

VILLAGE FLATS

Lake & Lucerne
Lake Worth Beach, FL 33460



Architecture + Interior Design
Keith M. Spina # AR13419

285 BANYAN BLVD
WEST PALM BEACH, FLORIDA 33401
ph: 561.684.6844 • spinaorourke.com
FL Lic. # AA26002399



SITE PLAN SUBMITTAL (07-31-20) SITE PLAN RE-SUBMITTAL (09-21-20)



THOMAS ENGINEERING
Civil Engineer and
Landscape Architecture

6300 NW 31ST AVENUE
FORT LAUDERDALE, FL 33309
954.202.7000



**PLACE PLANNING AND
DESIGN**
Land Planner

700 US HIGHWAY ONE, SUITE C
NORTH PALM BEACH, FL 33408
561.863.2722



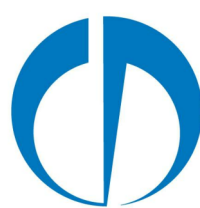
PLANNING SOLUTIONS
Land Planner

981 DELRAY LAKES DRIVE
DELRAY BEACH, FL 33444
561.863.2722



INHABIT PROPERTY GROUP
Developer

2200 BUTTS ROAD, SUITE 300
BOCA RATON, FL 33431



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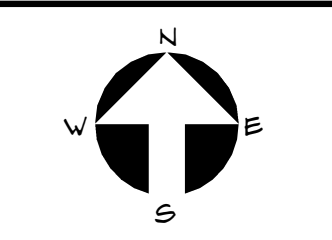
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VILLAGE FLATS

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Drawn by: Author
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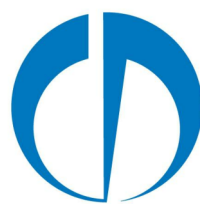


CVR.
SITE PLAN SUBMITTAL

COVER SHEET



SITE LOCATION PAGE



SITE PLAN APPLICATION
VILLAGE FLATS

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Lake Worth Beach, FL 33460

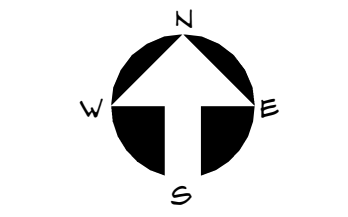
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CSP-1.

SITE PLAN SUBMITTAL



MASTER RENDERED SITE PLAN

SITE PLAN APPLICATION

VILLAGE FLATS

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CSP-2.

SITE PLAN SUBMITTAL

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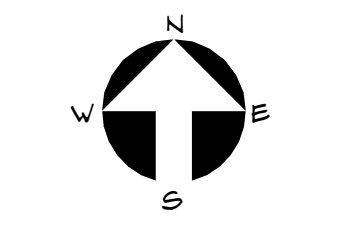
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PHASE 1 RENDERED SITE PLAN

CSP-3.
SITE PLAN SUBMITTAL

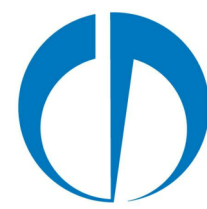


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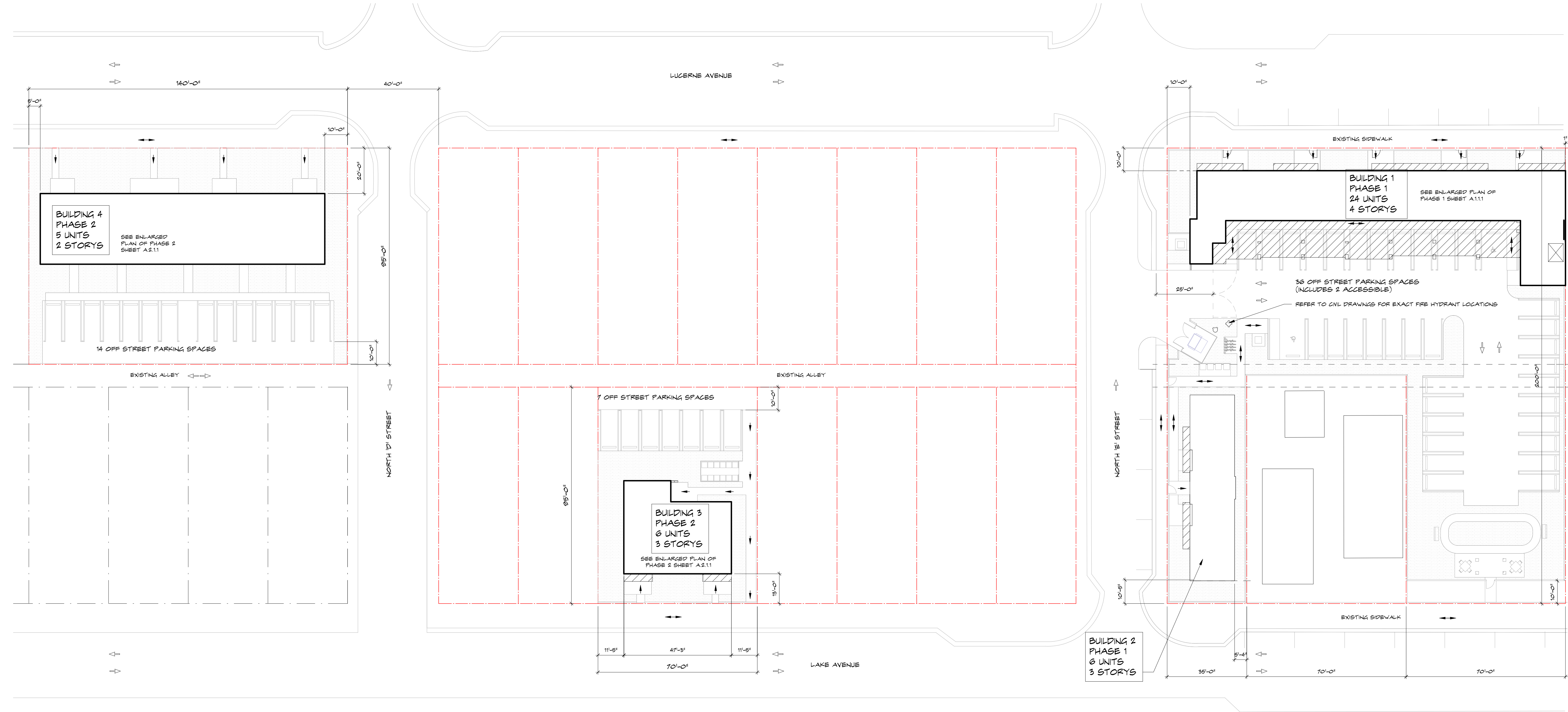
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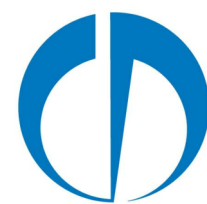
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1 OVERALL SITE / PHASING PLAN
AS-1 Scale: 3/64" = 1'-0"

LEGEND

- OVERHANGS
- LANDSCAPE
- VEHICULAR CIRCULATION ARROWS
- PEDESTRIAN CIRCULATION ARROWS



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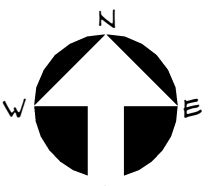
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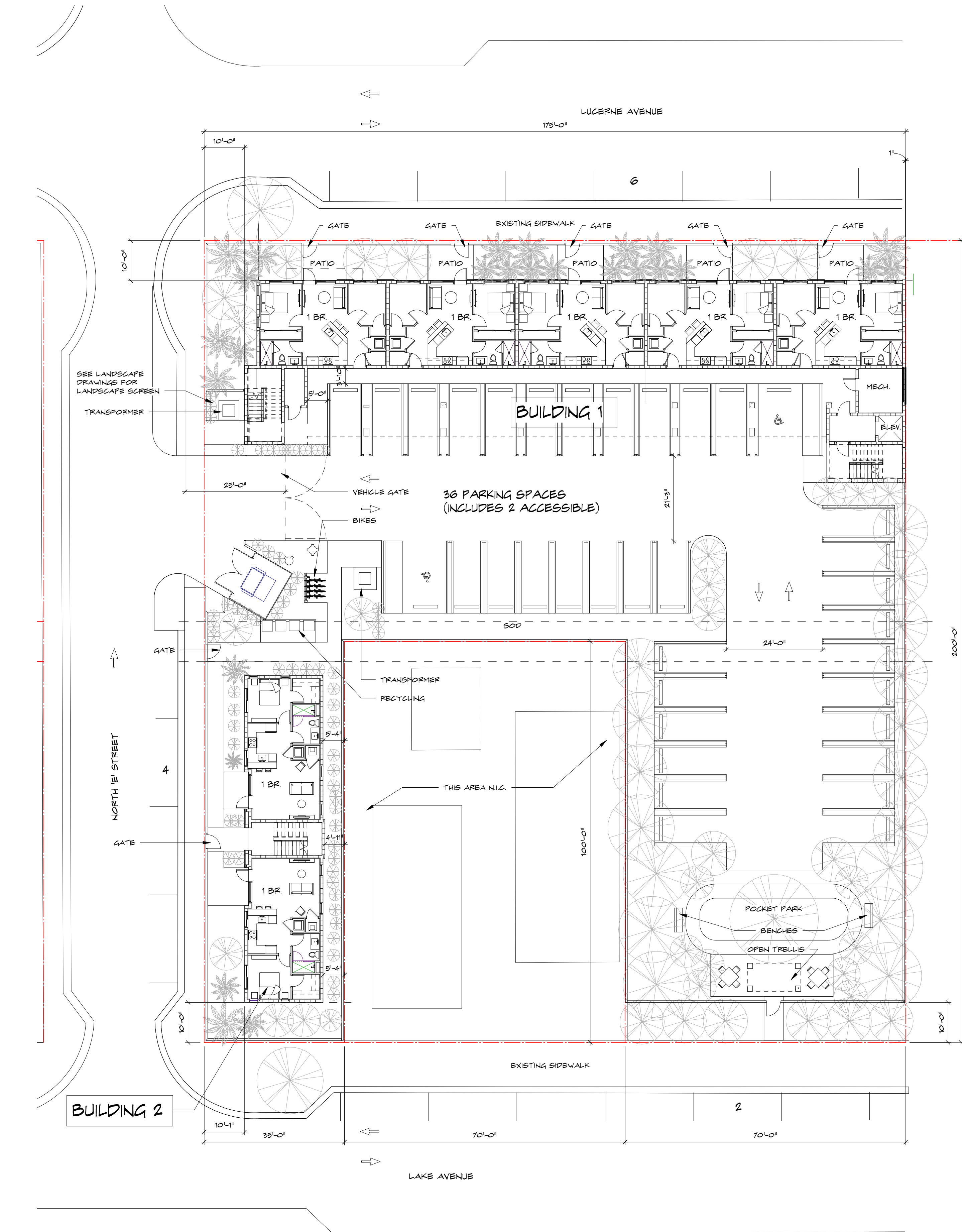
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AS-1.

SITE PLAN SUBMITTAL

OVERALL SITE PLAN - PHASING PLAN



1 GROUND FLOOR PLAN - PHASE 1
A1.1.1 Scale: 1/16" = 1'-0"

PROJECT DATA

VILLAGE FLATS' LAKE WORTH BEACH FLORIDA

PHASE 1 PROPERTY: SITE 1: 1207, 1209, 1211, 1213, 1215 & LUCERNE AVENUE. 1216, 1220 & 1230 LAKE AVENUE. 8 LOTS 100' X 35' EACH. 28,000 S.F.

PHASE 2 PROPERTY: SITE 2: LOTS 5, 6, 7 & 8 95' X 35' EACH (1401 LUCERNE) 13,300 S.F. SITE 3: LOTS 13 & 14 95' X 35' EACH (1310 LAKE) 6650 S.F.

TOTAL AREA: 28,000 S.F. + 19,950 S.F. = 47,950 = 1.10078 ACRES

CURRENT ZONING DESIGNATION: MU-E - MIXED USE EAST - LAKE & LUCERNE AVENUES

PROPOSED USE: MULTI-FAMILY RESIDENTIAL

SETBACKS:

FRONT (LAKE & LUCERNE): REQUIRED: 10' MINIMUM 22' MAXIMUM PROVIDED: 10'

REAR: REQUIRED: NA PROVIDED: N/A

SIDE: REQUIRED: 10' ON STREET AND 0 FT. ON INTERIOR LOT. PROVIDED: 10' ON STREET AND 0 FT. ON INTERIOR LOT.

(ADDITIONAL SETBACK ABOVE 3RD STORY NOT PROVIDED)

PROPOSED AREA OF STRUCTURES PHASE 1: 25,884 S.F.
PROPOSED AREA OF STRUCTURES PHASE 2: 12,802 S.F.

F.A.R.: ALLOWED: 140 FAR
PROPOSED: 92 FAR (PHASE 1)
64 FAR (PHASE 2)
81 FAR (PHASE 1 & 2)

HEIGHT: ALLOWED: 30 FT. MAX. (45 FT. WITH INCREASE OF ADDITIONAL 15' PER SUSTAINABLE BONUS INCENTIVE.) PROVIDED: 45 FT. MAX.

DENSITY: ALLOWED: 30 DU/ACRE WITH INCREASE OF 25% = 412 UNITS
PROVIDED IN PHASE 1: 30 DWELLING UNITS
PROVIDED IN PHASE 2: 11 DWELLING UNITS

PARKING PHASE 1:

REQUIRED: STUDIO & 1 BEDROOM: 15 REQUIRED / UNIT REQUIRED
2 BEDROOM: 1.75 SPACES/ UNIT REQUIRED
TOTAL PHASE 1 REQUIRED: 47 SPACES

PROVIDED: 36 SPACES (ON SITE)
+ 12 PARALLEL ON STREET
+ 4 BIKES + 1 SPACE
49 SPACES

TOTAL PHASE 1 PARKING:

PARKING PHASE 2: REQUIRED: 24 SPACES
PROVIDED: 29 SPACES

IMPERMEABLE SURFACE:

PHASE 1: ALLOWED: 65% MAX. PROPOSED: 53.4% *
PHASE 2: 65% MAX. 65%
*PHASE 1 UTILIZES SEMI-PERVIOUS PAVERS W/ AREA CALCULATED AT 50%

LOT COVERAGE:

PHASE 1: ALLOWED: 55% PROPOSED: 29%
PHASE 2: 55% 28%

OPEN SPACE PROVIDED:

PHASE 1: 9,432 S.F.
PHASE 2: 10,160 S.F.

UNIT AREAS

BUILDING 1 - PHASE 1		
UNIT #	TYPE	AREA PROPOSED
1	1 BEDROOM	600 S.F.
2	2 BEDROOM	750 S.F.
3	1 BEDROOM	600 S.F.

BUILDING 2 - PHASE 1		
UNIT #	TYPE	AREA PROPOSED
4	1 BEDROOM	600 S.F.

BUILDING 3 - PHASE 2		
UNIT #	TYPE	AREA PROPOSED
5	1 BEDROOM	600 S.F.

BUILDING 4 - PHASE 2		
UNIT #	TYPE	AREA PROPOSED
6	3 BEDROOM	1,550 S.F.

UNIT TABULATION

PHASE 1

BUILDING 1 (24 UNITS)
1ST FLOOR: (5) 1 BEDROOM UNITS: 4314 G.S.F.
2ND FLOOR: (5) 2 BEDROOM UNITS: 5618 G.S.F.
3RD FLOOR: (6) 1 BEDROOM UNITS + (1) 2 BEDROOM UNIT: 5618 G.S.F.
4TH FLOOR: (6) 1 BEDROOM UNITS + (1) 2 BEDROOM UNIT: 5618 G.S.F.

TOTAL AREA BUILDING 1: 21,168 G.S.F.

BUILDING 2 (6 UNITS)
1ST FLOOR: (2) 1 BEDROOM UNITS 1572 S.F.
2ND FLOOR: (2) 1 BEDROOM UNITS 1572 S.F.
3RD FLOOR: (2) 1 BEDROOM UNITS 1572 S.F.

TOTAL AREA BUILDING 2: 4716 S.F.

TOTAL AREA BUILDING 1 & 2: 25,884 S.F.

30 UNITS IN PHASE 1

PHASE 2

BUILDING 3 (6 UNITS)
1ST FLOOR: (2) 1 BEDROOM UNITS 1684 G.S.F.
2ND FLOOR: (2) 1 BEDROOM UNITS 1684 G.S.F.
3RD FLOOR: (2) 1 BEDROOM UNITS 1684 G.S.F.
TOTAL AREA BUILDING 3: 5052 G.S.F.

BUILDING 4 (5 UNITS)
(5) 2 STORY TOWNHOUSES: 1,550 G.S.F./ UNIT
TOTAL AREA BUILDING 4: 7,750 G.S.F.

TOTAL AREA BUILDING 3 & 4: 12,802 S.F.

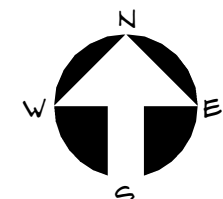
11 UNITS IN PHASE 2

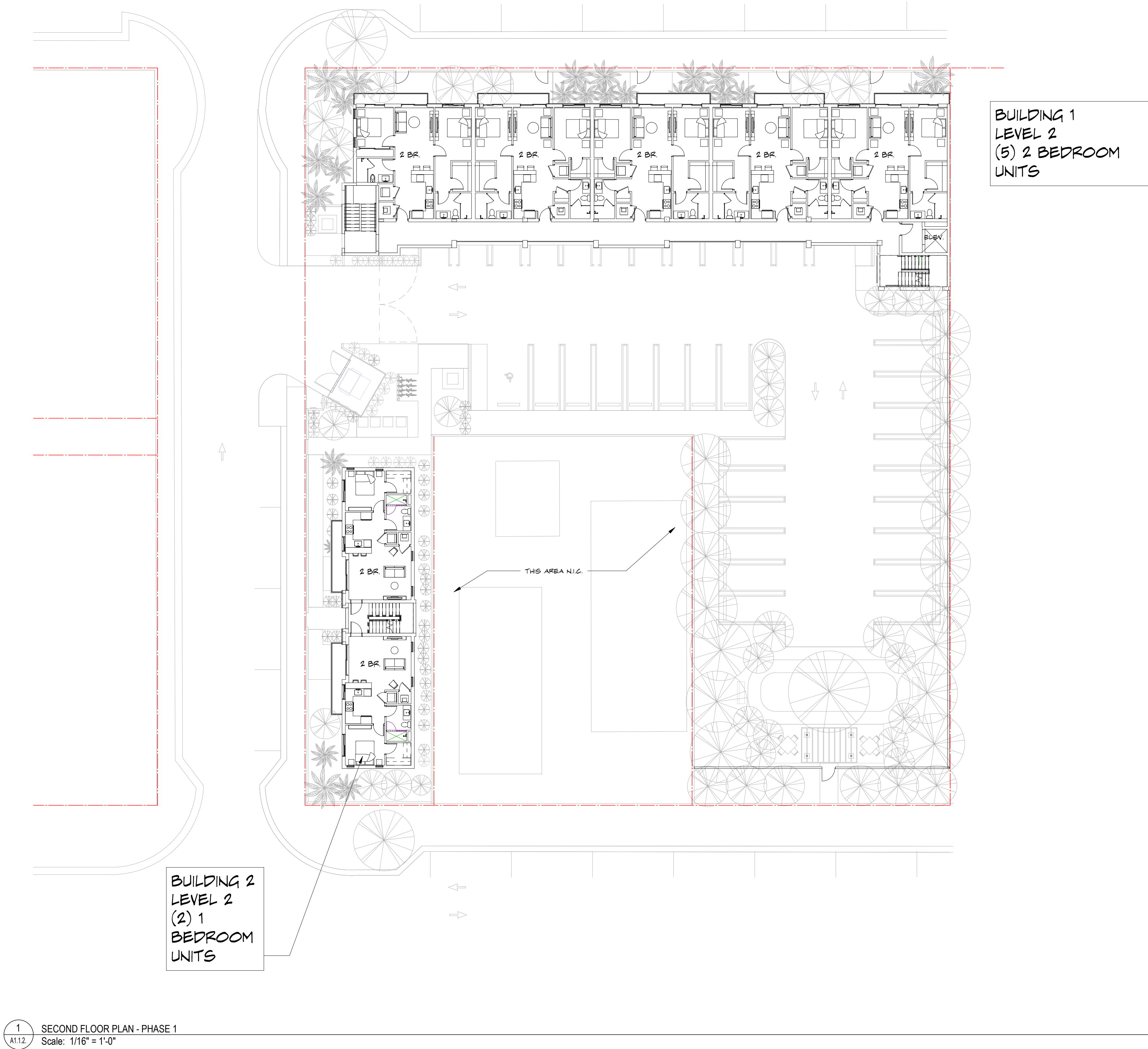
TOTAL AREA PHASE 1 & 2: 38,686 S.F.

