TOWN LAKE OF PARK
PLANNING & ZONING BOARD
STAFF REPORT
MEETING DATE: June 5, 2023

APPLICATION: PZ-23-04 Texas Roadhouse

SUMMARY OF APPLICANT'S REQUEST: On behalf of Congress Avenue Properties LTD ("Property Owner" and "Applicant"), Emily Bernahl of Bernahl Development Services ("Agent") is requesting site plan approval for a one-story, 7,926 SF Texas Roadhouse Restaurant. The proposed development is consistent with the Town of Lake Park's adopted regulations for the C-2 Business District.

The Subject Property is located south of Watertower Road and east of Congress Avenue in the Town of Lake Park as denoted in the location map. It is comprised of the following parcel, which totals 2.99 acres:

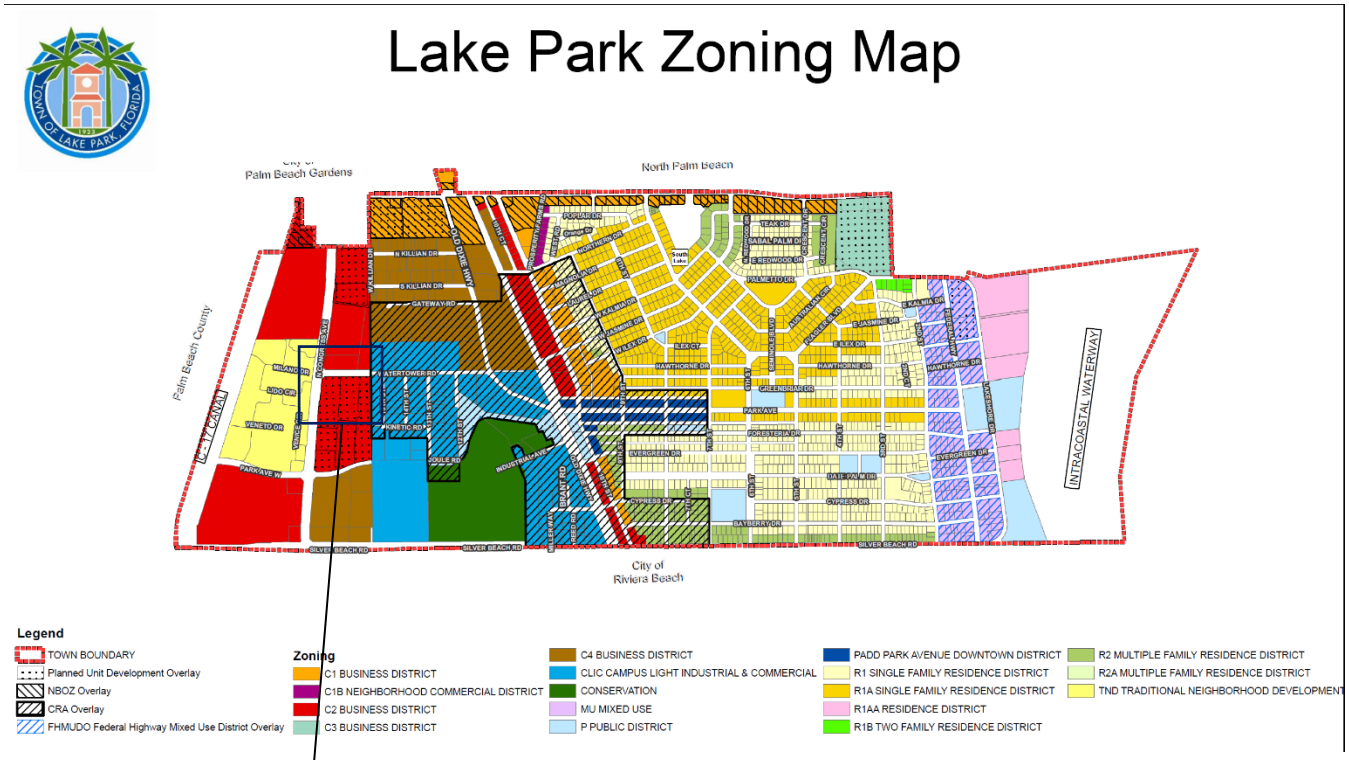
- Parcel 1 – PCN: 36434219260010010

BACKGROUND:

Owner & Applicant(s):	Congress Avenue Properties LTD
Agent and Consultant:	Emily Bernahls, Bernahls Development Services
Location:	280 N Congress Ave
Net Acreage (total):	2.99 acres
Legal Description:	See survey enclosed in packet.
Existing Zoning:	C-2
Future Land Use:	Commercial and Light Industrial

Figure 1: Aerial View of Site (image not to scale; for visual purposes only)

LAKE PARK ZONING MAP



Subject Site

Adjacent Zoning:
North: C-2 Business District
South: C-2 Business District
East: C-2 Business District
West: TND Traditional Neighborhood District

LAKE PARK FUTURE LAND USE MAP

Subject Site

Adjacent Existing Land Use

North: Commercial and Light Industrial
South: Commercial and Light Industrial
East: Commercial and Light Industrial
West: Mixed Residential and Commercial

PART I: SITE PLAN APPLICATION

The site plan application for Texas Roadhouse has been reviewed by the Town's consulting Engineers, Landscape Architect, Palm Beach County Fire Rescue, Seacoast Utility Authority, Palm Beach County Sheriff's Office (PBSO) for Crime Prevention Through Environmental Design (CPTED), Lake Park Public Works Staff, the North Palm Beach County Improvement District and Lake Park Community Development Department Staff. Based on these reviews, the project substantially complies with our Land Development Regulations and Comprehensive Plan.

****This project has been noticed by certified mail to property owners within 300 feet on 5/26/23 and advertised in the Palm Beach Post on Friday 5/26/23 ****

SITE PLAN PROJECT DETAILS

Comprehensive Plan: The proposal is consistent with the goals, objectives and policies of the Town's Comprehensive Plan, including:

- **3.4.2 Objectives and Policies, Policy 1.5:** *The Town shall encourage development and redevelopment activities which will substantially increase the tax base while minimizing negative impacts on natural and historic resources, existing neighborhoods and development and adopted Levels of Service (LOS) standards.*

  This development project activates the last vacant parcel at the northernmost edge of the Congress Avenue Planned Unit Development, bringing in a new restaurant business and increasing public interest in the area while not producing any harmful impacts to neighboring districts and adopted Levels of Service.

- **Future Land Use (FLU) Classification System 3.4.3:** *Lands and structures devoted to light industrial uses with pollutants controlled on site, warehouses, commercial, wholesale establishments, and limited small scale commercial uses that are supportive of workers in the area such as convenience stores and restaurants and that can be carried on unobtrusively, with a maximum F.A.R. of 2.0.*

  The current proposal is consistent with the definitional requirement for lands in the Commercial and Light Industrial FLU designation and consistent with the required Floor Area Ratio (FAR) by providing an FAR of 0.06.

- **Future Land Use Element, Policy 5.2:** *The Town shall foster the redevelopment of declining neighborhoods, underutilized parcels, and areas that demonstrate substandard and/or slum and blight conditions.*

  The proposed development will redevelop a currently underutilized (vacant) parcel per the requirements of the Comprehensive Plan.

Zoning: The proposed project is consistent with the requirements of the C-2 Business District, including use, setbacks, building height, and building site area. The project also complies with the supplemental regulations of the general code, which will be further discussed as applicable in the sections below.

Architecture: The unique and charming neo-rustic architecture of this project was given special attention during this site plan review and is compliant with the Town's standards for nonresidential architectural design detailed under Chapter 78, Article XII. The proposal meets the standards set forth for building articulation, façade paint colors, material variation, and decorative features. Architectural features of interest will address all cardinal directions so that drivers traveling Watertower Road, North Congress Avenue, and the intersection of these roads will all be greeted by attractive and inviting facades. Furthermore, the project creates continuity with existing projects in the PUD by bringing in stone block motifs similar to those used on the Aldi, RaceTrac, AutoZone, and Culvers sites, making it the perfect cornerstone for the PUD in its aesthetic vernacular.

Building Site: The total impervious area for the project is 103,734 SF and the pervious area is 26,850 SF, or just over 20% of the total site. The development proposal consists of a one story 7,926 SF restaurant. This structure consists of a first floor dining area, kitchens, an outdoor patio/dining area, and a to-go pickup window.

Site Access and Roadways: This site has been designed with a high degree of roadway and pedestrian integration into the surrounding PUD and the immediate vicinity. Driveway entrances to the project are provided to the east (1 access point) and the south (2 access points) and connect to existing internal roads in the PUD; no new curb cuts are being proposed along public rights of way for this project and instead the project will utilize the previously-established PUD curb cuts on private property. Pedestrian access points have been provided to the east and south near the same driveways, as well as to the west, connecting to the sidewalk on N Congress Ave. These pedestrian access points connect directly to the building entrance by way of stamped textured concrete pathways across drive aisles in accordance with the standards of the architectural code.

Traffic Concurrency: The applicant has submitted a request to Palm Beach County Traffic for a TPS letter but has not yet received one; staff has required one be provided prior to Town Commission scheduling. For our site plan review, however, we had O'Rourke Engineering review the traffic report provided to Palm Beach County and O'Rourke Engineering approved the methodology of the report and stated they did not anticipate any negative impacts as a result of the proposal, which is in keeping with the uses anticipated in the PUD. The O'Rourke Traffic review approval is dated 5/11/23.

Landscaping: The proposed landscaping plans have been deemed code compliant by the Town's consulting Landscape Architect (JMorton) as of 5/11/23.

Paving, Grading and Drainage: The Town's consulting Engineers reviewed and approved the civil plans for this proposal on 5/11/23 with one recommended condition of approval, which reads as follows:

> "While the walled retention areas will be accepted, we recommend using exfiltration trench as the proposed drainage system, which will require less maintenance and will be cost effective.
>
> Additional comments will be asked regarding the Stormwater Report during permit review."

This condition has been included in Part II of this report as condition 14.

The Town stormwater division also approved the proposed stormwater retention improvements, but noted that the site is technically under the jurisdiction of the North Palm Beach County Improvement District and therefore they cannot enforce standards. However, as noted, they were satisfied with the stormwater retention being proposed for the NPBCID's jurisdiction. A letter of approval from the NPBCID is being sought for another matter, which is detailed below.

North Palm Beach County Improvement District: A 25' drainage easement belonging to the North Palm Beach County Improvement District runs through the north of the site from east to west. According to the easement recording documents staff reviewed from the Official Records Book of the Clerk of the Court of Palm Beach County, this easement has certain encumbrances associated with development near and around it, which require approval from the NPBCID. Accordingly, staff has directed the applicant to approach the NPBCID to secure their approval and they remain in discussions as of the time of the publication of this staff report. NPBCID approval will be required of the applicant prior to scheduling for Town Commission.

Parking and Loading: This project meets and exceeds the required parking based on the applicable parking code for a restaurant, which requires 12 spaces per 1,000 square feet. For the proposed 7,926 SF project, the site is only required to have 96 parking spaces by code but is choosing to provide a total of 165, inclusive of 6 ADA spaces. This comes as a result of Texas Roadhouse's operational model, which seeks to have parking sufficient to accommodate a maximum demand scenario.

A loading space in the required dimensions is being provided east of the building near the dumpster area and additionally the site will have a to-go take-out window on the east as well. This window will not be used for drive-thru orders and instead is intended only to serve customers who have ordered ahead. Pasted below is what the applicant provided us when we inquired into the operation of the pick-up window:

> "It should be noted that this drive-up concept is unlike a traditional drive through. There is no menu board so customers can not order on site. Additionally, orders can not be paid for at the window, they only accept payment and placement of order via their mobile app. The store can control the number of orders received on any given day. If they are busier attending to the patrons dining in-store, they will shut down the online orders to focus on the customers dining in. The intent of this concept is to pick up and go and their customers do not wait in line for their orders.

They are directed to designated to go order parking stalls to wait. The stacking for this concept is roughly two cars, if any."

Signage: Texas Roadhouse has submitted a master signage plan as part of their site plan proposal. In reviewing the application, staff also conducted a preliminary review of the proposed signage conditions on the site. The applicant proposes two monument signs, one along N Congress Avenue and one along Watertower Road, in additional to several wall and parking lot direction signs. Based on staff's preliminary review, we found the signage to comply with the regulations of the Town Sign code; an additional review of the proposed signage will be conducted again during the building permit review as part of the signage permitting process, which is standard procedure. Signage will be subject to permit review and approval pursuant to the Codes in place when permits are applied for and reviewed

Water/Sewer: Seacoast Utility Authority reviewed these plans for compliance with their best practices and provided final approval on 5/4/23.

Fire: PBC Fire Rescue reviewed the site plan and found it to be in compliance with PBC Fire Rescue best practices on 5/5/23. An additional round of fire review will be conducted during the building permit phase, which is standard procedure.

PBSO: The Crime Prevention Through Environmental Design (CPTED) review was performed by D/S Adam Pozsonyi at the Palm Beach County Sheriff's Office and the proposal was found to be complaint with best-practice principles for CPTED on 4/12/23. A high-definition security camera surveillance condition of approval is being recommended, which is a standard condition of approval.

PART II: STAFF RECOMMENDATION

Staff recommends **APPROVAL** of the Site Plan for a Texas Roadhouse restaurant with the following conditions:

1. The Applicant shall develop the Site consistent with the following Plans and the title sheet shall be updated to reflect the following list of plans and their sign and seal dates**:**

Name	Sheet	Revision Date	Received on
GENERAL			
Land Title Survey	1 of 2	10.13.22	5.17.23
Land Title Survey	2 of 2	10.7.22	5.17.23
Architecture			
Building Elevations	A1	5.22.23	5.22.23
First Floor Plan	A1.1	5.22.23	5.22.23
Building Elevations	A2	5.22.23	5.22.23

Civil			
Cover Sheet	C000	5.17.23	5.17.23
General Notes	C100	5.17.23	5.17.23
Site Plan	C200	5.17.23	5.17.23
Site Plan	C210	5.17.23	5.17.23
Grading Plan	C300	5.17.23	5.17.23
Utility Plan	C400	5.17.23	5.17.23
Photometric Plan	C410	5.17.23	5.17.23
Photometric Details	C420	5.17.23	5.17.23
SWPPP Phase 1	C500	5.17.23	5.17.23
SWPP Phase 2	C510	5.17.23	5.17.23
SWPPP Notes	C520	5.17.23	5.17.23
Storm Profiles	C630	5.17.23	5.17.23
Construction Details	C700	5.17.23	5.17.23
Construction Details	C701	5.17.23	5.17.23
Construction Details	C702	5.17.23	5.17.23
Construction Details	C703	5.17.23	5.17.23
Construction Details	C704	5.17.23	5.17.23
Construction Details	C705	5.17.23	5.17.23
Erosion Control Details	C800	5.17.23	5.17.23
IRRIGATION			
Irrigation Plan	I100	5.2.23	5.17.23
Irrigation Details	I200	5.2.23	5.17.23
LANDSCAPE			
Landscape Plan	L100	5.17.23	5.17.23
Landscape Details	L200	5.17.23	5.17.23
Landscape Elevations	L300	5.17.23	5.17.23
Landscape Elevations	L301	5.17.23	5.22.23

2. Construction associated with the Project is permitted only between the hours of 7:00 a.m. and 7:00 p.m., Monday through Saturday, except holidays, unless an exception is approved in writing by the Community Development Director (the Director).

3. Any proposed disruption to neighboring street access, surrounding parking areas, or the normal flow of traffic within the rights of way of Watertower Road, N Congress Avenue, or any other right-of-way during the construction of the Site shall be subject to the review and approval of the Director of the Community Development Department (the Director) and any of the agencies responsible for maintaining these roadways. Should any disruption to the normal flow of traffic occur during construction of the Project without prior authorization, upon written notice from the Director, all construction shall cease until the Director has provided the Owner with a written notice to proceed.

4. All landscaping shown on the approved Site Plan and the Landscaping Plan shall be continuously maintained from the date of its installation and the issuance of the Certificate of Occupancy by the Town. The Owner shall replace any and all dead or dying landscaping materials so as to maintain the quantity and quality of the landscaping shown on the approved Site Plan and Landscaping Plan.

5. The Owner shall ensure that all contractors use best management practices to reduce airborne dust and particulates during the construction of the Site.

6. All onsite dumpsters and dumpster screening shall be kept closed at all times. Owner is not responsible for waste haulers leaving doors open temporarily on pick-up day. All required dumpsters shall be acquired from the approved franchise supplier for the Town.

7. Prior to issuance of the Certificate of Occupancy, the Applicant shall provide certification from the Landscape Architect of record that the plant installations for the Project are in accordance with the approved Site Plan (and any minor modifications that are approved through permitting) and the Landscaping Plan or are deemed to be equivalent by the Town's consulting landscape architect.

8. Prior to the issuance of any construction permits, the Applicant shall submit copies of all permits that are required by other agencies and have been obtained from those agencies, including but not limited to the Palm Beach County Health Department, Palm Beach County Land Development Division, South Florida Water Management District and the State of Florida Department of Environmental Protection.

9. Any revisions to any approved plans associated with the Project, shall be submitted to the Department of Community Development (Department), and shall be subject to its review and approval. The Department shall determine whether or not the changes are material enough to require further review by the Town Commission.

10. During the building permit phase, signage permitting (window, wall, freestanding, or other) for the Project shall be submitted through the Town's permitting process with a master sign plan that ensures signage consistency in design and color scheme of the signs to be located on the Site. A sign package illustrating all signs and their colors shall be submitted to the Department through the regular signage permitting process and shall be subject to its review and approval prior to their placement on the Site. Signage will be subject to permit review and approval pursuant to the Codes in place when permits are applied for and reviewed.

11. Within 18 months of the effective date of this Resolution**,** the Owner shall initiate bona fide development and shall continue with the development of the Site through completion. Failure to do so shall render the Development Order null and void. Once initiated, the development of the Site shall be completed within 18 months.

12. Prior to the issuance of a Certificate of Occupancy or Completion, the Owner shall install High-definition surveillance cameras, which capture clear facial features throughout the parking areas of the Project and along the exterior façades of the buildings on the Site. The location of the camera(s) shall be subject to the review and approval of the Department and PBSO.

13. **Cost Recovery**. All professional consulting fees and costs, including legal fees incurred by the Town in reviewing the Application and in the preparation of this Resolution billed to the Owner shall be paid to the Town within 10 days of receipt of an invoice from the Town. The failure of the Applicant to reimburse the Town within the 10 days from the town's mailing of its invoice will result in the suspension of any further review of plans or building activities, and may result in the revocation of the approved Development Order. A certificate of occupancy will not be issued if invoices are outstanding.

14. While the walled retention areas will be accepted, we recommend using exfiltration trench as the proposed drainage system, which will require less maintenance and will be cost effective. Additional comments will be asked regarding the Stormwater Report during permit review.

TOWN OF LAKE PARK
COMMUNITY DEVELOPMENT DEPARTMENT

APPLICATION FOR SITE PLAN REVIEW OR AMENDMENT

Please call (561)881-3319 for submittal fees

****For Planned Unit Development (PUD) applications, please refer to Section 78-77 of the Town Code of Ordinances for additional requirements****

Project Name: Texas Roadhouse

Project Address: 280 N. Congress Ave., Lake Park, FL 33403

Property Owner: Congress Avenue Properties, LTD

APPLICANT INFORMATION:

Applicant Name: Emily Bernahl

Applicant Address: 1165 W. Deerpath, Lake Forest, IL 60045

Phone: 312-493-8762 Fax: _____ E-Mail: emily@bernahlds.com

SITE INFORMATION:

General Location: SEC of Congress Avenue and Watertower Road

Address: 280 N. Congress Ave., Lake Park, FL 33403

Zoning District: PUD/C2 Future Land Use: Commercial/Light Industrial Acreage: 3.00

Property Control Number (PCN): 36-43-42-19-26-001-00100

ADJACENT PROPERTY:

DIRECTION	ZONING	BUSINESS NAME	USE
North	C2	Petsmart	Commercial
East	PUD/C2	Multi-tenant warehouse	Commercial
South	PUD/C2	Culvers	Restaurant
West	TND	Residential	Residential

JUSTIFICATION:

Information concerning all requests (attach additional sheets if needed)

1. Please explain the nature of the request:

Texas Roadhouse is proposing to construct a full, service sit down restaurant with associated parking.

The proposed building is 7,926 square feet with approximately 172 parking spaces.

2. What will be the impact of the proposed change to the surrounding area?

The proposed use is a permitted use by right within this commercial zoning district and is consistent with existing and surrounding uses.

3. How does the proposed Project comply with the Town of Lake Park's zoning requirements?

Texas Roadhouse has prepared their plan in accordance the Congress Avenue Business Park PUD - Development Regulations, the approved Master Plan and the Town of Lake Park Code of ordinance. The regulations were referenced as it relates to bulk area requirements/setbacks, landscape design criteria, architecture (materials/massing), signage, lighting and parking layout and design.

LEGAL DESCRIPTION:

The subject property is located approximately _____ mile(s) from the intersection of _____, on the ____ north, _____ east, _____south, _____ west side of the _____ (street/road).

Legal Description:

TRACT "A1" OF CONGRESS BUSINESS PARK PLAT NO. 2, A P.U.D., AS SHOWN ON THE PLAT THEREOF AS RECORDED IN PLAT BOOK 120, PAGE 127 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA

I hereby certify that I am the owner(s) of record of the above described property or that I/we have written permission from the owner(s) of record to request this action.

Emily M. Bernahl

OWNER/APPLICANT Signature Date

REVISED: 07/24/2018, previous versions obsolete

CONSENT FORM

FROM PROPERTY OWNER AND DESIGNATION OF AUTHORIZED AGENT:

Before me, the undersigned authority, personally appeared Phillip Brandt, who, being by me first duly sworn, on Oath deposed and says:

1. That he/she is the fee simple title owner of the property described in the attached Legal Description;
2. That he/she is requesting _____ in the Town of Lake Park, Florida;
3. That he/she is appointed _____ to act as authorized on his/her behalf to accomplish the above Project.

Property Owner Name: Congress Avenue Properties, Ltd.

_____	Phillip Brandt, Auth Rep.
Property Owner Signature	By: Name/Title
3825 PGA Blvd Suite 1003	Palm Beach Gardens, FL 33410
Street Address	City, State, Zip Code
561-691-9050	561-622-1851
Telephone Number	Fax Number
philbrandt@divosfainvestments.com	
E-Mail Address	

Sworn and Subscribed before me on this 18th **day of** November**, 20** 22**,**

_____

NOTARY PUBLIC

MY COMMISSION EXPIRES:

MARY T. LORD
MY COMMISSION # GG 962045
EXPIRES: April 24, 2024
Bonded Thru Notary Public Underwriters

REVISED: 07/24/2018, previous versions obsolete

PLEASE DO NOT DETACH FROM APPLICATION.

SIGNATURE REQUIRED BELOW.

Please be advised that Section 51-6 of the *Town of Lake Park Code of Ordinances* provides for the Town to be reimbursed, in addition to any application or administrative fees, for any supplementary fees and costs the Town incurs in processing development review requests.

These costs may include, but are not limited to, advertising and public notice costs, legal fees, consultant fees, additional Staff time, cost of reports and studies, NPDES stormwater review and inspection costs, and any additional costs associated with the building permit and the development review process.

For further information and questions, please contact the Community Development Department at 561-881-3318.

I, Phillip Brandt, have read and understand the regulations above regarding cost recovery.

Property Owner Signature

Date 11/18/22

REVISED: 07/24/2018, previous versions obsolete

EXHIBIT "A" TITLE LEGAL DESCRIPTION

ALL OR A PORTION OF THE FOLLOWING DESCRIBED LAND:

TRACT "A1" OF CONGRESS BUSINESS PARK - PLAT NO. 2, A P.U.D, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 120, PAGE 127, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

THE LEGAL DESCRIPTION, TO BE DETERMINED BY A SURVEY, IS TO BE PROVIDED TO THE COMPANY, BY A FLORIDA REGISTERED LAND SURVEYOR; MEETING THE MINIMUM STANDARDS FOR ALL LAND SURVEYS AS SET FORTH IN CHAPTER 472.027, FLORIDA STATUTES OR IN CHAPTER 21 HH 6, FLORIDA ADMINISTRATIVE CODE.

THE COMPANY RESERVES THE RIGHT TO MAKE SUCH ADDITIONAL SCHEDULE B-I, REQUIREMENTS; SCHEDULE B-II, EXCEPTIONS; AND/OR TO MODIFY THE FOREGOING LEGAL DESCRIPTION, AS IT DEEMS NECESSARY.

AS-SURVEYED LEGAL DESCRIPTION

TRACT "A1" OF CONGRESS BUSINESS PARK PLAT NO. 2, A P.U.D., AS SHOWN ON THE PLAT THEREOF AS RECORDED IN PLAT BOOK 120, PAGE 127 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

BEING THE SAME TRACT OF LAND DESCRIBED IN A TITLE REPORT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. NCS-1148885-CLE, DATED SEPTEMBER 6, 2022 AT 7:30AM.

TITLE COMMITMENT

FIRST AMERICAN TITLE INSURANCE COMPANY
COMMITMENT ORDER NO. NCS-1148885-CLE
EFFECTIVE DATE: SEPTEMBER 6, 2022 AT 7:30AM
SCHEDULE B SECTION II - EXCEPTIONS

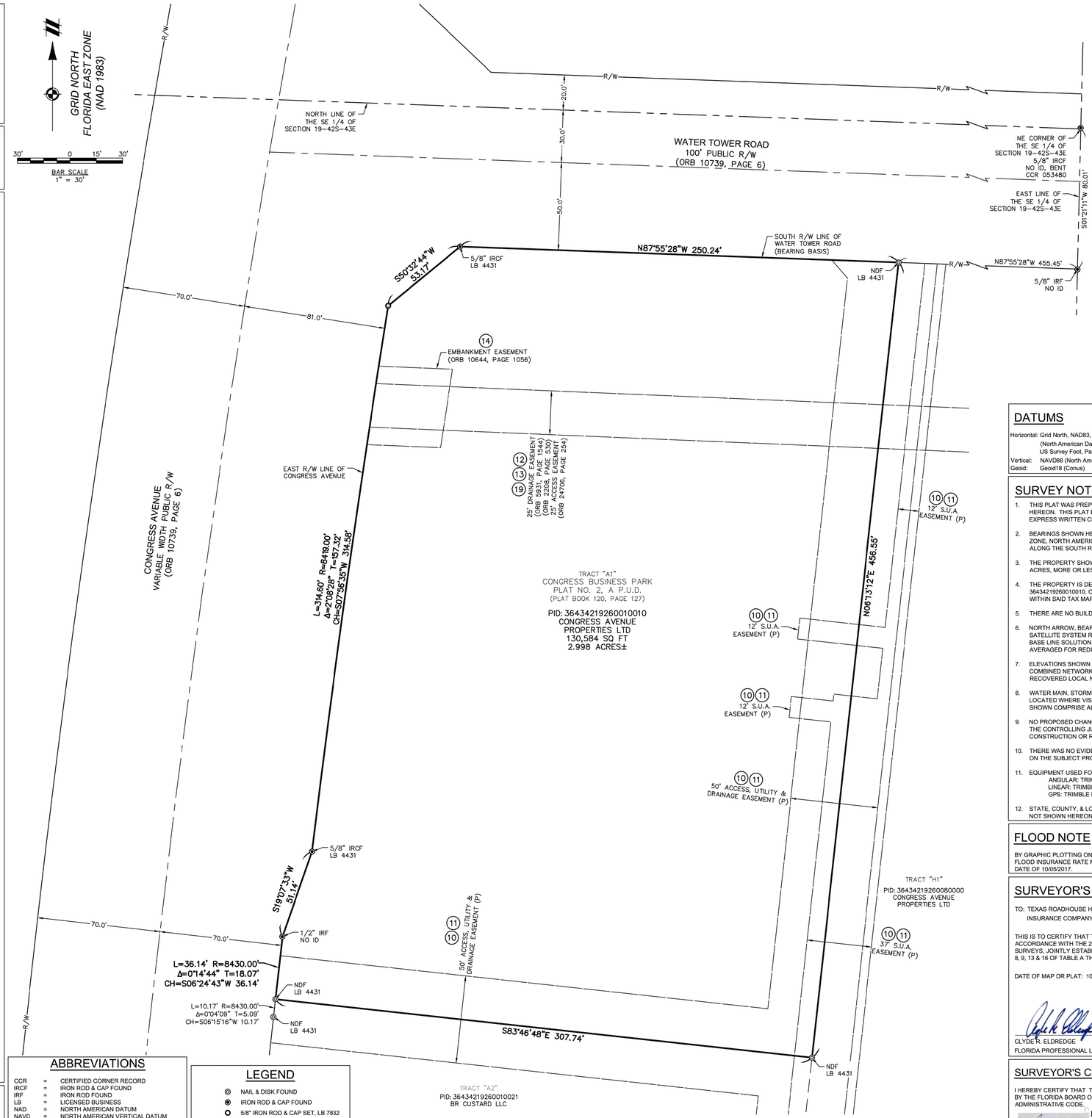
1. DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY, CREATED, FIRST APPEARING IN THE PUBLIC RECORDS OR ATTACHING SUBSEQUENT TO THE EFFECTIVE DATE BUT PRIOR TO THE DATE THE PROPOSED INSURED ACQUIRES FOR VALUE OF RECORD THE ESTATE OR INTEREST OR MORTGAGE THEREON COVERED BY THIS COMMITMENT.
2. ANY RIGHTS, INTERESTS, OR CLAIMS OF PARTIES IN POSSESSION OF THE LAND NOT SHOWN BY THE PUBLIC RECORDS.
3. ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION OR ADVERSE CIRCUMSTANCE AFFECTING THE TITLE THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND.
4. ANY LIEN OR RIGHT TO A LIEN FOR SERVICES, LABOR, MATERIAL OR EQUIPMENT, UNLESS SUCH LIEN IS SHOWN BY THE PUBLIC RECORDS AT DATE OF POLICY AND NOT OTHERWISE EXCEPTED FROM COVERAGE HEREIN.
5. ANY DISPUTE AS TO THE BOUNDARIES CAUSED BY A CHANGE IN THE LOCATION OF ANY WATER BODY WITHIN OR ADJACENT TO THE LAND PRIOR TO DATE OF POLICY, AND ANY ADVERSE CLAIM TO ALL OR PART OF THE LAND THAT IS, AT DATE OF POLICY, OR WAS PREVIOUSLY UNDER WATER.
6. TAXES OR SPECIAL ASSESSMENTS NOT SHOWN AS LIENS IN THE PUBLIC RECORDS OR IN THE RECORDS OF THE LOCAL TAX COLLECTING AUTHORITY, AT DATE OF POLICY.
7. ANY MINERALS OR MINERAL RIGHTS LEASED, GRANTED OR RETAINED BY CURRENT OR PRIOR OWNERS.
8. TAXES AND ASSESSMENTS FOR THE YEAR 2022 AND SUBSEQUENT YEARS, WHICH ARE NOT YET DUE AND PAYABLE.
9. TERMS AND CONDITIONS OF ANY EXISTING UNRECORDED LEASE(S), AND ALL RIGHTS OF LESSEE(S) AND ANY PARTIES CLAIMING THROUGH THE LESSEE(S) UNDER THE LEASE(S).
10. MATTERS SHOWN ON THE PLAT OF CONGRESS BUSINESS PARK, A P.U.D., RECORDED IN PLAT BOOK 119, PAGE 35 THROUGH 37.
    -AFFECTS PROPERTY, AS SHOWN ON SURVEY
11. MATTERS SHOWN ON THE PLAT OF CONGRESS BUSINESS PARK - PLAT NO. 2, A P.U.D., RECORDED IN PLAT BOOK 120, PAGE 127 THROUGH 129; AS AFFECTED BY PARTIAL RELEASE OF EASEMENT RECORDED IN BOOK 28773, PAGE 1700 OF OFFICIAL RECORDS; AS AFFECTED BY PARTIAL RELEASE OF EASEMENT RECORDED IN BOOK 28773, PAGE 1709 OF OFFICIAL RECORDS; AS AFFECTED BY MINOR REPLAT RECORDED IN BOOK 29262, PAGE 1879 OF OFFICIAL RECORDS.
    -AFFECTS PROPERTY, AS SHOWN ON SURVEY
12. EASEMENT, GRANTED FROM BANKERS LIFE AND CASUALTY CO., INC. TO THE TOWN OF LAKE PARK, A MUNICIPAL CORPORATION, RECORDED IN BOOK 2208, PAGE 530 OF OFFICIAL RECORDS.
    -AFFECTS PROPERTY, AS SHOWN ON SURVEY
13. TERMS AND CONDITIONS OF THE DRAINAGE EASEMENT AGREEMENT BETWEEN JOHN E. CORBALLY, JAMES M. FURMAN AND PHILIP M. GRACE, NOT INDIVIDUALLY BUT SOLELY AS TRUSTEES UNDER THE PROVISIONS OF A TRUST AGREEMENT DATED THE 28TH DAY OF DECEMBER 1983 AND KNOWN AS THE MACARTHUR LIQUIDATING TRUST AGREEMENT AND THE TOWN OF LAKE PARK, A MUNICIPAL CORPORATION ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF FLORIDA RECORDED IN BOOK 6931, PAGE 1544 OF OFFICIAL RECORDS.
    -AFFECTS PROPERTY, AS SHOWN ON SURVEY
14. EASEMENT, GRANTED FROM JOHN D. AND CATHERINE T. MACARTHUR FOUNDATION, A NOT FOR PROFIT CORPORATION TO PALM BEACH COUNTY, A POLITICAL SUBDIVISION OF THE STATE OF FLORIDA, RECORDED IN BOOK 10644, PAGE 1056 OF OFFICIAL RECORDS.
    -AFFECTS PROPERTY, AS SHOWN ON SURVEY
15. TERMS AND CONDITIONS OF THE MEMORANDUM OF LIMITED PARTNERSHIP AGREEMENT BETWEEN CONGRESS AVENUE PROPERTIES, LTD., A FLORIDA LIMITED PARTNERSHIP AND PERPETUITIES TRUST HOLDINGS, LLC, A FLORIDA LIMITED LIABILITY COMPANY AND DIVOSTA PERPETUITIES TRUST HOLDINGS, LTD., A FLORIDA LIMITED PARTNERSHIP RECORDED IN BOOK 13748, PAGE 328 OF OFFICIAL RECORDS; AS AFFECTED BY RESTATED AND AMENDED MEMORANDUM OF LIMITED PARTNERSHIP AGREEMENT RECORDED IN BOOK 23126, PAGE 1954 OF OFFICIAL RECORDS; AS AFFECTED BY STATEMENT OF PARTNERSHIP RECORDED IN BOOK 29576, PAGE 841 OF OFFICIAL RECORDS.
    -AFFECTS PROPERTY, NOT SHOWN ON SURVEY (BLANKET IN NATURE)
16. THE TERMS, PROVISIONS, AND CONDITIONS CONTAINED IN THAT CERTAIN NOTICE AND DISCLOSURE OF TAXING AUTHORITY BY NORTHERN PALM BEACH COUNTY IMPROVEMENT DISTRICT, RECORDED IN BOOK 15080, PAGE 414 OF OFFICIAL RECORDS.
    -AFFECTS PROPERTY, NOT SHOWN ON SURVEY (BLANKET IN NATURE)
17. THE TERMS, PROVISIONS, AND CONDITIONS CONTAINED IN THAT CERTAIN ENVIRONMENTAL RESOURCE PERMIT NOTICE, RECORDED IN BOOK 16749, PAGE 4 OF OFFICIAL RECORDS.
    -AFFECTS PROPERTY, NOT SHOWN ON SURVEY (BLANKET IN NATURE)
18. THE TERMS, PROVISIONS, AND CONDITIONS CONTAINED IN THAT CERTAIN NOTICE OF LIEN RIGHTS, RECORDED IN BOOK 22953, PAGE 1631 OF OFFICIAL RECORDS; AS AFFECTED BY NOTICE OF INTEREST RECORDED IN BOOK 26779, PAGE 403 OF OFFICIAL RECORDS.
    -AFFECTS PROPERTY, NOT SHOWN ON SURVEY (BLANKET IN NATURE)
19. EASEMENT, GRANTED FROM CONGRESS AVENUE PROPERTIES, LTD., A FLORIDA LIMITED PARTNERSHIP TO NORTHERN PALM BEACH COUNTY IMPROVEMENT DISTRICT, AN INDEPENDENT SPECIAL DISTRICT OF THE STATE OF FLORIDA, RECORDED IN BOOK 24706, PAGE 254 OF OFFICIAL RECORDS.
    -AFFECTS PROPERTY, AS SHOWN ON SURVEY
20. EASEMENT, GRANTED FROM CONGRESS AVE. PROPERTIES, LTD. TO SEACOAST UTILITY AUTHORITY, RECORDED IN BOOK 26341, PAGE 816 OF OFFICIAL RECORDS.
    -DOES NOT AFFECT PROPERTY
21. EASEMENT, GRANTED FROM CONGRESS AVENUE PROPERTIES, LTD, A FLORIDA LIMITED PARTNERSHIP TO NORTHERN PALM BEACH COUNTY IMPROVEMENT DISTRICT, AN INDEPENDENT SPECIAL DISTRICT OF THE STATE OF FLORIDA, RECORDED IN BOOK 26663, PAGE 470 OF OFFICIAL RECORDS.
    -DOES NOT AFFECT PROPERTY
22. DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS, WHICH CONTAINS PROVISIONS FOR A PRIVATE CHARGE OR ASSESSMENTS, RECORDED IN BOOK 27302, PAGE 418 OF OFFICIAL RECORDS; AS AFFECTED BY AMENDED AND RESTATED DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS OF CONGRESS BUSINESS PARK RECORDED IN BOOK 27419, PAGE 256 OF OFFICIAL RECORDS; AS AFFECTED BY NOTICE AND ASSIGNMENT OF DECLARANT DESIGNATION IN THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS OF CONGRESS BUSINESS PARK RECORDED IN BOOK 31848, PAGE 947 OF OFFICIAL RECORDS , BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604(C).
    -AFFECTS PROPERTY, NOT SHOWN ON SURVEY (BLANKET IN NATURE)
23. THE TERMS, PROVISIONS, AND CONDITIONS CONTAINED IN THAT CERTAIN ORDINANCE, RECORDED IN BOOK 27354, PAGE 664 OF OFFICIAL RECORDS.
    -EXHIBIT "A" NOT INCLUDED IN PROVIDED DOCUMENT
24. DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS, RECORDED IN BOOK 29455, PAGE 596 OF OFFICIAL RECORDS, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604(C).
    -DOES NOT AFFECT PROPERTY

ZONING

THE SUBJECT PROPERTY IS ZONED "C2" (BUSINESS DISTRICT) PER PALM BEACH COUNTY, FLORIDA OFFICE OF PLANNING AND ZONING.

SITE RESTRICTIONS:
MINIMUM BUILDING SETBACKS
FRONT: 25'
SIDE: 15'
REAR: 15'
MAXIMUM BUILDING HEIGHT: 30'

NOTE: ZONING REPORT NOT PROVIDED TO SURVEYOR AT THE TIME OF SURVEY

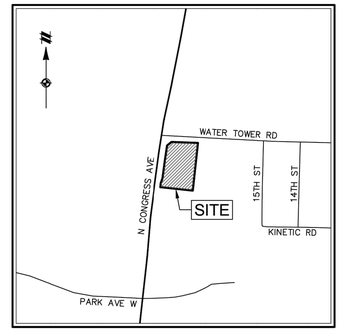


ABBREVIATIONS

CCR	=	CERTIFIED CORNER RECORD
IRCF	=	IRON ROD & CAP FOUND
IRF	=	IRON ROD FOUND
LB	=	LICENSED BUSINESS
NAD	=	NORTH AMERICAN DATUM
NAVD	=	NORTH AMERICAN VERTICAL DATUM
NDF	=	NAIL & DISK FOUND
ORB	=	OFFICIAL RECORD BOOK
(P)	=	PLAT
PID	=	PARCEL IDENTIFICATION NUMBER
PSM	=	PROFESSIONAL SURVEYOR MAPPER
RTK	=	REAL-TIME KINEMATIC
R/W	=	RIGHT-OF-WAY
S.U.A.	=	SEACOAST UTILITY AUTHORITY
SQ FT	=	SQUARE FEET
VRS	=	VIRTUAL REFERENCE STATION

LEGEND

- NAIL & DISK FOUND
- IRON ROD & CAP FOUND
- 5/8" IRON ROD & CAP SET, LB 7832
- (#) TITLE EXCEPTION NUMBER
- SUBJECT BOUNDARY LINE
- ADJACENT BOUNDARY LINE
- R/W — RIGHT OF WAY LINE
- SECTION LINE
- EASEMENT
- CENTER LINE



VICINITY MAP
NOT TO SCALE

DATUMS

Horizontal: Grid North, NAD83, Florida State Planes, East Zone
(North American Datum of 1983) (2011)
US Survey Foot, Palm Beach County, Florida
Vertical: NAVD88 (North American Vertical Datum of 1988)
Geoid: Geoid18 (Conus)

SURVEY NOTES

1. THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS, OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS OR ENTITY WITHOUT EXPRESS WRITTEN CERTIFICATION BY THE SURVEYOR NAMING SAID PERSON, PERSONS, OR ENTITY.
2. BEARINGS SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983 (2011 ADJUSTMENT), DERIVING A BEARING OF N87°55'28"W ALONG THE SOUTH RIGHT-OF-WAY LINE OF WATER TOWER ROAD.
3. THE PROPERTY SHOWN AND DESCRIBED HEREIN HAS AN AREA OF 130,584 SQUARE FEET OR 2.998 ACRES, MORE OR LESS.
4. THE PROPERTY IS DESIGNATED BY PALM BEACH COUNTY AS TAX MAP PARCEL ID NUMBER 36434219260010010. OTHER THAN THE SUBJECT PROPERTY, NO OTHER PROPERTIES ARE INCLUDED WITHIN SAID TAX MAP PARCEL.
5. THERE ARE NO BUILDINGS ON THIS SITE.
6. NORTH ARROW, BEARINGS, AND HORIZONTAL ACCURACY ESTABLISHED BY GLOBAL NAVIGATION SATELLITE SYSTEM RTK OBSERVATIONS USING A FLORIDA PERMANENT REFERENCE NETWORK SINGLE BASE LINE SOLUTION, COMBINED WITH A TRIMBLE VRS NOW REAL TIME NETWORK SOLUTION, AND AVERAGED FOR REDUNDANCY.
7. ELEVATIONS SHOWN HEREON ARE PURSUANT TO THE NORTH AMERICAN VERTICAL DATUM OF 1988. THE COMBINED NETWORK SOLUTION OBTAINED ABOVE WAS CHECKED AGAINST AND CONFORMS TO RECOVERED LOCAL NGS BENCHMARK B 233 (PUBLISHED ELEVATION: 24.12').
8. WATER MAIN, STORM SEWER, SANITARY SEWER AND FRANCHISE UTILITY STRUCTURES HAVE BEEN FIELD LOCATED WHERE VISIBLE. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED.
9. NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES WAS MADE AVAILABLE TO THE SURVEYOR BY THE CONTROLLING JURISDICTION NOR WAS ANY EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
10. THERE WAS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR ADDITIONS ON THE SUBJECT PROPERTY OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
11. EQUIPMENT USED FOR MEASUREMENT:
    ANGULAR: TRIMBLE R12/S5 ROBOTIC TOTAL STATION
    LINEAR: TRIMBLE R12/S5 ROBOTIC TOTAL STATION
    GPS: TRIMBLE R12 GPS RECIEVER
12. STATE, COUNTY, & LOCAL BUFFERS AND SETBACKS MIGHT EXIST ON THE SUBJECT PROPERTY THAT ARE NOT SHOWN HEREON.

FLOOD NOTE

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES IN ZONE "AE" (BASE FLOOD ELEVATION 11') OF THE FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY PANEL NO. 12099C0387F, WHICH BEARS AN EFFECTIVE DATE OF 10/05/2017.

SURVEYOR'S ALTA CERTIFICATION

TO: TEXAS ROADHOUSE HOLDINGS, LLC, A KENTUCKY LIMITED LIABILITY COMPANY; FIRST AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 6(A), 7(A), 8, 9, 13 & 16 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 10/05/2022.

DATE OF MAP OR PLAT: 10/07/2022

October 7, 2022
CLYDE R. ELDREDGE — DATE
FLORIDA PROFESSIONAL LAND SURVEYOR AND MAPPER #7076

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS SURVEY MEETS THE APPLICABLE "STANDARDS OF PRACTICE" AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN RULE 5J-17.050 - .052, FLORIDA ADMINISTRATIVE CODE.

Digitally signed by
Clyde Eldredge
Date: 2022.10.13
15:34:57 -04'00'

October 7, 2022
CLYDE R. ELDREDGE — DATE
FLORIDA LICENSED SURVEYOR AND MAPPER #7076
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

CLYDE R. ELDREDGE License Number 7076 STATE OF FLORIDA Professional Surveyor and Mapper

811 Know what's below. Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR; NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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ATWELL
866.850.4200 www.atwell-group.com
1800 PARKWAY PLACE, SUITE 700
MARIETTA, GA
30067-8292
FLORIDA SURVEY COA# LB 7832

LOCATED IN SECTION 19, TOWNSHIP 42 SOUTH, RANGE 43 EAST
PALM BEACH COUNTY, FLORIDA

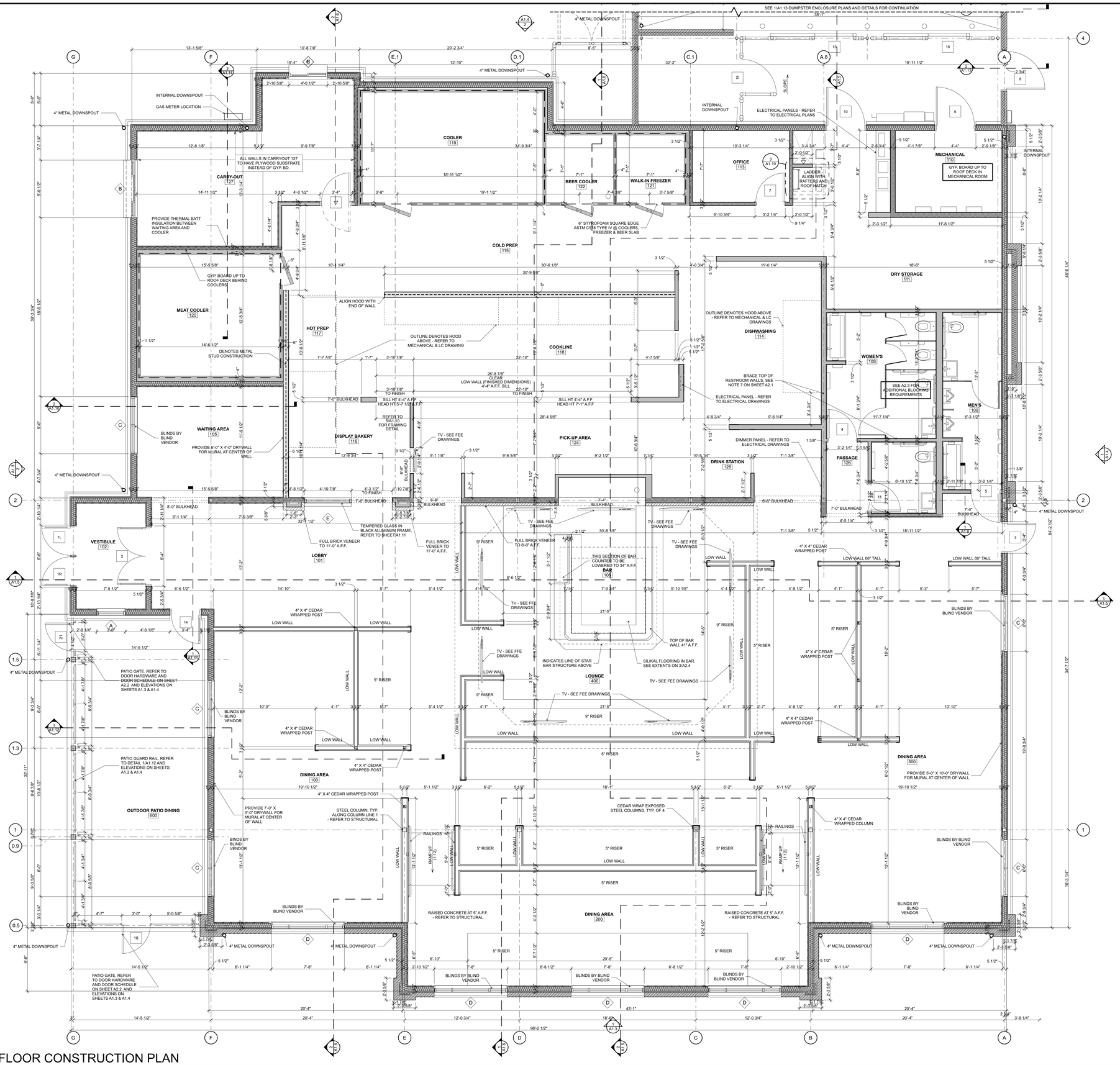
CLIENT: TEXAS ROADHOUSE, LLC
ALTA/NSPS LAND TITLE SURVEY
280 NORTH CONGRESS AVENUE
LAKE PARK, FL

DATE 10/07/2022

REVISIONS

DWG. DLG	CH. KMK
P.M. CRE	
CODE AS	
JOB 22005514	
SHEET NO. 1 OF 2	

FILE NAME: \\SAATX\DWG\220055141-TR Lake Park\DWG\Survey\220055141-01.dwg LAST SAVED BY: dgeske 10/13/2022 3:27 PM PLOTTED BY: Danielle Geske 10/13/2022 PAPER: ARCH D (36.00 X 24.00 INCHES) DEVICE: DWG TO PDF.PC3 PLOT STYLE: BASE-STANDARD.CTB



LEGEND

WALL TYPE	DESCRIPTION
	STONE VENEER WITH STONE SILL ABOVE OVER APA RATED SHEATHING OVER 2" X 6" WOOD STUDS WITH R-21 BATT INSULATION OVER GYPSUM BOARD
	WOOD STUD PARTITION TO UNDERSIDE OF DECK - STUDS @ 16" OC WITH R-21 BATT INSULATION
	WOOD STUD PARTITION TO UNDERSIDE OF DECK - STUDS @ 16" OC
	WOOD STUD PARTITION TO 6" ABOVE CEILING - STUDS @ 16" OC
	LOW WALL 52" ABOVE FINISHED FLOOR (50 1/2" ROUGH DIMENSION) - STUDS @ 16" OC U.N.O.
	METAL STUD PARTITION TO STRUCTURE WITH 1/2" CEMENT BD. ON HOOD SIDE 1/2" PLYWD. OPP. SIDE, STUDS @ 16" O.C.
-	WINDOW TYPES - REFER TO WINDOW DETAILS, SHEET A1.11
#	DOOR TYPES - REFER TO DOOR DETAILS, SHEET A2.2

NOTE: ALL KITCHEN WALLS TO RECEIVE 1/2" CEMENT BOARD 18" UP WALL. DUROCK OR EQUAL.

