

October 4, 2022

Anders R. Viane, Planner
Community Development Department
Town of Lake Park
535 Park Avenue
Lake Park, FL 33403

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Historic Preservation Services for 1924 Bungalow: Guest House
414 Greenbriar Drive, Lake Park, FL 33405

REG Project # 22044

Project Description:

Consideration of a Certificate of Appropriateness (COA) for exterior alterations and renovation of the Guest House south of the main house located at 414 Greenbriar Drive; PCN# 36434220010230040. The subject property is an individually designated local historic landmark.

Owner: Jesse Gates
414 Greenbriar Drive
Lake Park, Florida 33405
shalorgat@hotmail.com

Background:

The subject property is designated as a locally significant site pursuant to the Lake Park Historic Preservation. It is significant to the early history of Kelsey City where as 414 Greenbriar Drive possesses the Bungalow style architectural features of the Boom times in Florida, and it was built in the early 1920's for the Kelsey City development.

This one-story Craftsman Bungalow style house is located on the south side of Greenbriar Drive, between 4th and 5th Streets in Township 42 South, Range 43 East, Section 21 (Riviera Beach USGS Quadrangle, 1946, PR 1983) in Lake Park, Florida. It was built around 1924 and exhibits an irregular plan. This wood frame structure is clad in clapboard siding-facing gabled roofs are covered in composition shingles and feature wood knee braces and a stuccoed chimney on the west exterior wall. Original wood double-hung sash windows with light patterns of six-over-one has been retained. A guest house with similar features and construction is situated to the south of the main house.

Request:

The applicant has submitted plans for renovation of the existing one-story guest house (accessory building), exterior and interior alteration of a +/- 580 square foot building to the south (rear) of the main House. Applicant is proposing removing all existing jalousie, single hung windows, existing panel doors, and proposing impact rated sliding windows, sliding glass



doors, and fiberglass two panel door to match existing historic main house facade. Applicant is also proposing an additional outdoor shower privacy fence on the west elevation of the guest house and in lieu of the existing 6 feet vinyl fence they are proposing a privacy fence, bronze finish post and cypress slats, see exhibit A, sheets A-2 to A-3 for graphic representation of proposed elevations.

Historic Preservation

Alterations to the guest building's facade in a local historic district is subject to specific criteria for visual compatibility as set forth in Historic Preservation, Chapter 66 of the Town's Code of Ordinances. As required by Historic Preservation the project was also reviewed using the Secretary of Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings, 2017 Edition.

The National Park Service and Secretary of the Interior's Standards have specific criteria regarding the rehabilitation of historic structures, as well as alterations that affect a historic property. The Standards that apply are listed below with project specific Consultant responses:

Standards for Rehabilitation:

1. A property will be used as it was historically or be given a new user that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
Response: Applicant proposes alterations that do not disturb the historical nature of the guest house or architectural character that ties into the Craftsman Bungalow style of the main house, however; there are revisions to be made for windows

and doors to meet the historic preservation standards, see page 6 for exterior comments. Applicant has proposed minor alterations of the interior spaces that meets the requirements and matches the existing historic intent for the Guest House floor plan, see Exhibit A, Sheet A-2 for existing and proposed floor plans.

2. The historic character of property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.

Response: The applicant has proposed alterations to the guest house that will minimally impact the historic character of property. The proposed elevations of proposed windows and doors shall match with similar character to the main building and will match the existing trim and white color, style, and lite pattern of muntins, either six-over-one or two-over-two single hung windows. The proposed sliding glass doors shall be revised to french doors with muntins and lite pattern configuration to match historic character, see page 5 and 6.

Once these elements (french doors, single hung windows) have been added they shall not distract much from the original intent on the north elevation. The proposed entry panel door does not interfere with the historical integrity of the facade. Moreover, the Guest House alterations, after historic

preservation comments and revisions of the facade shall not compete with the original historic building but compliment the Craftsman Bungalow style of the main house.

3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

Response: Proposed alterations will not create a false sense of historic development. It will still be possible to distinguish the buildings original style that matches similar features of the main house's bungalow features and detailing. Therefore, the guest house does not attempt to replicate any historic style or period but is in harmony if the revisions are made to the facade that includes the single hung windows and french doors that matches and complements existing main house's bungalow style.

4. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

Response: The applicant's proposed work preserves and repairs clapboard wood siding, proposes window trim to match existing, standing seam metal roof to remain, exposed wood out lookers (rafters), wood fascia, etc. All new windows and doors will be replaced and match the historic appearance of the originals of the main house

with regard to wood trim, color, and style (single hung window: six-over-one or two-over-two muntin configuration).

5. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Response: Not applicable.

6. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

Response: Not yet applicable.

7. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

Response: Not applicable.

8. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Response: Not applicable.

9. New additions and adjacent or related new construction will be undertaken in

such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Response: Not applicable.

Consultant's Analysis:

It is the Consultant's analysis that the proposed minor and partial demolition, site improvements, exterior alterations and new addition is compatible with the regulations set forth in Chapter 66 Historic Preservation Ordinance and the Standards and Guidelines.

Consequent Action:

The Board can approve the application; approve the application with conditions; continue the hearing to a date certain to request additional information; or deny the application.

Recommendation:

Consultant recommends that the Board approve the amendment to the request for exterior alterations and addition with the following Conditions:

1) The proposed windows shall be wood, wood-clad, or aluminum single-hung, double-hung, or casement windows. The divided light patterns shall be created by using exterior raised applied triangular muntins.

No flat or internal muntins shall be permitted.

No reflective or mirrored glass shall be used.

2) All trim and sills around the windows and doors, shall be repaired if possible. If the trim or sills are too deteriorated to be repaired, the trim, and sills shall be exactly replicated in size, shape, location, and configuration, subject to Staff review during permitting and inspection during construction.

9) All work shall be subject to staff review during permitting and inspection during construction.

10) All work shall comply with the Land Development Regulations and all other required Codes.

11) All work to existing building shall comply with *The Secretary of Interior's Standards for Rehabilitation & Guidelines for Rehabilitating Historic Buildings*.

<https://www.nps.gov/tps/standards/four-treatments/treatment-rehabilitation.htm>

Potential Motion:

I MOVE TO **APPROVE** Project Number 22044: Consideration of an amendment to the Certificate of Appropriateness (COA) for Guest House south of the main house located at 414 Greenbriar Drive, based upon the competent substantial evidence, with the conditions as recommended by Consultant.

I MOVE TO **DENY** Project Number 22044: Consideration of an amendment to the Certificate of Appropriateness (COA) for Guest House south of the main house located at 414 Greenbriar Drive because the Applicant has **not** established by competent substantial evidence that the application is in compliance with the Town of Lake Park Code of Ordinances Chapter 66, the Secretary of the Interior's Standards for the Rehabilitation of Historic Properties, and the City's Comprehensive Plan.



- A. Guest House Option 1: Existing two-over-two single hung window, west elevation, all proposed windows shall match historic windows.



- B. Historic Main House Option 2, Existing six-over-one single hung window, north elevation, Guest House proposed windows shall match historic windows.



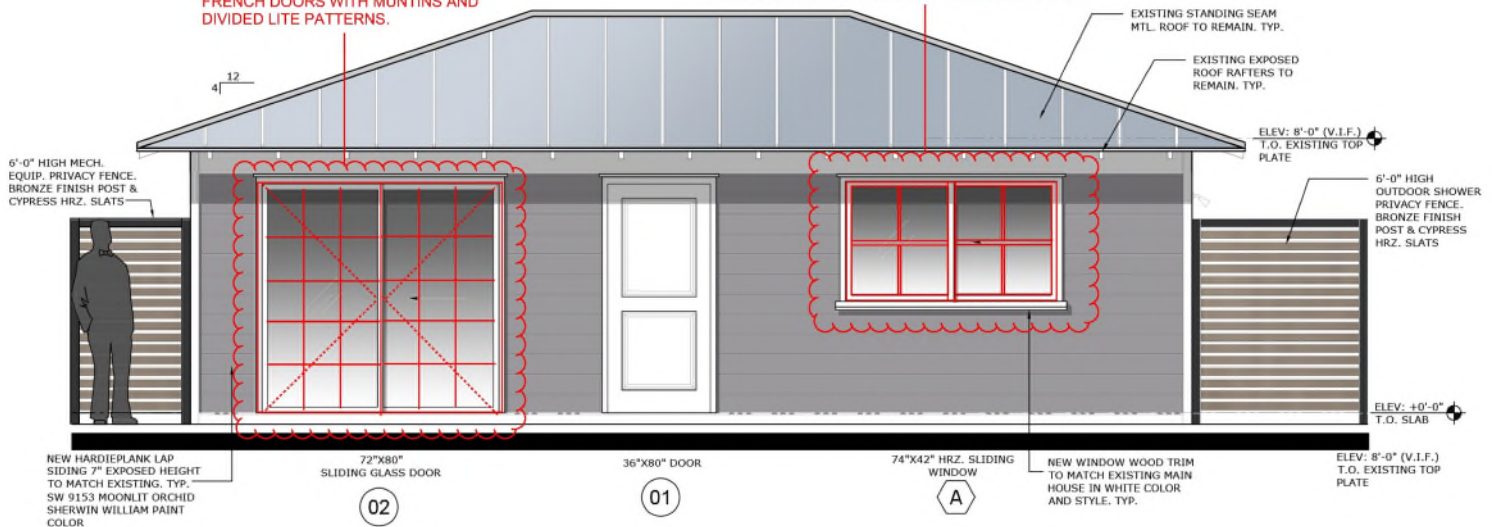
- C. Guest House: Existing wood doors, shall be replaced with outward swinging, French doors with muntin divided lite pattern, North Elevation.



- D. Guest House, Existing exposed rafters and standing seam metal roof shall remain, South Elevation, as noted in attached drawings, see sheets A-1, A-1.1, and A-1.2.
- E. Exhibit Attached: Design drawings from Applicant.

GUEST HOUSE DOORS SHALL MATCH WITH SIMILAR HISTORIC FEATURES SUCH AS OUTWARD SWINGING FRENCH DOORS WITH MUNTINS AND DIVIDED LITE PATTERNS.

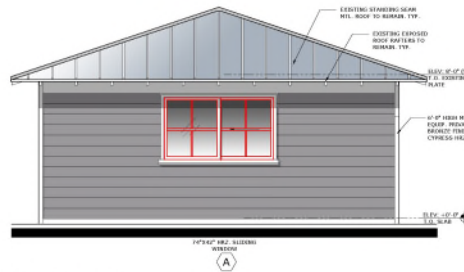
ALL WINDOWS SHALL MATCH HISTORIC FEATURES AND FUNCTIONALITY OF GUEST HOUSE OR MAIN HOUSE WINDOWS, SUCH AS, TWO-OVER-TWO SINGLE HUNG OR SIX-OVER-ONE SINGLE HUNG. THEREFORE, WINDOWS SHALL HAVE MUNTINS AND DIVIDED LITE PATTERN, MATCHING HISTORIC WINDOW CONFIGURATION.



PROPOSED NORTH ELEVATION

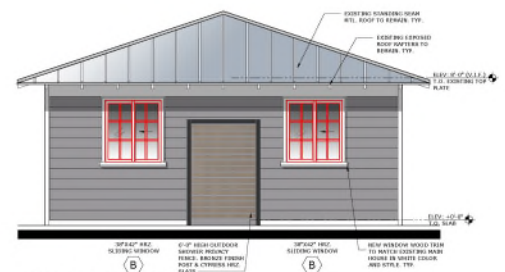
SCALE: 3/8" = 1'-0"

F. Guest House: Overlay of Historic Preservation comments on Proposed North, East, West, and South Elevation, French Doors and Single Hung Windows to match with similar historic features of Main House and Existing Guest House windows (muntin configuration).



