <li>(1) Small Tree / 225 SF;</li> <li>(1) Medium Tree / 400 SF;</li> <li>(1) Large Tree / 625 ST, (1) Medium Tree / 400 SF;</li> <li>(1) Large Tree / 625 ST, (1) Medium Tree / 400 SF;</li> <li>(1) Large Tree / 625 ST, (1) Medium Tree / 400 SF;</li> <li>(2) Large Tree / 625 ST, (1) Medium Tree / 400 SF;</li> <li>(3) Large Tree / 625 ST, (1) Medium Tree / 400 SF;</li> <li>(1) Large Tree / 625 ST, (1) Medium Tree / 400 SF;</li> <li>(2) Large Tree / 625 ST, (2) Medium Tree / 400 SF;</li> <li>(3) Large Tree / 625 ST, (2) Medium Tree / 400 SF;</li> <li>(3) Large Tree / 625 ST, (2) Medium Tree / 400 SF;</li> <li>(4) Large Tree / 625 ST, (2) Medium Tree / 400 SF;</li> <li>(4) Large Tree / 625 ST, (2) Medium Tree / 400 SF;</li> <li>(4) Large Tree / 625 ST, (2) Medium Tree / 400 SF;</li> <li>(5) Large Tree / 625 ST, (2) Medium Tree / 400 SF;</li> <li>(6) Large Tree / 625 ST, (2) Medium Tree / 400 SF;</li> <li>(6) Large Tree / 625 ST, (2) Medium Tree / 400 SF;</li> <li>(7) Large Tree / 625 ST, (2) Medium Tree / 400 SF;</li> <li>(8) Large Tree / 625 ST, (2) Medium Tree / 400 ST, (2) Medium</li></ul></li></ul>		7 SMALL TREES	7 SMALL TREES
A 5' wide building landscape area adjacent to bldg perimeters (1) Shrub / 5 SF of Bldg Foundation Landscape Area required (6)	70LF *5 ft]/5 sf)	670 SHRUBS	EXCEEDS
Sec 23.6-1.(C).3: INTERIOR LANDSCAPE REQUIREMENT FOR PARKING/OTHER VUA			
<ul> <li>a. The amount of interior landscaping within off-street parking areas shall be≥20 the total area used for parking &amp; accessways (11,3</li> <li>b. A group of palms or shade tree / 125 SF of required [VUA] interior landscapin L Includes: (1) Shade Tree shall be planted in every interior island (20% Max</li> </ul>	77.39 <i>SF</i> *20%) g Palms)	2,275.5 SF 18 TREES	2,275.5 SF 18 TREES Complies
c. Interior Landscape islands (8' minimum interior dimension) @ 1/10 Parking Sp with 1 Tree/Island	0 Islands	NA	NA
d. Terminal Parking Islands (8' minimum interior dimension) 1 Tree/Island	5 Islands	5 TREES	5 TREES
Sec 23.6-1.(J).6: INTERIOR LANDSCAPE REQUIREMENT FOR PARKING/OTHER VUA Minimum 75% of all Plants Shall be Florida Native			
	59 Trees 789 Shrubs	44.25 TREES 591.75 SHRUBS	47 TREES (79.6%) 734 SHRUBS (93%)
Sec 23.6-1.(K).7: INTERIOR LANDSCAPE REQUIREMENT FOR PARKING/OTHER VUA			
Palms Shall Contribute no more than 20% of Required Trees	59 Req. Trees	11.8 TREES	11 TREES (18.6%) (33 PALMS)
Sec 23.6-7.(c)4: MITIGATION			
TREES AND PALMS WITH A CONDITION RATING LESS THAN 50% ARE EXEMPT FROM DBH INCH-FOR-INCH REQUIREMENT, BUT ARE REQURED TO BE MITIGATED ON A TREE-FOR-TREE OR PALM-FOR-PA			
BASIS (1 TREE <50% REMOVED)	_IVI	1 Replacement Tree	1 Replacement Tree
Г	TOTALS	59 TREES	59 TREES *



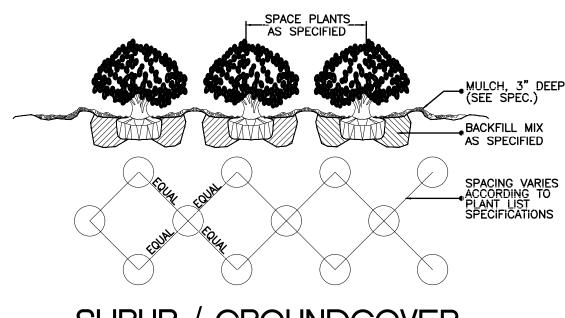
# (2" cal. and over) LARGE TREE PLANTING DETAIL



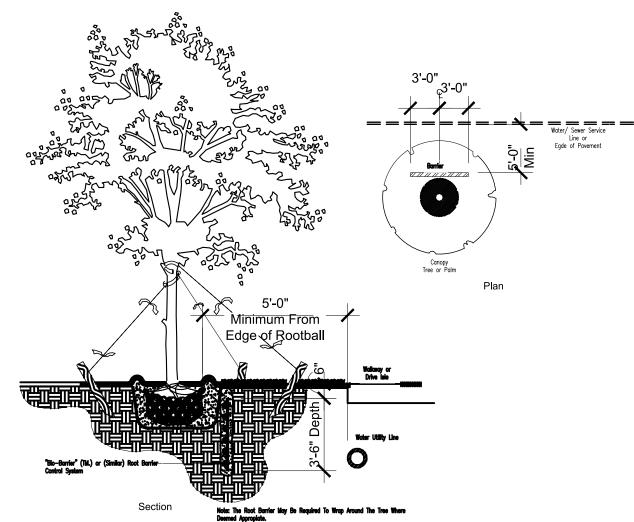
# (2" cal. and under) SMALL TREE PLANTING DETAIL



# MULTI- TRUNK AND SMALL TREE (2" cal. and under) PLANTING DETAIL

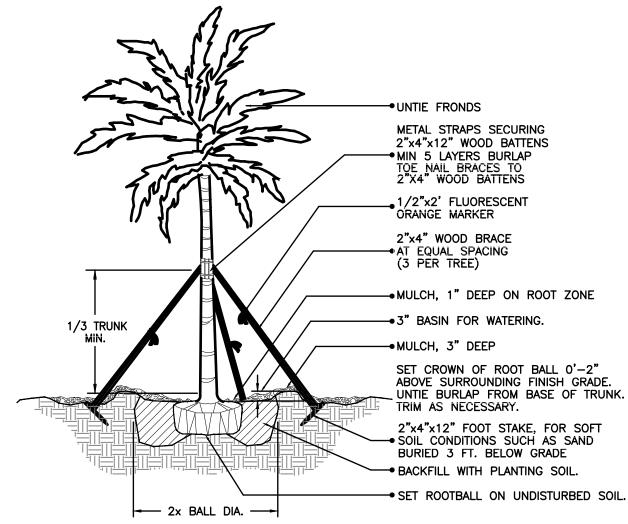


SHRUB / GROUNDCOVER SPACING / PLANTING DETAIL

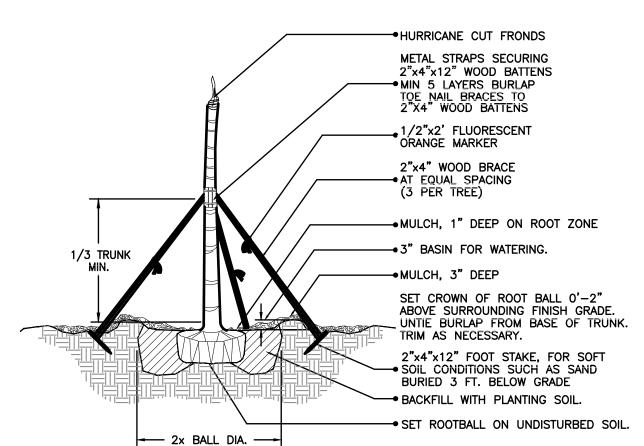


# TYPICAL ROOT BARRIER APPLICATION DETAIL

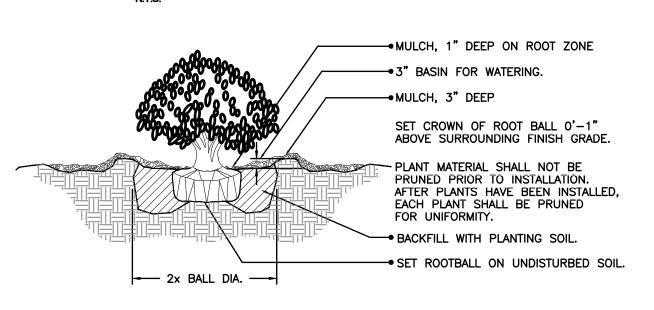
\*OR APPROVED EQUAL



# LARGE PALM PLANTING DETAIL



# CIGARED SABAL PALM PLANTING DETAIL



SHRUB PLANTING DETAIL

"Bio-Barrier" Is Manufactured By:
"Reemay, Inc." - 70 Old Hickory Blvd. - P.O.Box 51'
Old Hickory, TN 37138 - Phone: 1-800-25-ROOTS

Applicable Use of Root Barriers:

If a Canopy Tree and/ or Palm Is To Be Installed

Vithin Less Than (10') Ten Feet Separation From A

Water Main (or Service) and/ or Sewer Main (or Service). The Landscape Contractor Shall Install a Root Barrier Parallel To The Utility As Required and as per This Detail. The Contractor Shall Maintain A (5') Five Feet Minimum Horizontal Distance From Outside Edge of Rootball To The Utility or any Pavec or Concrete Surface.

The Landscape Contractor Shall Verify The Existing Locations of The Applicable Water Utilities, In The Field, Prior To Any Tree Installations Requiring A Root Barrier.

Suggested Installation Method:

Dig A Vertical Trench Between The Root Source of The Tree and The Surface and/ or Utility Line To Be Protected. The Trench Must Be At Least 6'-0" In Length (Centered On Tree) and Must Be at Least 4'-0" In Depth Parallel To The Applicable Surface, Service and/ or Utility. Note: For New Tree installations, Trench May Be Dug At The Same Time as The Hole For The Applicable Tree and/ or Palm.

Using Impervious Gloves, Roll Out "Bio-Barrier" and Trim To Fit The Specific Application. Insert The Barrier Vertically Into The Trench, With The Top Edge of The Barrier (6") Six Inches Below The Soil

Tamp Backfill Firmly Into Trench With 'Bio-Barrier' Contained, Eliminating Air Pockets or Soil Voids Accordingly. Dissolve The Coating and Activate Th Product By Saturating The Backfill and 'Bio-Barrier' With Water. After Completed, Smooth The Soil Surface To Finish Grade, Allowing Excess Material

REV: DATE: COMMENT: BY:

KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIC It's fast, It's free, It's the law. www.callsunshine.com

SITE PLAN SUBMITTAL

PROJECT No.: F200053
DRAWN BY: JFV
CHECKED BY: MTK
DATE: 07-24-2020
CAD I.D.: F200053 LANDSCAPE

PROJECT:

VILLAGE FLATS

INHABIT LAKE
WORTH BEACH, LLC

LAKE WORTH BEACH, FL

THOMAS ENGINEERING GROUP

6300 NW 31ST AVENUE FORT LAUDERDALE, FL 33309 PH: (954) 202-7000 FX: (954) 202-7070 www.ThomasEngineeringGroup.com



REGISTERED LANDSCAPE ARCHITECT FLORIDA LICENSE No. 6666871 September 21, 2020 FLORIDA BUSINESS CERT. OF AUTH. No. 2752

SHEET TITLE:

PLANT SCHEDULE, NOTES & DETAILS

SHEET NUMBER:  ${f L}$  –  ${f 2.1}$ 

1. THE WORK CONSISTS OF FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.

2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL PLANTING AREAS OF THIS CONTRACT UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER.

#### B. PROTECTION OF EXISTING STRUCTURES

1. ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, AND OTHER ITEMS OF CONSTRUCTION AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THIS CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER.

#### C. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS, EXISTING OR OTHERWISE, CAUSED BY CARELESS OPERATION OF EQUIPMENT, STOCKPILING OF MATERIALS, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP – LINE OR THE SPILLING OF OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP – LINE.

2. NO MATERIALS SHALL BE BURNED WHERE THE HEAT WILL DAMAGE ANY PLANT, TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY PERCENT (20%) PER INCH OVER FOUR INCHES (4") CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES, OR AS MAY BE REQUIRED BY THE REGULATING GOVERNMENT AGENCY, WHICHEVER IS GREATER. CALIPER SHALL BE MEASURED AT BREAST HEIGHT OR FOUR FEET (4') ABOVE SURROUNDING GROUND.

#### D. MATERIALS

1. SUBMITTALS: GENERAL SAMPLES OF PLANTING MATERIALS AS LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON THE SITE OR AS OTHERWISE DETERMINED BY THE OWNER. UPON APPROVAL OF SAMPLES, DELIVERY OF MATERIALS MAY BEGIN. MATERIALS SAMPLE SUBMITTALS

MULCH ONE (1) CUBIC FOOT TOPSOIL ONE (1) CUBIC FOOT

PLANTS ONE (1) REPRESENTATIVE SAMPLE OF EACH VARIETY

#### 2. PLANT MATERIALS

A) GENERAL: PLANT SPECIES, SIZES, & QUANTITIES SHALL, AT A MINIMUM, CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH "GRADES AND STANDARDS FOR NURSERY PLANTS" PARTS I AND II, LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. ALL PLANTS SHALL BE FLORIDA NO. 1 AS AN ABSOLUTE MINIMUM UNLESS OTHERWISE SUPERSEDED BY A FLORIDA FANCY DESIGNATION. AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY, ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL – BRANCHED AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE, AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST. THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.

B) MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE TOP OF ROOT BALL (TRUNK FLARE) AND/OR ACROSS THE AVERAGE SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION

C) INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY; SUCH PRELIMINARY APPROVAL SHALL NOT SUPERSEDE THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF BALLS OR ROOTS, LATENT DEFECTS OR INJURIES, PRESENCE OF INSECTS, AND OTHER CONDITIONS THAT MAY HAVE OCCURRED SINCE THE NURSERY INSPECTION. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

D) AMENDED PLANTING SOIL: PLANTING SOIL FOR USE IN BACK FILLING PLANTING HOLES SHALL BE FORTY PERCENT (40%) TOPSOIL AND SIXTY PERCENT (60%) SAND AND BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER, WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND OBTAINED FROM A WELL-DRAINED, ARABLE SITE. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND SHALL BE FREE FROM HEAVY CLAY, COARSE SAND, STONES, LIME, LUMPS, PLANTS, ROOTS OR OTHER FOREIGN MATERIALS, OR KIOUS WEEDS. IT SHALL NOT CONTAIN TOXIC SUBSTANCES WHICH MAY BE HARMFUL TO PLANT GROWTH. PI RANGE SHALL BE 5.0 TO 7.0 INCLUSIVE.

E) SAND SHALL BE CLEAN, WELL DRAINING NATIVE SAND. IF REQUESTED, CONTRACTOR SHALL AT ANY TIME AND AT NO COST TO OWNER, SUBMIT RESULTS OF SOIL TESTS FOR TOPSOIL AND SAND PROPOSED FOR USE UNDER THIS CONTRACT FOR APPROVAL BY OWNER.

### E. WATER

1. WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE GROWTH OF PLANTS AND SHALL NOT CONTAIN HARMEUL NATURAL OR MAN - MADE FLEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SUCH SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

### F. COMMERCIAL FERTILIZER

1. COMMERCIAL FERTILIZER SHALL BE A COMPLETE FORMULA; IT SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS. FIFTY PERCENT (50%) OF THE NITROGEN SHALL BE DELIVERED FROM NATURAL ORGANIC SOURCES. THE FOLLOWING FERTILIZERS SHALL BE USED AND APPLIED AT RATES AS SUGGESTED BY MANUFACTURER'S

SPECIFICATIONS: 1. SHRUBS AND TREES - MILORGANITE, OR APPROVED EQUAL

2. ANNUALS AND GROUNDCOVERS - OSMOCOTE/SIERRA BLEND 14 - 14 - 14 3.SOD - 8 - 8 - 8

IN ADDITION TO SURFACE APPLIED FERTILIZERS, ALL CONTAINER GROWN AND FIELD GROWN PLANT MATERIAL SHALL RECEIVE "AGRIFORM" PLANTING TABLETS 24 – 10 – 5 FORMULA, 21 GRAM OR EQUAL. THESE TABLETS SHALL BE PLACED AT THE RATE AND DEPTH SPECIFIED BY MANUFACTURER.

1. MULCH SHALL BE FROM SHREDDED WOOD DERIVED FROM MELALEUCA OR OTHER INVASIVE TREE SPECIES AND SHALL BE STERILIZED TO EFFECTIVELY ELIMINATE ALL SEEDS. SPORES. ETC. AND RENDER THEM BARREN.

2. MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT AND APPLIED AT A DEPTH OF THREE INCHES (3"). MULCH IS TO BE KEPT 2-3" FROM THE STEM OF ALL GROUNDCOVERS & 3-6" FROM THE TRUNK OF ALL TREES & PALMS.

3. MULCH SHALL BE GRADE 'B' SHREDDED, AND SHALL BE APPLIED EVENLY AND SMOOTH TO PLANTED AREAS.

4. NO RED OR COLORED MULCH SHALL BE ACCEPTED UNLESS SPECIFIED ACCORDINGLY. NO CYPRESS MULCH OR PINE BARK SHALL BE USED.

### **H. DIGGING AND HANDLING**

1. PROTECT ROOT SYSTEMS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN AND DRYING WINDS, WATER EROSION, AND OTHER HARMFUL CRITERIA AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT BREAKING AND DRYING OUT DURING LOADING, TRANSIT, AND UNLOADING/PLANTING. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILTPRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.

2. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS, AND IN ACCORDANCE WITH "GRADES AND STANDARDS FOR NURSERY PLANTS" FLORIDA PUBLICATION. NO PLANT WITH A ROOTBALL SHALL BE PLANTED IF

THE BALL IS CRACKED OR BROKEN. PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS.

3. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS. THE ROOTS SHALL NOT BE CUT WITHIN THE MINIMUM SPREAD SPECIFIED IN THE PLANT LIST. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT IN MOVING AND PRIOR TO PLANTING.

4. PROTECTION OF PALMS (IF APPLICABLE): ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS BY "GRADES AND STANDARDS FOR NURSERY PLANTS" FLORIDA PUBLICATION. PRUNING PRACTICED OTHER THAN MINIMAL PRUNING OF FRONDS, PRIMARILY TO REACH A "CLEAR TRUNK" SPECIFICATION, MAY CONSTITUTE REJECTION, OF ALL PALMS SUBJECTED TO SUCH PRACTICE. LIKEWISE, EXCESSIVE PRUNING OR "SHAVING" OF ROOT BALLS TO MEET "CLEAR TRUNK" CRITERIA MAY CONSTITUTE REJECTION ONSITE. ALL PALMS SHALL BE BRACED PER PALM PLANTING DETAIL ON THE PLANTING DETAILS SHEET.

5. EXCAVATION OF PLANTING HOLES SHALL BE DONE USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS, AND PREPARED SUB-BASES.

1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL – ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION, AND SHALL MEET MINIMUM SPECIFICATIONS IN THE PLANT LIST.

2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GOWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.

#### 3. PLANT ROOTS BOUND IN CONTAINERS OR WITH CIRCLING ROOTS SHALL NOT BE ACCEPTABLE

4. SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NEED AUTHORIZATION FROM THE OWNER. LIKEWISE, SUBSTITUTION OF CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE BALLED AND BURLAPPED/FIELD GROWN WILL NEED AUTHORIZATION FROM THE OWNER AND LA OF RECORD PRIOR TO THE ORDERING OF ANY MATERIALS.

5. ALL PLANT MATERIALS SHALL MEET THE MINIMUM SPECIFICATIONS LISTED IN THE PLANT SCHEDULE; SIZE (HEIGHT/SPREAD) SPECIFICATIONS TAKE PRECEDENCE OVER GALLON SIZES (IF GALLON SIZES ARE SPECIFIED).

#### J. COLLECTED STOCK

1. WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED ON THE PLANT LIST SCHEDULE, THE MINIMUM SIZES OF ROOT BALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.

#### K. NATIVE STOCK

1. PLANTS COLLECTED FROM WILD OR NATIVE STAND SHALL BE CONSIDERED GROWN WHEN THEY HAVE BEEN SUCCESSFULLY REESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW.

#### L. MATERIALS LIST

1. QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS, SHOULD A DISCREPANCY OCCUR BETWEEN A BIDDER'S TAKE OFF AND THE PLANT LIST QUANTITY, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO THE SUBMISSION OF BIDS. DRAWING SHALL TAKE PRECEDENCE. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE. WHERE NO GALLON SIZE IS SPECIFIED ON CONTAINERIZED SHRUBS OR GROUNDCOVERS, THE HEIGHT & SPREAD SPECIFICATIONS SHALL PREVAIL.

1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED.

2. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.

3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS.

1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN UP WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE COMPLETELY REMOVED FROM THE SITE. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY AFFECT THE VIABILITY OF THE PLANTS TO BE INSTALLED, HE/SHE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S CONSTRUCTION MANAGER OR DESIGNEE.

2. DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES, IT SHALL BE PROHIBITED TO REMOVE VEGETATION BY GRUBBING OR TO PLACE SOIL DEPOSITS, DEBRIS, SOLVENTS, CONSTRUCTION MATERIAL, MACHINERY OR OTHER EQUIPMENT OF ANY KIND WITHIN THE DRIPLINE OF A TREE TO REMAIN ON THE SITE UNLESS OTHERWISE APPROVED BY THE JURISDICTIONAL MUNICIPALITY

3. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES. INCLUDING BUT NOT LIMITED TO: ELECTRIC. GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORM WATER LINES, CABLE AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES.

4. SUBGRADE EXCAVATION: CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO MINIMUM DEPTH OF APPROXIMATELY 20% GREATER THAN THE RECOMMENDED PLANTING SOIL DEPTH – UNLESS OTHERWISE SPECIFIED BY JURISDICATIONAL CODE. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ONSITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED. CONTRACTOR SHALL UTILIZE PLANTING DETAIL THAT ADDRESSES POOR

DRAINAGE OR CONTACT OWNER'S CONSTRUCTION MANAGER OR DESIGNEE FOR RESOLUTION. CONTRACTOR IS TO ENSURE THAT ALL COMPACTED SOIL, ROAD ROCK, & EXCESS DEBRIS SHALL BE REMOVED & A 24" LAYER OF NON-LIMEROCK PLANTING SOIL FAVORABLE TO SHRUB GROWTH & SUSTAINABILITY EXISTS OVER ALL PLANTING AREAS. TREE PITS SHALL BE EXCAVATED & BACKFILLED WITH PLANTING SOIL TO A MINIMUM

5. RECOMMENDED PLANTING SOIL DEPTH IS GENERALLY AS FOLLOWS: ALL TREES AND TALL SHRUBS (INDICATED AS 'SHRUBS' & 'SHRUBS AREAS' ON THE PLANT SCHEDULE) SHALL BE PLANTED WITH A MINIMUM OF 12" TOPSOIL AROUND AND BENEATH THE ROOTBALL; MINIMUM TOPSOIL SHALL

BE 6" FOR LOW SHRUBS/GROUNDCOVER AREAS AND 2" FOR SODDED GRASS AREAS. THE MINIMUM TOPSOIL DEPTHS ARE IN ADDITION TO A MINIMUM NON-LIMEROCK SOIL DEPTH OF 12"-30", CONSISTING OF EXISTING UNDISTURBED OR NATIVE SOIL THAT WAS STORED/STOCKPILED ON SITE AND REUSED, OR CLEAN IMPORTED PLANTING SOIL WITH A RANGE OF ORGANIC MATTER BETWEEN 3-5% CONTAINING NO STONES GREATER THAN AN INCH AND A HALF IN DIAMETER IN ANY DIRECTION, TOPSOIL DEPTHS PLUS PLANTING SOIL/EXISTING NATIVE SOIL MINIMUM DEPTHS ARE IN ADDITION TO ANY LIMESTONE/LIMEROCK SUBGRADE, & IN ADDITION TO EXCAVATION WIDTHS REQUIRED FOR TREE PITS AS SHOWN ON THE PLANTING DETAILS. IT IS THE CONTRACTORS RESPONSIBILITY TO VISIT THE SITE & TAKE REASONABLE MEASURES AS PART OF DUE DILIGENCE TO DETERMINE THE EXTENT OF EXCAVATION REQUIRED & TO DETERMINE THE AMOUNT OF PLANTING SOIL NECESSARY TO ENSURE LONG-TERM SUSTAINABILITY & SURVIVAL OF THE PLANT MATERIALS IN

ACCORDANCE WITH THIS CONTRACT. 6. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE. 7. GENERAL: COMPLY WITH FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. PLANTS SHALL BE PROTECTED UPON ARRIVAL AT THE SITE BY BEING THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS SHALL NOT REMAIN UNPROTECTED FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES

8. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE THE PLANTING WITH THE IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION ITEMS AND PLANTS.

9. ALL PLANTING HOLES SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD TO NURSERY STOCK 280.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACKFILLED WITH THE PREPARED

PLANTING SOIL AS SPECIFIED HEREIN BEFORE (SEE MATERIALS, SECTION D). TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE PLANTING DETAIL THAT ADDRESSES THIS CONDITION. POOR DRAINAGE CONDITIONS TYPICALLY HAVE A PERCOLATION RATE OF 4" OR LESS PER HOUR, AS DETERMINED BY THE GEOTECHNICAL ENGINEER. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURE AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STICK" OR EQUAL RECOMMENDED.

10. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS, CURBS, PAVING, AND OTHER HARDSCAPE MATERIALS WHILE INSTALLING TREES.

11. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION D (MATERIALS) OF THESE SPECIFICATIONS. IN ADDITION, FACH PLANTING HOLF SHALL RECEIVE 21-GRAM "AGRIFORM" PLANTING TABLETS PER MANUFACTURER'S SPECIFICATIONS OR AS FOLLOWS:

- TWO (2) TABLETS PER 1 GAL. PLANT - THREE (3) TABLETS PER 3 GAL. PLANT - FOUR (4) TABLETS PER 10 GAL. PLANT

LARGER MATERIAL -TWO (2) TABLETS PER HALF INCH (1/2") OF TRUNK CALIPER

12. TREES AND SHRUBS SHALL BE SET STRAIGHT AND AT SUCH A LEVEL THAT AFTER SETTLEMENT, THE TOP OF THE ROOT SYSTEM (FOR SHRUBS AND GROUNDCOVER) OR TRUNK FLARE (TREES AND PALMS) WILL STAND ONE (1) TO TWO (2) INCHES ABOVE FINAL GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PLANTING HOLE. PLANTING SOIL MIXTURE SHALL BE BACKFILLED AND THOROUGHLY TAMPED AROUND THE BALL AND SHALL BE SETTLED BY WATER AFTER TAMPING.

13. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, TURNING SOIL IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET OR OTHER TAMPING DEVICE. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE, ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, ETC., SHALL BE

14. PRUNING: FOR DAMAGED OR BROKEN LIMBS, EACH TREE SHALL BE PRUNED TO PRESERVE THE NATURAL CHARACTER OF THE SPECIES. ALL SUCKER GROWTH SHALL BE COMPLETELY REMOVED PRIOR TO DIGGING.

15. SHRUBS AND GROUNDCOVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED IN THE PLANT LIST. CULTIVATE ALL MASS PLANTING AREAS TO A MINIMUM DEPTH OF 6", REMOVE AND DISPOSE OF ALL DEBRIS, TILL 4" OF PLANTING SOIL MIX INTO THE NEWLY TILLED PLANTING BED FOR GENERAL NUTRIENT DISBURSEMENT. MASS PLANTING BED IS NOW READY TO RECEIVE HOLES FOR NEW PLANTS. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.

16. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE LANDSCAPE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO ENSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. TREES SHALL USE ARBORTIE AS PER DETAIL SHEET. PALMS SHALL USE WOOD BRACING PER DETAIL SHEET.

17. MULCHING: PROVIDE A THREE INCH (3") MINIMUM LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUNDCOVER AND VINE BED AND TREE PIT (FOR TREES AND PALMS, MIN. THREE INCH (3") FROM EDGE OF TRUNKS). – UNLESS OTHERWISE REQUIRED BY LOCAL CODES AND SPECIFIED AS SUCH.

18. SYSTEMIC HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER OR THEIR DESIGNEE, A SYSTEMIC HERBICIDE SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. AFTER MULCH HAS BEEN APPLIED TO PLANTING BEDS AND TREE RINGS, TREAT ALL MULCHED AREAS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER.

STENOTAPHRUM SECUNDATUM, V. 'FLORITAM' UNLESS OTHERWISE NOTED. (ST. AUGUSTINE SOLID SOD). 1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING: COMPLETE IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A GRASS LAWN ACCEPTABLE TO THE OWNER AND GOVERNING AGENCIES.

2. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND OTHER DEBRIS, AND THE SOIL BROUGHT TO AN EVEN PREPARED GRADE TO ALLOW FOR SOIL

3. SOIL PREPARATION: PREPARE LOOSE BED FOUR INCHES (4") DEEP. APPLY FERTILIZER AT A RATE OF TWENTY (20) POUNDS PER ONE THOUSAND (1000) SQUARE FEET. APPLICATION SHALL BE UNIFORM. UTILIZING COMMERCIAL BROADCAST SPREADERS. MIX FERTILIZER THOROUGHLY WITH THE SOIL TO A DEPTH OF THREE INCHES (3"). HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY TO PREPARE FOR SOD INSTALLATION.

4. SODDING: THE CONTRACTOR SHALL SOD ALL THE PERVIOUS AREAS THAT ARE NOT PAVED OR PLANTED AS FOR THE SITE. ALL PERVIOUS AREAS TO REMAIN THAT ARE DISTURBED BY CONSTRUCTION & NOT SHOWN TO HAVE SHRUBS OR GROUNDCOVER ON THE LANDSCAPE PLAN SHALL BE SODDED BY CONTRACTOR. ALL SOD OFF-SITE OR IN THE RIGHT-OF-WAY (DEDICATED OR OTHERWISE) SHALL BE BAHIA 'ARGENTINE' SOLID SOD UNLESS OTHERWISE NOTED.

A) THE SOD SHALL BE CERTIFIED TO MEET FLORIDA STATE BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETY TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS, AND DISEASE OF ANY KIND, SOD PANELS SHALL BE LAID TIGHTLY TOGETHER TO MAKE A SOLID, SODDED LAWN AREA.

B) SOD SHALL BE LAID IN ROWS WITH EVERY OTHER ROW STAGGERED HALFWAY BETWEEN THE NEXT TO INSURE NO CONTINUOUS STACKED JOINTS. SEW JOINTS OF SOD TO INSURE A TIGHT FIT AT JOINTS. WITH GAPS NO GREATER THAN 1" BETWEEN SOD PANELS.

C) SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A FOUR INCH (4") MULCH STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOD LAYING. THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED TO THOROUGHLY MOISTEN THE SOIL BENEATH. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND AS APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN.

5. DURING DELIVERY, PRIOR TO ADD DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE INSTALLED DURING THE DAY OF ITS ARRIVAL.

### 6. LAWN MAINTENANCE:

A) WITHIN THE SITE, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS UNTIL CERTIFICATION OF ACCEPTABILITY BY OWNER OR AS IN THE ORIGINAL WORK SCOPE AND PROCESS (INCLUDING REGRADING IF NECESSARY).

B) WATER EVERY DAY FOR FOURTEEN (14) SUCCESSIVE DAYS, THEN WATER THREE (3) TIMES PER WEEK (AT EVEN INTERVALS) UNTIL FULLY ESTABLISHED OR UNTIL AUTOMATIC IRRIGATION SYSTEM IS FULLY OPERATIONAL AND PROGRAMMED ACCORDINGLY. COORDINATE WATERING SCHEDULE WITH NATURAL RAINFALL. RAINFALL EVENTS IN DURATION OF TWENTY (20) MINUTES OR MORE THAT PRODUCE MORE THAN A HALF INCH (1/2") OF PRECIPITATION WILL NEGATE THE NEED FOR WATERING OF THE FOLLOWING DAY IF PREVIOUSLY SCHEDULED. ALL WATERING SHALL BE OF SUFFICIENT QUANTITY TO WET OR RESTORE WATER TO A DEPTH OF FOUR INCHES (4").

### P. CLEANUP

1. UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

### Q. PLANT MATERIAL MAINTENANCE

1. ALL PLANTS AND PLANTING MATERIALS INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER OR OWNER'S DESIGNEE. MAINTENANCE AFTER THE CERTIFICATION OF AN ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE TO COVER LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PERIOD OF NINETY (90) CALENDAR DAYS COMMENCING AFTER ACCEPTANCE (SEE NEXT SECTION).

#### R. MAINTENANCE (ALTERNATIVE BID ITEM)

1. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE FOR LANDSCAPE AND IRRIGATION MAINTENANCE FOLLOWING THE INITIAL 90-DAY MAINTENANCE PERIOD ON A COST PER MONTH BASIS.

1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED BY THE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER OR OWNER'S DESIGNEE. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CARE & MAINTENANCE OF THE PLANT MATERIAL UNTIL THE END OF ESTABLISHMENT OR 60 DAYS AFTER FINAL LANDSCAPE CERTIFICATION BY THE LANDSCAPE ARCHITECT, WHICHEVER IS LATER, & SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR AS NEEDED TO ENSURE ADEQUATE WATER IS SUPPLIED TO THE PLANT MATERIALS DURING ESTABLISHMENT. AT THE END OF THE ESTABLISHMENT PERIOD, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THE IRRIGATION TIMECLOCK IS ADJUSTED TO A NORMAL WATERING CYCLE PER THE IRRIGATION WATERING SCHEDULE SHOWN ON THE IRRIGATION PLANS.

2. THE LIFE AND SATISFACTORY CONDITION OF ALL SOD INSTALLED BY THE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF NINETY (90) CALENDAR DAYS, COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNERS OR OWNER'S DESIGNEE.

3. REPLACEMENT: ANY PLANT NOT IN A HEALTHY, THRIVING GROWING CONDITION SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. SHOULD THE OWNER ELECT, TREES AND PALMS MAY BE GIVEN A PERIOD OF NINETY (90) DAYS BEFORE REMOVAL TO ALLOW THE CONTRACTOR TO RESURRECT THE TREE OR PALM IN QUESTION AND BRING IT TO A THRIVING, HEALTHY CONDITION. ALL REPLACEMENTS SHALL BE PLANTS OF LIKE KIND. CONDITION AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED, PLANTED, AND MULCHED AS SPECIFIED WITHIN THESE SPECIFICATIONS, AT NO ADDITIONAL COST TO THE OWNER. ANY REPAIRS FROM THIS REPLACEMENT MATERIAL SHALL BE SOLELY THE CONTRACTOR'S RESPONSIBILITY. REPLACEMENT MATERIAL SHALL BE GUARANTEED TO A ONE (1) YEAR PERIOD FROM THE DAY OF REPLACEMENT ACCEPTANCE BY THE OWNER. SHOULD REPLACEMENT MATERIAL FAIL WITHIN THE GUARANTEE PERIOD, OWNER MAY OPT FOR A CREDIT OF THE MONETARY AMOUNT FOR THE REPLACEMENT MATERIALS AT A RATE OF THE ORIGINAL CONTRACT BID RATE, IN LIEU OF AN ADDITIONAL REPLACEMENT.

4. IN THE EVENT THE OWNER ELECTS NOT TO CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE (AND IRRIGATION) MAINTENANCE. THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER OR THEIR DESIGNEE, AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH OF ITEMS UNDER REPLACEMENT WARRANTY. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

#### T. FINAL INSPECTION AND ACCEPTANCE OF WORK

1. FINAL INSPECTION BY OWNER OR THEIR DESIGNEE AT THE END OF THE GUARANTEE PERIOD SHALL INCLUDE PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY PLANTS NOT MEETING THE CRITERIA OF HEALTHY, VIGOROUS, AND THRIVING AT THIS TIME, AND THAT HAVE NOT ALREADY BEEN REPLACED PREVIOUSLY UNDER SAID WARRANTY, SHALL BE SUBJECT TO THE SAME ONE (1) YEAR GUARANTEE 9OR AS SPECIFIED BY THE OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

#### U. GRADING AND DRAINAGE NOTES

1. PRIOR TO COMMENCING ANY EXCAVATION WORK, THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH THE "DIG SAFE" NOTIFICATION PROCEDURES PROMOTED BY THE RESPECTIVE UTILITY COMPANIES IN FLORIDA, CALL FLORIDA SUNSHINE AT 811.

2. CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING, PROVIDING VERTICAL CURVES OR ROUNDINGS AT ALL TOP AND BOTTOM OF SLOPES.

3. PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM SLOPE OF ONE-EIGHTH INCH (1/8") PER FOOT. ANY DISCREPANCIES NOT ALLOWING THIS TO OCCUR SHALL BE REPORTED TO THE OWNER PRIOR TO CONTINUING WORK.

4. WHERE NEW PAVING OR EARTHWORK MEETS EXISTING PAVING OR EARTHWORK, SMOOTHLY BLEND LINE AND GRADE OF EXISTING WITH NEW, WHERE EXISTING VEGETATION IS TO REMAIN, MEET EXISTING GRADES; DO NOT FILL ABOVE BASAL FLARE OF EXISTING TREES.

1. CONTRACTOR SHALL INSTALL SCHEDULE 80 PVC CONDUIT (SLEEVES) FOR ALL IRRIGATION PIPING UNDER ALL

#### V. UTILITY PLAN NOTES

PAVEMENT AREAS TO CONNECT ALL LANDSCAPE AREAS.

1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL MEET THE OWNER AND IDENTIFY TREES AND SHRUBS WHICH ARE TO BE PROTECTED AS WELL AS THOSE WHICH ARE TO BE REMOVED. DO NO CLEARING WITHOUT A

2. TREES AND SHRUBS TO REMAIN SHALL BE PROTECTED BY THE INSTALLATION OF FENCING AT THE DRIP LINE OR AS DIRECTED BY THE OWNER (SEE LANDSCAPE DETAIL SHEET). PROTECTIVE FENCING SHALL BE INSTALLED PRIOR TO CONSTRUCTION, PROTECTIVE FENCING SHALL BE SUFFICIENT TO PREVENT CONSTRUCTION EQUIPMENT FROM COMPACTING SOIL AT THE ROOT ZONE AND DAMAGING TRUNKS AND BRANCHES.

3. IF, IN ORDER TO PERFORM EXCAVATION WORK, IT SHOULD BECOME NECESSARY TO CUT ROOTS OF PLANTS TO BE SAVED, SLICH ROOTS SHALL BE CUT NEATLY WITH A SMOOTH CLEAN CUT BY A SHARP SAW, COVERED WITH BURLAP, AND KEPT MOIST UNTIL ROOTS ARE BACK FILLED. TEARS OR JAGGED CUTS TO ROOTS ARE UNACCEPTABLE.

4. TREE AND SHRUB REMOVAL SHALL INCLUDE THE FILLING, CUTTING, GRUBBING OUT OF ENTIRE ROOT SYSTEMS AND SATISFACTORY OFF-SITE DISPOSAL OF ALL TREES, SHRUBS, STUMPS, VEGETATIVE AND EXTRANEOUS DEBRIS PRODUCED BY THE REMOVAL OPERATIONS.

5. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE INSIDE AND OUTSIDE THE LIMITS OF CONSTRUCTION DUE TO HIS CONTRACT OPERATIONS.