NOTE: ALL MECHANICAL ROOM WALLS TO RECEIVE 1/2" CEMENT BOARD 18" UP FROM FINISHED FLOOR. DUROCK OR EQUAL.

SEE A2.2 FINISH SCHEDULE FOR ADDITIONAL NOTES

FLOOR PLAN GENERAL NOTES

1) ALL INTERIOR AND EXTERIOR DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS OTHERWISE NOTED.
2) ALL INTERIOR FINISHES TO HAVE CLASS B FLAME SPREAD OR BETTER.
3) SEE ROOM FINISH SCHEDULE FOR WALL TO RECEIVE MOISTURE RESISTANT GYPSUM BOARD AND SPECIAL FINISH DESIGNATIONS.
4) ALL JOINTS, GAPS, AND SPACES LEADING TO HOLLOW OR INACCESSIBLE SPACES ARE TO BE SEALED WITH NSF APPROVED SEALANTS.
5) G.C. TO INSTALL WOOD BLOCKING IN THE WALL FOR THE HANGING OF WALL SHELVING. REFER TO THE FIXTURE SHEETS AND EQUIPMENT SHEETS FOR LOCATIONS OF WALL SHELVES
6) ALL JOINTS, GAPS, AND SPACES TO BE SEALED.
7) ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED, TYP.

1 1ST FLOOR CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"

BHMS DESIGN

1101 S. BENCH ST. GALENA IL 61036
Phone: 815-777-3960

BHMS DESIGN

1101 S. BENCH ST. GALENA IL 61036
Phone: 815-777-3960

Drawn by: MK, RM
Checked by: RJH, DM
Project No.: BH2320

NO.	DATE	ISSUED FOR
	4/12/2023	50% REVIEW SET
	4/26/2023	COORDINATION SET
	5/3/2023	PERMIT SET
	5/22/2023	SOUTH ELEV REVISIONS

TEXAS ROADHOUSE

LAKE PARK, FL

N. CONGRESS AVE. & WATERTOWER RD.
LAKE PARK, FL 33403

FIRST FLOOR PLAN

A1.1

N. CONGRESS AVE. & WATERTOWER RD., LAKE PARK, FLORIDA

BUILDING MATERIAL	PERCENTAGE
STUCCO	38.9%
STONE	20.8%
SPANISH TILE ROOF	18%
CMU	0%
OPENINGS (DOORS & WINDOWS)	5%
TRIM & FASCIA BD	15.4%
SHUTTERS	1.9%

RIGHT SIDE ELEVATION (SOUTH) - CULVER'S

BUILDING MATERIAL	PERCENTAGE
STUCCO	29%
STONE	17.8%
SPANISH TILE ROOF	26.5%
CMU	0%
OPENINGS (DOORS & WINDOWS)	10%
TRIM & FASCIA BD	15.4%
SHUTTERS	1.3%

FRONT ELEVATION (WEST) - CONGRESS AVENUE

BARANSKI HAMMER MORETTA & SHEEHY
ARCHITECTS & PLANNERS
939 W. Randolph Street #2W, Chicago, IL 60607
(312) 337-1960 www.bhms-arch.com

TEXAS ROADHOUSE
N. CONGRESS AVE. & WATERTOWER RD.
LAKE PARK, FLORIDA

BUILDING ELEVATIONS
10/5/2022, STONE PIERS ADDED, BUILDING MATERIAL COLOR PERCENTAGE - 10/18/2022
STONE FACE ON DUMPSTER ENCLOSURE - 12/22/2022
PARAPETS RAISED - 01/27/2023
COLONNADE / ROOF DELETED - 05-22-2023

A1

N. CONGRESS AVE. & WATERTOWER RD., LAKE PARK, FLORIDA

BUILDING MATERIAL	PERCENTAGE
STUCCO	30.5%
STONE	21.7%
SPANISH TILE ROOF	25%
CMU	0%
OPENINGS (DOORS & WINDOWS)	6.2%
TRIM & FASCIA BD	14.7%
SHUTTERS	1.9%

ENTRANCE ELEVATION (NORTH) - WATERTOWER ROAD

BUILDING MATERIAL	PERCENTAGE
STUCCO	36.6%
STONE	10.1%
SPANISH TILE ROOF	21.2%
CMU	4.4%
OPENINGS (DOORS & WINDOWS)	14.2%
TRIM & FASCIA BD	13.5%
SHUTTERS	0%

REAR ELEVATION (EAST)

BARANSKI HAMMER MORETTA & SHEEHY
ARCHITECTS & PLANNERS
939 W. Randolph Street #2W, Chicago, IL 60607
(312) 337-1960 www.bhms-arch.com

TEXAS ROADHOUSE
N. CONGRESS AVE. & WATERTOWER RD.
LAKE PARK, FLORIDA

BUILDING ELEVATIONS
10/5/2022, STONE PIERS ADDED, BUILDING MATERIAL COLOR PERCENTAGE - 10/18/2022
STONE FACE ON DUMPSTER ENCLOSURE - 12/22/2022
PARAPETS RAISED - 01/27/2023
COLONNADE / ROOF DELETED - 05-22-2023

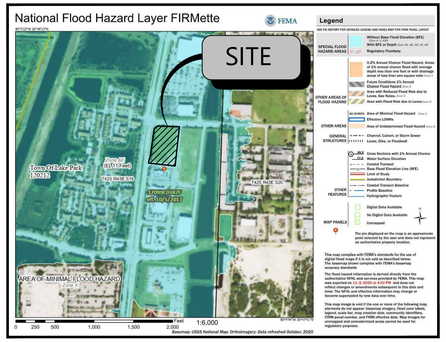
A2

CONSTRUCTION PLANS FOR

TEXAS ROADHOUSE

280 N CONGRESS AVE
TOWN OF LAKE PARK, PALM BEACH COUNTY, FLORIDA
TAX PARCEL: 36-43-42-19-26-001-0010

VICINITY MAP
N.T.S.



FEMA MAP
N.T.S.

NOTE: BASED ON GRAPHIC DETERMINATION, THIS PROPERTY DOES LIE IN A F.E.M.A./F.I.R.M.SPECIAL FLOOD HAZARD AREA PER COMMUNITY PANEL NO. 12099C0387F DATED 10/5/2017.

AERIAL MAP
N.T.S.

TEXAS ROADHOUSE
TOTAL SITE AREA: 2.998 AC.
ZONING: C2 (BUSINESS DISTRICT)
PUD OVERLAY

DEVELOPMENT TEAM

OWNER/ DEVELOPER
TEXAS ROADHOUSE, INC.
6040 DUTCHMANS LANE
LOUISVILLE, KY 40205
PHONE: (502) 426-9984
FAX: (502) 426-3274
CONTACT: CATI KINCAID

CIVIL ENGINEER
ATWELL, LLC
1800 PARKWAY PLACE, SUITE 700
MARIETTA, GA 30067
PHONE: (770) 423-0807
FAX: (770) 423-1262
CONTACT: BRIAN PELHAM, PE

SURVEYOR
ATWELL, LLC
1800 PARKWAY PLACE, SUITE 700
MARIETTA, GA 30067
PHONE: (770) 423-0807
FAX: (770) 423-1262
CONTACT: CLYDE R. ELDREDGE, PLS

SUBMITTAL DATE

SUBMITTAL - 02/10/2023
RESUBMITTAL - 04/12/2023
RESUBMITTAL -05/3/2023

GOVERNING AGENCIES AND UTILITY CONTACTS

COMMUNITY DEVELOPMENT
TOWN OF LAKE PARK
535 PARK AVENUE
LAKE PARK, FL 33403
PHONE: (561) 881-3319
CONTACT: NADIA DITOMMASO

FIRE DEPARTMENT
PALM BEACH COUNTY
405 PIKE ROAD
WEST PALM BEACH, FL 33411
PHONE: (561) 233-0050
CONTACT: ASSISTANT FIRE MARSHAL

NATURAL GAS
FLORIDA PUBLIC UTILITIES
208 WILDLIGHT AVE
YULEE, FL 32097
PHONE: (800) 427-7712

WATER & SEWER
SEACOAST UTILITY AUTHORITY
4200 HOOD RD
PALM BEACH, FL 33410
PHONE: (561) 627-2900
CONTACT: SCOTT SERRA, PE

POWER CO.
FLORIDA POWER & LIGHT CO.
1001 10TH ST
LAKE PARK, FL 33403
PHONE: (888) 988-8249
CONTACT:

TELECOMMUNICATIONS
AT&T
PHONE: (844) 528-0147
COMCAST
PHONE: (866) 608-4419

PROJECT NARRATIVE

THE PROJECT WILL CONSIST OF A NEW 7,926 SF RESTAURANT WITH A NEW PARKING LOT WHICH WILL INCLUDE 166 PARKING SPACES. THIS SITE IS PARCEL 1A OF THE CONGRESS BUSINESS PARK. STORM WATER DETENTION WILL BE PROVIDED AS AN OFFSITE MASTER WATER MANAGEMENT AREA.

NOTE:
THE PLANS HAVE BEEN ROUTED TO CONGRESS AVENUE PROPERTIES LTD. FOR REVIEW AND APPROVAL OF THE TEXAS ROADHOUSE PLANS FOR COMPLIANCE TO AND WITH THE PUD. AN UPDATED MASTER DEVELOPMENT PUD PLAN HAS BEEN PROVIDED TO SHOW THE TEXAS ROADHOUSE DEVELOPMENT.

Sheet List Table

Sheet Number	Sheet Title
C000	COVER SHEET
1 OF 2	ALTA NSPS LAND TITLE SURVEY
2 OF 2	ALTA NSPS LAND TITLE SURVEY
C100	GENERAL NOTES
C200	SITE PLAN
C210	SITE PLAN
C300	GRADING PLAN
C400	UTILITY PLAN
C420	PHOTOMETRIC DETAILS
C410	PHOTOMETRIC PLAN
C500	SWPPP PHASE 1 - DURING GRADING
C510	SWPP PHASE 2 - POST GRADING
C520	SWPPP NOTES
C630	STORM PROFILES
C700	CONSTRUCTION DETAILS
C701	CONSTRUCTION DETAILS
C702	CONSTRUCTION DETAILS
C703	CONSTRUCTION DETAILS
C704	CONSTRUCTION DETAILS
C705	CONSTRUCTION DETAILS
C800	EROSION CONTROL DETAILS
L100	LANDSCAPE PLAN
L200	LANDSCAPE DETAILS
L300	LANDSCAPE ELEVATIONS
L301	LANDSCAPE ELEVATIONS
I100	IRRIGATION PLAN
I200	IRRIGATION DETAILS

Know what's below. Call before you dig.
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24 HOUR EMERGENCY CONTACT
CATI KINCAID
(502) 426-9984

ATWELL
866.850.4200 www.atwell-group.com
1800 PARKWAY PLACE, SUITE 700
MARIETTA, GA 30067
COA# PEF002504

TRACT A1 CONGRESS BUSINESS PARK
280 N CONGRESS AVE
TOWN OF LAKE PARK
PALM BEACH COUNTY, FLORIDA

TEXAS ROADHOUSE
TEXAS ROADHOUSE, INC.
CONSTRUCTION PLANS
COVER SHEET

DATE 05/17/2023
REV. - CITY COMMENTS:#4

REVISIONS

JAMES A. LOWE LICENSE 72044 STATE OF FLORIDA PROFESSIONAL ENGINEER

CAD FILE: 22005514- C000 COVER

DRAWN BY: MGB
CHECKED BY: BP
PROJECT MANAGER: BP
JOB #: 22005514
FILE CODE: ##
SHEET NO. C000

ISSUED—FOR—CONSTRUCTION

FILE NAME: K:\22005514-TR Lake Park\DWG\SHEETS\22005514- C000 COVER.dwg LAST SAVED BY: bhms 5/4/2023 10:17 AM PLOTTED BY: bhms 5/17/2023 PAPER: ARCH FULL BLEED D (24.00 X 36.00 INCHES) DEVICE: _AUTOCAD PDF (GENERAL DOCUMENTATION).PC3 PLOT STYLE: ATWELL.CTB

DEMOLITION NOTES

1. IN ORDER TO PROTECT ADJACENT PROPERTIES AND WATER RESOURCES FROM SOIL EROSION AND SEDIMENTATION, THE DEMOLITION CONTRACTOR SHALL CONSTRUCT EROSION CONTROL MEASURES PER THE INITIAL EROSION CONTROL PLAN (PHASE I) AS NECESSARY PRIOR TO AND DURING DEMOLITION OPERATIONS. ADDITIONAL MEASURES MAY BY REQUIRED AS DIRECTED BY THE ENGINEER, LOCAL INSPECTOR OR THE OWNER.
2. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE OR THE ENGINEER PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION. ANY DEVIATION WITHOUT THE OWNERS' CONSENT WILL BE AT THE CONTRACTOR'S RISK.
3. THE DEMOLITION CONTRACTOR SHALL LOCATE, IDENTIFY PROPERLY, TERMINATE, AND MARK ALL EXISTING UTILITIES THAT SHALL REMAIN WITHIN THE DEMOLITION AREA TO PROTECT THEM FROM DAMAGE.
4. THE DEMOLITION CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES, ASSOCIATED GOVERNMENT DEPARTMENTS, AND THE OWNER'S REPRESENTATIVE PRIOR TO INTERRUPTION OF ANY UTILITY SERVICE. NOTIFICATION MUST BE MADE PER THE PROJECT SPECIFICATIONS. THE DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH AND ADHERENCE T0 THE REQUIREMENTS OF EACH UTILITY COMPANY AND ANY GOVERNMENT UTILITY DEPARTMENT REGARDING SERVICE INTERRUPTION.
5. THE DEMOLITION CONTRACTOR SHALL PROTECT ALL LANDSCAPING AND OTHER FEATURES DESIGNATED TO REMAIN AND REPLACE/REPAIR ALL ITEMS THAT ARE DISTURBED DURING DEMOLITION.
6. THE CONTRACTOR SHALL CONDUCT ALL DEMOLITION OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC AND/OR PRIVATE ACCESSES AND FACULTIES.
7. THE DEMOLITION CONTRACTOR SHALL PROTECT BENCH MARKS, PROPERTY CORNERS, AND ALL OTHER SURVEY MONUMENTS FROM DAMAGE OR DISPLACEMENT. IF A MARKER IS REMOVED OR DISTURBED, IT SHALL BE REPLACED BY A LICENSED LAND SURVEYOR AT THE CONTRACTORS EXPENSE.
8. THE DEMOLITION CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL MEASURES AS REQUIRED IN ACCORDANCE WITH THE US DEPT. OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND GOVERNING AGENCY REQUIREMENTS.
9. DEPRESSIONS AND VOID AREAS CAUSED BY DEMOLITION WORK SHALL BE FILLED TO SUB-GRADE AND PROPERLY COMPACTED. THE CONTRACTOR SHALL SLOPE ALL DISTURBED AREAS TO DRAIN IN ORDER TO AVOID PONDING.
10. THE DEMOLITION CONTRACTOR SHALL ACQUIRE ALL PERMITS AND PAY ALL ASSOCIATED FEES PERTAINING TO THE DEMOLITION AND DISPOSAL REQUIREMENTS. HE SHALL BE RESPONSIBLE FOR ADHERENCE TO ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS REGARDING THIS WORK. IF THERE ARE NO LOCAL, STATE OR FEDERAL REQUIREMENTS THE DEMOLITION CONTRACTOR SHALL ACQUIRE AN ENGINEER'S CERTIFICATION THAT THE WORK HAS BEEN PERFORMED IN ACCORDANCE WITH THE APPROVED PLANS.
11. THE CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY AND SAFETY MANAGEMENT. THE CONTRACTOR SHALL PROCEED WITH THE DEMOLITION IN AN ORGANIZED MANNER FOLLOWING ALL APPLICABLE OSHA REQUIREMENTS IN ORDER TO ENSURE WORKER AND CIVIC SAFETY.
12. THE DEMOLITION CONTRACTOR SHALL DO THE FOLLOWING;
    - 12.1. CONFIRM THAT COPIES OF ALL PERMITS AND APPROVALS ARE KEPT ONSITE AND THAT THEY ARE AVAILABLE FOR REVIEW UPON REQUEST.
    - 12.2. INSTALL INITIAL PHASE SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
    - 12.3. REMOVE AND DISPOSE OFFSITE ALL DEBRIS NOT ACCEPTABLE TO THE OWNER.
    - 12.4. LOCATE AND CAP/PLUG ALL WET AND DRY UTILITIES TO BE REMOVED/ABANDONED WITHIN THE LIMITS OF DISTURBANCE.
    - 12.5. PROTECT AND KEEP IN OPERATION ALL ACTIVE SYSTEMS THAT ARE NOT TO BE REMOVED/ABANDONED.
    - 12.6. COORDINATE WITH APPROPRIATE UTILITY SERVICE COMPANY/PROVIDER AND PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND/OR UTILITY COMPANY REQUIREMENTS. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING DURING "OFF-PEAK" HOURS OR ON WEEKENDS TO MINIMIZE THE IMPACT ON THE PUBLIC.
    - 12.7. DIRECT A LICENSED ENVIRONMENTAL TESTING COMPANY COMPLETE A CONTAMINANT AND INSPECTION AND REPORT WITH REGARD TO BUILDINGS/STRUCTURES TO BE REMOVED, AND ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL ENVIRONMENTAL REGULATIONS. CONTAMINATED/HAZARDOUS BUILDING MATERIAL AND/OR SOILS SHALL BE REMOVED AND DISPOSED OF OFFSITE BY A QUALIFIED/LICENSED CONTRACTOR FAMILIAR WITH THE APPLICABLE REGULATIONS.
13. EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES. IF PERMISSION IS GIVEN, ALL RELATED PERMITS AND MEASURES SHALL BE AT THE DIRECTION OF THE LOCAL ISSUING AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS AND SEISMIC VIBRATION TESTING REQUIRED FOR PROPER MONITORING OF LOCAL STRUCTURES IN THE AREA.
14. THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN ACCORDANCE WITH "THE MANUAL ON UNIFORM TRAFFIC CONTROL", AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS SHOULD DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR RIGHTS-OF-WAY. STREET CLOSURES MUST BE APPROVED BY THE APPROPRIATE GOVERNMENTAL AUTHORITY.
15. EQUIPMENT AND OPERATION OF EQUIPMENT SHALL BE CONTROLLED TO WITHIN THE LIMITS OF DISTURBED ONSITE AREA OF THE PROPERTY.

SITE NOTES

1. THE PROJECT BOUNDARY SURVEY HAS BEEN PROVIDED BY ATWELL, LLC.
2. THE BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL BUILDINGS AND BUILDING APPURTENANCES WITHIN FIVE (5) FEET OF THE BUILDING WALL TO INCLUDE TRUCK DOCKS, SIDEWALKS, STEPS, ETC.
3. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL SITE WORK AND SITE APPURTENANCES UP TO FIVE (5) FEET OF THE BUILDING. THIS INCLUDES TRANSFORMER AND DUMPSTER PADS AS WELL AS ALL UTILITY CONDUITS.
4. CONTRACTOR SHALL OBTAIN ALL PERMITS FROM THE OWNER PRIOR TO CONSTRUCTION.
5. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB AND TO THE END OF PARKING STRIPE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHOWN TO BUILDINGS ARE TO THE OUTSIDE FACE OF THE BUILDING.
6. ALL STRIPED OR CURBED RADII SHALL BE 3' UNLESS OTHERWISE NOTED.
7. PARKING LOT STRIPING SHALL HAVE TWO (2) COATS OF PAINT (MIN).
8. ALL HANDICAP ACCESSIBLE PARKING SIGNS AND STRIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE AMERICAN WITH DISABILITY ACT (ADA) REQUIREMENTS. LOCAL CODES MAY GIVE ADDITIONAL DIRECTION WITH REGARD TO GEOMETRICS.
9. ALL CONCRETE WORK SHALL BE INSTALLED TO THE COMPRESSIVE STRENGTH ESTABLISHED IN THE PROJECT GEOTECHNICAL REPORT. THE REPORT SHALL BE FOLLOWED IF THERE IS A DISCREPANCY WITHIN THESE DRAWINGS.
10. ALL ONSITE AND OFFSITE CURB AND GUTTER SHALL BE INSTALLED PER CURB AND GUTTER DETAILS WITHIN THIS DRAWING SET. 1/2 INCH EXPANSION JOINTS OF PRE-MOLDED BITUMASTIC EXPANSION JOINT. MATERIAL SHALL BE PROVIDED AT ALL RADIUS POINTS AND AT INTERVALS NOT TO EXCEED 50 FEET IN THE REMAINDER OF THE ON-SITE CURB AND GUTTER.
11. ALL SIGNS DEPICTED ON THESE PLANS ARE SHOWN FOR INFORMATION ONLY. ALL SIGNS SHALL BE PERMITTED SEPARATELY BY OTHERS
12. ALL TRAFFIC SIGNS SHALL CONFORM TO THE UNIFORM TRAFFIC CONTROL MANUAL AND/OR TO THE STATE DEPARTMENT OF TRANSPORTATION RULES AND REGULATIONS.
13. SITE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS UPON THE COMPLETION OF THE PROJECT.

ACCESSIBILITY NOTES

1. ALL HANDICAP ACCESSIBLE PARKING SIGNS AND STRIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITY ACT (ADA) REQUIREMENTS. LOCAL CODES MAY GIVE ADDITIONAL DIRECTION WITH REGARD TO GEOMETRICS.
2. ALL HANDICAPPED PARKING SPACES AND ACCESS AISLES ADJACENT TO THE HANDICAP PARKING SPACES SHALL BE CONSTRUCTED TO A MAXIMUM SLOPE OF 2% IN ALL DIRECTIONS (THIS INCLUDES RUNNING SLOPE AND CROSS SLOPE).
3. IF AN ACCESSIBLE ROUTE FROM THE PUBLIC STREET OR SIDEWALK TO THE ENTRANCE IS TO BE PROVIDED IT SHALL BE CONSTRUCTED TO A MINIMUM OF 5' WIDE. THE RUNNING SLOPE OF THE ROUTE SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%.
4. SLOPES EXCEEDING 5% BUT LESS THAN 8% WILL REQUIRE A RAMP AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURB, LANDINGS). NO RAMP SHALL EXCEED AN 8% RUNNING SLOPE OR 2% CROSS SLOPE.
5. IN THE CASE THAT A NEW SIDEWALK IS TO BE CONSTRUCTED IN THE PUBLIC R/W, THE RUNNING SLOPE OF THE SIDEWALK SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%. THIS STANDARD APPLIES ALSO TO CROSS WALKS WITHIN THE DRIVEWAY. SPECIAL ATTENTION SHALL BE PAID DURING STAKING TO ENSURE A 2% CROSS SLOPE IS MET.
6. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE HANDICAP PARKING SPACES, ACCESSIBLE ROUTES, AND SIDEWALKS/CROSSWALKS ARE CONSTRUCTED TO MEET ADA REQUIREMENTS. INSTALLATIONS THAT ARE NON-COMPLIANT SHALL BE REMOVED AND REPLACED AT THE CONTRACTORS EXPENSE.
7. ADA ACCESSIBLE PARKING SHALL HAVE 98" VERTICAL CLEARANCE.
8. DETECTABLE WARNING STRIPS SHALL BE PLACED ON ALL RAMPS.
9. ALL ADA PARKING SPACES SHALL HAVE PROPER SIGNAGE POSTED TO DESIGNATE REGULAR SPACES AND VAN SPACES, AS WELL AS APPLICABLE LOCAL FINES FOR VIOLATIONS.

GRADING NOTES

1. THE PROJECT TOPOGRAPHIC SURVEY HAS BEEN PROVIDED BY ATWELL, LLC.
2. SHOULD THE CONTRACTOR NOT ACCEPT THE EXISTING TOPOGRAPHY AS SHOWN ON THE PROJECT SURVEY OR THESE DESIGN DRAWINGS, HE MAY OPT TO HAVE A NEW TOPOGRAPHIC SURVEY PREPARED AT HIS OWN EXPENSE.
3. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL NPDES PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
4. INFORMATION CONCERNING SITE SOIL CONDITIONS SHALL BE PROVIDED BY THE OWNER'S GEOTECHNICAL ENGINEER. THE PROJECT GEOTECHNICAL REPORT AND RECOMMENDATIONS THEREIN ARE CONSIDERED PART OF THE AUTHORIZED CONSTRUCTION DOCUMENTS . IN CASE OF CONFLICT OR DISCREPANCY, THE GEOTECHNICAL REPORT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY.
5. EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT AND ARCHITECTURAL PLANS AND SPECIFICATIONS.
6. ALL FILL USED TO INCREASE THE ELEVATION OF THE FLOOR SLAB OR ANY FILL TO BE USED AS BACKFILL, SHALL BE CLEAN, SELECT, GRANULAR MATERIAL. PRIOR TO THE USE OF ANY GRANULAR FILL, GRADATION ANALYSIS SHALL BE PERFORMED ON REPRESENTATIVE SAMPLES OF THE FILL MATERIAL TO DETERMINE WHETHER THE MATERIAL IS SUITABLE FOR FILL. COMPACTED FILL SHALL BE PLACED IN ACCORDANCE WITH THE APPROVED GEOTECHNICAL REPORT FOR THE PROJECT.
7. ALL ROCKS, STUMPS, ROOTS, AND ORGANIC MATTER SHALL BE REMOVED TO A DEPTH OF TWO FEET MINIMUM BELOW THE BOTTOM OF THE BASE SECTIONS. THE CONTRACTOR SHALL CONTACT THE GEOTECHNICAL ENGINEER FOR DIRECTION BEFORE BURYING ROCK ONSITE.
8. ALL SOIL EROSION AND SEDIMENT SHALL BE CONTROLLED AND CONTAINED ON-SITE.
9. ALL SLOPES AND DISTURBED AREAS NOT COVERED BY BUILDING OR PAVEMENT SHALL BE GRADED UNIFORMLY AND SHALL RECEIVE A MINIMUM OF 4 INCHES OF TOPSOIL. THE CONTRACTOR SHALL IMPORT TOPSOIL IF NOT READILY AVAILABLE ONSITE. OPEN AREAS SHALL BE SEEDED, MULCHED, FERTILIZED AND WATERED TO PROVIDE AN UNIFORM STAND OF GRASS.
10. CONTRACTOR SHALL INSTALL SLOPE STABILIZATION FABRIC TO ALL SLOPES 2H:1V OR STEEPER AND SHALL MAINTAIN ALL SLOPE AREAS UNTIL THERE EXISTS A HEALTHY STAND OF GRASS.
11. THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDINGS.
12. THE FLOW IN ALL EXISTING STORM SEWERS, STORM DRAINS, AND WATERWAYS SHALL BE MAINTAINED.
13. ALL SPOT ELEVATIONS SHALL BE TAKEN TO BE THE TOP OF PAVEMENT OR FINISHED GROUND UNLESS OTHERWISE NOTED.

    TC=TOP OF CURB ELEVATION

    MATCH=PROPOSED GRADE TO MATCH EXISTING GRADE

    TW=TOP OF RETAINING WALL ELEVATION;

    FG=FINISHED GRADE AT TOE OF WALL ELEVATION
14. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
15. ALL PIPE LENGTHS SHOWN ON PLAN AND PROFILE VIEWS ARE BASED ON THE HORIZONTAL DISTANCE BETWEEN STRUCTURES.
16. THE CONTRACTOR SHALL COMPARE PLAN AND PROFILE STORM SEWER INFORMATION FOR DISCREPANCIES. IF ANY EXIST THE CONTRACTOR SHALL NOTIFY THE ENGINEER FOR CLARIFICATION.
17. PRECAST CONCRETE OR BRICK STRUCTURES MAY BE USED AT THE CONTRACTOR'S OPTION.
18. ALL STORM PIPE CONNECTIONS AT MANHOLES SHALL BE WATER TIGHT.
19. ALL STORM SEWER MANHOLE STRUCTURES IN PAVED AREAS SHALL BE INSTALLED OR ADJUSTED WITH TRAFFIC READY LIDS FLUSH WITH THE PAVEMENT. MANHOLE STRUCTURES IN UNPAVED AREAS SHALL BE INSTALLED FLUSH WITH FINISH GRADE.
20. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
21. ALL SYSTEM MANHOLES AND PIPES SHALL BE FLUSHED CLEAN PRIOR TO TURNING OVER TO THE OWNER.
22. THE CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK. EXISTING UNDERGROUND UTILITIES SHOWN ON THESE DRAWINGS ARE TAKEN FROM THE BEST SOURCES AVAILABLE (FIELD SURVEYS AND UTILITY MAPS) AND MAY NOT BE FULLY ACCURATE. AS SUCH, THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHILE GRADING. ANY UTILITY RELOCATION DEEMED NECESSARY BUT NOT SHOWN ON THE APPROVED DRAWINGS SHALL BE BROUGHT TO THE ENGINEERS ATTENTION.
23. THE GRADING CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES, ASSOCIATED GOVERNMENT DEPARTMENTS, AND THE OWNER'S REPRESENTATIVE PRIOR TO INTERRUPTION OF ANY UTILITY SERVICE. NOTIFICATION MUST BE MADE PER THE PROJECT SPECIFICATIONS. THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH AND ADHERENCE TO THE REQUIREMENTS OF EACH UTILITY COMPANY AND ANY GOVERNMENT UTILITY DEPARTMENT REGARDING SERVICE INTERRUPTION.

UTILITY NOTES

1. THE PROJECT UTILITY SURVEY HAVE BEEN PROVIDED BY ATWELL, LLC.
2. THE CONTRACTOR SHALL HAVE A COPY OF THE APPROVED PLANS, A COPY OF THE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS, AND A COPY OF ALL PERMITS AND APPROVALS ON THE JOB.
3. ALL UTILITY TRENCHES ARE TO BE SLOPED OR BRACED AND SHEETED AS NECESSARY FOR THE SAFETY OF THE WORKERS AND FOR THE PROTECTION OF OTHER UTILITIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PROJECT SAFETY INCLUDING, BUT NOT LIMITED TO, TRENCH EXCAVATION AND SHORINGS, TRAFFIC CONTROL, AND SECURITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SECURITY DURING CONSTRUCTION.
5. THE CONTRACTOR SHALL COMPLY WITH THE LATEST OSHA STANDARDS AND/OR DIRECTIVES WITH REGARD TO EXCAVATION AND TRENCHING PROCEDURES.
6. ALL FILL MATERIAL SHALL BE PLACED AND COMPACTED PRIOR TO UTILITY INSTALLATION.
7. THE CONTRACTOR SHALL PROVIDE RECORD DRAWINGS "AS-BUILT PLANS" AND "FINAL PLATS" (IF APPLICABLE) UPON COMPLETION OF THE PROJECT.
8. THE CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK. EXISTING UNDERGROUND UTILITIES SHOWN ON THESE DRAWINGS ARE TAKEN FROM THE BEST SOURCES AVAILABLE (FIELD SURVEYS AND UTILITY MAPS) AND MAY NOT BE FULLY ACCURATE. AS SUCH, THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHILE GRADING. ANY UTILITY RELOCATION DEEMED NECESSARY BUT NOT SHOWN ON THE APPROVED DRAWINGS SHALL BE BROUGHT TO THE ENGINEERS ATTENTION.
9. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY UTILITY CONFLICTS, ADDITIONAL UTILITIES ENCOUNTERED, AND/OR ANY OTHER UTILITY INFORMATION WHICH MAY REQUIRE EXAMINATION.
10. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE AND IMPLEMENT THEIR SPECIFIC INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
11. THE CONTRACTOR SHALL CALL 811 AT LEAST 72 HOURS PRIOR TO EXCAVATION IN ORDER THAT UTILITIES BE FIELD LOCATED.
12. THE CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITY INSPECTOR 72 HOURS BEFORE CONNECTING TO ANY EXISTING UTILITY.
13. THE SITE CONTRACTOR SHALL COORDINATE SERVICE ROUTING OF ALL GAS, TELEPHONE, AND ELECTRICAL LINES WITH THE APPROPRIATE UTILITY COMPANY. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH THE RESPECTIVE UTILITY'S STANDARDS AND SPECIFICATIONS.
14. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES INVOLVED WITH REGARD TO RELOCATION OF OR ADJUSTMENTS TO EXISTING UTILITIES DURING CONSTRUCTION. THIS WORK SHALL BE PERFORMED IN A TIMELY FASHION AND WITH A MINIMAL DISRUPTION OF SERVICE.
15. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR THE PROPOSED LOCATION OF ALL WET AND DRY UTILITY ENTRANCES INTO THE BUILDING. CONTRACTOR SHALL COORDINATE INSTALLATION OF THE VARIOUS UTILITIES TO AVOID CONFLICTS AND ENSURE THAT THE PROPER DEPTHS ARE ACHIEVED.
16. ALL DRY UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE PROPER UTILITY COMPANY STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL DRY UTILITIES BY OTHERS.
17. THE CONTRACTOR SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION.
18. THE CONTRACTOR SHALL COORDINATE THE INSTALLATIONS OF WATER AND SANITARY SERVICES WITH THE LOCAL WATER AND SEWER PROVIDER. THE LOCAL WATER AND SEWER AUTHORITY STANDARD SPECIFICATIONS AND DETAILS SHALL GOVERN ALL WATER AND SANITARY SEWER CONSTRUCTION.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE EXACT LOCATION, SIZE, AND MATERIAL OF ANY EXISTING WATER AND/OR SEWER FACILITY PROPOSED FOR CONNECTION OR USE BY THIS PROJECT. THE RELOCATION OF ALL WATER/SEWER FACILITIES SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY COMPANY.
20. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL TELEVISE EXISTING SANITARY SEWER LINE FROM THE POINT OF CONNECTION THROUGH THE NEXT SUCCESSIVE DOWNSTREAM RUN OF PIPE. THE CONTRACTOR SHALL ALSO TELEVISE ALL NEWLY INSTALLED SANITARY SEWER PIPE TO ENSURE LINES AND GRADES HAVE BEEN MET.
21. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN SANITARY, WATER, STORM, AND PRIVATE UTILITY LINES. MEASUREMENTS SHALL BE TAKEN FROM THE NEAREST EDGE OF THE UTILITIES IN QUESTION.
22. THE MINIMUM HORIZONTAL SEPARATION BETWEEN THE WATER AND SEWER SERVICES SHALL BE 10'. THE MINIMUM VERTICAL SEPARATIONS SHALL BE 18"
23. SANITARY SEWER PIPE SLOPE SHALL BE MEASURED FROM CENTER OF MANHOLE TO CENTER OF MANHOLE.
24. ALL MANHOLES REQUIRE KOR-N-SEAL OR EQUAL RUBBER BOOTS.
25. TOPS FOR SANITARY SEWER MANHOLES PLACED WITHIN PAVED AREAS SHALL BE INSTALLED WITH TRAFFIC READY FRAMES AND SHALL MATCH THE FINISHED PAVEMENT ELEVATIONS. TOPS FOR MANHOLES PLACED WITHIN GRASSED AREAS SHALL MATCH FINISHED GRADE ELEVATIONS. ALL EXISTING MANHOLES & UTILITY BOXES SHALL BE ADJUSTED AS NECESSARY TO MATCH FINISHED GRADING.
26. ALL SANITARY MANHOLES AND PIPE SHALL BE FLUSHED CLEAN OF DEBRIS PRIOR TO TURNING SYSTEM OVER TO OWNER.
27. ALL FIRE HYDRANTS SHALL CONFORM TO LOCAL REQUIREMENTS.
28. THRUST BLOCKS ARE REQUIRED WHEREVER PIPE CHANGES DIRECTION (TEES, BENDS, ETC.).
29. GRAVITY SEWER LINE MATERIAL SHALL BE PVC (SDR35) OR DIP (CLASS 350).
30. THE PRIMARY ELECTRIC SERVICE SHALL BE PROVIDED BY THE LOCAL POWER PROVIDER. THIS INCLUDES THE TRANSFORMER, PAD, TRENCHING, BACKFILL AND COMPACTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF THE SECONDARY SERVICE. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF BOTH SERVICES.
31. THE GAS SERVICE UP TO THE GAS METER SHALL BE PROVIDED BY THE LOCAL GAS PROVIDER. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE GAS SERVICE.
32. THE GAS AND UNDERGROUND POWER LINES ARE SHOWN FOR INFORMATION PURPOSES ONLY. EXACT LOCATIONS SHALL BE FIELD DETERMINED DURING CONSTRUCTION.

EROSION NOTES

1. THE PROJECT TOPOGRAPHIC SURVEY HAS BEEN PROVIDED BY ATWELL, LLC.
2. THE OWNER SHALL ALLOW AND MAINTAIN OFF-STREET PARKING FOR WORKERS ON THE SUBJECT PROPERTY THROUGHOUT CONSTRUCTION.
3. A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT SHALL BE PRESENT ONSITE WHENEVER LAND DISTURBANCE ACTIVITY IS IN PROGRESS.
4. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL CONFORM TO THE LATEST EROSION AND SEDIMENT CONTROL REGULATIONS FOR ASSOCIATED FEDERAL, REGIONAL, AND LOCAL REGULATORY AGENCIES.
5. ALL EROSION CONTROL MEASURES SHALL MEET THE REQUIREMENTS AND THE SPECIFICATIONS CONTAINED WITHIN THE CONSTRUCTION DETAILS UNLESS AN EQUAL PRODUCT HAS BEEN PRESENTED TO AND APPROVED BY THE OWNER OR THE OWNER'S REPRESENTATIVE.
6. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES. THESE MEASURES SHALL BE MAINTAINED THROUGHOUT THE ENTIRE DURATION OF LAND DISTURBING ACTIVITIES.
7. THE CONTRACTOR SHALL PROTECT ANY BORDERING OR ADJACENT DRAINAGE COURSE AND SHALL REMOVE ANY INTRUDING CONSTRUCTION DEBRIS OR SPOIL MATERIAL IN AN EXPEDITOUS MANNER.
8. THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY MARKED AT THE OUTSET OF CONSTRUCTION AND SHALL REMAIN IN PLACE THROUGHOUT THE DURATION OF THE CONSTRUCTION ACTIVITY. NO LAND DISTURBANCE SHALL OCCUR OUTSIDE THE APPROVED LIMITS AS INDICATED ON THE APPROVED EROSION CONTROL DRAWINGS. IF WETLANDS EXIST ON-SITE, ALL CLEARING MUST BE PERFORMED IN ACCORDANCE WITH THE APPROVED CORPS WETLANDS PERMIT.
9. A CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED AT THE OUTSET OF CONSTRUCTION AND SHALL BE MAINTAINED APPROPRIATELY IN ORDER TO PREVENT TRACKING ONTO PUBLIC ROADWAYS. ALL MATERIALS SPILLED ONTO A PUBLIC ROADWAY OR INTO A PUBLIC STORM SEWER SHALL BE REMOVED IMMEDIATELY.
10. ONCE A CONSTRUCTION EXIT HAS BEEN APPROPRIATELY INSTALLED, APPROPRIATE PERIMETER EROSION CONTROL AND STORMWATER MEASURES SHALL BE INSTALLED PRIOR TO FURTHER CONSTRUCTION.
11. ALL SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED WITH EITHER PERMANENT HARD SURFACE GROUND COVER VEGETATION.
12. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ACCUMULATED SILT FROM EACH RESPECTIVE EROSION CONTROL MEASURE IN ACCORDANCE WITH THE NOTES AND DETAILS ON THESE DRAWINGS.
13. ALL DISTURBED AREAS LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING.
14. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
15. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED SHOULD INTERIM DRAINAGE CONDITIONS DIFFER FROM THE APPROVED FINAL CONDITIONS. THE CONTRACTOR SHALL MAKE ADJUSTMENTS ACCORDINGLY IN ORDER THAT SEDIMENT NOT LEAVE THE SITE.
16. THE CONTRACTOR SHALL KEEP AN ON-SITE DAILY LOG OF THE MAINTENANCE OF ALL EROSION CONTROL MEASURES. THE LOG SHALL BE MADE AVAILABLE FOR INSPECTION AT ALL TIMES.

811
Know what's **below.**
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR; NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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24 HOUR
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TOWN OF LAKE PARK
PALM BEACH COUNTY, FLORIDA

TEXAS ROADHOUSE
TEXAS ROADHOUSE, INC.
CONSTRUCTION PLANS
GENERAL NOTES

DATE 05/17/2023

REVISIONS

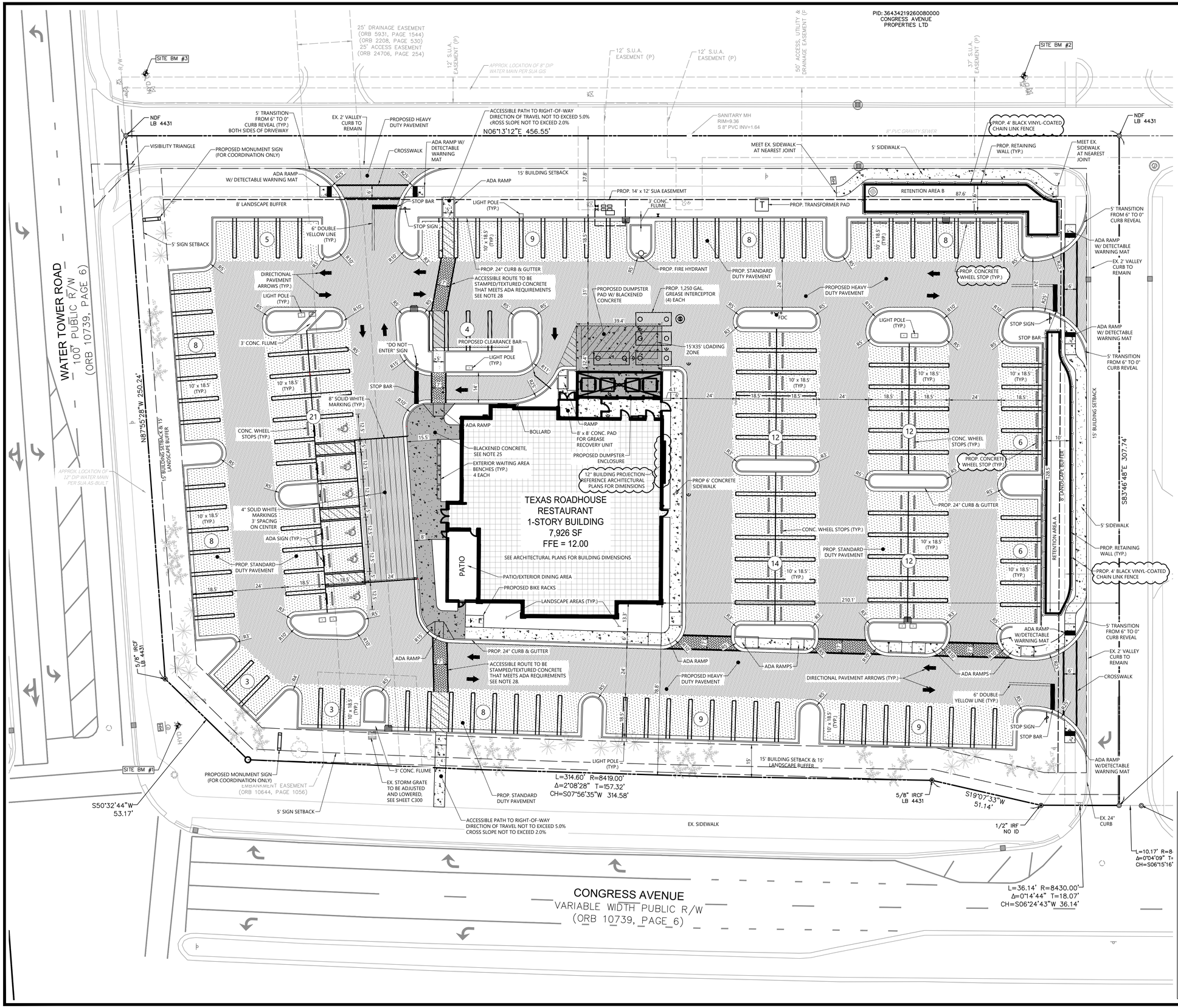
JAMES A. LOWE
LICENSE
2004
STATE OF FLORIDA
PROFESSIONAL ENGINEER

CAD FILE: 22005514- C100 NOTES

DRAWN BY: MGB
CHECKED BY: BP
PROJECT MANAGER: BP
JOB #: 22005514
FILE CODE: ##
SHEET NO. C100

ISSUED-FOR--CONSTRUCTION

FILE NAME: K:\22005514-TR Lake Park\CIVIL\SHEETS\04 PRODUCTION\22005514- C100 NOTES.dwg LAST SAVED BY: lehna 5/4/2023 10:23 AM PLOTTED BY: Lucas Sims 5/17/2023 PAPER: ARCH FULL BLEED D (24.00 X 36.00 INCHES) DEVICE: _AUTOCAD PDF (GENERAL DOCUMENTATION).PC3 PLOT STYLE: ATWELL.CTB



SITE LEGEND

- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- EXISTING SETBACK LINE
- 24" CURB AND GUTTER
- PROPOSED RETAINING WALL
- CROSSWALK
- DECORATIVE CROSSWALK
- STOP BAR (PAVEMENT MARKING)
- TRAFFIC FLOW ARROW (PAVEMENT MARKING)
- HANDICAP STALL
- CONCRETE WHEEL STOP
- A.D.A. STD HANDICAP RAMP
- PARKING SPACE COUNT
- SIGN
- LIGHT POLE
- CONCRETE
- STANDARD DUTY PAVING
- HEAVY DUTY PAVING

SITE NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS AND SITE WORK SPECIFICATIONS AND SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
2. REFERENCE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS, TRUCK DOCKS, SIDEWALKS, STEPS, TRANSFORMER PADS, ETC.
3. TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY, AS A CONTRACTOR TO THE SELLER/OWNER:
   ATWELL, LLC
   (ATWELL WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN ERRORS OR OMISSIONS RESULTING FROM SURVEY INACCURACIES.)
4. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHOWN TO BUILDINGS ARE TO OUTSIDE FACE OF BUILDING.
8. ALL STRIPED OR CURBED RADII SHALL BE 5' UNLESS OTHERWISE NOTED.
9. CONCRETE TRUCK DOCKS ARE BY THE BUILDING CONTRACTOR.
10. ALL HANDICAP ACCESSIBLE PARKING SIGNS AND STRIPING SHALL BE IN ACCORDANCE WITH THE AMERICAN WITH DISABILITY ACT (ADA) REQUIREMENTS AND STATE CODE.
11. ALL TRAFFIC SIGNS SHALL CONFORM TO THE UNIFORM TRAFFIC CONTROL MANUAL AND THE STATE OF FLORDIA DEPARTMENT OF TRANSPORTATION.
12. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE TO ANY EXISTING IMPROVEMENTS, ONSITE OR OFF SITE, SUCH AS PAVEMENT, UTILITIES, STORM DRAINAGE, ETC. THE REPAIR MUST BE APPROVED BY THE ENGINEER AND BE EQUAL OR BETTER THAN EXISTING CONDITIONS.
13. SITE LIGHTING SHALL BE INCLUDED IN THE GENERAL CONTRACTOR'S SCOPE OF WORK. ALL PARKING LOT LIGHTING POLES, BASES AND FIXTURES WITH LAMPS SHALL BE INSTALLED BY THE GENERAL CONTRACTOR'S ELECTRICAL CONTRACTOR AND SHALL SUPPLY A ONE YEAR WARRANTY CERTIFICATE.
14. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS.
15. SITE CONTRACTOR SHALL SUPPLY AS-BUILT PLANS INDICATING ALL CHANGES AND DEVIATIONS.
16. ANY DEVIATION FROM THESE PLANS MAY CAUSE THE WORK TO BE UNACCEPTABLE.
17. ANY UNANTICIPATED CONDITIONS ENCOUNTERED DURING THE CONSTRUCTION PROCESS SHALL BE IDENTIFIED TO THE ENGINEER IMMEDIATELY.
18. ALL CONCRETE SHALL BE 3000 PSI 28 DAY COMPRESSIVE STRENGTH.
19. PROJECT SIGNAGE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
20. ALL CURB AND GUTTER WITHIN THE PROPERTY BOUNDARY OF THE DEVELOPMENT SHALL BE 24".
21. PARKING LOT STRIPING SHALL BE INCLUDED IN PAVING CONTRACTOR'S SCOPE OF WORK. STRIPING WILL BE ACCORDING TO OWNER'S SPECIFICATIONS UNLESS NOTED OTHERWISE. ALL STRIPING IS TO HAVE TWO (2) COATS OF PAINT (MIN).
22. LIGHT POLE BASES SHALL BE PAINTED TRAFFIC YELLOW PER SITE WORK SPECIFICATIONS.
23. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL OFF-SITE EASEMENTS NOT DELINEATED ON PLANS OR KNOWN OF AT TIME OF PLAN ISSUANCE.
24. THE SITE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL WORK AND APPURTENANCE TO WITHIN 5' OF THE BUILDING. THIS INCLUDES TRANSFORMER AND DUMPSTER PADS AS WELL AS ALL UTILITY CONDUITS.
25. FOR AREAS OF BLACKENED CONCRETE, ADD DAVIS COLOR 8084 GRAPHITE AT A RATE OF 150 LBS/10 YARDS.
26. SIGNAGE LOCATIONS AND REVIEW SHALL BE COMPLETED UNDER A SEPARATE PERMIT.
27. ALL DELIVERIES SHALL OCCUR DURING NON-BUSINESS HOURS, EITHER PRIOR TO RESTAURANT OPENING OR OVERNIGHT
28. DECORATIVE CROSSWALL SHALL BE $\frac{1}{4}$" THICK TRAFFIC PRINT SYNTHETIC ASPHALT (TRAFFIC CALMING USA OR APPROVED EQUAL) TO BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS. TRAFFIC PRINT PATTERN SHALL BE 45° HERRINGBONE, COLOR BRICK RED WITH A 8" SOLID WHITE THERMOPLASTIC STRIPE BORDER. CONTRACTOR TO SUBMIT SHOP DRAWING TO OWNER/DEVELOPER FOR APPROVAL.