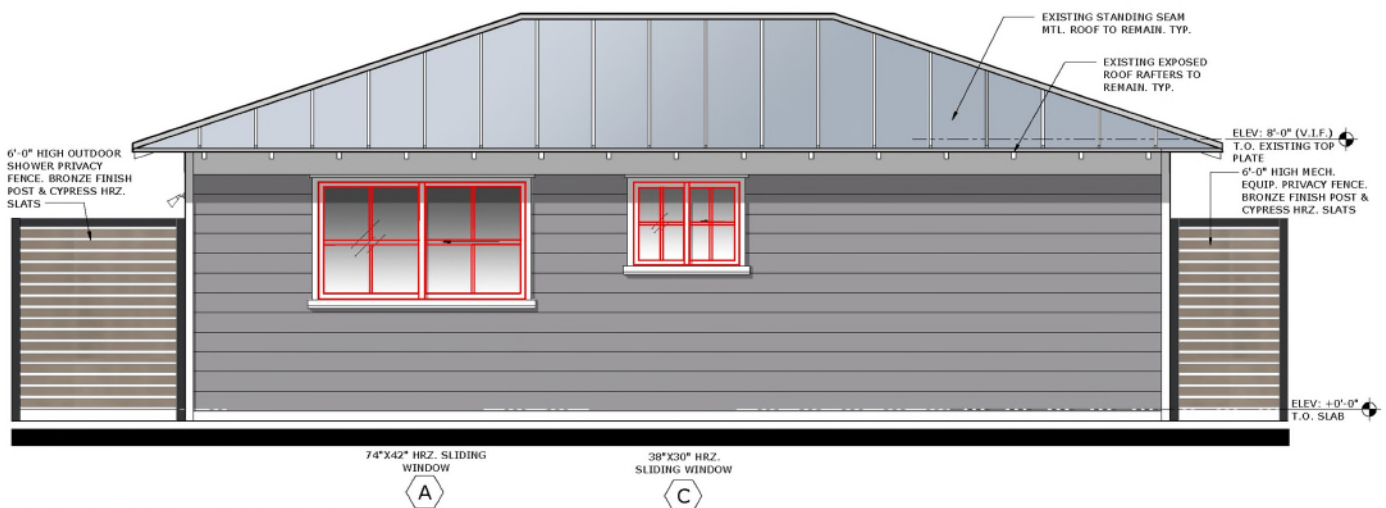
PROPOSED EAST ELEVATION

SCALE: 3/8" = 1'-0"



PROPOSED WEST ELEVATION

SCALE: 3/8" = 1'-0"



PROPOSED SOUTH ELEVATION

SCALE: 3/8" = 1'-0"

GUEST HOUSE
RENOVATION TO
414 GREENBRIAR DR
LAKE PARK, FL 33405

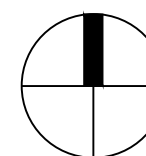
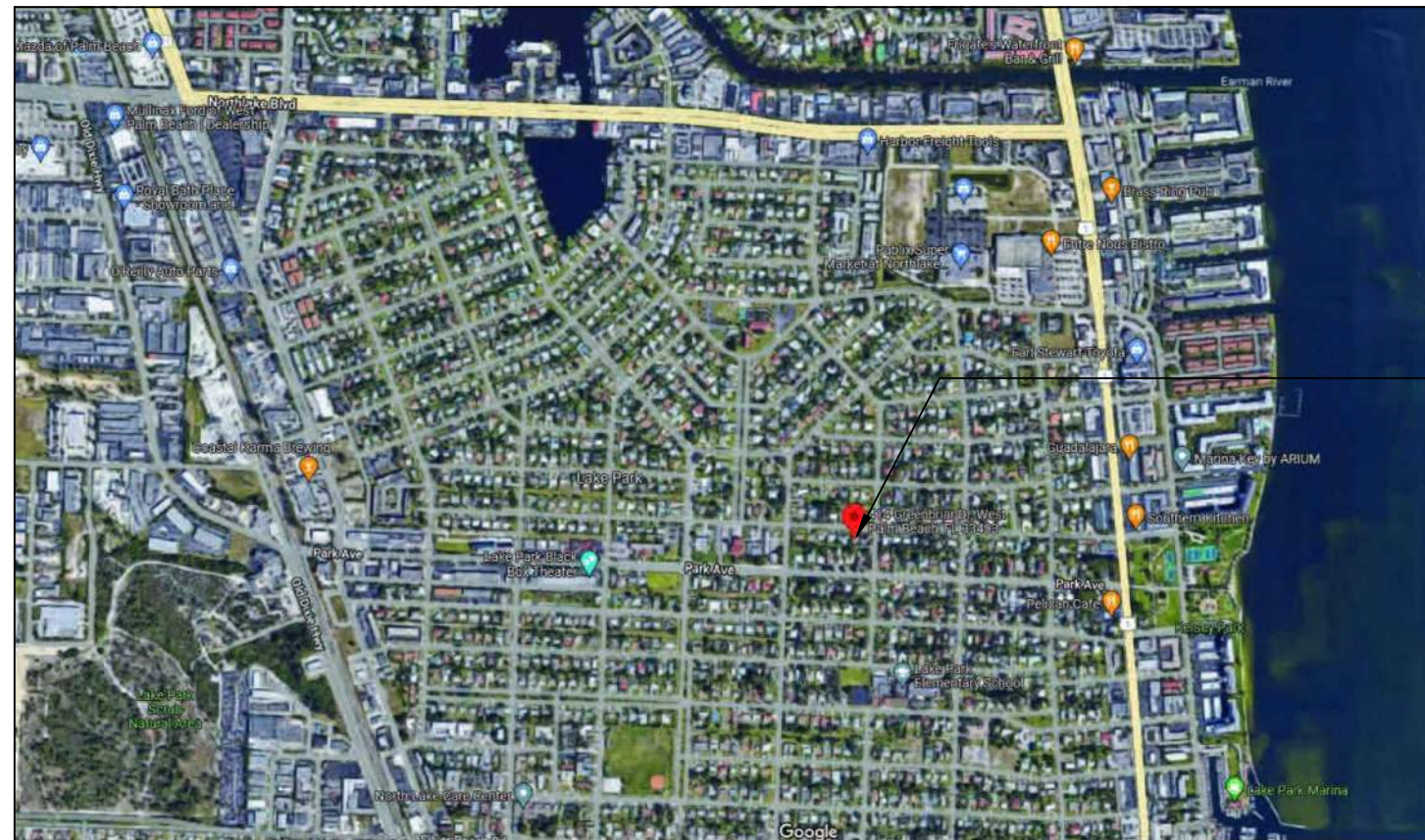
CONTRACTOR AND ALL SUBCONTRACTORS
PERFORMING ANY WORK ON THIS
PROJECT ARE TO VISIT THE SITE AND
VERIFY ALL MEASUREMENTS INCLUDING
BUT NOT LIMITED TO BUILDING HEIGHTS,
ROOF SLOPES, ROOM DIMENSIONS ETC.
TO CONFIRM ALL EXISTING CONDITIONS
BEFORE ORDERING OR FABRICATING ANY
MATERIALS. CONTRACTOR SHALL REPORT
ANY INCONSISTENCIES WITH THE
CONSTRUCTION DOCUMENTS TO THE
ARCHITECT BEFORE CONTINUING WORK.

GUEST HOUSE RENOVATION

414 GREENBRIAR DRIVE
LAKE PARK, FLORIDA

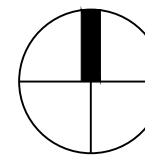
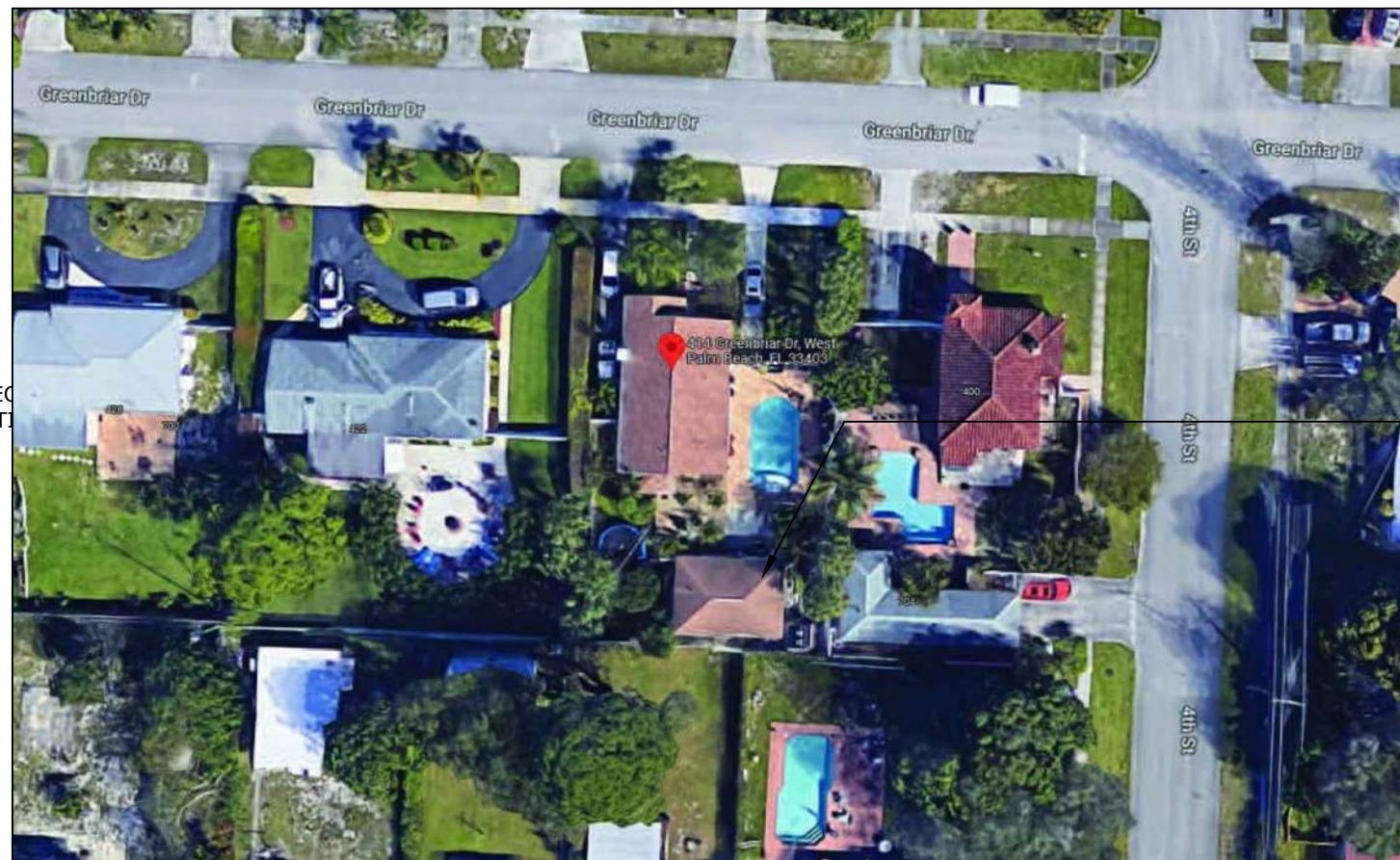


PROPOSED NORTH ELEVATION - GUEST HOUSE



LOCATION MAP

NOT TO SCALE



NEIGHBORHOOD MAP

NOT TO SCALE

CODE DATA

SINGLE FAMILY RESIDENCE - R3

ZONING:

R1 SINGLE FAMILY RESIDENCE (36-LAKE PARK)
MUNICIPALITY: LAKE PARK
SUBDIVISION: KELSEY CITY IN PB 8 PGS 15 TO 18,23,27 & 34 TO 37 INC
PARCEL CONTROL NUMBER: 36-43-42-20-01-023-0040
LEGAL DESCRIPTION: KELSEY CITY LTS 4 TO 6 INC BLK 23