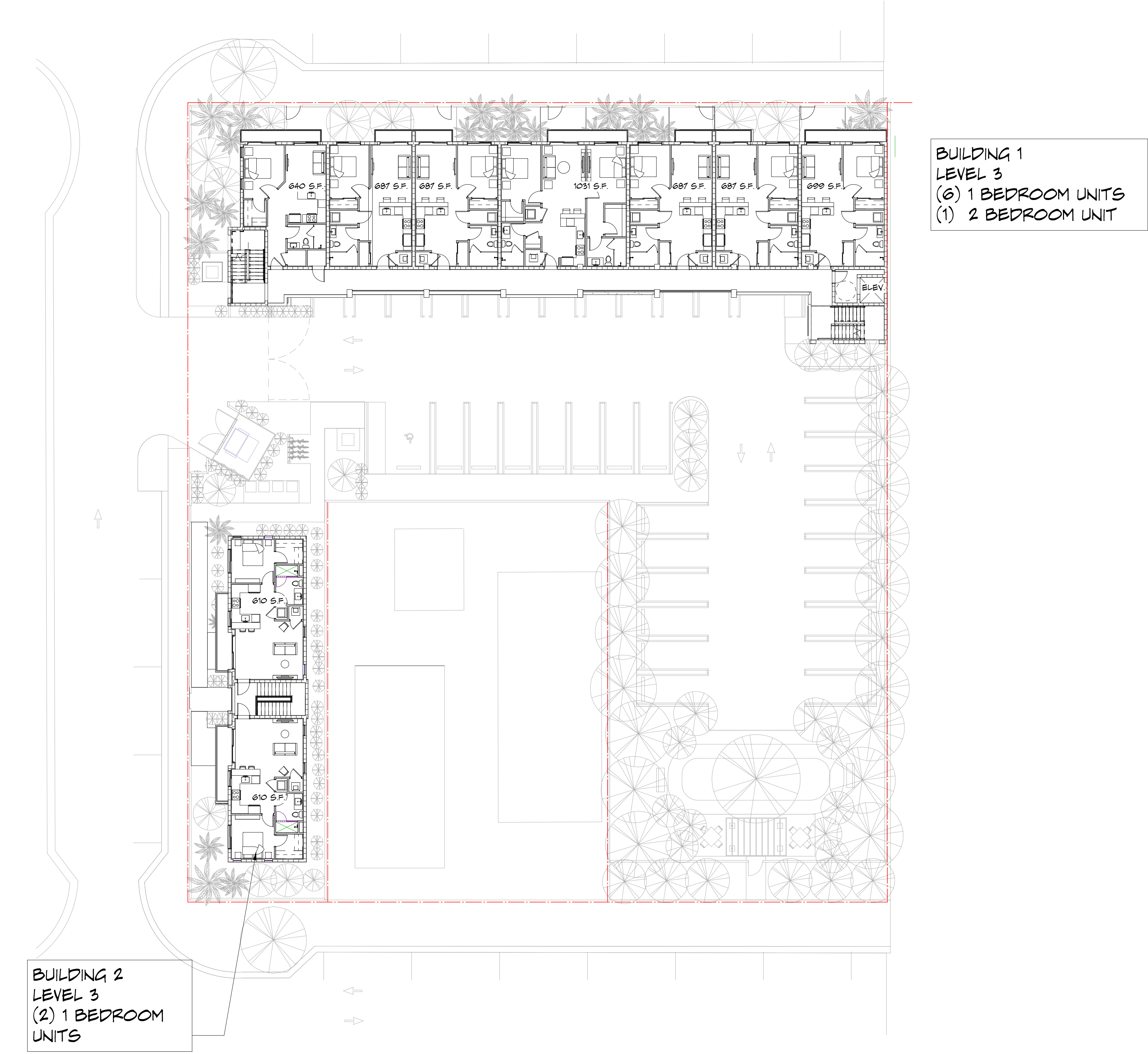
TOTAL UNITS PHASE 1 & 2: 41

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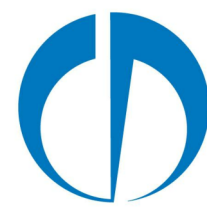
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1 THIRD FLOOR PLAN - PHASE 1
A1.1.3 Scale: 1/16" = 1'-0"



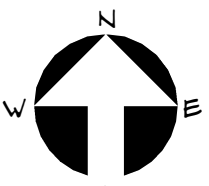
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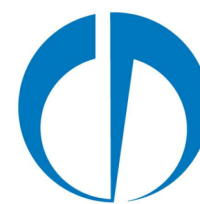
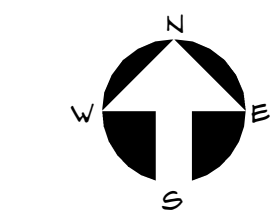
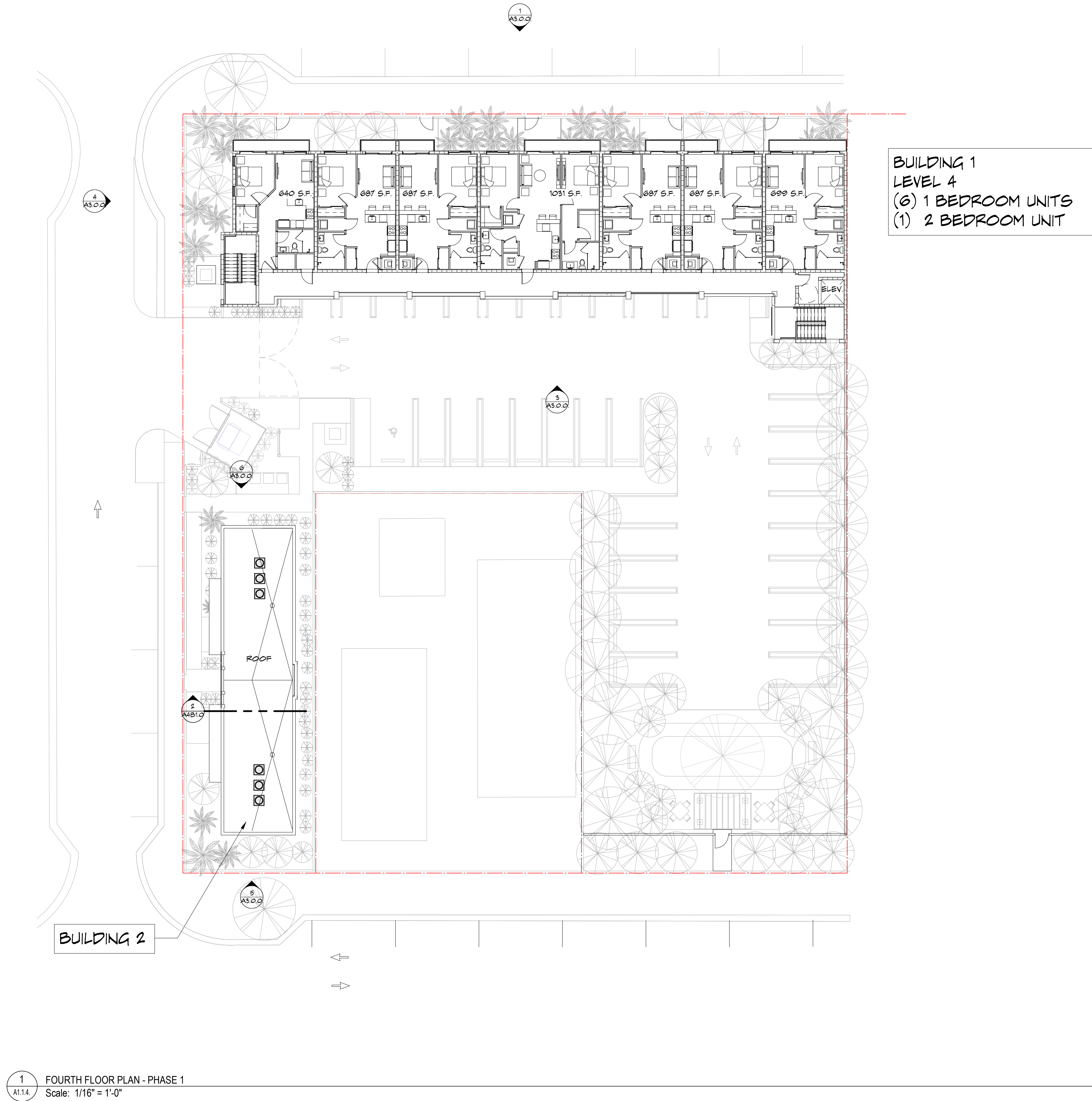
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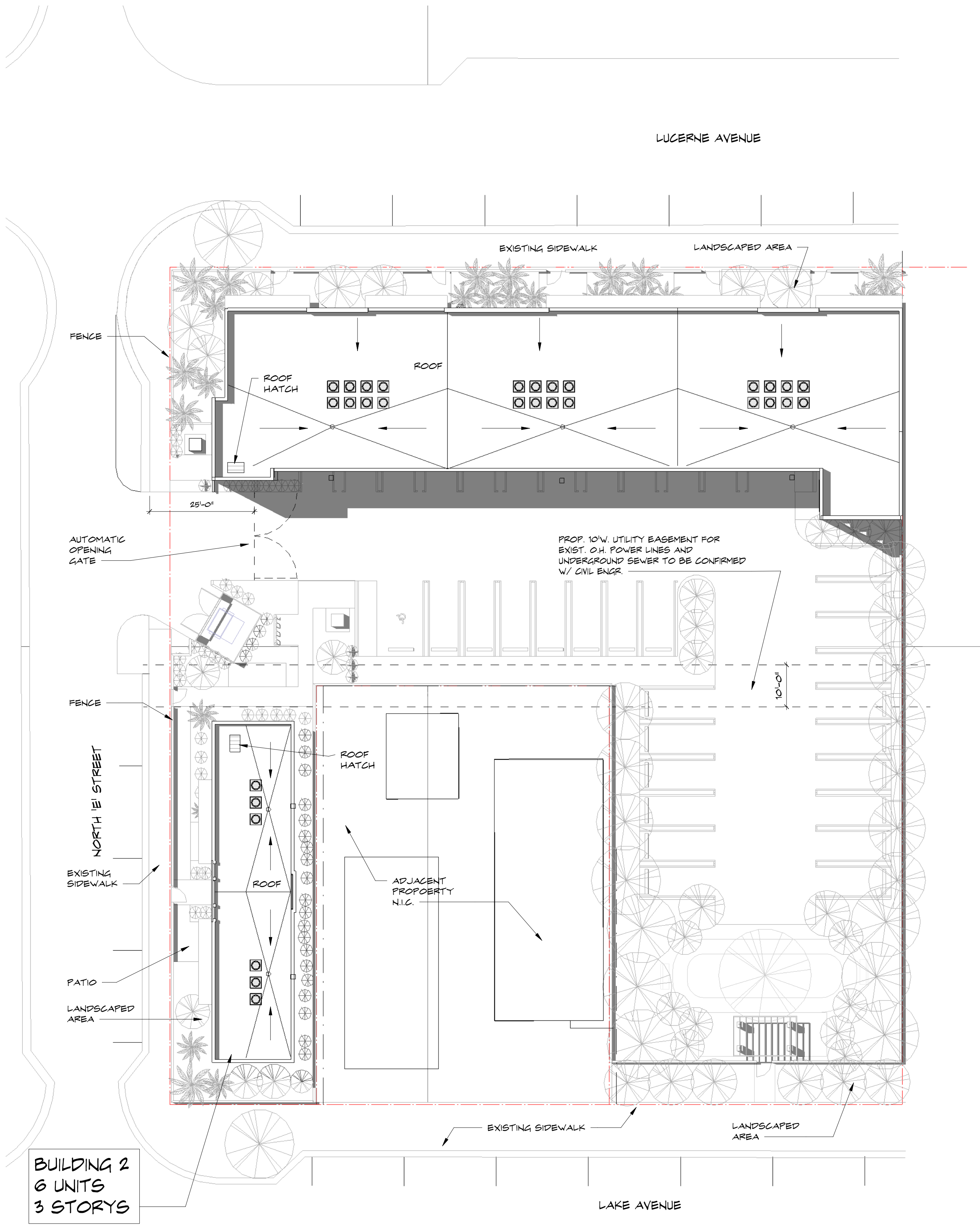
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A1.1.3.

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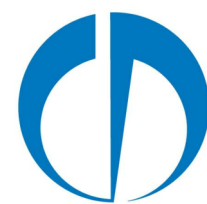




BUILDING 1:
24 UNITS
4 STORIES

BUILDING 2
6 UNITS
3 STORIES

1 ROOF PLAN - PHASE 1
A1.1.5 Scale: 1/16" = 1'-0"



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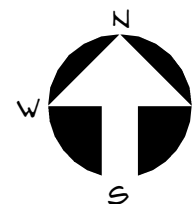
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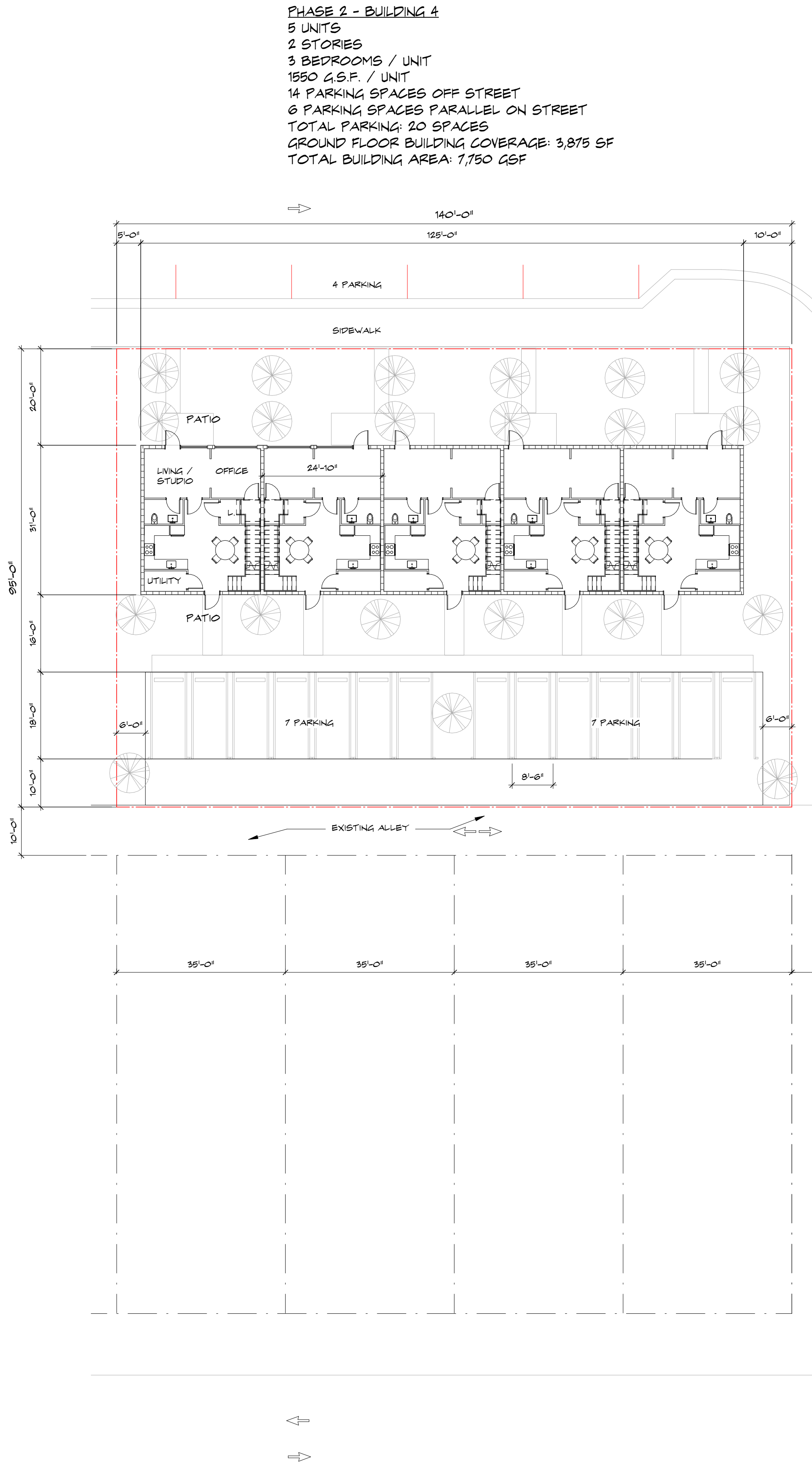


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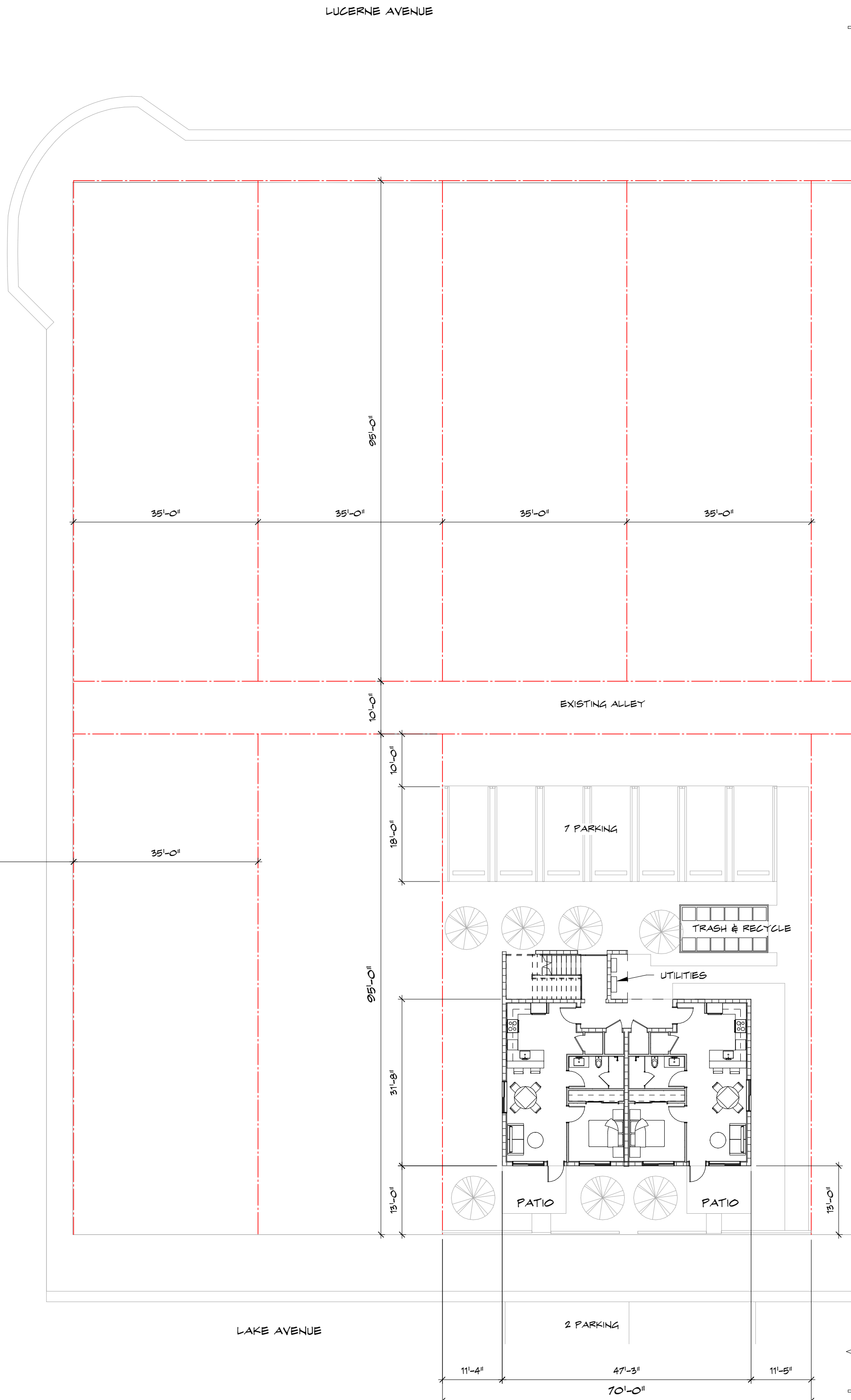
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ROOF PLAN PHASE 1

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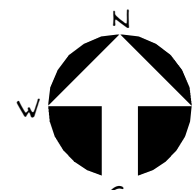
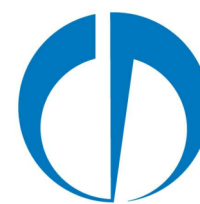
NORTH D STREET