SITE AREA

TOTAL PROPERTY AREA:	2.998± AC (130,584± S.F.)
IMPERVIOUS AREA:	2.382± AC (103,734± S.F.) 79.4%
PERVIOUS AREA:	0.616± AC (26,850± S.F.) 20.6%

ZONING CLASSIFICATION

JURISDICTION:	TOWN OF LAKE PARK
LAND USE CODE:	VACANT COMMERCIAL
ZONING:	C-2 (BUSINESS DISTRICT) PUD OVERLAY
ADJACENT ZONING:	C-2 (NORTH, SOUTH, EAST) TND (WEST)

BUILDING SETBACKS

FRONT	25 FT (15' LANDSCAPE BUFFER)
SIDE	15 FT (8' LANDSCAPE BUFFER)
REAR	15 FT (8' LANDSCAPE BUFFER)

BUILDING SUMMARY

PROPOSED USE:	SIT DOWN RESTAURANT
PROPOSED BUILDING AREA:	7,926 SF (1,200 SF MIN.)
BUILDING COVERAGE:	6%
BUILDING HEIGHT LIMIT:	30' OR 2 STORIES

PARKING SUMMARY

PARKING REQUIREMENTS	12 SPACES / 1,000 GFA
TOTAL PARKING REQUIRED	7,926 X 12 SPACES PER 1000 SF = 96 SPACES
PARKING PROVIDED	165 SPACES, INCLUDES 6 ADA SPACES

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TRACT A1 CONGRESS BUSINESS PARK
280 N CONGRESS AVE
TOWN OF LAKE PARK
PALM BEACH COUNTY, FLORIDA

TEXAS ROADHOUSE
TEXAS ROADHOUSE, INC.
CONSTRUCTION PLANS
SITE PLAN

DATE	05/17/2023
REV. - CITY COMMENTS - #4	
REV. - CITY COMMENTS - #5	

REVISIONS

JAMES A. LOWE, LICENSE 72004, STATE OF FLORIDA, PROFESSIONAL ENGINEER

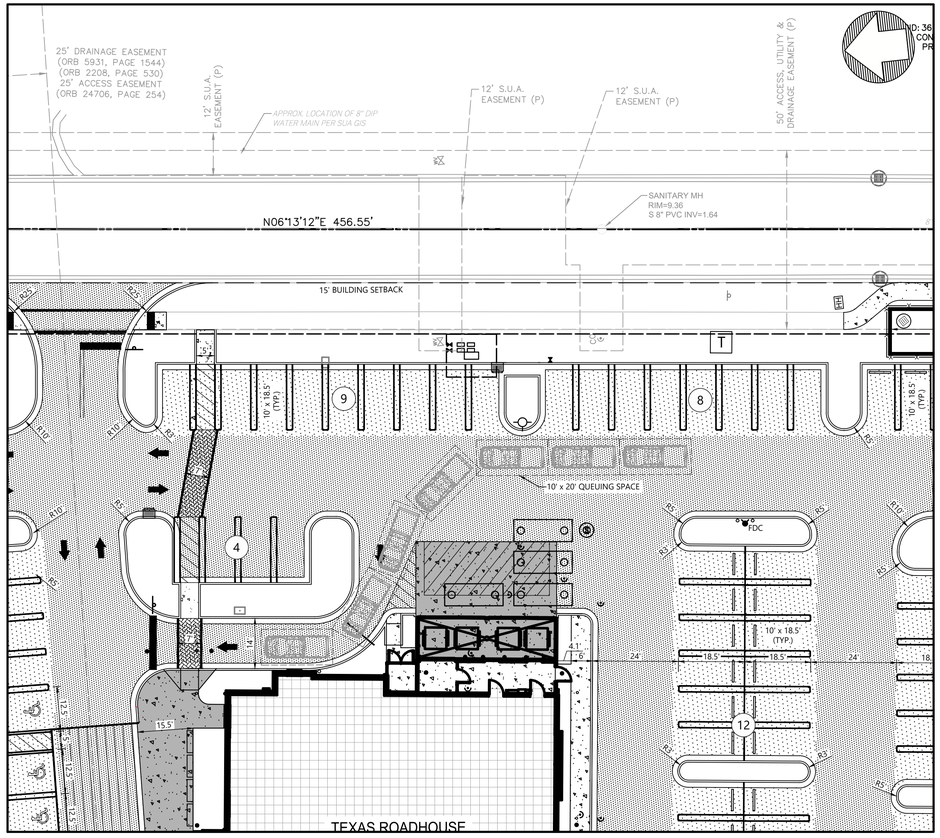
0 10' 20'
SCALE: 1"=20'

DRAWN BY: MGB
CHECKED BY: BP
PROJECT MANAGER: BP
JOB #: 22005514
FILE CODE: ##
SHEET NO. C200

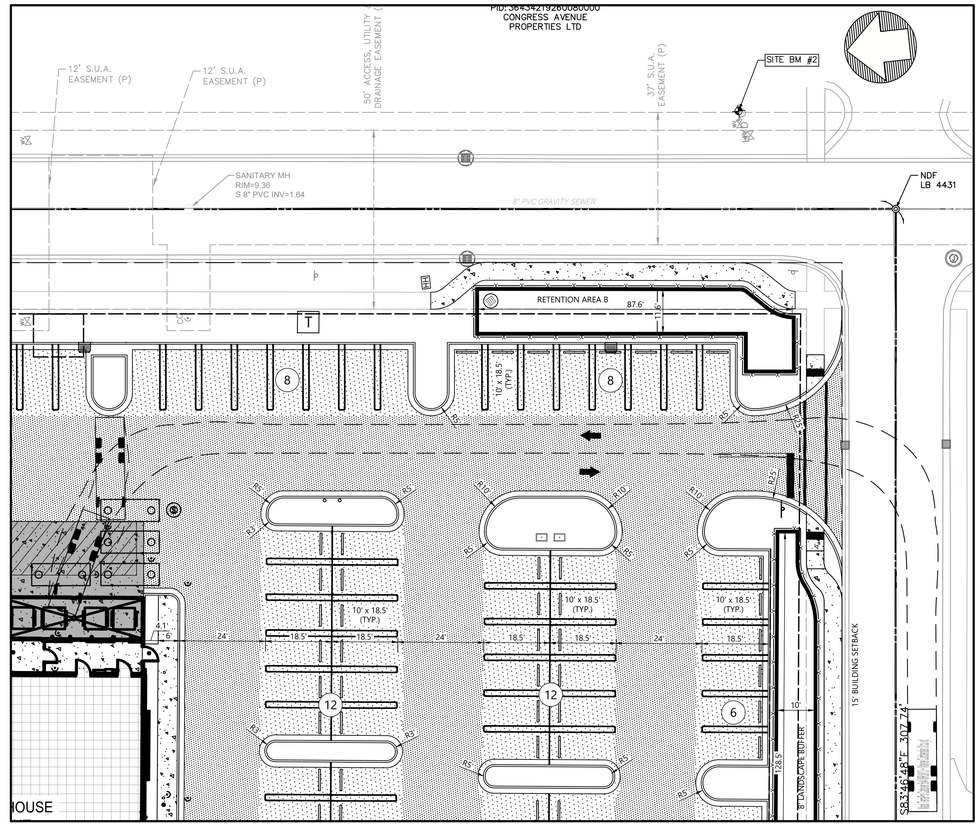
ISSUED-FOR-CONSTRUCTION

CAD FILE: 22005514- C200 SITE PLAN

FILE NAME: K:\22005514-TB Lake Park\DWG\SNA\SA PRODUCTION\22005514- C200 SITE PLAN.dwg LAST SAVED BY: lvonsager 5/17/2023 10:03 AM PLOTTED BY: Linda Sims 5/17/2023 PAPER: ARCH FULL BLEED D (24.00 X 36.00 INCHES) DEVICE: \\ATFCAD PDF (GENERAL DOCUMENTATION).PC3 PLOT STYLE: ATWELL.CTB



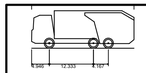
DRIVE-THRU VEHICLE QUEUING



GARBAGE TRUCK VEHICLE TURNING ANALYSIS

SITE LEGEND

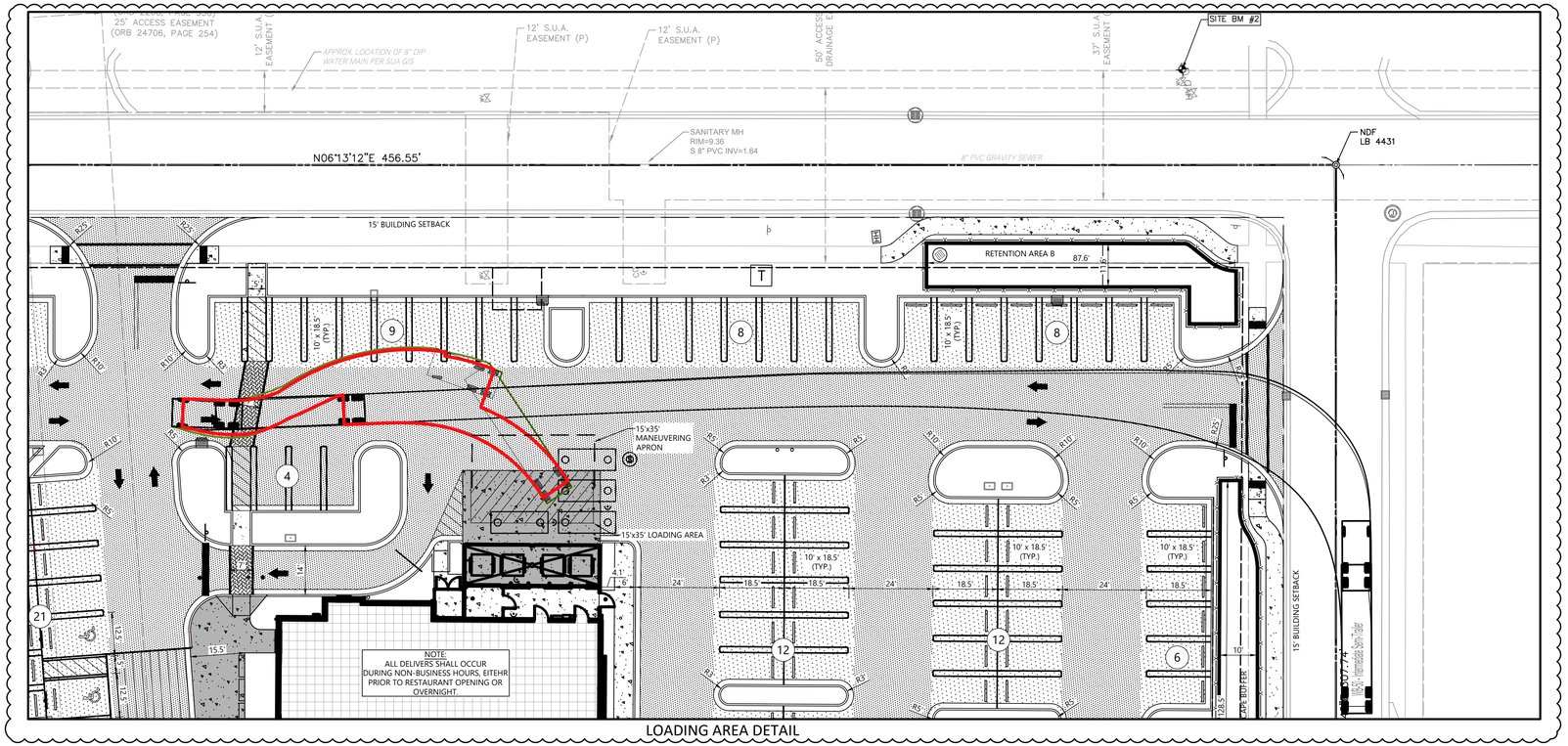
- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- EXISTING SETBACK LINE
- PROPOSED SETBACK LINE
- 100 YEAR FLOOD PLAIN
- 24" CURB AND GUTTER
- CROSS WALK
- STOP BAR (PAVEMENT MARKING)
- TRAFFIC FLOW ARROW (PAVEMENT MARKING)
- HANDICAP STALL
- CONCRETE WHEEL STOP
- PARKING SPACE COUNT
- SIGN
- CONCRETE
- BLACKENED CONCRETE
- STANDARD DUTY PAVING
- HEAVY DUTY PAVING



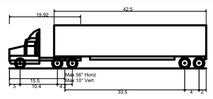
Mack TerraPro Cabover 6x4 MRU613 + Wayne Curbtender 31cu yd

Overall Length	28.613ft
Overall Width	8.000ft
Overall Body Height	10.481ft
Min Body Ground Clearance	1.311ft
Track Width	8.000ft
Lock-to-lock time	8.00s
Curb to Curb Turning Radius	33.500ft

SANITATION VEHICLE



LOADING AREA DETAIL



WB-50 - Intermediate Semi-Trailer

Overall Length	55.000ft
Overall Width	8.500ft
Overall Body Height	12.052ft
Min Body Ground Clearance	1.334ft
Max Track Width	8.500ft
Lock-to-lock time	6.00s
Max Steering Angle (Virtual)	17.90°

WB-50 VEHICLE

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TEXAS ROADHOUSE
TEXAS ROADHOUSE, INC.
CONSTRUCTION PLANS
SITE PLAN

DATE 05/17/2023

REV. - CITY COMMENTS - #5

REVISIONS

JAMES A. LOWE LICENSE 72043 STATE OF FLORIDA PROFESSIONAL ENGINEER

0 10' 20'
SCALE: 1"=20'

DRAWN BY: MGB
CHECKED BY: BP
PROJECT MANAGER: BP
JOB #: 22005S14
FILE CODE: ##
SHEET NO. C210

ISSUED-FOR-CONSTRUCTION

CAD FILE: 22005S14- C200 SITE PLAN

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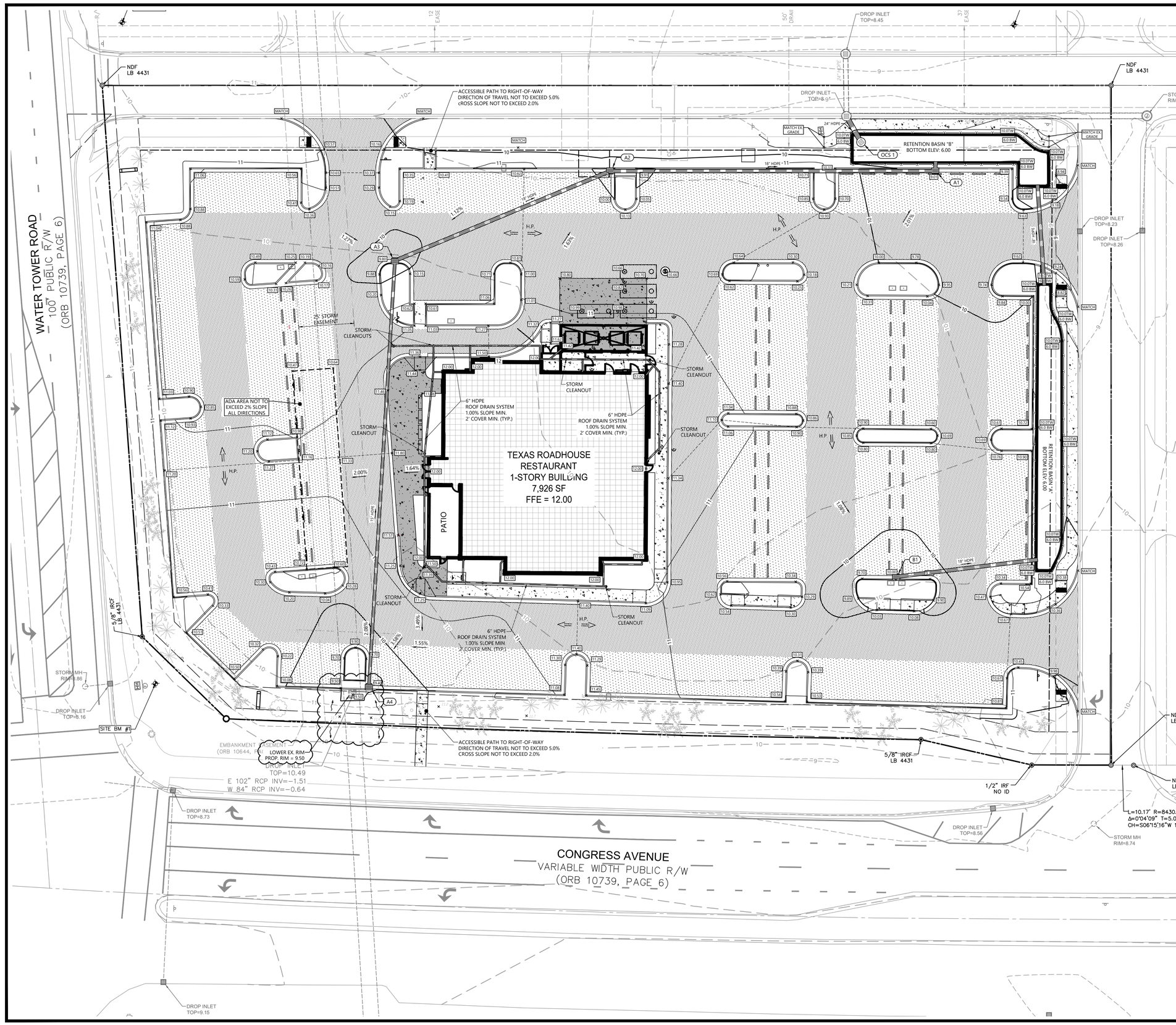

GRADING LEGEND

- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- EXISTING SETBACK LINE
- PROPOSED SETBACK LINE
- 100 YEAR FLOOD PLAIN
- 123 EXISTING MINOR CONTOURS
- 123 EXISTING MAJOR CONTOURS
- 123 PROPOSED MINOR CONTOUR
- 123 PROPOSED MAJOR CONTOUR
- PROPOSED BREAK LINE
- EXISTING STORM LINE
- PROPOSED STORM LINE
- x123.4 PROPOSED SPOT ELEV
- 2% SLOPE ARROW
- GRATE INLET
- STORM MANHOLE
- SANITARY SEWER MANHOLE
- CONCRETE
- BLACKENED CONCRETE
- STANDARD DUTY PAVING
- HEAVY DUTY PAVING

GRADING NOTES

1. INFORMATION CONCERNING SITE SOIL CONDITIONS WILL BE PROVIDED BY THE OWNER.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS NOT ACCEPTABLE TO THE OWNER AND ENGINEER.
3. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THE CONTRACTOR SHALL MAKE A TOPOGRAPHIC SURVEY AT THEIR OWN EXPENSE AND SUBMIT IT TO THE OWNER FOR REVIEW.
4. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES BEFORE CONSTRUCTION AND VERIFYING LOCATION OF ALL UTILITIES SHOWN OR NOT SHOWN.
5. RCP STORM PIPE SHALL BE 15" MINIMUM. THE CONTRACTOR MAY ELECT TO SUBSTITUTE HDPE UNLESS OTHERWISE NOTED. ALL PIPE CONNECTIONS AT MANHOLES SHALL BE WATER TIGHT. CONTRACTOR TO VERIFY ADEQUACY OF PIPE CLASS/GAUGE AND MANHOLE THICKNESS FOR DEPTHS WITH MATERIAL SUPPLIERS. IF BURY DEPTH IS GREATER THAN 10' CONTACT ATWELL ENGINEERING FOR MODIFIED SPECIFICATION.
6. THE CONTRACTOR SHALL PROVIDE DRAINAGE AWAY FROM THE BUILDINGS.
7. PRECAST STRUCTURES MAY BE USED AT THE CONTRACTOR'S OPTION.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND COST OF THE RELOCATION OF ALL UTILITIES ALONG THE RIGHT OF WAY AND ON THE SITE ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT, SUCH AS, BUT NOT LIMITED TO SIGNAL POLES, SIGNAL CONTROLS, DRAINAGE STRUCTURES, TRAFFIC SIGNS, UTILITY POLES, GUY WIRES, ETC.
9. IN ALL AREAS WHERE NEW CURB AND GUTTER ARE INSTALLED, REMOVE ALL OLD CURB AND GUTTER AND SAW CUT A STRAIGHT EDGE ALONG ASPHALT.
10. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL PLANS AND SPECIFICATIONS.
11. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
12. ALL SLOPES AND DISTURBED AREAS NOT COVERED BY BUILDING OR PAVEMENT SHALL BE GRADED SMOOTH AND RECEIVE 6 INCHES OF TOPSOIL. CONTRACTOR TO PROVIDE TOPSOIL IF NOT AVAILABLE ON SITE. THE AREAS SHALL BE SEEDED, MULCHED, FERTILIZED AND WATERED TO PROVIDE A HEARTY MOWABLE STAND OF GRASS. SMALL ROCKS MUST BE REMOVED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
13. SPOIL FROM FOOTINGS IS THE SITE CONTRACTOR'S RESPONSIBILITY. CONTRACTOR IS TO USE THE SOIL ON SITE OR REMOVE IT FROM THE SITE.
14. EARTHWORK SHALL BE ON AN UNCLASSIFIED BASIS.
15. ANY FILL USED TO INCREASE THE ELEVATION OF THE FLOOR SLAB OR ANY FILL TO BE USED AS BACKFILL, SHALL BE CLEAN, GRANULAR MATERIAL. PRIOR TO THE USE OF ANY GRANULAR FILL, GRADATION ANALYSIS SHALL BE PERFORMED ON REPRESENTATIVE SAMPLES OF THE FILL MATERIAL TO DETERMINE WHETHER THE MATERIAL IS SUITABLE AS FILL. COMPACTED FILL SHALL BE PLACED IN LAYERS OF NOT MORE THAN EIGHT INCHES IN THICKNESS, AT MOISTURE CONTENTS WITHIN THREE PERCENT OPTIMUM, AND COMPACTED TO MINIMUM DENSITY OF 98 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR METHOD, ASTM D-698.
16. ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT OR FINISHED GROUND UNLESS OTHERWISE NOTED.
17. ALL GRADES SHOWN REFERENCE PROPOSED ELEVATIONS AT FACE OF CURB, UNLESS OTHERWISE NOTED.
    TC=TOP OF CURB ELEVATION
    MATCH=PROPOSED GRADE TO MATCH EXISTING GRADE
    TW=TOP OF RETAINING WALL ELEVATION;
    BW=BOTTOM OF RETAINING WALL ELEVATION.
18. ALL SYSTEM MANHOLES AND PIPES TO BE FLUSHED CLEAN PRIOR TO TURNING OVER TO THE OWNER.
19. ALL PIPE LENGTHS LISTED ARE BASED ON THE HORIZONTAL DISTANCE FROM CENTER OF STRUCTURE AND USED FOR DESIGN.
20. THE CONTRACTOR IS RESPONSIBLE FOR COMPARING THE STORM SEWER AND SANITARY SEWER CHARTS WITH THE PROFILES FOR THE STORM SEWER AND SANITARY SEWER LINES AND INFORMING THE ENGINEER OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
21. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN GEOTECHNICAL REPORT AND PLANS, ETC.
22. THE FLOW IN ALL SEWERS, DRAINS, AND WATERCOURSES ENCOUNTERED SHALL BE MAINTAINED.
23. ALL SOIL EROSION AND SILT MUST BE CONTROLLED AND CONTAINED ON-SITE.
24. ALL INTERIOR ISLANDS SHALL BE MOUNDED. MINIMUM GRADE FOR POSITIVE DRAINAGE SHALL BE 1.0%.
25. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING LIDS. MANHOLES IN UNPAVED AREAS SHALL BE FLUSH WITH FINISH GRADE. LIDS SHALL BE LABELED PER TOWNSHIP REQUIREMENTS.
26. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
27. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES #2:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH TOWNSHIP/COUNTY SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED
28. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
29. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
30. ALL STUMPS, ROOTS, AND ORGANIC MATTER SHALL BE REMOVED TO A DEPTH OF TWO FEET MINIMUM BELOW THE BOTTOM OF THE BASE MATERIAL. ALL ROCKS LARGER THAN SIX INCHES SHALL BE REMOVED AND ALL ROCK LARGER THAN 8 INCHES, WHICH CANNOT BE READILY BROKEN BY MIXING OPERATIONS, SHALL BE REMOVED TO A DEPTH OF TWO FEET.

811
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PALM BEACH COUNTY, FLORIDA

TEXAS ROADHOUSE
TEXAS ROADHOUSE, INC.
CONSTRUCTION PLANS
GRADING PLAN

DATE 05/17/2023
REV. - CITY COMMENTS - #4
REV. - CITY COMMENTS - #5

REVISIONS

JAMES A. LOWE
LICENSE
STATE OF FLORIDA
PROFESSIONAL ENGINEER

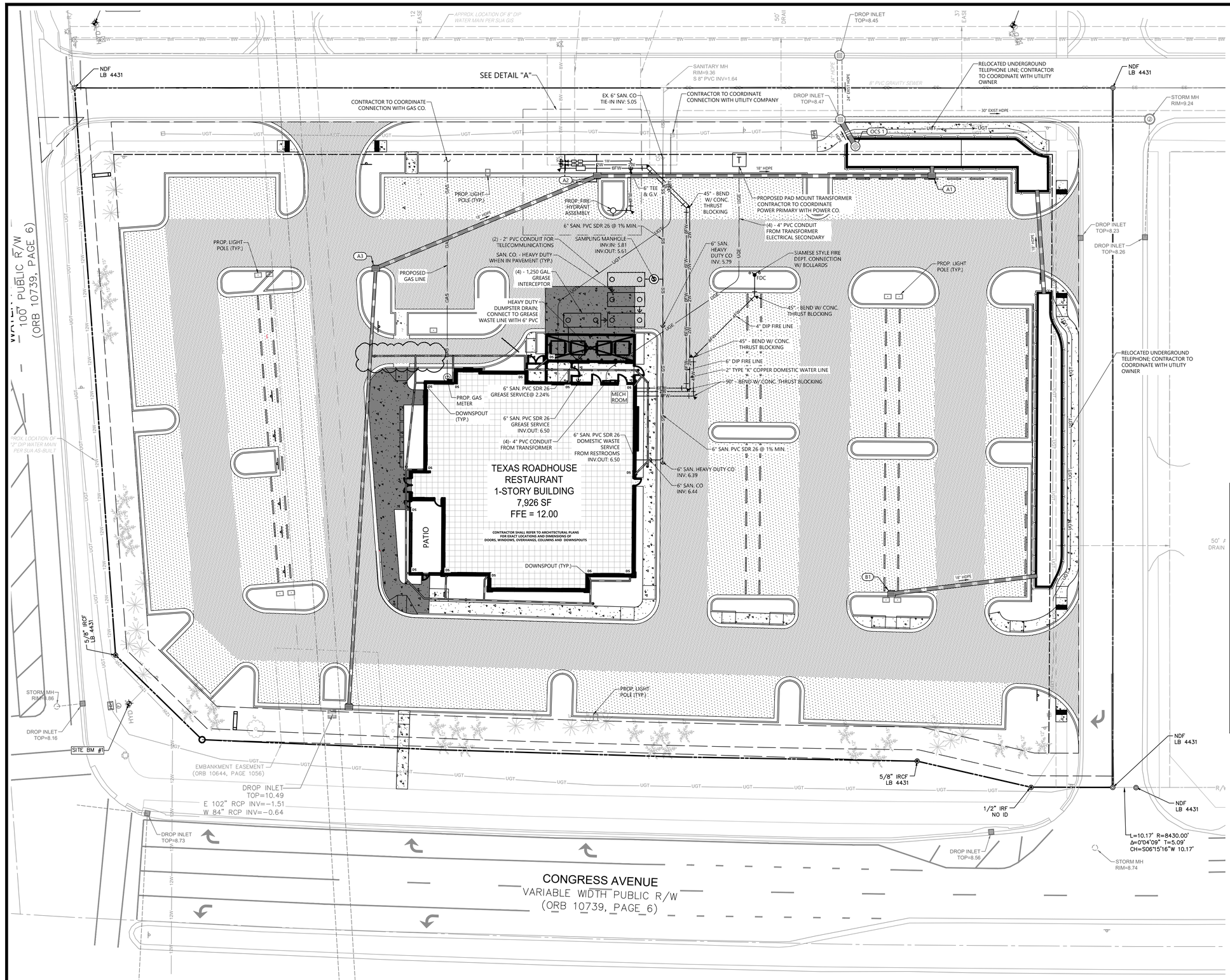
0 10 20'
SCALE: 1"=20'

DRAWN BY: MGB
CHECKED BY: BP
PROJECT MANAGER: BP
JOB #: 22005514
FILE CODE: ##
SHEET NO. C300

CAD FILE: 22005514- C300 GRADING PLAN

ISSUED—FOR—CONSTRUCTION

FILE NAME: K:\22005514-TR Lake Park\DWG\DVA\04 PRODUCTION\22005514- C300 GRADING PLAN.dwg LAST SAVED BY: bsinnger 5/17/2023 9:51 AM PLOTTED BY: Linda Sims 5/17/2023 PAPER: ARCH FULL BLEED D (24.00 X 36.00 INCHES) DEVICE: _AUTOCAD PDF (GENERAL DOCUMENTATION).PC3 PLOT STYLE: ATWELL.CTB



DETAIL "A"
SCALE: 1" = 10'

UTILITY LEGEND

- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- EXISTING SETBACK LINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED SETBACK LINE
- CATV — CABLE LINE
- OHE — ELECTRIC OVERHEAD LINE
- UGE — ELECTRIC UNDERGROUND LINE
- GAS — GAS LINE
- SS — SEWER LINE
- OHT — TELEPHONE OVERHEAD LINE
- UGT — TELEPHONE UNDERGROUND LINE
- #W — DOMESTIC WATER LINE #=SIZE
- #FW — FIRE WATER LINE #=SIZE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEAN OUT
- WATER BEND 45°
- WATER BEND 22.5°
- WATER BEND 11.25°
- WATER TEE
- GATE VALVE
- FIRE HYDRANT
- FDC — FIRE DEPARTMENT CONNECTION

UTILITY NOTES

1. REFER TO SHEET C100 FOR ADDITIONAL UTILITY NOTES.
2. DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND INSTALLATION OF UTILITIES. SEE BOUNDARY & TOPOGRAPHIC SURVEY FOR EXISTING UTILITY AND EASEMENT INFORMATION. NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY UTILITY CONFLICTS, ADDITIONAL UTILITIES AND/OR ANY OTHER UTILITY INFORMATION.
3. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
4. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COST TO THE OWNER.
5. PRIOR TO COMMENCING CONSTRUCTION, CONTRACTOR TO TELEVISE EXISTING SANITARY SEWER LINE FROM POINT OF CONNECTION THROUGH THE NEXT SEQUENTIAL DOWNSTREAM RUN OF PIPE. ADDITIONALLY, PRIOR TO COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL TELEVISE THE NEWLY INSTALLED SANITARY SEWER MAIN TO ENSURE NO DIPS OR DEBRIS WITHIN LINE.
6. THE CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
7. ANY UTILITIES NOT SHOWN THAT REQUIRE RELOCATION OR REMOVAL IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS TO REPORT ALL DISCREPANCIES TO THE ENGINEER IMMEDIATELY UPON DISCOVERY
8. THE CONTRACTOR MUST CALL 811 AT LEAST 3 WORKING DAYS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
9. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.

GREASE INTERCEPTOR CAPACITY

CAPACITY = # OF SEATS X HRS OPEN/12 X GALLONS OF WASTE WATER PER SEAT X LOADING FACTOR (PER GA64E-6.013.8D)

REQUIRED CAPACITY = 340 X (8/12) X 25 X 0.75 = 4250 GALLONS
PROVIDED CAPACITY = 5,000 GALLONS - (4) 1,250 GALLONS TRAPS

REFERENCE SEACOAST UTILITY AUTHORITY DETAIL NO. 47 (SEE SHEET C705) FOR GREASE INTERCEPTOR DETAIL

811 Know what's below. Call before you dig.

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1800 PARKWAY PLACE, SUITE 700
MARIETTA, GA 30067
COA# PEF002804

TRACT A1 CONGRESS BUSINESS PARK
280 N CONGRESS AVE
TOWN OF LAKE PARK
PALM BEACH COUNTY, FLORIDA

TEXAS ROADHOUSE
TEXAS ROADHOUSE, INC.
CONSTRUCTION PLANS
UTILITY PLAN

DATE	05/17/2023
REV. - CITY COMMENTS - #4	
REV. - CITY COMMENTS - #4	

REVISIONS

JAMES A. LOWE LICENSED STATE OF FLORIDA PROFESSIONAL ENGINEER 70041

0 10' 20'
SCALE: 1"=20'

DRAWN BY: MGB
CHECKED BY: BP
PROJECT MANAGER: BP
JOB #: 22005514
FILE CODE: ##
SHEET NO. C400

CAD FILE: 22005514- C400 UTILITY PLAN

ISSUED—FOR—CONSTRUCTION

FILE NAME: K:\22005514-TR Lake Park\DWG\DFA\04 PRODUCTION\22005514- C400 UTILITY PLAN.dwg LAST SAVED BY: lohns Sun, 5/17/2023 9:00 PM PLOTTED BY: Linda Sun, 5/17/2023 PAPER: ARCH FULL BLEED D (24.00 X 36.00 INCHES) DEVICE: _AUTOCAD PDF (GENERAL DOCUMENTATION).PC3 PLOT STYLE: ATWELL.CTB

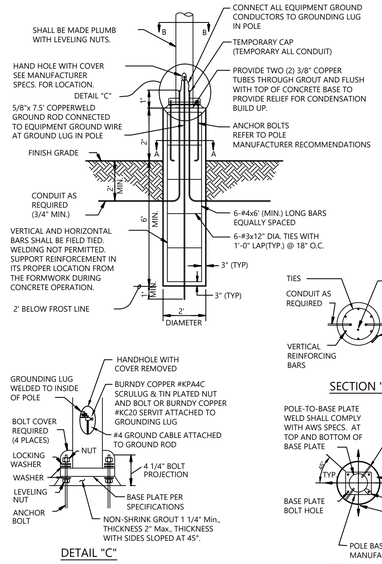
TEXAS ROADHOUSE
280 N. CONGRESS AVE.
LAKE PARK, FL
PREPARED BY: JOHN BUJAKE
ACCUSERV LIGHTING & EQUIPMENT
877-707-7378
jbujake@accu-serv.com
APRIL 28, 2023

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
EXTENDED	1.24	4.0	0.0	N.A.	N.A.
PARKING LOT SURFACE	2.36	4.0	0.9	2.62	4.44

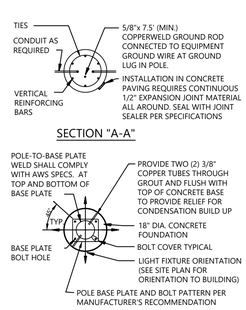
LIGHT LEVELS ARE MAINTAINED FOOT-CANDLES, INITIAL LEVELS ARE SLIGHTLY HIGHER

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Luminaire Lumens	LLF	Luminaire Watts	Description
	3	A	SINGLE	14636	0.900	112	VP-1-160L-115-4K-4F-UNV-A-DBT / SES-25-50-07-A-B4-DBT
	2	B	SINGLE	22468	0.900	158	VP-1-160L-160-4K7-4W-UNV-A-DBT / SES-25-50-07-A-B4-DBT
	4	C	Back-Back	23004	0.900	158	(2) VP-1-160L-160-4K7-5QW-UNV-A-DBT / SES-25-50-07-C-B4-DBT

FIXTURE A IS 112W 4000K LED
FIXTURES B & C ARE 158W 4000K LED
POLES ARE 25'-0" ON 2'-6" BASES FOR AN OVERALL FIXTURE HEIGHT OF 27'-6" A.F.G.



TYPICAL ANCHOR BOLT SPACING



SECTION "A-A"

DETAIL "C"

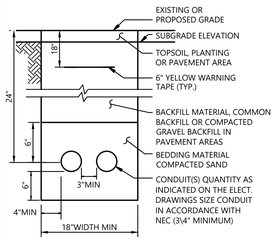
SECTION "B-B"

NOTES:

1. 3500 PSI MIN. 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE 60 REINFORCING STEEL
2. IF WATER IS PRESENT IN HOLE, REMOVE BEFORE POURING CONCRETE.
3. FOUNDATION EXCAVATION SHALL BE BY 24" AUGER IN UNDISTURBED OR PROPERLY COMPACTED FILL PER SPECIFICATIONS.
4. FOUNDATION SHALL HAVE A MINIMUM ALLOWABLE END BEARING OF 2000 PSF.
5. FOUNDATION HAS BEEN DESIGNED FOR A COHESIVE SOIL BASED ON A MINIMUM COHESIVE VALUE OF 1000 PSF.
6. FOUNDATION HAS BEEN DESIGNED FOR A GRANULAR SOIL BASED ON A MINIMUM LATERAL SOIL PRESSURE OF 1000 PSF, UTILIZING AASHTO FIGURE 1.8.2C(4) OF "EMBEDMENT OF POSTS WITH OVERTURNING LOADS".
7. EXPOSED CONCRETE AND GROUT SHALL BE PAINTED TRAFFIC YELLOW. 8. DETAIL FOR 39' POLE WITH MAX. FIXTURE EPA 4.6 SQ.FT. 9. FOR CONDITIONS OTHER THAN SPECIFIED NOTIFY ENGINEER.

TYPICAL LIGHTING POLE BASE DETAIL

N.T.S.

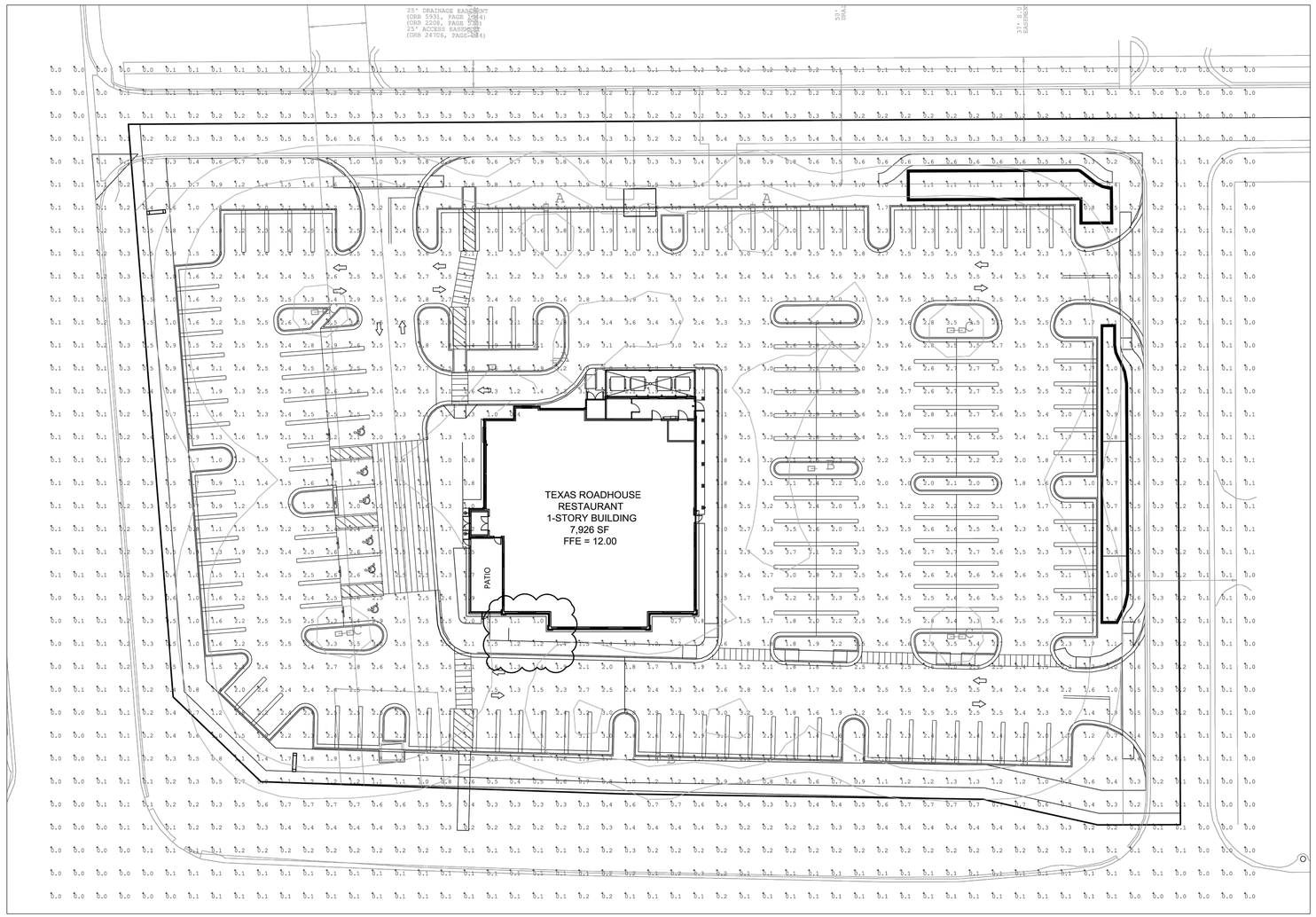


SITE LIGHTING TRENCH

N.T.S.

NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR COORDINATING SITE PLAN DOCUMENTS AND ELECTRICAL PLANS FOR EXACT LOCATIONS OF LIGHT POLES AND CONDUITS. WHERE A CONFLICT EXISTS THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO PROVIDE 2" CONDUITS WITH PULL STRING FOR SITE LIGHTING AND PARALLEL 1.5" CONDUIT FOR MONITORING SYSTEM.