GENERAL NOTES

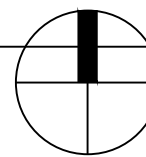
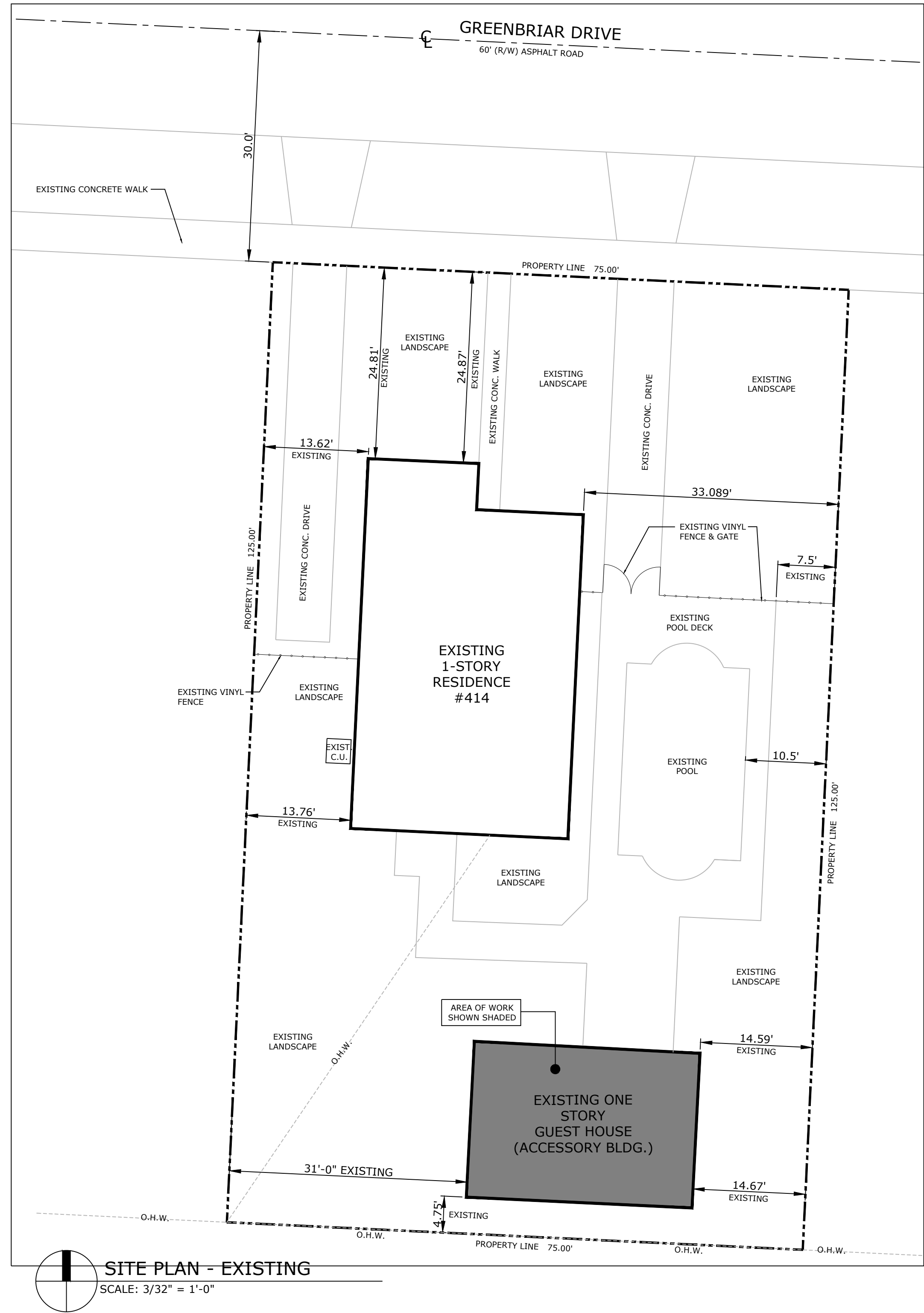
- PLANS WERE PREPARED IN ACCORDANCE WITH THE 2020 FLORIDA RESIDENTIAL BUILDING CODE 7TH EDITION & FLORIDA FIRE PREVENTION CODE 7TH EDITION.
- ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES.
- VISIT THE SITE TO DETERMINE THE CHARACTERISTICS OF THE EXISTING CONDITIONS WHICH WILL AFFECT PERFORMANCE OF THE WORK, BUT WHICH ARE NOT SHOWN ON THE DRAWINGS OR THE SPECIFICATIONS.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AS THE WORK PROGRESSES AND SHALL REPORT ANY INCONSISTENCIES WITH THE CONSTRUCTION DOCUMENTS TO THE ARCHITECT BEFORE CONTINUING WORK.
- ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER, COMPLETE, IN PLACE AND READY FOR USE.

SHEET INDEX

- A-0 COVER / SITE PLAN
- A-1 EXISTING GUEST HOUSE EXTERIOR PHOTOGRAPHS
- A-1.1 EXISTING GUEST HOUSE INTERIOR PHOTOGRAPHS
- A-1.2 EXISTING GUEST HOUSE INTERIOR PHOTOGRAPHS
- A-2 FLOOR PLANS AND ELEVATIONS (EXISTING AND PROPOSED)
- A-3 EXTERIOR ELEVATIONS (EXISTING AND PROPOSED)
- A-4 PROPOSED MATERIALS
- A-4.1 PROPOSED MATERIALS

SCOPE OF WORK

- RESTORATION/RENOVATION OF THE EXISTING GUEST HOUSE.
- REPLACE DAMAGE WOOD SIDING, WINDOWS AND DOORS.
- PROPOSED SIDING TO MATCH EXISTING IN APPEARANCE.
- NEW WINDOW WOOD TRIM TO MATCH EXISTING MAIN HOUSE IN APPEARANCE AND PAINT FINISH.
- NEW PROPOSED PAINT FINISH FOR GUEST AND MAIN HOUSE.



SITE PLAN - EXISTING

SCALE: 3/32" = 1'-0"

REV # DATE DESCRIPTION

SEAL

ROGER HANSROTE, ARCHITECT
FLAR # 14300

REVISION

JOB NUMBER: 2022-53
DATE: 07-22-2022
DRAWN BY: AL/MG
APPROVED BY: RH

SHEET TITLE

COVER / SITE PLAN

SHEET NUMBER

CONTRACTOR AND ALL SUBCONTRACTORS
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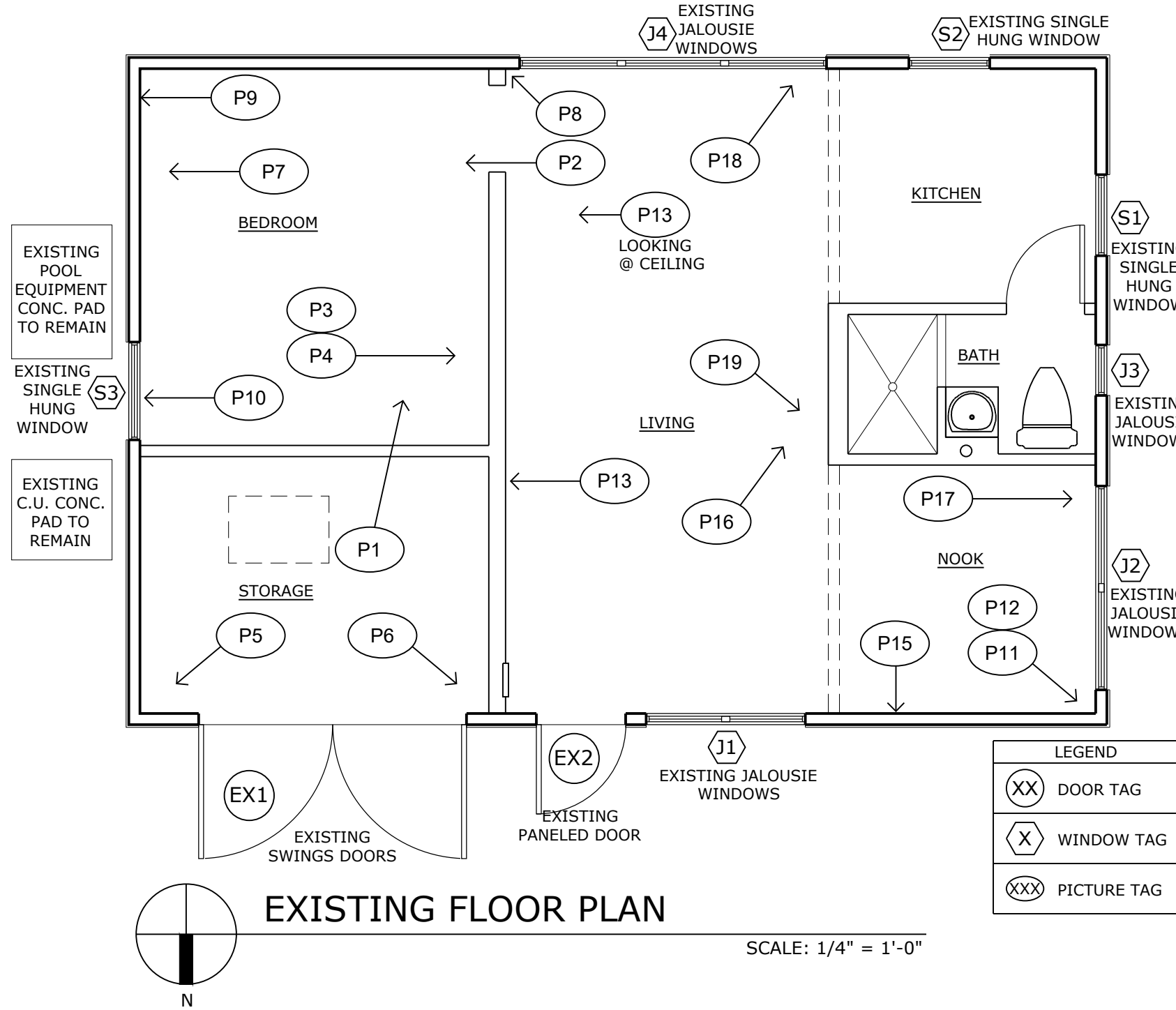
JOB NUMBER: 2022-53
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SHEET TITLE