LUCERNE AVENUE

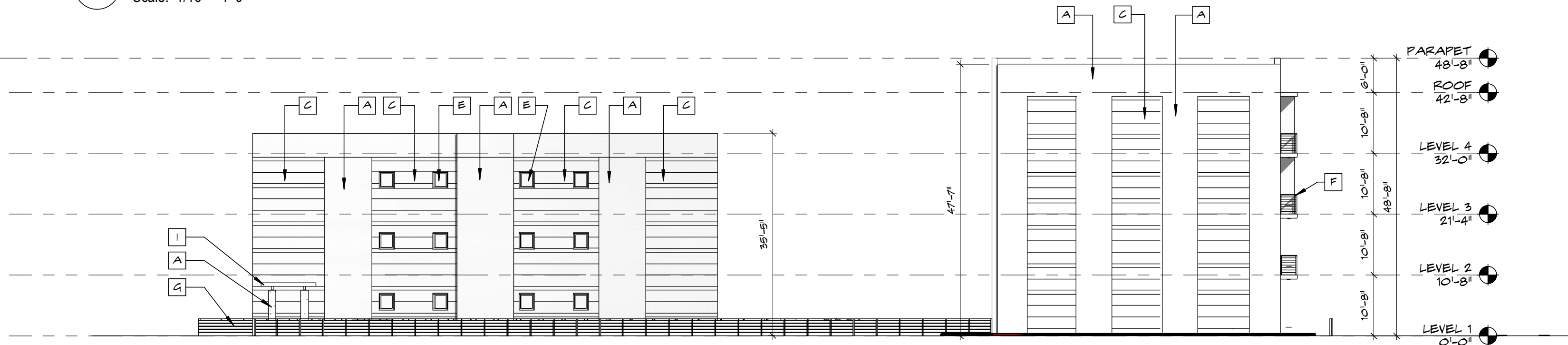
LAKE AVENUE

1 GROUND FLOOR PLAN - PHASE 2
A2.1.1 Scale: 1/16" = 1'-0"





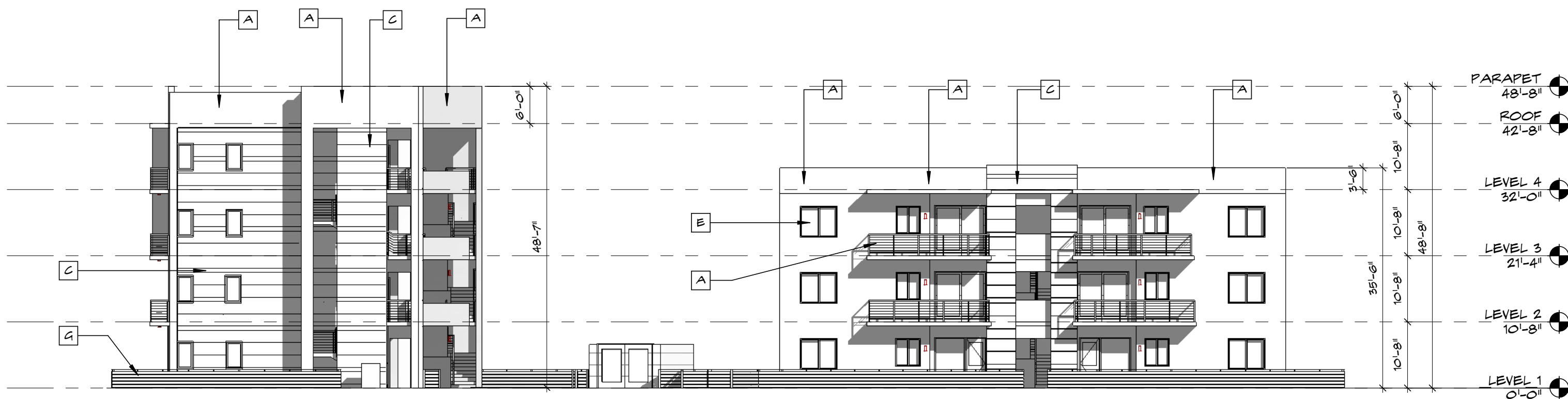
1 NORTH ELEVATION - BUILDING 1 LUCERNE AVENUE
Scale: 1/16" = 1'-0"



2 EAST ELEVATION - BUILDING 1 & 2
Scale: 1/16" = 1'-0"



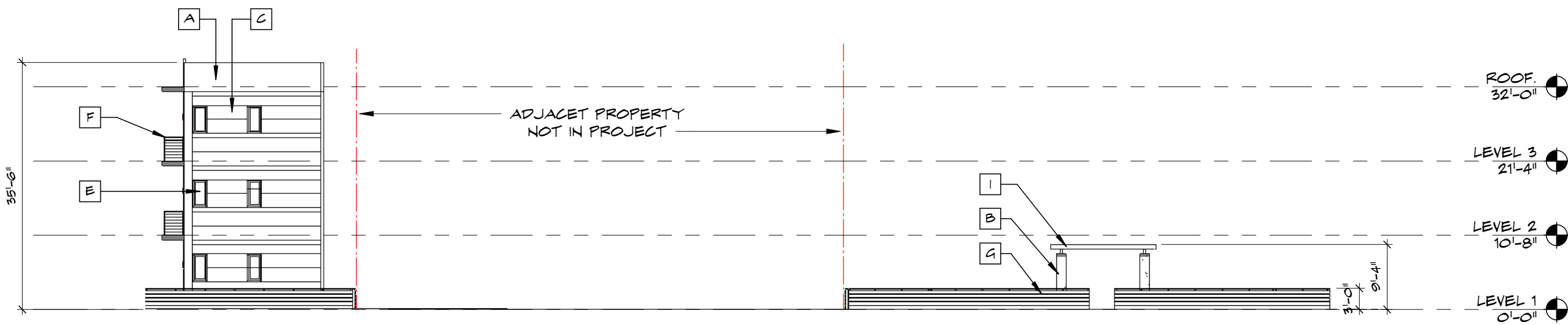
3 SOUTH ELEVATION - BUILDING 1
Scale: 1/16" = 1'-0"



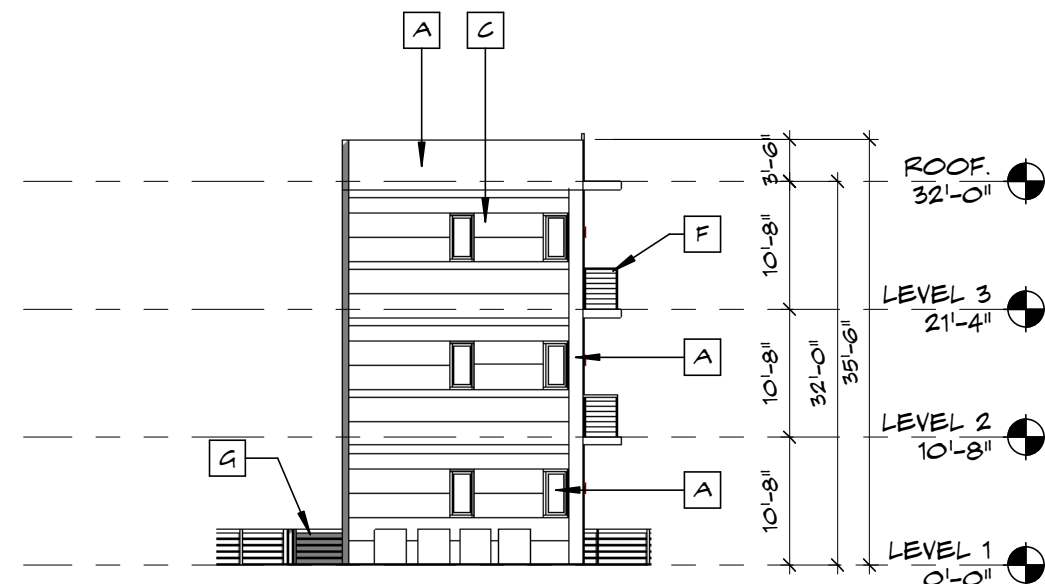
4 WEST ELEVATION - BUILDING A
Scale: 1/16" = 1'-0"

MATERIAL NOTES

- A FINISH: SMOOTH STUCCO, COLOR: HIGH REFLECTIVE WHITE SW7787
- B FINISH: SMOOTH STUCCO, COLOR: 'MOONLIT ORCHID' SW 9153
- C FINISH: SMOOTH STUCCO WITH REVEAL PATTERN, COLOR: 'FLEUR DE SEL' SW7668
- D FINISH: ANODIZED ALUM. COLOR: GRAY (DOOR/WINDOW FRAME)
- E FINISH: LAMINATED GLASS, LT GREY TINT
- F FINISH: ALUM RAILINGS, COLOR: GRAY
- G FINISH: WOOD FENCE, COLOR: NATURAL WOOD - PRESSURE TREATED
- H FINISH: SMOOTH STUCCO, YELLOW COLOR
- I FINISH: ALUMINUM TRELLIS STRUCTURE PAINTED GREY



5 Z BUILDING B-SOUTH ELEVATION Copy 1
Scale: 1/16" = 1'-0"



6 Z BUILDING B- NORTH ELEVATION Copy 1
Scale: 1/16" = 1'-0"

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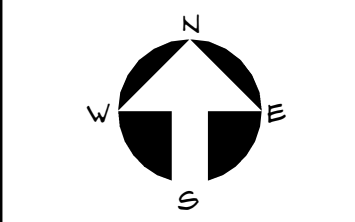
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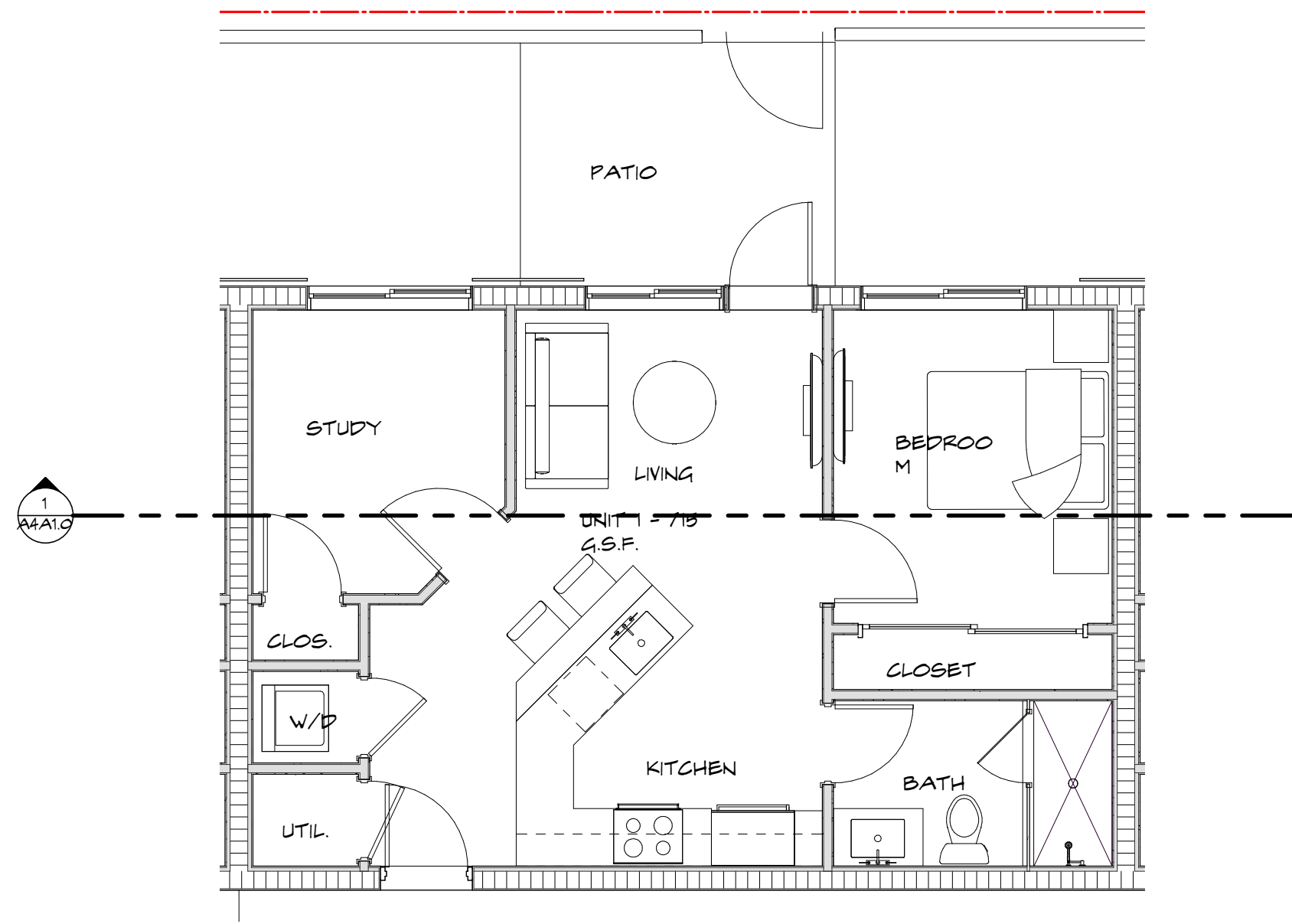
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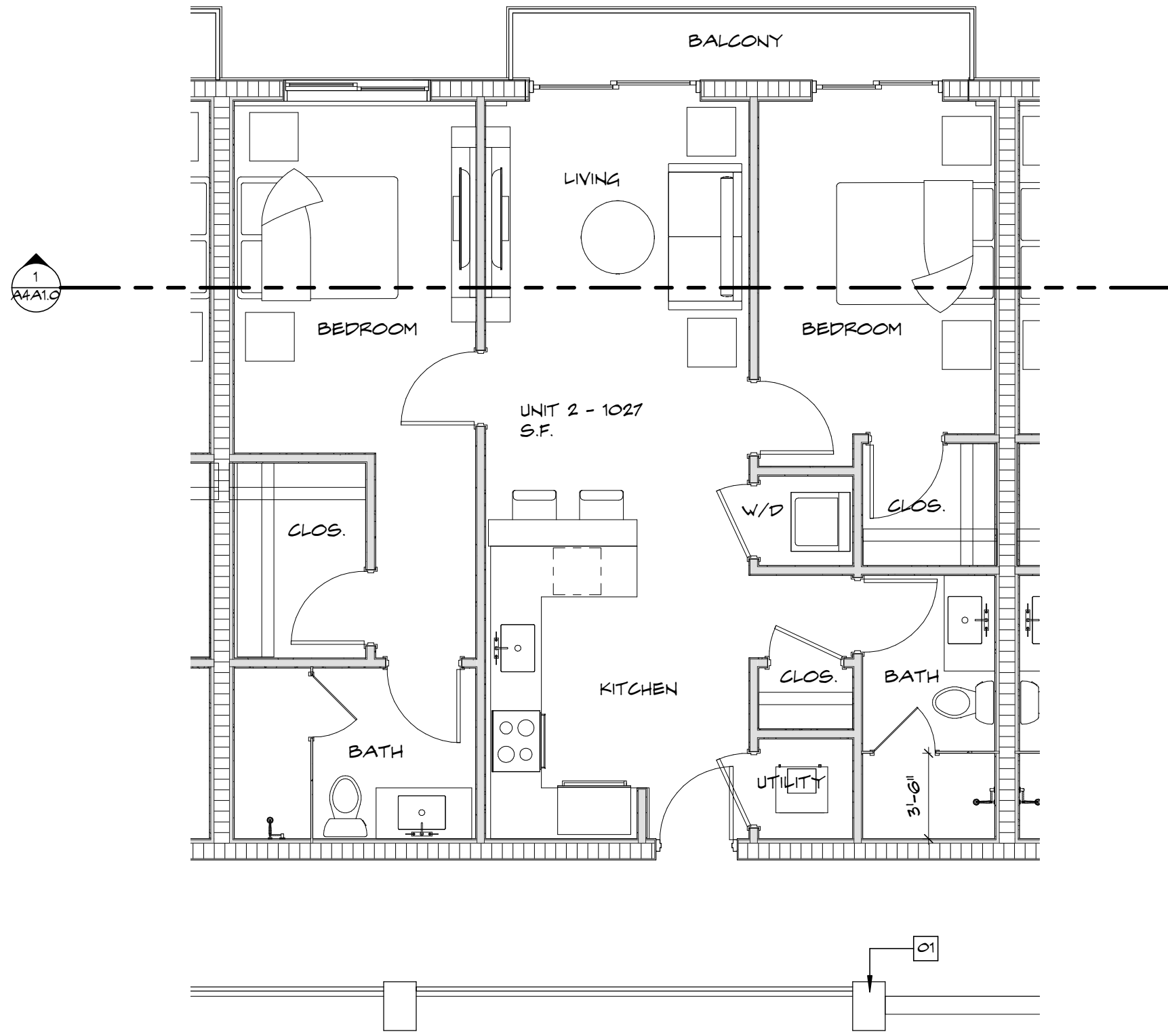


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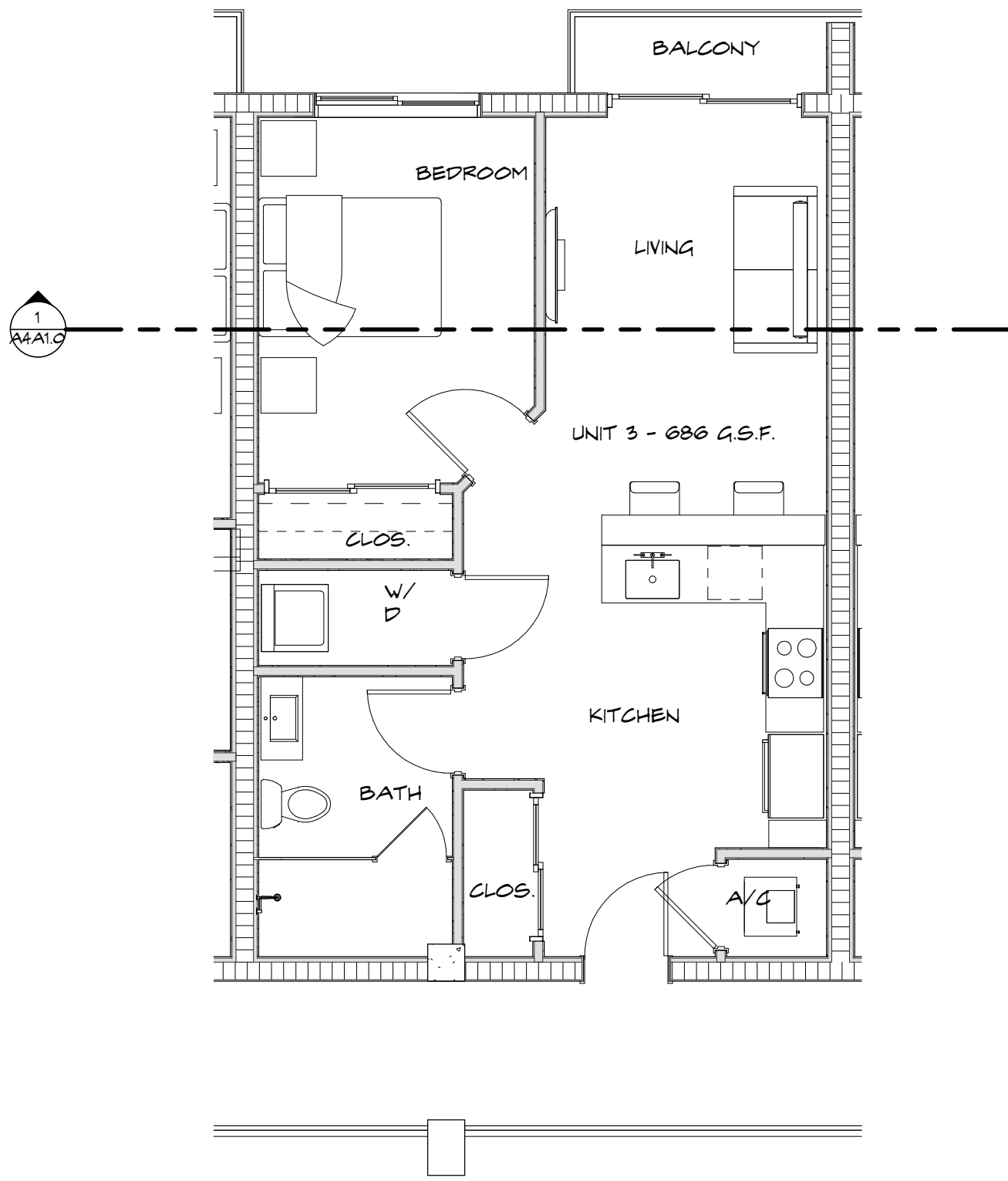
ELEVATIONS



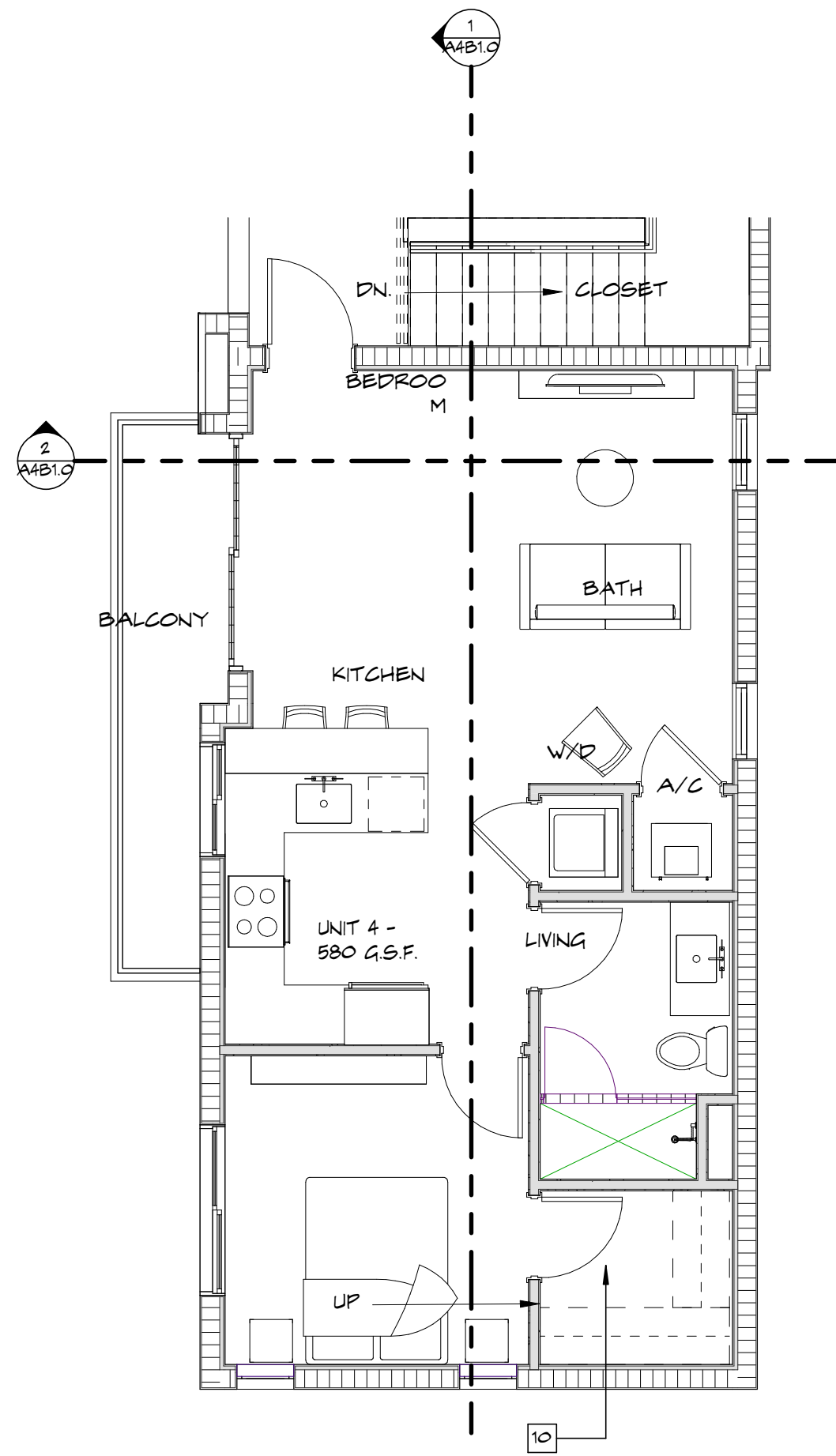
1 UNIT PLANS - UNIT 1 - BUILDING 1 - FIRST FLOOR
Scale: 3/16" = 1'-0"



2 UNIT PLANS - UNIT 2 - SECOND FLOOR - BUILDING 1
Scale: 3/16" = 1'-0"



3 UNIT PLANS - UNIT 3 - THIRD FLOOR - BUILDING 1
Scale: 3/16" = 1'-0"



4 UNIT PLANS - UNIT 4 - BUILDING 2
Scale: 3/16" = 1'-0"



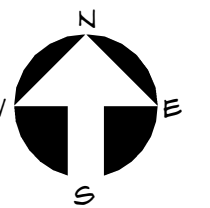
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A9.0.1.