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MARIETTA, GA 30067
COA# PEF002804

TRACT A1 CONGRESS BUSINESS PARK
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PALM BEACH COUNTY, FLORIDA

TEXAS ROADHOUSE
TEXAS ROADHOUSE, INC.
CONSTRUCTION PLANS
PHOTOMETRIC PLAN

DATE 05/17/2023

REV. - CITY COMMENTS - #4

REVISIONS

JAMES A. LOWE LICENSE 2004 FLORIDA PROFESSIONAL ENGINEER STATE OF FLORIDA

DRAWN BY: MGB
CHECKED BY: BP
PROJECT MANAGER: BP
JOB #: 22005514
FILE CODE: ##
SHEET NO. C410

CAD FILE: 22005514-C400 UTILITY PLAN

ISSUED—FOR—CONSTRUCTION

FILE NAME: K:\22005514-TR Lake Park\DWG\ENG\R PRODUCTION\220055 14- C400 UTILITY PLAN.dwg LAST SAVED BY: Jana 5/17/2023 3:00 PM PLOTTED BY: Linda Sims 5/17/2023 PAPER: ARCH FULL BLEED D (24.00 X 36.00 INCHES) DEVICE: _AUTOCAD PDF (GENERAL DOCUMENTATION).PC3 PLOT STYLE: ATWELL.CTB

VIPER Area/Site

VIPER LUMINARE

DATE: LOCATION: Lake Park, FL
TYPE: A, B, C PROJECT: Texas Roadhouse
CATALOG #: VP-1-BG-16G-4T-SGW-A-DBT, VP-1-BG-16G-4W-SGW-A-DBT, VP-1-BG-16G-4K-SGW-A-DBT, VP-1-BG-16G-4K-SGW-LVN-A-DBT

MICROSTRIKE | STRIKE

- Low profile LED area/site luminaire with a variety of IES distributions for lighting applications such as auto dealership, retail, commercial, and campus parking lots
- Featuring two different optical technologies, Strike and Micro Strike Optics, which provide the best distribution patterns for retrofit or new construction
- Rated for high vibration applications including bridges and overpasses. All sizes are rated for 1.5G
- Control options including photo control, occupancy sensing, NX Distributed Intelligence™, wiSCAPE and 7-Pin with networked control
- New customizable lumen output feature allows for the wattage and lumen output to be customized in the factory to meet whatever specification requirements may arise
- Field interchangeable mounting provides additional flexibility after the fixture has shipped

cULus Wet IP65

CONTROL TECHNOLOGY

NX DISTRIBUTED INTELLIGENCE™ wiSCAPE™

SPECIFICATIONS

CONSTRUCTION

- Die-cast housing with hidden vertical heat sink fins for optimal thermal performance keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with 1000 hour powder coat paint finish
- External hardware is corrosion resistant

OPTICS

- Micro Strike Optics (80, 320, 480, or 720 LED counts) maximize uniformity in applications and come standard with mid-life lumen boost to ensure long-lasting entire luminous surface area to provide a fresh appearance. Catalog logic found on page 2
- Strike Optics (36, 72, 108, or 162 LED counts) provide best in class distributions and maximize spacing for area/site applications with high powered LEDs. Strike optics are held in place with a polycarbonate bezel to ensure long-term IP65 rating. Micro Strike Optics for both solutions can be combined on the same application. Catalog logic found on page 3
- Both optics maximize target zone illumination while minimizing backlight and glare reducing light trespass issues. Additional backlight control shields and house side shields can be added for further reduction of illumination behind the pole
- Optical grade acrylic lens/lead ensures a weatherproof seal
- Zero up-light at 0 degrees of tilt
- Field rotatable optics

INSTALLATION

- Mounting patterns for each arm can be rotated in 90° increments
- Optional universal mounting block for ease of installation during retrofit applications. Available as an option (ASQU) or accessory for square and round poles
- All mounting hardware included

INSTALLATION (CONTINUED)

- Knuckle arm fitter option available for 2-3/8" OD tenon
- For products with EPA less than 1 mounted to a round pole rated for 120 mph, a vibration damp is recommended

ELECTRICAL

- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz
- Ambient operating temperature -40°C to 40°C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current, over-heat and short circuit protection with auto recovery
- Field replaceable surge protection device (SPD) meets 20kA protection meeting ANSI/ IEEE C62.41.2 Category C High and Surge Protection Device (SPD) is optional. Surge Fuses will blow for protection when device is compromised

CONTROLS

- Photocell, occupancy sensor programmable controls, and Zigbee wireless controls available for complete on/off and dimming control
- Please consult brand or sales representative when combining control and electrical options as not all combinations are compatible or anticipated depending on your application
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules that are compatible with 7-pin receptacles
- 0-10V Dimming Drivers are standard and dimming leads are extended out of the luminaire unless control options require them to be used for dimming. Please specify if wiring leads are to be greater than the 6" standard

CONTROLS (CONTINUED)

- NX Distributed Intelligence™ available with factory installed options that will features dimming and occupancy sensor
- wiSCAPE® available with in fixture wireless control module, features dimming and occupancy sensor. Also available in 7-pin receptacle

CERTIFICATIONS

- Meets the qualifications for DLC Premium
- Listed to UL1598 and CSA C22.2#250.0-08
- Suitable for use in locations and 40°C ambient temperatures
- 1.5 G rated for ANSI C136.31 high vibration application
- Fixture is IP65 rated
- Meets CA requirements using 3K CCT configuration at 0 degrees of tilt
- This product qualifies as a "designated product" in accordance with Section 12-22.2.5.4 Buy American-Construction Materials under Trade Agreements effective 04/23/2020. See Buy American Solutions

WARRANTY

- 5 year warranty
- See HLI Commercial and Industrial Outdoor Lighting Warranty for additional information

KEY DATA	
Lumen Range	5,000–80,000
Wattage Range	36–600
Efficacy Range (LPW)	92–155
Weight lbs. (kg)	13.7-30.9 (6.2-13.9)

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HUBBELL Lighting

VIPER Area/Site

VIPER LUMINARE

DATE: LOCATION: Lake Park, FL
TYPE: A, B, C PROJECT: Texas Roadhouse
CATALOG #: VP-1-BG-16G-4T-SGW-A-DBT, VP-1-BG-16G-4T-WW-A-DBT, VP-1-BG-16G-4T-NW-A-DBT, VP-1-BG-16G-4T-CW-A-DBT

MICROSTRIKE OPTICS – ORDERING GUIDE

Example: VP-2–320L-14S–3K7–2–R–UNV–A3–BLT

CATALOG # VP-1-BG_(1S-4S)T-4W-SGW-A-DBT, VP-1-BG_(1S-4S)T-4W-LVN-A-DBT, VP-1-BG_(1S-4S)T-4K-SGW-A-DBT, VP-1-BG_(1S-4S)T-4K-SGW-LVN-A-DBT

VP	Series	Optic Platform	Size	Light Engine	CC/CRI	Distribution	Optic Rotation	Voltage
	VP Viper	Micro Strike	S Size	80L 80 lumens 5000 lumens	AP Adaptive Color Correction	2 Type 2	Optic rotation left	UNV 120-277V
				160L 160 lumens 10000 lumens	27K8 2700K, 80 CRI	3T Type 3 Transverse	Optic rotation right	120 120V
				320L 320 lumens 20000 lumens	30K7 3000K, 70 CRI	4T Type 4 Transverse		208 208V
				480L 480 lumens 30000 lumens	30K8 3000K, 80 CRI	5SQ Type 5 Square		240 240V
				640L 640 lumens 40000 lumens	40K7 4000K, 70 CRI	5QW Type 5 Quadrant Wide		277 277V
				720L 720 lumens 45000 lumens	40K8 4000K, 80 CRI			347 347V
				960L 960 lumens 60000 lumens	50K7 5000K, 70 CRI			480 480V
				1280L 1280 lumens 80000 lumens	50K8 5000K, 80 CRI			
				320L-20S 320 lumens 20000 lumens				
				480L-20S 480 lumens 30000 lumens				
				640L-20S 640 lumens 40000 lumens				
				720L-20S 720 lumens 45000 lumens				
				960L-20S 960 lumens 60000 lumens				
				1280L-20S 1280 lumens 80000 lumens				
				720L-40S 720 lumens 45000 lumens				
				960L-40S 960 lumens 60000 lumens				
				1280L-40S 1280 lumens 80000 lumens				

A	Mounting	Mounting	Mounting	Mounting	Mounting	Mounting	Mounting	Mounting
		Non-Mount for square pole flat surface						
	A, C	Arm mount for round pole *						
	ASQU	Universal mount for square pole						
	A_U	Universal arm mount for round pole *						
	AAU	Adjustable arm mount for round pole (universal drill pattern)						
	AA_U	Adjustable arm mount for round pole *						
	ADU	Decorative upsweep arm (universal drill pattern)						
	AD_U	Decorative upsweep arm mount for round pole *						
	MAF	Arm fitter for 2-3/8" OD horizontal arm						
	K	Knuckle						
	T	Trunnion						
	WB	Wall Bracket, horizontal tenon with MAF						
	RM	Wall mount bracket with decorative upsweep arm						
	WA	Wall mount bracket with adjustable arm						

DBT	Drill Pattern	Drill Pattern	Drill Pattern	Drill Pattern	Drill Pattern	Drill Pattern	Drill Pattern	Drill Pattern
BLT	Black Matte Textured							
DBL	Dark Bronze Gloss Smooth							
DBT	Dark Bronze Matte Textured							
GTT	Graphite Matte Textured							
LGS	Light Gray Gloss Smooth							
PSS	Platinum Silver Gloss Smooth							
WHS	White Gloss Smooth							
WHT	White Matte Textured							
WMS	White Gloss Smooth							
WMT	White Matte Textured							
LBS	Legacy Gloss							
Color Custom								
CC	Custom Color							

Accessory Tool	Option
WSC Miscellaneous	SIRD SPK Bird Spike

Accessory Tool	Option
MTG Mounting	Hubbell Control Solutions – Accessories (Sold Separately)
	NX Distributed Intelligence™
	NXOFM-WW-UNV On Fixture Module (7-pin), On / Off / Dim, Wireless Mesh network with +10dB RF Radio and Bluetooth® Radio, 120~480VAC
	wiSCAPE™ Lighting Control
	WIR-RMS-L On Fixture Module (7-pin or 5-pin), Wireless Mesh network with +10dB RF, wiSCAPE Radio, 120~480VAC
	SCP-REMOTE Remote Control for SCPL-F option. Order at least one per project to program and control the occupancy sensor

For additional information refer to these accessories sheets: www.hubbellcontrolsolutions.com. Options provided for use with Hubbell Lighting Specification Grade controls. Refer to ordering information table for details.

ORDERING GUIDE (CONTINUED)

CATALOG #

Accessory Tool	Size	Option	Color
SHD Shield	S Size 1	HSS-90-S House Side Shield 90° Back	BLG Black Gloss Smooth
	S Size 2	HSS-90-M House Side Shield 90° Front	BLT Black Matte Textured
	S Size 3	HSS-90-L House Side Shield 90° Back	DBL Dark Bronze Gloss Smooth
	S Size 4	HSS-270-SSS House Side Shield 270° Front/Side/Side	DBT Dark Bronze Matte Textured
		HSS-270-FSS House Side Shield 270° Front/Side/Back	GTT Graphite Matte Textured
		HSS-360 House Side Shield 360°	LGS Light Gray Gloss Smooth
		RC Rear Light Control	PSS Platinum Silver Gloss Smooth
		BRL Bird Repellent Spike (sold separately)	WHS White Gloss Smooth
		ASQU Universal Arm Mount for square pole	WHT White Matte Textured
		AAU Adjustable Arm Mount for round pole	WMS White Gloss Smooth
		ADU Decorative upsweep Arm	WMT White Matte Textured
		RMA Round Pole Adapter	LBS Legacy Gloss
		MAF Mast Arm Fitter for 2-3/8" OD horizontal arm	Custom Color
		K Knuckle	CC Custom Color
		T Trunnion	
		WB Wall Bracket (compatible with universal arm mounting)	

CONTROLS

Control Option	Sensor	Networkable	Scheduling	Occupancy	Daylight Harvesting	On/Off Control	Programming	Pair with Sensor	Sensor Mounting Height
NVWE		✔	✔		–	✔	✔	–	
NVSPWE_F	NVSPHF	✔	✔	✔	✔	✔	✔	–	14', 4.5'
NVSPWE_P	NVSPHP								14', 4.5'
BTSOPE	BTSMOVWE	–	–	✔	–	✔	–	Bluetooth	14'
WSLP_F	BTSHF	✔	✔	✔	✔	✔	✔	–	14', 4.5'
ASD		–	–	–	–	–	–	–	–
ASD	–	Paired with external control	Paired with external control	–	–	Paired with external control	–	✔	–
BTSO-GP	–	–	–	–	–	–	–	✔	–
TPR	–	Paired with external control	–	–	Paired with external control	–	–	✔	–
TPR-SC	–	–	–	–	–	–	–	✔	–
SPR	–	–	–	–	–	–	–	✔	–
SPR-SC	–	–	–	–	–	–	–	✔	–
SPR-TL	–	–	–	–	–	–	–	✔	–
WSE	–	✔	✔	✔	–	✔	✔	Gateway	–
WSESC	WSEMS	✔	✔	✔	✔	✔	✔	Gateway	14', 4.5'

1 – Items with a grey background can be done as a custom order. Contact brand representative for more information.
2 – Sensor Range: Up to 20' for 2.5' x 5' (10 cons, 7' to 3'), 4' x 10' (20 cons, 7' to 4'), 8' x 20' (120 cons, 15' to 12') 42' (20 cons)
3 – Networked Comissio cannot be combined with other control options
4 – Not available with 2PF option

Sensor Options	Options
BLS Black Sensor	Fusing
BLT Black Gloss Sensor	2PF Dual Pole Fusing
DBT Dark Bronze Matte Textured	TE Tostess Entry
DBS Dark Bronze Gloss Smooth	DB Decagon Dimming Ballast
LGS Light Gray Gloss Smooth	TB Terminal Block
LBS Legacy Gloss	
LBT Legacy Matte Textured	
PSS Platinum Silver Smooth	
WHT White Matte Textured	
WHS White Gloss Smooth	
WMT White Matte Textured	
WMS White Gloss Smooth	
Custom Sensor Color	
CC Custom Color	

Network Control Options
NVWE Wireless Occupancy Sensor, Dimming, Daylight Harvesting, 10' NX
NVSPWE_F NX Wireless Occupancy Sensor, Dimming, Daylight Harvesting, 40' NX
NVSPWE_P NX Wireless Occupancy Sensor, Dimming, Daylight Harvesting, 40' NX
WSE Wireless Enabled Module – NEMA
WSESC Wireless Enabled Module – Sensor Connect
WSMCS WiSCAPE Wireless Occupancy Sensor

Bluetooth Control Options
BTS-10F Bluetooth® Programmable, PIR Occupancy/Daylight Sensor *
BTS-40F Bluetooth® Programmable, PIR Occupancy/Daylight Sensor *
BTS-GP Bluetooth® Programmable, PIR Occupancy/Daylight Sensor, up to 12' mounting height *
TPR 7-Pin Receptacle *
TPR-SC 7-Pin Receptacle with shorting cap *
SPR 3-Pin twist lock *
SPR-SC 3-Pin receptacle with shorting cap *
SPR-TL 3-Pin PCR with photocontrol *

Wireless Control Options
WSE Add-On "Free Based Smoking" *
WSESC Add-On "Free Wireless Gateway" *

Photocontrol Options
ASD Add-On "Free Based Smoking" *
BTSOPE Add-On "Free Wireless Gateway" *
PC Button Photocontrol **

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2 – Sensor Range: Up to 20' for 2.5' x 5' (10 cons, 7' to 3'), 4' x 10' (20 cons, 7' to 4'), 8' x 20' (120 cons, 15' to 12') 42' (20 cons)
3 – Networked Comissio cannot be combined with other control options
4 – Not available with 2PF option

* – Not available with Dual Driver option
** – Some voltage restrictions may apply when combined with controls
* – Not available with 480V

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HUBBELL Lighting

VIPER Area/Site

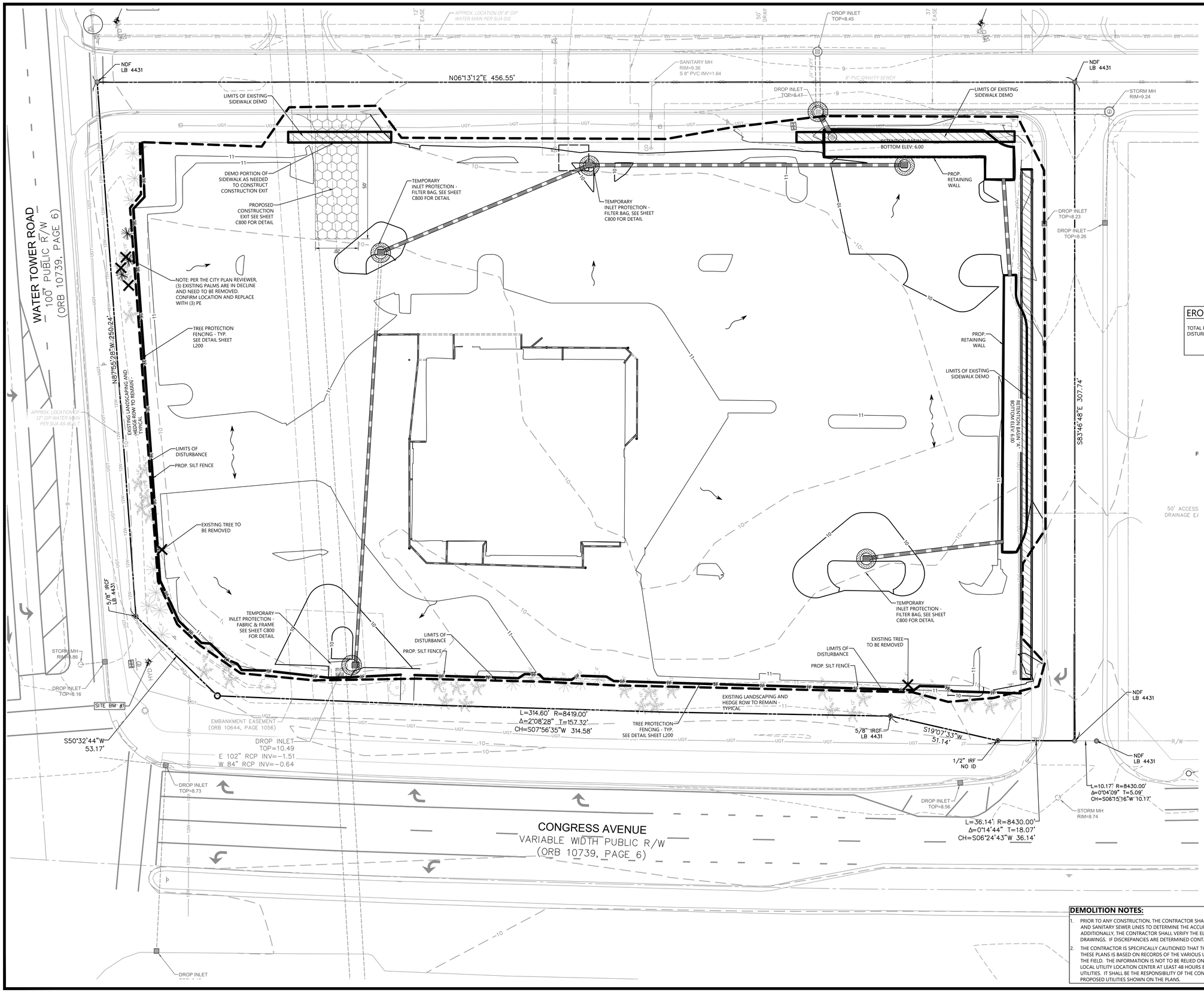
VIPER LUMINARE

DATE: LOCATION: Lake Park, FL
TYPE: A, B, C PROJECT: Texas Roadhouse
CATALOG #: VP-1-BG-16G-4T-SGW-A-DBT, VP-1-BG-16G-4T-WW-A-DBT, VP-1-BG-16G-4T-NW-A-DBT, VP-1-BG-16G-4T-CW-A-DBT

MICROSTRIKE – DELIVERED LUMENS

MICROSTRIKE

Description	Nominal Wattage	System Watts	DISTRIBUTION TYPE	5K (5000K nominal, 70 CRI) Lumens	LPW	B-U-G	4K (4000K nominal, 70 CRI) Lumens	LPW	B-U-G	3K (3000K nominal, 70 CRI) Lumens	LPW	B-U-G
VP-1	35	28.6	2	5387	154	B1-U0-G1	5386	155	B1-U0-G1	5278	151	B1-U0-G1
	35	28.6	2	5387	154	B1-U0-G1	5386	155	B1-U0-G1	5278	151	B1-U0-G1
	35	28.6	3	4572	131	B1-U0-G1	4567	131	B1-U0-G1	4523	131	B1-U0-G1
	35	28.6	4	4572	131	B1-U0-G1	4567	131	B1-U0-G1	4523	131	B1-U0-G1
	50	40.5	2	7310	181	B2-U0-G2	7296	181	B2-U0-G2	7223	179	B2-U0-G2
	50	40.5	2	7310	181	B2-U0-G2	7296	181	B2-U0-G2	7223	179	B2-U0-G2
	50	40.5	3	6202	153	B2-U0-G2	6189	153	B2-U0-G2	6127	151	B2-U0-G2
	50	40.5	4	6202	153	B2-U0-G2	6189	153	B2-U0-G2	6127	151	B2-U0-G2
	70	56.7	2	9845	174	B2-U0-G2	9826	173	B2-U0-G2	9734	172	B2-U0-G2
	70	56.7	2	9845	174	B2-U0-G2	9826	173	B2-U0-G2	9734	172	B2-U0-G2
	70	56.7	3	8350	147	B2-U0-G2	8334	147	B2-U0-G2	8255	146	B2-U0-G2
	70	56.7	4	8350	147	B2-U0-G2	8334	147	B2-U0-G2	8255	146	B2-U0-G2
	70	56.7	4W	10359	182	B2-U0-G2	10337	182	B2-U0-G2	10237	180	B2-U0-G2
	70	56.7	4T	9435	166	B2-U0-G2	9416	166	B2-U0-G2	9321	164	B2-U0-G2
	70	56.7	5SQ	10359	182	B2-U0-G2	10337	182	B2-U0-G2	10237	180	B2-U0-G2
	70	56.7	5QW	10359	182	B2-U0-G2	10337	182	B2-U0-G2	10237	180



EROSION LEGEND

CONSTRUCTION EXIT	
TEMPORARY INLET PROTECTION (FILTER BAG OR GRAVEL & WIRE MESH)	
SEDIMENT BARRIER SILT FENCE	SF
LIMITS OF DISTURBANCE LINE	
CONSTRUCTION FENCE	CF
TREE PROTECTION FENCE	TP
FLOW ARROW EXISTING	

EROSION CONTROL DATA (PHASE 2)

TOTAL PROPERTY AREA	2.998 AC
DISTURBED AREA	2.54 AC

SOIL SERIES

39 SANIBEL MUCK, 0-1% SLOPES*

*PER USDA SOILS MAP. PROJECT SOILS BORINGS DID NOT ENCOUNTER MUCK. THE GEOTECHNICAL REPORT PREPARED BY ECS FLORIDA, LLC DATED 10/20/2022 INDICATES FINE SAND (SP) AS A GENERALIZED CHARACTERIZATION OF THE SOIL STRATA. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE FINDING AND RECOMMENDATIONS FROM THE PROJECT GEOTECHNICAL REPORT BEFORE THE START OF CONSTRUCTION.

DEMOLITION NOTES:

1. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXIST. UTILITIES AND GRAVITY STORM AND SANITARY SEWER LINES TO DETERMINE THE ACCURACY OF SURVEY INFORMATION REFLECTED ON THESE DRAWINGS. ADDITIONALLY, THE CONTRACTOR SHALL VERIFY THE ELEVATIONS OF ALL CONNECTIONS RELATIVE TO THOSE SHOWN ON THESE DRAWINGS. IF DISCREPANCIES ARE DETERMINED CONTACT THE ENGINEER.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXIST. UTILITIES WHICH CONFLICT WITH THE PROPOSED UTILITIES SHOWN ON THE PLANS.

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THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR; NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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MARIETTA, GA 30067
COA# PEF0025804

TRACT A1 CONGRESS BUSINESS PARK
280 N CONGRESS AVE
TOWN OF LAKE PARK
PALM BEACH COUNTY, FLORIDA

TEXAS ROADHOUSE
TEXAS ROADHOUSE, INC.
CONSTRUCTION PLANS
SWPPP PHASE 1 - DURING GRADING

DATE 05/17/2023

REVISIONS

JAMES A. LOWE LICENSE 70041 STATE OF FLORIDA PROFESSIONAL ENGINEER

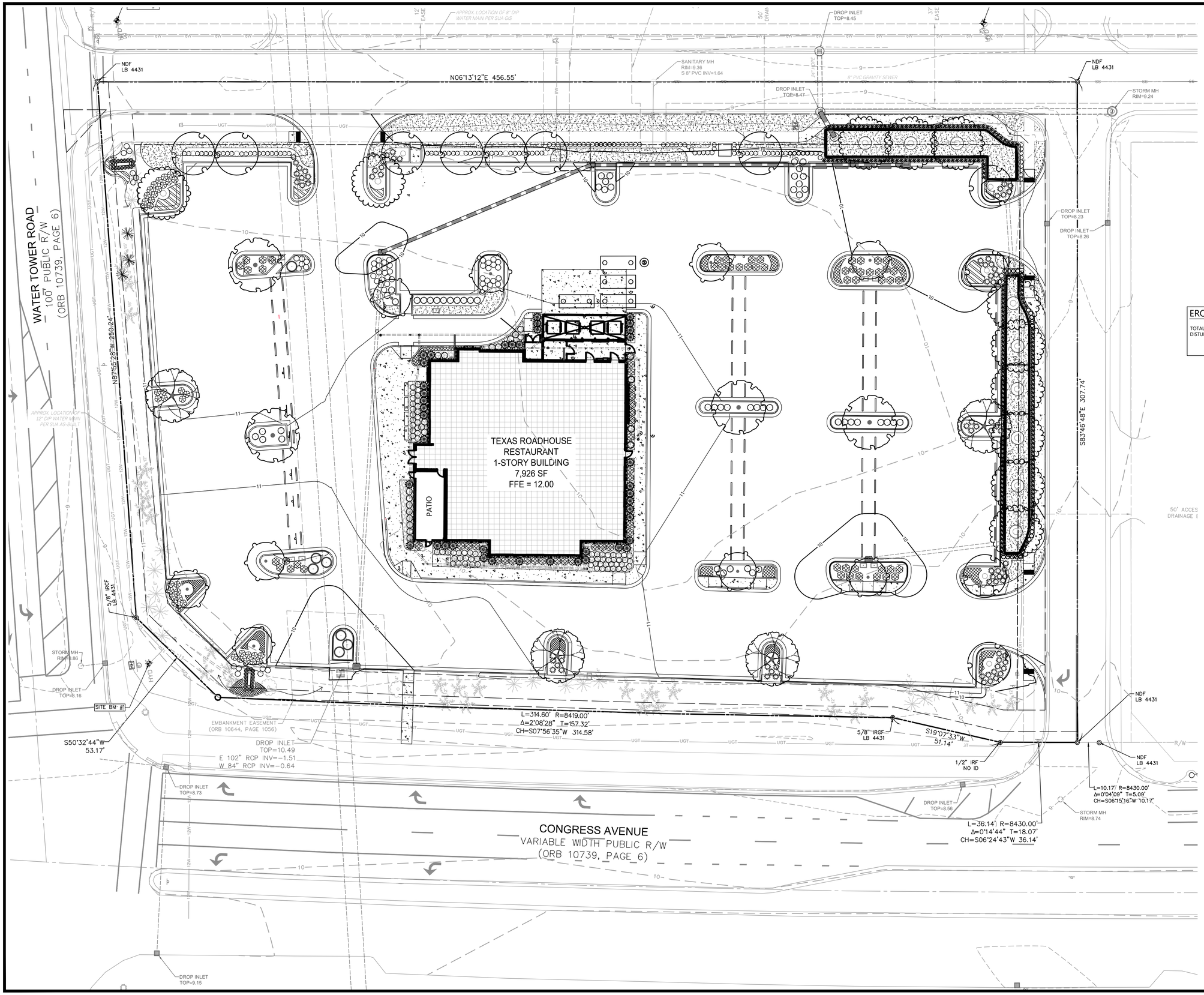
0 10' 20'
SCALE: 1"=20'

DRAWN BY: MGB
CHECKED BY: BP
PROJECT MANAGER: BP
JOB #: 22005514
FILE CODE: ##
SHEET NO. C500

CAD FILE: 22005514- C510 EROSION PHASE 2

ISSUED FOR CONSTRUCTION

FILE NAME: K:\22005514-TR Lake Park\DWG\ENG\04 PRODUCTION\22005514- C510 EROSION PHASE 2.dwg LAST SAVED BY: bhra 5/4/2023 10:53 AM PLOTTED BY: Linda Sims 5/17/2023 PAPER: ARCH FULL BLEED D (24.00 X 36.00 INCHES) DEVICE: _AUTOCAD PDF (GENERAL DOCUMENTATION).PC3 PLOT STYLE: ATWELL.CTB



EROSION LEGEND

Ce	CONSTRUCTION EXIT	
Sd2-A2	TEMPORARY INLET SEDIMENT TRAP (ALTERNATE BAG)	
Sd1-C	SEDIMENT BARRIER SILT FENCE (TYPE C)	SF
	LIMITS OF DISTURBANCE LINE	
	CONSTRUCTION FENCE	CF
	TREE PROTECTION FENCE	TP
	FLOW ARROW EXISTING	

EROSION CONTROL DATA (PHASE 2)

TOTAL PROPERTY AREA	2.998 AC
DISTURBED AREA	2.54 AC

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NOTICE:

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR; NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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COA# PEF002504

TRACT A1 CONGRESS BUSINESS PARK
280 N CONGRESS AVE
TOWN OF LAKE PARK
PALM BEACH COUNTY, FLORIDA

TEXAS ROADHOUSE
TEXAS ROADHOUSE, INC.
CONSTRUCTION PLANS
SWPP PHASE 2 - POST GRADING

DATE 05/17/2023

REVISIONS

JAMES A. LOWE
LICENSE
No. 73204
STATE OF
FLORIDA
PROFESSIONAL ENGINEER

0 10' 20'
SCALE: 1"=20'

DRAWN BY: MGB
CHECKED BY: BP
PROJECT MANAGER: BP
JOB #: 22005514
FILE CODE: ##
SHEET NO. C510

ISSUED-FOR-CONSTRUCTION

CAD FILE: 22005514-C503 EROSION PHASE 3

FILE NAME: K:\22005514-TR Lake Park\DWG\DFA\C4 PRODUCTION\22005514- C503 EROSION PHASE 3.dwg LAST SAVED BY: lohna 5/4/2023 10:54 AM PLOTTED BY: Linda Sims 5/17/2023 PAPER: ARCH FULL BLEED D (24.00 X 36.00 INCHES) DEVICE: _AUTOCAD PDF (GENERAL DOCUMENTATION).PC3 PLOT STYLE: ATWELL.CTB

STORMWATER POLLUTION PREVENTION NOTES

THESE PLANS HAVE BEEN PREPARED TO ASSIST THE CONTRACTOR IN OBTAINING COVERAGE UNDER THE FDEP GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE PERMIT REQUIREMENTS. THE CONTRACTOR SHALL COORDINATE ANY PLAN MODIFICATIONS WITH THE ENGINEER OF RECORD AS NEEDED TO BE IN COMPLIANCE WITH THE PERMIT REQUIREMENTS.

SITE DESCRIPTION:

1. PROJECT NAME: TEXAS ROADHOUSE LAKE PARK
2. PROJECT LOCATION: 208 N CONGRESS AVENUE, TOWN OF LAKE PARK, PALM BEACH COUNTY, FL (TRACT A1 CONGRESS BUSINESS PARK)
   LATITUDE: 26.799774 LONGITUDE: -80.083820
3. NATURE OF CONSTRUCTION ACTIVITY: CLEARING, GRUBBING AND GRADING OF THE VACANT LAND FOR CONSTRUCTION OF 1 STORY BUILDING, PARKING LOT, STORM DRAINAGE SYSTEM AND OTHER UTILITIES.

STORMWATER TEAM

CONTRACTOR SHALL COMPLETE THE INFORMATION BELOW IDENTIFYING THE INDIVIDUALS OF THE STORMWATER TEAM AND THEIR RESPONSIBILITIES.

CONTRACTOR: _____ NAME _____ COMPANY

SUBCONTRACTOR: _____ NAME _____ COMPANY

INSPECTOR(S): _____ NAME _____ COMPANY

_____ NAME _____ COMPANY

MAINTENANCE: _____ NAME _____ COMPANY

WETLANDS/BUFFERS

NO WETLANDS OR BUFFERS ARE ASSOCIATED WITH THIS PROJECT.

SWPPP INTENT

THE INTENT OF THIS SWPP IS TO COMPLY WITH THE INTENT OF THE GENERIC PERMIT AND TO PREVENT THE RELEASE OF SOILS, TRASH, CHEMICALS, TOXINS AND OTHER POLLUTANTS, BY WATER, AIR, VEHICLE TRANSPORT OR OTHER MEANS THAT CAN IMPACT STORM WATER QUALITY. THE CONTRACTOR SHALL OBTAIN A COPY OF THE GENERIC PERMIT AND RETAIN ON-SITE FOR FUTURE REFERENCE. THE CONTRACTOR SHALL READ AND UNDERSTAND THE PERMIT, AND ENSURE THAT THE BESE MANAGEMENT PRACTICES (BMPS) ARE INSTALLED AND THE EXECUTION OF THE WORK IS PREFORMED TO MEET THE INTENT OF THE GENERIC PERMIT AND THE SWPPP.

POTENTIAL SOURCES OF POLLUTION

THE POTENTIAL SOURCES OF POLLUTION THAT MA REASONABLY BE EXPECTED TO AFFECT TEH QUALITY OF STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY INCLUDE: SEDIMENT, PESTICIDES, FERTILIZER, PLASTER, CLEANING SOLVENTS, ASPHALT, CONCRETE, GLUE, ADHESIVES, PAINTS, CURING, COMPOUNDS, WOOD PRESERVATIVES, HYDRAULIC OIL FLUIDS, GASOLINE, DIESEL FUEL AND KEROSENE.

SEQUENCE OF CONSTRUCTION

THE SEQUENCE OF CONSTRUCTION HAS BEEN DEVELOPED AS A GUIDE FOR THE CONTRACTOR. THE CONTRACTOR SHALL SEQUENCE THE CONSTRUCTION AS NEEDED BASED ON THE BEST MEANS AND METHODS IN ORDER TO BE IN COMPLIANCE WITH STATE AND LOCAL REQUIREMENTS. THE INSTALLATION OR REMOVAL OF BMP'S, EARTH DISTURBANCE, GRADING, TEMPORARY STABILIZATION AND PERMANENT STABILIZATION SHALL BE IMMEDIATELY NOTED IN THE SWPPP IMPLEMENTATION LOG. ALL TEMPORARY BMPS SHALL BE REPAIRED AND MAINTAINED UNTIL STABILIZATION HAS OCCURRED AND THERE IS NO RISK OF DISCHARGE. TEMPORARILY SEED, IMMEDIATELY AND THOUGHOUT CONSTRUCTION, DENUDED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE. PERMANENTLY STABILIZE AREAS TO BE VEGETATE AS THEY ARE BROUGHT TO FINAL GRADE.

1. POST A COPY OF THE NOI OR LETTER FROM FDEP CONFIRMING COVERAGE UNDER THE GENRIC PERMIT, AND THE NAME AND PHONE NUMBER OF THE CONTRACTOR'S REPRESENTATIVE RESPONSIBLE FOR EROSION AND SEDIMENTATION CONTROL INSTALLATION AND MAINTENANCE ON A 24 HOUR BASIS.
2. INSTALL PERIMETER CONTROLS IMMEDIATELY DOWNSTREAM OF THE PLANNED LOCATION OF THE CONSTRUCTION EXIT.
3. INSTALL STABILIZED CONSTRUCTION EXIT.
4. INSTALL PERIMETER CONTROLS AND ANY BMPS SHOWN ON PLANS AS REQUIRED TO MEET PERMIT REQUIREMENTS.
5. INSTALL TEMPORARY STAGING AND STORAGE AREAS.
6. CONSTRUCT AND STABILIZE SEDIMENT BASINS AND SEDIMENT TRAPS WITH APPROPRIATE OUTFALL STRUCTURES, IF REQUIRED.
7. CONSTRUCT AND STABILIZE HYDRAULIC CONTROLS (DITCHES, SWALES, DIKES, CHECK DAMS, ETC.) IF REQUIRED.
8. BEGIN DEMOLITION, CLEARING AND GRUBBING OPERATIONS AS APPLICABLE.
9. BEGIN CONSTRUCTION OF SITE IMPROVEMENTS.
10. PAVE SITE AND STABILIZE PER PLAN.
11. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER SITE HAS ACHIEVED FINAL STABILIZATION.
12. SUBMIT NOTICE OF TERMINATION (NOT) ONCE ALL CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED PER PLAN.

STABILIZATION

A. STABILIZATION MEASURES SHALL BE INITIATED IMMEDIATELY IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED AND WILL REMAIN UNDISTURBED FOR 7 DAYS OR MORE. STABILIZE BY COVERING WITH ADEQUATE AMOUNTS OF MULCH OVER SEED AND PERIODICALLY WATER TO PROMOTE AND MAINTAIN GROWTH OF THE TEMPORARY GROUNDCOVER, OR BY THE USE OF APPROPRIATE ALTERNATIVE BMP.

B. PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREAS SHALL BE COMPLETED IMMEDIATELY AFTER FINAL GRADING. WHEN IT IS NOT POSSIBLE TO PERMANENTLY PROTECT A DISTURBED AREA IMMEDIATELY AFTER GRADING OPERATIONS, TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED. ALL TEMPORARY PROTECTION SHALL BE MAINTAINED UNTIL PERMANENT MEASURES ARE IN PLACE AND ESTABLISHED.
C. ALL GRASS ON SLOPES CONSTRUCTED STEEPER THAN 4H:1V SHALL BE SODDED IMMEDIATELY AFTER FINAL GRADE IS ESTABLISHED.

DUST CONTROL

BARE EARTH AREAS SHALL BE WATERED DURING CONSTRUCTION AS NECESSARY TO MINIMIZE THE TRANSPORT OF FUGITIVE DUST. IN NO CASE SHALL FUGITIVE DUST BE ALLOWED TO LEAVE THE SITE UNDER CONSTRUCTION.

WASTE MANAGEMENT

A. THE CONTRACTOR SHALL ENSURE THAT ALL WASTE AND DEBRIS ARE MANAGED DAILY SUCH THAT THEY WILL NOT IMPACT STORMWATER OR LEAVE THE PERMITTED AREA, AND DISPOSED OF PROPERLY IN ACCORDANCE WITH APPLICABLE STATE, LOCAL AND FEDERAL REGULATIONS.
B. THE CONTRACTOR SHALL ENSURE THAT ALL CHEMICALS, OILS, FUELS, HAZARDOUS WASTE, UNIVERSAL WASTE AND TOXIC SUBSTANCES ARE PROPERLY MANAGED AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE STATE, LOCAL AND FEDERAL REGULATIONS. THE CONTRACTOR SHALL ENSURE THAT WASTE IS NOT DISCHARGED FROM THE SITE, AND DOES NOT IMPACT STORMWATER OR GROUNDWATER.
C. THE CONTRACTOR SHALL PROVIDE APPROPRIATE AND ADEQUATE WASHOUT FACILITIES TO ENSURE THAT CHEMICALS AND WASTE IS NOT DISCHARGED FROM THE SITE, AND DO NOT IMPACT STORMWATER OR GROUNDWATER (E.G. CONCRETE/MASONRY WASHOUT, PAINT WASHOUT, EIFS, ETC.) THE CONTRACTOR SHALL CLEAN UP SPILLS PROMPTLY AND ENSURE THAT WASHOUT AREAS ARE PROPERLY MAINTAINED TO PROVIDE ADEQUATE VOLUME TO PREVENT OVERFLOW.
D. WHEN A SPILL IS REPORTABLE QUANTITIES IS DISCOVERED ON THE SITE, THE CONTRACTOR SHALL CLEAN UP ALL SPILLED MATERIALS AND DISPOSE OF IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS. THE OWNER AND PROJECT ENGINEER. THE CONTRACTOR SHALL RETAIN CLEANUP INFORMATION AS WELL AS DISPOSAL MANIFEST WITH THEIR SWPP.

FERTILIZERS, HERBICIDES AND PESTICIDES

A. THE CONTRACTOR SHALL ENSURE THAT ALL FERTILIZERS, HERBICIDES, PESTICIDES AND SIMILAR PRODUCTS ARE PROPERLY STORED, OUT OF THE WEATHER, AND APPLIED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. THE CONTRACTOR SHALL ENSURE THAT THESE PRODUCTS ARE USED IN SUCH A MANNER THAT WILL NOT NEGATIVELY IMPACT STORMWATER, GROUNDWATER OR PROTECTED SPECIES.
B. NUTRIENTS SHALL BE APPLIED ONLY AT RATES NECESSARY TO ESTABLISH AND MAINTAIN VEGETATION.

INSPECTIONS AND MAINTENANCE

A. THE CONTRACTOR SHALL INSPECT BMPS (I.E. DISCHARGE LOCATIONS, CONSTRUCTION EXIT, PERIMETER CONTROLS, INLET PROTECTION, STABILIZATION, EROSION CONTROL, DOCUMENTATTION, WASTE DISPOSAL AREAS, MATERIAL STORAGE AREAS, ETC.) TO ENSURE THAT BMPS ARE NOT CAUSING OR CONTRIBUTING TO VIOLATIONS OF WATER QUALITY STANDARDS OR RESULTING IN OFFSITE SEDIMENTATION. THE CONTRACTORS SHALL ENSURE THAT BMPS ARE INSTALLED, MAINTAINED AND OPERATING CORRECTLY AND EFFECTIVELY. INSPECTIONS MUST BE COMPLETED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS, AND WITHIN 24 HOURS AFTER A RAINSTORM OF 0.50 INCHES OR GREATER EVEN IF IT RAINS ON THE WEEKENDS OR HOLIDAY.
B. THE CONTRACTOR SHALL REPORT ALL INSPECTION FINDINGS AND CORRECTIVE ACTIONS TAKEN AS A RESULT OF THE INSPECTION USING THE STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORT FORM PROVIDED BY FDEP OR AN EQUIVALENT FORM. INSPECTION REPORTS SHALL BE SIGNED BY THE INSPECTOR AND A RESPONSIBLE AUTHORITY AS DEFINED BY THE PERMIT. INSPECTION REPORTS SHALL BE MAINTAINED WITH THE SWPPP. THE INSPECTOR MUST BE QUALIFIED EROSION AND SEDIMENT CONTROL INSPECTOR AS DEFINED BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
C. ANY MAINTENANCE, REPAIR AND NECESSARY REVISIONS TO BMP ITEMS SHALL BE ADDRESSED IN A TIMELY MANNER, BUT IN NO CASE LATER THAN 7 CALENDAR DAYS FOLLOWING THE INSPECTION OR IDENTIFICATION OF THE ISSUE. UNLESS OTHERWISE SPECIFIED, ACCUMULATE SEDIMENTS SHOULD BE REMOVED BEFORE THEY REACH ONE-HALF OF THE CAPACITY OF THE CONTROL DEVICE.

GENERAL NOTES

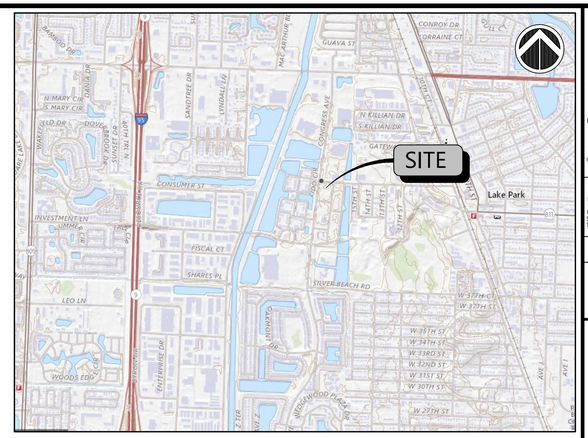
1. IT IS THE CONTRACTORS RESPONSIBILITY TO FILE A " NOTICE OF INTENT TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES" WITH FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION. THE NOTICE OF INTENT SHALL BE FILED AT LEAST TWO DAYS BEFORE THE COMMENCEMENT OF CONSTRUCTION.
2. THE CONTRACTOR SHALL SUBMIT A NOTICE OF TERMINATION (NOT) WITHIN 14 CALENDAR DAYS AFTER THE SITE HAS ACHIEVED FINAL STABILIZATION (I.E. ALL DISTURBED SOILS AT THE SITE HAVE BEEN FINAL STABILIZED), TEMPORARY BMPS HAVE BEEN REMOVED, AND STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY FROM THE SITE AUTHORIZED BY THE PERMIT HAVE BEEN ELIMINATED.
3. AN ENVIRONMENTAL RESOURCE PERMIT IS REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE PERMIT INFORMATION ON THE NOI APPLICATION.
4. THE CONTRACTOR SHALL PROVIDE A COPY OF THE NOI AND SUBSEQUENT NOT TO THE MS4 WITHIN 7 DAYS OF RECEIPT. THE CONTRACTOR SHALL ALSO COORDINATE WITH THE MS4 TO ENSURE THAT ALL SPECIFIC REQUIREMENTS ARE MET.
5. WHERE PRACTICAL STORMWATER SHALL BE CONVEYED BY SWALES. SWALES SHALL BE CONSTRUCTED WITH 2:1 MINIMUM SIDE SLOPES AND 1' DEPTH.
6. EROSION CONTROL MEASURES SHALL BE EMPLOYED TO MINIMIZE TURBIDITY OF SURFACE WATERS LOCATED DOWNSTREAM OF ANY CONSTRUCTION ACTIVITY. WHILE THE VARIOUS MEASURES REQUIED WILL BE SPECIFIC, TEHY SHALL BE EMPLOYED AS NEEDED IN ACCORDANCE WITH THE FOLLOWING:
   A. IN GENERAL, EROSION SHALL BE CONTROLLED AT THE FURTHEST PRACTICAL UPSTREAM LOCATION.
   B. NEW AND EXISTING STORMWATER INLETS AND OUTFALL STRUCTURES SHALL BE PROTECTED DURING CONSTRUCTION. PROECTIO MEASURES SHALL BE EMPLOYED IMMEDIATELY AS REQUIRED DURING THE VARIOUS STAGES OF CONSTRUCTION.
   C. PERIMETER EROSION CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL FINAL SITE STABILIZATION HAS BEEN ESTABLISHED.
7. THE EROSION CONTROL DEVICES SHOWN ARE THE MINIMUM REQUIRED. THE CONTRACTOR SHALL ADJUST, ADD OR MODIFY THE EROSION CONTROL MEASURES AS NECESSARY TO COMPLY WITH THE INTENT OF THE GENERIC NPDES PERMIT AND THE SWPPP FOR NO ADDITIONAL COMPENSATION. THE CONTRACTOR SHALL CONSULT WITH THE ENGINEER OF RECORD PRIOR TO ADJUSTING, ADDING OR MODIFYING BMPS THAT AFFECT THE HYDRAULICS OF THE SITE OR BEFORE ADDING BMPS NOT DETAILED IN THE SWPPP.
8. THE CONTRACTOR SHALL KEEP THE SWPPP CURRENT AT ALL TIMES. THE CONTRACTOR SHALL SIGN AND DATE ANY CHANGES TO THE SWPPP AND KEEP THEM AS ATTACHMENTS TO THE ORIGINAL PLAN.
9. THE CONTRACTOR SHALL ENSURE THAT THE CONTRACTOR AND ALL SUBCONTRACTORS RESPONSIBLE FOR IMPLEMENTING SWPPP CONTROL MEASURES FILL OUT THE CONTRACTOR/SUBCONTRACTOR CERTIFICATION TABLE ON THIS SHEET.
10. THE CONTRACTOR SHALL COMPLETE THE CONSTRUCTION SEQUENCE TABLE ON THIS SHEET PRIOR TO THE START OF CONSTRUCTION.
11. THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY MARKED AT THE OUTSET OF CONSTRUCTION AND SHALL REMAIN IN PLACE THROUGHOUT THE DURATION OF THE CONSTRUCTION ACTIVITY. NO LAND DISTURBANCE SHALL OCCUR OUTSIDE THE APPROVED LIMITS AS INDICATED ON THE APPROVED EROSION CONTROL DRAWINGS.
12. CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED AT THE OUTSET OF CONSTRUCTION AND SHALL BE MAINTAINED APPROPRIATELY IN ORDER TO PREVENT TRACKING ONTO PUBLIC ROADWAYS. ALL MATERIALS SPILLED ONTO A PUBLIC ROADWAY OR INTO A PUBLIC STORM SEWER SHALL BE REMOVED IMMEDIATELY.
13. ALL SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED WITH EITHER PERMANENT HARD SURFACE GROUND COVER VEGETATION.
14. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ACCUMULATED SILT FROM EACH RESPECTIVE EROSION CONTROL MEASURE IN ACCORDANCE WITH THE NOTES AND DETAILS ON THESE DRAWINGS.
15. ALL DISTURBED AREAS LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING.
16. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
17. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED SHOULD INTERIM DRAINAGE CONDITIONS DIFFER FROM THE APPROVED FINAL CONDITIONS. THE CONTRACTOR SHALL MAKE ADJUSTMENTS ACCORDINGLY IN ORDER THAT SEDIMENT NOT LEAVE THE SITE.
18. THE CONTRACTOR SHALL KEEP AN ON-SITE DAILY LOG OF THE MAINTENANCE OF ALL EROSION CONTROL MEASURES. THE LOG SHALL BE MADE AVAILABLE FOR INSPECTION AT ALL TIMES.

ANTICIPATED START DATE: ANTICIPATED COMPLETION DATE:

ANTICIPATED ACTIVITY SCHEDULE

ACTIVITY	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC
CONSTRUCTION ENTRANCE												
TEMPORARY CONTROL MEASURES												
STORM DRAINAGE												
ROUGH GRADE/ SEDIMENT CONTROL												
FOUNDATION/ BUILDING CONSTRUCTION												
SITE CONTSTRUCTION												
PAVING												
FINAL LANDSCAPING												
FINAL CLEAN UP												

*CONTRACTOR TO COMPLETE PRIOR TO START OF CONSTRUCTION. TABLE IS ONLY A GUIDE, CONTRACTOR SHALL MODIFY AS NEEDED.



USGS MAP
N.T.S.