EXISTING
EXTERIOR
PHOTOGRAPHS

SHEET NUMBER

A-1



EXISTING EAST ELEVATION



EXISTING EAST ELEVATION



EXISTING NORTH ELEVATION



EXISTING NORTH ELEVATION



EXISTING WEST ELEVATION



EXISTING WEST ELEVATION

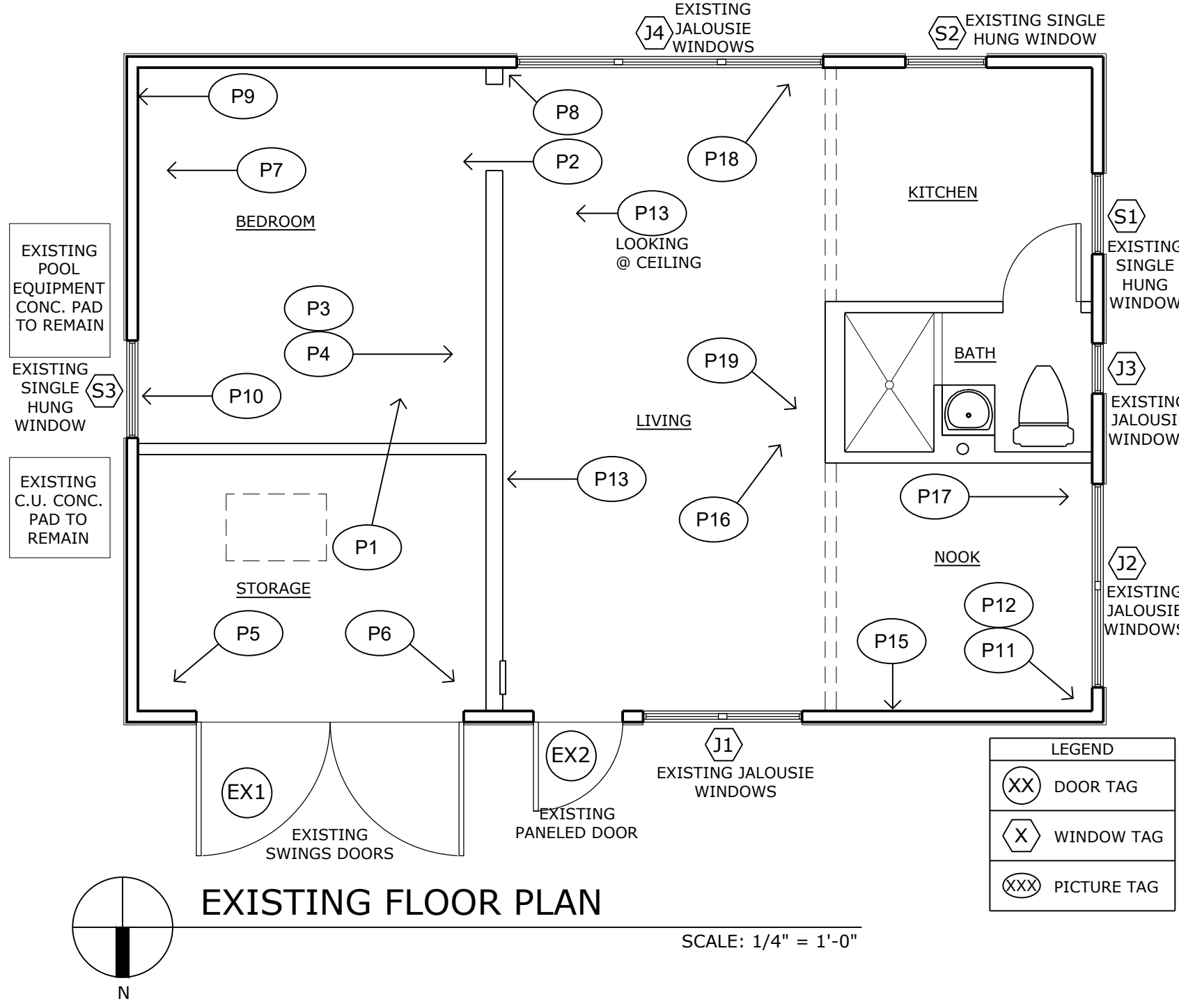


EXISTING SOUTH ELEVATION

GENERAL NOTES. TYP.

AS SHOWN EXTERIOR PICTURES: WOOD ROD
AND TERMITE DAMAGED, INCLUDING BUT NOT
LIMITED TO:

WINDOWS AND WINDOWS WOOD FRAMING,
WOOD DOOR AND DOORS WOOD FRAMING,
WINDOWS AND DOORS WOOD TRIM, EXTERIOR
WOOD SIDING.



EXISTING PICTURE P1



EXISTING PICTURE P2



EXISTING PICTURE P3



EXISTING PICTURE P4



EXISTING PICTURE P5



EXISTING PICTURE P6



EXISTING PICTURE P7



EXISTING PICTURE P8



EXISTING PICTURE P9



EXISTING PICTURE P10

GENERAL NOTES. TYP.

AS SHOWN INTERIOR PICTURES: WOOD ROD AND TERMITE DAMAGED, INCLUDING BUT NOT LIMITED TO:

WINDOWS AND WINDOWS WOOD FRAMING, WOOD DOOR AND DOORS WOOD FRAMING, CASING, WOOD STUDS/ WOOD FRAMING, EXTERIOR WOOD SIDING AND SOME ROOF RAFTERS. STRUCTURAL ENGINEER VISITED THE SITE AND RECOMMENDED SHORING THE ROOF STRUCTURE.

architectural consultants inc.

ARCHITECTURE / DESIGN
Lic. No. 26002046

2475 MERCER AVE.
SUITE 201
West Palm Beach, Florida 33401

Phone 561-655-0674

GUEST HOUSE
RENOVATION TO
414 GREENBRIAR DR
LAKE PARK, FL 33405

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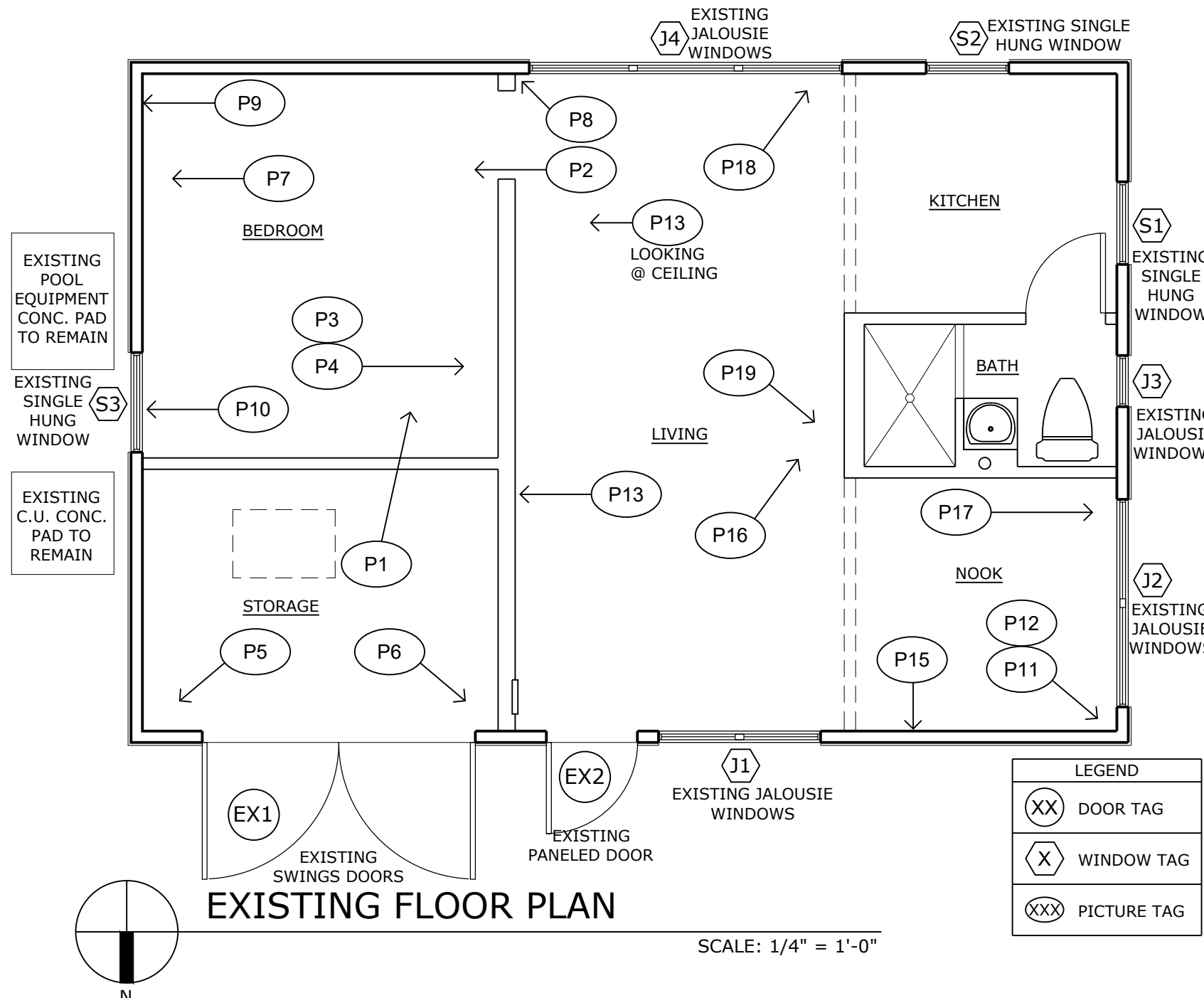
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SHEET TITLE

EXISTING
INTERIOR
PHOTOGRAPHS

SHEET NUMBER



EXISTING PICTURE P11



EXISTING PICTURE P12



EXISTING PICTURE P13



EXISTING PICTURE P14



EXISTING PICTURE P15



EXISTING PICTURE P16



EXISTING PICTURE P17



EXISTING PICTURE P18



EXISTING PICTURE P19

GENERAL NOTES. TYP.

AS SHOWN INTERIOR PICTURES; WOOD ROD AND TERMITE DAMAGED, INCLUDING BUT NOT LIMITED TO:

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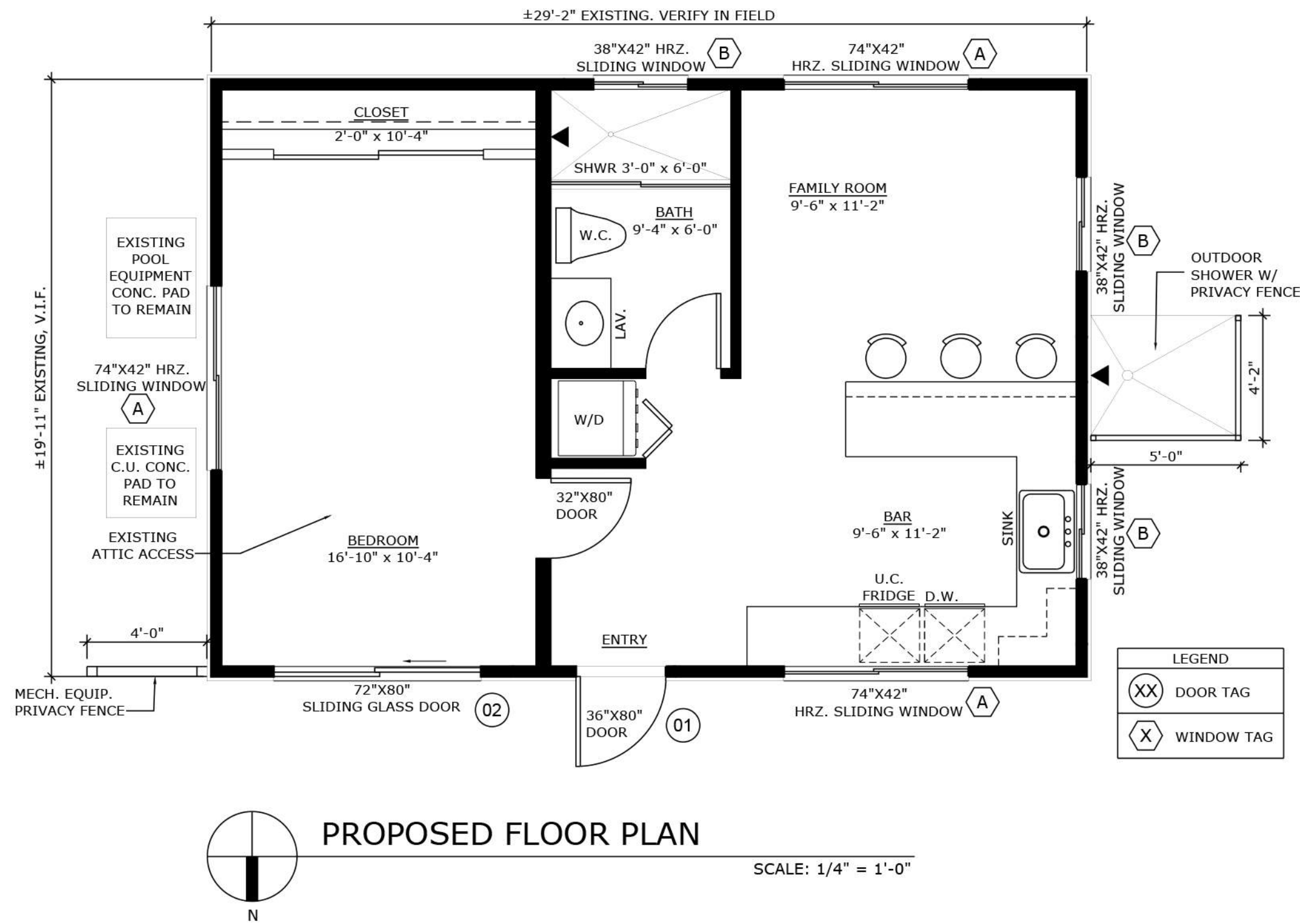
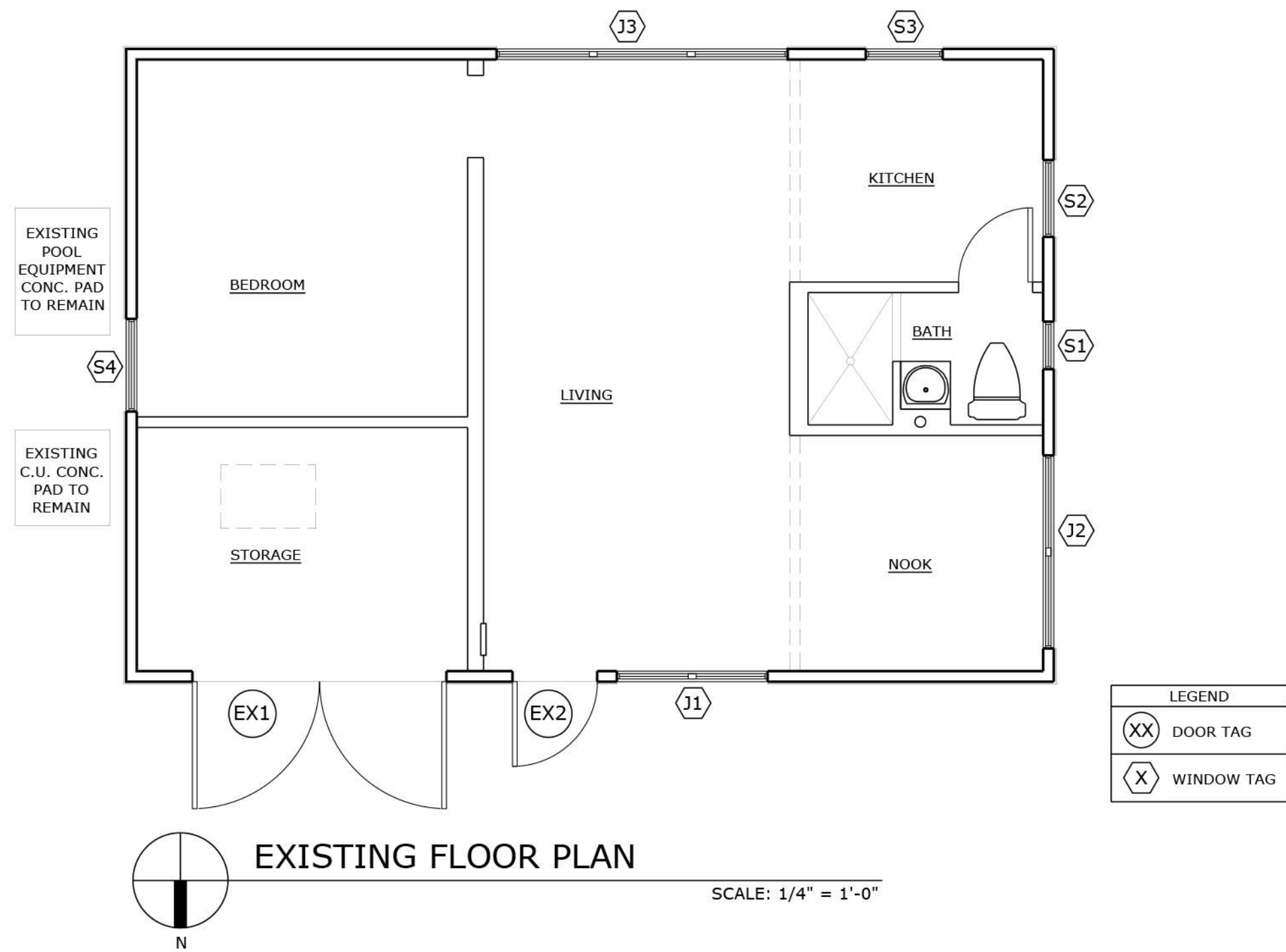
SHEET TITLE