6. ALL REFUSE, DEBRIS, UNSUITABLE MATERIALS AND MISCELLANEOUS MATERIALS TO BE REMOVED SHALL BE LEGALLY DISPOSED OF OFF-SITE BY CONTRACTOR.

7. ALL INVASIVE EXOTIC VEGETATION SHALL BE DISPOSED OF OR TREATED AS PER THE LOCAL OR REGIONAL GOVERNING AUTHORITIES, REQUIREMENTS OR RECOMMENDATIONS.

### X. ROOT CONTROL BARRIER

1. ROOT CONTROL PRODUCT SHALL BE A BIOLOGICAL BARRIER PRODUCT. PRODUCT SHALL BE 810-BARRIER ROOT CONTROL SYSTEM, AS MANUFACTURED BY BBA FIBERWEB/REEMAY, INC. AND DISTRIBUTED BY HORT ENTERPRISES, INC. SEE WWW.BIOBARRIER.COM FOR ADDITIONAL INFORMATION AND PRODUCT SPECIFICATION. HORT ENTERPRISES, INC. P.O. BOX 2448

POMPANO BEACH, FL 33061

2. PRODUCT SHALL BE A BIOLOGICAL BARRIER UTILIZING LIME-RELEASE CAPSULES INTEGRATED INTO A GEOTEXTILE FABRIC. ACTIVE HERBICIDE SHALL BE A TRIFLURALIN, AND MINIMUM TIME RELEASE OF EFFECTIVE PRODUCT SHALL BE 1-5 YEARS IN THE MOST ADVERSE CONDITIONS FOR SUCH A PRODUCT, ALTERNATIVELY, A HARD PHYSICAL ROOT BARRIER SUCG AS 'DEEP ROOT' HARD PLASTIC AT LEAST 24" IN DEPTH SHALL BE USED.

3. PRODUCT SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS FOR ROOT CONTROL SYSTEMS.

4. USE PRODUCT WHERE TREES ARE WITHIN TEN FEET (10') OR LESS OF HARDSCAPE SURFACES OR UTILITIES INCLUDING BUT NOT LIMITED TO CURBS, SIDEWALKS, STEPS, ROADWAYS, WATER & SEWER LINES. SMALL TREES THAT TYPICALLY MATURE AT 18' HEIGHT OR LESS REQUIRE ROOT BARRIERS WHERE SMALL TREES ARE WITHIN SIX FEET (6') OR LESS OF HARDSCAPE SURFACES OR UTILITIES. EXISTING TREES TO BE PRESERVED THAT ARE NOT IN CONFLICT WITH ANY NEW UTILITIES, & ARE NOT REQUIRED TO HAVE ROOT BARRIERS PLACED. ROOT BARRIERS ARE NOT REQUIRED WHERE PROPOSED TREES ARE LOCATED ADJACENT TO D-TYPE CURBING.

### 5. USE 19.5" WIDTH OPTION WHEN USING BIOLOGICAL

6. WHERE CONDITIONS REQUIRE PRODUCT AS SET FORTH IN NO. 4 ABOVE, USE PRODUCT AT IN EITHER DIRECTION FROM THE CENTER OF TRUNK ALONG LINEAR FEATURES SUCH AS CURBS, WALKWAYS, ETC. THE INTENT OF THIS SPECIFICATION IS TO PROVIDE A ROOT CONTROL SYSTEM WHERE ROOTS WOULD LIKELY CAUSE PHYSICAL DAMAGE TO ADJACENT HARDSCAPE SURFACES, FOUNDATIONS, UTILITIES, OR OTHER ELEMENTS THAT MAY RECEIVE DAMAGE FROM ROOT SYSTEMS OF TREES. THE REQUIRED DEPTH OF THE ROOT BARRIERS SHALL BE 36" DEPTH. THE USE OF ROOT BARRIERS SHALL BE MINIMUM 6' OVERALL LENGTH FROM THE CENTER OF THE

TRUNK PARALLEL TO LINEAR FEATURES TO BE PROTECTED FOR SMALL TREES, OR MINIMUM 10' OVERALL LENGTH FROM THE CENTER OF THE TRUNK FOR MEDIUM TO LARGE MATURING SHADE TREES. MINIMUM LENGTHS OF ROOT BARRIER PRODUCTS MAY BE INCREASED AT THE DISCRETION OF THE LANDSCAPE INSPECTOR. IN PARKING LOT ISLANDS ONLY, THE ROOT BARRIER LENGTH SHALL BE PROVIDED FOR THE FULL LENGTH OF FEATURE (UTILITY, STRUCTURE, OR PAVEMENT) TO BE PROTECTED.

#### Y. IRRIGATION

1. CONTRACTOR TO PROVIDE AN IRRIGATION DESIGN FOR BOTH LAWN AND BED AREAS UNLESS ALREADY PROVIDED BY THE LANDSCAPE ARCHITECT AS PART OF THE CONTRACT DOCUMENTS. DESIGN TO BE SUBMITTED TO PROJECT LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. CONTRACTOR TO VERIFY STATIC PRESSURE PRIOR TO DESIGN. CONTRACTOR IS RESPONSIBLE FOR ANY PRESSURE REDUCING DEVICES REQUIRED TO MEET PRESSURE REQUIREMENTS. SYSTEM DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKELOW PREVENTION METERS, AND CONTROLLERS. ALL SLEEVES IN PAVEMENT AREAS MUST BE SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BACKFLOW PREVENTION DEVICE INSTALLATION AND PERMITTING, CONTRACTOR SHALL NOT INSTALL IRRIGATION IN RIGHT-OF-WAY UNLESS REQUIRED BY CITY. NETAFIM DRIP IRRIGATION TO BE INSTALLED IMMEDIATELY AROUND BUILDING TO PREVENT WATER SPRAY ON BUILDING. WALKS, AND WINDOWS, NETAFIM PIPING TO BE BURIED JUST BENEATH SOIL SURFACE AND COVERED, INSTALLED BY AN OWNER APPROVED CONTRACTOR.

2. DESIGNED SYSTEM SHALL CONSIST OF AN AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM PROVIDING 100% COVERAGE WITH 100% OVERLAP, AND CONTAINING A RAIN SENSOR INSTALLED BY AN OWNER APPROVED CONTRACTOR. THIS SYSTEM SHALL BE INSTALLED AND OPERATIONAL WITHIN TEN (10) DAYS OF THE INITIAL LANDSCAPE INSTALLATION.

1. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES IN THE SITE SURVEY OR DISPOSITION PLAN TO THE OWNER & LANDSCAPE ARCHITECT OF RECORD PRIOR TO STARTING WORK. ANY OVERHEAD POWERLINES, UNDERGROUND UTILITIES, EXISTING TREES, ETC. IN CONFLICT WITH PROPOSED LANDSCAPING, INCLUDING FPL RIGHT-TREE-RIGHT-PLACE GUIDELINES, SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE OR DESIGNEE. AND TO THE LANDSCAPE ARCHITECT OF RECORD PRIOR TO SUBJECT PLANT MATERIAL INSTALLATION. FAILURE TO NOTIFY THE LANDSCAPE ARCHITECT & OWNER OF ANY DISCREPANCIES SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR AND WILL RESULT IN THE CONTRACTOR MOVING OR REPLACING THE PLANT MATERIAL AT THEIR OWN EXPENSE. LARGE MATURING SHADE TREES (THOSE THAT TYPICALLY GROW TO A SPREAD OR HEIGHT GREATER THAN 25 FEET) SHALL NOT BE PLANTED WITHIN 20 FEET OF ANY OTHER LARGE MATURING SHADE TREES UNLESS OTHERWISE SPECIFICALLY SHOWN ON THE LANDSCAPE PLAN. CONTRACTOR SHALL NOT WILLFULLY INSTALL PLANT MATERIALS IN CONFLICT WITH EXISTING OR PROPOSED SITE FEATURES.

#### **GENERAL PLANTING NOTES**

1. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THIS DRAWING

2. ALL BIODEGRADABLE BURLAP SHALL BE UNTIED AND PULLED DOWN TO EXPOSE THE TOP 1/3 OF THE BALL. WIRE BASKETS AND OTHER NON-BIODEGRADABLE MATERIALS ATTACHED TO PLANTS SHALL BE REMOVED PRIOR TO PLANTING. CARE SHALL BE TAKEN NOT TO BREAK OR DISTURB ROOT BALL OF PLANTS. 3. ALL PLANTS SHALL BE WATERED BY HAND IN SUFFICIENT QUANTITIES TO THOROUGHLY WET ENTIRE ROOT

SYSTEM IMMEDIATELY AFTER PLANTING. 4. PLANTS SHALL BE GUARANTEED TO A PERIOD OF ONE (1) YEAR AFTER ACCEPTANCE OF THE PROJECT AND SHALL BE VIGOROUS AND THRIVING AT THE END OF THE GUARANTEE PERIOD. SEE SECTIONS S, GUARANTEE FOR

5. CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND SHALL REPORT ANY CONFLICTS TO THE OWNER. 6. CONTRACTOR SHALL FAMILIARIZE HIM/HER -SELF WITH THE LIMITS OF WORK AND EXISTING CONDITIONS AND VERIFY ALL INFORMATION. IF DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY OWNER OR OWNER'S DESIGNEE IN WRITING WITHIN SEVEN (7) CALENDAR DAYS OF NOTICE TO PROCEED.

INFORMATION. DRAWINGS WERE PREPARED ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN (7) CALENDAR DAYS OF NOTICE TO PROCEED OF ANY DISCREPANCIES. 8. CONTRACTOR SHALL NOTIFY ALL NECESSARY UTILITY COMPANIES FORTY-EIGHT (48) HOURS MINIMUM PRIOR

7. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES AND OBTAIN AS-BUILT

TO DIGGING FOR VERIFICATION OF ALL UNDERGROUND UTILITIES AND OTHER OBSTRUCTIONS AND COORDINATE WITH OWNER'S DESIGNEE IN WRITING PRIOR TO INITIATING OPERATIONS. 9. CONTRACTOR SHALL TAG AND NUMBER ALL PLANT MATERIAL TO BE RELOCATED. THE CONTRACTOR SHALL FULLY ASSIST AND COORDINATE THIS WORK WITH THE OWNER'S DESIGNEE PRIOR TO INITIATING FIELD DIGGING

10. LOCATIONS OF RELOCATED PLANT MATERIAL ARE APPROXIMATED ON THE DRAWINGS. EXACT LOCATIONS OF RELOCATED PLANT MATERIAL WILL BE CLARIFIED BY THE OWNER'S DESIGNEE ON SITE. 11. THE CONTRACTOR SHALL BEAR ALL COSTS OF TESTING SOILS, AMENDMENTS, ETC. ASSOCIATED WITH THE WORK AND INCLUDED IN THE SPECIFICATIONS.

12. TYPICALLY, SHRUB AND GROUNDCOVER PLANTINGS ARE SHOWN IN MASS PLANTING BEDS. PLANTS SHALL BE PLACED ON A LINEAR SPACING CONFIGURATION AROUND BUILDING FOUNDATION AS SHOWN ON DRAWING. PLANT CENTER TO CENTER DIMENSIONS (O.C.) ARE LISTED ON THE PLANT LIST. FOR PERIMETER AND PARKING ISLAND SPACING. USE THE TRIANGULAR SPACING METHOD. 13. CONTRACTOR SHALL FIELD STAKE THE LOCATIONS OF ALL PLANT MATERIAL PRIOR TO INITIATING

14. CONTRACTOR SHALL FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO ALL EXISTING UNDERGROUND UTILITIES AND/OR EXISTING ABOVE GROUND ELEMENTS. ALL CHANGES REQUIRED SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH THE OWNER'S

PER THE SPECIFICATIONS. 16. ALL TREES PLANTED IN LAWN AREAS SHALL RECEIVE A THREE-FOOT DIAMETER (3') MULCH RING AT DEPTH OF THREE INCHES (3"). 17. ALL EXISTING TREES TO REMAIN IN LAWN AREA SHALL RECEIVE A MULCH RING TWO FEET (2') OUT FROM

15. ALL PLANTING AREAS, UNLESS OTHERWISE NOTED, SHALL INCLUDE A THREE INCH (3") LAYER OF MULCH AS

EDGE OF TRUNK OR TO THE LIMIT OF THE ADJACENT LAWN AREA AT A DEPTH OF THREE INCHES (3") AS PER SPECIFICATIONS. 18. ANY SUBSTITUTIONS IN SIZE AND/OR PLANT MATERIAL MUST BE APPROVED BY THE OWNER'S DESIGNEE IN WRITING. ALL PLANTS WILL BE SUBJECT TO APPROVAL BY THE OWNER'S DESIGNEE BEFORE PLANTING CAN BEGIN. 19. PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE EVENT OF QUANTITY DISCREPANCIES, THE DRAWING SHALL TAKE PRECEDENCE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE

ATTENTION OF THE LANDSCAPE ARCHITECT. 20. CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS, PLANT LIST, GENERAL NOTES AND THE PROJECT MANUAL AND SPECIFICATIONS FOR FURTHER AND COMPLETE INSTRUCTIONS.

21. ALL UTILITY BOXES, CLEANOUTS, ETC., SHALL BE PAINTED GREEN IF IN GRASS AREAS AND BROWN IF IN MULCH 22. THIS SITE MAY CONTAIN EXISTING TREES WHICH REQUIRE TRIMMING AND/OR PRUNING. THE LANDSCAPE COMPANY/CONTRACTOR MUST HAVE A CERTIFIED ARBORIST ON STAFF TO ENSURE PROPER ISA HORTICULTURAL

# PROCEDURES ARE FOLLOWED REGARDING THE TRIMMING, PRUNING, TRANSPLANTING, ETC. OF THESE TREES.

**GENERAL EXISTING TREE & TREE RELOCATION NOTES:** 

FOR TREES SPECIFIED TO BE RELOCATED UNDER THIS CONTRACT.