811 Know what's below. Call before you dig.

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(502) 426-9984

ATWELL
866.850.4200 www.atwell-group.com
1800 PARKWAY PLACE, SUITE 700
MARIETTA, GA 30067
COA# PEF002580

TRACT A1 CONGRESS BUSINESS PARK
280 N CONGRESS AVE
TOWN OF LAKE PARK
PALM BEACH COUNTY, FLORIDA

TEXAS ROADHOUSE
TEXAS ROADHOUSE, INC.
CONSTRUCTION PLANS
SWPPP NOTES

DATE 05/17/2023

REVISIONS

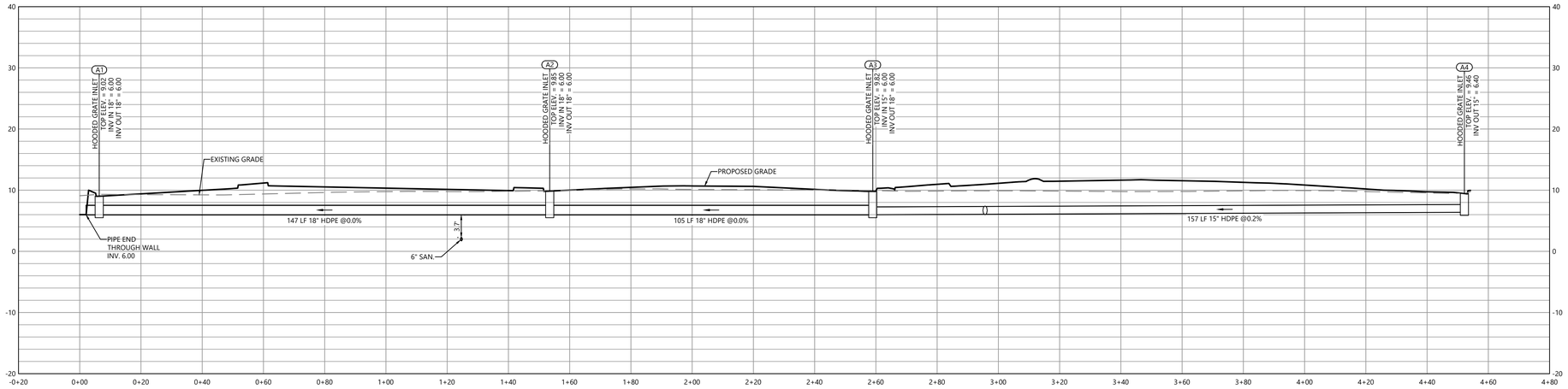
JAMES A. LOWE LICENSE 73204 STATE OF FLORIDA PROFESSIONAL ENGINEER

DRAWN BY: MGB
CHECKED BY: BP
PROJECT MANAGER: BP
JOB #: 22005514
FILE CODE: ##
SHEET NO. C520

CAD FILE: 22005514-C530 EROSION NOTES

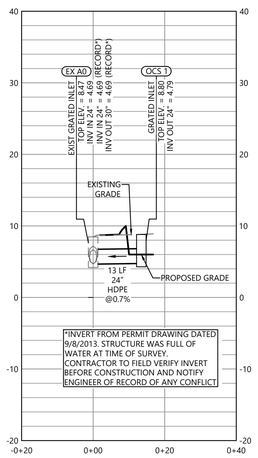
ISSUED-FOR-CONSTRUCTION

FILE NAME: K:\22005514-TR Lake Park\DWG\DFW\04 PRODUCTION\220055 4- C530 EROSION NOTES.dwg LAST SAVED By: bvenager 3/28/2023 5:28 AM PLOTTED By: linda Sims 5/17/2023 PAPER: ARCH FULL BLEED D (24.00 X 36.00 INCHES) DEVICE: _AUTOCAD PDF (GENERAL DOCUMENTATION).PC3 PLOT STYLE: ATWELL.CTB



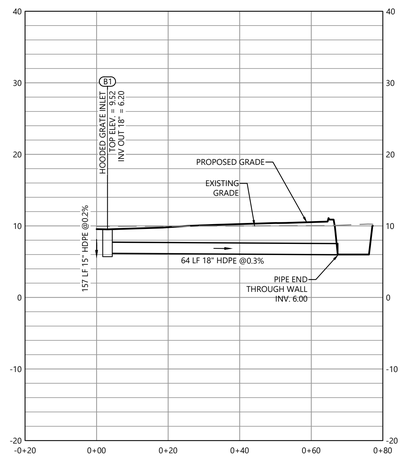
STORM A PROFILE

HORZ SCALE: 1"=20'
VERT SCALE: 1"=10'



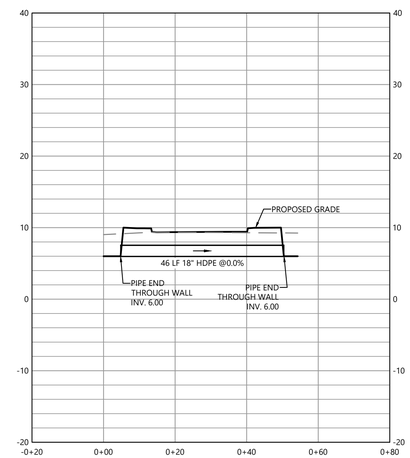
STORM A1.1 PROFILE

HORZ SCALE: 1"=20'
VERT SCALE: 1"=10'



STORM B PROFILE PROFILE

HORZ SCALE: 1"=20'
VERT SCALE: 1"=10'



STORM C PROFILE PROFILE

HORZ SCALE: 1"=20'
VERT SCALE: 1"=10'

STORM PROFILE LEGEND

PROPOSED GRADE

EXISTING GRADE

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77-0127007
COA# PEF002504

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TOWN OF LAKE PARK
PALM BEACH COUNTY, FLORIDA

TEXAS ROADHOUSE, INC.
TEXAS ROADHOUSE
CONSTRUCTION PLANS
STORM PROFILES

DATE 05/17/2023

REVISIONS

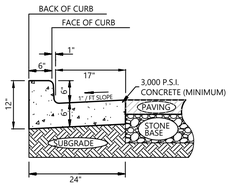
JAMES A. LOWE LICENSE 72004 STATE OF FLORIDA PROFESSIONAL ENGINEER

SCALE: 1"=20'

DRAWN BY: MGB
CHECKED BY: BP
PROJECT MANAGER: BP
JOB #: 22005514
FILE CODE: ##
SHEET NO. C630

ISSUED–FOR–CONSTRUCTION
CAD FILE 22005514- PIPES

FILE NAME: K:\22005514-TR Lake Park\PWS\SHA\10 DESIGN\22005514- PIPES.dwg LAST SAVED BY: bvenager 5/16/2023 2:43 PM PLOTTED BY: Linda Sims 5/17/2023 PAPER: ARCH FULL BLEED D (24.00 X 36.00 INCHES) DEVICE: _ AUTOCAD PDF (GENERAL DOCUMENTATION).PC3 PLOT STYLE: ATWELL.CTB

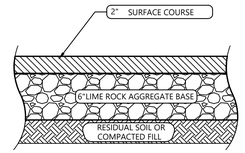


NOTES

1. EXPANSION JOINTS REQUIRED AT ALL STRUCTURES AND CURB RETURNS. 25 FOOT MAXIMUM DISTANCE BETWEEN EXPANSION JOINTS.
2. 3,000 P.S.I. CONCRETE WITH SMOOTH FINISH.
3. COMPACT SUBGRADE TO 98% STANDARD PROCTOR.
4. SEE GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.

STANDARD 24" CONCRETE CURB AND GUTTER "B"

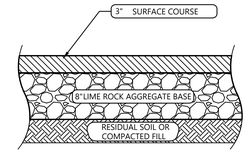
N.T.S.



THIS PAVEMENT DETAIL IS BASED ON THE GEOTECHNICAL REPORT FOR TEXAS ROADHOUSE, BY ECS, FLORIDA, DATED 10-20-2022. THE CONTRACTOR SHOULD CLARIFY ANY DISCREPANCY BETWEEN THE GEOTECHNICAL REPORT AND THIS DETAIL PRIOR TO BIDDING OR CONSTRUCTING.

STANDARD DUTY ASPHALT PAVING SPECIFICATION

N.T.S.



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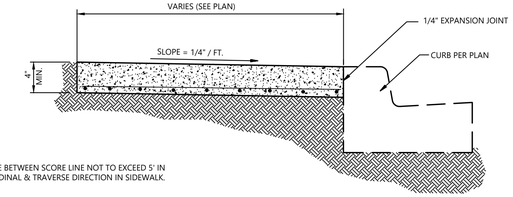
HEAVY DUTY ASPHALT PAVING SPECIFICATION

N.T.S.

NOTES

1. ACCESSIBLE RAMPS, PER D.O.T. SPECIFICATIONS, TO BE PROVIDED AT ALL LOCATIONS SHOWN ON PLANS.
2. WHERE REQUIRED REINFORCING WILL BE No. 3 BARS AT 24" ON CENTER EACH WAY (MAXIMUM SPACING), OR 6x6 - W1.4xW1.4 WWF.
3. 4" AGGREGATE BASE COURSE COMPACTED TO 98% STANDARD PROCTOR TYPICAL IN AREAS WITH UNSUITABLE SUBGRADE.
4. REFER TO SITEWORK SPECIFICATIONS FOR MORE INFORMATION.

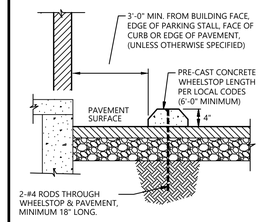


NOTE

DISTANCE BETWEEN SCORE LINE NOT TO EXCEED 5' IN LONGITUDINAL & TRAVERSE DIRECTION IN SIDEWALK.

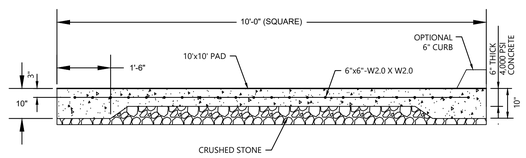
CONCRETE SIDEWALK

N.T.S.



PRE-CAST CONCRETE WHEELSTOP

N.T.S.

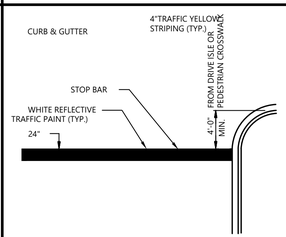


NOTE

1. SEE SITE WORK SPECIFICATIONS FOR CONCRETE MATERIAL AND FINISH. IF NOT SPECIFIED USE 4,000 PSI CONCRETE WITH A BROOM FINISH.
2. REFER TO GEOTECHNICAL RECOMMENDATIONS FOR THICKNESS OR FOR APPLICABILITY OF STONE BASE

DUMPSTER PAD DETAIL

N.T.S.

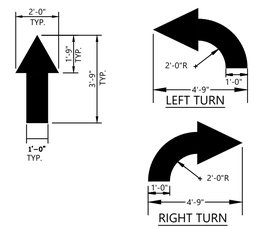


NOTE:

REFER TO SITE WORK SPECIFICATIONS FOR FURTHER INFORMATION.

STOP BAR

N.T.S.

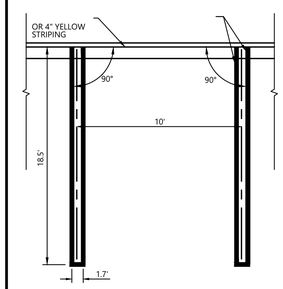


NOTES:

1. WORDS AND ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 38-20 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
2. ALL TRAFFIC FLOW ARROWS TO BE SOLID WHITE REFLECTIVE TRAFFIC PAINT OR MEET LOCAL REQUIREMENTS.

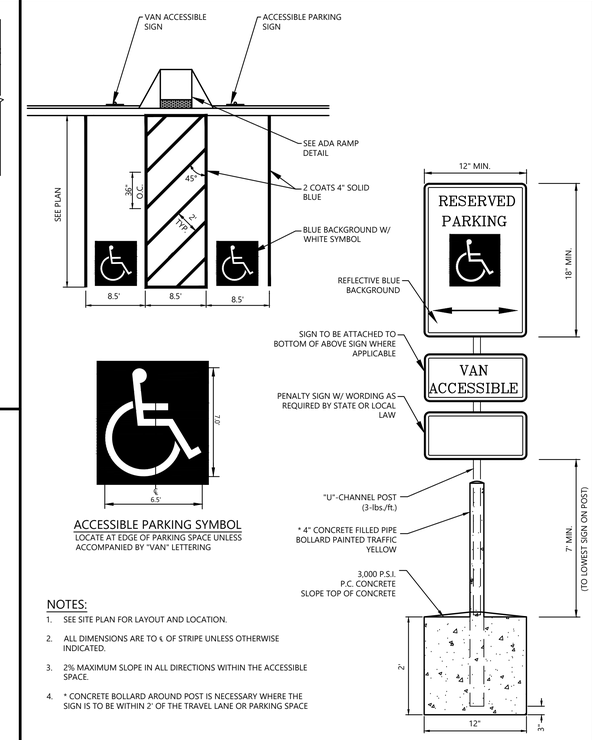
PARKING LOT FLOW ARROW

N.T.S.



PARKING SPACE STRIPING

N.T.S.



ACCESSIBLE PARKING SYMBOL

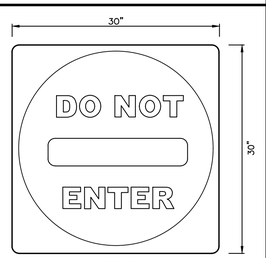
LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING

NOTES:

1. SEE SITE PLAN FOR LAYOUT AND LOCATION.
2. ALL DIMENSIONS ARE TO ∡ OF STRIPE UNLESS OTHERWISE INDICATED.
3. 2% MAXIMUM SLOPE IN ALL DIRECTIONS WITHIN THE ACCESSIBLE SPACE.
4. * CONCRETE BOLLARD AROUND POST IS NECESSARY WHERE THE SIGN IS TO BE WITHIN 2' OF THE TRAVEL LANE OR PARKING SPACE

ADA PARKING DETAIL

N.T.S.

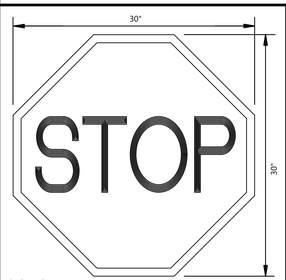


SIGN CRITERIA

BACKGROUND: WHITE
LETTERING: WHITE
SYMBOL: RED
REFERENCE: MUTCD

"DO NOT ENTER" SIGN

N.T.S.

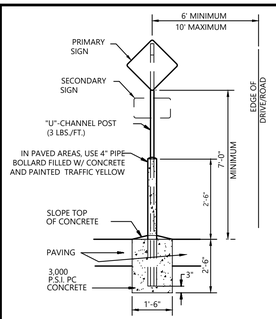


SIGN CRITERIA

BACKGROUND: RED
LETTERING: WHITE
BORDER: WHITE
REFERENCE: MUTCD

"STOP" SIGN

N.T.S.



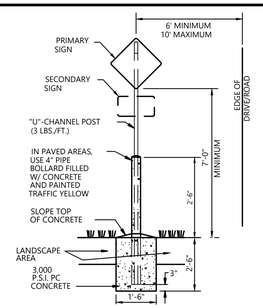
NOTE

SIGN SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS AND ALL FEDERAL, STATE, AND LOCAL CODES.

CONCRETE BOLLARD AROUND POST IS NECESSARY WHERE SIGN IS TO BE WITHIN 2' OF TRAVEL LANE OR PARKING SPACE.

SIGN BASE IN PAVING

N.T.S.



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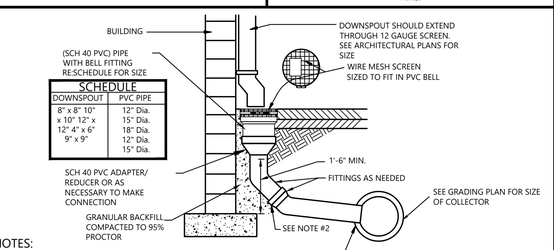
2. CONCRETE BOLLARD AROUND POST IS NECESSARY WHERE SIGN IS TO BE WITHIN 2' OF TRAVEL LANE OR PARKING SPACE.

SIGN BASE IN LANDSCAPE AREA

N.T.S.



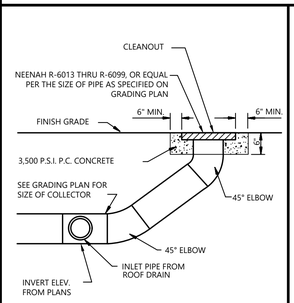
SCHEDULE	
DOWNSPOUT	PVC PIPE
8" x 8" 10"	12" Dia.
x 10" 12" x	15" Dia.
12" 4" x 6"	18" Dia.
9" x 9"	12" Dia.
	15" Dia.

NOTES:

1. PIPE SHALL BE SCHEDULE 40 PVC.
2. ALL CONNECTIONS SHALL BE WATERTIGHT.
3. THE DOWNSPOUT COLLECTOR DRAIN SHALL BE INSTALLED BEFORE THE DOWNSPOUTS ARE INSTALLED ON THE BUILDING. SITEWORK CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK TO AND INCLUDING THE RODENT SCREEN.
4. BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONNECTION AT THE POINT OF THE RODENT SCREEN. INSTALL PIPES CLEAR OF PORCHES, BOLLARDS, AND OTHER BUILDING APPURENTANCES.

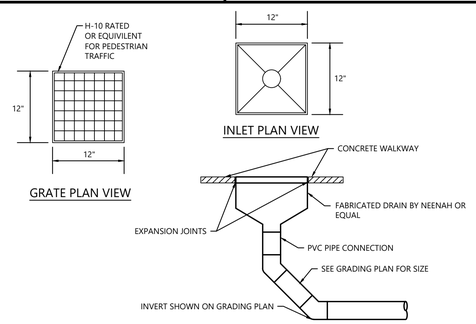
DOWNSPOUT COLLECTOR

N.T.S.



STORM DRAIN CLEAN-OUT

N.T.S.

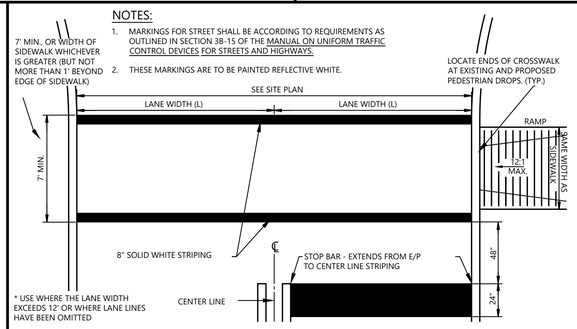


WALKWAY/LANDSCAPE DRAIN

N.T.S.

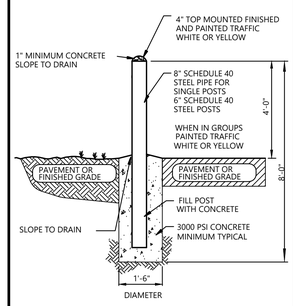
NOTES:

1. MARKINGS FOR STREET SHALL BE ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 3B-15 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
2. THESE MARKINGS ARE TO BE PAINTED REFLECTIVE WHITE.



CROSSWALK MARKINGS

N.T.S.



BOLLARD

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COA# PEF0025804

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PALM BEACH COUNTY, FLORIDA

TEXAS ROADHOUSE
TEXAS ROADHOUSE, INC.
CONSTRUCTION PLANS
CONSTRUCTION DETAILS

DATE 05/17/2023

REVISIONS

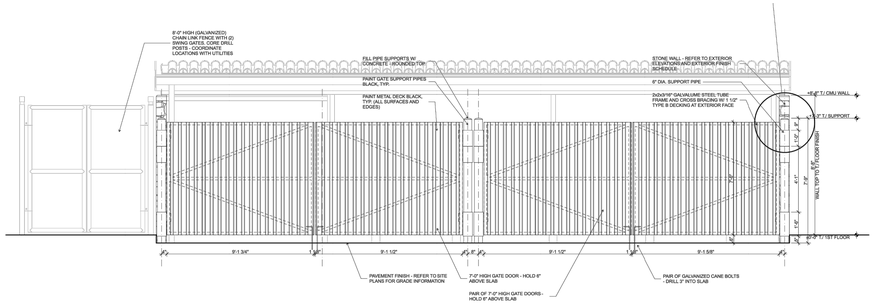
JAMES A. LOWE LICENSE 70240 STATE OF FLORIDA PROFESSIONAL ENGINEER

DRAWN BY: MGB
CHECKED BY: BP
PROJECT MANAGER: BP
JOB #: 22005514
FILE CODE: ##
SHEET NO. C700

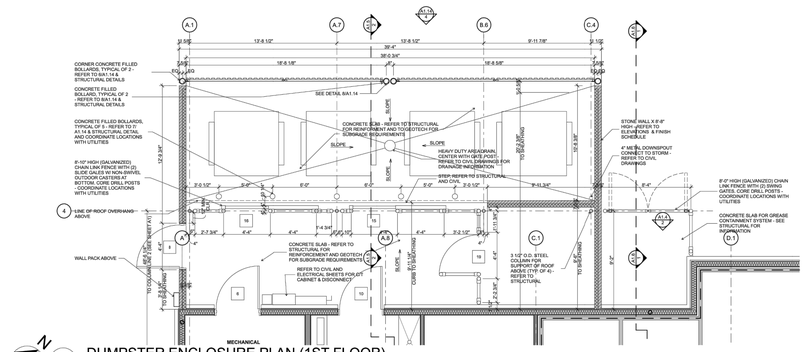
CAD FILE: 22005514-C700 DETAILS

ISSUED-FOR-CONSTRUCTION

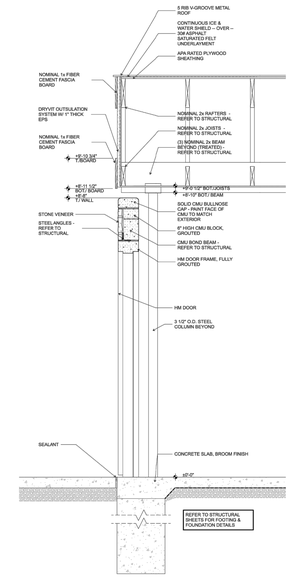
FILE NAME: K:\22005514-TR Lake Park\DWG\DWG\A SHEET PRODUCTION\22005514- C700 DETAILS.dwg LAST SAVED BY: bwinager 5/2/2023 9:53 AM PLOTTED BY: linda Sims 5/17/2023 PAPER: ARCH FULL BLEED D (24.00 X 36.00 INCHES) DEVICE: _AUTOCAD PDF (GENERAL DOCUMENTATION).PC3 PLOT STYLE: ATWELL.CTB



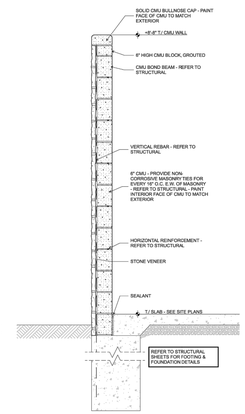
4 DUMPSTER ENCLOSURE ELEVATION
SCALE: 3/8" = 1'-0"



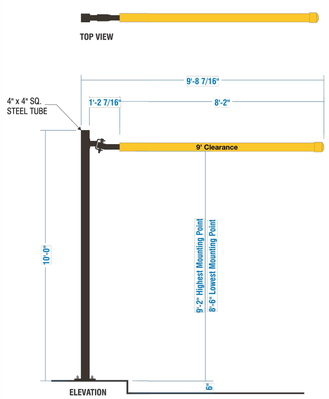
1 DUMPSTER ENCLOSURE PLAN (1ST FLOOR)
SCALE: 1/4" = 1'-0"



2 SECTION AT SECURE BACK DOCK
SCALE: 3/4" = 1'-0"



3 SECTION AT SCREEN WALL
SCALE: 3/4" = 1'-0"



A TRH CLEARANCE BAR ONE (1) REQ'D. SCALE: 1/2" = 1'-0"

SPECIFICATIONS:
- FABRICATED SWING ARM DRIVE THRU PORTAL W/ 4" X 4" SQ. STEEL TUBE SUPPORT, PAINTED MATTHEWS 41313SP DARK BRONZE OR EQUIVALENT.
- 4" PVC TUBE W/ CAPPED END PAINTED T/M PMS 124C, TO SLEEVE OVER 2" X 3" STEEL TUBE.
- COPY TO BE 3M 7725-12 OPAQUE BLACK VINYL

MATTHEWS PAINTS 41313SP DK. BRONZE OR EQUAL

PAINT T/M PMS 124C YELLOW

VINYL: 3M 7725-12 OPAQUE BLACK

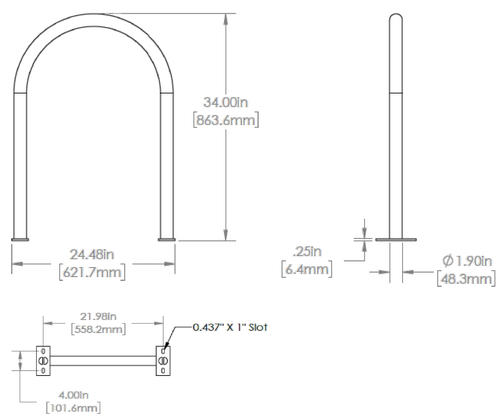
DRIVE-THRU CLEARANCE BAR DETAIL

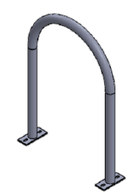
N.T.S.

thepark AND FACILITIES CATALOG

Radius Bike Rack - Surface Mount 536-1400

Spec Sheet





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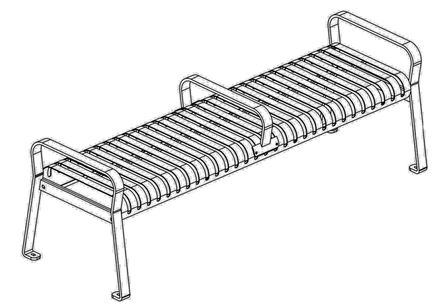
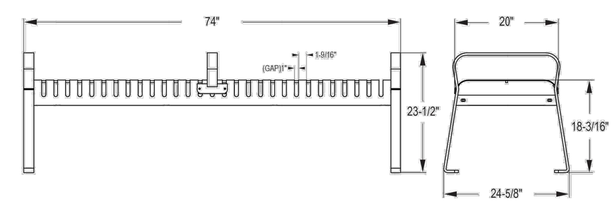
Model No. 398-9108

6' Executive Series Steel Strap Bench without Back - Black





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TOWN OF LAKE PARK
PALM BEACH COUNTY, FLORIDA

TEXAS ROADHOUSE
TEXAS ROADHOUSE, INC.
CONSTRUCTION PLANS
CONSTRUCTION DETAILS

DATE 05/17/2023

REVISIONS

JAMES A. LOWE LICENSE 75243 STATE OF FLORIDA PROFESSIONAL ENGINEER

DRAWN BY: MGB
CHECKED BY: BP
PROJECT MANAGER: BP
JOB #: 22005514
FILE CODE: ##
SHEET NO. C701

ISSUED-FOR-CONSTRUCTION
CAD FILE: 22005514-C700 DETAILS

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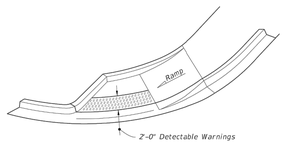

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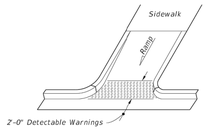

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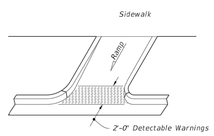

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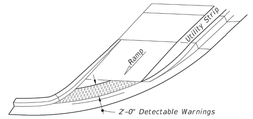

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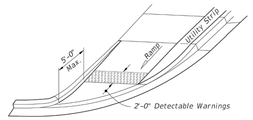

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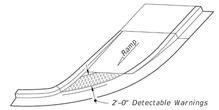

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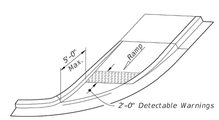

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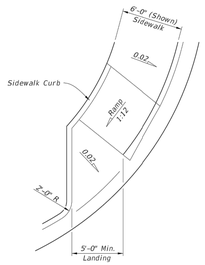
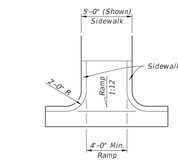


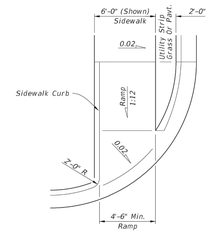
PLAN VIEW

CR-D



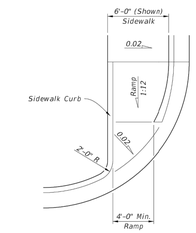
PLAN VIEW

CR-E



PLAN VIEW

CR-F

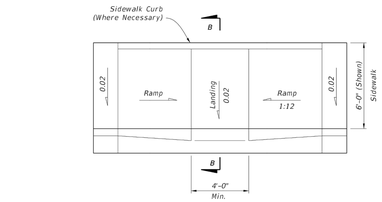


PLAN VIEW

CR-G

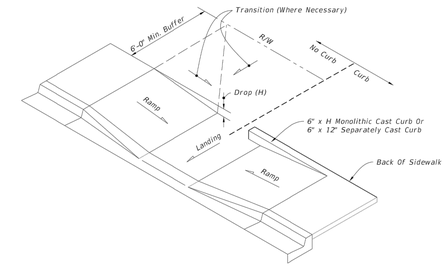
SIDEWALK CURB RAMPS CR-D, CR-E, CR-F & CR-G

LAST REVISION 11/01/20	REVISION	DESCRIPTION:	FDOT FY 2021-22 STANDARD PLANS	DETECTABLE WARNINGS AND SIDEWALK CURB RAMPS	INDEX 522-002	SHEET 4 of 7

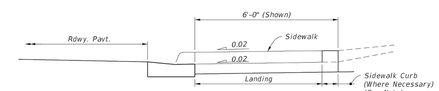


PLAN VIEW

CR-C

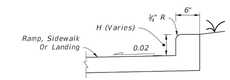


CONSTRUCTION OF SIDEWALK CURB IN CUT SECTIONS

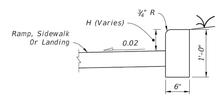


NOTE: For additional information on sidewalk curb construction, see SIDEWALK CURB OPTIONS details.

SECTION B-B



MONOLITHIC CAST CURB

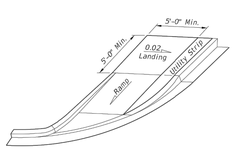


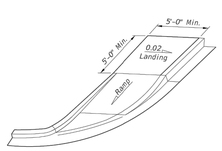
SEPARATELY CAST CURB

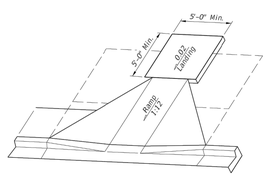
SIDEWALK CURB OPTIONS

SIDEWALK CURB RAMPS CR-C AND SIDEWALK CURB

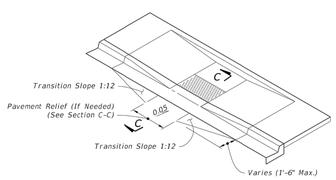
LAST REVISION 11/01/20	REVISION	DESCRIPTION:	FDOT FY 2021-22 STANDARD PLANS	DETECTABLE WARNINGS AND SIDEWALK CURB RAMPS	INDEX 522-002	SHEET 3 of 7



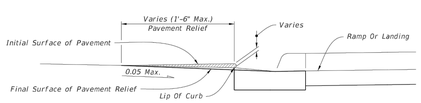




LANDINGS FOR CURB RAMPS WITHOUT SIDEWALKS
(See CR-F, CR-G & CR-K Respectively For Detectable Warning Details/Options)



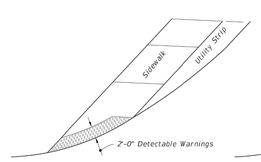
ISOMETRIC VIEW
(CR-C Shown, Other Similar)



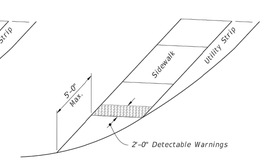
NOTE: Remove Elevated Pavement By Spading And Rolling, Smooth Milling, or Grinding.

SECTION C-C

PAVEMENT RELIEF DETAILS



OPTION A



OPTION B

DETECTABLE WARNING ON FLUSH SHOULDER SIDEWALKS

CURB RAMPS WITHOUT SIDEWALKS AND FLUSH SHOULDER SIDEWALKS

LAST REVISION 11/01/20	REVISION	DESCRIPTION:	FDOT FY 2021-22 STANDARD PLANS	DETECTABLE WARNINGS AND SIDEWALK CURB RAMPS	INDEX 522-002	SHEET 6 of 7

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TEXAS ROADHOUSE
TEXAS ROADHOUSE, INC.
CONSTRUCTION PLANS
CONSTRUCTION DETAILS

DATE 05/17/2023

REVISIONS

JAMES A. LOWE LICENSE 70042 STATE OF FLORIDA PROFESSIONAL ENGINEER

DRAWN BY: MGB
CHECKED BY: BP
PROJECT MANAGER: BP
JOB #: 22005514
FILE CODE: ##
SHEET NO. C702

CAD FILE: 22005514-C700 DETAILS

ISSUED-FOR-CONSTRUCTION

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GENERAL NOTES:

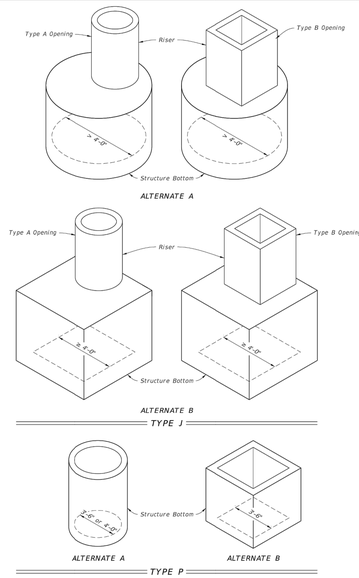
1. Work this Index with Specification 425 and Index 425-001.
2. Type P standard structure bottoms are 4'-0"diameter and smaller (Alt. A) and 3'-6" square (Alt. B) . Larger standard structure bottoms are designated Type J. Risers are permitted for all structures.
3. Walls of circular structures (Alt. A) constructed in place may be of brick or reinforced concrete. Construct precast and rectangular structures (Alt. B) with reinforced concrete only.
4. Wall thickness and reinforcement are for either reinforced cast-in-place or precast concrete units except that precast circular units may be furnished with walls in accordance with ASTM C478 (See Table 1).
5. Top and bottom slab thickness and reinforcement are for precast and cast-in-place construction. Use Class II concrete, except when Class IV concrete is shown in the Plans.
6. Alt. A or Alt. B structure bottoms may be used in conjunction with curb inlet tops Types 1, 2, 3, 4, 5, 6, 9, and 10, and any manhole or junction box. Alt. B structure bottoms may be used in conjunction with curb inlet Types 7 & 8, or any ditch bottom inlet.
7. Rectangular structures may be rotated as directed by the Engineer in order to facilitate connections between the structure walls and pipes.
8. Use straight embedment reinforcement in top and bottom slabs ,except when ACI hooks are specifically required.
9. Construct corner fillets as shown for rectangular structures used with circular risers and inlet throats, and when used on skew with rectangular risers, inlets, and inlet throats. Construct Fillets in the top slab of the Alt. A structure bottoms when used with the Type B risers. Reinforce each fillet with two #5 bars.
10. Units larger than specified standards may be substituted at the contractor's option when these units will not cause or increase the severity of utility conflicts. Furnish such larger units at no additional cost to the Department. Larger Alt. A units cannot replace Alt. B units without approval of the Engineer. This Note applies to this Index only.

REINFORCEMENT NOTES:

1. Locate wall reinforcement in rectangular structures as shown in the WALL REINFORCEMENT SPLICE DETAILS in Index 425-001.
2. Provide a minimum 2"clear cover for all reinforcement unless otherwise noted and except for 3/8"diameter ASTM C478 units.
3. Additional bars used to restrain hole formers for precast structures with grouted pipe connections may be left flush with the hole surface.
4. Cut or bend reinforcement at pipe openings to maintain cover.
5. Remove exposed ends of reinforcing at precast pipe openings and grouted joints to 1" below the concrete surface and seal with a Type F Epoxy meeting the requirements of Specification 926.
6. Equivalent area smooth or deformed welded wire reinforcement may be substituted in accordance with Index 425-001.

TABLE OF CONTENTS:

Sheet	Description
1	General Notes and Contents
2	Dimensional and Reinforcing Details
3	Tables 1, 2, 3, and 4
4	Tables 5 and 6



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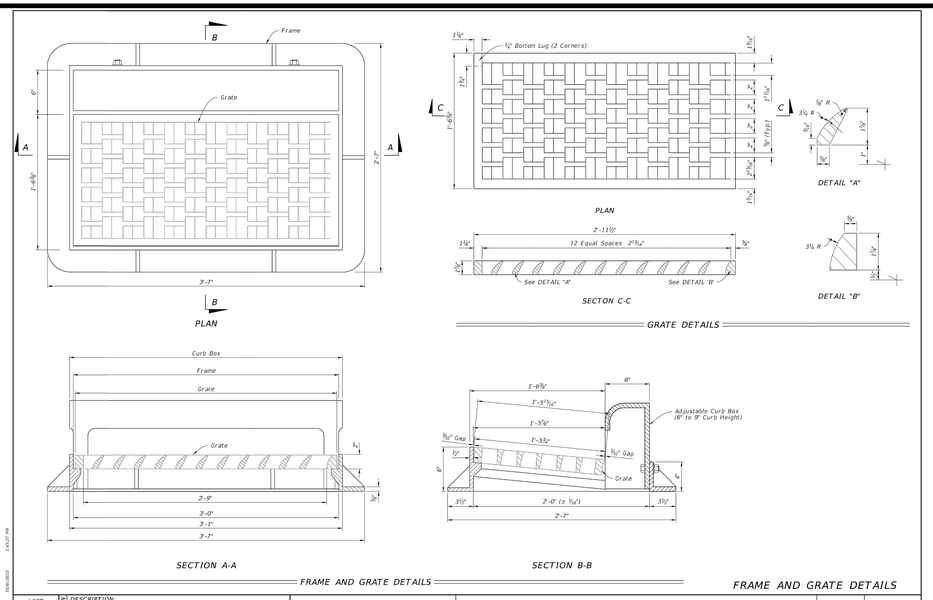

FRAME AND GRATE DETAILS

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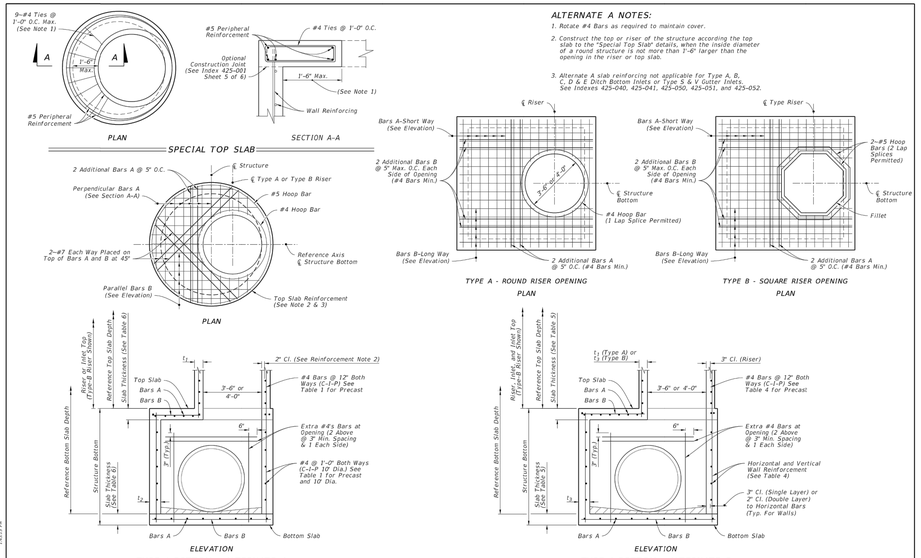
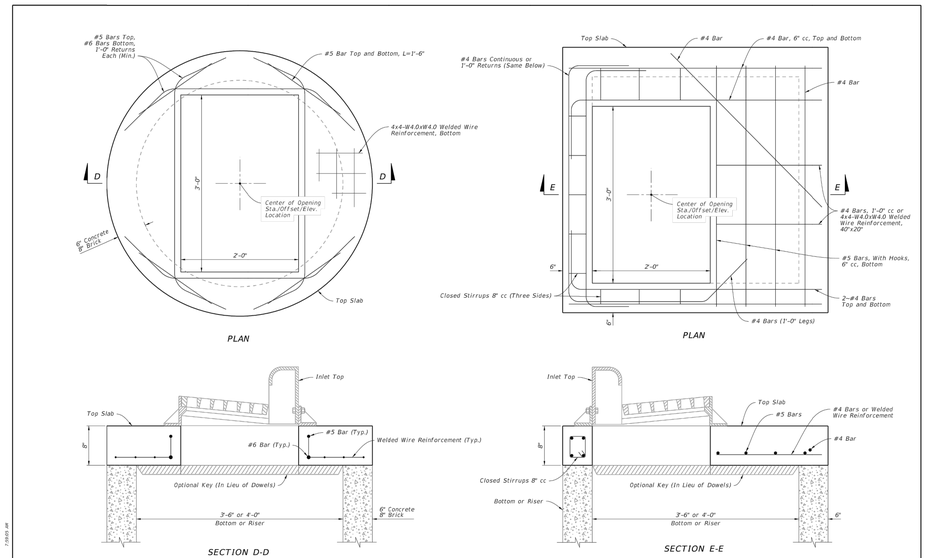


ALTERNATE A NOTES:

1. Rotate #4 Bars as required to maintain cover.
2. Construct the top or riser of the structure according the top slab to the "Special Top Slab" details, when the inside diameter of a round structure is not more than 1'-6" larger than the opening in the riser or top slab.
3. Alternate A slab reinforcing not applicable for Type A, B, C, D & E Ditch Bottom Inlets or Type 5 & V Gutter Inlets. See Indexes 425-040, 425-041, 425-050, 425-051, and 425-052.

DIMENSIONAL AND REINFORCING DETAILS

LAST REVISION	DESCRIPTION:				
11/01/20		FDOT FY 2023-24 STANDARD PLANS	STRUCTURE BOTTOMS TYPE J AND P	INDEX 425-010	SHEET 2 of 4



TOP SLAB DETAILS

LAST REVISION	DESCRIPTION:				
10/01/20		FDOT FY 2023-24 STANDARD PLANS	CURB INLET TYPE 9	INDEX 425-024	SHEET 3 of 3

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TOWN OF LAKE PARK
PALM BEACH COUNTY, FLORIDA

TEXAS ROADHOUSE
TEXAS ROADHOUSE, INC.
CONSTRUCTION PLANS
CONSTRUCTION DETAILS

DATE 05/17/2023

REVISIONS

JAMES A. LOWE LICENSE 70048 STATE OF FLORIDA PROFESSIONAL ENGINEER

DRAWN BY: MGB
CHECKED BY: BP
PROJECT MANAGER: BP
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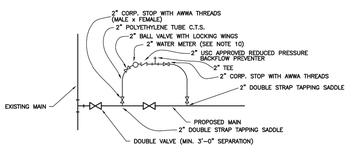
CAD FILE: 22005514-C700.DETAILS
ISSUED-FOR-CONSTRUCTION

FILE NAME: K:\22005514-TR Lake Park\DWG\DWG\04 PRODUCTION\22005514- C700 DETAILS.dwg LAST SAVED BY: bunager 5/2/2023 9:53 AM PLOTTED BY: Linda Sima 5/17/2023 PAPER: ARCH FULL BLEED D (24.00 X 36.00 INCHES) DEVICE: __ AUTOCAD PDF (GENERAL DOCUMENTATION).PC3 PLOT STYLE: ATWELL.CTB

NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)

1. THIS METHOD SHALL BE COMPLIED WITH WHEN CONNECTING TO AN EXISTING WATER MAIN. (ONE THAT HAS ALREADY BEEN BACTERIOLOGICALLY CLEARED OR IS IN USE) WHETHER BY TEE AND VALVE OR BY CONTINUATION OF A PLUGGED STUB OUT WITH AN EXISTING GATE VALVE.
2. THESE REQUIREMENTS ARE BASED ON PALM BEACH COUNTY HEALTH DEPARTMENT REQUIREMENTS.
3. WHEN A TAPPING TEE AND VALVE IS INSTALLED, A PRESSURE/LEAKAGE TEST SHALL BE PERFORMED ON THE ASSEMBLY IN THE PRESENCE OF AN AUTHORIZED SUA REPRESENTATIVE PRIOR TO PERFORMING THE ACTUAL TAP.
4. DOUBLE VALVING PERMITS PHYSICAL CONNECTION TO AN EXISTING WATER MAIN WHEN USED IN CONJUNCTION WITH A BYPASS LINE.
5. A 2" BYPASS LINE (MAXIMUM) SHALL BE INSTALLED AS SHOWN BELOW PRIOR TO CANNON FLUSHING.
6. THE 2" TEE SHALL BE USED FOR FEEDING CHLORINE SOLUTION AND FOR ATMOSPHERIC VENT DURING PRESSURE/LEAKAGE TESTS.
7. UNDER NO CIRCUMSTANCES SHALL VALVES BE OPERATED WITHOUT AN AUTHORIZED SUA REPRESENTATIVE PRESENT.
8. ALL WATER MAINS SHALL BE FILLED WITH WATER UTILIZING JUMPER METER AND THEN BE THOROUGHLY CANNON FLUSHED IN ACCORDANCE WITH SEACOAST SPECIFICATIONS PRIOR TO PRESSURE/LEAKAGE TESTING. THE PROCEDURE SHALL BE DONE ONLY IN THE PRESENCE OF AN AUTHORIZED SUA REPRESENTATIVE.
9. FOLLOWING INITIAL CANNON FLUSHING, ALL WATER FOR PRESSURE/LEAKAGE TESTING AND BACTERIOLOGICAL CLEARANCES MUST BE DRAWN FROM THE BYPASS LINE WITH METER AND REDUCED PRESSURE BACKFLOW PREVENTER IN PLACE. THE 2" INCH WATER METER SHALL BE PROVIDED BY SUA UPON APPLICATION BY EITHER THE CONTRACTOR OR DEVELOPER. ALL WATER USED FOR THE CONSTRUCTION OF THE WATER AND SEWER MAINS SHALL BE PAID FOR BY THE ABOVE PARTIES PRIOR TO ANY SERVICE BEING PROVIDED. METER, BALL VALVE, REDUCED PRESSURE BACKFLOW PREVENTER AND TEE SHALL INSTALLED AT LEAST 18" ABOVE EXISTING GRADE, SUPPORTED, AND PROTECTED FROM DAMAGE. ANY DAMAGE SHALL BE APPLICANT'S RESPONSIBILITY AND SHALL BE CHARGED ACCORDINGLY.
10. EXCEPT DURING CANNON FLUSHING VALVES SHALL NOT BE OPENED UNTIL AFTER AN APPROVED PRESSURE/ LEAKAGE TEST, BACTERIOLOGICAL CLEARANCE, CERTIFICATION BY THE ENGINEER OF RECORD, RELEASE FROM THE PALM BEACH COUNTY HEALTH DEPARTMENT AND APPROVAL BY SUA.
11. DISINFECTION AND BACTERIOLOGICAL CLEARANCES SHALL COMPLY WITH CURRENT AWWA PROCEDURES, PALM BEACH COUNTY HEALTH DEPARTMENT, AND FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION REQUIREMENTS.



Tapping and Main Clearing Procedure

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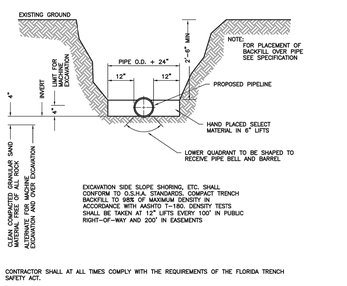
(PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)



EXCAVATION: SIDE SLOPE SHORING, ETC. SHALL CONFORM TO O.S.H.A. STANDARDS. COMPACT TRENCH BACKFILL TO 98% OF MAXIMUM DENSITY IN ACCORDANCE WITH AASHTO T-180. DENSITY TESTS SHALL BE TAKEN AT 12" LIFTS EVERY 100' IN PUBLIC RIGHT-OF-WAY AND 200' IN EASEMENTS

CONTRACTOR SHALL AT ALL TIMES COMPLY WITH THE REQUIREMENTS OF THE FLORIDA TRENCH SAFETY ACT.