EXISTING
INTERIOR
PHOTOGRAPHS

SHEET NUMBER

GUEST HOUSE
RENOVATION TO
414 GREENBRIAR DR
LAKE PARK, FL 33405

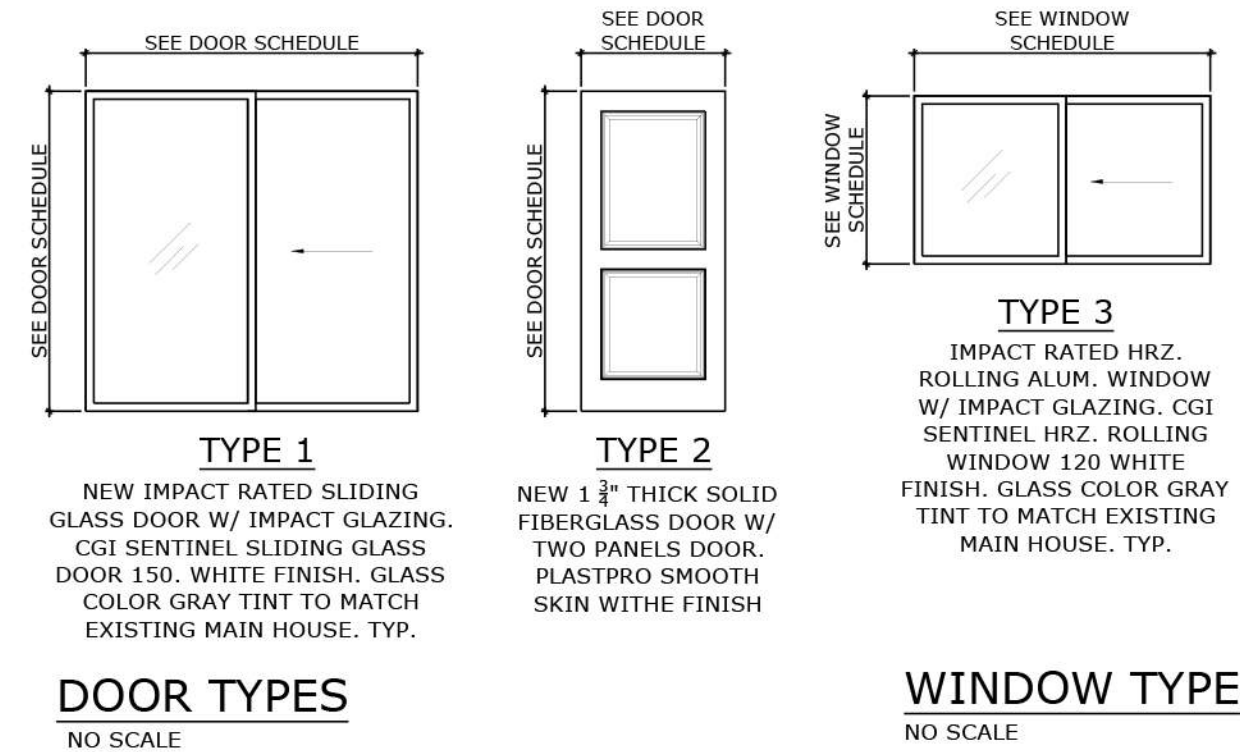
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NEW EXTERIOR WINDOWS & NEW EXTERIOR DOORS SCHEDULE							
MARK	WINDOW TYPE	OPENING SIZE			FINISH	MANUFACTURER	REMARKS
		WIDTH	HEIGHT	TYPE			
(A) (B)	ALUMINUM HRZ. ROLLING	SEE PLAN	SEE PLAN	3	WHITE	CGI	IMPACT RATED HRZ. ROLLING ALUM. WINDOW W/ IMPACT GLAZING. CGI SENTINEL HRZ. ROLLING WINDOW 120 WHITE FINISH. INSTALL WINDOWS PER PRODUCT APPROVALS & SUBMIT NOAS.
MARK	DOOR TYPE	OPENING SIZE			FINISH	MANUFACTURER	REMARKS
		WIDTH	HEIGHT	TYPE			
(01)	SWING DOOR	3'-0"	6'-8" V.I.F.	2	WHITE	PLASTPRO	NEW SOLID FIBERGLASS DOOR W/ TWO PANELS. PLASTPRO SMOOTH SKIN WITHE FINISH. IMPACT RATED, INSTALL PER PRODUCT APPROVAL & SUBMIT NOAS.
(02)	SLIDING GLASS DOOR	6'-0"	6'-8" V.I.F.	1	WHITE	CGI	NEW IMPACT RATED SLIDING GLASS DOOR W/ IMPACT GLAZING. CGI SENTINEL SLIDING GLASS DOOR 150. WHITE FINISH. INSTALL PER PRODUCT APPROVAL & SUBMIT NOAS.

NOTES:

1. WINDOW & DOOR SIZES ARE NOMINAL, CONTRACTOR/FABRICATOR SHALL FIELD MEASURE ALL OPENINGS BEFORE FABRICATION.
2. ALL EXTERIOR WINDOWS AND DOORS ARE IMPACT RATED WINDOWS AND DOORS W/ IMPACT RESISTANT GLAZING. WINDOWS AND DOOR FRAMES TO MATCH EXISTING FINISH AND EXISTING WINDOWS AND DOORS GLAZING TINT.



REV # DATE DESCRIPTION

SEAL

ROGER HANSROTE, ARCHITECT
FLAR # 14300

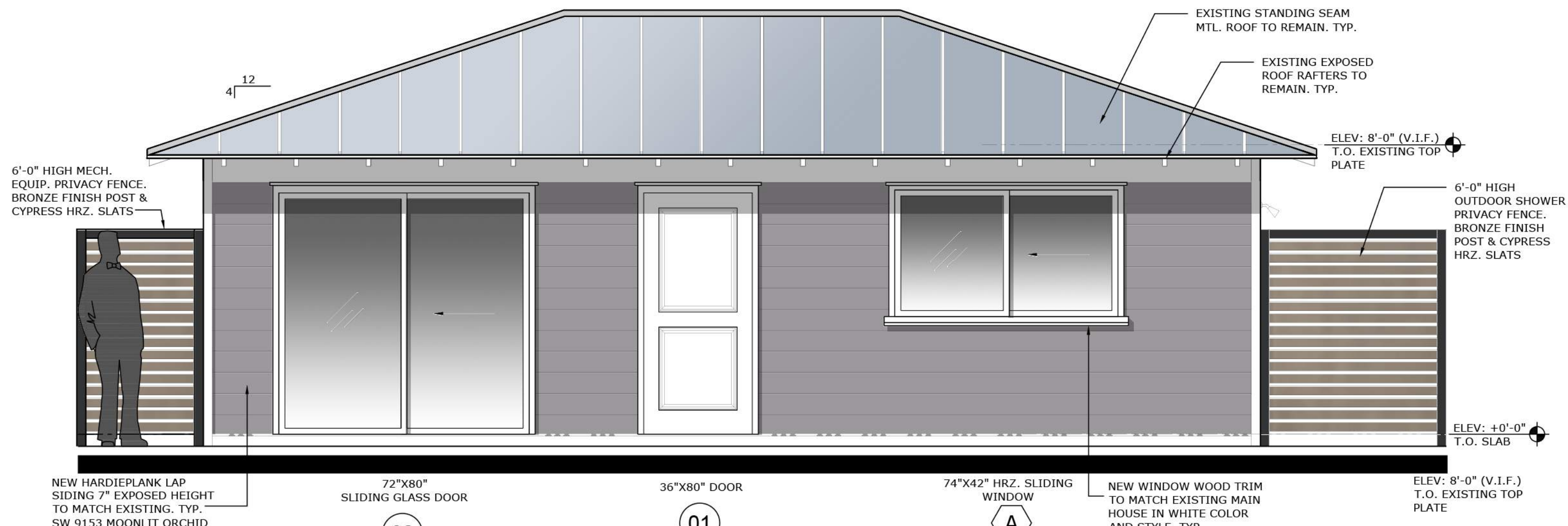
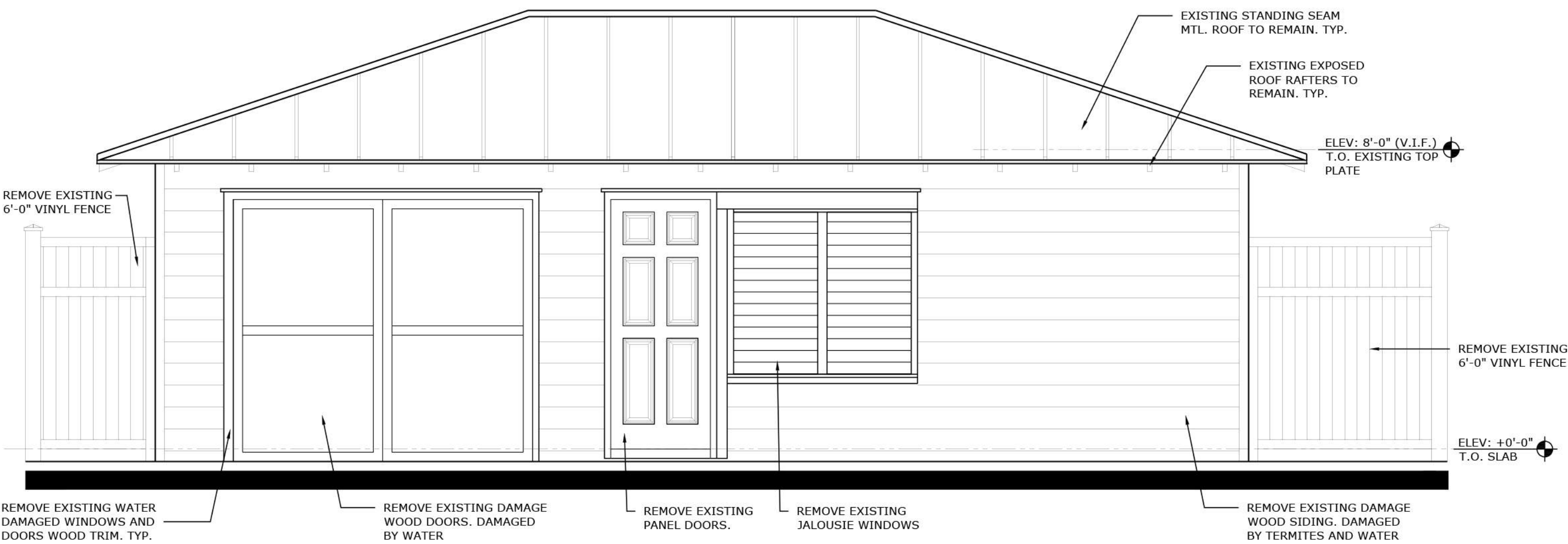
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SHEET TITLE