DAY/PER CALIPER INCH OF SUBJECT TREE TO BE TRANSPLANTED.

INSTALLATION FOR THE REVIEW AND APPROVAL OF THE OWNER'S DESIGNE

1. NO PLANT MATERIAL WILL BE ACCEPTED SHOWING EVIDENCE OF CABLE, CHAIN MARKS, EQUIPMENT SCARS,

OR OTHERWISE DAMAGED 2. ALL ROOT-PRUNING & CANOPY TRIMMING ACTIVITIES SHALL BE CONDUCTED UNDER THE SUPERVISION OF AN ISA CERTIFIED ARBORIST UTILIZING BEST MANAGEMENT PRACTICES TO ENSURE VIABILITY OF EXISTING TREES; NO TREE CANOPY SHALL BE TRIMMED BY MORE THAN 25%.

3. ROOT-PRUNE ALL TREES FOR THE MINIMUM TIME SPECIFIED PRIOR TO TRANSPLANTING OPERATIONS. PALMS

CONTRACTOR SHALL AT ANY TIME & AT NO COST TO THE OWNER BY ABLE TO FURNISH THE RELOCATION REPORT

DO NOT REQUIRE ANY ROOT PRUNING & SHALL BE TRANSPLANTED IMMEDIATELY. 4. ANSI A300(PART 6)-2005 MUST BE ADHERED TO IN ITS ENTIRETY FOR ALL RELOCATING/ TRANSPLANTING OF TREES. TRANSPLANTING OBJECTIVES SHALL BE ESTABLISHED PRIOR TO BEGINNING THE OPERATION. THESE OBJECTIVES AS WELL AS A LOG WITH DATES OF ALL ROOT PRUNING & TRANSPLANTATION RELATED ACTIVITIES MUST BE RECORDED IN A REPORT FORMAT & DELIVERED TO THE APPROPRIATE OWNER'S DESIGNEE. THE

5. LIQUIDATED DAMAGES MAY BE ASSESSED TO THE CONTRACTOR FOR TREES SPECIFIED TO BE RELOCATED THAT DIE AS A RESULT OF IMPROPER TRANSPLANTING PROCEDURES. 6. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING HEALTH OF THE RELOCATED TREES AND SHALL RE-INSTALL THEM IN THE SAME CONDITION AS WHEN REMOVED. 7. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER IRRIGATION OF THE RELOCATED TREES. FINAL

TRANSPLANTATION LOCATION SHALL BE ROUGH GRADED & IRRIGATION SYSTEM INSTALLED & FULLY FUNCTIONAL SO AS TO PROVIDE ADEQUATE WATER & ENSURE VIABILITY. SUPPLEMENTAL IRRIGATION MAY BE NECESSARY DURING TRANSPLANTATION OR STORAGE. 8. SUPPLEMENTAL IRRIGATION (IF NECESSARY), SHALL BE APPLIED SO THAT THERE IS A TOTAL OF 3 GALLONS/PER

PRIOR TO ANY CONSTRUCTION WORK TAKING PLACE. 10. TREES & PALMS TO BE RELOCATED SHALL BE PROTECTED WITH TREE PROTECTION BARRICADES PRIOR TO A CLEARING PERMIT OR ANY DEMOLITION OR CONSTRUCTION WORK TAKING PLACE ON SITE. TRANSPLANTATION SHALL OCCUR FOLLOWING DEMOLITION, ROUGH GRADING, & INSTALLATION OF FUNCTIONAL IRRIGATION SYSTEM, BUT PRIOR TO ANY IMPERVIOUS SURFACES ARE POURED. TREES TO BE RELOCATED SHALL BE MOVED FROM ORIGINAL LOCATION TO FINAL PLANTING LOCATION ONE TIME ONLY.

9. ANY NECESSARY TREE TRIMMING SHALL BE IN ACCORDANCE WITH THE JURISDICTIONAL PRUNING STANDARDS

REVISIONS

COMMENT:

SITE PLAN SUBMITTAL

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KNOW WHAT'S BELOV

ALWAYS CALL 81

It's fast. It's free. It's the law.

07-24-2020

F200053 LANDSCAPE

BEFORE YOU DIG

DRAWN BY: CHECKED BY: DATE:

PROJECT

CAD I.D.:

**VILLAGE FLATS** 

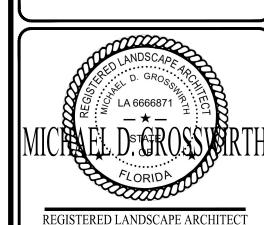
INHABIT LAKE

WORTH BEACH, LLC

LAKE WORTH BEACH, FL



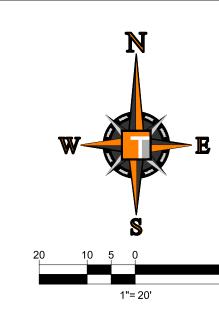
6300 NW 31ST AVENUE FORT LAUDERDALE, FL 33309 PH: (954) 202-7000 FX: (954) 202-7070 www.ThomasEngineeringGroup.com

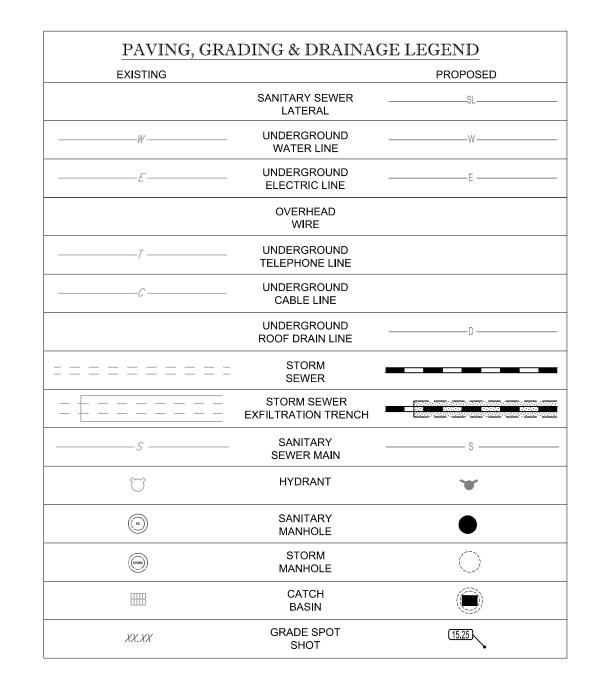


FLORIDA BUSINESS CERT. OF AUTH. No. 27528

LANDSCAPE GENERAL **NOTES** 

September 21, 2020



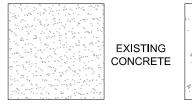


### CONSTRUCTION NOTES:

- 1. CONTRACTOR TO SAW-CUT AT ALL LOCATIONS OF REMOVAL OF EXISTING CONC. SIDEWALK, CONC. CURB AND ASPHALT UNLESS OTHERWISE NOTED. ALL BASE AND SUB-BASE MATERIAL SHALL BE REMOVED WITHIN THE
- 2. CONTRACTOR TO MATCH EXIST. GRADES AND TO CONSTRUCT A SMOOTH TRANSITION FROM EXISTING FACILITIES
- 3. CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS FROM CONSTRUCTION SITE AND DISPOSE PER LOCAL
- 4. CONTRACTOR TO ENSURE ALL CONSTRUCTION IS IN ACCORDANCE WITH CITY DESIGN STANDARDS.
- CONTRACTOR TO SOD ALL DISTURBED AREAS, SODDING INCLUDES MAINTAINING SLOPE AND SOD UNTIL COMPLETION AND ACCEPTANCE OF THE TOTAL PROJECT OR GROWTH IS ESTABLISHED WHICHEVER COMES LAST.
- 6. ALL EXISTING TRAFFIC SIGNS DISTURBED DURING CONSTRUCTION SHALL BE REINSTALLED WHERE APPLICABLE
- BY THE CONTRACTOR. 7. THESE PLANS REFLECT CONDITIONS KNOWN DURING PLAN DEVELOPMENT. IN THE EVENT THAT ACTUAL PHYSICAL
- CONDITIONS PREVENT THE APPLICATION OF THESE STANDARDS OR THE PROGRESSION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF AFFECTED AREA. 8. THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, STORM DRAINS, UTILITIES, AND OTHER FACILITIES TO REMAIN AND SHALL REPAIR ANY DAMAGES DUE TO HIS/HER CONSTRUCTION ACTIVITIES AT NO
- ADDITIONAL COST TO THE OWNER.
- 9. NOTIFY SUNSHINE STATE ONE CALL (1-800-432-4770) OR (811) PRIOR TO CONSTRUCTION. 10. PROJECT BASED ON DESIGN SURVEY PREPARED BY OTHERS.
- 11. THE CONTRACTOR SHALL NOT ENCROACH ONTO PRIVATE PROPERTY WITHOUT EASEMENTS NECESSARY FOR COMPLETION OF THE WORK.
- 12. THE EXISTING UNDERGROUND UTILITIES SHOWN ARE PER ABOVE GROUND SURVEY DATA AND UTILITY AS-BUILT DATA. THIS INFORMATION DOES NOT WARRANT EXACT SIZE AND LOCATION OF THE UTILITIES. ALSO, THERE MAY BE ADDITIONAL UTILITIES WITHIN THE LIMITS OF CONSTRUCTION THAT MAY BE AFFECTED. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND PROTECTING EXISTING UTILITIES DURING THE COURSE OF
- 13. PLEASE SEE MEP PLANS FOR CONTINUATION OF ROOF LEADERS.
- 14. 2.0% MAXIMUM SLOPE ON HANDICAP SPACES AND ADA ACCESS WAYS.
- 15. ALL SIDEWALKS SHOULD HAVE A MAXIMUM CROSS SLOPE OF 2.0%.
- 17. EXISTING SEWER MUST REMAIN FREE FROM CONSTRUCTION DEBRIS AND FLOW MUST BE MAINTAINED.
- 18. NO STRUCTURES SHALL BE ALLOWED IN UTILITY EASEMENT.
- 19. PRB = POLLUTION RETARDANT BAFFLE
- 20. ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.

16. EXISTING COVER MUST BE MAINTAINED ON ALL WATER AND SANITARY LINES.

- 21. ALL CONSTRUCTION AND RESTORATION WORK WITHIN THE R/W SHALL COMPLY WITH THE LATEST EDITION OF THE FDOT STANDARD INDEX AND THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE
- 22. ANY DAMAGE TO PBC-TRAFFIC ITS FACILITIES CAUSED BY CONSTRUCTION OF THIS PROJECT MUST BE REPAIRED OR REPLACED TO ORIGINAL OR BETTER CONDITION BY THE CONTRACTOR AT NO COST TO PALM BEACH COUNTY. PALM BEACH COUNTY RESERVES THE RIGHT TO DETERMINE IF DAMAGED PBC FACILITIES WILL BE BE REPAIRED OR REPLACED.
- 23. MINIMUM FINISHED FLOOR ELEVATION = 16.50' NAVD. FEMA FLOOD ZONE X, REPRESENTS AREAS OUTSIDE OF THE 500-YEAR FLOOD PLAIN WITH LESS THAN 0-2% ANNUAL PROBABILITY OF FLOODING



PROPOSED CONCRETE

MILL &

PROFESSIONAL ENGINEER FLORIDA LICENSE No. 83366 PROPOSED PERVIOUS

September 21, 2020 FLORIDA BUSINESS CERT. OF AUTH. No. 27528

PRELIMINARY PAVING, GRADING & DRAINAGE **PLAN** 

SHEET NUMBER:

NOTE: PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE APPLICANT SHALL ENSURE THE ENTIRE SURROUNDING OFF-SITE INFRASTRUCTURE INCLUSIVE OF THE ROADWAY, SIDEWALK, CURBING, STORMWATER SYSTEM PIPING AND STRUCTURES, VALVE BOXES, MANHOLES, LANDSCAPING, STRIPING, SIGNAGE, AND OTHER IMPROVEMENTS ARE IN THE SAME CONDITION AS PRIOR TO CONSTRUCTION. THE APPLICANT SHALL RESTORE THE RIGHT OF WAY TO A LIKE OR BETTER CONDITION. ANY DAMAGES TO PAVEMENT, CURBING, VERTICAL DATUM OF 1988 (NAVD 88) STRIPING, SIDEWALKS OR OTHER AREAS SHALL BE RESTORED IN KIND

URBAN ARTS LOFTS

(P.B. 116, PG. 72

— OH — EX. 4" CIP WATER MAIN

EX. 8" CLAY SANITARY MAIN

ONE STY.

RESIDENCE

#1212

TRACT A

P.B.C.R.)

S88°36'45"E 105.00'

RIM=14.45'

W.INV.=11.65'(8" CLAY)

N./NV.=11.60 (8" CLAÝ)

DATUM NOTE: ELEVATIONS SHOWN HEREON ARE IN FEET AND BASED ON THE NORTH AMERICAN

RIM=15.48'

RIM=14.63'

15 N E ST.

BLOCK "D"

LOT 7

LOT 10

E./NV.=11.33'(15"

**VACANT** 

N.W. INV.=10.58'(15' W.INV.=10.58')15" CP)

PROP. TYPE 'F' CURB &— GUTTER (TYP.)