SITE PLAN SUBMITTAL

UNITS PLANS



VIEW LOOKING SOUTHEAST ON LUCERNE AVENUE

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RENDERING 1

R-1

SITE PLAN APPLICATION



VIEW LOOKING SOUTHEAST ON LUCERNE AVENUE

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VILLAGE FLATS

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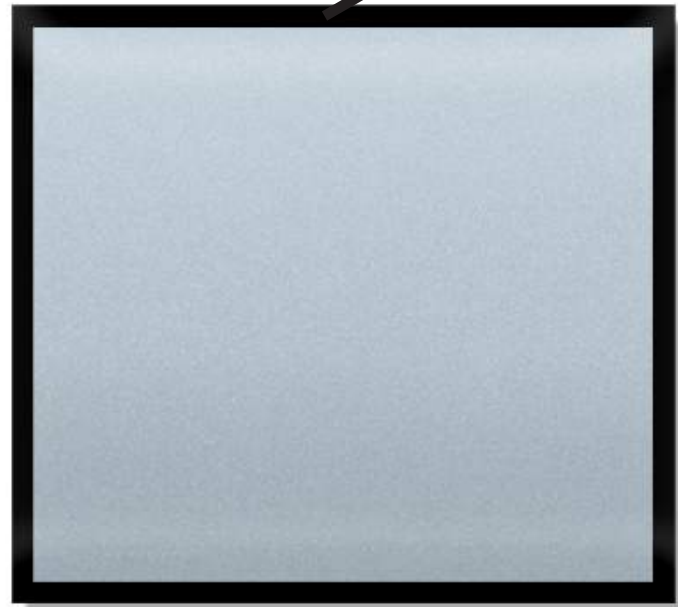
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RENDERING ALTERNATE

R-1A

SITE PLAN APPLICATION



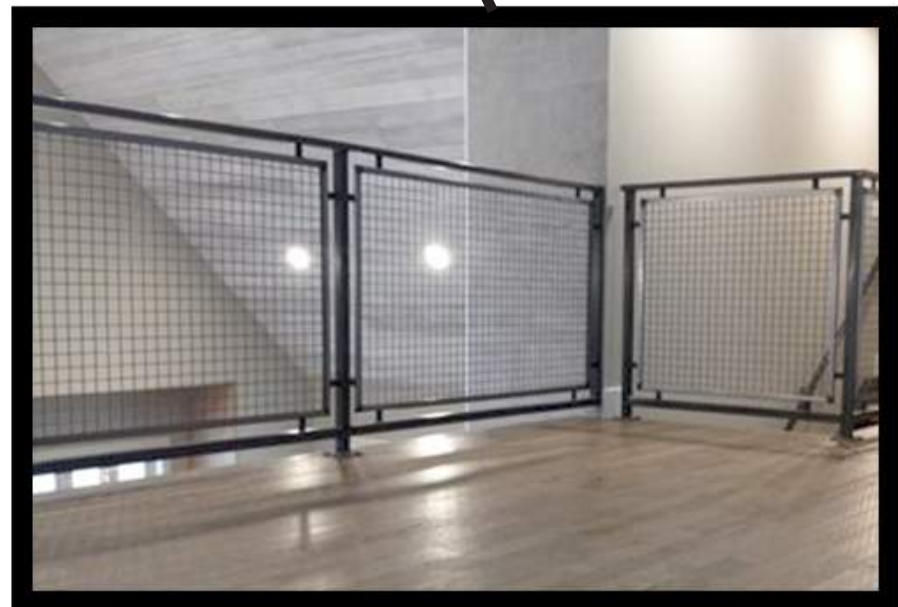
WINDOW FRAMES
Silver



WINDOWS
Clear Tinted Glass



**COLOR G
WOOD FENCE**
Vintage Wood; Color:Ash



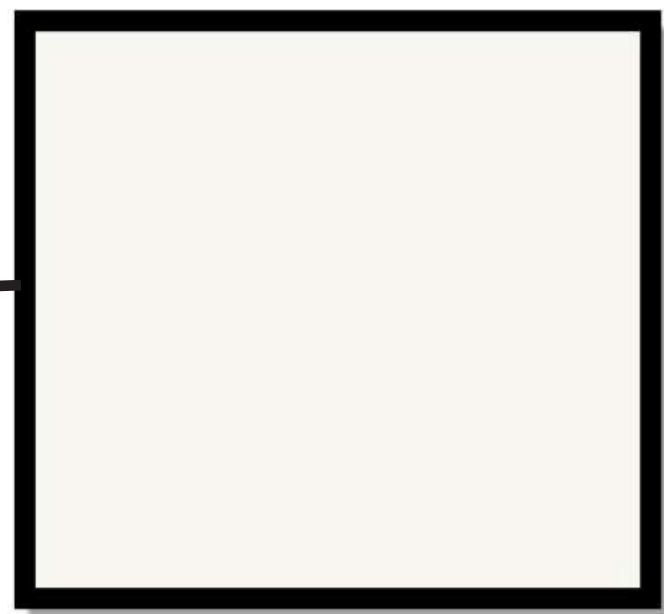
RAILINGS
Aluminum Railings
Color: Silver



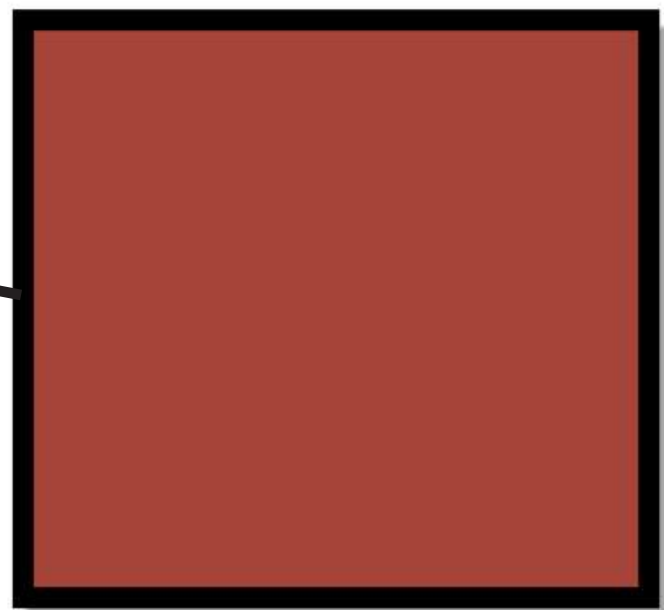
WALL SCONCE
Modern Decorative Outdoor Sconce
Color: Gray Metal



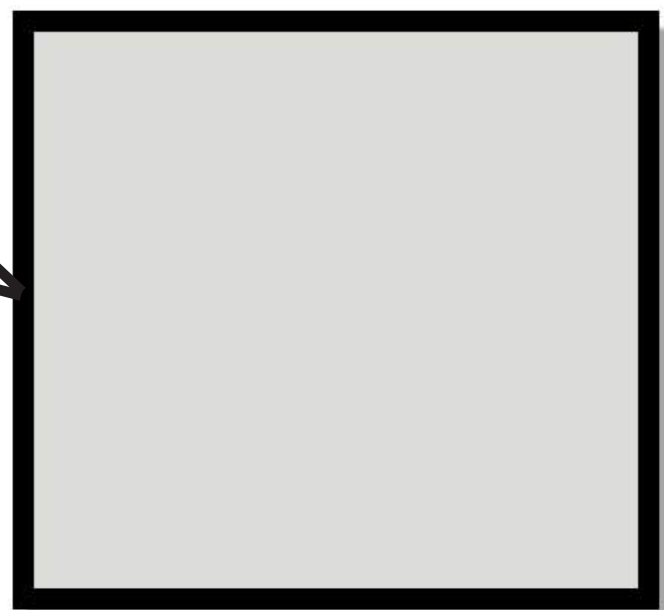
**COLOR B
ACCENT WALL COLOR**
(SMOOTH STUCCO FINISH)
Sherwin Williams
SW 9153 'Moonlit Orchid'



**COLOR A
MAIN WALL COLOR**
(SMOOTH STUCCO FINISH)
Sherwin Williams
SW 7757 'High Reflective White'



**COLOR H
ACCENT WALL COLOR**
(SMOOTH STUCCO FINISH)
Benjamin Moore Color Preview
2006-20 'Sangria'



**COLOR C
ACCENT WALL COLOR**
(SMOOTH STUCCO FINISH)
Sherwin Williams
SW 7666 'Fleur de Sel'

COLOR AND MATERIAL BOARD

MTL-1

SITE PLAN APPLICATION

SITE PLAN APPLICATION
VILLAGE FLATS

Lake & Lucerne
Lake Worth Beach, FL 33460

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Revisions:

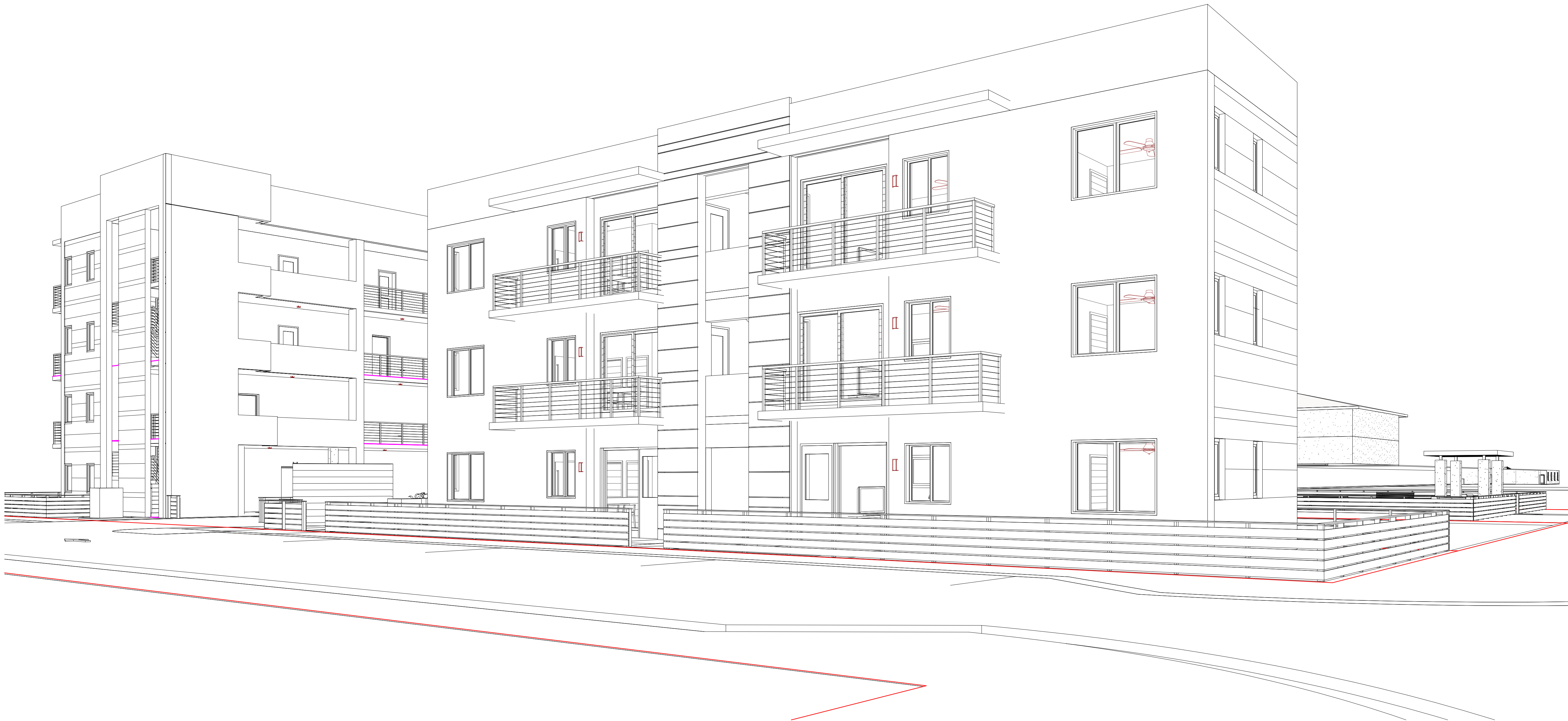
Project no: Project Number
Date: (07-31-20)
Drawn by: Author
Project Manager: Checker



SPINAOROURKE
+ PARTNERS

Architecture • Interior Design
Keith M. Spina #A073419

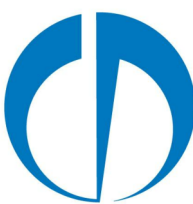
285 Banyan Blvd
West Palm Beach, Florida 33401
561.684.6844 • Fax: 561.684.6594
spinaorourke.com
FL LIC # A62002399



VIEW LOOKING NORTHEAST ON LAKE AVENUE & NORTH 'E' STREET

285 Banyan Blvd
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FL LIC # A26202299

SPINAOROURKE
+ PARTNERS



Architecture • Interior Design
Keith M. Spina # A073419

SITE PLAN APPLICATION
VILLAGE FLATS

Lake & Lucerne
Lake Worth Beach, FL 33460

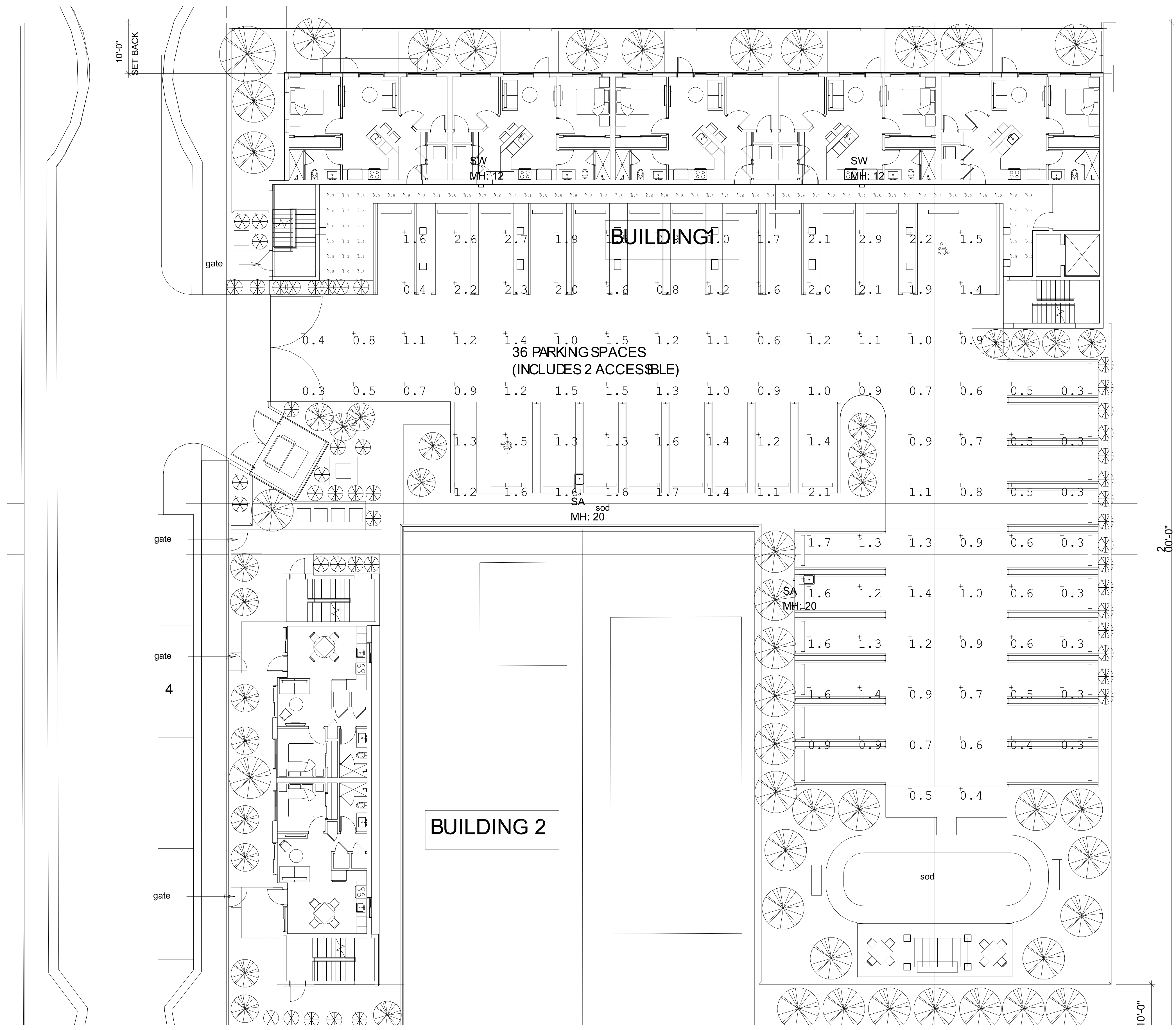
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Revisions:

Project no: 19125
Date: (07-31-20)
Drawn by: MR
Project Manager: CS, EL

R-2.

SITE PLAN SUBMITTAL



POINCIANA POINT									
LIGHTING FIXTURE SCHEDULE									
TYPE	DESCRIPTION	MFR	CATALOG NUMBER	VOLTS	LAMPS	INPUT WATTS	MOUNTING	DIMMING (If Req)	REMARKS
SA	LED SITE LUMINAIRE	LUMARK	PRV-C15-D-UNV-T4-XX-FINISH / MA1017-XX	UNV	LED	52W	POLE	0-10V	NOTE 1, 2
SW	LED WALL PACK	MCGRAW-EDISON	GWC-AF-01-LED-E1-T4W-FINISH-600	UNV	LED	34W	WALL	0-10V	NOTE 1
FIXTURE SCHEDULE NOTES									
NOTE 1: ADVISE FINISH									
NOTE 2: FIXTURE MOUNTED ON 20FT ROUND TAPERED EMBEDDED (DIRECT BURIAL) ALUMINUM POLE VALMONTK: 190830505TEP2-FINISH									
FOR QUESTIONS PERTAINING TO THIS FIXTURE SCHEDULE PLEASE CONTACT RYAN HUFF @ LIGHTING DYNAMICS (772) 285-7169; RHUFF@LIGHTINGDYNAMICS.COM									

Photometrics Calculation Software Generated Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Lum. Lumens	Arr. Lum. Lumens	LLF	Lum. Watts	Arr. Watts
	2	SA	SINGLE	7088	7088	0.900	52	52
	2	SW	SINGLE	4255	4255	0.900	34	34
Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
PARKING AREA	Illuminance	Fc	1.15	2.9	0.3	3.83	9.67	
WALKWAY	Illuminance	Fc	1.63	3.7	0.5	3.26	7.40	



Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine applicability of the layout to existing or future field conditions. The lighting pattern represents illustration levels calculated from laboratory data taken under controlled conditions utilizing current industry standard lamp ratings in accordance with Illuminating Engineering Society approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps and other variable field conditions.