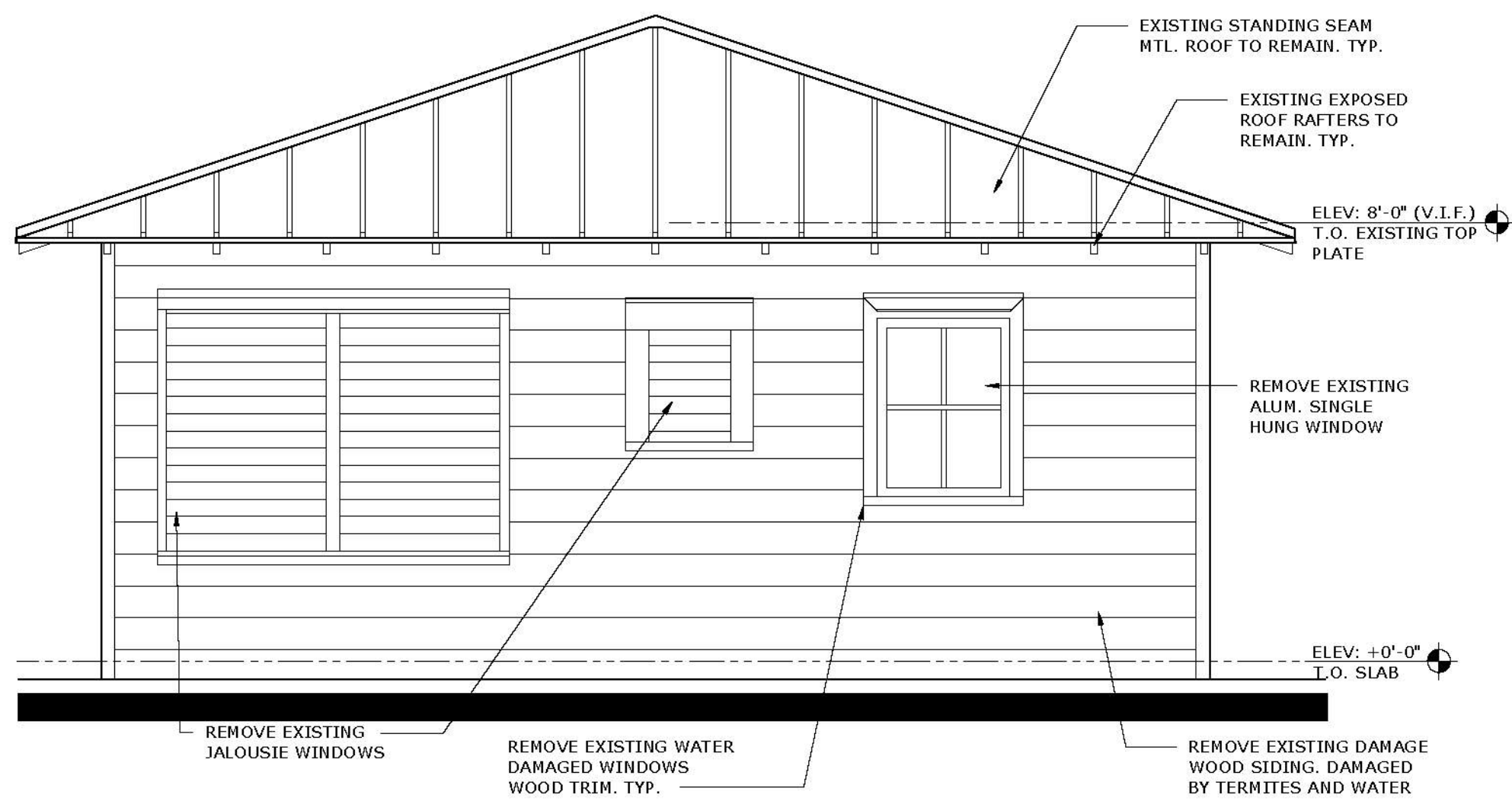
PROPOSED PLAN
& EXTERIOR
ELEVATIONS

SHEET NUMBER



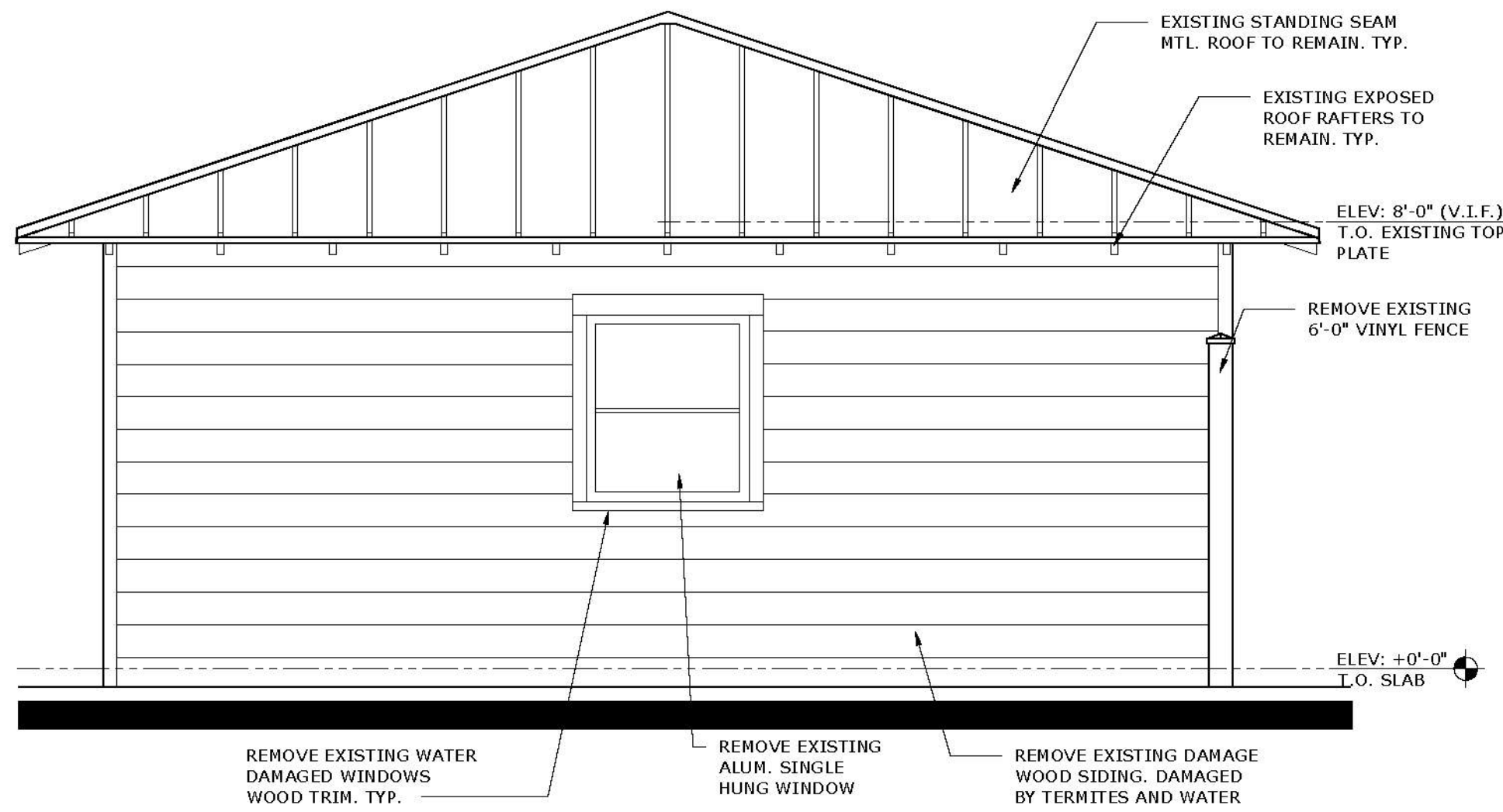
GUEST HOUSE
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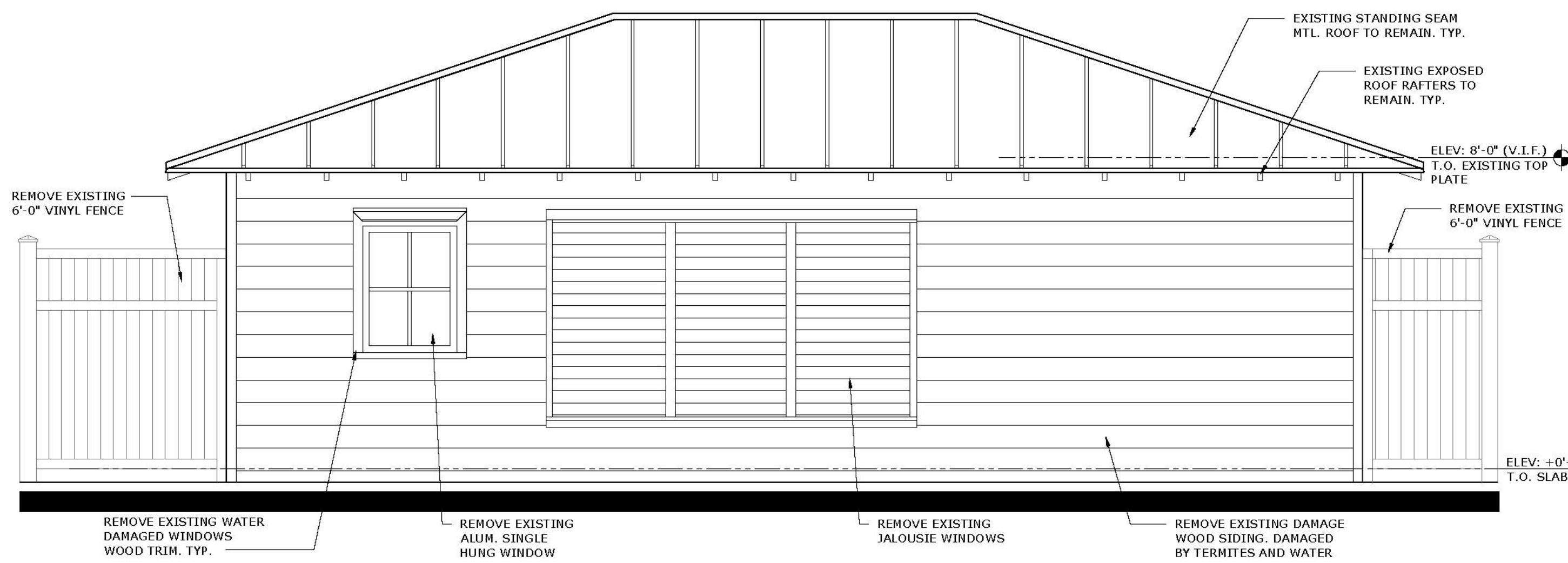
EXISTING WEST ELEVATION