UNABLE TO OBTAIN INVERT

DUE TO WATER

PROP. 5' WIDE CONCRETE SIDEWALK— PER CITY OF LAKE WORTH BEACH PUBLIC WORKS STANDARDS (TYP.)

LOT 9

MILL/OVERLAY ASPHALT AREA— 1" MINIMUM TO CENTERLINE OF ROADWAY PER CITY OF LAKE

WORTH BEACH PUBLIC WORKS STANDARDS, RESTORE

WATER MAIN INSTALLATION AS REQUIRED (TYP.)

RIM=15.82'

MATERIAL DUE TO

PROP. TYPE 'F' CURB-

& GUTTER (TYP.)

EX. 12" CIP WATER MAIN

LIMITS OF PROP. CURB & SIDEWALK. MATCH EXIST. ELEVATIONS (TYP.)

D.M.H.

RIM=15.67'

W.INV.=8.52 (24" CP) E.INV.=UNABLE TO OBTAIN INVERT DUE TO S./NV.=11.50'(12" CP)

N./NV.=10.82'(6" CP) S./NV.=10.85'(15" CP E.INV.=10.92 (18" CP

W./NV.=10.88 (18" CP)

RIM=15.19'

N./NV.=10.51'(15" CP)

S.INV.=6.71'(36" CP)

LUCERNE AVENUE

6' WOODEN ---

ONE STY.

RESIDENCE

LOT 14

ONE STY.

BUILDING

DRAIN @ 1% SLOPE MIN.

ONE STY.

RESIDENCE

F.F.=16.83

10' CONC.

SIDEWALK

 $\overline{\mathbb{S}}$   $\overline{\mathbb{H}}$ 

HATCH LEGEND

PROPOSED PAVEMENT

PROPOSED ASPHALT PAVER BRICKS RESURFACE

COMMENT:

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07-24-2020 F200053 PGD

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SITE PLAN SUBMITTAL

**VILLAGE** 

**FLATS** 

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WORTH BEACH, LLC

LAKE WORTH BEACH, FL

6300 NW 31ST AVENUE

FORT LAUDERDALE, FL 33309

PH: (954) 202-7000

FX: (954) 202-7070 www.ThomasEngineeringGroup.com

DRAWN BY:

CHECKED BY

#### STORMWATER MANAGEMENT REPORT

for

# **Village Flats**

SEC of Lucerne Avenue & North E Street, Lake Worth Beach, FL

Prepared by:



6300 NW 31st Avenue Ft Lauderdale, FL 33309 954-202-7000

Maxwell Kaplan, P.E. Florida Professional Engineer License No. 83366

September 21, 2020

#### Introduction

The site is generally located at the southeast corner of Lucerne Avenue and North E Street in the city of Lake Worth Beach. The existing site is currently vacant. This project proposes to construct two multi-story residential buildings with a total building footprint of 5,733 sq. ft. The site area is approximately 0.643 acres or 28,000 sq. ft. A detailed breakdown of the proposed land use is provided in Table 1 below.

Table 1-Land Use Breakdown

	Square feet	Acres
Buildings	5,774	0.133
Paved/Garage Area	14,743	0.338
Pervious	7,483	0.172
Total Area	28,000	0.643

The proposed drainage system to serve the development consists of catch basins, HDPE pipe and roof drains, and 40 linear feet of exfiltration trench. Runoff will be maintained on-site and there is no proposed off-site discharge.

#### **Water Quality**

Calculations have been prepared to determine the required volume for water quality treatment for the proposed development. Based on the results of the calculations, 2.5-inches of runoff over the total impervious site area results in a larger volume than 1-inch of runoff over the entire site; therefore, 2.5-inches over the impervious area controls. The water quality volume required was calculated to be 0.09 ac.-ft.

The project proposed to utilize exfiltration trench for water quality treatment. A "k" value of 1.70 x  $10^{-3}$  cfs/ft²/ft-head average was used for the design of the exfiltration trench as obtained from the geotechnical investigation prepared by GFA International. A total of 11 linear feet of trench is required to meet the project's water quality requirements. The project design proposes 40 linear feet of trench which will provide 0.36 ac.-ft. of volume. Detailed calculations are included in Appendix A.

#### **Water Quantity**

The water table elevation at the site is approximately 8.50 NAVD per geotechnical investigation findings provided by GFA International. The proposed drainage system for the development consists of a network of catch basins, drainage pipes and exfiltration trench designed to retain the 25-year 3-day storm event onsite.

A Stage-Storage zero discharge analysis has been prepared to determine the peak storm staging for the 100-year 3-day, 25-year 3-day, 5-year 1-hour and 3-year 1-hour storm events to determine the minimum elevations for the proposed finished floor, perimeter berm, and pavement areas. Table 2 below shows the resulting peak stages for each storm event.

**Table 2 - Flood Routing Results - Proposed Peak Stage Elevations** 

	Post-Development	Provided
3-Year 1-Hour	8.89 NAVD	
5-Year 1-Hour (Min. Pavement)	9.05 NAVD	15.00 NAVD
25-Year 3-Day (Min. Berm)	15.88 NAVD	15.90 NAVD
100-Year 3-Day (Min. F.F.E.)	16.46 NAVD	16.50 NAVD

The finished floor elevations of the buildings have been set at 16.50 NAVD which is above the 100-year 3-day peak stage and one (1) foot above the average adjacent crown of road elevation. The site is located within FEMA Flood Zone X with no Base Flood Elevation.

#### **Conclusion**

Based on the above, the water quality and quantity requirements are met by the proposed design and adhere to the design standards for the South Florida Water Management District and City of Lake Worth Beach. Therefore, it is recommended the project be approved for construction.

6300 NW 31st Avenue, Fort Lauderdale, FL 33309

Tel: 954-202-7000 Fax: 954-202-7070 Date: 9/21/2020
Project: LWB Residential
Project No: F200053

Calculated By: MTK
Checked By: MT

#### PROPOSED DRAINAGE CALCULATIONS

#### **Design Criteria: Estimated Seasonal High Water Level:** 8.50 NAVD **Proposed Acreages** Lake Areas (A<sub>L</sub>): 0 sf 0.000 ac Roof Areas (A<sub>R</sub>): 5,774 sf or 0.133 ac Paved and Garage Areas (A<sub>P</sub>): 14,743 sf 0.338 ac or Green Areas (A<sub>G</sub>): 7,483 sf 0.172 ac or Total (A<sub>T</sub>): 28,000 sf 0.643 ac or

#### **Compute Required Water Quality Volume:**

1) Provide at least 1 inch over the developed project:

 $V_{PRE} = 1 \text{ inch } x A_T x 1 \text{ ft } / 12 \text{ inches}$ 

= 1 x 0.643 / 12

= 0.05 ac-ft or 0.60 ac-in

- 2) Provide 2.5" over % impervious area:
  - a) Site Area for water quality pervious/impervious calculation:

 $A_S = A_T - (A_L + A_R)$ 

= 0.643 - (0 + 0.133)

= 0.51 ac of site area for water quality pervious/impervious

b) Impervious area for water quality pervious/impervious calculation:

 $A_{IMP} = A_S - A_G$ 

= 0.51 - 0.172

= 0.34 ac of impervious area for water quality pervious/impervious

c) Percent of impervious for water quality calculation:

 $= A_{IMP} / A_S x 100\%$ 

= 0.338 / 0.51 x 100%

= 66.3% impervious

d) For 2.5" times the percent impervious:

= 2.5" x % impervious area

= 2.5 x 0.663

= 1.66 inches to be treated

e) Compute volume required volume for quality detention

 $V_{PRE}$  = inches to be treated x ( $A_T - A_L$ )

= 1.66 x (0.643 - 0) x 1 foot / 12 inches)

= 0.09 ac-ft or

1.07 ac-in

3) Since the 1.07 ac-in is greater than the 0.6 ac-in computed for the first inch of runoff the volume of 1.07 ac-in controls.

Date: 9/21/2020 Project: LWB Residential

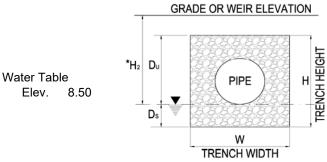
Project No: F200053

#### **Proposed Trench Calculations (NAVD)**

#### K-Value:

Test Hole #	(cfs/ft <sup>2</sup> /ft hd)	<u></u>
BHP-1	1.70E-03	(Based on GFA report)
$K_{AVG}$	1.70E-03	

#### Trench:



15.00 (Grade or Weir) Elev.

(Top of Trench) Elev. 13.50

(Bottom of Trench)

9.50

Elev.

\* DEPTH OF EFFECTIVE HEAD

#### 1) Trench Length for Water Quality Requirements:

$$V = 1.07 \text{ ac-in or } 0.09 \text{ ac-ft}$$

$$L = \frac{V}{K(H2W + 2H2Du - Du^2 + 2H2Ds) + (1.39 \times 10^4 - 4)WDu}$$

$$L = 9.9 \text{ feet}$$

#### 2) Compute Provided Trench Volume:



Date: 9/21/2020
Project: LWB Residential
Project No: F200053

#### PROPOSED STAGE\STORAGE AREA CALCULATION - (NAVD)



	Landscape Area	Pavement Area		Sidewalk/ Concrete						Building 16.50 NAVD	Total Site
Stage	Area 0.172	Area 0.262	Area 0.000	Area 0.077	Area 0.000	Area	Area	Area	Area 0.000	Area 0.13	0.643
	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	
	(acft.)	(acft.)	(acft.)	(acft.)	(acft.)	(acft.)	(acft.)	(acft.)	(acft.)	(acft.)	
8.50	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
9.50	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
10.50	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
11.50	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
12.50	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
13.50	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
14.50	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
15.50	0.02	0.02	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.04
16.50	0.15	0.20	0.00	0.05	0.00	0.00	0.00	0.00	0.00	0.00	0.40
17.50	0.32	0.46	0.00	0.12	0.00	0.00	0.00	0.00	0.00	0.00	0.91
18.50	0.49	0.73	0.00	0.20	0.00	0.00	0.00	0.00	0.00	0.00	1.42
19.50	0.67	0.99	0.00	0.28	0.00	0.00	0.00	0.00	0.00	0.00	1.93



Date: 9/21/2020 Project: LWB Residential Project No: F200053

#### DESIGN CRITERIA

October Water Elevation 8.50 NAVD FEMA Elevation N/A

#### PROPOSED LAND USE SUMMARY

Areas:	Square Ft.	Acres	Percent
Lake	0	0.00	0.0%
Building	5,774	0.133	20.6%
Paved and Sidewalk	14,743	0.338	52.6%
Pervious	7,483	0.172	26.7%
Total Area:	28,000	0.643	100.0%

#### STAGE\STORAGE AREA CALCULATION (NAVD)

Stage	Site Stage-Storage (previous page) (acft.)	Exfiltration Trench Storage (acft.)	(acft.)	Total Storage Area (acft.)
8.50	0.00	0.00	0.00	0.00
9.50	0.00	0.15	0.00	0.15
10.50	0.00	0.34	0.00	0.34
11.50	0.00	0.56	0.00	0.56
12.50	0.00	1.54	0.00	1.54
13.50	0.00	0.36	0.00	0.36
14.50	0.00	0.36	0.00	0.36
15.50	0.04	0.36	0.00	0.40
16.50	0.40	0.36	0.00	0.76
17.50	0.91	0.36	0.00	1.27
18.50	1.42	0.36	0.00	1.78
19.50	1.93	0.36	0.00	2.29

Required Water Quality = 0.09 acre-ft.

Water Quality Elevation 9.09 NAVD

#### Soil Storage

Land Use Summary:

	Acres	Percent
Lake Areas (A <sub>L</sub> ):	0.000	0.0%
Roof Areas (A <sub>R</sub> ):	0.133	20.6%
Paved Areas (A <sub>P</sub> ):	0.338	52.6%
Green Areas (A <sub>G</sub> ):	0.172	26.7%
Total (A <sub>⊤</sub> ):	0.643	100.0%

Compacted Soil Storage per SFWMD Vol. IV Page C-III-1

Depth to	Water
Water Table	Storage
(feet)	(inches)
1	0.45
2	1.88
3	4.95
4	8.18

Average Pervious Grade (Elev.): 15.63

Depth to Water Table: 7.13 ft

 $\dot{S}$  Soil Storage at Average Depth (S<sub>S</sub>): 8.18 inches

Weighted S value:

= S<sub>S</sub> x % Pervious

= 8.18 x 0.267

= 2.18 inches

#### Rainfalls

From Figure C-9, 100-Year 3-day Storm = 16.20 inches

From Figure C-8, 25-Year 3-day Storm = 12.30 inches

From Figure C-1, 5-Year 1-hour Storm = 3.20 inches

From LWB Eng, 3-Year 1-hour Storm = 2.60 inches

#### Results from Flood Routings (zero discharge analysis)

100-Year 3-Day

Runnoff (Q) = 
$$(P - 0.2S)^2 / (P + 0.8S)$$

= 
$$(16.2 - (0.2 \times 2.18))^2 / (16.2 + (0.8 \times 2.18))$$

= 13.85 inches of total runnoff

Runoff Volume = Q \* Project Area

 $= 13.85 \times 0.643 = 8.91$  acre-inches = 0.74 acre-ft.