NOTES:

1	PHOTOMETRIC STUDY	07/23/20
No.	Revision/Issue	Date

LIGHTING DYNAMICS, INC.
7835 West Commercial Blvd.
Tamarac, FL 33351
(954) 944-0286
www.lightingdynamics.com

Project Name and Address

VILLAGE FLATS
Exterior lighting layout
Lake Worth Beach, FL

FILE P:\PROJECTS\2020\JULY
CLIENT GliddenSpina + Partners

Project Poinciana Point

Date 07/23/2020

Scale 3/32" = 1'-0"

Sheet

L0

DRAWN BY E.MONTERO

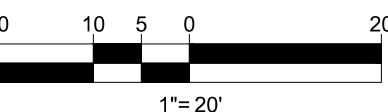
LUCERNE AVE & N. E STREET -LAKE WORTH BEACH, FL

ONE REPLACEMENT TREE REQUIRED FOR TREE #3 (LESS THAN 50% CONDITION RATING)



GENERAL NOTES:

12. Tree protection barricades shall be provided by Landscape Contractor around existing trees that may be impacted by the proposed construction. Prior to any construction a tree protection barricade inspection shall be conducted by the landscape architect, owner or governing municipality. Refer to Landscape detail for tree preservation barricade fencing.



CITY OF LAKE WORTH BEACH, FLORIDA - LANDSCAPE CODE COMPLIANCE CHART															
CH 23; ARTICLE 6. Environmental Regulations															
PLANT MATERIAL STANDARDS Plant materials shall be Florida No. 1 or better Trees: 12' ht., 4" ct., 3" Cal.; 50% Native Min.; Existing trees may be credited toward min. tree planting requirements Small Tree: Less than 20' ht. @ Maturity; Medium Tree: 20'-30' ht. @ Maturity; Large Tree: Greater than 30' ht. @ Maturity		SITE AREA: 0.64 AC ± (27,962.5 S.F.)													
Sec 23.6-1.(C).2: NEW MULTI-FAMILY/COMMERCIAL DEVELOPMENT b) 10' wide landscape strip between off-street parking/VUA and R/O/W; 5' wide landscape strip between alleys and off-street parking/VUA <i>(1) Small Tree / 15 LF; (1) Medium Tree / 20 LF; OR (1) Large Tree / 25 LF</i> <u>Lucerne Ave</u> 175.0 LF (175.0 LF/20) <u>N. E Street</u> 177.00 LF- 22.0 LF of Refuse Storage/Structure = (155.0 LF/20) <u>Lake Ave</u> 105.00 LF = (105.0 LF/15) Hedge, wall or durable landscape area along interior perimeter or landscape strip c) 5' wide landscape strip between common lot line & VUA of abutting properties <i>Not applicable where a proposed parking area or other vehicular use area abuts an existing hedge or established tree line</i> <u>East PL:</u> 80 LF (80 LF/20) d) Interior Landscaping of All pervious areas of a Site (exclusive of VUA/ bldg footprints) not associated with required water retention <i>(1) Small Tree / 225 SF; (1) Medium Tree / 400 SF; OR (1) Large Tree / 625 SF</i> 1,440.18 SF Interior Landscape Area exclusive of VUA or Bldgs (1,440.18 SF/225) A 5' wide building landscape area adjacent to bldg perimeters (1) Shrub / 5 SF of Bldg Foundation Landscape Area required (670LF * 5 flj/5 sf)	<table><thead><tr><th>REQUIRED</th><th>PROVIDED</th></tr></thead><tbody><tr><td></td><td>Complies</td></tr><tr><td>9 MEDIUM TREES 8 MEDIUM TREES 7 SMALL TREES</td><td>9 MEDIUM TREES 8 MEDIUM TREES 7 SMALL TREES Continuous Hedge 2.5' Ht.</td></tr><tr><td>4 SHADE TREES</td><td>4 SHADE TREES</td></tr><tr><td>7 SMALL TREES</td><td>7 SMALL TREES</td></tr><tr><td>670 SHRUBS</td><td>EXCEEDS</td></tr></tbody></table>			REQUIRED	PROVIDED		Complies	9 MEDIUM TREES 8 MEDIUM TREES 7 SMALL TREES	9 MEDIUM TREES 8 MEDIUM TREES 7 SMALL TREES Continuous Hedge 2.5' Ht.	4 SHADE TREES	4 SHADE TREES	7 SMALL TREES	7 SMALL TREES	670 SHRUBS	EXCEEDS
	REQUIRED	PROVIDED													
		Complies													
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	4 SHADE TREES	4 SHADE TREES													
	7 SMALL TREES	7 SMALL TREES													
	670 SHRUBS	EXCEEDS													
	Sec 23.6-1.(C).3: INTERIOR LANDSCAPE REQUIREMENT FOR PARKING/OTHER VUA a. The amount of interior landscaping within off-street parking areas shall be ≥20% of the total area used for parking & accessways (11,377.39SF *20%) b. A group of palms or shade tree / 125 SF of required [VUA] interior landscaping L Includes: (1) Shade Tree shall be planted in every interior island (20% Max Palms) c. Interior Landscape Islands (8' minimum interior dimension) @ 1/10 Parking Spaces with 1 Tree/Island 0 Islands d. Terminal Parking Islands (8' minimum interior dimension) 1 Tree/Island 5 Islands	<table><tbody><tr><td>2,275.5 SF 18 TREES</td><td>2,275.5 SF 18 TREES Complies</td></tr><tr><td>NA 5 TREES</td><td>NA 5 TREES</td></tr></tbody></table>			2,275.5 SF 18 TREES	2,275.5 SF 18 TREES Complies	NA 5 TREES	NA 5 TREES							
	2,275.5 SF 18 TREES	2,275.5 SF 18 TREES Complies													
	NA 5 TREES	NA 5 TREES													
Sec 23.6-1.(J).6: INTERIOR LANDSCAPE REQUIREMENT FOR PARKING/OTHER VUA Minimum 75% of all Plants Shall be Florida Native 59 Trees 789 Shrubs	<table><tbody><tr><td>44.25 TREES 591.75 SHRUBS</td><td>47 TREES (79.6%) 734 SHRUBS (93%)</td></tr></tbody></table>			44.25 TREES 591.75 SHRUBS	47 TREES (79.6%) 734 SHRUBS (93%)										
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Sec 23.6-1.(K).7: INTERIOR LANDSCAPE REQUIREMENT FOR PARKING/OTHER VUA Palms Shall Contribute no more than 20% of Required Trees 59 Req. Trees	<table><tbody><tr><td>11.8 TREES</td><td>11 TREES (18.6%) (33 Palms)</td></tr></tbody></table>			11.8 TREES	11 TREES (18.6%) (33 Palms)										
11.8 TREES	11 TREES (18.6%) (33 Palms)														
Sec 23.6-7.(c).4: MITIGATION TREES AND PALMS WITH A CONDITION RATING LESS THAN 50% ARE EXEMPT FROM DBH INCH-FOR-INCH REQUIREMENT, BUT ARE REQUIRED TO BE MITIGATED ON A TREE-FOR-TREE OR PALM-FOR-PALM BASIS (1 TREE <50% REMOVED)	<table><tbody><tr><td>1 Replacement Tree</td><td>1 Replacement Tree</td></tr></tbody></table>			1 Replacement Tree	1 Replacement Tree										
1 Replacement Tree	1 Replacement Tree														
TOTALS		59 TREES	59 TREES *												
* INCLUDES (48) PROPOSED TREES, (1) RELOCATED COCONUT PALM, & (11) TREES FROM [34] PALMS @3:1															

L-2.1

LANDSCAPE GENERAL NOTES

A. SCOPE OF WORK

1. THE WORK CONSISTS OF FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.

2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL PLANTING AREAS OF THIS CONTRACT UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER.

B. PROTECTION OF EXISTING STRUCTURES

1. ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, AND OTHER ITEMS OF CONSTRUCTION AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THIS CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER.

C. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS, EXISTING OR OTHERWISE, CAUSED BY CARELESS OPERATION OF EQUIPMENT, STOCKPILING OF MATERIALS, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP – LINE OR THE SPILLING OF OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP – LINE.

2. NO MATERIALS SHALL BE BURNED WHERE THE HEAT WILL DAMAGE ANY PLANT, TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY PERCENT (20%) PER INCH OVER FOUR INCHES (4") CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES, OR AS MAY BE REQUIRED BY THE REGULATING GOVERNMENT AGENCY, WHICHEVER IS GREATER. CALIPER SHALL BE MEASURED AT BREAST HEIGHT OR FOUR FEET (4') ABOVE SURROUNDING GROUND.

D. MATERIALS

1. SUBMITTALS: GENERAL SAMPLES OF PLANTING MATERIALS AS LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL. ON THE SITE OR AS OTHERWISE DETERMINED BY THE OWNER. UPON APPROVAL OF SAMPLES, DELIVERY OF MATERIALS MAY BEGIN.

MATERIALS SAMPLE SUBMITTALS

MULCH ONE (1) CUBIC FOOT
TOPSOIL ONE (1) CUBIC FOOT
PLANTS ONE (1) REPRESENTATIVE SAMPLE OF EACH VARIETY

2. PLANT MATERIALS

A) GENERAL: PLANT SPECIES, SIZES, & QUANTITIES SHALL, AT A MINIMUM, CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH "GRADES AND STANDARDS FOR NURSERY PLANTS" PARTS I AND II, LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. ALL PLANTS SHALL BE FLORIDA NO. 1, AS AN ABSOLUTE MINIMUM UNLESS OTHERWISE SUPERSEDED BY A FLORIDA FANCY DESIGNATION, AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE, AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER, WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.

B) MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE TOP OF ROOT BALL (TRUNK FLARE) AND/OR ACROSS THE AVERAGE SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.

C) INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY. SUCH PRELIMINARY APPROVAL SHALL NOT SUPERSEDE THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF BALLS OR ROOTS, LATENT DEFECTS OR INJURIES, PRESENCE OF INSECTS, AND OTHER CONDITIONS THAT MAY HAVE OCCURRED SINCE THE NURSERY INSPECTION. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

D) AMENDED PLANTING SOIL: PLANTING SOIL FOR USE IN BACK FILLING PLANTING HOLES SHALL BE FORTY PERCENT (40%) TOPSOIL AND SIXTY PERCENT (60%) SAND AND BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER, WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND OBTAINED FROM A WELL-DRAINED, ARABLE SITE. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND SHALL BE FREE FROM HEAVY CLAY, COARSE SAND, STONES, LIMES, LUMPS, PLANTS, ROOTS OR OTHER FOREIGN MATERIALS, OR NOXIOUS WEEDS. IT SHALL NOT CONTAIN TOXIC SUBSTANCES WHICH MAY BE HARMFUL TO PLANT GROWTH. PH RANGE SHALL BE 5.0 TO 7.0 INCLUSIVE.

E) SAND SHALL BE CLEAN, WELL DRAINING NATIVE SAND. IF REQUESTED, CONTRACTOR SHALL AT ANY TIME AND AT NO COST TO OWNER, SUBMIT RESULTS OF SOIL TESTS FOR TOPSOIL AND SAND PROPOSED FOR USE UNDER THIS CONTRACT FOR APPROVAL BY OWNER.

E. WATER

1. WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE GROWTH OF PLANTS AND SHALL NOT CONTAIN HARMFUL NATURAL OR MAN – MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SUCH SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

F. COMMERCIAL FERTILIZER

1. COMMERCIAL FERTILIZER SHALL BE A COMPLETE FORMULA; IT SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS.

FIFTY PERCENT (50%) OF THE NITROGEN SHALL BE DELIVERED FROM NATURAL ORGANIC SOURCES. THE FOLLOWING FERTILIZERS SHALL BE USED AND APPLIED AT RATES AS SUGGESTED BY MANUFACTURER'S SPECIFICATIONS:

1. SHRUBS AND TREES – MILORGANITE, OR APPROVED EQUAL
2. ANNUALS AND GROUNDCOVERS – OSMOCOTE/SIERRA BLEND 14 – 14 – 14
3. SOD – 8 – 8 – 8

IN ADDITION TO PLANTING APPLIED FERTILIZERS, ALL CONTAINER GROWN AND FIELD GROWN PLANT MATERIAL SHALL RECEIVE "AGRIFORM" PLANTING TABLETS 24 – 10 – 5 FORMULA, 21 GRAM OR EQUAL. THESE TABLETS SHALL BE PLACED AT THE RATE AND DEPTH SPECIFIED BY MANUFACTURER.

G. MULCH

1. MULCH SHALL BE FROM SHREDDED WOOD DERIVED FROM OTHER INVASIVE TREE SPECIES AND SHALL BE STERILIZED TO EFFECTIVELY ELIMINATE ALL SEEDS, SPORES, ETC. AND RENDER THEM BARREN.

2. MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT AND APPLIED AT A DEPTH OF THREE INCHES (3"). MULCH IS TO BE KEPT 3" FROM THE STEM OF ALL GROUNDCOVERS & 3-6" FROM THE TRUNK OF ALL TREES & PALMS.

3. MULCH SHALL BE GRADE "B" SHREDDED, AND SHALL BE APPLIED EVENLY AND SMOOTH TO PLANTING AREAS.

4. NO RED OR COLORED MULCH SHALL BE ACCEPTED UNLESS SPECIFIED ACCORDINGLY. NO CYPRESS MULCH OR PINE BARK SHALL BE USED.

H. DIGGING AND HANDLING

1. PROTECT ROOT SYSTEMS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN AND DRYING WINDS, WATER EROSION, AND OTHER HARMFUL CRITERIA AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT BREAKING AND DRYING OUT DURING LOADING, TRANSIT, AND UNLOADING/PLANTING. TREES TONNAGED MORE THAN TEN (10) TONS OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILTRUI" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.

2. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS, AND IN ACCORDANCE WITH "GRADES AND STANDARDS FOR NURSERY PLANTS" FLORIDA PUBLICATION. NO PLANT WITH A ROOTBALL SHALL BE PLANTED IF

THE BALL IS CRACKED OR BROKEN. PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS.

3. PLANTS MARKED "B&I" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS. THE ROOTS SHALL NOT BE CUT WITHIN THE MINIMUM SPREAD SPECIFIED IN THE PLANT LIST. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT IN MOVING AND PRIOR TO PLANTING.

4. PROTECTION OF PALMS (IF APPLICABLE): ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS BY "GRADES AND STANDARDS FOR NURSERY PLANTS" FLORIDA PUBLICATION. PRUNING PRACTICED OTHER THAN MINIMAL PRUNING OF FRONDS, PRIMARILY TO REACH A "CLEAR TRUNK" SPECIFICATION, MAY CONSTITUTE REJECTION, OF ALL PALMS SUBJECTED TO SUCH PRACTICE. LIKEWISE, EXCESSIVE PRUNING OR "SHAVING" OF ROOT BALLS TO MEET "CLEAR TRUNK" CRITERIA MAY CONSTITUTE REJECTION ONSITE. ALL PALMS SHALL BE BRACED PER PALM PLANTING DETAIL ON THE PLANTING DETAILS SHEET.

5. EXCAVATION OF PLANTING HOLES SHALL BE DONE USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS, AND PREPARED SUB-BASES.

I. CONTAINER GROWN STOCK

1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL – ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION, AND SHALL MEET MINIMUM SPECIFICATIONS IN THE PLANT LIST.

2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.

3. PLANT ROOTS BOUND IN CONTAINERS OR WITH CIRCLING ROOTS SHALL NOT BE ACCEPTABLE.

4. SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NEED AUTHORIZATION FROM THE OWNER. LIKEWISE, SUBSTITUTION OF CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE BALLED AND BURLAPPED/FIELD GROWN WILL NEED AUTHORIZATION FROM THE OWNER AND LA OF RECORD PRIOR TO THE ORDERING OF ANY MATERIALS.

5. ALL PLANT MATERIALS SHALL MEET THE MINIMUM SPECIFICATIONS LISTED IN THE PLANT SCHEDULE; SIZE (HEIGHT/SPREAD) SPECIFICATIONS TAKE PRECEDENCE OVER GALLON SIZES (IF GALLON SIZES ARE SPECIFIED).

J. COLLECTED STOCK

1. WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED ON THE PLANT LIST SCHEDULE, THE MINIMUM SIZES OF ROOT BALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.

K. NATIVE STOCK

1. PLANTS COLLECTED FROM WILD OR NATIVE STAND SHALL BE CONSIDERED GROWN WHEN THEY HAVE BEEN SUCCESSFULLY REESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW.

L. MATERIALS LIST

1. QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE CONTRACTOR OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN A BIDDER'S TAKE OFF AND THE PLANT LIST QUANTITY, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO THE SUBMISSION OF BIDS. DRAWING SHALL TAKE PRECEDENCE. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE. WHERE NO GALLON SIZE IS SPECIFIED ON CONTAINERIZED SHRUBS OR GROUNDCOVERS, THE HEIGHT & SPREAD SPECIFICATIONS SHALL PREVAIL.

M. FINE GRADING

1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED.

2. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINISH GRADE. FINISH GRADE SHALL ALLOW FOR THICKNESS OF SOD AND/OR MULCH DEPTH. THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.

3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS.

N. PLANTING PROCEDURES

1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN UP WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER, ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE COMPLETELY REMOVED FROM THE SITE. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY AFFECT THE VIABILITY OF THE PLANTS TO BE INSTALLED, HE/SHE SHALL IMMEDIATELY CALL TO THE ATTENTION OF THE OWNER'S CONSTRUCTION MANAGER OR DESIGNER.

2. DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES, IT SHALL BE PROHIBITED TO REMOVE VEGETATION BY GRUBBING OR TO PLACE SOIL DEPOSITS, DEBRIS, SOLVENTS, CONSTRUCTION MATERIAL, MACHINERY OR OTHER EQUIPMENT OF ANY KIND WITHIN THE DHIPLINE OF A TREE TO REMAIN ON THE SITE UNLESS OTHERWISE APPROVED BY THE JURISDICTIONAL MUNICIPALITY.

3. VERITY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES. INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORM WATER LINES, CABLE AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES.

4. SUBGRADE EXCAVATION: CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO MINIMUM DEPTH OF APPROXIMATELY 20% GREATER THAN THE RECOMMENDED PLANTING SOIL DEPTH – UNLESS OTHERWISE SPECIFIED BY JURISDICTIONAL CODE. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ONSITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UPDATE PLANTING DETAIL THAT ADDRESSES POOR DRAINAGE OR CONTRACT OWNER'S CONSTRUCTION MANAGER OR DESIGNER FOR RESOLUTION.

CONTRACTOR IS TO INSURE THAT ALL COMPACTED SOIL, ROAD ROCK, & EXCESS DEBRIS SHALL BE REMOVED & A 24" LAYER OF NON-LIMEROCK PLANTING SOIL FAVORABLE TO SHRUB GROWTH & SUSTAINABILITY EXISTS OVER ALL PLANTING AREAS. TREE PITS SHALL BE EXCAVATED & BACKFILLED WITH PLANTING SOIL TO A MINIMUM DEPTH OF 30".

5. RECOMMENDED PLANTING SOIL DEPTH IS GENERALLY AS FOLLOWS:
ALL TREES AND TALL SHRUBS (INDICATED AS "SHRUBS" & "SHRUBS AREAS" ON THE PLANT SCHEDULE) SHALL BE PLANTED WITH A MINIMUM OF 12" TOPSOIL AROUND AND BENEATH THE ROOTBALL; MINIMUM TOPSOIL SHALL BE 6" FOR LOW SHRUBS/GROUNDCOVER AREAS AND 2" FOR SODDED GRASS AREAS.

THE MINIMUM TOPSOIL DEPTHS ARE IN ADDITION TO A MINIMUM NON-LIMEROCK SOIL DEPTH OF 12"-30", CONSISTING OF EXISTING UNDISTURBED OR NATIVE SOIL THAT WAS STORED/STOCKPILED ON SITE AND REUSED, OR CLEAN IMPORTED PLANTING SOIL WITH A RANGE OF ORGANIC MATTER BETWEEN 3-5% CONTAINING NO STONES GREATER THAN AN INCH AND A HALF IN DIAMETER IN ANY DIRECTION. TOPSOIL DEPTHS PLUS PLANTING SOIL/EXISTING NATIVE SOIL MINIMUM DEPTHS ARE IN ADDITION TO ANY LIMESTONE/LIMEROCK SUBGRADE, & IN ADDITION TO EXCAVATION WIDTHS REQUIRED FOR TREE PITS AS SHOWN ON THE PLANTING DETAILS.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE & TAKE REASONABLE MEASURES AS PART OF DUE DILIGENCE TO DETERMINE THE EXTENT OF EXCAVATION REQUIRED & TO DETERMINE THE AMOUNT OF PLANTING SOIL NECESSARY TO ENSURE LONG-TERM SUSTAINABILITY & SURVIVAL OF THE PLANT MATERIALS IN ACCORDANCE WITH THIS CONTRACT.

6. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.

7. GENERAL: COMPLY WITH FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. PLANTS SHALL BE PROTECTED UPON ARRIVAL AT THE SITE BY BEING THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS SHALL NOT REMAIN UNPROTECTED FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CONSIDERED IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.

8. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE THE PLANTING WITH THE IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION ITEMS AND PLANTS.

9. ALL PLANTING HOLES SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD TO NURSERY STOCK 280.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACKFILLED WITH THE PREPARED

PLANTING SOIL AS SPECIFIED HEREIN BEFORE (SEE MATERIALS, SECTION D). TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE PLANTING DETAIL THAT ADDRESSES THIS CONDITION. POOR DRAINAGE CONDITIONS TYPICALLY HAVE A PERCOLATION RATE OF 4" OR LESS PER HOUR, AS DETERMINED BY THE GEOTECHNICAL ENGINEER. TREES SHALL BE SET PLUMBS AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURE AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STICK" OR EQUAL RECOMMENDED.

10. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS, CURBS, PAVING, AND OTHER HARDSCAPE MATERIALS WHILE INSTALLING TREES.

11. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION D (MATERIALS) OF THESE SPECIFICATIONS. IN ADDITION, EACH PLANTING HOLE SHALL RECEIVE 2.1-GRAM "AGRIFORM" PLANTING TABLETS PER MANUFACTURER'S SPECIFICATIONS OR AS FOLLOWS:
- TWO (2) TABLETS PER 1 GAL. PLANT
- THREE (3) TABLETS PER 3 GAL. PLANT
- FOUR (4) TABLETS PER 10 GAL. PLANT
LARGER MATERIAL
- TWO (2) TABLETS PER HALF INCH (1/2") OF TRUNK CALIPER

12. TREES AND SHRUBS SHALL BE SET STRAIGHT AND AT SUCH A LEVEL THAT AFTER SETTLEMENT, THE TOP OF THE ROOT SYSTEM (FOR SHRUBS AND GROUNDCOVER) OR TRUNK FLARE (TREES AND PALMS) WILL STAND ONE (1) TO TWO (2) INCHES ABOVE FINAL GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PLANTING HOLE. PLANTING SOIL MIXTURE SHALL BE BACKFILLED AND THOROUGHLY TAMPED AROUND THE BALL AND SHALL BE SETTLED BY WATER AFTER TAMPING.

13. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, TURNING SOIL IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET OR OTHER TAMPING DEVICE. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL, WITH SOIL MIXTURE, ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, ETC., SHALL BE PULLED FROM UNDERNEATH.

14. PRUNING: FOR DAMAGED OR BROKEN LIMBS, EACH TREE SHALL BE PRUNED TO PRESERVE THE NATURAL CHARACTER OF THE SPECIES. ALL SUCKER GROWTH SHALL BE COMPLETELY REMOVED PRIOR TO DIGGING.

15. SHRUBS AND GROUNDCOVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED IN THE PLANT LIST. CULTIVATE ALL MASS PLANTING AREAS TO A MINIMUM DEPTH OF 6", REMOVE AND DISPOSE OF ALL DEBRIS, TILL 4" OF PLANTING SOIL MIX INTO THE NEWLY TILLED PLANTING BED FOR GENERAL NUTRIENT DISBURSEMENT. MASS PLANTING BED IS NOW READY TO RECEIVE HOLES FOR NEW PLANTS. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.

16. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE LANDSCAPE CONTRACTOR IN ACCORDANCE WITH THE DETAILS TO ENSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. TREES SHALL USE ABORTIVE AS PER DETAIL SHEET. PALMS SHALL USE WOOD BRACING PER DETAIL SHEET.

17. MULCHING: PROVIDE A THREE INCH (3") MINIMUM LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUNDCOVER AND VINE BED AND TREE PIT (FOR TREES AND PALMS, MIN. THREE INCH (3") FROM EDGE OF TRUNKS). – UNLESS OTHERWISE REQUIRED BY LOCAL CODES AND SPECIFIED AS SUCH.

18. SYSTEMIC HERBICIDE WET CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER OR THEIR DESIGNEE, A SYSTEMIC HERBICIDE SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL. TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. AFTER MULCH HAS BEEN APPLIED TO PLANTING BEDS AND TREE RINGS, TREAT ALL MULCHED AREAS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER.

O. LAWN SODDING

STENOPIPHRUM SECUNDATUM, V. "FLORITAM" UNLESS OTHERWISE NOTED, (ST. AUGUSTINE SOLID SOD).

1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING.

COMPLETE IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A GRASS LAWN ACCEPTABLE TO THE OWNER AND GOVERNING AGENCIES.

2. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND OTHER DEBRIS, AND THE SOIL BROUGHT TO AN EVEN PREPARED GRADE TO ALLOW FOR SOIL PREPARATION BELOW.

3. SOIL PREPARATION: PREPARE LOOSE BED FOUR INCHES (4") DEEP. APPLY FERTILIZER AT A RATE OF TWENTY (20) POUNDS PER ONE THOUSAND (1000) SQUARE FEET. APPLICATION SHALL BE UNIFORM, UTILIZING COMMERCIAL BROADCAST SPREADERS. MIX FERTILIZER THOROUGHLY WITH THE SOIL TO A DEPTH OF THREE INCHES (3"). HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY TO PREPARE FOR SOD INSTALLATION.

4. SODDING: THE CONTRACTOR SHALL SOD ALL THE PVIOUS AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS TO CREATE A UNIFORM, NEW TURF BLANKET FOR THE SITE. ALL PVIOUS AREAS TO REMAIN THAT ARE DISTURBED BY CONSTRUCTION & NOT SHOWN TO HAVE SHRUBS OR GROUNDCOVER ON THE LANDSCAPE PLAN SHALL BE SODDED BY CONTRACTOR. ALL SOD OFF-SITE OR IN THE RIGHT-OF-WAY (DEDICATED OR OTHERWISE) SHALL BE "BAHIA" ARGENTINE" SOLID SOD UNLESS OTHERWISE NOTED.

A) THE SOD SHALL BE CERTIFIED TO MEET FLORIDA STATE BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETY TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS, AND DISEASE OF ANY KIND, SOD PANELS SHALL BE LAID TIGHTLY TOGETHER TO MAKE A SOLID, SODDED LAWN AREA.

B) SOD SHALL BE LAID IN ROWS WITH EVERY OTHER ROW STAGGERED HALFWAY BETWEEN THE GAP TO INSURE NO CONTINUOUS STAKED JOINTS. SEW JOINTS OF SOD TO INSURE A TIGHT FIT AT JOINTS, WITH NEXTS NO GREATER THAN 1" BETWEEN SOD PANELS.

C) SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A FOUR INCH (4") MULCH STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED TO THOROUGHLY MOISTEN THE SOIL BENEATH. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND AS APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN.

5. DURING DELIVERY, PRIOR TO AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE INSTALLED DURING THE DAY OF ITS ARRIVAL.

6. LAWN MAINTENANCE:

A) WITHIN THE SITE, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS UNTIL CERTIFICATION OF ACCEPTABILITY BY OWNER OR AS IN THE ORIGINAL WORK SCOPE AND SPECIFICATIONS (INCLUDING REGARDING IF NECESSARY).

B) WATER EVERY DAY FOR FOURTEEN (14) SUCCESSIVE DAYS, THEN WATER THREE (3) TIMES PER WEEK (AT EVEN INTERVALS) UNTIL FULLY ESTABLISHED OR UNTIL AUTOMATIC IRRIGATION SYSTEM IS FULLY OPERATIONAL AND PROGRAMMED ACCORDINGLY. COORDINATE WATERING SCHEDULE WITH NATURAL RAINFALL. RAINFALL EVENTS IN DURATION OF TWENTY (20) MINUTES OR MORE THAT PRODUCE MORE THAN A HALF INCH (1/2") OF PRECIPITATION WILL NEGATE THE NEED FOR WATERING OF THE FOLLOWING DAY IF PREVIOUSLY SCHEDULED. ALL WATERING SHALL BE OF SUFFICIENT QUANTITY TO WET OR RESTORE WATER TO A DEPTH OF FOUR INCHES (4").

P. CLEANUP

1. UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

Q. PLANT MATERIAL MAINTENANCE

1. ALL PLANTS AND PLANTING MATERIALS INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER OR OWNER'S DESIGNEE. MAINTENANCE AFTER THE CERTIFICATION OF AN ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE TO COVER LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PERIOD OF NINETY (90) CALENDAR DAYS COMMENCING AFTER ACCEPTANCE (SEE NEXT SECTION).

2. LIFE AND SATISFACTORY CONDITION OF ALL SOD INSTALLED BY THE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF NINETY (90) CALENDAR DAYS, COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNERS OR OWNER'S DESIGNEE.

3. REPLACEMENT: ANY PLANT NOT IN A HEALTHY, THRIVING GROWING CONDITION SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. SHOULD THE OWNER ELECT, TREES AND PALMS MAY BE GIVEN A PERIOD OF NINETY (90) DAYS BEFORE REMOVAL TO ALLOW THE CONTRACTOR TO RESUBMIT THE TREE OR PALM IN QUESTION AND BRING IT TO A THRIVING, HEALTHY CONDITION. ALL REPLACEMENTS SHALL BE PLANTS OF LIKE KIND, CONDITION AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED, PLANTED, AND MULCHED AS SPECIFIED WITH THESE SPECIFICATIONS. AT NO ADDITIONAL COST TO THE OWNER, ANY REPAIRS FROM THIS REPLACEMENT MATERIAL SHALL BE SOLELY THE CONTRACTOR'S RESPONSIBILITY. REPLACEMENT MATERIAL SHALL BE GUARANTEED TO A ONE (1) YEAR PERIOD FROM THE DAY OF REPLACEMENT ACCEPTANCE BY THE OWNER. SHOULD REPLACEMENT MATERIAL FAIL WITHIN THE GUARANTEE PERIOD, OWNER MAY OPT FOR A CREDIT OF THE MONETARY AMOUNT FOR THE REPLACEMENT MATERIALS AT A RATE OF THE ORIGINAL CONTRACT BID RATE, IN LIEU OF AN ADDITIONAL REPLACEMENT.

4. IN THE EVENT THE OWNER ELECTS NOT TO CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE (AND IRRIGATION) MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER OR THEIR DESIGNEE, AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH OF ITEMS UNDER REPLACEMENT WARRANTY. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

5. FINAL INSPECTION AND ACCEPTANCE OF WORK
1. FINAL INSPECTION BY OWNER OR THEIR DESIGNEE AT THE END OF THE GUARANTEE PERIOD SHALL INCLUDE PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY PLANTS NOT MEETING THE CRITERIA OF HEALTHY, VIGOROUS, AND THRIVING AT THIS TIME, AND THAT HAVE NOT ALREADY BEEN REPLACED PREVIOUSLY UNDER SAID WARRANTY, SHALL BE SUBJECT TO THE SAME ONE (1) YEAR GUARANTEE 90R AS SPECIFIED BY THE OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

R. MAINTENANCE (ALTERNATIVE BID ITEM)

1. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE FOR LANDSCAPE AND IRRIGATION MAINTENANCE FOLLOWING THE INITIAL 90-DAY MAINTENANCE PERIOD AT A COST PER MONTH BASIS.

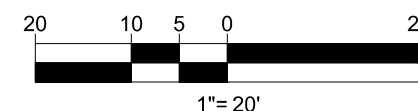
S. GUARANTEE

1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED BY THE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER OR OWNER'S DESIGNEE. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CARE & MAINTENANCE OF THE PLANT MATERIAL UNTIL THE END OF ESTABLISHMENT OR 60 DAYS AFTER FINAL LANDSCAPE CERTIFICATION BY THE LANDSCAPE ARCHITECT, WHICHEVER IS LATER, & SHALL COORDINATE WITH THE CRITERIA OF THE CONTRACTOR AS NEEDED TO ENSURE ADEQUATE WATERING SUPPLIED TO THE PLANT MATERIALS DURING ESTABLISHMENT. AT THE END OF THE ESTABLISHMENT PERIOD, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THE IRRIGATION TIMECLOCK IS ADJUSTED TO A NORMAL WATERING CYCLE PER THE IRRIGATION WATERING SCHEDULE SHOWN ON THE IRRIGATION PLANS.

2. THE LIFE AND SATISFACTORY CONDITION OF ALL SOD INSTALLED BY THE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF NINETY (90) CALENDAR DAYS, COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNERS OR OWNER'S DESIGNEE.

3. REPLACEMENT: ANY PLANT NOT IN A HEALTHY, THRIVING GROWING CONDITION SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. SHOULD THE OWNER ELECT, TREES AND PALMS MAY BE GIVEN A PERIOD OF NINETY (90) DAYS BEFORE REMOVAL TO ALLOW THE CONTRACTOR TO RESUBMIT THE TREE OR PALM IN QUESTION AND BRING IT TO A THRIVING, HEALTHY CONDITION. ALL REPLACEMENTS SHALL BE PLANTS OF LIKE KIND, CONDITION AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED, PLANTED, AND MULCHED AS SPECIFIED WITH THESE SPECIFICATIONS. AT NO ADDITIONAL COST TO THE OWNER, ANY REPAIRS FROM THIS REPLACEMENT MATERIAL SHALL BE SOLELY THE CONTRACTOR'S RESPONSIBILITY. REPLACEMENT MATERIAL SHALL BE GUARANTEED TO A ONE (1) YEAR PERIOD FROM THE DAY OF REPLACEMENT ACCEPTANCE BY THE OWNER. SHOULD REPLACEMENT MATERIAL FAIL WITHIN THE GUARANTEE PERIOD, OWNER MAY OPT FOR A CREDIT OF THE MONETARY AMOUNT FOR THE REPLACEMENT MATERIALS AT A RATE OF THE ORIGINAL CONTRACT BID RATE, IN LIEU OF AN ADDITIONAL REPLACEMENT.

4. IN THE EVENT THE OWNER ELECTS NOT TO CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE (AND IRRIGATION) MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER OR THEIR DESIGNEE, AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH OF ITEMS UNDER REPLACEMENT



PAVING, GRADING & DRAINAGE LEGEND	
EXISTING	PROPOSED

CONSTRUCTION NOTES:

1. CONTRACTOR TO SAW-CUT AT ALL LOCATIONS OF REMOVAL OF EXISTING CONC. SIDEWALK, CONC. CURB AND ASPHALT UNLESS OTHERWISE NOTED. ALL BASE AND SUB-BASE MATERIAL SHALL BE REMOVED WITHIN THE PROPOSED LANDSCAPED AREA.
2. CONTRACTOR TO MATCH EXIST. GRADES AND TO CONSTRUCT A SMOOTH TRANSITION FROM EXISTING FACILITIES TO PROPOSED.
3. CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS FROM CONSTRUCTION SITE AND DISPOSE PER LOCAL ORDINANCES.
4. CONTRACTOR TO ENSURE ALL CONSTRUCTION IS IN ACCORDANCE WITH CITY DESIGN STANDARDS.
5. CONTRACTOR TO SOD ALL DISTURBED AREAS. SODDING INCLUDES MAINTAINING SLOPE AND SOD UNTIL COMPLETION AND ACCEPTANCE OF THE TOTAL PROJECT OR GROWTH IS ESTABLISHED WHICHEVER COMES LAST.
6. ALL EXISTING TRAFFIC SIGNS DISTURBED DURING CONSTRUCTION SHALL BE REINSTALLED WHERE APPLICABLE BY THE CONTRACTOR.
7. THESE PLANS REFLECT CONDITIONS KNOWN DURING PLAN DEVELOPMENT. IN THE EVENT THAT ACTUAL PHYSICAL CONDITIONS PREVENT THE APPLICATION OF THESE STANDARDS OR THE PROGRESSION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF AFFECTED AREA.
8. THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, STORM DRAINS, UTILITIES, AND OTHER FACILITIES TO REMAIN AND SHALL REPAIR ANY DAMAGES DUE TO HIS/HER CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST TO THE OWNER.
9. NOTIFY SUNSHINE STATE ONE CALL (1-800-432-4770) OR (811) PRIOR TO CONSTRUCTION.
10. PROJECT BASED ON DESIGN SURVEY PREPARED BY OTHERS.
11. THE CONTRACTOR SHALL NOT ENCROACH ONTO PRIVATE PROPERTY WITHOUT EASEMENTS NECESSARY FOR COMPLETION OF THE WORK.
12. THE EXISTING UNDERGROUND UTILITIES SHOWN ARE PER ABOVE GROUND SURVEY DATA AND UTILITY AS-BUILT DATA. THIS INFORMATION DOES NOT WARRANT EXACT SIZE AND LOCATION OF THE UTILITIES, ALSO, THERE MAY BE ADDITIONAL UTILITIES WITHIN THE LIMITS OF CONSTRUCTION THAT MAY BE AFFECTED. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND PROTECTING EXISTING UTILITIES DURING THE COURSE OF CONSTRUCTION.
13. PLEASE SEE MEP PLANS FOR CONTINUATION OF ROOF LEADERS.
14. 2.0% MAXIMUM SLOPE ON HANDICAP SPACES AND ADA ACCESS WAYS.
15. ALL SIDEWALKS SHOULD HAVE A MAXIMUM CROSS SLOPE OF 2.0%.
16. EXISTING CURB MUST BE MAINTAINED ON ALL WATER AND SANITARY LINES.
17. EXISTING SEWER MUST REMAIN FREE FROM CONSTRUCTION DEBRIS AND FLOW MUST BE MAINTAINED.
18. NO STRUCTURES SHALL BE ALLOWED IN UTILITY EASEMENT.
19. PRB = POLLUTION RETARDANT BAFFLE
20. ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.
21. ALL CONSTRUCTION AND RESTORATION WORK WITHIN THE RW SHALL COMPLY WITH THE LATEST EDITION OF THE FDOT STANDARD INDEX AND THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
22. ANY DAMAGE TO PBC-TRAFFIC ITS FACILITIES CAUSED BY CONSTRUCTION OF THIS PROJECT MUST BE REPAIRED OR REPLACED TO ORIGINAL OR BETTER CONDITION BY THE COUNTY. PALM BEACH COUNTY RESERVES THE RIGHT TO DETERMINE IF DAMAGED PBC FACILITIES WILL BE REPAIRED OR REPLACED.
23. MINIMUM FINISHED FLOOR ELEVATION = 16.50' NAVD. FEMA FLOOD ZONE X. REPRESENTS AREAS OUTSIDE OF THE 500-YEAR FLOOD PLAIN WITH LESS THAN 0.2% ANNUAL PROBABILITY OF FLOODING

HATCH LEGEND

Diagram illustrating the proposed pavement structure layers (from top to bottom):

- PROPOSED ASPHALT MILL & RESURFACE
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE
- EXISTING CONCRETE
- Subgrade (hatched area)

NOTE:

PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE APPLICANT SHALL ENSURE THE ENTIRE SURROUNDING OFF-SITE INFRASTRUCTURE INCLUSIVE OF THE ROADWAY, SIDEWALK, CURBING, STORMWATER SYSTEM PIPING AND STRUCTURES, VALVE BOXES, MANHOLES, LANDSCAPING, STRIPING, SIGNAGE, AND OTHER IMPROVEMENTS ARE IN THE SAME CONDITION AS PRIOR TO CONSTRUCTION. THE APPLICANT SHALL RESTORE THE RIGHT OF WAY TO A LIKE OR BETTER CONDITION, ANY DAMAGES TO PAVEMENT, CURBING, STRIPING, SIDEWALKS OR OTHER AREAS SHALL BE RESTORED IN KIND

DATUM NOTE:

ELEVATIONS SHOWN HEREON ARE IN FEET AND BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)

[illegible]

SITE PLAN SUBMITTAL

PROJECT No.:	F20005
DRAWN BY:	JF
CHECKED BY:	MT
DATE:	07-24-202
CAD I.D.:	F200053 PGI

PROJECT:

VILLAGE FLATS

— FOR —
**INHABIT LAKE
 WORTH BEACH, LLC**

LAKE WORTH BEACH, FL

6300 NW 31ST AVENUE
FORT LAUDERDALE, FL 33309
PH: (954) 202-7000
FX: (954) 202-7070
www.ThomasEngineeringGroup.com

MAXWELL T. KAPLAN

PROFESSIONAL ENGINEER
FLORIDA LICENSE No. 83366

September 21, 2020
FLORIDA BUSINESS CERT. OF AUTH. No. 2752

SHEET TITLE:
**PRELIMINARY PAVING
GRADING & DRAINAGE
PLAN**

SHEET NUMBER

C-01

STORMWATER MANAGEMENT REPORT

for

Village Flats

SEC of Lucerne Avenue & North E Street,
Lake Worth Beach, FL

Prepared by:



6300 NW 31st Avenue
Ft Lauderdale, FL 33309
954-202-7000

Maxwell Kaplan, P.E.
Florida Professional Engineer License No. 83366

September 21, 2020

Introduction

The site is generally located at the southeast corner of Lucerne Avenue and North E Street in the city of Lake Worth Beach. The existing site is currently vacant. This project proposes to construct two multi-story residential buildings with a total building footprint of 5,733 sq. ft. The site area is approximately 0.643 acres or 28,000 sq. ft. A detailed breakdown of the proposed land use is provided in Table 1 below.

Table 1-Land Use Breakdown

	Square feet	Acres
Buildings	5,774	0.133
Paved/Garage Area	14,743	0.338
Pervious	7,483	0.172
Total Area	28,000	0.643

The proposed drainage system to serve the development consists of catch basins, HDPE pipe and roof drains, and 40 linear feet of exfiltration trench. Runoff will be maintained on-site and there is no proposed off-site discharge.

Water Quality

Calculations have been prepared to determine the required volume for water quality treatment for the proposed development. Based on the results of the calculations, 2.5-inches of runoff over the total impervious site area results in a larger volume than 1-inch of runoff over the entire site; therefore, 2.5-inches over the impervious area controls. The water quality volume required was calculated to be 0.09 ac.-ft.

The project proposed to utilize exfiltration trench for water quality treatment. A “k” value of 1.70×10^{-3} cfs/ft²/ft-head average was used for the design of the exfiltration trench as obtained from the geotechnical investigation prepared by GFA International. A total of 11 linear feet of trench is required to meet the project’s water quality requirements. The project design proposes 40 linear feet of trench which will provide 0.36 ac.-ft. of volume. Detailed calculations are included in Appendix A.