SCALE: 3/8" = 1'-0"



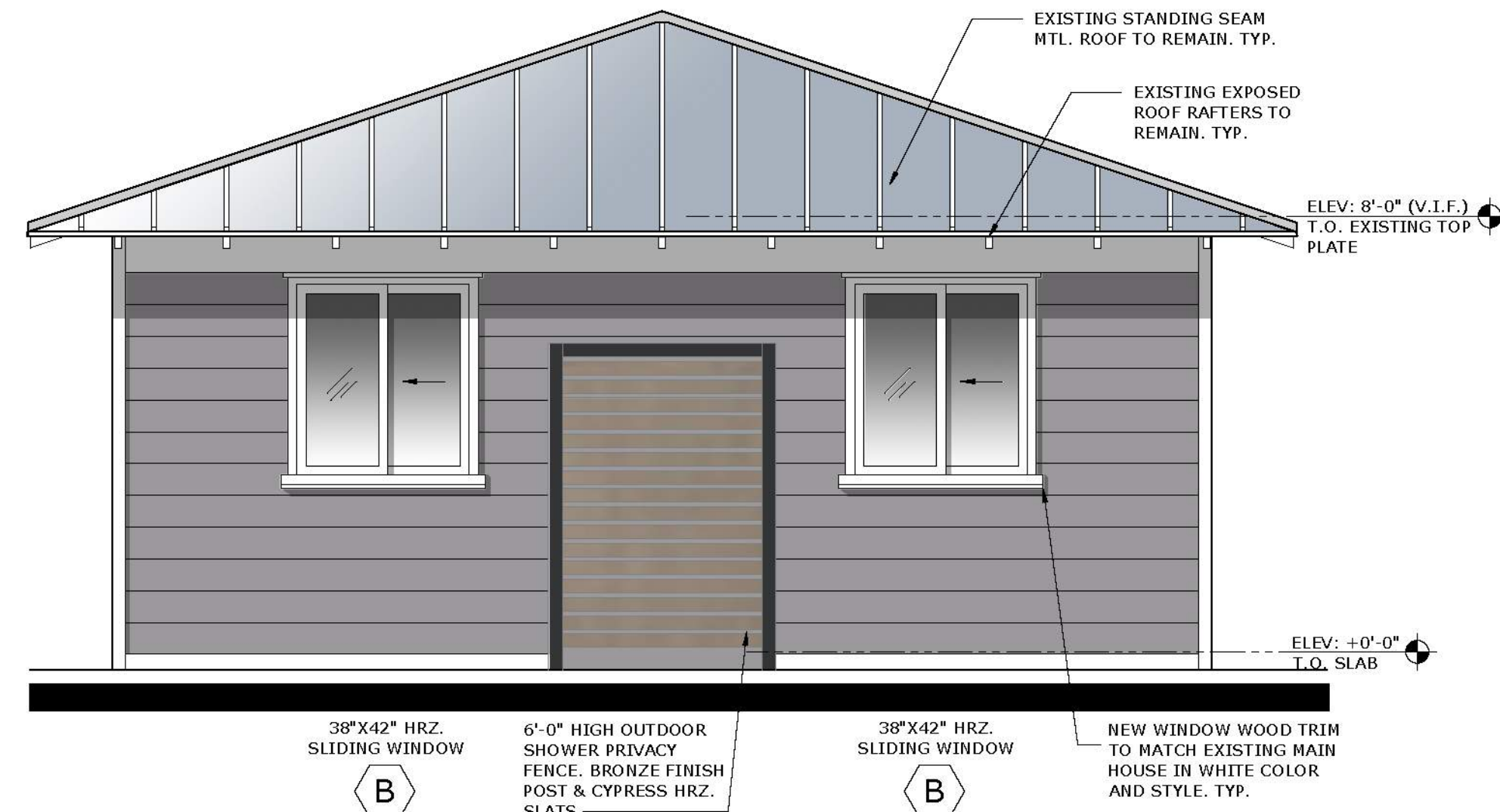
EXISTING EAST ELEVATION

SCALE: 3/8" = 1'-0"



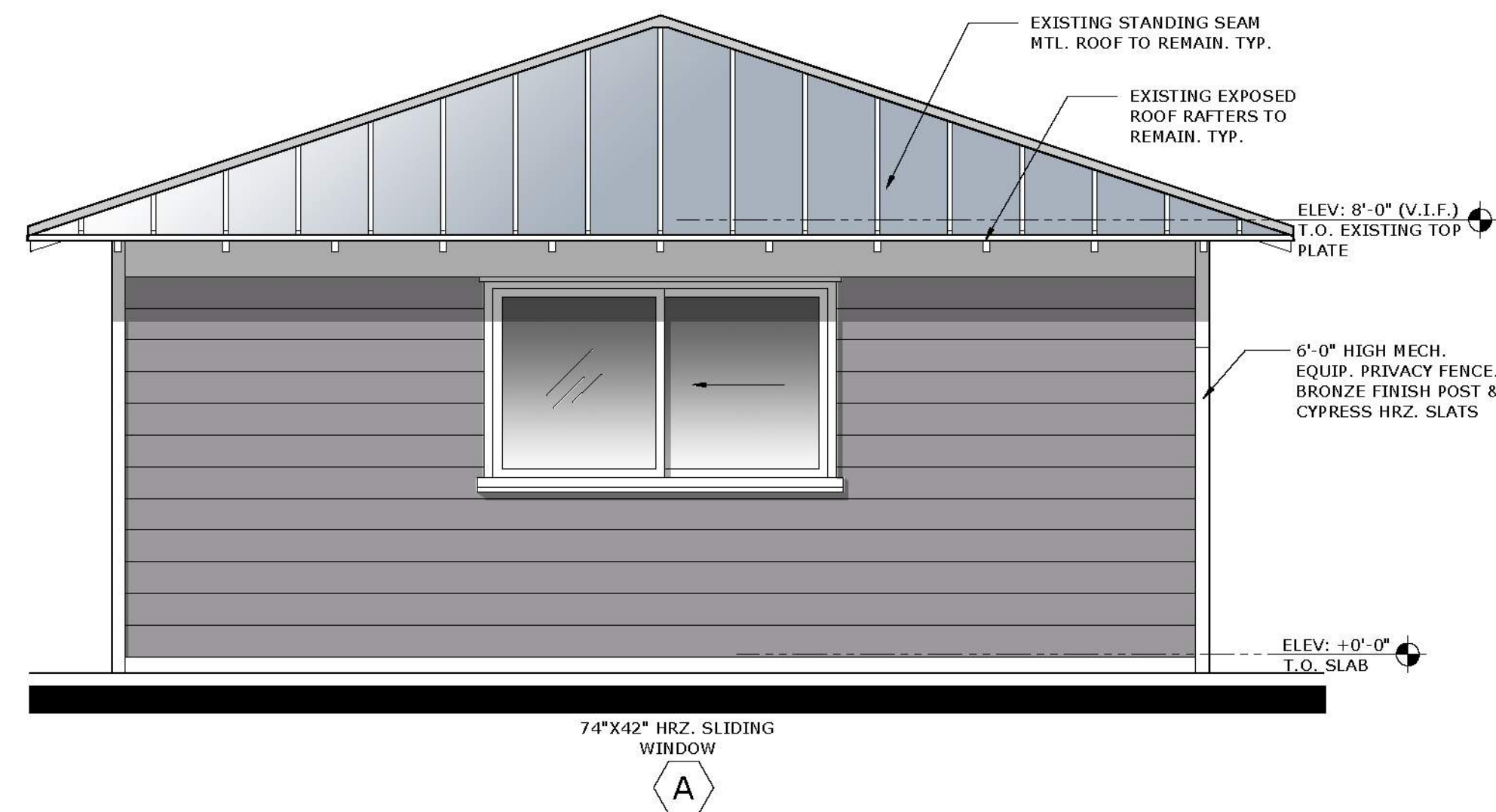
EXISTING SOUTH ELEVATION

SCALE: 3/8" = 1'-0"



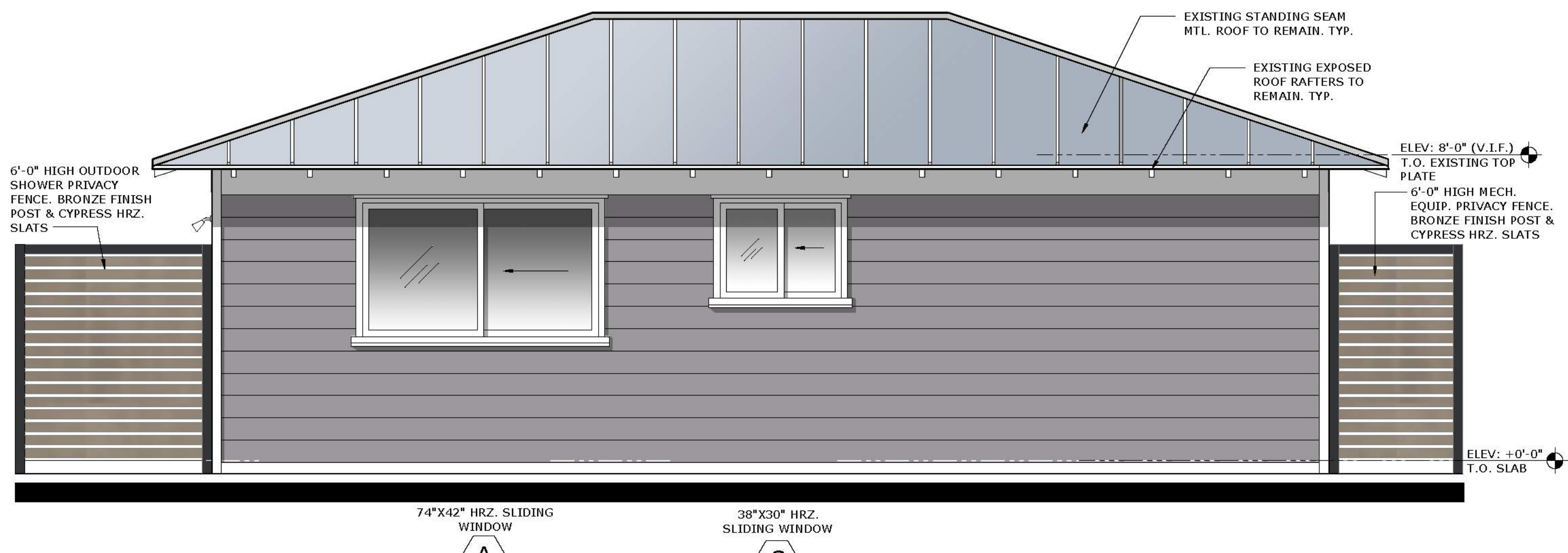
PROPOSED WEST ELEVATION

SCALE: 3/8" = 1'-0"