25-Year 3-Day

Runnoff (Q) = 
$$(P - 0.2S)^2 / (P + 0.8S)$$

= 
$$(12.3 - (0.2 \times 2.18))^2 / (12.3 + (0.8 \times 2.18))$$

= 10.02 inches of total runnoff

Runoff Volume = Q \* Project Area

 $= 10.02 \times 0.643 = 6.44$  acre-inches = 0.54 acre-ft.

5-Year 1-Hour

Runnoff (Q) = 
$$(P - 0.2S)^2 / (P + 0.8S)$$

= 
$$(3.2 - (0.2 \times 2.18))^2 / (3.2 + (0.8 \times 2.18))$$

= 1.55 inches of total runnoff

Runoff Volume = Q \* Project Area

= 1.55 x 0.643 = 1.00 acre-inches = 0.08 acre-ft.

3-Year 1-Hour

Runnoff (Q) = 
$$(P - 0.2S)^2 / (P + 0.8S)$$

$$= (2.6 - (0.2 \times 2.18))^2 / (2.6 + (0.8 \times 2.18))$$

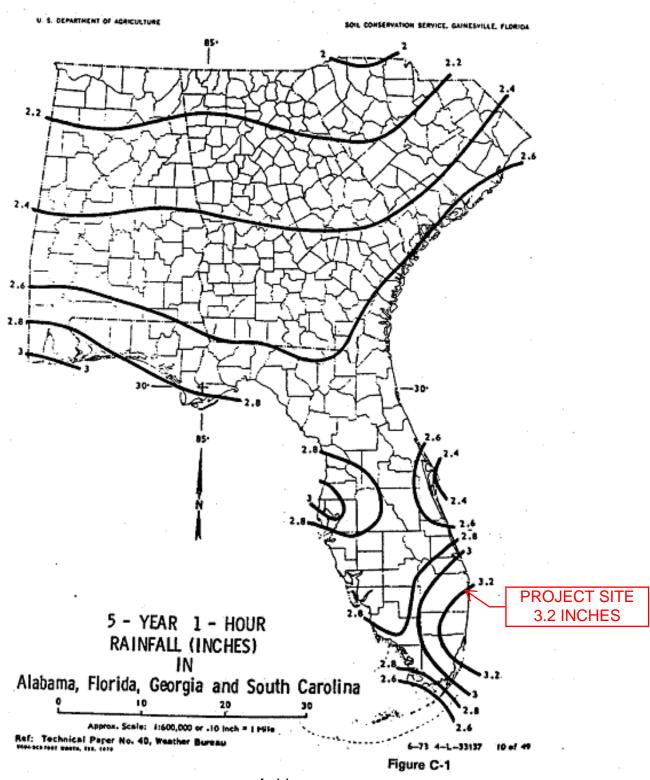
= 1.08 inches of total runnoff

Runoff Volume = Q \* Project Area

= 1.08 x = 0.69 acre-inches = 0.06 acre-ft.

Maximum Stage for 100-Year 3-Day Storm (no discharge)	<b>16.46</b> NAVD
Maximum Stage for 25-Year 3-Day Storm (no discharge)	<b>15.88</b> NAVD
Maximum Stage for 5-Year 1-Hour Storm (no discharge)	9.05 NAVD
Maximum Stage for 3-Year 1-Hour Storm (no discharge)	8.89 NAVD

Appendix C: Isohyetal Maps from SFWMD Technical Memorandum, *Frequency Analysis of One and Three Day Rainfall Maxima for central and southern Florida*, Paul Trimble, October 1990.



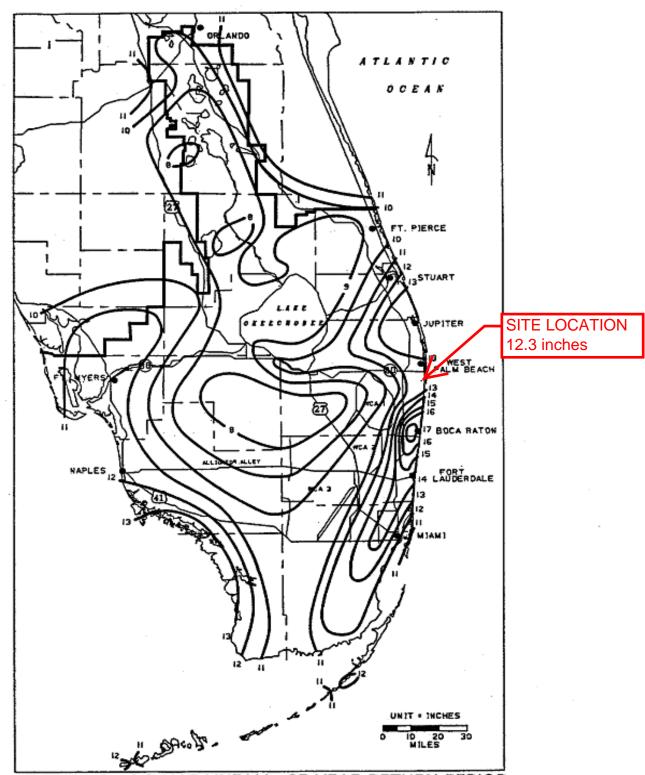


FIGURE C-8. 3-DAY RAINFALL: 25-YEAR RETURN PERIOD

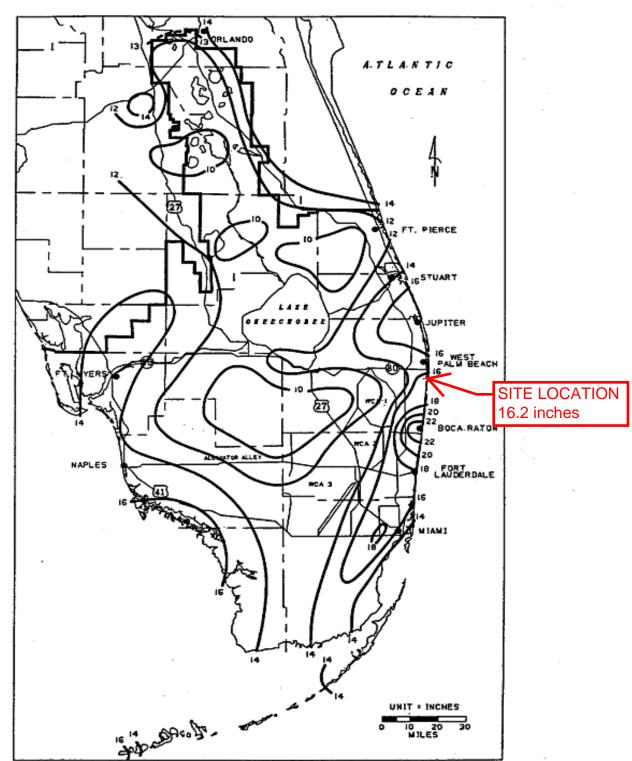


FIGURE C-9. 3-DAY RAINFALL: 100-YEAR RETURN PERIOD

### National Flood Hazard Layer FIRMette

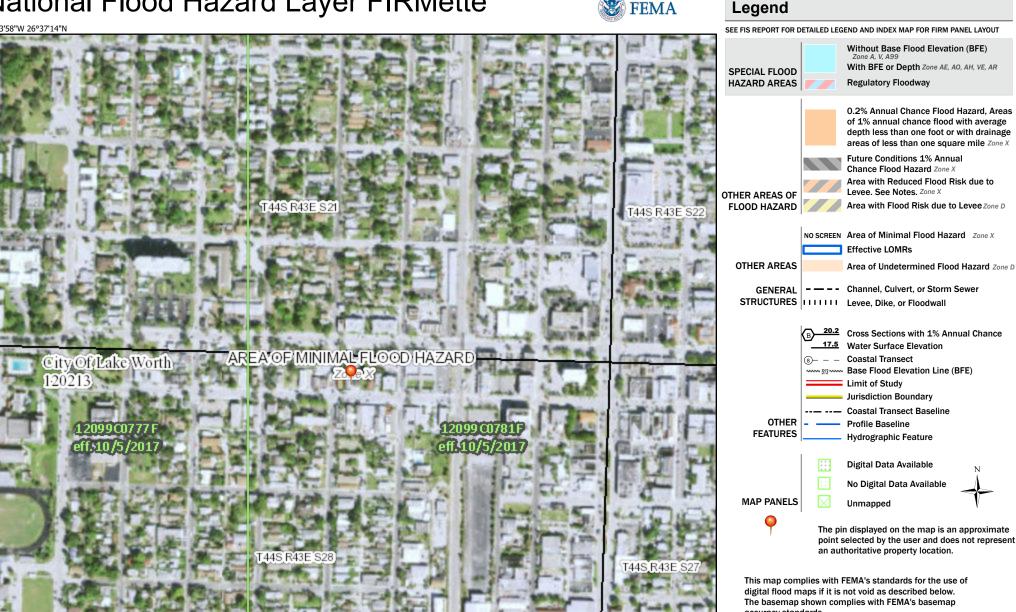
250

500

1,000

1.500





he National Map: Ortholmagery. Data

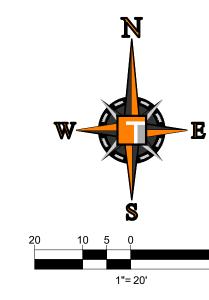
1:6,000

2,000

accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 9/4/2020 at 1:59 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.





		T 72T		ATIO
		<u>U1</u>	ILITY LEGE	<u>ND</u>
EX	ISTING N	OTE	TYPICAL NOTE TEXT	PROPOSED NOTE
S	SZ	S	SANITARY SEWER LATERAL	SLSL
W	W		UNDERGROUND WATER LINE	————W —————W ————
—— <i>E</i> ——	E	E	UNDERGROUND ELECTRIC LINE	——— E ——— TEL ——— E ———
			UNDERGROUND FIRE LINE	—— F —— F ——
G	G		UNDERGROUND GAS LINE	
——ОН-——	OH	— OH ———	OVERHEAD WIRE	
—— <i>T</i> ——	·/ ·		UNDERGROUND TELEPHONE LINE	TELTELTEL
——-C——			UNDERGROUND CABLE LINE	CTEL C
= = = =	= = =	= = = =	STORM SEWER	
s	S		SANITARY SEWER MAIN	
S				+
S	s ~~ (S)	S	SEWER MAIN	•
	T.		SEWER MAIN HYDRANT SANITARY	<b>*</b>
S	T.		SEWER MAIN HYDRANT SANITARY MANHOLE STORM	
S	T.		SEWER MAIN HYDRANT SANITARY MANHOLE STORM MANHOLE CATCH	
	(S)		SEWER MAIN HYDRANT  SANITARY MANHOLE  STORM MANHOLE  CATCH BASIN  YARD	
			SEWER MAIN HYDRANT  SANITARY MANHOLE  STORM MANHOLE  CATCH BASIN  YARD INLET  WATER	
S			SEWER MAIN HYDRANT  SANITARY MANHOLE  STORM MANHOLE  CATCH BASIN  YARD INLET  WATER VALVE  BACKFLOW	X

1. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE

ENGINEER IN WRITING. 2. ALL EXISTING UTILITIES SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH CITY OF LAKE WORTH BEACH AND LOCAL UTILITY COMPANY REQUIREMENTS.

3. ALL DEMOLITION DEBRIS TO BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH

ALL APPLICABLE REGULATIONS. 4. ALL HYDRANTS SHALL FALL WITHIN 4' OF THE CURB.

5. MINIMUM 7.5' CLEARANCE AROUND THE HYDRANT CIRCUMFERENCE. THE 4 1/2"

CAP SHALL FACE THE ROADWAY.

6. ALL FIRE HYDRANTS SHOULD HAVE BLUE REFLECTIVE MARKERS. 7. WATER SHALL BE ON SITE BEFORE CONSTRUCTION BEGINS.

8. CLEAN OUTS INSTALLED IN ASPHALT MUST BE INSTALLED IN A CITY BOX MARKED SEWER.

9. ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY REQUIREMENTS

10. NO PROPOSED IMPROVEMENTS, BUILDINGS OR ANY KIND OF CONSTRUCTION CAN BE PLACED ON OR WITHIN ANY WATER, SEWER OR DRAINAGE EASEMENTS, UNLESS APPROVED BY THE CITY ENGINEER.

11. NO PROPOSED STRUCTURES SHALL BE INSTALLED WITHIN A HORIZONTAL DISTANCE OF 10-FEET FROM ANY EXISTING OR PROPOSED WATER, SEWER OR DRAINAGE FACILITIES, UNLESS APPROVED BY THE CITY ENGINEER.

12. WATER METER SIZES SHALL BE DESIGNED BY ENGINEER OF RECORD AND SHALL BE

CHECKED AND AUTHORIZED BY CITY UTILITIES DIVISION. 13. ALL NEW CONNECTIONS TO THE EXISTING WATER MAIN SHALL BE CUT-IN.