Water Quantity

The water table elevation at the site is approximately 8.50 NAVD per geotechnical investigation findings provided by GFA International. The proposed drainage system for the development consists of a network of catch basins, drainage pipes and exfiltration trench designed to retain the 25-year 3-day storm event onsite.

A Stage-Storage zero discharge analysis has been prepared to determine the peak storm staging for the 100-year 3-day, 25-year 3-day, 5-year 1-hour and 3-year 1-hour storm events to determine the minimum elevations for the proposed finished floor, perimeter berm, and pavement areas. Table 2 below shows the resulting peak stages for each storm event.

Table 2 - Flood Routing Results –Proposed Peak Stage Elevations

	Post-Development	Provided
3-Year 1-Hour	8.89 NAVD	----
5-Year 1-Hour (Min. Pavement)	9.05 NAVD	15.00 NAVD
25-Year 3-Day (Min. Berm)	15.88 NAVD	15.90 NAVD
100-Year 3-Day (Min. F.F.E.)	16.46 NAVD	16.50 NAVD

The finished floor elevations of the buildings have been set at 16.50 NAVD which is above the 100-year 3-day peak stage and one (1) foot above the average adjacent crown of road elevation. The site is located within FEMA Flood Zone X with no Base Flood Elevation.

Conclusion

Based on the above, the water quality and quantity requirements are met by the proposed design and adhere to the design standards for the South Florida Water Management District and City of Lake Worth Beach. Therefore, it is recommended the project be approved for construction.

PROPOSED DRAINAGE CALCULATIONS

Design Criteria:

Estimated Seasonal High Water Level:

8.50 NAVD

Proposed Acreages

Lake Areas (A_L):	0 sf	or	0.000 ac
Roof Areas (A_R):	5,774 sf	or	0.133 ac
Paved and Garage Areas (A_P):	14,743 sf	or	0.338 ac
Green Areas (A_G):	7,483 sf	or	0.172 ac
Total (A_T):	28,000 sf	or	0.643 ac

Compute Required Water Quality Volume:

- 1) Provide at least 1 inch over the developed project:

$$\begin{aligned} V_{PRE} &= 1 \text{ inch} \times A_T \times 1 \text{ ft} / 12 \text{ inches} \\ &= 1 \times 0.643 / 12 \\ &= 0.05 \text{ ac-ft or } 0.60 \text{ ac-in} \end{aligned}$$

- 2) Provide 2.5" over % impervious area:

- a) Site Area for water quality pervious/impervious calculation:

$$\begin{aligned} A_S &= A_T - (A_L + A_R) \\ &= 0.643 - (0 + 0.133) \\ &= 0.51 \text{ ac of site area for water quality pervious/impervious} \end{aligned}$$

- b) Impervious area for water quality pervious/impervious calculation:

$$\begin{aligned} A_{IMP} &= A_S - A_G \\ &= 0.51 - 0.172 \\ &= 0.34 \text{ ac of impervious area for water quality pervious/impervious} \end{aligned}$$

- c) Percent of impervious for water quality calculation:

$$\begin{aligned} &= A_{IMP} / A_S \times 100\% \\ &= 0.338 / 0.51 \times 100\% \\ &= 66.3\% \text{ impervious} \end{aligned}$$

- d) For 2.5" times the percent impervious:

$$\begin{aligned} &= 2.5" \times \% \text{ impervious area} \\ &= 2.5 \times 0.663 \\ &= 1.66 \text{ inches to be treated} \end{aligned}$$

- e) Compute volume required volume for quality detention

$$\begin{aligned} V_{PRE} &= \text{inches to be treated} \times (A_T - A_L) \\ &= 1.66 \times (0.643 - 0) \times 1 \text{ foot} / 12 \text{ inches} \\ &= 0.09 \text{ ac-ft or } \boxed{1.07 \text{ ac-in}} \end{aligned}$$

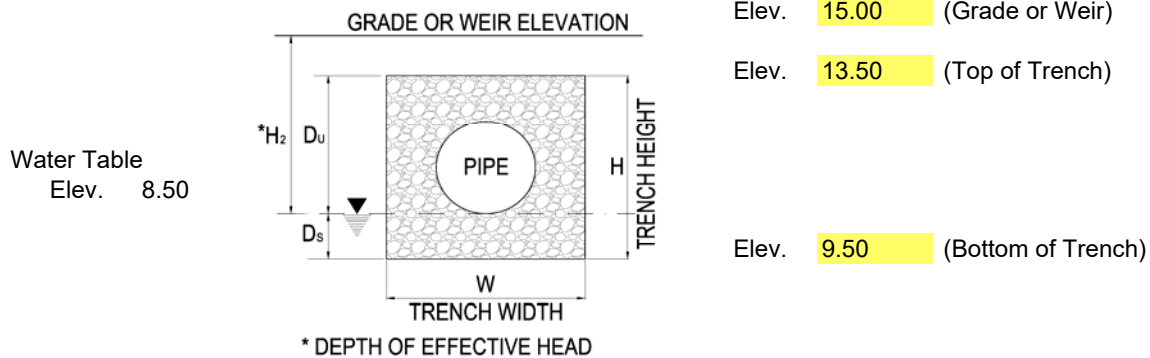
- 3) Since the 1.07 ac-in is greater than the 0.6 ac-in computed for the first inch of runoff the volume of 1.07 ac-in controls.

Proposed Trench Calculations (NAVD)

K-Value:

Test Hole #	(cfs/ft ² /ft hd)	
BHP-1	1.70E-03	(Based on GFA report)
K _{AVG}	1.70E-03	

Trench:



$$\begin{aligned}
 K &= 1.70E-03 \text{ cfs/ft}^2 - \text{ft head} \\
 H_2 &= 6.50 \text{ ft} \\
 W &= 4.00 \text{ ft} \\
 D_u &= 4.00 \text{ ft} \\
 D_s &= 0.00 \text{ ft} \\
 H &= D_u + D_s = 4.00 \text{ ft}
 \end{aligned}$$

1) Trench Length for Water Quality Requirements:

$$V = 1.07 \text{ ac-in or } 0.09 \text{ ac-ft}$$

$$L = \frac{V}{K(H^2W + 2H^2D_u - D_u^2 + 2H^2D_s) + (1.39 \times 10^{-4})WD_u}$$

$$L = 9.9 \text{ feet}$$

2) Compute Provided Trench Volume:

$$L = 40 \text{ feet}$$

$$V = L \times (K(H^2W + 2H^2D_u - D_u^2 + 2H^2D_s) + (1.39 \times 10^{-4})WD_u)$$

$$V = 4.30 \text{ ac-in or } 0.36 \text{ ac-ft}$$



Project No: F200053

PROPOSED STAGE\STORAGE AREA CALCULATION - (NAVD)

Prop.
Grades[illegible]

DESIGN CRITERIA

October Water Elevation 8.50 NAVD
FEMA Elevation N/A

PROPOSED LAND USE SUMMARY

Areas:	Square Ft.	Acres	Percent
Lake	0	0.00	0.0%
Building	5,774	0.133	20.6%
Paved and Sidewalk	14,743	0.338	52.6%
Pervious	7,483	0.172	26.7%
Total Area:	28,000	0.643	100.0%

STAGE STORAGE AREA CALCULATION (NAVD)

Stage	Site Stage-Storage (previous page) (ac.-ft.)	Exfiltration Trench Storage (ac.-ft.)	(ac.-ft.)	Total Storage Area (ac.-ft.)
8.50	0.00	0.00	0.00	0.00
9.50	0.00	0.15	0.00	0.15
10.50	0.00	0.34	0.00	0.34
11.50	0.00	0.56	0.00	0.56
12.50	0.00	1.54	0.00	1.54
13.50	0.00	0.36	0.00	0.36
14.50	0.00	0.36	0.00	0.36
15.50	0.04	0.36	0.00	0.40
16.50	0.40	0.36	0.00	0.76
17.50	0.91	0.36	0.00	1.27
18.50	1.42	0.36	0.00	1.78
19.50	1.93	0.36	0.00	2.29

Required Water Quality = 0.09 acre-ft.

Water Quality Elevation **9.09** NAVD

Soil Storage

Land Use Summary:

	Acres	Percent
Lake Areas (A_L):	0.000	0.0%
Roof Areas (A_R):	0.133	20.6%
Paved Areas (A_P):	0.338	52.6%
Green Areas (A_G):	0.172	26.7%
Total (A_T):	0.643	100.0%

Compacted Soil Storage per
SFWMD Vol. IV Page C-III-1

Depth to Water Table (feet)	Water Storage (inches)
1	0.45
2	1.88
3	4.95
4	8.18

Average Pervious Grade (Elev.): 15.63
Depth to Water Table: 7.13 ft
Soil Storage at Average Depth (S_S): 8.18 inches

Weighted S value:

$$= S_S \times \% \text{ Pervious}$$

$$= 8.18 \times 0.267$$

$$= \boxed{2.18 \text{ inches}}$$

Rainfalls

From Figure C-9, 100-Year 3-day Storm = 16.20 inches

From Figure C-8, 25-Year 3-day Storm = 12.30 inches

From Figure C-1, 5-Year 1-hour Storm = 3.20 inches

From LWB Eng, 3-Year 1-hour Storm = 2.60 inches

Results from Flood Routings (zero discharge analysis)

100-Year 3-Day

$$\begin{aligned} \text{Runoff (Q)} &= (P - 0.2S)^2 / (P + 0.8S) \\ &= (16.2 - (0.2 \times 2.18))^2 / (16.2 + (0.8 \times 2.18)) \\ &= 13.85 \text{ inches of total runoff} \end{aligned}$$

$$\begin{aligned} \text{Runoff Volume} &= Q \times \text{Project Area} \\ &= 13.85 \times 0.643 = 8.91 \text{ acre-inches} = 0.74 \text{ acre-ft.} \end{aligned}$$

25-Year 3-Day

$$\begin{aligned} \text{Runoff (Q)} &= (P - 0.2S)^2 / (P + 0.8S) \\ &= (12.3 - (0.2 \times 2.18))^2 / (12.3 + (0.8 \times 2.18)) \\ &= 10.02 \text{ inches of total runoff} \end{aligned}$$

$$\begin{aligned} \text{Runoff Volume} &= Q \times \text{Project Area} \\ &= 10.02 \times 0.643 = 6.44 \text{ acre-inches} = 0.54 \text{ acre-ft.} \end{aligned}$$

5-Year 1-Hour

$$\begin{aligned} \text{Runoff (Q)} &= (P - 0.2S)^2 / (P + 0.8S) \\ &= (3.2 - (0.2 \times 2.18))^2 / (3.2 + (0.8 \times 2.18)) \\ &= 1.55 \text{ inches of total runoff} \end{aligned}$$

$$\begin{aligned} \text{Runoff Volume} &= Q \times \text{Project Area} \\ &= 1.55 \times 0.643 = 1.00 \text{ acre-inches} = 0.08 \text{ acre-ft.} \end{aligned}$$

3-Year 1-Hour

$$\begin{aligned} \text{Runoff (Q)} &= (P - 0.2S)^2 / (P + 0.8S) \\ &= (2.6 - (0.2 \times 2.18))^2 / (2.6 + (0.8 \times 2.18)) \\ &= 1.08 \text{ inches of total runoff} \end{aligned}$$

$$\begin{aligned} \text{Runoff Volume} &= Q \times \text{Project Area} \\ &= 1.08 \times = 0.69 \text{ acre-inches} = 0.06 \text{ acre-ft.} \end{aligned}$$

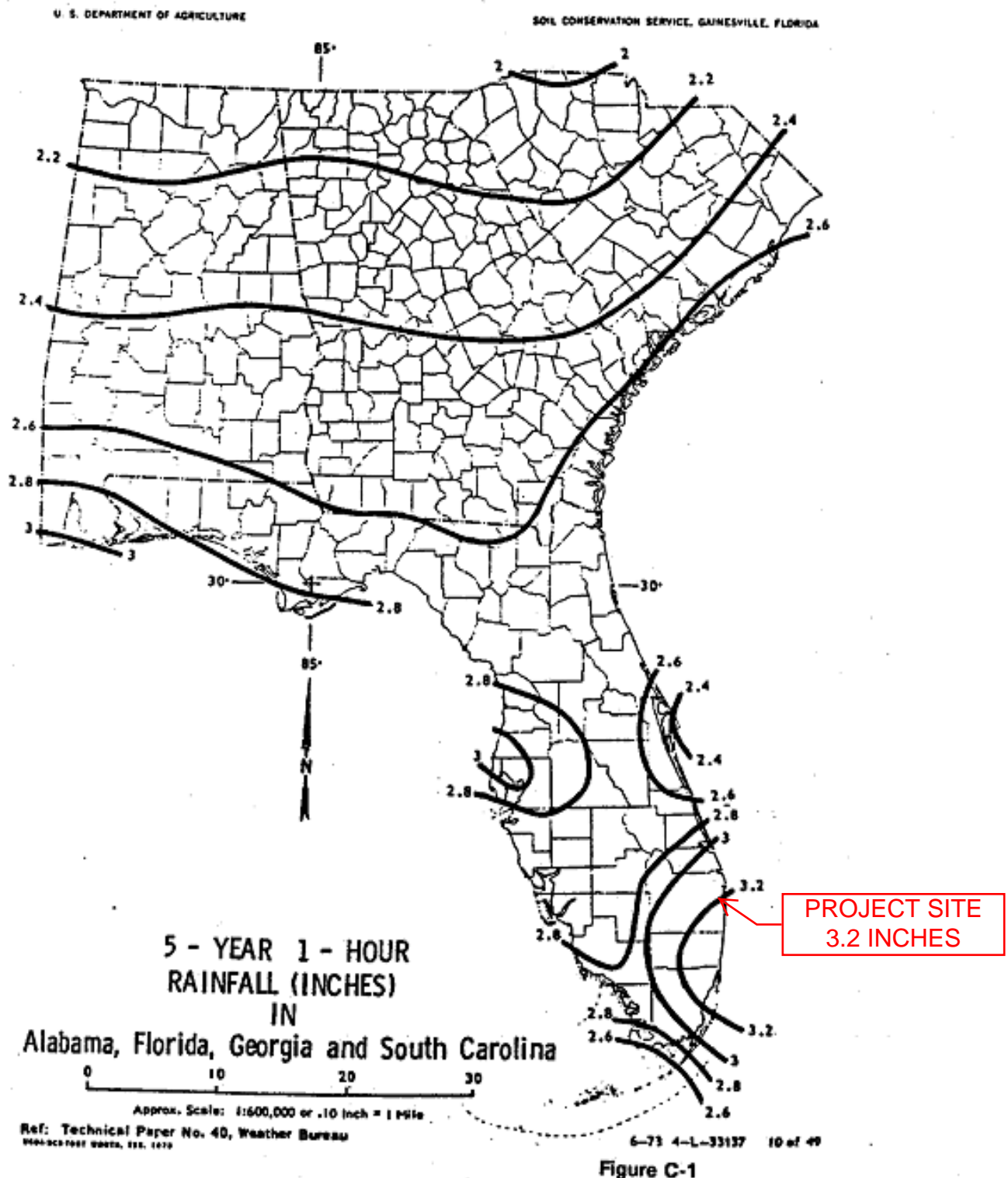
Maximum Stage for 100-Year 3-Day Storm (no discharge)	16.46	NAVD
---	-------	------

Maximum Stage for 25-Year 3-Day Storm (no discharge)	15.88	NAVD
--	-------	------

Maximum Stage for 5-Year 1-Hour Storm (no discharge)	9.05	NAVD
--	------	------

Maximum Stage for 3-Year 1-Hour Storm (no discharge)	8.89	NAVD
--	------	------

Appendix C: Isohyetal Maps
from SFWMD Technical Memorandum, *Frequency Analysis of One and Three Day
Rainfall Maxima for central and southern Florida*, Paul Trimble, October 1990.