Standard Trenching Procedure

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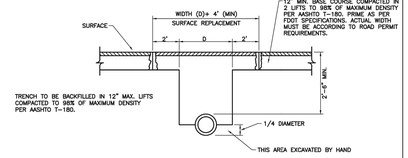

NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)

1. REPLACED BASE MATERIAL OVER DITCH SHALL BE A MINIMUM OF TWICE THE THICKNESS OF THE ORIGINAL BASE.
2. BASE MATERIAL SHALL BE PLACED IN A MINIMUM OF 2 LIFTS AND THOROUGHLY ROLLED OR TAMPED TO 98% OF MAXIMUM DENSITY PER AASHTO T-180.
3. ASPHALT CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAWED.
4. SURFACE MATERIAL SHALL BE CONSISTENT WITH EXISTING SURFACE, WITH ASPHALT A MINIMUM OF 2" THICK.
5. A MINIMUM OF TWO DENSITY TESTS SHALL BE TAKEN FOR EACH SIX (6") INCH LIFT OF SUBGRADE AND EACH OPEN CUT CROSSING. ROAD CROSSINGS GREATER THAN 24 FEET IN WIDTH SHALL REQUIRE ONE ADDITIONAL TEST SITE FOR EACH ADDITIONAL 12 FEET OF PAVEMENT. WHEN THE SPECIFIED COMPACTED BASE IS GREATER THAN SIX AND ONE-HALF (6 1/2") INCHES, THE BASE SHALL BE CONSTRUCTED IN TWO OR MORE COURSES. PROCTORS FOR MATERIALS USED IN BACKFILLING SHALL BE OBTAINED BY A CERTIFIED LABORATORY. DENSITY TESTS SHALL BE CONDUCTED BY A CERTIFIED LABORATORY. THE PERCENTAGE OF MAXIMUM DENSITY REQUIRED SHALL BE IN ACCORDANCE WITH THE EDITION OF THE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AT THE TIME THE PERMIT WAS ISSUED. ALL DENSITY TESTS SHALL BE COMPLETED AND ACCEPTED ON EACH LAYER PRIOR TO ADDITIONAL BACKFILLING. A COPY OF ALL COMPLETED AND ACCEPTED DENSITY TESTS SHALL BE FURNISHED TO SUA UPON REQUEST, BACKFILL COMPACTION SHALL BE 98% OF MAXIMUM DENSITY PER AASHTO T-180.
6. ANY DAMAGE TO TRAFFIC SIGNALIZATION EQUIPMENT SHALL BE REPAIRED BY THE PALM BEACH TRAFFIC DIVISION AT THE CONTRACTORS EXPENSE.
7. THESE SPECIFICATIONS MAY BE SUPERSEDED BY THE PERMITTING AGENCY.
8. TEMPORARY ASPHALT OR CONCRETE PATCH MUST BE APPLIED THE SAME DAY AS THE BACKFILL.
9. TRAFFIC AREAS OR WHERE SAFETY TO THE PUBLIC IS AT ISSUE A TEMPORARY ASPHALT OR CONCRETE PATCH MUST BE IMMEDIATELY PLACED.

Pavement Replacement

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PUSH ON JOINT PIPE RESTRAINT REQUIREMENTS AT FITTINGS, VALVES AND DEAD ENDS

PIPE SIZE	90° BEND	45° BEND	22½° BEND	11¼° BEND	REDUCER	VALVE	DEAD END	TEE
4"	54'	54'	36'	36'	54'	72'	72'	72'
6"	54'	54'	36'	36'	54'	72'	72'	72'
8"	54'	54'	36'	36'	54'	72'	72'	72'
10"	54'	54'	36'	36'	54'	108'	108'	108'
12"	72'	72'	54'	54'	72'	108'	108'	108'
14"	72'	72'	54'	54'	72'	108'	108'	108'
16"	72'	72'	54'	54'	72'	154'	154'	154'
18"	72'	72'	54'	54'	72'	154'	154'	154'
20"	90'	90'	54'	54'	90'	154'	154'	154'
24"	90'	90'	54'	54'	90'	172'	172'	172'
32"	90'	90'	54'	54'	90'	180'	180'	180'
36"	90'	90'	54'	54'	90'	270'	270'	270'
42"	108'	108'	54'	54'	108'	270'	270'	270'
48"	108'	108'	54'	54'	108'	270'	270'	270'
54"	108'	108'	54'	54'	108'	270'	270'	270'

MINIMUM LENGTH OF PUSH ON JOINT PIPE WITH SPECIAL RESTRAINING GASKETS

NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)

1. ALL BURIED PRESSURE MAINS SHALL INCLUDE A RESTRAINED JOINT SYSTEM. THE CONTRACTOR SHALL USE A DUCTILE IRON RESTRAINING SYSTEM AS MANUFACTURED BY EBAA IRON, INC. (MEGALUG) OR APPROVED EQUAL FOR ALL MECHANICAL JOINT FITTINGS AND LOCKING GASKETS FOR PUSH-ON JOINT PIPE.
2. RESTRAINING LENGTHS SHOWN ARE THE MINIMUM LENGTH REQUIRED BASED ON A TEST PRESSURE OF 150 P.S.I.G. WITH A MINIMUM COVER OF 30".
3. THRUST BLOCKS, IN ADDITION TO THE ABOVE OUTLINED RESTRAINTS, SHALL ALSO BE REQUIRED AT ALL TIE-INS TO EXISTING LINES, ALL TAPPING TEES ON EXISTING LINES, ALL NEW HYDRANTS, ALL ABOVE-GROUND ASSEMBLIES 3" AND LARGER AND MAINS GREATER THAN 12" IN DIAMETER.
4. IF LENGTH BETWEEN MECHANICAL JOINT FITTINGS AND/OR VALVES IS LESS THAN THE MINIMUM LENGTHS SHOWN IN THIS TABLE, THE CONTRACTOR SHALL RESTRAIN THE ENTIRE LENGTH.
5. FOR ALL C900 PVC PIPE. ADD A SAFETY FACTOR OF 1.1 TO THE ABOVE LENGTHS

Pipe Restraint Table

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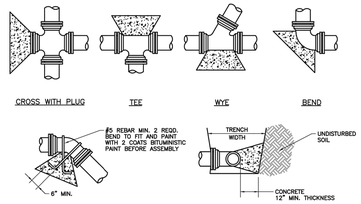

ALL THRUST BLOCKS SHALL BE FORMED. LAID FORMS SHALL BE INSPECTED BY SUA PRIOR TO THE POURING OF CONCRETE AND SHALL ALSO BE INSPECTED BY SUA PRIOR TO COVER- ING. TYPICAL LOCATIONS WHICH REQUIRE CONCRETE REACTIONS (THRUST) BLOCKS, FOR PRESSURE MAINS FOUR INCHES (4") AND GREATER CONCRETE SHALL HAVE 2500 P.S.I. MINIMUM STRENGTH AT TWENTY EIGHT (28) DAYS AND BEAR AGAINST UNDISTURBED STABLE SOILS, AREA OF CONTACT SHALL BE GOVERNED BY PIPE SIZE, MAXIMUM PRESSURE IN PIPE, AND BEARING CAPACITY OF SOIL. PROTECT FITTINGS, BOLTS, ETC. BY COVERING WITH VISQUINE OR OTHER ACCEPTABLE MATERIAL. CONCRETE SHALL BE A MINIMUM OF TWELVE INCHES (12") THICK.

(PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)

PIPE	THRUST BLOCK SOIL BEARING AREA REQUIRED	PIPE	THRUST BLOCK SOIL BEARING AREA REQUIRED	REMARKS
4"	2.0 SQ. FT.	18"	30.0 SQ. FT.	VALUES ARE FOR 90° BEND, BASED ON 2000 P.S.F. SAFE BEARING LOAD AND PIPE PRESSURE OF 150 P.S.I. PLUS 33% SAFETY FACTOR FOR OTHER SOILS AND PRESSURES.
6"	4.0 SQ. FT.	20"	37.0 SQ. FT.	
8"	6.6 SQ. FT.	24"	53.0 SQ. FT.	
10"	10.0 SQ. FT.	27"	80.0 SQ. FT.	
12"	14.0 SQ. FT.	30"	98.0 SQ. FT.	
14"	18.0 SQ. FT.	36"	127.0 SQ. FT.	
16"	24.0 SQ. FT.			

* THE ENGINEER OF RECORD SHALL CALCULATE THE SIZE OF THE DEADMAN REQUIRED AS WELL AS ANY INSTALLATION WHICH IS NOT COVERED BY THE ABOVE.

Thrust Blocks

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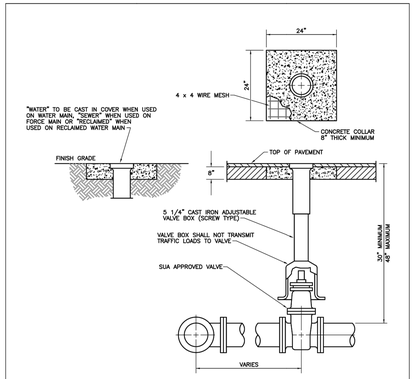

NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)

1. CONCRETE COLLAR MAY NOT BE REQUIRED IN PAVED AREAS IF PAVEMENT SURFACE IS FINISHED PRIOR TO FINAL INSPECTION AND VALVE BOX LID IS AT FINISHED GRADE.
2. WHEN VALVE IS DEEPER THAN 48" AN EXTENSION WILL BE REQUIRED TO BRING OPERATING NUT TO 24" OF FINISHED GRADE.
3. TWO OF THE FOLLOWING FORMS OF RESTRAINT SHALL BE USED WHEN PIPE IS GREATER THAN 12".
   A) APPROVED MECHANICAL JOINT RESTRAINT (i.e. MEGALUG)
   B) TIE RODS AND NUTS EQUAL IN DIA. TO TEE BOLTS AND NUTS, COATED WITH KOP-COAT 300-M OR APPROVED EQUAL.

Typical Underground Valve Installation

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INSTALLATION PROTOCOL

1. ALL PIPE IS TO BE LAID IN A CLEAN DRY TRENCH.
2. ALL MUCK AND UNSUITABLE MATERIALS ENCOUNTERED IN TRENCH BOTTOM SHALL BE REMOVED AND REPLACED WITH COMPACTED GRANULAR MATERIAL TO 98% OF MAXIMUM DENSITY PER AASHTO T-180. PROCTOR AND DENSITY TEST RESULTS SHALL BE SUBMITTED TO EDR WITH A COPY TO AUTHORITY.
3. ALL BACKFILL SHALL BE PLACED IN 12 INCH LIFTS AND COMPACTED BY MECHANICAL MEANS TO 98% OF MAXIMUM DENSITY PER AASHTO T-180 OR AS OTHERWISE REQUIRED BY THE PERMITTING AGENCY.
4. UTILITIES CROSSING ROAD RIGHT-OF-WAY SHALL BE INSTALLED PRIOR TO ROAD CONSTRUCTION AND BACKFILLED AND COMPACTED WITHIN RIGHT-OF-WAY LIMITS IN STRICT ACCORDANCE WITH THE DIRECTIONS OF THE EDR AND REQUIREMENTS OF ALL AGENCIES OF JURISDICTION.
5. EMBEDMENT MATERIALS BELOW PIPE SHALL CONFORM TO UNIFIED SOIL CLASSIFICATION SYSTEM (U.S.C.S.) SOIL CLASSIFICATION CLASS I OR II AS NOTED IN ASTM D2321.
6. ALL LINES UNDER CONSTRUCTION SHALL BE PLUGGED WITH A WING PLUG, AND ALL PRESSURE PIPES ARE TO BE PLUGGED WITH A MECHANICAL PLUG OR CAP AT THE END OF THE WORKING DAY TO PREVENT GROUND WATER AND POTENTIAL CONTAMINANTS FROM ENTERING COMPLETED LINES AND LINES UNDER CONSTRUCTION.
7. ABOVE GROUND PIPING, INCLUDING BUT NOT LIMITED TO, AERIAL CROSSINGS, LIFT STATION PIPING, FIRE LINES, METER/BACKFLOW PREVENTION DEVICE ASSEMBLIES, ETC. SHALL BE FLANGED AND BE COATED IN THE FOLLOWING MANNER: BLAST CLEAN AND REMOVE ALL PAINT AND ANY LOOSE MATERIAL IN ACCORDANCE WITH NACE SOO-3. BLASTING CLEANING SHALL BE PERFORMED USING NON-SILICA MEDIA. PAINT ALL EXTERIOR FERROUS METAL SURFACES. THE MANUFACTURER'S RECOMMENDATIONS FOR SURFACE PREPARATION, PRIMING, RE-COATING, ETC. SHALL BE STRICTLY FOLLOWED. DO NOT PAINT, OR COAT ANY NAMEPLATES, BRASS OR STAINLESS STEEL SURFACES. CONTRACTOR SHALL USE THE FOLLOWING PAINT SYSTEM OR APPROVED EQUAL:
   THEMEC
   A. PRIMER: THEMEC-MODIFIED POLYAMIDOAMINE EPOXY #135 (3.0 TO 5.0 MILS DFT) ALUMINUM COLOR
   B. INTERMEDIATE COAT: THEMEC-MODIFIED POLYAMIDOAMINE EPOXY (3.0 TO 5.0 MILS DFT) OFF WHITE COLOR
   C. FINISH COAT: SERIES 1074 ENDURA-SHIELD, DFT.
   THE FINISHED COAT OF PAINT SHALL BE GREEN IN COLOR FOR SANITARY SEWER, LAVENDER FOR RECLAIMED APPURTENANCES AND BLUE FOR POTABLE WATER APPURTENANCES.
8. ALL FLANGED PIPE SHALL BE CAULKED BETWEEN EACH FLANGE AND THREADS WITH SIKA 1 A URETHANE CAULK AFTER BLASTING AND PRIOR TO PRIMING.
9. ALL TIE RODS, BOLTS, NUTS, ETC. INSTALLED UNDERGROUND MUST BE COR TEN OR APPROVED EQUAL AND SHALL BE PAINTED WITH KOPPERS 300-M OR AN AUTHORITY APPROVED EQUAL. BRASS AND STAINLESS STEEL HARDWARE IS EXEMPT FROM THIS REQUIREMENT.
10. COATINGS AND LININGS DAMAGED DUE MISHANDLING OR OTHERWISE, MUST BE REPLACED. COATING AND LININGS DAMAGED DUE TO FIELD CUTTING SHALL BE REPAIRED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. THIS INCLUDES, BUT IS NOT LIMITED TO, CEMENT MORTAR AND POLYETHYLENE PIPE LININGS, PROTECTO 401, GALVANIZED COATINGS, PVC FENCE COATINGS AND OTHER TYPE COATINGS. APPROVAL MUST BE OBTAINED FROM AUTHORITY PRIOR TO PERFORMING COATING AND LINING REPAIRS. INSPECTIONS OF ALL REPAIRS ARE REQUIRED.
11. ALL STAINLESS STEEL NUTS, BOLTS AND HARDWARE REFERENCED IN THESE STANDARDS, SHALL BE SS 316 GRADE AND SHALL BE SO STAMPED BY THE MANUFACTURER TO VERIFY ALLOY. THE USE OF ANY OTHER STAINLESS STEEL ALLOY WILL REQUIRE SPECIFIC APPROVAL BY AUTHORITY. IN GENERAL, STAINLESS STEEL NUTS, BOLTS AND HARDWARE ARE REQUIRED IN AND AROUND LIFT STATIONS AND FOR FACILITIES INSTALLED OVER OR UNDER BRACKISH OR MARINE WATERS. THIS REQUIREMENT APPLIES TO FLANGE BOLTS AND NUTS ON FLANGED PIPING, MOUNTING BRACKETS, ALL THREAD ROD, ANCHOR BOLTS, WASHERS, CLAMPS AND OTHER MISCELLANEOUS HARDWARE. ANTI-GALLING COMPOUND ANTI-SEIZE LUBRICANT SHALL BE APPLIED TO THE THREADS OF ALL STAINLESS STEEL BOLTS PRIOR TO INSTALLATION.
    ANTI-SEIZE LUBRICANT SHALL BE GRAPHITE 50 ANTI-SEIZE BY LOCTITE CORPORATION, 1000 ANTI-SEIZE PASTE BY DOW CORNING OR 3M LUBE AND ANTI-SEIZE BY 3M.
12. ALL RUBBER AND SYNTHETIC ELASTOMERIC COMPONENTS OF PRODUCTS THAT COME IN CONTACT WITH POTABLE WATER SHALL BE MANUFACTURED WITH CHLORAMINE RESISTANT ELASTOMERS AND SHALL BEAR NSF APPROVAL.
13. ALL MAIN, INCLUDING FITTINGS, SHALL BE EASILY IDENTIFIABLE AS TO THEIR CONTENTS AND SHALL BE COLOR CODED OR MARKED USING THE UNIVERSAL COLOR CODE OF BLUE FOR WATER, GREEN FOR SEWER AND LAVENDER FOR RECLAIMED. PIPE STRIPED DURING MANUFACTURING OF THE PIPE SHALL HAVE CONTINUOUS STRIPES THAT RUN PARALLEL TO THE AXIS OF THE PIPE, THAT ARE LOCATED AT NO GREATER THAN 90-DEGREE INTERVALS AROUND THE PIPE, AND THAT WILL REMAIN INTACT DURING AND AFTER INSTALLATION OF THE PIPE. IF TAPE IS USED TO STRIPE PIPE DURING INSTALLATION OF THE PIPE, THE TAPE SHALL BE APPLIED IN A CONTINUOUS LINE IN A STRAIGHT MANNER TO THE AXIS OF THE PIPE AND THAT IS LOCATED ALONG THE TOP OF THE PIPE. FOR PIPES WITH AN INTERNAL DIAMETER OF 24 INCHES OR GREATER, TAPE SHALL BE APPLIED IN CONTINUOUS LINES ALONG EACH SIDE OF THE PIPE AS WELL AS ALONG THE TOP OF THE PIPE.

Pipe Installation Protocol

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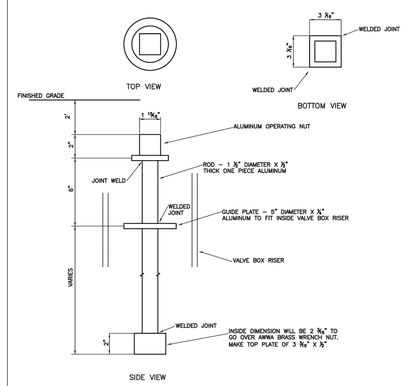

NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)

1. EXTENSIONS ARE REQUIRED FOR VALVES EXTENDING FOR MORE THAN 4 FEET BELOW FINISHED GRADE.
2. ALL MATERIALS SHALL BE 6061 T-6 ALUMINUM.

Valve Extension

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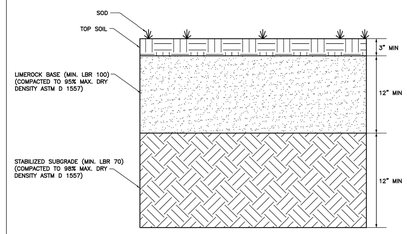

STABILIZED SUA EASEMENT SECTION

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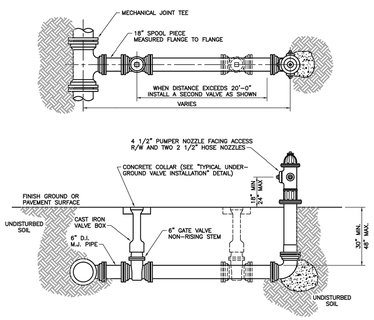

NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)

1. DRAINS OR WEEP HOLES ON HYDRANT BARREL SHALL BE PLUGGED.
2. FIRE HYDRANT SHALL BE INSTALLED PLUMB AND TRUE.
3. THRUST BLOCKS TO REST IN UNDISTURBED SOIL.
4. REFER TO EXHIBIT "D" SHOP SPECIFICATION LIST FOR ACCEPTABLE FIRE HYDRANTS.
5. TWO OF THE FOLLOWING FORMS OF RESTRAINT SHALL BE USED WHEN PIPE IS GREATER THAN 12".
   A) APPROVED MECHANICAL JOINT RESTRAINT (i.e. MEGALUG)
   B) TIE RODS AND NUTS EQUAL IN DIA. TO TEE BOLTS AND NUTS, COATED WITH KOP-COAT 300-M OR APPROVED EQUAL.

Typical Fire Hydrant Installation

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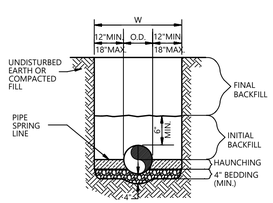
GENERAL NOTES

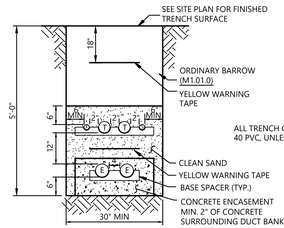
1. BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B COMPACTED TO 85% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION)
2. HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 85% PROCTOR.
3. INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 85% STANDARD PROCTOR.
4. INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS III COMPACTED TO 90% STANDARD PROCTOR.
5. FINAL BACKFILL SHALL BE CLASS I, II, OR III COMPACTED AS NOTED IN NOTES 3. AND 4.
6. FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS IV-A COMPACTED TO 95% STANDARD PROCTOR.
7. ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-89.
8. ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698. CLASS III AND IV-A MATERIALS SHALL BE COMPACTED NEAR OPTIMUM MOISTURE CONTENT.
9. FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
10. ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)



TYPICAL SECTION

SANITARY SEWER AND WATER LINE TRENCH AND BEDDING

N.T.S.



CONDUIT TYPE

- (E) 5" PVC ELECTRIC (1 ACTIVE, 1 SPARE)
- (T) 4" PVC TELEPHONE (1 ACTIVE, 1 SPARE)
- (F) 2" PVC FIRE ALARM
- (S) 2" PVC SPARE

ALL TRENCH CONDUITS SHALL BE SCHEDULE 40 PVC, UNLESS OTHERWISE NOTED.

COMMON TRENCH DETAIL ELECTRIC/TELEPHONE/FIRE ALARM/CABLE

N.T.S.

811 Know what's below. Call before you dig.

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NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR; NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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280 N CONGRESS AVE
TOWN OF LAKE PARK
PALM BEACH COUNTY, FLORIDA

TEXAS ROADHOUSE
TEXAS ROADHOUSE, INC.
CONSTRUCTION PLANS
CONSTRUCTION DETAILS

DATE 05/17/2023

REVISIONS

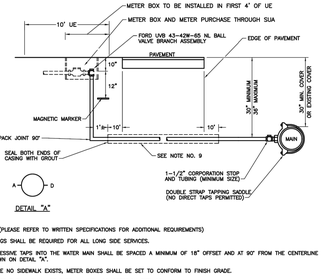
STATE OF FLORIDA PROFESSIONAL ENGINEER JAMES A. LONG LICENSE 72042

CAD FILE: 22005514- C700 DETAILS

ISSUED-FOR-CONSTRUCTION

DRAWN BY: MGB
CHECKED BY: BP
PROJECT MANAGER: BP
JOB #: 22005514
FILE CODE: ##
SHEET NO. C704

FILE NAME: K:\22005514

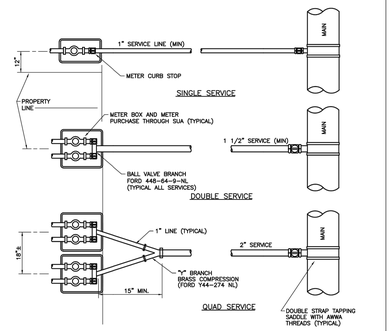


NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)

1. CASINGS SHALL BE REQUIRED FOR ALL LONG SIDE SERVICES.
2. SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED A MINIMUM OF 18" OFFSET AND AT 90° FROM THE CENTERLINE AS SHOWN ON DETAIL "A".
3. WHERE NO SIDEWALK EXISTS, METER BOXES SHALL BE SET TO CONFORM TO FINISH GRADE.
4. COPPER TUBING SHALL BE TYPE "K" WITH COMPRESSION FITTINGS.
5. POLYETHYLENE TUBING SHALL BE SDR 9, COPPER TUBE SIZE.
6. TAPPING SADDLES AND CORPORATION STOPS SHALL HAVE AWWA INLET THREADS.
7. SERVICE CASING SHALL NOT BE INSTALLED BY WATER JETTING UNDER ROADWAY.
8. GALVANIZED SCHEDULE 40 CASING REQUIRED FOR ANY INSTALLATION REQUIRING A JACK AND BORE, SCHEDULE 40 PVC MAY BE USED FOR AN OPEN CUT INSTALLATION WITH THE APPROVAL OF SUA, CASING SHOULD EXTEND TEN (10) FEET BEYOND EDGE OF PAVEMENT AND SIZED AS FOLLOWS:
   - 1" SERVICE USE 2" CASING
   - 1 1/2" SERVICE USE 3" CASING
   - 2" SERVICE USE 4" CASING

Water Service Installation - Angle Meter Stop

SEACOAST UTILITY AUTHORITY
CONSTRUCTION STANDARDS AND DETAILS
Revision B-18
DATE APPROVED: AUGUST 26, 2020
DRAWING No. 27

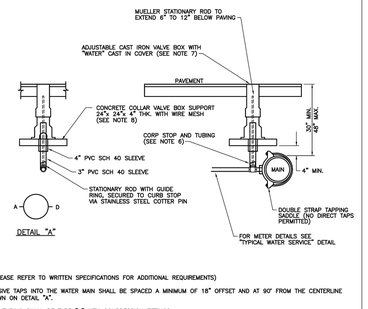


NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)

1. AUTHORIZED SERVICE LINE MATERIAL:
   A) TYPE "K" COPPER TUBING WITH COMPRESSION FITTINGS.
   B) POLYETHYLENE TUBING SDR 9, COPPER TUBE SIZE.
2. METER CURB STOP SHALL BE 1" MINIMUM.
3. 1" METER CURB STOPS WITH 3/4" VALVES SHALL NOT BE PERMITTED.
4. MULTIPLE SERVICE/METER INSTALLATIONS OF MORE THAN 4 METERS PER SERVICE AND SERVICE LINES LARGER THAN 2" IN DIAMETER SHALL BE HANDLED ON AN INDIVIDUAL BASIS.
5. METER CURB STOPS 1 1/2" AND 2" IN SIZE SHALL BE PROVIDED WITH BOTH A LOCKING CAP AND METER FLANGE.
6. NO FITTINGS BETWEEN CORP STOP AND METER CURB STOP ALLOWED WHEN USING POLYETHYLENE TUBING.

Typical Water Service

SEACOAST UTILITY AUTHORITY
CONSTRUCTION STANDARDS AND DETAILS
Revision B-18
DATE APPROVED: AUGUST 26, 2020
DRAWING No. 28

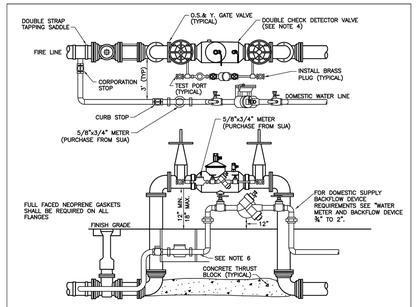


NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)

1. SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED A MINIMUM OF 18" OFFSET AND AT 90° FROM THE CENTERLINE AS SHOWN ON DETAIL "A".
2. COPPER TUBING SHALL BE TYPE "K" WITH COMPRESSION FITTINGS.
3. POLYETHYLENE TUBING SHALL BE SDR 9, COPPER TUBE SIZE.
4. BOTH COPPER AND POLYETHYLENE TUBING SERVICE LINES SHALL BE CONTINUOUS FROM CURB STOP TO ANGLE METER STOP WITH NO FITTINGS IN BETWEEN.
5. TAPPING SADDLES TO HAVE AWWA THREADS.
6. CORPORATION STOP AT THE MAIN TO HAVE MALE AWWA THREADS ON ONE SIDE AND BE COMPRESSION ON THE OTHER SIDE.
7. VALVE BOX SHALL BE 5 1/4" CAST IRON SCREW TYPE ADJUSTABLE.
8. CONCRETE COLLAR VALVE BOX SUPPORT TO BE PLACED ON COMPACTED SOIL TO SUPPORT VALVE BOX SO THAT A MINIMUM OF 4 INCHES EXISTS BETWEEN THE BOTTOM OF THE CONCRETE COLLAR AND THE TOP OF THE WATER MAIN.

Water Service Tap Under Pavement

SEACOAST UTILITY AUTHORITY
CONSTRUCTION STANDARDS AND DETAILS
Revision A-15
DATE APPROVED: AUGUST 26, 2020
DRAWING No. 30

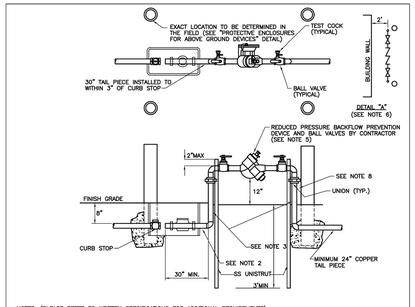


NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)

1. MECHANICAL JOINT FITTINGS SHALL BE REQUIRED UNDERGROUND AND FLANGED FITTINGS FOR ABOVE GROUND USE, NO UNIFLANGES PERMITTED.
2. PAINT THE ABOVE GROUND ASSEMBLY, INCLUDING ENTIRE LENGTH OF TIE RODS, IN ACCORDANCE WITH SUA CONSTRUCTION STANDARD SECTION 9, ITEM 7, AFTER MANUFACTURERS RECOMMENDED SURFACE PREP IS COMPLETED. DO NOT PAINT OVER NAME/SERIAL PLATE, STAINLESS STEEL BODY OR BRASS FITTINGS.
3. WHEN PROTECTIVE PIPE STANCHIONS OR SCREEN WALL IS REQUIRED, SEE "PROTECTIVE ENCLOSURES FOR ABOVE GROUND DEVICES" DETAIL.
4. APPROVED DOUBLE CHECK DETECTOR VALVE ASSEMBLIES WITH CHLORAMINE RESISTANT ELASTOMERS:
   A.) APOLLO MODEL DCDA LF4A, 4" TO 8"
   B.) ZURN WILKINS 350 AST
5. TYPE "K" COPPER TUBING (SOFT DRAWN) OR POLYETHYLENE TUBING SDR 9 COPPER TUBING SIZE. (UNDERGROUND USE ONLY) IF DISTANCE BETWEEN METER AND RISER IS LESS THAN 6 FEET ONLY COPPER TUBING SHALL BE PERMITTED.
6. TWO OF THE FOLLOWING FORMS OF RESTRAINT SHALL BE USED WHEN PIPE IS GREATER THAN 12".
   A.) APPROVED MECHANICAL JOINT RESTRAINT (i.e. MEGALUG)
   B.) TIE RODS AND NUTS EQUAL IN DIA. TO TEE BOLTS AND NUTS, COATED WITH KOP-COAT 300-M OR APPROVED EQUAL.

Fireline with 1" to 2" Domestic Supply

SEACOAST UTILITY AUTHORITY
CONSTRUCTION STANDARDS AND DETAILS
Revision C-20
DATE APPROVED: AUGUST 26, 2020
DRAWING No. 35

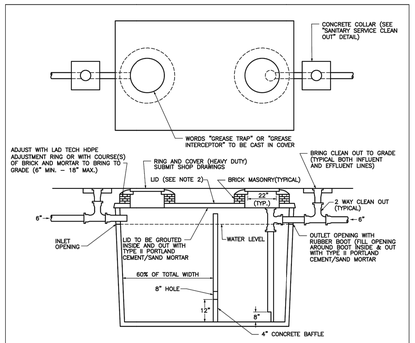


NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)

1. TYPE "K" COPPER TUBING (SOFT DRAWN) OR POLYETHYLENE TUBING SDR 9 COPPER TUBE SIZE.
2. IF THIS DISTANCE IS LESS THAN 6 FEET ONLY COPPER TUBING SHALL BE PERMITTED.
3. BOTH RISERS SHALL BE TYPE "K" COPPER TUBING (HARD DRAWN) WITH COPPER/BRASS SOLDER FITTINGS AND ADAPTERS. ONLY LEAD FREE PIPE, FITTINGS, VALVES, SOLDER AND FLUX SHALL BE PERMITTED.
4. 1 1/2" AND 2" METER STOPS SHALL BE EQUIPPED WITH LOCKING CAPS AND METER FLANGES.
5. APPROVED BACKFLOW PREVENTION DEVICES WITH SILICONE RUBBER SEAL RINGS OR DISCS:
   A.) WATTS MODEL LF919 3/4" TO 2"
   B.) AMES MODEL LF4008 3/4" TO 2"
   C.) WILKINS 975 XL2 3/4" TO 2"
   D.) APOLLO MODEL RPLF 4A 3/4" TO 2"
6. WHEN THE DEVICE IS INSTALLED PARALLEL TO A BUILDING WALL THERE SHALL BE A MINIMUM OF 2' BETWEEN THE EDGE OF THE DEVICE AND THE BUILDING WALL.
7. BACKFLOW PREVENTION DEVICE SHALL BE EQUIPPED WITH BALL VALVES.
8. BACKFLOW PREVENTION DEVICE SHALL BE SUPPORTED AT BOTH RISERS WITH A MINIMUM OF 2 – 1 5/8" STAINLESS STEEL UNISTRUTS. RISERS TO BE SECURED TO UNISTRUT WITH 304 STAINLESS STEEL MOUNTING HARDWARE AND 1/4" NEOPRENE INSULATORS BETWEEN ALL DISSIMILAR METALS.
9. BACKFLOW DEVICES SHALL BE A MINIMUM OF 3' FROM BACK OF CURB.

Water Meter and Backflow Device 3/4" to 2"

SEACOAST UTILITY AUTHORITY
CONSTRUCTION STANDARDS AND DETAILS
Revision C-16
DATE APPROVED: AUGUST 26, 2020
DRAWING No. 36

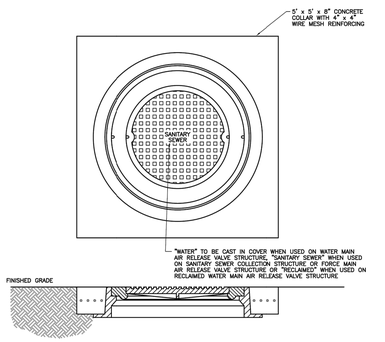


NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)

1. SHOP DRAWINGS FOR PRECAST TANKS SHALL BEAR THE FOLLOWING STATEMENT:"THIS CONCRETE STRUCTURE MEETS OR EXCEEDS ALL THE REQUIREMENTS FOR GREASE INTERCEPTORS/SEPTIC TANKS AS IN THE FLORIDA ADMINISTRATIVE CODE, CHAPTER 10D-6 AND 64E-6, AND SUA "SPECIFICATIONS AND STANDARDS". THE SHOP DRAWINGS (3 COPIES MINIMUM) SHALL THEN BE SIGNED AND SEALED BY THE ENGINEER OF RECORD AND FORWARDED TO SUA FOR APPROVAL.
2. LID TYPES:
   A) 4" REGULAR LID
   B) 8" TRAFFIC BEARING LID
3. ALL PIPING SHALL BE SOLVENT WELD PIPE.
4. ALL TANKS IN TRAFFIC AREA SHALL BE H20 WHEEL LOAD BEARING.
5. INSPECTION OF TANK REQUIRED BY SUA PRIOR TO PLACEMENT.
6. INSPECTION OF TANK REQUIRED BY SUA AFTER TANK IS PIPED.
7. TANKS IN SERIES SHALL HAVE BAFFLE IN LAST TANK ONLY.

Concrete Grease Interceptor

SEACOAST UTILITY AUTHORITY
CONSTRUCTION STANDARDS AND DETAILS
Revision D-20
DATE APPROVED: AUGUST 26, 2020
DRAWING No. 47

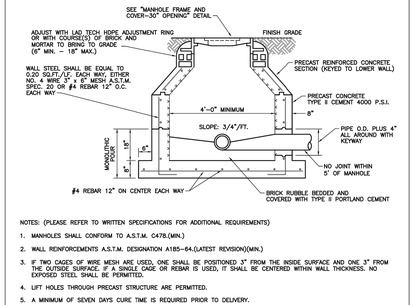


NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)

1. IN GREEN AREAS OR ANY AREA DEEMED TO HAVE QUESTIONABLE DRAINAGE, A WATER TIGHT MANHOLE INSERT SUCH AS "SEWER GUARD" OR APPROVED EQUAL WILL BE REQUIRED.
2. APPROVED MANHOLES (DOUBLE COVER TYPE):
   A) U.S. FOUNDRY MODEL No. 230-AB-M
   B) VULCAN FOUNDRY MODEL No. VM-101
3. CONCRETE COLLAR IS REQUIRED ONLY WHEN MANHOLE IS OUT OF PAVEMENT.

Manhole Frame and Cover (30" Opening)

SEACOAST UTILITY AUTHORITY
CONSTRUCTION STANDARDS AND DETAILS
Revision A-15
DATE APPROVED: AUGUST 26, 2020
DRAWING No. 50

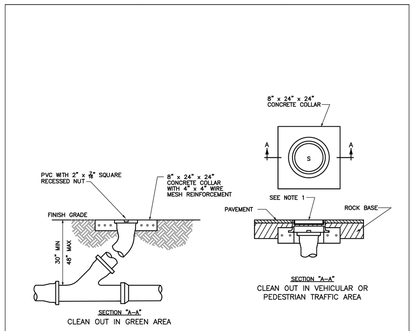


NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)

1. MANHOLES SHALL CONFORM TO A.S.T.M. C478.(MIN.)
2. WALL REINFORCEMENTS A.S.T.M. DESIGNATION A185–64.(LATEST REVISION)(MIN.)
3. IF TWO CAGES OF WIRE MESH ARE USED, ONE SHALL BE POSITIONED 3" FROM THE INSIDE SURFACE AND ONE 3" FROM THE OUTSIDE SURFACE. IF A SINGLE CAGE OR REBAR IS USED, IT SHALL BE CENTERED WITHIN WALL THICKNESS. NO EXPOSED STEEL SHALL BE PERMITTED.
4. LIFT HOLES THROUGH PRECAST STRUCTURE ARE PERMITTED.
5. A MINIMUM OF SEVEN DAYS CURE TIME IS REQUIRED PRIOR TO DELIVERY.
6. ALL PIPE HOLES SHALL BE PRECAST OR CORE DRILLED. OVERSIZED HOLES WILL BE REJECTED.
7. ANY VISIBLE REINFORCING WIRE, STEEL OR HONEYCOMBS SHALL BE CAUSE FOR REJECTION.
8. SEE TECHNICAL SPECIFICATIONS FOR BEDDING REQUIREMENTS.
9. "RAM-NEK" OR APPROVED EQUAL AT ALL RISER JOINTS (1/2" THICK WITH WIDTH AT LEAST 1/2 THE WALL THICKNESS) WITH GROUT ON INSIDE AND OUTSIDE.
10. ALL OPENINGS SHALL BE SEALED USING ONLY TYPE II PORTLAND CEMENT/SAND MORTAR AND POTABLE WATER FOR MUD WORK ON JOINTS, LIFTING HOLES, INVERTS, ETC. WHEN AN ACCELERATOR IS NECESSARY, "ANTI HYDRO" IS THE ONLY PRODUCT APPROVED.
11. BRICK MASONRY CONSTRUCTION TO BE STUCCOED WITH 3/4" TYPE II CEMENT INSIDE AND OUTSIDE, AND INSIDE TO BE COATED WITH TWO COATS OF KOPPERS 300 OR APPROVED EQUAL.
12. A FLOW CHANNEL SHALL BE CONSTRUCTED INSIDE MANHOLE TO DIRECT INFLUENT INTO FLOW STREAM, AND COATED WITH TWO COATS OF KOPPERS 300 OR APPROVED EQUAL.
13. INTERIOR OF ALL SANITARY MANHOLES SHALL HAVE AGRU SURE GRIP CONCRETE PROTECTIVE LINER INSTALLED AT THE TIME OF MANUFACTURING. SEE "AGRU SURE GRIP LINER DETAILS" DRAWING FOR ADDITIONAL AGRU SURE GRIP REQUIREMENTS.

Standard Precast Manhole

SEACOAST UTILITY AUTHORITY
CONSTRUCTION STANDARDS AND DETAILS
Revision B-18
DATE APPROVED: AUGUST 26, 2020
DRAWING No. 52

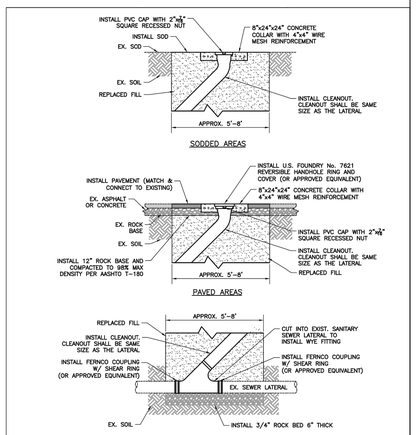


NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)

1. U.S. FOUNDRY NO. 7621 REVERSIBLE HANDHOLE RING AND COVER OR APPROVED EQUAL SHALL BE USED, COVER TO BE CAST WITH "S" IN THE CENTER.
2. CLEAN OUT REQUIRED ON ALL SERVICES AT PROPERTY LINE OR EASEMENT LINE WHERE APPLICABLE.
3. STANDARD WYE SHALL BE USED AT CLEAN OUT.

Sanitary Service Clean Out

SEACOAST UTILITY AUTHORITY
CONSTRUCTION STANDARDS AND DETAILS
Revision C-20
DATE APPROVED: AUGUST 26, 2020
DRAWING No. 59



CONNECTION TO EXISTING SEWER LATERAL

NOTES:
1. EXCAVATION DEPTH VARIES WITH DEPTH OF EXISTING SEWER LATERAL AND EXISTING SURFACE ELEVATIONS.
2. CONCRETE COLLARS SHALL BE MATCHED TO EXISTING GRADES IN WORK AREA.

Clean Out Connection To Existing Lateral

SEACOAST UTILITY AUTHORITY
CONSTRUCTION STANDARDS AND DETAILS
Revision A-20
DATE APPROVED: AUGUST 26, 2020
DRAWING No. 60

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TRACT A1 CONGRESS BUSINESS PARK
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TEXAS ROADHOUSE
TEXAS ROADHOUSE, INC.
CONSTRUCTION PLANS
CONSTRUCTION DETAILS

DATE 05/17/2023

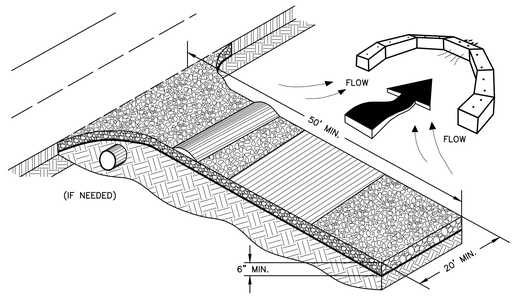
REVISIONS

JAMES A. LOWIE LICENSE 70046 STATE OF FLORIDA PROFESSIONAL ENGINEER

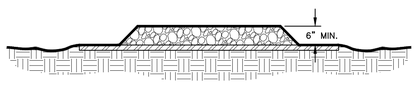
DRAWN BY: MGB
CHECKED BY: BP
PROJECT MANAGER: BP
JOB #: 22005514
FILE CODE: ##
SHEET NO. C705

CAD FILE: 22005514-C700 DETAILS
ISSUED-FOR-CONSTRUCTION

FILE NAME: K:\22005514-TR Lake Park\DWG\ENVSA PRODUCTION\22005514- C700 DETAILS.dwg LAST SAVED BY: bvooyer 5/12/2023 9:33 AM PLOTTED BY: Linda Sims 5/17/2023 PAPER: ARCH FULL BLEED D (24.00 X 36.00 INCHES) DEVICE: _AUTOCAD PDF (GENERAL DOCUMENTATION).PC3 PLOT STYLE: ATWELL.CTB



EXIT DIAGRAM

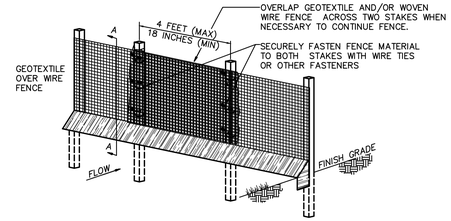


ENTRANCE ELEVATION

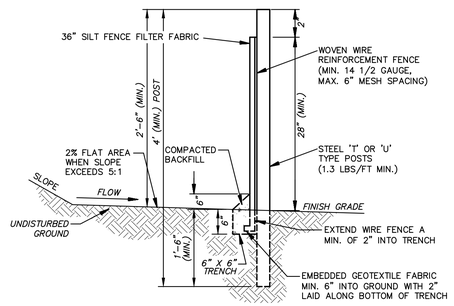
NOTES:
1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
5. PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
6. A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
9. WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

CRUSHED STONE CONSTRUCTION EXIT

N.T.S.



ELEVATION



SECTION A-A

1/4 ACRE PER 100-LF MAX DRAINAGE AREA

SEDIMENT BARRIER TYPE C SILT FENCE

N.T.S.

INSTALLATION

- DO NOT INSTALL ACROSS STREAMS, DITCHES, WATERWAYS OR OTHER AREAS OF CONCENTRATED FLOW.
- INSTALL WHERE SHEET FLOW CONDITION EXIST.
- START POST INSTALLATION AT THE CENTER OF THE LOWEST POINT WITH REMAINING POSTS SPACED 4 FEET APART.
- TYPE 'C' SILT FENCE SHALL BE USED WHERE RUNOFF FLOWS OR VELOCITIES ARE PARTICULARLY HIGH.
- TYPE 'C' SILT FENCE SHALL BE USED WHERE SLOPES EXCEED A VERTICAL HEIGHT OF 10 FEET.
- TWO ROWS OF TYPE 'C' SILT FENCE MUST BE USED ALONG ALL STREAM BUFFERS.
- WOVEN WIRE REINFORCEMENT FENCE TO BE FASTENED SECURELY TO STEEL POSTS WITH WIRE TIES OR APPROVED EQUAL AT TOP, MID AND BOTTOM.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE REINFORCEMENT FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.

SILT FENCE FILTER FABRIC

- UTILIZE DOT APPROVED FABRICS. COMMON EXAMPLES INCLUDE: MIRAFI 130X, AMOCO 1198, BELTECH 810, SI 915 SC, LING GTF 190
- UTILIZE FENCE FABRIC THAT MEETS THE FOLLOWING CRITERIA:
- TENSILE STRENGTH PER ASTM D-4632 WITH WARP-260 AND FILL-180 (LBS. MIN.)
- ELONGATION PER ASTM D-4632 OF 40% MAX
- APPARENT OPENING SIZE (MAX. SIEVE SIZE) PER ASTM D-4751 OF #30
- FLOW RATE OF 70 GAL/MIN/SQ.FT.
- ULTRAVIOLET STABILITY OF 80 PER ASTM D-4632 AFTER 300 HOURS WEATHERING IN ACCORDANCE WITH ASTM D-4355
- BURSTING STRENGTH OF 175 PSI MIN. PER ASTM D-3786

MAXIMUM SLOPE LENGTH

- WHERE ALL RUNOFF IS TO BE STORED BEHIND THE SILT FENCE, MAXIMUM SLOPE LENGTH SHALL NOT EXCEED:

LAND SLOPE	= MAX. SLOPE LENGTH
< 2%	= 100 FT.
2% - 5%	= 75 FT.
5% - 10%	= 50 FT.
10% - 20%	= 25 FT.
> 20%	= 15 FT.

- IN AREAS WHERE THE SLOPE IS GREATER THAN 20% OR 5:1, A FLAT AREA LENGTH OF 10 FT BETWEEN THE TOE OF THE SLOPE AND THE SILT FENCE MUST BE PROVIDED.

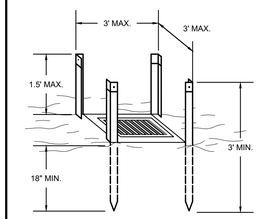
MAINTENANCE

- SEDIMENT SHALL BE REMOVED ONCE IT HAS ACCUMULATED TO ONE-HALF THE ORIGINAL HEIGHT OF THE BARRIER.
- FILTER FABRIC SHALL BE REPLACED WHENEVER IT HAS DETERIORATED TO SUCH AN EXTENT THAT THE EFFECTIVENESS OF THE FABRIC IS REDUCED (APPROX. 6 MONTHS), OR ANY TEARS OR HOLES ARE IN THE FABRIC.
- TEMPORARY SEDIMENT BARRIERS SHALL REMAIN IN PLACE UNTIL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED.
- ALL SEDIMENT ACCUMULATED AT THE BARRIER SHALL BE REMOVED AND PROPERLY DISPOSED OF BEFORE THE BARRIER IS REMOVED.

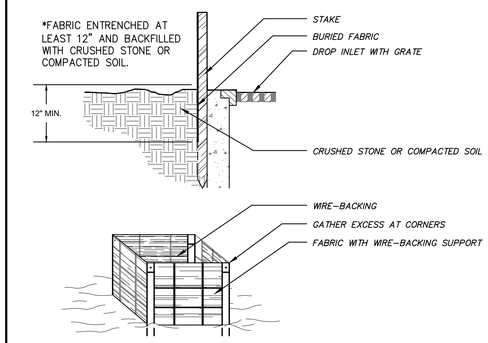
SEDIMENT BARRIER TYPE C SILT FENCE

N.T.S.