DATUM NOTE:

ELEVATIONS SHOWN HEREON ARE IN FEET AND BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)

	SANITARY SEWER			
	LATERAL	SL -		——SL ———
	UNDERGROUND WATER LINE	w -	F	W
	UNDERGROUND ELECTRIC LINE	—— Е -	TEL—	— Е ——
	UNDERGROUND FIRE LINE	—— F -	——F—	—— F ———
	UNDERGROUND GAS LINE			
	OVERHEAD WIRE			
	UNDERGROUND TELEPHONE LINE	———TEL-	——TEL—	TEL
	UNDERGROUND CABLE LINE	C -	——TEL—	C
= =	STORM SEWER			
	SANITARY SEWER MAIN			
	HYDRANT		+	
	SANITARY MANHOLE			
	STORM MANHOLE			
	CATCH			

LAKE WORTH BEACH, FL

**VILLAGE** 

**FLATS** 

INHABIT LAKE

WORTH BEACH, LLC

REVISIONS

COMMENT:

KNOW WHAT'S BELOW

BEFORE YOU DIG

07-24-2020 F200053 UTILITY PLAN

6300 NW 31ST AVENUE FORT LAUDERDALE, FL 33309 PH: (954) 202-7000 FX: (954) 202-7070

www.ThomasEngineeringGroup.com

MAXWELL T. KAPLAN

PROFESSIONAL ENGINEER FLORIDA LICENSE No. 83366

September 21, 2020 FLORIDA BUSINESS CERT. OF AUTH. No. 27528

SHEET TITLE:

**PRELIMINARY** UTILITY PLAN

SHEET NUMBER:



RIM=15.48' N.INV.=10.82'(6" CP) S.INV.=10.85'(15" CP) E.INV.=10.92 (18" CP) W./NV.=10.88 (18" CP)

\_\_\_\_\_\_

LOT 7

LOT 10

RIM=14.63'

15 N E ST. BLOCK "D"

E.INV.=11.33'(15" CP)-**VACANT** 

> RIM=14.93' N.W. INV.=10.58'(15" C W.INV.=10.58')15" CP)

> > PROP. 8" 45° BENDS (2)-

PROP. 1" WATER METER & 1" RPZ

LOT 8 PROP. 2" WATER— METER & 2" RPZ PROP. (2) 8" 45° VERT. BENDS. TOP EL. 12.15 (N) / 11.15 (S

PROP. 2" PE WATER SERVICE

PROP. 1" PE WATER SERVICE

8" X 2" TAPPING SADDLE W/ 2" CORP STO

PROP. 8" X 8" CROSS W/ (2) ISOLATION VALVES W/ END CAPS ON E/W BRANCHES

PROP. UPGRADED UTILITY POLE. COORDINATE WITH LAKE WORTH BEACH UTILITIES

PROVIDE 1' MIN. CLEARANCE UNDER EXIST. SAN. SEWER
BOT. EL. 8" SEWER: 12.15
TOP EL. 8" WATER MAIN: 11.15

S.M.H. —

RIM=15.05'

UNABLE TO OBTAIN INVERT

DUE TO WATER

OBSTRUCTION

PROP. 8" DIP WATER MAIN-

PROVIDE 1' MIN. CLEARANCE-ABOVE EXIST. STM PIPE

RIM=15.82'

MATERIAL DUE TO

EX. 12" CIP WATER MAIN

RIM=15.67'

W.INV.=8.52 (24" CP)

E.INV.=UNABLE TO OBTAIN INVERT DUE TO

D.M.H.

S.INV =9.19' (UNABLE N.INV.=6.50'(36" CP)
TO OBTAIN SIZE AND S.INV.=6.51'(36" CP)

PROP. 12" X 8"
TAPPING
SLEEVE AND
VALVE, S.P. #1

S./NV.=11.50'(12" CP)

PROP. (2) 45° VERT. BENDS. TOP— EL. 11.15 (N) / 12.15 (S)

LOT 9

PROP. 10'

PROP. 8" DIP-WATER MAIN PROP. FDC & 4"-DIP FIRE LINE

PROVIDE 1' MIN.
CLEARANCE |
UNDER EXIST.
8" SS MAIN

H

RIM=15.19' N./NV.=10.51'(15" CP) S.INV.=6.71'(36" CP)

> --PROP. 6" DIP FIRE LINE PROP. 8" 45° BENDS (2)

> > PROP. 8" X 4" TEE, 4" DIP FIRE LINE, 4" 90° BEND

TAPPING SLEEVE AND

PROP. 6" C/O I.E. 13.00

#1228

ONE STY.

RESIDENCE

F.F.=16.83

4" RED., S.P. #2

PROP. 8"X6" WYE CONNECTION I.E. 12.17

BUILDING | CLR.: 1.03'

DDCV PROP. 4" G.V.

DING

IDENTIAE BUILE 16.50 NAVD

RESII FFE

EXIST. FIRE HYDRANT

PROP. PVC ELEC. CONDUIT (TYP.)

CONFLICT #3 FENCE

ONE STY. | BOT. EL. EXIST. 4" WM: 11.00 TOP EL. 6" STM: 9.97 | CIR: 103' | CIR: 103

| LOT 14

#1224

+ CONFLICT #4
BOT. EL. EXIST. 8" SS: 12.07
TOP EL. 6" STM: 10.00

ONE STY.

RESIDENCE

\_\_\_\_\_\_

PROP. 10' WIDE UTILITY EASEMENT

CONNECT ELEC. SERVICES TO EXIST.
UTILITY POLE. COORDINATE WITH LAKE

6' WOODEN ---

LUCERNE AVENUE

PROP. UTILITY

*35.00* °

LAKE AVENUE

COORDINATE WITH

CONFLICT #2— BOT. EL. EXIST. 8" SS: 11.85 TOP EL. 15" STM: 9.50 CLR.: 2.35'

PROP. 6" C/O W/ CONC. COLLAR (TYP.) I.E. 12.10

-PROP. 8"X6" WYE

CONFLICT #1
BOT. EL. EXIST. 4" WM: 11.00
TOP EL. 15" STM: 9.50
CLR.: 1.50'

*35.00* °

URBAN ARTS LOFTS

(P.B. 116, PG. 72

——OH——OH———— EX. 4" CIP WATER MAIN

EX. 8" CLAY SANITARY MAIN

ONE STY. RESIDENCE

LOT 11

#1212

TRACT A

P.B.C.R.)

RIM=14.45'

W./NV.=11.65'(8" CLAY)

N.INV.=11.60'(8" CLAÝ)

TYPE "F"/ -

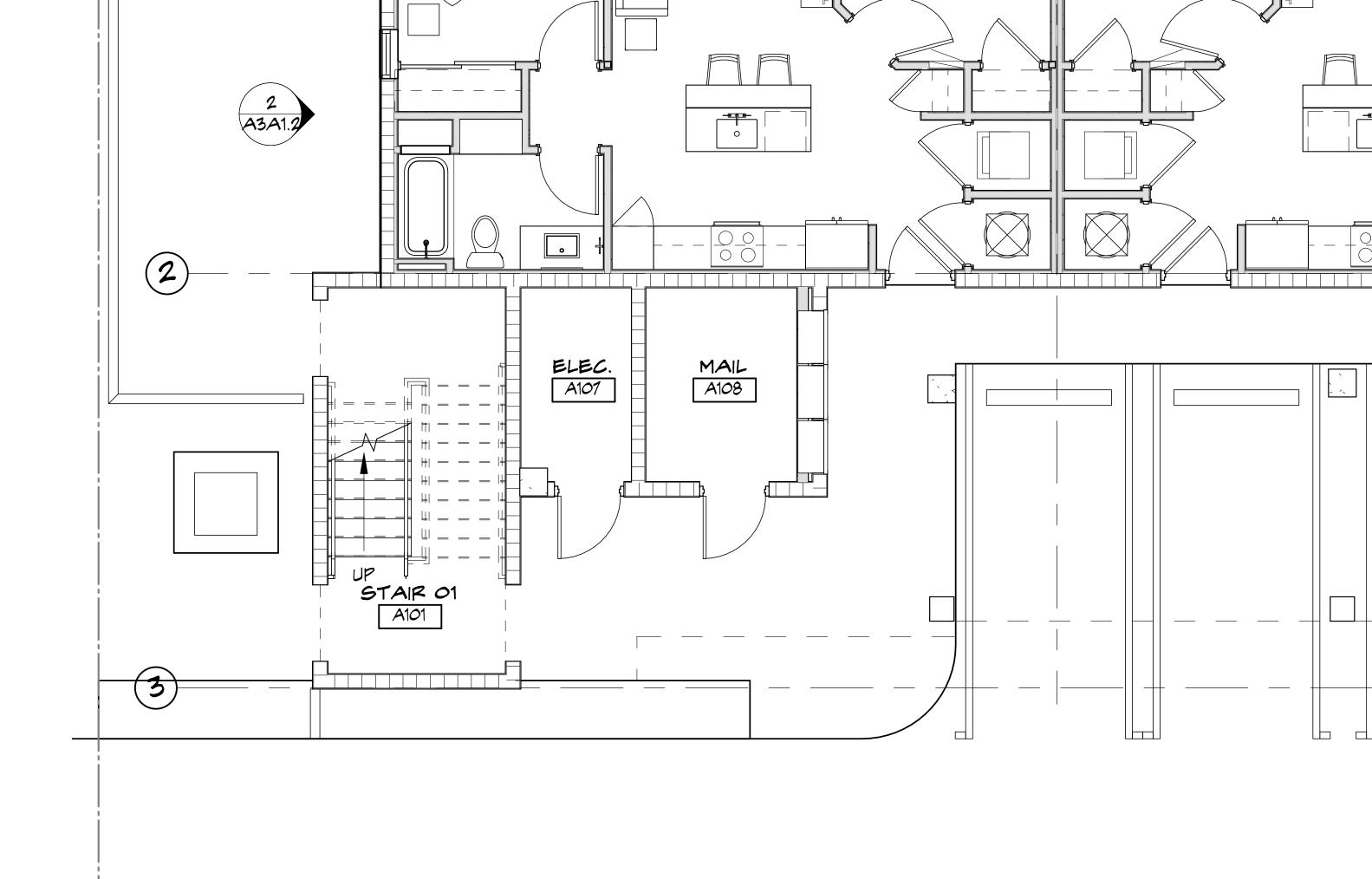
VALLEY C&G

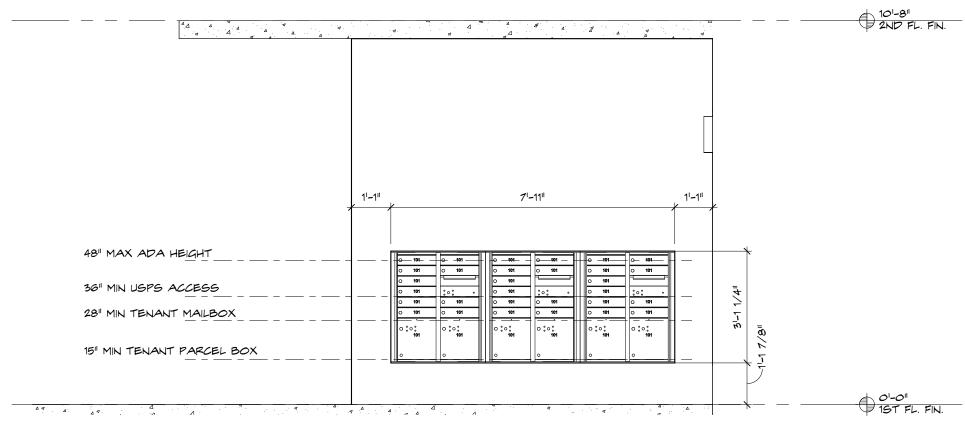
### October 20, 2020 Resubmission and Revised Plans

Mailroom

Sign Plan

Renderings





1 MAILBOX PER UNIT = 30 MAILBOXES REQUIRED 1:5 PARCEL BOXES PER UNIT = 6 PARCEL BOXES REQUIRED

PROVIDED: 30 MAILBOXES 6 PARCEL BOXES

# **MONUMENT SIGN**





NON-ILLUMINATED MONUMENT SIGN SINGLE SIDED - NORTH ELEVATION





**VILLAGE FLATS** 

Lucerne Ave & E Steet

InHabit Property Group

#### PROPOSED SIGN PLAN VILLAGE FLATS





Devel.

Aprentite
Devel.

Sin
\$110,000

VILLAGE FLATS

Lucerne Ave & E Steet Lake Worth, FL InHabit Property Group

# (A) TENANT SIGNAGE



Colors & Finishes

ALL FINISHES - MATHEWS ACRYLIC POLYURETHANE

- GREY TO WATCH BUILDING
- ^
- OW
- BUG

- Construction Specifications
  - RAISED 2'x2" ALUMINUM FRAME
    WELDED CONSTRUCTION
  - 1/8" THICK ALUMINUM BACKER PANEL
  - 1/4" THICK ALUMINUM LETTERS

2 Signarama

na best

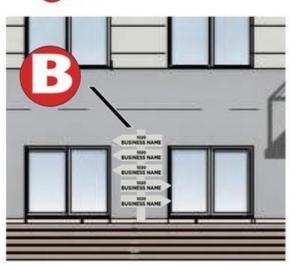
60 15 309

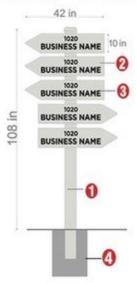
VILLAGE FLATS

Lucerne Ave & E Steet

Builder
InHabit Property Group

# WAYFINDING SIGNAGE







- GREY TO MATCH BUILDING MATHEWS ACRYLIC POLYURETHANE
- GREY TO MATCH BUILDING MATHEWS ACRYLIC POLYURETHANE

#### Construction Specifications

- 6" x 6" ALUMINUM POLE WITH FINAL CAP
- 1/4" THICK ALUMINUM PANEL WELDED TO POLE
- **BLACK CUT VINYL LETTERS**
- POLE INSTALLED IN CONCRETE FOOTING





VILLAGE FLATS

Lucerne Ave & E Steet Lake Worth, FI

Builder

InHabit Property Group