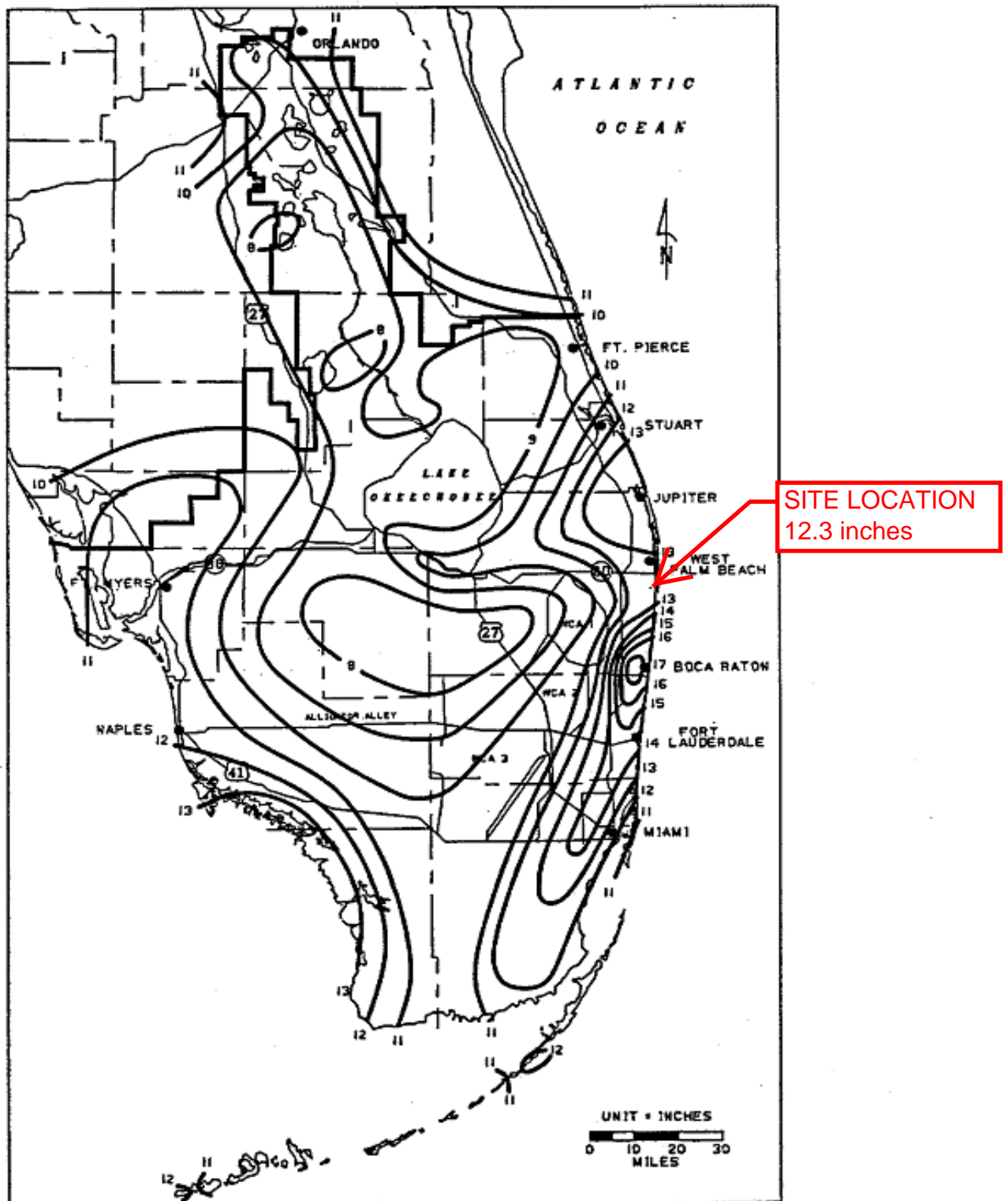


FIGURE C-8. 3-DAY RAINFALL: 25-YEAR RETURN PERIOD

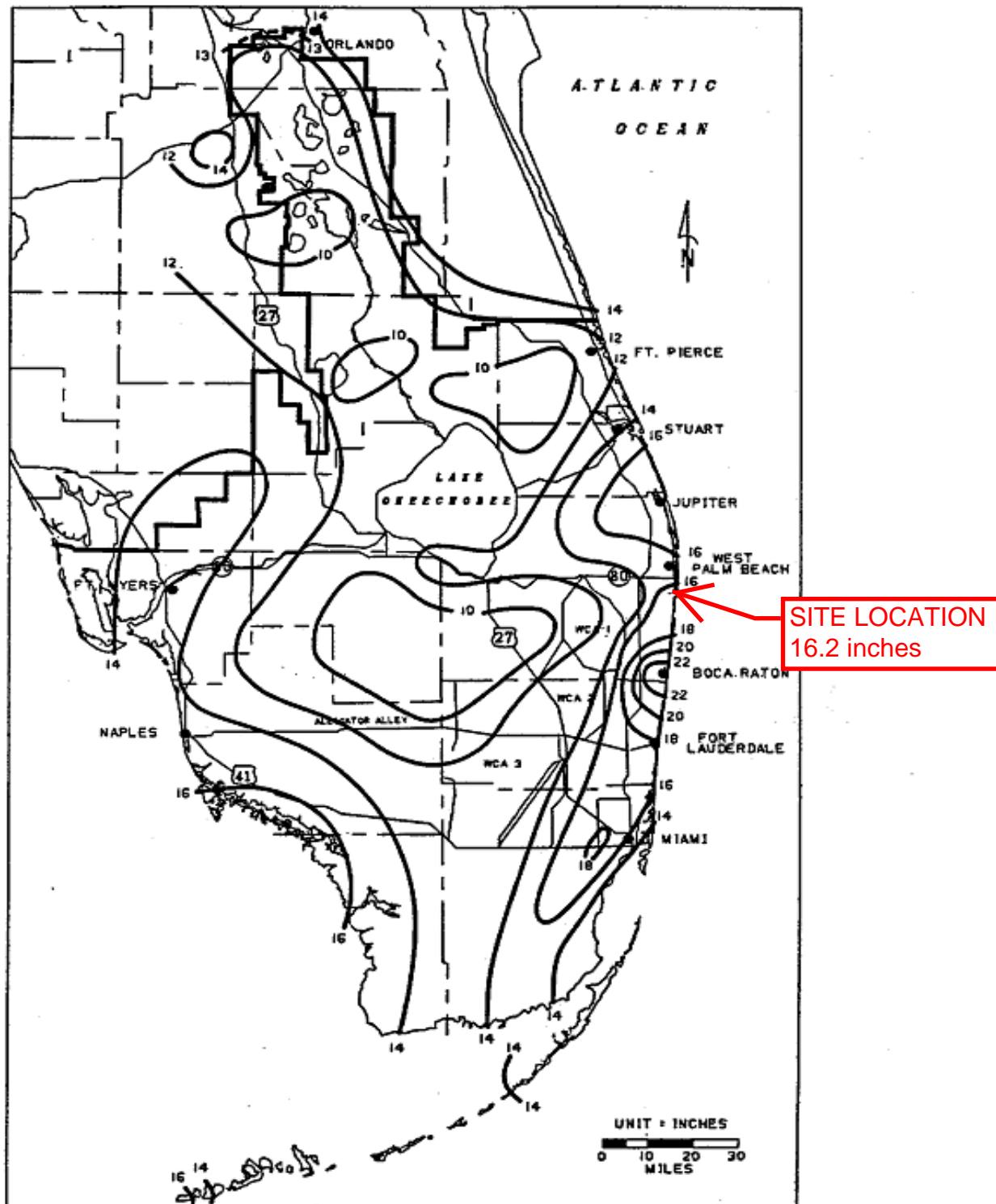
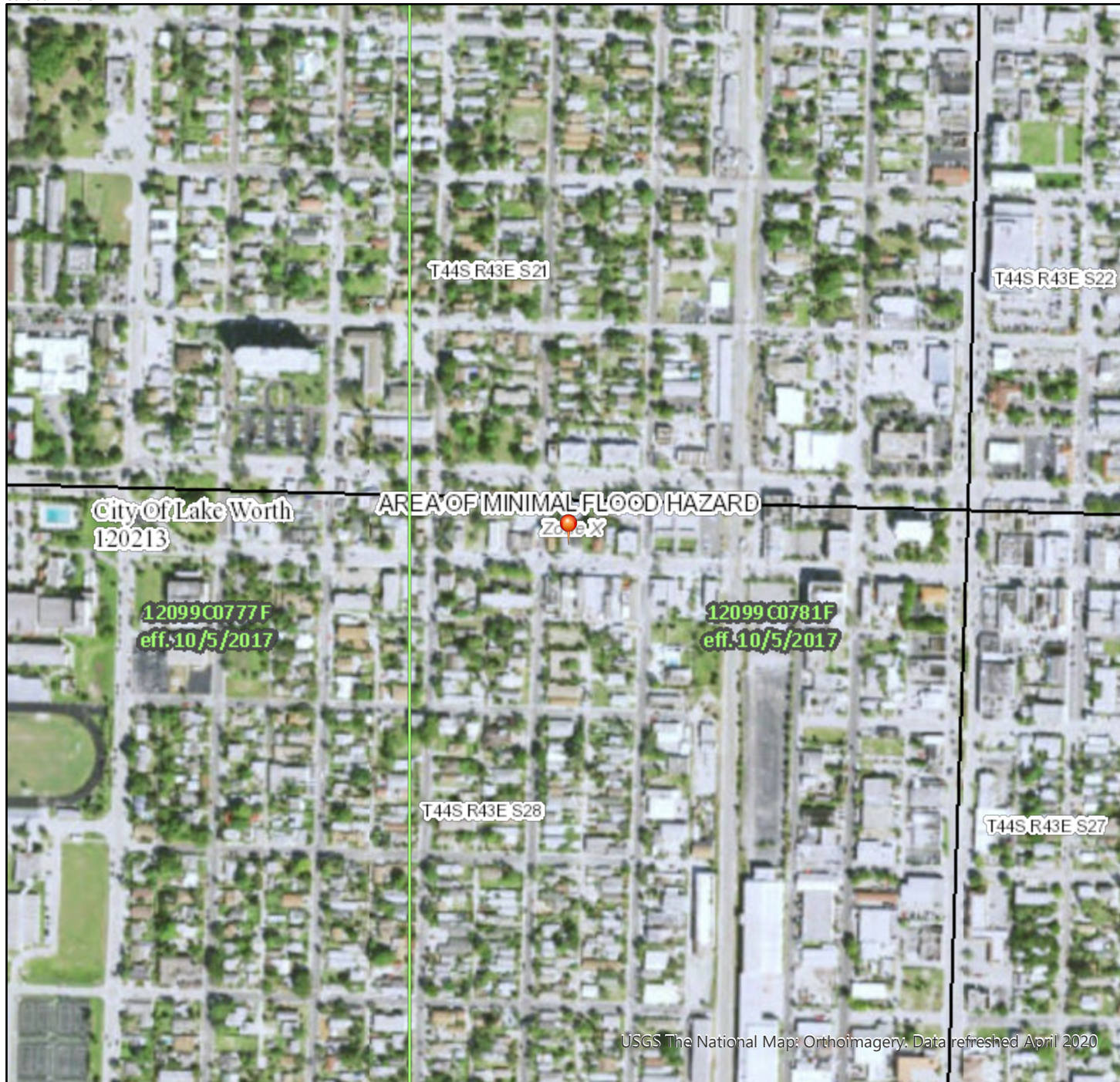


FIGURE C-9. 3-DAY RAINFALL: 100-YEAR RETURN PERIOD

National Flood Hazard Layer FIRMette



80°3'58"W 26°37'14"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard Zone D
		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5 Cross Sections with 1% Annual Chance Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
MAP PANELS		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature
		Digital Data Available
		No Digital Data Available
		Unmapped



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

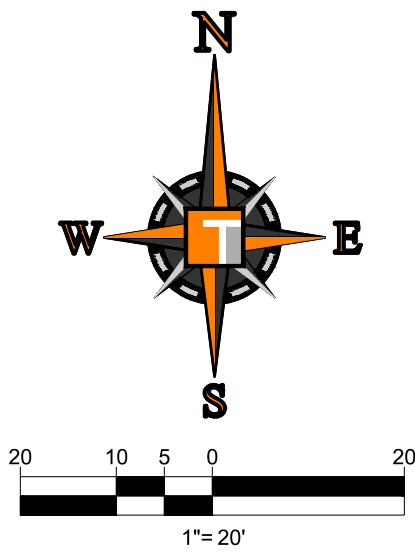
The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 9/4/2020 at 1:59 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

USGS The National Map: Orthoimagery. Data refreshed April 2020

0 250 500 1,000 1,500 2,000 Feet 1:6,000

80°3'21"W 26°36'42"N



NOTES

1. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
2. ALL EXISTING UTILITIES SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH CITY OF LAKE WORTH BEACH AND LOCAL UTILITY COMPANY REQUIREMENTS.
3. ALL DEMOLITION DEBRIS TO BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
4. ALL HYDRANTS SHALL FALL WITHIN 4' OF THE CURB.
5. MINIMUM 7.5' CLEARANCE AROUND THE HYDRANT CIRCUMFERENCE. THE 4 1/2" CAP SHALL FACE THE ROADWAY.
6. ALL FIRE HYDRANTS SHOULD HAVE BLUE REFLECTIVE MARKERS.
7. WATER SHALL BE ON SITE BEFORE CONSTRUCTION BEGINS.
8. CLEAN OUTS INSTALLED IN ASPHALT MUST BE INSTALLED IN A CITY BOX MARKED SEWER.
9. ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY REQUIREMENTS
10. NO PROPOSED IMPROVEMENTS, BUILDINGS OR ANY KIND OF CONSTRUCTION CAN BE LOCATED OR WITHIN ANY WATER, SEWER OR DRAINAGE EASEMENTS, UNLESS APPROVED BY THE CITY ENGINEER
11. NO PROPOSED STRUCTURES SHALL BE INSTALLED WITHIN A HORIZONTAL DISTANCE OF 10- FEET FROM ANY EXISTING OR PROPOSED WATER, SEWER OR DRAINAGE FACILITIES, UNLESS APPROVED BY THE CITY ENGINEER
12. WATER METER SIZES SHALL BE DESIGNED BY ENGINEER OF RECORD AND SHALL BE CHECKED AND AUTHORIZED BY CITY UTILITIES DIVISION.
13. ALL NEW CONNECTIONS TO THE EXISTING WATER MAIN SHALL BE CUT-IN.

DATUM NOTE:
ELEVATIONS SHOWN HEREON ARE IN FEET AND BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)

[illegible]

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SITE PLAN SUBMITTAL

PROJECT No.:	F200053
DRAWN BY:	JFV
CHECKED BY:	MTK
DATE:	07-24-2020
CAD I.D.:	F200053 UTILITY PLAN

PROJECT:

VILLAGE FLATS

— FOR —
**INHABIT LAKE
WORTH BEACH, LLC**

LAKE WORTH BEACH, FL

THOMAS
ENGINEERING GROUP

6300 NW 31ST AVENUE
FORT LAUDERDALE, FL 33309
PH: (954) 202-7000
FX: (954) 202-7070
www.ThomasEngineeringGroup.com

MAXWELL T. KAPLAN

PROFESSIONAL ENGINEER
FLORIDA LICENSE No. 83366

September 21, 2020
FLORIDA BUSINESS CERT. OF AUTH. No. 27528

SHEET TITLE:

**PRELIMINARY
UTILITY PLAN**

SHEET NUMBER:

C-02

October 20, 2020 Resubmission and Revised Plans

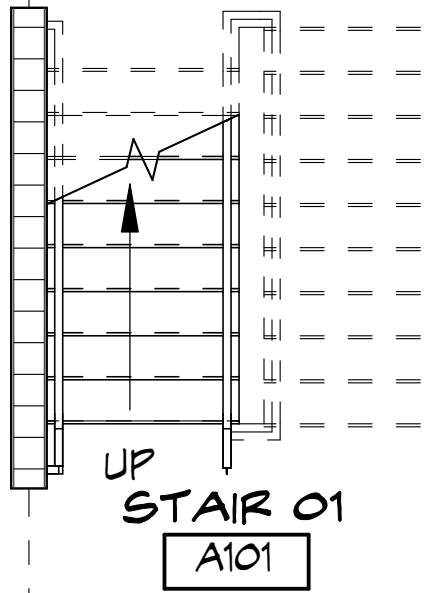
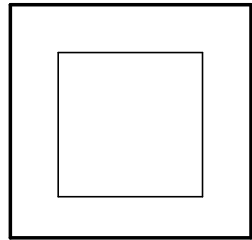
Mailroom

Sign Plan

Renderings

2
A3A1.2

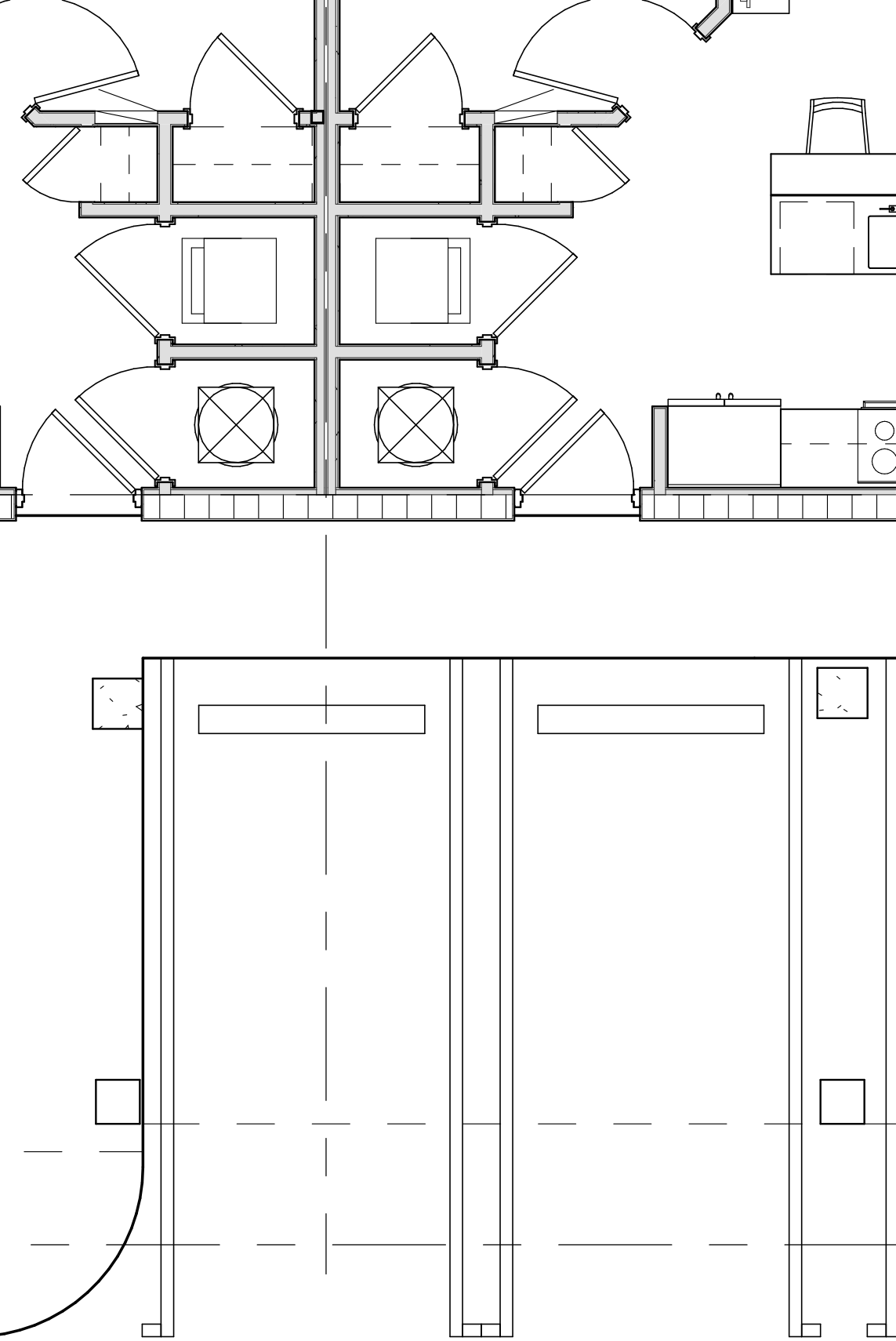
2



ELEC.
A107

MAIL
A108

3



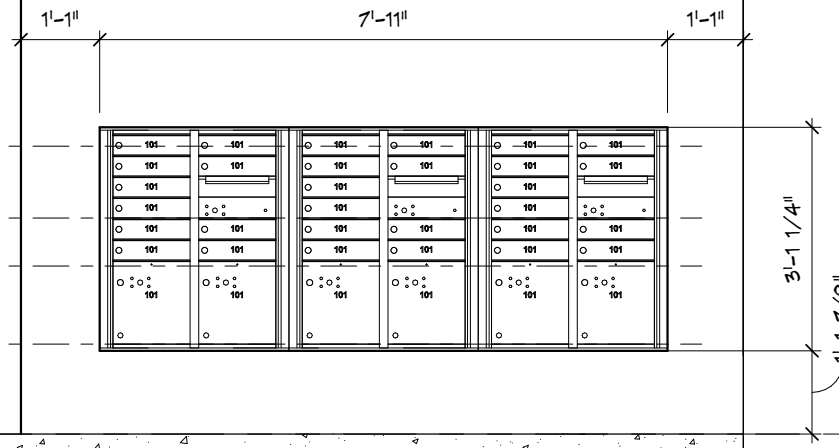
10'-8"
2ND FL. FIN.

48" MAX ADA HEIGHT

36" MIN USPS ACCESS

28" MIN TENANT MAILBOX

15" MIN TENANT PARCEL BOX



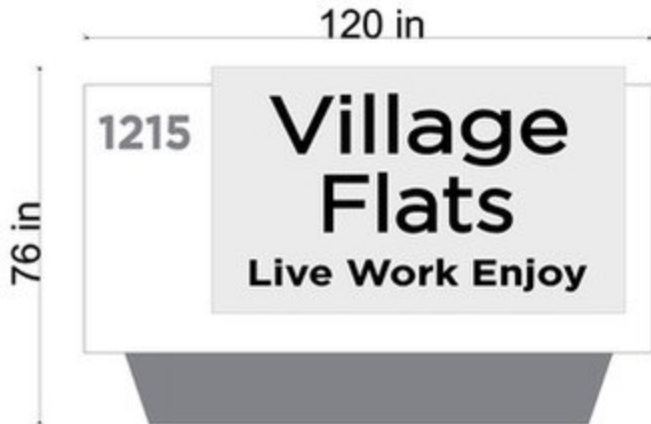
0'-0"
1ST FL. FIN.

1 MAILBOX PER UNIT = 30 MAILBOXES REQUIRED
1:5 PARCEL BOXES PER UNIT = 6 PARCEL BOXES REQUIRED

PROVIDED:
30 MAILBOXES
6 PARCEL BOXES



MONUMENT SIGN



**NON-ILLUMINATED MONUMENT SIGN
SINGLE SIDED - NORTH ELEVATION**

4
4

Prepared By:
Signarama
2005 S. Congress Ave
Delray Beach, FL

Design
Date 5/1
Approved
Date 5/1
Date
10/11/2020

VILLAGE FLATS

Lucerne Ave & E Steet
Lake Worth, FL

Builder
InHabit Property Group

PROPOSED SIGN PLAN VILLAGE FLATS

NORTH ELEVATION



A TENANT SIGNAGE

B WAYFINDING SIGNAGE

C MONUMENT SIGN

1
of 4

Prepared By:
Signarama
2000 S. Congress Ave
Delray Beach, FL

Design
Drawn S.
Reviewed S.
Date S.
Site
10.11.2020

VILLAGE FLATS

Lucerne Ave & E Steet
Lake Worth, FL

Builder
InHabit Property Group



TENANT SIGNAGE



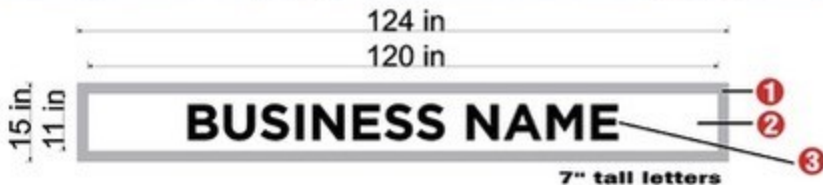
Colors & Finishes

ALL FINISHES - MATHEWS ACRYLIC POLYURETHANE

- 1 GREY TO MATCH BUILDING
- 2 WHITE
- 3 BLACK

Construction Specifications

- 1 RAISED 2"x2" ALUMINUM FRAME WELDED CONSTRUCTION
- 2 1/8" THICK ALUMINUM BACKER PANEL
- 3 1/4" THICK ALUMINUM LETTERS



2
4

Prepared By:
Signarama
2005 S. Congress Ave
Delray Beach, FL

Design
Drawn By:
Reviewed By:
Date:
10.11.2020

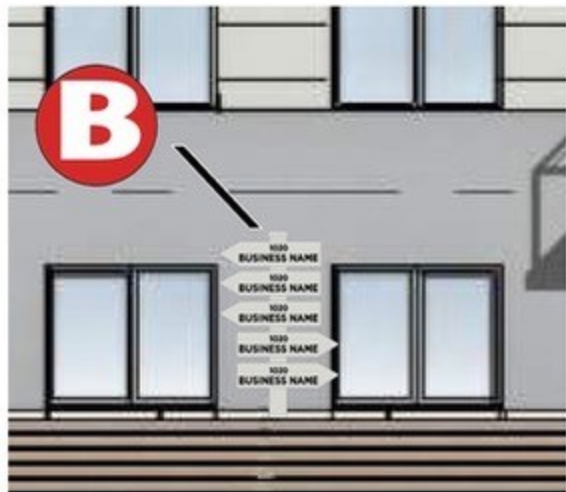
VILLAGE FLATS

Lucerne Ave & E Steet
Lake Worth, FL

Builder

InHabit Property Group

B WAYFINDING SIGNAGE



Colors & Finishes

- 1 GREY TO MATCH BUILDING
MATHews ACRYLIC POLYURETHANE
- 2 GREY TO MATCH BUILDING
MATHews ACRYLIC POLYURETHANE
- 3 BLACK

Construction Specifications

- 1 6" x 6" ALUMINUM POLE WITH
FINAL CAP
- 2 1/4" THICK ALUMINUM PANEL WELDED TO POLE
- 3 BLACK CUT VINYL LETTERS
- 4 POLE INSTALLED IN CONCRETE FOOTING

3
of 4

Prepared By:
Signarama
2801 S. Congress Ave
Bellaire Beach, FL

Design
Date: 5/1/2020
Revised
Date: 5/1/2020
Site
10/13/2020

VILLAGE FLATS

Lucerne Ave & E Steet
Lake Worth, FL

Builder
InHabit Property Group