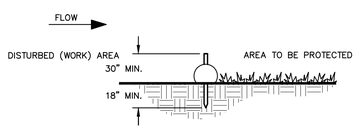
STEEL FRAME AND TYPE C SILT FENCE INSTALLATION



NOTES:
1. DESIGN IS FOR SLOPES NO GREATER THAN 5% (NOT DESIGNED FOR CONCENTRATED FLOWS).
2. THE STEEL POSTS SUPPORTING THE SILT FENCE MATERIAL SHOULD BE SPACED EVENLY AROUND THE PERIMETER OF THE INLET (MAXIMUM OF 3' APART).
3. THE STEEL POSTS SHOULD BE SECURELY DRIVEN AT LEAST 18" DEEP.
4. THE FABRIC SHOULD BE ENTRENCHED AT LEAST 12" AND THEN BACKFILLED WITH CRUSHED STONE OR COMPACTED SOIL.

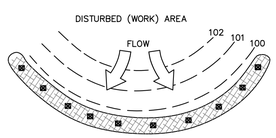


FABRIC AND SUPPORTING FRAME FOR INLET PROTECTION



NOTE:
FILTER SOCK SIZED TO SUIT CONDITIONS (SEE APPROVED LIST)

CROSS SECTION



PLAN

COMPOST FILTER SOCK

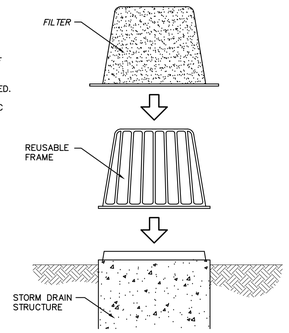
N.T.S.

INSTALLATION

- INSTALL ACCORDING TO APPROVED PLAN, IF SHOWN.
- INSTALL WHERE HEAVY FLOWS ARE EXPECTED.
- DO NOT INSTALL WHERE VEHICULAR TRAFFIC WILL BE AFFECTED.

MAINTENANCE

- INSPECT, CLEAR , AND/OR REPAIR AT THE END OF EACH WORKING DAY.
- DO NOT ALLOW SEDIMENT INTO THE STORM DRAIN.
- REMOVE SEDIMENT WHEN IT HAS ACCUMULATED UP TO THE HALF-WAY POINT OF THE SILT FENCE FABRIC.
- APPROPRIATELY STABILIZE ALL AREAS AROUND THE INLET UPON REMOVAL FOR FINAL STABILIZATION.



SPECIFICATIONS

MECHANICAL	PER ASTM	REQUIRED VALUE
TENSILE STRENGTH AT YIELD	D638-89	3600 psi
ELONGATION AT BREAK	D638-89	> 600%
TENSILE IMPACT	D1822-89	170 ft. lb. / in.^{2}
IMPACT BRITTLENESS TEMPERATURE	D746-79	< -105° F
ENVIRONMENTAL STRESS CRACK RESISTANCE	D1693-70	> 800 hrs.
HARDNESS, SHORE D	D2240-86	68

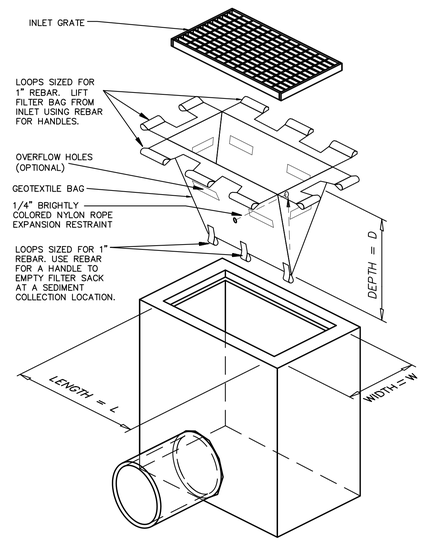
THERMAL	PER ASTM	REQUIRED VALUE
VICAT SOFTENING TEMPERATURE	D1525-87	254° F
HEAT DEFLECTION TEMPERATURE, 66 psi LOAD	D648-82	157° F
COEFFICIENT OF LINEAR THERMAL EXPANSION	D696-86	7 X 10^5 in/in/°F

PROCESSING	PER ASTM	REQUIRED VALUE
BULK DENSITY	D1895-89	37 lb. / ft.^{3}

FILTER, MAIN BODY	PER ASTM	REQUIRED VALUE
WEIGHT	D-3776	3.0 oz y^2
TENSILE STRENGTH	D-4632	80 lb.
ELONGATION AT BREAK	D-4632	50%
MULLEN BURST	D-3786	150
PUNCTURE STRENGTH	D-4833	50
TRAPEZOIDAL TEAR	D-4533	30
AOS-US STD SLEEVE	D-4751	70
PERMITTIVITY	D-4491	2.0
U.V. RESISTANCE, %	D-4355 (500 HOURS)	70

TEMPORARY INLET SEDIMENT TRAP (ALTERNATE CAP)

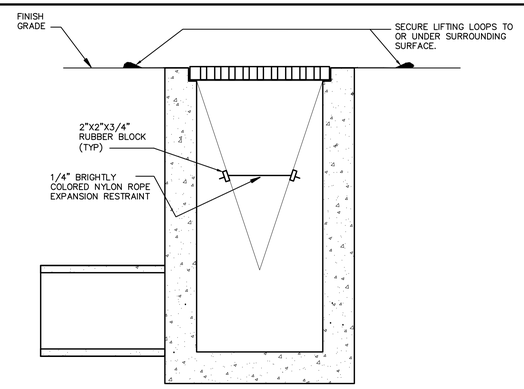
N.T.S.



ISOMETRIC VIEW

TEMPORARY INLET SEDIMENT TRAP (ALTERNATE BAG)

N.T.S.



SECTION VIEW

INSTALLATION

- INSTALL ACCORDING TO APPROVED PLAN, IF SHOWN.
- INSTALL WHERE HEAVY FLOWS ARE NOT EXPECTED AS THIS DEVICE HAS A TENDANCY TO CAUSE PONDING.
- GOOD FOR INSTALLATION WHERE VEHICULAR TRAFFIC MUST REMAIN ACTIVE, HOWEVER PONDING MUST BE CONSIDERED.
- INSTALL BY HANGING BAG INTO STORM STRUCTURE.
- ENSURE THE BAG IS SECURELY FASTENED WITH STEEL RODS FROM SLIPPING INTO THE STORM STRUCTURE.
- NOTE THAT THIS TYPE OF SEDIMENT TRAP BECOMES EXTREMELY HEAVY AND DIFFICULT TO REMOVE AS IT FILLS WITH SEDIMENT.
- FREQUENT MAINTENANCE IS REQUIRED FOR THIS SYSTEM TO FUNCTION PROPERLY.
- DO NOT USE IN PAVED AREAS WHERE PONDING MAY CAUSE TRAFFIC HAZARD.

MAINTENANCE

- INSPECT, CLEAR , AND/OR REPAIR AT THE END OF EACH WORKING DAY.
- DO NOT ALLOW SEDIMENT INTO THE STORM DRAIN.
- REMOVE SEDIMENT WHEN IT HAS ACCUMULATED UP TO THE NYLON ROPE, HALF-WAY POINT OF THE BAG.
- THIS METHOD SHOULD BE USED IN PAVED AREAS ONLY, HOWEVER PONDING MAY OCCUR.

TEMPORARY INLET SEDIMENT TRAP (ALTERNATE BAG)

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NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR; NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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TRACT A1 CONGRESS BUSINESS PARK
280 N CONGRESS AVE
TOWN OF LAKE PARK
PALM BEACH COUNTY, FLORIDA

TEXAS ROADHOUSE
TEXAS ROADHOUSE, INC.
CONSTRUCTION PLANS
EROSION CONTROL DETAILS

DATE 05/17/2023

REVISIONS

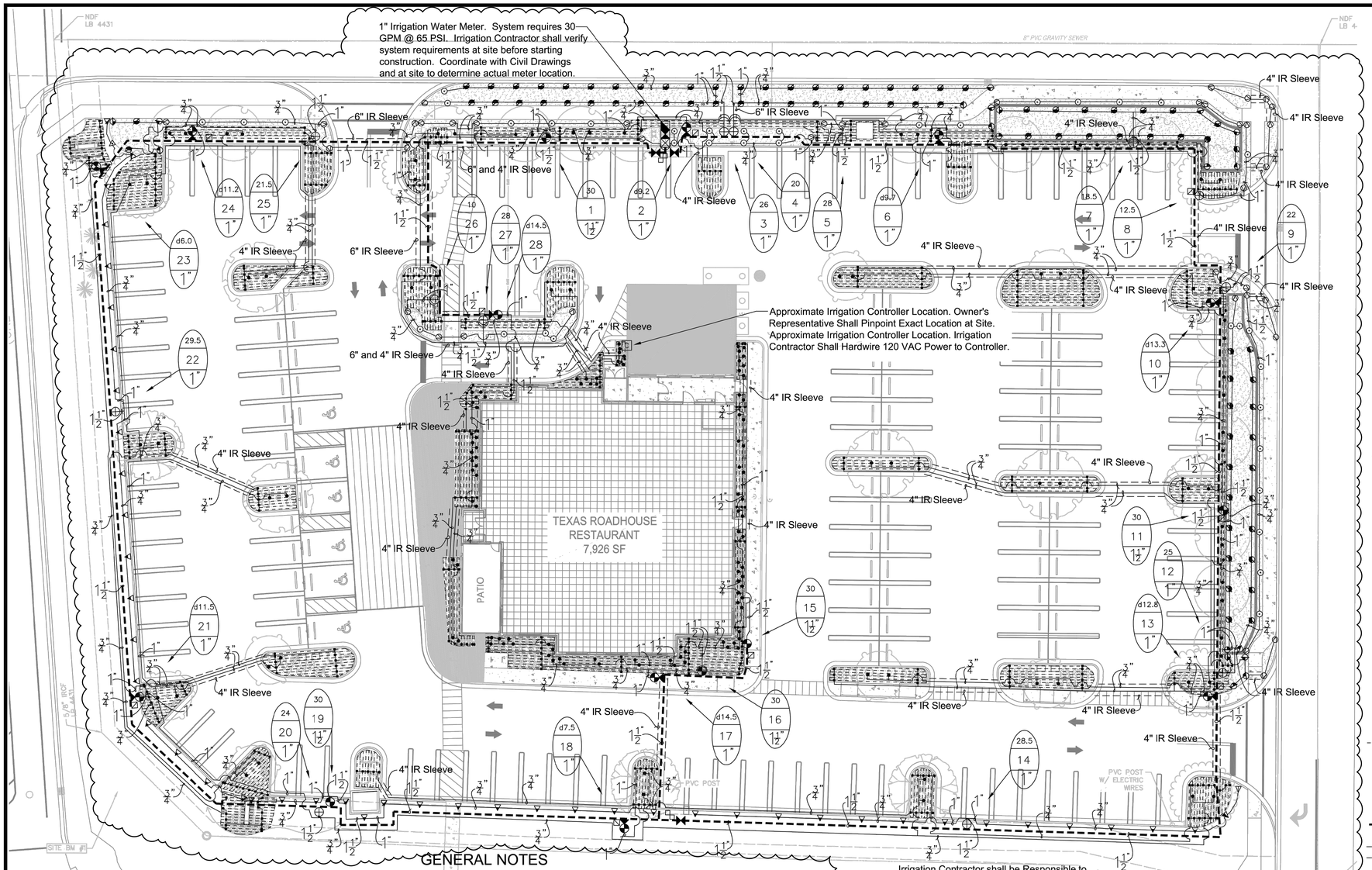
JAMES A. LOWE LICENSE 72044 STATE OF FLORIDA PROFESSIONAL ENGINEER

DRAWN BY: MGB
CHECKED BY: BP
PROJECT MANAGER: BP
JOB #: 22005514
FILE CODE: ##
SHEET NO. C800

CAD FILE: 22005514- C800 EROSION DETAILS

ISSUED-FOR-CONSTRUCTION

FILE NAME: K:\22005514-TR Lake Park\DWG\SHX\04 PRODUCTION\22005514- C800 EROSION DETAILS.dwg LAST SAVED BY: bvongar 3/28/2023 3:27 AM PLOTTED BY: Linda Sims 5/17/2023 PAPER: ARCH FULL BLEED D (24.00 X 36.00 INCHES) DEVICE: _AUTOCAD PDF (GENERAL DOCUMENTATION).PC3 PLOT STYLE: ATWELL.CTB



Irrigation Contractor shall be Responsible to Replace and/or Repair any Existing Irrigation Equipment Damaged during New Construction along Congress Ave and Water Tower Rd. Contractor shall be responsible to make any necessary adjustments to ensure 100% irrigation coverage is occurring in existing landscape area and that all irrigation is fully operational before final acceptance.

GENERAL NOTES

1. ALL MAINLINES TO HAVE A MINIMUM OF 18" OF COVER. (CLASS 200 PVC PIPE, CLASS 200 PVC FOR 4" AND LARGER).
2. ALL LATERAL AND SUB-MAIN PIPE TO HAVE A MINIMUM OF 12" OF COVER. (CLASS 200 PVC PIPE).
3. NO ROCKS, BOULDER, OR OTHER EXTRANEOUS MATERIALS TO BE USED IN BACKFILLING OF TRENCH.
4. ALL PIPE TO BE INSTALLED AS PER MANUFACTURERS' SPECIFICATIONS.
5. ALL THREADED JOINTS TO BE COATED WITH TEFLON TAPE OR LIQUID TEFLON.
6. ALL LINES TO BE THOROUGHLY FLUSHED BEFORE INSTALLATION OF SPRINKLER HEADS.
7. SPRINKLER AND RELATED EQUIPMENT TO BE INSTALLED AS PER DETAILS.
8. ALL ELECTRICAL JOINTS TO BE MADE USING WATERPROOF CONNECTIONS AS SHOWN ON DETAILS.
9. ALL EQUIPMENT NOT SPECIFIED IN THE LEGEND SHALL BE DETERMINED AND FURNISHED BY THE CONTRACTOR.
10. NO ELECTRICAL CONNECTIONS SHALL BE MADE IN THE FIELD EXCEPT AT A VALVE CONTROL BOX OR ANOTHER VALVE BOX SPECIFICALLY FOR CONNECTIONS.
11. ANY DISCREPANCY BETWEEN THIS SHEET AND OTHERS IN THIS SET MUST BE REFERRED TO THE IRRIGATION CONSULTANT BY THE CONTRACTOR FOR CLARIFICATION BEFORE PRECEEDING WITH THE WORK.
12. ALL TWO-WIRE CONTROL WIRES SHALL BE #14-2 MAXI CABLE, INSTALLED IN 1" SCH 40 PVC ELECTRICAL CONDUIT.
13. CONTRACTOR TO BE RESPONSIBLE FOR PROPER COVERAGE OF AREAS TO BE WATERED. I.E. ADJUST HEADS WITH INSUFFICIENT COVERAGE DUE TO BLOCKAGE BY EXISTING OR PROPOSED SITE FEATURES.
14. CONTRACTOR TO REFER TO LANDSCAPE PLAN TO KEEP SPRINKLER EQUIPMENT AND ACCESSORY MATERIAL FROM INTERFERING WITH PROPER PLANTING, i.e. VERIFY ROOT BALL SIZE FOR PLANTING.
15. CONTRACTOR SHALL PROVIDE EXPANSION COILS AT EACH WIRE CONNECTION IN VALVE BOX (WRAP AROUND 3/4" PIPE 12 TIMES).
16. CONTRACTOR TO UTILIZE APPROPRIATE AUTOMATIC DRAIN DEVICE WHERE LOW HEAD DRAINAGE MAY OCCUR.
17. ALL SPRINKLERS TO BE INSTALLED AS DETAILED ON PLANS.
18. CONTRACTOR SHALL UTILIZE VALVE I.D. TAGS ON ALL REMOTE CONTROL VALVES.
19. 24 VOLT WIRE SHALL BE COLOR CODED PER SEPARATE WIRE RUNS.
20. CONTRACTOR SHALL INSTALL MANUFACTURERS' RECOMMENDED GROUNDING EQUIPMENT FOR POWER SUPPLY AND VALVE OUTPUT WITH PAIGE WIRE GROUND PLATE ASSEMBLY.
21. CONTRACTOR SHALL INSTALL MANUFACTURERS' RECOMMENDATION ON FAULT GROUND AND LIGHTNING PROTECTION.
22. CONTROLLER GROUNDING MUST BE AS PER RAIN BIRD WIRE GROUNDING REQUIREMENTS
23. ALL MATERIAL TO BE SUPPLIED BY CONTRACTOR TO OWNER:
    A. TWO WRENCHES FOR DISASSEMBLING AND ADJUSTING EACH TYPE OF SPRINKLER HEADS AND VALVE SUPPLIED.
    B. TWO KEYS FOR EACH OF THE AUTOMATIC CONTROLLERS.
    C. TWO QUICK COUPLER KEYS WITH MATCHING HOSE SWIVELS.
24. SYSTEM IS DIAGRAMMATIC TO IMPROVE CLARITY. ALL MAINLINE PIPING ELECTRIC VALVES AND WIRING ARE TO BE INSTALLED IN LANDSCAPE AREAS AND WITHIN PROPERTY BOUNDARIES. CONTRACTOR SHALL REFERENCE THE LANDSCAPE PLAN PRIOR TO THE INSTALLATION OF PIPING TO AVOID CONTACT WITH PLANT MATERIALS EXISTING OR NEW.
25. CONTRACTOR TO ADD EXTENSION RISER TO POP-UP HEADS WHEN NEEDED FOR PROPER COVERAGE.
26. CONTRACTOR SHALL INSTALL SPRINKLER EQUIPMENT 12" FROM FOUNDATIONS. ALSO INSTALL SPRINKLERS 4" FROM CURB OR WALKS.
27. PRIOR TO BID IRRIGATION CONTRACTOR SHALL VERIFY RIGHT-OF-WAY AND BACKFLOW REQUIREMENTS. NO LATER THAN FIVE DAYS BEFORE BID SUBMITTALS CONTRACTOR SHALL NOTIFY CONSULTANT OF ANY CHANGES FROM PLANS AND SPECIFICATIONS.
28. IRRIGATION CONTRACTOR SHALL PROVIDE THE OWNER AND LANDSCAPE ARCHITECT WITH A REPRODUCIBLE CROSS MEASURED AS-BUILT DRAWING OF THE INSTALLED IRRIGATION SYSTEM IN AUTOCAD 2010 FORMAT BEFORE FINAL ACCEPTANCE.
29. A 1-YEAR WARRANTY PERIOD SHALL BE PROVIDED FOR SYSTEM AFTER SUBSTANTIAL COMPLETION IS ACCEPTED. START UP AND ADJUSTING OF SYSTEM IN SPRING TIME SHALL BE INCLUDED IN WARRANTY.
30. PRIOR TO BID, CONTRACTOR SHALL VERIFY THAT ALL MATERIALS, INSTALLATION PARAMETERS AND OPERATIONS CONFORM TO ALL APPLICABLE CODES AND ORDINANCES. NO LATER THAN FIVE DAYS BEFORE BID SUBMITTALS CONTRACTOR SHALL NOTIFY IRRIGATION CONSULTANT/DESIGNER OF ANY CHANGES REQUIRED DUE TO CURRENT CODE OR ORDINANCE DISCREPANCIES. IF CONTRACTOR DOES NOT COMPLY TO THIS NOTIFICATION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY INSTALLATION CHANGE AND REDESIGN COSTS FOR NON-COMPLIANCE.
31. UNLESS OTHERWISE NOTED, THE CONTRACTOR MUST COMPLETE 2 PRESSURE TESTS OF THE IRRIGATION SYSTEM MAINLINE (BOTH TO SHOW NO DROP IN PRESSURE DURING DURATION OF TEST.
    A. 2-HOUR PRESSURE TEST AT 1.5 TIMES THE SYSTEM STATIC PRESSURE
    B. 24-HOUR PRESSURE TEST AT THE SYSTEM STATIC PRESSURE
32. IRRIGATION INSTALLATION CONTRACTOR SHALL PROVIDE OWNER WITH A COLOR-CODED ZONES DIAGRAM PLAN, 8-1/2"X11" LAMINATED SHEET(S), TO IDENTIFY CONTROLLER STATION TO THE CONTROL VALVE NUMBER FOR EACH CONTROLLER. TO BE LOCATED IN ADHESIVE POUCH ATTACHED INSIDE OF CONTROLLER(S).

IRRIGATION LEGEND

- 1" WATER METER, SYSTEM REQUIRES 30 GPM @ 65 PSI. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE SYSTEM REQUIREMENTS AT SITE BEFORE STARTING CONSTRUCTION.
- WATTS #LF909-M1-QT-2", 2" REDUCED PRESSURE ASSEMBLY BACKFLOW PREVENTER. DETAIL-B.
- BLOWOUT ASSEMBLY. DETAIL-L.
- MANUAL DRAIN VALVE. SCH 80 PVC TRUE UNION BALL VALVE. DETAIL-E.
- C — RAIN BIRD ESP-LXD CONTROLLER, 50 TOTAL STATIONS, 2-WIRE/DECODER BASED MODULAR CONTROLLER, FOUR PROGRAMS, PLASTIC, WALL MOUNTED. DETAIL-J,K,V. IRRIGATION CONTRACTOR SHALL ALSO INSTALL A WIRELESS RAIN/FREEZE SENSOR FOR EACH CONTROLLER.
- RAIN BIRD 150-PEB-PRS PLASTIC ELECTRIC REMOTE CONTROL VALVE, 1-1/2" SIZE, MOUNTED WITH SCH 80 PVC TRUE UNION BALL VALVE WITH PRESSURE REGULATION DEVICES, MOUNTED WITH RAIN BIRD SINGLE STATION DECODER (FD-101TURF). DETAIL-A.
- RAIN BIRD 100-PEB-PRS PLASTIC ELECTRIC REMOTE CONTROL VALVE, 1" SIZE, MOUNTED WITH SCH 80 PVC TRUE UNION BALL VALVE WITH PRESSURE REGULATION DEVICES, MOUNTED WITH RAIN BIRD SINGLE STATION DECODER (FD-101TURF). DETAIL-A.
- RAIN BIRD 1806-SAM, 6" POP-UP LAWN SPRAY SPRINKLER, 12' RADIUS, FULL-2.0 GPM, HALF-1.0 GPM, QUARTER-0.5 GPM, 30 PSI. DETAIL-C.
- RAIN BIRD 1806-SAM, 6" POP-UP LAWN SPRAY SPRINKLER, 15' RADIUS, FULL-4.0 GPM, HALF-2.0 GPM, QUARTER-1.0 GPM, 30 PSI. DETAIL-C.
- RAIN BIRD 1806-SAM, 6" LAWN POP-UP SIDE STRIP SPRAY SPRINKLER, 9' X 18' RADIUS, 1.5 GPM, 30 PSI. DETAIL-C.
- RAIN BIRD 1806-SAM, 6" LAWN SIDE STRIP SPRAY SPRINKLER, 4' X 30' RADIUS, 1.5 GPM, 30 PSI. DETAIL-C.
- RAIN BIRD 1806-SAM, 6" LAWN END STRIP SPRAY SPRINKLER, 4' X 15' RADIUS, 1.0 GPM, 30 PSI. DETAIL-C.
- RAIN BIRD 1812-SAM, 12" HI-POP SHRUB SPRAY SPRINKLER, 15' RADIUS, FULL-4.0 GPM, HALF-2.0 GPM, QUARTER-1.0 GPM, THREE QUARTER-3.0 GPM, 30 PSI. DETAIL-D.
- RAIN BIRD 1812-SAM, 12" HI-POP SHRUB SPRAY SPRINKLER, 12' RADIUS, FULL-2.0 GPM, 30 PSI. DETAIL-D.
- RAIN BIRD 1812-SAM, 12" HI-POP SHRUB SIDE STRIP SPRAY SPRINKLER, 9' X 18' RADIUS, 1.5 GPM, 30 PSI. DETAIL-D.
- RAIN BIRD 1812-SAM, 12" HI-POP SHRUB SIDE STRIP SPRAY SPRINKLER, 4' X 30' RADIUS, 1.5 GPM, 30 PSI. DETAIL-D.
- RAIN BIRD 1812-SAM, 12" HI-POP SHRUB END STRIP SPRAY SPRINKLER, 4' X 15' RADIUS, 1.0 GPM, 30 PSI. DETAIL-D.
- RAIN BIRD TREE ROOT WATERING ASSEMBLY. RWS-BG-02, 1.0 GPM. DETAIL-F.
- RAIN BIRD #5 QUICK COUPLING VALVE 1" SIZE. CONTRACTOR TO SUPPLY TWO QCV KEYS AND MATCHING HOSE SWIVELS. DETAIL-P.
- SCH 80 PVC TRUE UNION BALL VALVE, SIZED SAME AS MAINLINE, MOUNTED IN CARSON VALVE BOX, DETAIL-Q
- RAIN BIRD DRIP ZONE ASSEMBLY KIT, MODEL #XCZ-100-PRB-COM. 1" SIZE. TO BE INSTALLED WITH RAIN BIRD SINGLE STATION DECODER (FD-101). DETAIL-M.

  NOTE: FOR ANY DRIP ZONE WITH FLOW UNDER 3 GPM, MUST UTILIZE RAIN BIRD XCZ-LF-100-PRF, LOW FLOW DRIP VALVE ASSEMBLY.
- POINT OF CONNECTION - DRIP LINE TUBING TO PVC PIPE, DETAIL-N,O.
- DRIP TUBING: RAIN BIRD XFS DRIPLINE DRIP TUBING, .6 GPH, 12" CENTERS, STAKED EVERY TURN OR EVERY 4', INSTALL NETAFIM AIR RELIEF VALVE KIT IN 10" CIRCULAR VALVE BOX AT HIGH POINT OF EACH ZONE AND INSTALL NETAFIM DRIP DRAIN VALVE(S) IN 10" CIRCULAR VALVE BOX AT LOW POINT(S) OF EACH ZONE. DETAIL-N,O,R,S,T.

  NOTE:
  CONTRACTOR SHALL INSTALL RAIN BIRD DRIP OPERATION INDICATOR KIT AT ENDS OF EACH DRIP ZONE AREA (DETAIL-R).
- MAINLINE PIPE: 1-1/2" SIZE IF NOT NOTED. CLASS 200 PVC SOLVENT WELD PIPE UTILIZING SCH 40 PVC SOLVENT WELD FITTINGS.
- IRRIGATION SLEEVE: CLASS 200 PVC, SIZE NOTED ON PLAN. DETAIL-H.
- LATERAL LINE PIPE: CLASS 200 PVC SOLVENT WELD PIPE UTILIZING SCH 40 PVC SOLVENT WELD FITTINGS, SIZE NOTED.
- ELECTRICAL CONDUIT SLEEVE, REFER TO NOTES ON PLANS.

NOTES:
1. ALL SPRINKLER TO BE MOUNTED ON MARLEX ELLS OR UNITIZED SWING JOINTS (AS SPECIFIED ON DETAILS).
2. CONTRACTOR TO UTILIZE A AUTOMATIC DRAIN CHECK VALVE DEVICE WHERE LOW HEAD DRAINAGE MAY OCCUR.
3. ALL TWO-WIRE CABLE TO BE MINIMUM SIZE OF 14-2 MAXI-CABLE. **WIRE SIZING MUST BE DONE IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS FOR WIRE LENGTH RUNS, DECODER NUMBERS, ETC.**
4. ALL TWO-WIRE CABLE TO BE INSTALLED IN 1" SCH 40 PVC ELECTRICAL CONDUIT.
5. ALL ELECTRICAL CONDUITS OPENINGS TO BE FOAM SEALED.
6. ALL WIRE SPLICES TO BE MADE WITH 3M DBR/Y-6 CONNECTORS MOUNTED IN A MINIMUM OF 10" CARSON VALVE BOX
7. ALL PIPING AND WIRING UNDER HARDTOPS WILL BE IN CLASS 200 PVC PIPE SLEEVE.
8. LSP-1 SURGE ARRESTORS SHALL BE INSTALLED EVERY 300' OR EVERY 6 DECODERS (WHICHEVER IS SHORTER) ALONG TWO-WIRE PATH. LSP-1 SURGE ARRESTORS SHALL ALSO BE INSTALLED AT ALL TERMINAL ENDS OF TWO-WIRE CABLE PATHS (STAR CONFIGURATION). REFER TO DETAIL-U.
9. INSTALLATION CONTRACTOR SHALL ADHERE TO ALL MANUFACTURER SPECIFICATIONS FOR TWO-WIRE CONTROL SYSTEM INSTALLATION (WIRE SIZING, WIRE LENGTH OF RUNS, GROUNDING, ETC).

TYPICAL VALVE INDICATOR

28.5	GALLONS PER MIN.
10	STATION NUMBER
1½"	VALVE SIZE

811 Know what's below. Call before you dig.

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280 N CONGRESS AVE
TOWN OF LAKE PARK
PALM BEACH COUNTY, FLORIDA

TEXAS ROADHOUSE
TEXAS ROADHOUSE, INC.
CONSTRUCTION PLANS
IRRIGATION PLAN

DATE	12/15/2022
#1	05/02/2023
REV. - CITY COMMENTS - #4	

REVISIONS

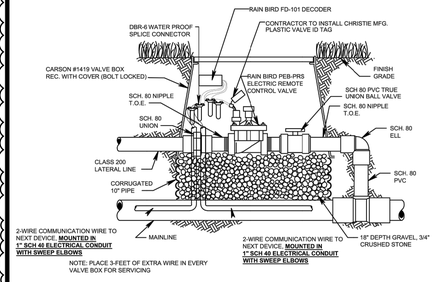
SCALE: 1"=20' (0, 10', 20')

DRAWN BY: MGB
CHECKED BY: ICS
PROJECT MANAGER: BP
JOB #: 22005514
FILE CODE: ##
SHEET NO. I100

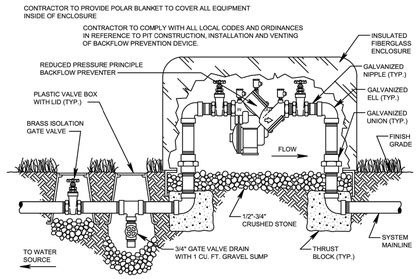
NOT-ISSUED-FOR-CONSTRUCTION
CAD FILE: TR-UPDATED-IRR-BASE

IRRIGATION LEGEND

SPECIAL IRRIGATION NOTE:
ALL IRRIGATION EQUIPMENT SHALL BE COLOR CODED AND IDENTIFIED FOR RECLAIMED WATER USE (IE PURPLE PIPE) AS PER LOCAL WATER AUTHORITY'S CODES AND REGULATIONS.

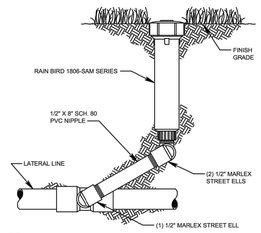


A CONTROL VALVE
NTS

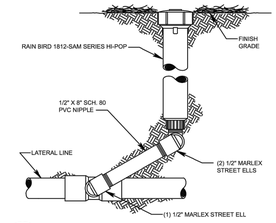


F RPA BACKFLOW DEVICE
NTS

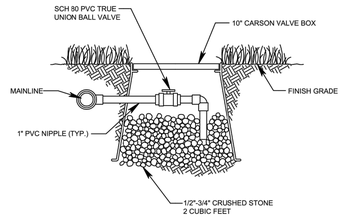
✳ IRRIGATION CONTACTOR SHALL SUBMIT BACKFLOW DETAIL TO LOCAL AUTHORITIES FOR APPROVAL BEFORE STARTING CONSTRUCTION.



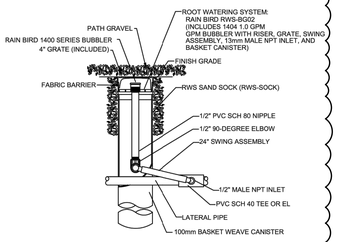
C LAWN SPRAY
NTS



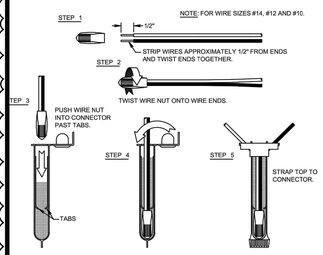
D SHRUB SPRAY
NTS



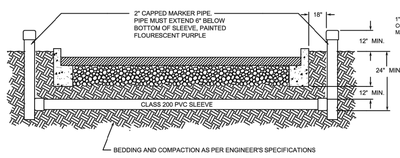
E MANUAL DRAIN VALVE
NTS



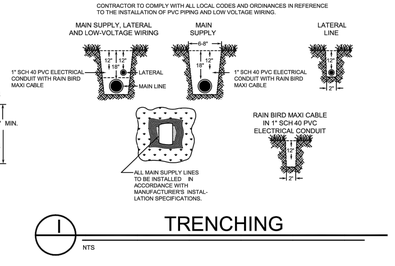
M ROOT WATERING SYSTEM
NTS



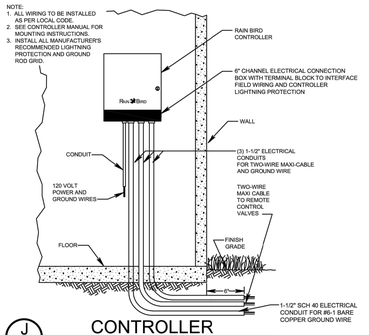
G WIRE CONNECTION
NTS
3M-DBR/Y-6



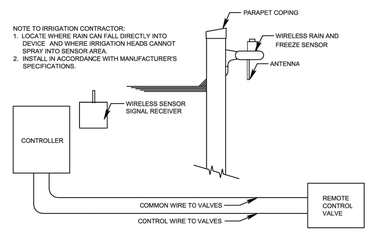
H SLEEVING
NTS



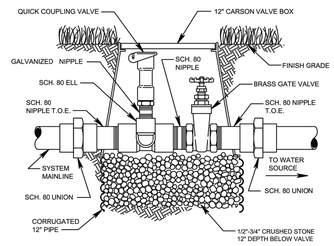
I TRENCHING
NTS



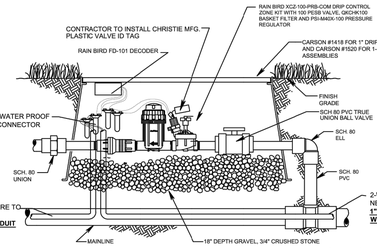
J CONTROLLER
NTS



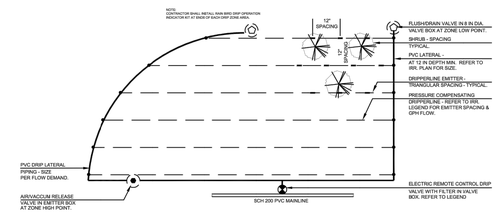
K RAIN/FREEZE SENSOR
NTS



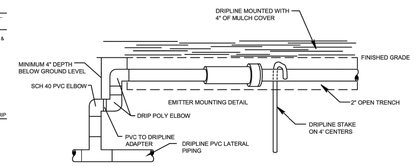
L BLOWOUT ASSEMBLY
NTS



M DRIP ASSEMBLY
NTS



N IRRIGATION DRIPLINE
NTS



O DRIP EMITTER
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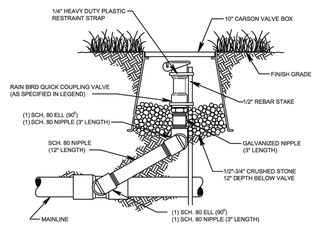
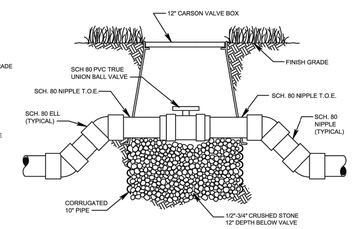
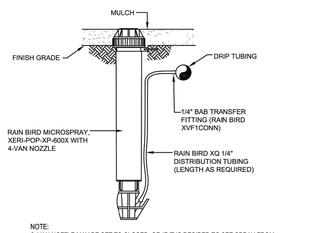


P QUICK COUPLING VALVE
NTS

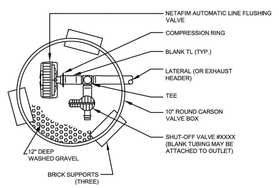


Q ISOLATION BALL VALVE
NTS

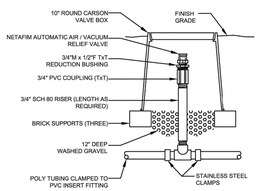


NOTE:
2. VAN NOZZLE MAY BE SET TO CLOSED, OR IF IT IS DESIRED TO SEE SPRAY FROM THE NOZZLE, SET THE ARC TO ¼ PATTERN. THE FLOW FROM THE NOZZLE, 0.3 GPM, SHOULD BE ACCOUNTED FOR IN THE SYSTEM DESIGN.

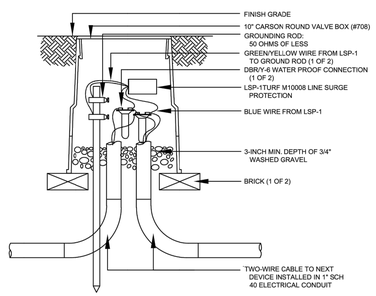
R DRIPLINE OPERATOR INDICATOR
NTS



S LINE FLUSHING VALVE
NTS

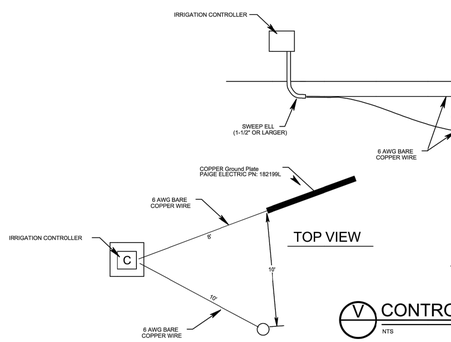


T AIR/VACUUM RELIEF
NTS



NOTES:
1. LSP-1 SHOULD BE INSTALLED EVERY 500 FT ON TWO-WIRE PATH OR EVERY 8 DECODERS (WHICHEVER IS SHORTER).
2. LSP-1 TO BE INSTALLED AT END OF WIRE RUN THAT TERMINES IN THE FIELD (STAR CONFIGURATION).

U SURGE PROTECTION TO TWO-WIRE PATH
NTS



V CONTROLLER GROUNDING
NTS

NOTE
IF 10 OHMS OR LESS RESISTANCE CAN NOT BE ACHIEVED WITH THE GROUND GRID AND BARE WIRE TO THE IRRIGATED AREA, INSTALL 100mm PREFORATED PIPE IN CENTER OF THE GROUNDING GRID AND FILL WITH POWERFIL GROUND TREATEMENT. IDEALLY THE PIPE SHOULD BE AS DEEP AS THE GROUND RODS. BARE COPPER WIRE SHALL EXTEND AT LEAST 100' INTO IRRIGATION AREA.

GROUNDING TO BE INSTALLED AS PER ASIC GUIDELINES WITH GROUNDING PLATE.

811 Know what's below. Call before you dig.
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR; NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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24 HOUR EMERGENCY CONTACT
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1800 PARKWAY PLACE, SUITE 700
MARETTA, GA 30067
COA # PE0002804

TRACT A1 CONGRESS BUSINESS PARK
280 N CONGRESS AVE
TOWN OF LAKE PARK
PALM BEACH COUNTY, FLORIDA

TEXAS ROADHOUSE
TEXAS ROADHOUSE, INC.
CONSTRUCTION PLANS
IRRIGATION DETAILS

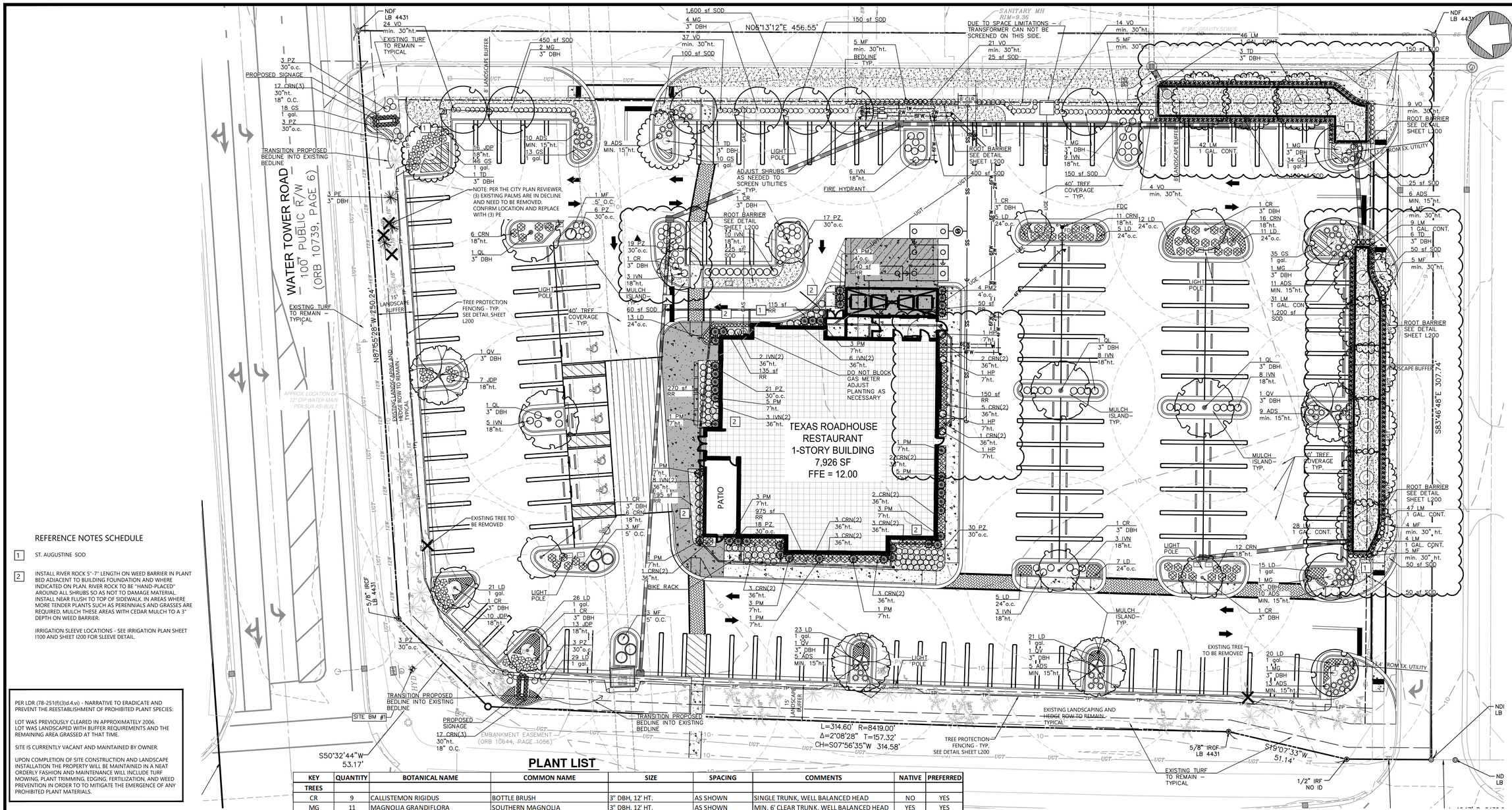
DATE	12/15/2022
#1	05/02/2023
REV. - CITY COMMENTS - #4	

REVISIONS

DRAWN BY: MGB
CHECKED BY: ICS
PROJECT MANAGER: BP
JOB #: 22005514
FILE CODE: ##
SHEET NO. I200

CAD FILE: TR-UPDATED-IRR-BASE
NOT-ISSUED-FOR-CONSTRUCTION

FILE NAME: C:\Working\Texas Roadhouse\#-22005\TR-updated-irr-base.dwg LAST SAVED BY: cjhne 5/2/2023 11:16 AM PLOTTED BY: Corey June 5/2/2023 PAPER: ARCH FULL BLEED D (36.00 X 24.00 INCHES) DEVICE: DWG TO PDF.PC3 PLOT STYLE: ATWELL.CTB



REFERENCE NOTES SCHEDULE

1. ST. AUGUSTINE SOD
2. INSTALL RIVER ROCK 5"-7" LENGTH ON WEED BARRIER IN PLANT BED ADJACENT TO BUILDING FOUNDATION AND WHERE INDICATED ON PLAN. RIVER ROCK TO BE "HAND-PLACED" AROUND ALL SHRUBS SO AS NOT TO DAMAGE MATERIAL. INSTALL NEAR FLUSH TO TOP OF SIDEWALK. IN AREAS WHERE MORE TENDER PLANTS SUCH AS PERENNIALS AND GRASSES ARE REQUIRED, MULCH THESE AREAS WITH CEDAR MULCH TO A 3" DEPTH ON WEED BARRIER.

   IRRIGATION SLEEVE LOCATIONS - SEE IRRIGATION PLAN SHEET I100 AND SHEET I200 FOR SLEEVE DETAIL.

PER LDR (78-251(f)(3)d.4.vi) - NARRATIVE TO ERADICATE AND PREVENT THE REESTABLISHMENT OF PROHIBITED PLANT SPECIES:

LOT WAS PREVIOUSLY CLEARED IN APPROXIMATELY 2006. LOT WAS LANDSCAPED WITH BUFFER REQUIREMENTS AND THE REMAINING AREA GRASSED AT THAT TIME.

SITE IS CURRENTLY VACANT AND MAINTAINED BY OWNER.

UPON COMPLETION OF SITE CONSTRUCTION AND LANDSCAPE INSTALLATION THE PROPERTY WILL BE MAINTAINED IN A NEAT ORDERLY FASHION AND MAINTENANCE WILL INCLUDE TURF MOWING, PLANT TRIMMING, EDGING, FERTILIZATION, AND WEED PREVENTION IN ORDER TO TO MITIGATE THE EMERGENCE OF ANY PROHIBITED PLANT MATERIALS.

LANDSCAPE LEGEND

INSTALL RIVER ROCK 5"-7" LENGTH ON WEED BARRIER IN PLANT BED. RIVER ROCK TO BE "HAND-PLACED" AROUND ALL SHRUBS SO AS NOT TO DAMAGE MATERIAL. INSTALL NEAR FLUSH TO TOP OF SIDEWALK. IN ALL OTHER AREAS MULCH WITH CEDAR MULCH TO A 3" DEPTH ON WEED BARRIER.

TEXAS ROADHOUSE NOTES

1. GRAPHIC SYMBOLS TAKE PRECEDENCE OVER WRITTEN QUANTITIES AND KEYS ON THE PLAN.
2. TWO WEEKS PRIOR TO PLANTING, THE CONTRACTOR SHALL SUBMIT TO THE OWNER /OWNER'S REPRESENTATIVE A PLANT PHOTO SUBMITTAL IF REQUESTED, BY THE OWNER, THE LANDSCAPE ARCHITECT WILL TAG THE MATERIAL.
3. EACH PHOTO SHALL CLEARLY SHOW THE SIZE, FORM, AND BRANCHING STRUCTURE AND QUALITY OF THE PLANT.
4. EACH PHOTO SHALL HAVE THE PLANT NAME, SIZE AND SPECIFICATIONS LABELED ON THE PHOTO.
5. ANY PHOTO SHOWING A GROUP OF PLANTS CLOSE TOGETHER WILL NOT BE ACCEPTED.
6. NO PARTIAL OR INCOMPLETE SUBMITTAL WILL BE ACCEPTED FOR REVIEW. ANY REJECTED SPECIES WILL BE SUBJECT TO RESUBMITTAL.
7. SAMPLES OF RIVER ROCK COBBLESTONE ARE TO BE PROVIDED TO OWNER/TENANT FOR THE REVIEW AND APPROVAL TWO WEEKS PRIOR TO CONSTRUCTION. NO COBBLESTONE IS TO BE INSTALLED WITHOUT PRIOR APPROVAL FROM TEXAS ROADHOUSE.
8. CONTRACTOR TO PROVIDE SITE IRRIGATION FOR LANDSCAPE AREAS AROUND BUILDING PERIMETER ONLY. IRRIGATION FOR THIS AREA TO PROVIDE 100% COVERAGE OF ALL PLANTED AREAS. SHRUB BEDS TO BE WATERED WITH SUBSURFACE IRRIGATION. LAWN AREAS TO BE KEPT ON SEPARATE ZONES FROM SHRUB BEDS, DO NOT SPRAY ONTO BUILDING. IRRIGATION SYSTEM TO BE DESIGNED AND INSTALLED TO MEET THE STANDARDS OF THE FLORIDA IRRIGATION SOCIETY.
9. IN AREAS OF THE SITE WHERE THERE IS NO IRRIGATION SYSTEM, THE CONTRACTOR WILL BE REQUIRED TO HAND WATER ALL PLANT MATERIAL FOR THE DURATION OF AN ENTIRE GROWING SEASON UNTIL PLANT MATERIAL IS ESTABLISHED.