PROPOSED EAST ELEVATION

SCALE: 3/8" = 1'-0"



PROPOSED SOUTH ELEVATION

SCALE: 3/8" = 1'-0"

APPLICATION CERTIFICATE OF APPROPRIATENESS - SUPPLEMENTAL DRAWINGS

REV # DATE DESCRIPTION

SEAL

ROGER HANSROTE, ARCHITECT
FLAR # 14300

REVISION

JOB NUMBER: 2022-53
DATE: 07-22-2022
DRAWN BY: AL/MG
APPROVED BY: RH

SHEET TITLE

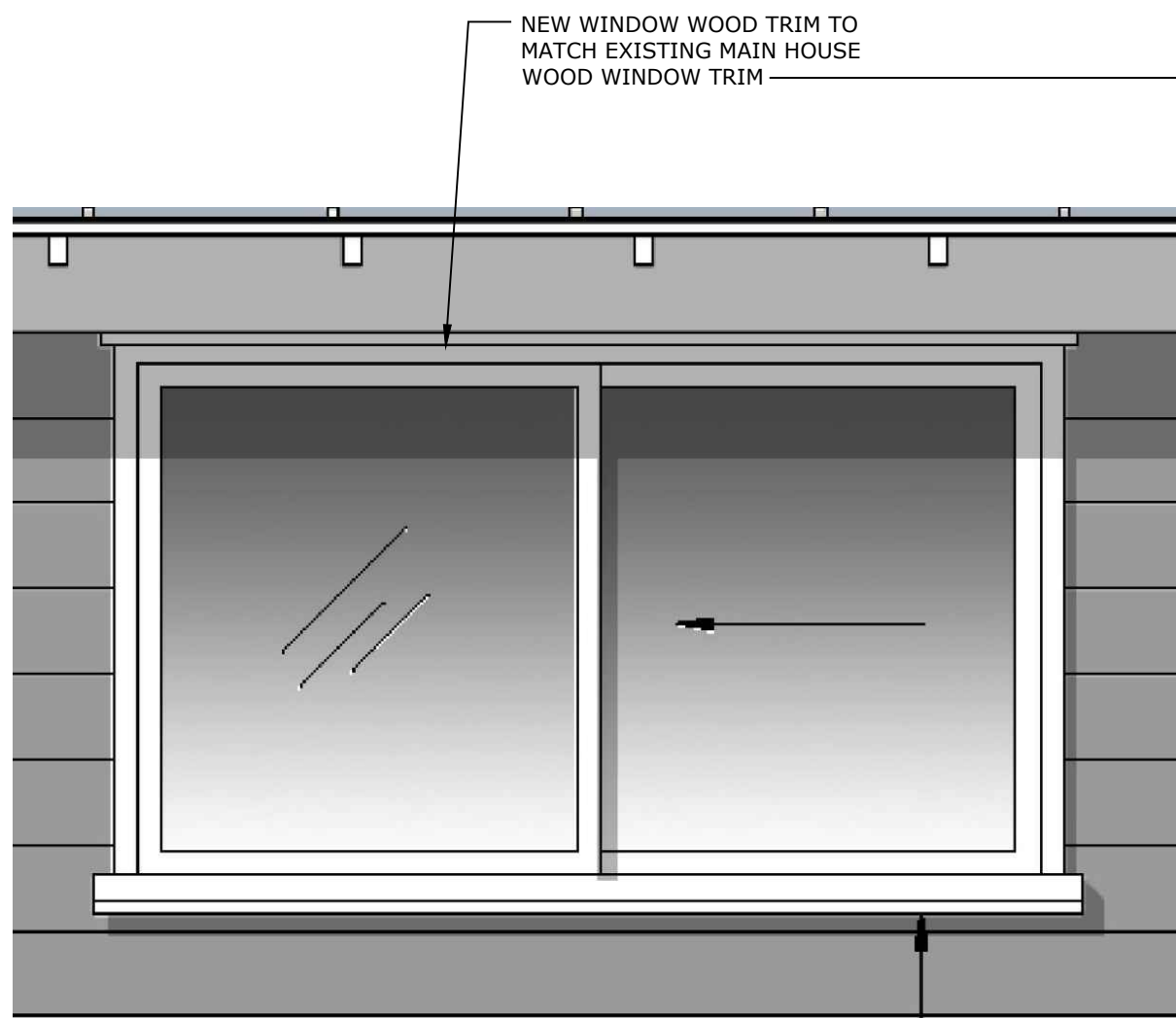
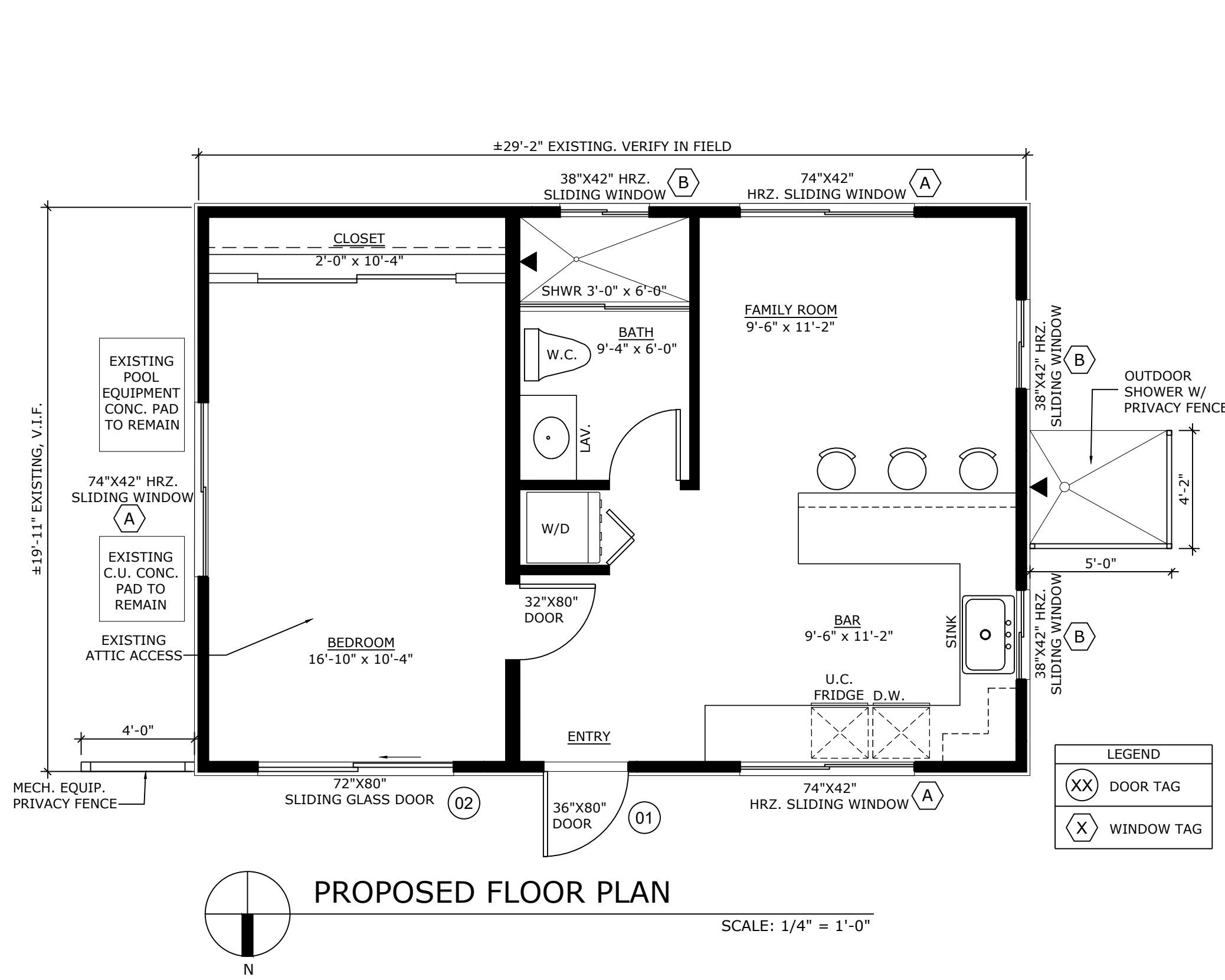
PROPOSED
EXTERIOR
ELEVATIONS

SHEET NUMBER

A-3

GUEST HOUSE
RENOVATION TO
414 GREENBRIAR DR
LAKE PARK, FL 33405

CONTRACTOR AND ALL SUBCONTRACTORS
PERFORMING ANY WORK ON THIS
PROJECT ARE TO VISIT THE SITE AND
VERIFY ALL MEASUREMENTS INCLUDING
BUT NOT LIMITED TO BUILDING HEIGHTS,
ROOF SLOPES, ROOM DIMENSIONS ETC.
TO CONFIRM ALL EXISTING CONDITIONS
BEFORE ORDERING OR FABRICATING ANY
MATERIALS. CONTRACTOR SHALL REPORT
ANY INCONSISTENCIES WITH THE
CONSTRUCTION DOCUMENTS TO THE
ARCHITECT BEFORE CONTINUING WORK.



PROPOSED WINDOW WOOD TRIM

NOTE: ALL NEW WINDOWS AND DOOR TO MATCH EXISTING MAIN HOUSE WINDOW WOOD TRIM.



EXISTING MAIN HOUSE
WINDOW WOOD TRIM



PROPOSED EXTERIOR SIDING
COLOR - SW9153 MOONLIT ORCHID

PLASTPRO: SMOOTH SKIN SERIES - WHITE FINISH



01 SEE DOOR SCHEDULE

DR52B

Two Panel Door SOLID FIBERGLASS DOOR

AVAILABLE IN: 2'8" x 6'8" 2'10" x 6'8" 3'0" x 6'8"

This Two Panel Door from the Smooth Series introduces two simple panels with the optional addition of a Half Lite to the minimal, smooth skin.

Revit file



SPECIFICATIONS

WHERE TO BUY

VIEW ON YOUR HOME

CGI: SENTINEL SERIES - WHITE FINISH

Available Finishes:

- White, Bronze and Class I Clear Anodized

Standard Glass Colors:

- Clear, Gray, Dark Gray (Turtle Code), Bronze, Solexia Green, White Interlayer, Mist (Pattern 62), Rain

Glass Types:

- 7/16" Laminated
- 1" Insulated Laminated

Glass Coatings:

- Energy efficient LoE options

Standard Hardware:

- Interior lock and handle
- Stainless steel rollers
- White, Bronze or Gray handles

Standard Features:

- 2, 3 & 4 track and pocketed configurations
- 4 3/4" deep frame on 2 track
- 6" deep frame on 3 track
- 7 3/4" deep frame on 4 track
- Mitered decorative interior corners
- Stainless steel fasteners
- Heavy duty extruded screen frame with Super-View™ fiberglass mesh
- 2-point lock
- Concealed installation screws

Sentinel Sliding Glass Door 150

Now with concealed fasteners, 2 point lock and updated door stop. Stainless steel package comes standard and the 4.75" 2-track depth allows for easy retrofit install. Available in 2, 3 or 4 track configurations and pockets.



NEW HANDLES

NOTE: ALUMINUM FRAME AND GRAY TINT GLAZING TO MATCH EXISTING MAIN HOUSE

02 SEE DOOR SCHEDULE

REV # DATE DESCRIPTION

SEAL

ROGER HANSROTE, ARCHITECT
FLAR # 14300

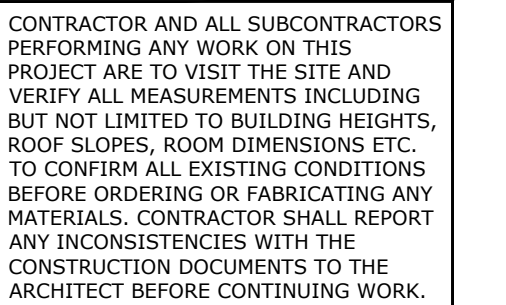
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PROPOSED
MATERIALS

SHEET NUMBER



A-4.1