PLANT LIST

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS	NATIVE	PREFERRED
TREES								
CR	9	CALLISTEMON RIGIDUS	BOTTLE BRUSH	3" DBH, 12' HT.	AS SHOWN	SINGLE TRUNK, WELL BALANCED HEAD	NO	YES
MG	11	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	3" DBH, 12' HT.	AS SHOWN	MIN. 6' CLEAR TRUNK, WELL BALANCED HEAD	YES	YES
PE	3	PINUS ELLIOTTI	SLASH PINE	3" DBH, 12' HT.	AS SHOWN	SINGLE TRUNK, WELL BALANCED HEAD	YES	YES
QL	4	QUERCUS LAURIFOLIA	LAUREL OAK	3" DBH, 12' HT.	AS SHOWN	MIN. 6' CLEAR TRUNK, WELL BALANCED HEAD	YES	YES
QV	4	QUERCUS VIRGINIANA	LIVE OAK	3" DBH, 12' HT.	AS SHOWN	MIN. 6' CLEAR TRUNK, WELL BALANCED HEAD	YES	YES
TD	11	TAXODIUM DISTICHUM	BALD CYPRESS	3" DBH, 12' HT.	AS SHOWN	MIN. 6' CLEAR TRUNK, WELL BALANCED HEAD	YES	YES
	42	**TOTAL TREES**				**TOTAL % NATIVE**	**78.6%**	**100%**
SHRUBS								
ADS	87	ASPARAGUS DENSIFLORUS 'SPRENGERI'	ASPARAGUS FERN	1 GAL. CONTAINER	3' O.C.	FULL , WELL BRANCHED	NO	YES
CRN	51	CLUSIA ROSEA 'NANA'	DWARF CLUSIA	18" HT. MIN	4' O.C.	FULL, MATCHED	YES	NO
CRN(2)	28	CLUSIA ROSEA 'NANA'	DWARF CLUSIA	36" HT. MIN	4' O.C.	FULL, MATCHED	YES	NO
CRN(3)	34	CLUSIA ROSEA 'NANA'	DWARF CLUSIA	30" HT. MIN	18" O.C. PER CODE	FULL, MATCHED	YES	NO
JDP	46	JUNIPERUS DAVURICA 'PARSONII'	PARSON'S JUNIPER	5 GAL. CONTAINER	3' O.C.	FULL	NO	NO
HP	4	HAMELIA PATENS	SCARLET BUSH	7' HT. AT PLANTING	AS SHOWN	FULL, MATCHED	YES	YES
IVN	55	ILEX VOMITORIA 'NANA'	DWF. YAUPON HOLLY	5 GAL. CONTAINER	4' O.C.	FULL, MATCHED	YES	YES
IVN(2)	19	ILEX VOMITORIA 'NANA'	DWF. YAUPON HOLLY	36" HT. AT PLANTING	4' O.C.	FULL, MATCHED	YES	YES
MF	35	MYRCIANTHES FRAGRANS	SIMPSON STOPPER	30" HT. AT PLANTING	2' O.C.	MATCHED	YES	YES
PZ	123	PLUMBAGO ZEYLANICA	PLUMBAGO	1 GAL. CONTAINER	30" O.C.	FULL, MATCHED	YES	NO
PM	28	PODOCARPUS MACROPHYLLA 'MAKI'	MAKI PODOCARPUS	MIN. 7' HT. AT PLANTING	AS SHOWN	FULL TO GROUND, TIGHT FORM	YES	YES
PM2	7	PODOCARPUS MACROPHYLLA 'MAKI'	MAKI PODOCARPUS	MIN. 5-6' HT. AT PLANTING	AS SHOWN	FULL TO GROUND, TIGHT FORM	YES	YES
VO	109	VIBURNUM OBOVATUM	WALTER'S VIBURNUM	IN. 30" HT. AT PLANTING	2' O.C.	FULL, MATCHED	YES	YES
	626	**TOTAL SHRUBS**				**TOTAL % NATIVE**	**78.80%**	**55.80%**
GRNDCVR								
GS	156	GELSEMIUM SEMPERVIRENS	CAROLINA JESSIMINE	1 GAL. CONTAINER	18" O.C.	MIN 3 STEMS, FULL	YES	NO
LD	213	LANTANA DEPRESSA VAR. DEPRESSA	GOLD LANTANA	1 GAL. CONTAINER	24" O.C.	MIN 3 STEMS, FULL	YES	YES
LM	191	LIRIOPE MUSCARI 'EMERALD GODDESS'	EMERALD GODDESS LILYTURF	1 GAL. CONTAINER	24" O.C.	FULL	NO	YES
	560	**TOTAL GROUNDCOVER**				**TOTAL % NATIVE**	**65.9%**	**72.1%**
SOD	5,750 SF	STENOTAPHRUM SECUNDATUM	ST. AUGUSTINE SOD			2 YEAR CERTIFIED, SEASON PERMITTING		
RR	1,930 SF	RIVER ROCK	AROUND BUILDING	3" DEPTH, 5-7" STONE	N/A	N/A		
						GRANDTOTAL %	**72.9%**	**64.3%**

NOTES:

1. GRAPHIC SYMBOLS TAKE PRECEDENCE OVER WRITTEN QUANTITIES AND KEYS ON PLANS.
2. CONTRACTOR TO PROVIDE IRRIGATION DESIGN FOR LANDSCAPE ARCHITECTS APPROVAL PRIOR TO INSTALLATION. THE SYSTEM TO MEET THE STANDARDS OF THE FLORIDA IRRIGATION SOCIETY.
3. ALL PLANT MATERIAL SHALL BE FLORIDA #1 OR BETTER AS FOUND IN THE GRADES AND STANDARDS FOR NURSERY PLANTS, PART I AND PART II, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
4. GENERAL CONTRACTOR TO PROVIDE STRIP AND PILE TOPSOIL FOR THE LANDSCAPE CONTRACTOR TO BACKFILL LANDSCAPE ISLANDS. MOUND LANDSCAPE ISLANDS A MIN. 18" FROM CENTER TO BACK OF CURB.
5. A MINIMUM 4" DEPTH OF TOPSOIL TO BE SPREAD AND FINE GRADED BY THE LANDSCAPE CONTRACTOR PRIOR TO SOD INSTALLATION.
6. ALL PLANTING BEDS NOT ALONG THE BUILDING PERIMETER TO RECEIVE CLEAN, FRESH CEDAR MULCH TO A DEPTH OF 3 INCHES MINIMUM.
7. ALL SUBSTITUTIONS OF PLANT MATERIALS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

LANDSCAPE REQUIREMENTS SUMMARY

ITEM	REQUIREMENT	QTY REQUIRED	QTY PROVIDED	FORMULA
MAXIMUM SOD COVERAGE	MAXIMUM 40%	MAX. 52,237 SF (1.199 AC.)	EXISTING SOD AREAS ALONG PERIMETER - 11,363 SF (8.7%)	2.998 AC X 40% = 1.199 AC (52,237 SF)
PERIMETER BUFFER ADJACENT TO ROAD R.O.W.	LANDSCAPE HEDGE - MIN. 4' HT. AT MATURITY, MAX. 2 FT. O.C. SPACING 30" HT. AT PLANTING	CONGRESS: 392.32' / 20 = 20 TREES WATER TOWER: 259.47 / 20 =13 TREES	N. CONGRESS: 18 PALMS, 8 PINES, & 2 CANOPY TREES = 28 WATER TOWER: 13 PALMS & 8 PINE = 21 EXISTING HEDGE ROW TO REMAIN.	N. CONGRESS: 392.32' / 20 = 20 TREES WATER TOWER: 259.47 / 20 =13 TREES
PARKING LOT LANDSCAPE	ALL SPACES TO BE WITHIN 40' OF A TREE	N/A	26 TREES	N/A 40' CIRCLES SHOWN
PERIMETER LANDSCAPE	15' STRIP ALONG R.O.W. - TREES 20' O.C. , 30' HIGH HEDGE 2' O.C. OTHER ROAD FRONTAGES. 8' STRIP TREES 40' O.C. , 30" HIGH HEDGE 2' O.C.	R.O.W. PERIMETER - EXISTING OTHER FRONTAGES - S = 6 TREES E = 10 TREES	S PERIMETER=6 MAGNOLIA, 5S SIMPSON STOPPER & 5 WALTERS VIBURNUM E PERIMETER=10 MAGNOLIA, 128 WALTERS VIBURNUM, & 10 SIMPSON STOPPER	S PERIMETER=293 MINUS 70' DRIVEWAYS = 223/40= 6 TREES E PERIMETER=430 MINUS 35' DRIVEWAY = 395/40= 10 TREES

811 Know what's below. Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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280 N CONGRESS AVE
TOWN OF LAKE PARK
PALM BEACH COUNTY, FLORIDA

TEXAS ROADHOUSE
TEXAS ROADHOUSE, INC.
CONSTRUCTION PLANS
LANDSCAPE PLAN

DATE	05/17/2023
REV. - CITY COMMENTS -#4	
REV. - CITY COMMENTS -#5	

REVISIONS

JAMES A. LOWE LICENSE NO. 75804 STATE OF FLORIDA PROFESSIONAL ENGINEER

0 10 20'
SCALE: 1"=20'

DRAWN BY: MGB
CHECKED BY: BP
PROJECT MANAGER: BP
JOB #: 22005514
FILE CODE: ##
SHEET NO. L100

CAD FILE: 22005514- L100 LANDSCAPE

ISSUED FOR CONSTRUCTION

FILE NAME: K:\2200551-L-TR Lake Park\DWG\SHA\04 PRODUCTION\2200551-L- L100 LANDSCAPE.dwg LAST SAVED BY: lohns 5/17/2023 9:03 PM PLOTTED BY: lohns 5/17/2023 9:03 PM PLOTTED BY: lohns 5/17/2023 9:03 PM PAPER: ARCH FULL BLEED D (24.00 X 36.00 INCHES) DEVICE: _AUTOCAD PDF (GENERAL DOCUMENTATION).PC3 PLOT STYLE: ATWELL.CTB

GENERAL

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING ALL WORK AS SPECIFIED IN ACCORDANCE WITH THE PLANS AND AS LISTED IN THE GENERAL NOTES.
2. BEFORE BEGINNING ANY WORK, ALL UTILITIES AND UNDERGROUND CONSTRUCTION SHALL BE LOCATED BY THE LANDSCAPE CONTRACTOR SO THAT PROPER PRECAUTIONS MAY BE TAKEN NOT TO DISTURB OR DAMAGE ANY SUBSURFACE IMPROVEMENTS. WHERE PUBLIC UTILITIES ARE PRESENT, THE LANDSCAPE CONTRACTOR SHALL REQUEST ON-SITE LOCATIONS BY ALL UTILITY COMPANIES AND CONFIRM THAT SUCH LOCATIONS HAVE BEEN COMPLETED. THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MAKING, AT HIS OWN EXPENSE, ALL REPAIRS TO DAMAGED UTILITIES RESULTING FROM WORK COVERED BY THIS CONTRACT.
3. ANY DAMAGE DONE BY THE LANDSCAPE CONTRACTOR TO ANY PAVING, BUILDINGS, CURB, OR WALKS SHALL BE REPAIRED OR REPLACED BY THE LANDSCAPE CONTRACTOR.
4. THE LANDSCAPE CONTRACTOR SHALL TAKE MEASURES TO PREVENT DUST, MUD, MARKS, ETC FROM SOILING AND DAMAGING IMPROVEMENTS. ANY DAMAGE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
5. THE LANDSCAPE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE FROM ALL PARTS OF THE PROJECT.
6. ALL PLANT MATERIAL SHALL BE FLORIDA #1 OR BETTER AS FOUND IN THE GRADES AND STANDARDS FOR NURSERY PLANTS, PART I AND PART II, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
3. PLANTS SHALL BE WATERED PRIOR TO TRANSPORTATION AND SHALL BE KEPT MOIST UNTIL PLANTED. ALL PLANTS SHALL BE PROTECTED FROM DESICCATION DURING DELIVERY WITH A PROTECTIVE COVERING OR ENCLOSED TRUCK.
4. THE PLANT LIST IS FOR THE LANDSCAPE CONTRACTORS CONVENIENCE. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE COUNT FROM THE PLAN AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
5. ALL LANDSCAPE AREAS WHERE ASPHALT OR CURBING HAS BEEN REMOVED AND ALL LANDSCAPE ISLANDS MUST HAVE CLEAN, FRIALBE TOPSOIL TO A TOTAL DEPTH OF TWO (2) FEET.
6. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS INCLUDING, BUT NOT LIMITED TO, TOPSOIL, MULCHES, LIMES, AND FERTILIZERS NECESSARY FOR THE HEALTHY GROWTH OF PLANT MATERIAL.
7. INSTALL TREES PLUMB. DO NOT DEPEND ON STAKING TO PULL PLANTS TO PLUMB POSITION. STAKING SHALL BE ON AN AS-NEEDED BASIS.
8. ALL MOWABLE LAWN AREAS SHALL BE SODDED WITH BERMUDA GRASS. ALL SLOPES 3:1 OR GREATER SHALL BE SEEDED AS NOTED ON PLAN.
9. MULCH ALL GROUND COVER AND PLANTING BEDS AND A 4'-0" DIAMETER BASE AROUND ALL FREE STANDING TREES WITH 4" MIN. FRESH PINE STRAW.
10. WHERE TREES ARE PLANTED CLOSER THAN 5 FEET FROM CURB OR SIDEWALK, EITHER CONCRETE OR HDPE (HIGH DENSITY POLYURETHANE PLASTIC) ROOT BARRIERS MUST BE INSTALLED. THESE ROOT BARRIERS MUST BE A MINIMUM OF 30 INCHES DEEP.
11. ALL TEMPORARY CONSTRUCTION ACTIVITIES WILL OCCUR IN PARKING LOT AREAS ON THE SITE.
12. SHRUB HEIGHTS SHALL BE MAINTAINED AT 2'-0" AND TREE CANOPIES SHALL BE ABOVE 6'-0" AT ALL PLANTING ISLANDS AND DRIVE OPENINGS WITHIN THE PARKING LOT AND INTERSECTING STREETS BY LANDSCAPE CONTRACTOR AND OWNER TO INSURE SAFE SIGHT DISTANCES.
13. ALL CONSTRUCTION DEBRIS IS TO BE ENTIRELY REMOVED FROM SITE BY THE LANDSCAPE CONTRACTOR.
14. THE LANDSCAPE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE MAINTENANCE, INCLUDING WATERING, WEEDING, PRUNING, MOWING OF LAWNS, AND RE-MULCHING OF THIS WORK UNTIL DATE OF FINAL ACCEPTANCE.

FOR SODDED AREA

1. SOD SHALL BE WELL ROOTED, 2 YEAR OLD STOCK. THE SOD SHALL BE TOP QUALITY CERTIFIED SOD, FREE OF WEEDS, UNDESIRABLE NATIVE GRASSES, INSECTS AND DISEASES. PROVIDE CERTIFICATION TAG TO OWNER. ALL SOD SHALL BE MACHINE CUT AND VIGOROUSLY GROWING (NOT DORMANT)
2. LAY SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS. DO NOT OVERLAP.
3. IN SLOPING AREAS, SOD SHALL BE LAID WITH THE LONG EDGES PARALLEL TO THE CONTOURS AND WITH JOINTS STAGGERED.
4. SOD SHALL BE SECURED IN-PLACE WITH STAPLES ON SLOPES GREATER THAN 3:1. STAPLES FOR SOD STAKING SHALL BE NO. 11 GAUGE STEEL WIRE, U-SHAPED WITH LEGS 12 INCHES IN LENGTH AND 1" CROWN. STAPLES SHALL BE PLACED AT INTERVALS NO GREATER THAN 2' ON CENTER. TOP OF STAKES SHALL BE DRIVEN FLUSH WITH SOD AS NOT TO INTERFERE WITH MOWING OPERATIONS.
5. TAMP OR ROLL TO INSURE CONTACT WITH SOIL. WORK SIFTED SOIL INTO MINOR CRACKS BETWEEN PIECES OF SOD. REMOVE EXCESS SOIL TO AVOID SMOTHERING OF ADJACENT GRASS.
6. SOD SHALL BE WATERED IMMEDIATELY AFTER ROLLING OR TAMPING.

GRASSING

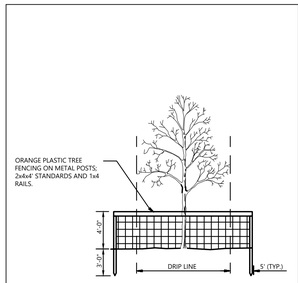
1. PREPARE AREAS TO BE GRASSED BY REFINED GRADING TO INSURE PROPER DRAINAGE AND DISCOURAGE EROSION.
2. ELIMINATE UNDESIRABLE GRASS AND WEED GROWTH IN AREAS TO BE GRASSED AND TAKE MEASURES AS NECESSARY TO PREVENT REGROWTH OF UNDESIRABLE PLANTS. SOIL SHALL BE TILLED OR LOOSENED TO 4" MIN. DEPTH, INCORPORATING FERTILIZER, LIME AND OTHER APPROPRIATE ADDITIVES AS INDICATED BY SOIL TEST INTO THE TOP 2" TO 3".

INSPECTION

1. THE OWNER'S REPRESENTATIVE SHALL INSPECT THE TOTAL WORK FOR ACCEPTANCE UPON REQUEST OF THE LANDSCAPE CONTRACTOR. ANY UNSATISFACTORY ITEMS SHALL BE NOTED AND MUST BE REMEDIED BY THE LANDSCAPE CONTRACTOR PRIOR TO ACCEPTANCE. UPON SATISFACTORY COMPLETION OF ALL WORK, THE OWNER'S REPRESENTATIVE SHALL CERTIFY IN WRITING ACCEPTANCE OF THE WORK. PAYMENT FOR CONTRACT WORK TO THE CONTRACTOR PURSUANT TO ISSUANCE OF ACCEPTANCE SHALL BE DEEMED THE FINAL PAYMENT FOR SAID WORK.

WARRANTY

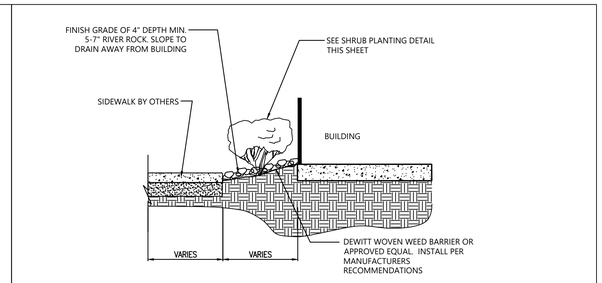
1. ALL PLANT MATERIAL SHALL BE WARRANTEED BY THE LANDSCAPE CONTRACTOR FOR A PERIOD OF ONE YEAR FOLLOWING ACCEPTANCE. THE LANDSCAPE CONTRACTOR SHALL REPLACE, AT NO EXPENSE TO THE OWNER, UNHEALTHY PLANTS WITHIN 15 DAYS. THIS ASSUMES THAT THE OWNER HAS FOLLOWED THE APPROPRIATE MAINTENANCE PROCEDURES AND THAT NO SUCH REPLACEMENTS ARE NECESSITATED BY NEGLECT OR ABUSE BY OWNER, BY VANDALISM OR BY ACTS-OF-GOD DAMAGE.
2. REPLACEMENT SIZES SHALL BE COMPARABLE TO THOSE ATTAINED BY ADJACENT THRIVING PLANTS. ALL REPLACEMENT STOCK WILL BE SUBJECT TO THE SAME WARRANTY REQUIREMENTS AS THE ORIGINAL STOCK. REPLACEMENT WARRANTY BEGINS ON DAY OF INSTALLATION.
3. THE LANDSCAPE CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS TO GRADES, VEGETATIVE COVER AND PAVING REQUIRED BECAUSE OF PLANT REPLACEMENTS. SUCH REPAIRS SHALL BE DONE AT NO EXTRA COST TO THE OWNER.



REMOVE ALL BARRIERS UPON COMPLETION OF PROJECT.

TREE PROTECTION

L1K

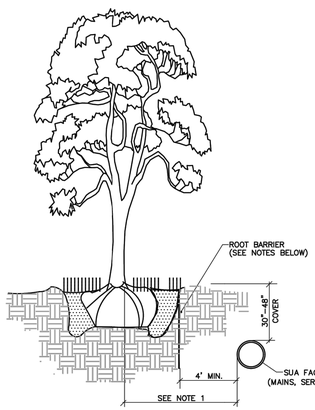


NOTES:
1. INSTALL 5"-7" RIVER ROCK COBBLE ON WEED BARRIER.
2. HAND PLACE COBBLE AROUND PLANT MATERIAL TO AVOID DAMAGE.
3. INSTALL NEAR FLUSH WITH TOP OF SIDEWALK. DO NOT CREATE 'BIRD BATHS' BY TRAPPING WATER AROUND PLANTS OR NEAR BUILDING FOUNDATION OR SIDEWALK. CONTRACTOR MUST MAINTAIN POSITIVE DRAINAGE.

5-7" RIVER ROCK COBBLE

N.T.S.

LC



NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)

1. THIS DISTANCE SHALL BE 10' MINIMUM WITH ROOT BARRIER AND 15' MINIMUM IF NO ROOT BARRIER IS USED.
2. ALL ROOT BARRIERS SHALL BE 4' MINIMUM FROM ALL SEACOAST FACILITIES.
3. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH SEACOAST AND INSPECTED BY SEACOAST PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
4. ROOT BARRIERS SHALL BE MINIMUM 36" DEEP. APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTIONS".
5. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.
6. LARGE PALM TREES INCLUDE ROYAL, WASHINGTONIAN, BISMARK AND SIMILAR SIZED SPECIES.

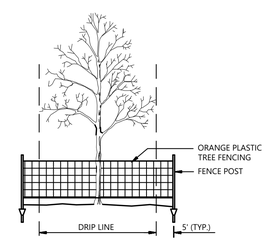
Typical Canopy Tree, Large Palm or Exotic Tree with Root Barrier

SEACOAST UTILITY AUTHORITY
CONSTRUCTION STANDARDS AND DETAILS
Revision C-16

DATE APPROVED: AUGUST 26, 2020
DRAWING No. 91

TREE PROTECTION NOTES:

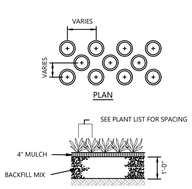
1. ALL TREES SHOWN ON THIS PLAN TO BE RETAINED SHALL BE PROTECTED DURING ALL PHASES OF DEMOLITION/CONSTRUCTION WITH TEMPORARY FENCING. IT SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY TO COORDINATE WITH LANDSCAPE CONTRACTOR.
2. TREE PROTECTION FENCES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING OR GRADING). CLEARING WITHIN TREE PROTECTION AREAS SHALL BE DONE BY HAND.
3. FENCES SHALL COMPLETELY SURROUND TREE OR CLUSTERS OF TREES; SHALL BE LOCATED 5' FROM THE OUTERMOST LIMITS OF THE TREE BRANCHES (DRIP LINE); AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE OF THE PROJECT BY GENERAL CONTRACTOR IN ORDER TO PREVENT THE FOLLOWING:
   A. SOIL COMPACTION IN THE ROOT ZONE AREA RESULTING FROM VEHICULAR TRAFFIC OR STORAGE OF EQUIPMENT OR MATERIALS.
   B. ROOT ZONE DISTURBANCES DUE TO GRADE CHANGES (GREATER THAN 6 INCHES CUT OR FILL) OR TRENCHING.
   C. WOUNDS TO EXPOSED ROOTS, TRUNK OR LIMBS BY MECHANICAL EQUIPMENT.
   D. OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL STORAGE, CEMENT TRUCK CLEANING, AND FIRES.
4. EXCEPTIONS TO INSTALLING FENCES 5' FROM TREE DRIP LINES MAY BE PERMITTED IN THE FOLLOWING CASES:
   A. WHERE PERMEABLE PAVING IS TO BE INSTALLED: ERECT THE FENCE AT THE OUTER LIMITS OF THE PERMEABLE PAVING AREA.
   B. WHERE TREES ARE CLOSE TO THE PROPOSED BUILDING: ERECT THE FENCE NO CLOSER THAN 6 FEET TO THE BUILDING.
5. WHERE ANY OF THE ABOVE EXCEPTIONS RESULT IN A FENCE BEING CLOSER THAN 4 FEET TO A TREE TRUNK, PROTECT THE TRUNK WITH STRAPPED-ON PLANKING TO A HEIGHT OF 8 FEET (OR TO THE LIMITS OF LOWER BRANCHES) IN ADDITION TO THE REDUCED FENCING PROVIDED.
6. WHERE ANY OF THE ABOVE EXCEPTIONS RESULT IN AREAS OF UNPROTECTED ROOT ZONES (UNDER DRIP LINES), THOSE AREAS SHOULD BE COVERED WITH 4 INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION.
7. ALL GRADING WITHIN PROTECTED ROOT ZONE AREAS SHALL BE DONE BY HAND OR WITH SMALL EQUIPMENT TO MINIMIZE ROOT DAMAGE. PRIOR TO GRADING, RELOCATE PROTECTIVE FENCING TO 2 FEET BEHIND THE GRADE CHANGE AREA. NO ROOT OVER 1 INCH DIAMETER WILL BE CUT.
8. ANY ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED WITH A CLEAN CUT FLUSH WITH THE SOIL. BACKFILL ROOT AREAS WITH GOOD QUALITY TOP SOIL IMMEDIATELY. IF EXPOSED ROOT AREAS ARE NOT BACKFILLED WITHIN 2 DAYS, COVER THEM WITH ORGANIC MATERIAL IN A MANNER WHICH REDUCES SOIL TEMPERATURE AND MINIMIZES WATER LOSS DUE TO EVAPORATION.
9. PRIOR TO EXCAVATION OR GRADE CUTTING WITHIN TREE DRIP LINES, MAKE A CLEAN CUT BETWEEN THE DISTURBED AND UNDISTURBED ROOT ZONES WITH A ROCK SAW OR SIMILAR EQUIPMENT TO MINIMIZE DAMAGE TO REMAINING ROOTS. 10.TREES MOST HEAVILY IMPACTED BY CONSTRUCTION ACTIVITIES SHOULD BE WATERED DEEPLY ONCE A WEEK DURING PERIODS OF HOT, DRY WEATHER. TREE CROWNS SHOULD BE SPRAYED WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
11. NO CONDUIT OR UTILITIES CAN BE INSTALLED WITHIN TREE PROTECTION AREAS. ANY TRENCHING REQUIRED FOR THE INSTALLATION OF LANDSCAPE IRRIGATION SHALL BE PLACED AS FAR FROM EXISTING TREE TRUNKS AS POSSIBLE.
12. NO LANDSCAPE TOPSOIL DRESSING GREATER THAN 4 INCHES SHALL BE PERMITTED WITHIN THE DRIP LINE OF TREES. NO SOIL IS PERMITTED ON THE ROOT FLARE OF ANY TREE. GRADING LIMITED TO 3 INCH CUT.
13. PRUNING TO PROVIDE CLEARANCE FOR STRUCTURES, VEHICULAR TRAFFIC AND EQUIPMENT SHALL TAKE PLACE BEFORE CONSTRUCTION BEGINS.
14. ALL PRUNING MUST BE DONE ACCORDING TO RECOGNIZED, APPROVED STANDARDS OF THE INDUSTRY (REFERENCE THE NATIONAL ARBORIST ASSOCIATION PRUNING STANDARDS FOR SHADE TREES) BY A CERTIFIED ARBORIST AND SHALL BE APPROVED AND SUPERVISED BY OWNERS REPRESENTATIVE OR PROJECT URBAN FORESTER.
15. DAMAGE TO TREES OR ANY NATURAL RESOURCE DUE TO CONTRACTOR'S NEGLIGENCE DURING THE CONSTRUCTION PHASE SHALL BE APPRAISED BY THE OWNERS REPRESENTATIVE AND ORDERED REPAIRED, REPLACED, OR COMPENSATED.



TREE PROTECTION WITH NOTES

N.T.S.

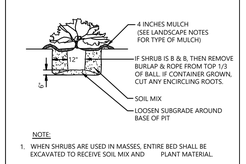
L1L



NOTE:
1. ENTIRE BED SHALL BE EXCAVATED TO RECEIVE SOIL MIX AND GROUNDCOVERS.
2. GROUNDCOVER BEDS SHALL BE RAISED 4" ABOVE SURROUNDING GRADE.

GROUND COVER
PLANTING

L1G

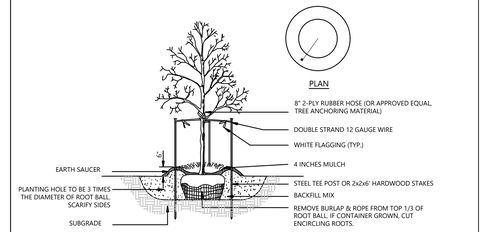


NOTE:
1. WHEN SHRUBS ARE USED IN MASSES, ENTIRE BED SHALL BE EXCAVATED TO RECEIVE SOIL MIX AND PLANT MATERIAL.
2. SHRUB BEDS SHALL BE RAISED 4" ABOVE SURROUNDING GRADE.

SHRUB PLANTING

N.T.S.

L1H



NOTES:
1. SEE LANDSCAPE NOTES FOR TYPE OF MULCH MATERIAL TO BE USED.
2. TREE SHALL BEAR SAME RELATIONSHIP TO FINISHED GRADE AS IT BORE TO EXISTING GROUND.
3. USE STAKING SYSTEM WHERE NECESSARY FOR WIND OR SOIL CONDITIONS.
4. REMOVE STAKES AND EARTH SAUCER ONE YEAR FROM TIME OF PLANTING.

STAKED TREE PLANTING

L1E

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Know what's **below.**
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TOWN OF LAKE PARK
PALM BEACH COUNTY, FLORIDA

TEXAS ROADHOUSE
TEXAS ROADHOUSE, INC.
CONSTRUCTION PLANS
LANDSCAPE DETAILS

DATE 05/17/2023

REVISIONS

JAMES A. LOWE LICENSE 75004 STATE OF FLORIDA PROFESSIONAL ENGINEER

0 10' 20'
SCALE: 1" =20'

DRAWN BY: MGB
CHECKED BY: BP
PROJECT MANAGER: BP
JOB #: 22005514
FILE CODE: ##
SHEET NO. L200

CAD FILE: 22005514- L100 LANDSCAPE
ISSUED-FOR-CONSTRUCTION

FILE NAME: K:\22005514-TR Lake Park\DWG\SHX\24 PRODUCTION\22005514- L100 LANDSCAPE.dwg LAST SAVED BY: lsima 5/17/2023 9:05 PM PLOTTED BY: Linda Sima 5/17/2023 PAPER: ARCH FULL BLEED D (24.00 X 36.00 INCHES) DEVICE: _AUTOCAD PDF (GENERAL DOCUMENTATION).PC3 PLOT STYLE: ATWELL.CTB

BEFORE ANY PLANTING OCCURS, DISCUSS THE FOLLOWING WITH YOUR LANDSCAPE PROVIDER:

- AMOUNT OF SOIL AROUND NEW PLANTINGS
- DEPTH OF SOIL UNDERNEATH PLANTINGS
- SOIL ACIDITY
- DRAINAGE REQUIREMENTS

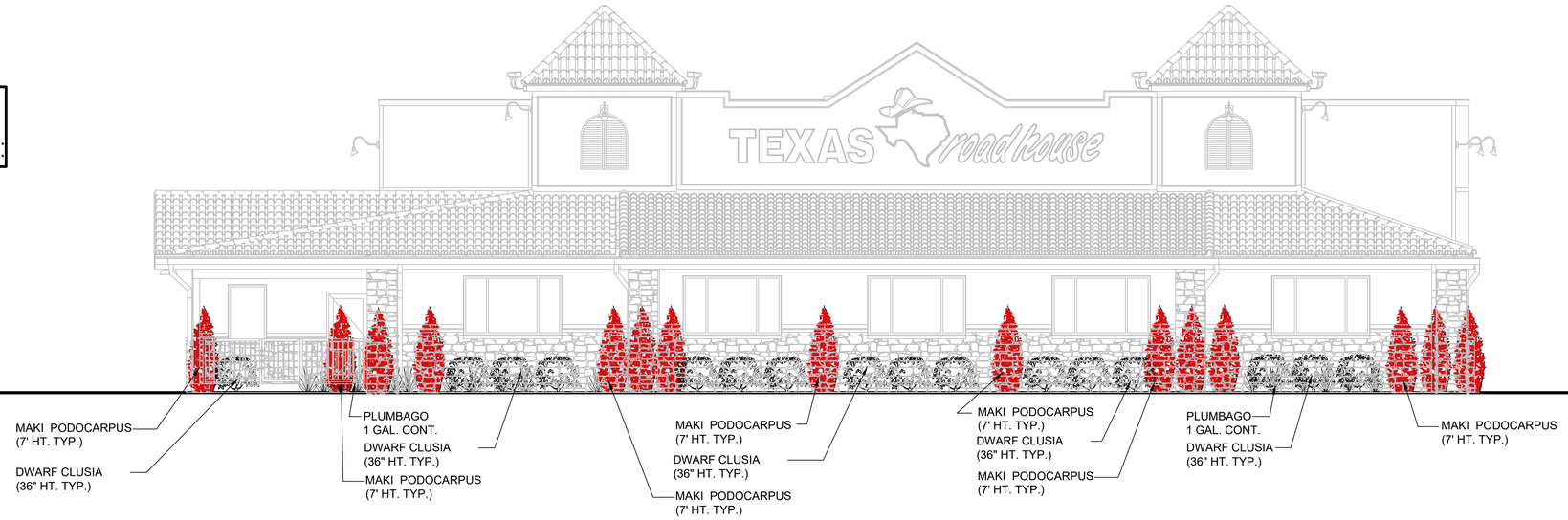
GENERAL EVERGREEN MAINTANENCE GUIDELINES:

DEPENDING ON SOIL TYPE, SOIL DRAINAGE CAPABILITIES, AND SEASONAL TEMPERATURE, GENERALLY WATER THOROUGHLY AT TIME OF PLANTING AND TWICE WEEKLY FOR A MONTH FOLLOWING PLANTING. DECREASE THE FREQUENCY OF WATERING SO THAT YOU ONLY IRRIGATE ONCE EVERY WEEK OR TWO DURING PERIODS OF EXTENDED DROUGHTS. THEY ARE MORE LIKELY TO SUFFER FROM OVERWATERING OR DISEASES ENCOURAGED BY EXCESSIVE MOISTURE THAN DROUGHT STRESS. AFTERWARD, THE SHRUB IS DROUGHT TOLERANT AND CAN MAKE DUE WITH WHAT NATURE PROVIDES. FERTILIZE ANNUALLY. PRUNE LIGHTLY, ONLY CUTTING OFF DEAD BRANCHES IN THE LOWER PART OF THE SHRUB TO IMPROVE AIR CIRCULATION AND TRIMMING OFF TIPS OF BRANCHES THAT ARE OVERLY VIGOROUS OR GROWING INTO A PATH. NEVER MAKE CUTS INTO NEEDLE-LESS WOOD, AS NO NEW GROWTH WILL EMERGE FROM THIS PORTION AND IT WILL BE LEFT WITH BARE SPOTS.

IF YOU EXPERIENCE REPEATED ISSUES AND MULTIPLE SHRUBS DYING, PLEASE CONTACT YOUR LANDSCAPE MAINTENANCE PROVIDER FOR MORE INFORMATION.

LANDSCAPE ELEVATION NOTES:

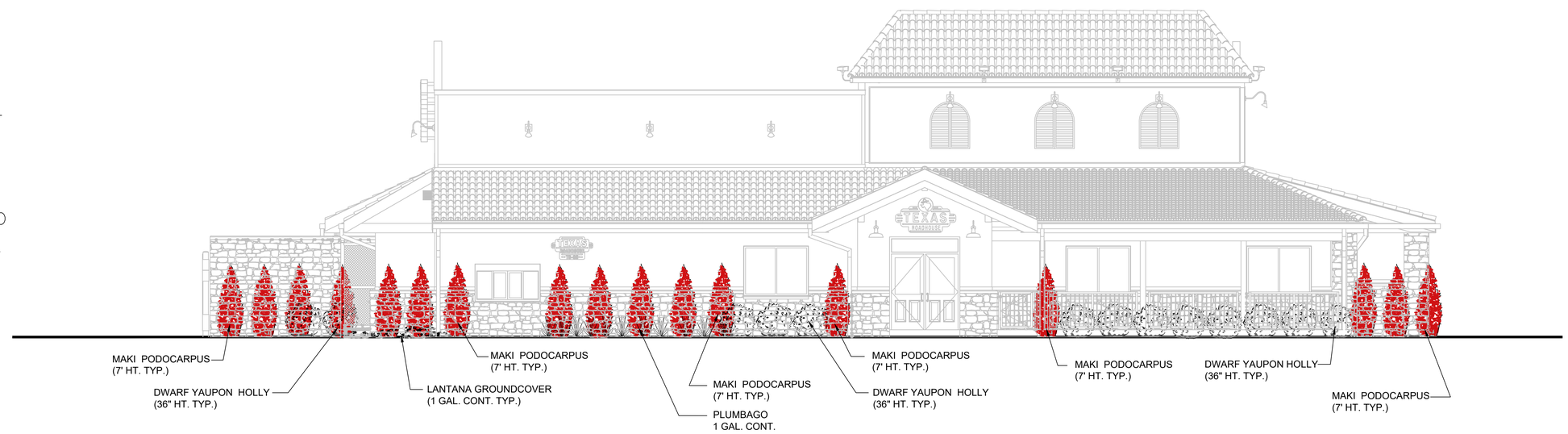
LANDSCAPE ELEVATIONS ARE FOR GENERAL REFERENCE ONLY, REFER TO LANDSCAPE PLAN FOR ACTUAL PLANTING INSTALLATION.



FRONT ELEVATION (WEST) CONGRESS AVE.

SCALE: 3/16" = 1'-0"

SHRUB HEIGHT MEASUREMENTS ARE TO BE AS MEASURED FROM TOP OF ROOTBALL (TYP.)



ENTRANCE ELEVATION (NORTH) WATERTOWER RD.

SCALE: 3/16" = 1'-0"

SHRUB HEIGHT MEASUREMENTS ARE TO BE AS MEASURED FROM TOP OF ROOTBALL (TYP.)

811 Know what's below. Call before you dig.

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NOTICE:

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TOWN OF LAKE PARK
PALM BEACH COUNTY, FLORIDA

TEXAS ROADHOUSE
TEXAS ROADHOUSE, INC.
CONSTRUCTION PLANS
LANDSCAPE ELEVATIONS

DATE	05/17/2023
REV. - CITY COMMENTS -#4	
REV. - CITY COMMENTS -#5	

REVISIONS

JAMES A. LOWE, LICENSED STATE OF FLORIDA PROFESSIONAL ENGINEER

SCALE: 1"=##'

DRAWN BY: MGB
CHECKED BY: BP
PROJECT MANAGER: BP
JOB #: 22005514
FILE CODE: ##
SHEET NO. L300

ISSUED FOR CONSTRUCTION

CAD FILE: 22005514-L100 LANDSCAPE

FILE NAME: K:\22005514-TR Lake Park\DWG\ENV\04 PRODUCTION\22005514- L100 LANDSCAPE.dwg LAST SAVED BY: bhre 5/17/2023 9:03 PM PLOTTED BY: bhre 5/17/2023 9:03 PM PAPER: ARCH FULL BLEED D (24.00 X 36.00 INCHES) DEVICE: _AUTOCAD PDF (GENERAL DOCUMENTATION).PC3 PLOT STYLE: ATWELL.CTB

BEFORE ANY PLANTING OCCURS, DISCUSS THE FOLLOWING WITH YOUR LANDSCAPE PROVIDER:

- AMOUNT OF SOIL AROUND NEW PLANTINGS
- DEPTH OF SOIL UNDERNEATH PLANTINGS
- SOIL ACIDITY
- DRAINAGE REQUIREMENTS

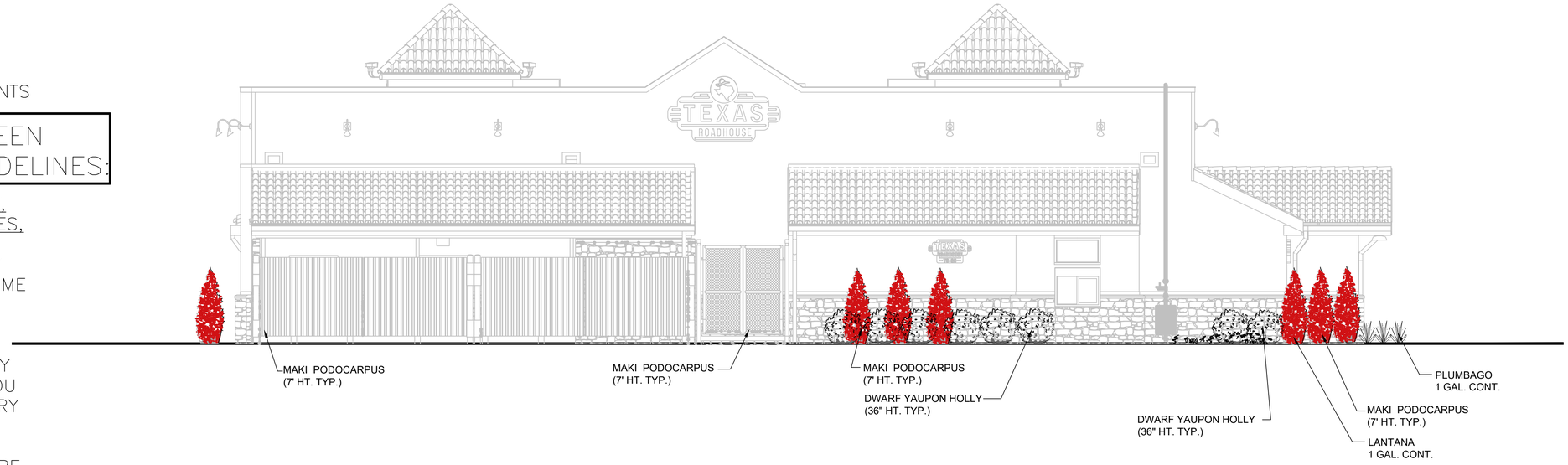
GENERAL EVERGREEN MAINTANENCE GUIDELINES:

DEPENDING ON SOIL TYPE, SOIL DRAINAGE CAPABILITIES, AND SEASONAL TEMPERATURE, GENERALLY WATER THOROUGHLY AT TIME OF PLANTING AND TWICE WEEKLY FOR A MONTH FOLLOWING PLANTING. DECREASE THE FREQUENCY OF WATERING SO THAT YOU ONLY IRRIGATE ONCE EVERY WEEK OR TWO DURING PERIODS OF EXTENDED DROUGHTS. THEY ARE MORE LIKELY TO SUFFER FROM OVERWATERING OR DISEASES ENCOURAGED BY EXCESSIVE MOISTURE THAN DROUGHT STRESS. AFTERWARD, THE SHRUB IS DROUGHT TOLERANT AND CAN MAKE DUE WITH WHAT NATURE PROVIDES. FERTILIZE ANNUALLY. PRUNE LIGHTLY, ONLY CUTTING OFF DEAD BRANCHES IN THE LOWER PART OF THE SHRUB TO IMPROVE AIR CIRCULATION AND TRIMMING OFF TIPS OF BRANCHES THAT ARE OVERLY VIGOROUS OR GROWING INTO A PATH. NEVER MAKE CUTS INTO NEEDLE-LESS WOOD, AS NO NEW GROWTH WILL EMERGE FROM THIS PORTION AND IT WILL BE LEFT WITH BARE SPOTS.

IF YOU EXPERIENCE REPEATED ISSUES AND MULTIPLE SHRUBS DYING, PLEASE CONTACT YOUR LANDSCAPE MAINTENANCE PROVIDER FOR MORE INFORMATION.

LANDSCAPE ELEVATION NOTES:

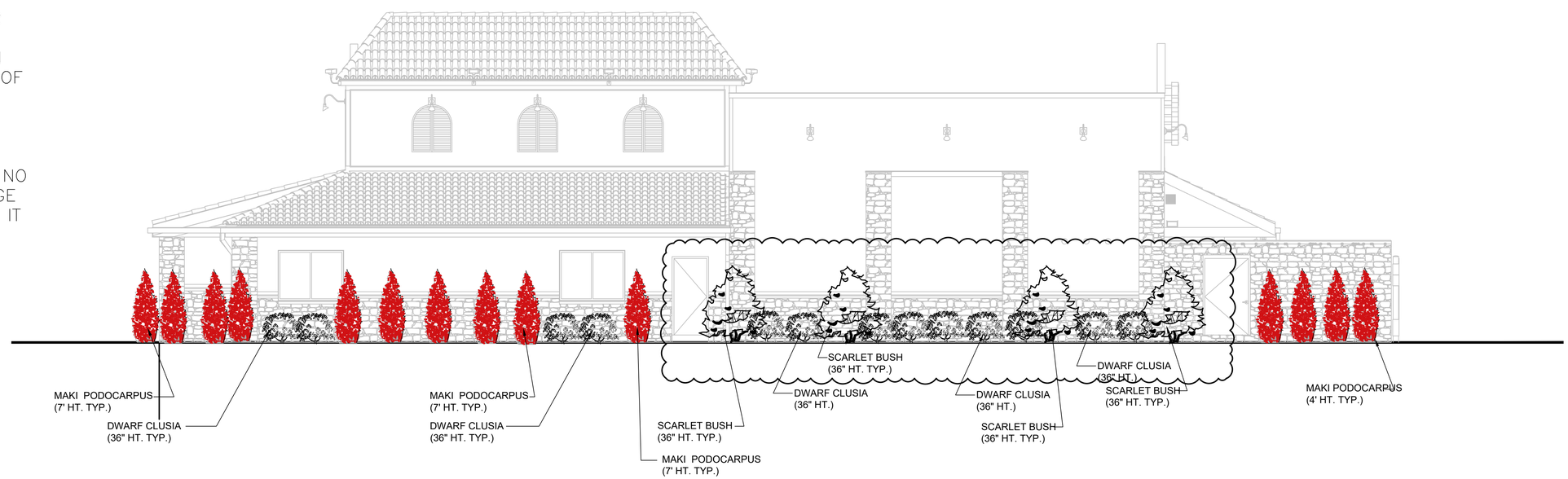
LANDSCAPE ELEVATIONS ARE FOR GENERAL REFERENCE ONLY, REFER TO LANDSCAPE PLAN FOR ACTUAL PLANTING INSTALLATION.



REAR ELEVATION (EAST)

SCALE: 3/16" = 1'-0"

SHRUB HEIGHT MEASUREMENTS ARE TO BE AS MEASURED FROM TOP OF ROOTBALL (TYP.)



RIGHT SIDE ELEVATION (SOUTH) -CULVERS

SCALE: 3/16" = 1'-0"

SHRUB HEIGHT MEASUREMENTS ARE TO BE AS MEASURED FROM TOP OF ROOTBALL (TYP.)

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REV. - CITY COMMENTS -#4
REV. - CITY COMMENTS -#5

REVISIONS

JAMES A. LOWE LICENSE 70042 STATE OF FLORIDA PROFESSIONAL ENGINEER

0 ##' ##'
SCALE: 1"=##'

DRAWN BY: MGB
CHECKED BY: BP
PROJECT MANAGER: BP
JOB #: 22005514
FILE CODE: ##
SHEET NO. L301

ISSUED-FOR-CONSTRUCTION

CAD FILE: 22005514- L100 LANDSCAPE

FILE NAME: K:\22005514-FR Lake Park\DWG\SHX\LA PRODUCTION\22005514- L100 LANDSCAPE.dwg LAST SAVED BY: lama 5/22/2023 11:14 AM PLOTTED BY: lama 5/22/2023 PAPER: ARCH FULL BLEED D (24.00 X 36.00 INCHES) DEVICE: DWG TO PDF.PC3 PLOT STYLE: ATWELL.CTB