



**TOWN OF LAKE PARK  
COMMUNITY DEVELOPMENT DEPARTMENT**

**APPLICATION FOR SITE PLAN REVIEW OR AMENDMENT**

*Please call (561)881-3319 for submittal fees*

***\*\*For Planned Unit Development (PUD) applications, please refer to Section 78-77 of the  
Town Code of Ordinances for additional requirements\*\****

Project Name: Empire Landscape

Project Address: 830 13th Street, Lake Park, FL 33403

Property Owner: James Leserra

**APPLICANT INFORMATION:**

Applicant Name: Dustin Leserra

Applicant Address: 246 SE Ashley Oaks Way, Stuart, FL 34997

Phone: 772-215-8383 Fax: \_\_\_\_\_ E-Mail: info@empirelandscape.biz

**SITE INFORMATION:**

General Location: AKA Lot 47 LAKE PARK INDUSTRIAL SITES, UNRECORDED.

Address: 830 13th Street, Lake Park, FL 33403

Zoning District: Clic Future Land Use: Industrial Acreage: 0.33

Property Control Number (PCN): 36-43-42-20-00-000-7400

**ADJACENT PROPERTY:**

DIRECTION	ZONING	BUSINESS NAME	USE
North			Storage
East			Junkyard
South		Revival Landscape	Landscape
West			Auto Repair Shop

## **JUSTIFICATION:**

Information concerning all requests (attach additional sheets if needed)

1. Please explain the nature of the request:

Site Plan Application

Proposed 44' x 48" (2112 Sq/ft) Pre-fabricated Metal Building. Mixed Office/Warehouse space.

- 720 sq/ft Office space

- 1392 sq/ft of Warehouse space.

2. What will be the impact of the proposed change to the surrounding area?

The encompassed area will be improved.

- The proposed native vegetation will increase biodiversity.

- The proposed lighting and security system will increase safety in the surrounding areas.

3. How does the proposed Project comply with the Town of Lake Park's zoning requirements?

The project will comply with Lake park zoning requirements.

## **LEGAL DESCRIPTION:**

The subject property is located approximately 1 mile(s) from the intersection of Watertower Rd./Congress Ave., on the    north,    east,    south, X west side of the 13th Street (street/road).

*Legal Description:*

The Southerly 100 feet of the Northerly 650 feet of the Easterly 145 feet of the Westerly 845 feet of Northwest Quarter of the Southwest Quarter of Section 20, Township 42 South, Range 43 Palm Beach County, Florida

I hereby certify that I am the owner(s) of record of the above described property or that I/we have written permission from the owner(s) of record to request this action.

OWNER/APPLICANT Signature

Date

*J. 23-23*

**PLEASE DO NOT DETACH FROM APPLICATION.**

**SIGNATURE REQUIRED BELOW.**



Please be advised that Section 51-6 of the *Town of Lake Park Code of Ordinances* provides for the Town to be reimbursed, in addition to any application or administrative fees, for any supplementary fees and costs the Town incurs in processing development review requests.

These costs may include, but are not limited to, advertising and public notice costs, legal fees, consultant fees, additional Staff time, cost of reports and studies, NPDES stormwater review and inspection costs, and any additional costs associated with the building permit and the development review process.

For further information and questions, please contact the Community Development Department at 561-881-3318.

I, James Leserra, have read and understand the regulations above regarding cost recovery.

  
\_\_\_\_\_  
Property Owner Signature

8-23-23  
\_\_\_\_\_  
Date

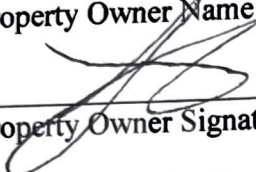


**CONSENT FORM**  
**FROM PROPERTY OWNER AND DESIGNATION OF AUTHORIZED AGENT:**

Before me, the undersigned authority, personally appeared James Leserra,  
who, being by me first duly sworn, on Oath deposed and says:

1. That he/she is the fee simple title owner of the property described in the attached Legal Description;
2. That he/she is requesting Site Plan Approval in the Town of Lake Park, Florida;
3. That he/she is appointed Authorized Agent to act as authorized on his/her behalf to accomplish the above Project.

Property Owner Name: James Leserra

  
Property Owner Signature

James Leserra, Owner

By: Name/Title

4545 SE Manatee Terrace

Stuart, FL 34997

Street Address

City, State, Zip Code

772-485-6008

Telephone Number

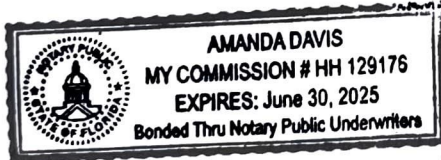
Fax Number

jim@empirelandscape.biz

E-Mail Address

Sworn and Subscribed before me on this 23<sup>rd</sup> day of August, 20 23

  
NOTARY PUBLIC



MY COMMISSION EXPIRES:

6/30/2025





**TOWN OF LAKE PARK  
COMMUNITY DEVELOPMENT DEPARTMENT**

**APPLICATION FOR WAIVER**

**APPLICANT INFORMATION**

**Owner**

Name: Empire LS Property Management Phone: 772-215-8383  
Address: 4545 SE Manatee Terrace City: Stuart State: FL Zip: 34997  
Email Address: INFO@EMPIRELANDSCAPE.BIZ (REQUIRED)

**Agent** (if applicable)

Name: Dustin Leserra Phone: 772-215-8383  
Address: 246 SE Ashley Oaks Way City: Stuart State: FL Zip: 34997  
Email Address: INFO@EMPIRELANDSCAPE.BIZ (REQUIRED)

**PROPERTY INFORMATION**

1. Property Location/Address: 13th St.; Lake Park, FL
2. Property Control Number(s): 36 - 43 - 42 - 20 - 00 - 000 - 7400
3. Zoning District: Town of Lake Park

**PROJECT INFORMATION**

Waiver(s) requested: Building setbacks.

Brief description of work proposed (use additional sheets if necessary):

Requesting Building setbacks. Up to 20 percent of the land development regulations for the front, side yard, side  
and rear setbacks may be waived, upon the community development director's determinationat one or more of the following  
conditions exists: There are site or structural conditions, such as, but not limited to: the lot size is less than 1.0 acre



**Waiver Justification Letter**

In order to authorize any waiver from the requirements of the Land Development Regulations, the Community Development Department must ensure its relevance to the application and the satisfaction of its requisite conditions per the Town Code. Please provide this information in a justification letter below or as an attachment and include the associated Town Code Section that enables the waiver.

There are site or structural conditions, such as, but not limited to: the lot size is less than 1.0 acre

Sec. 78-325. - Land development regulations eligible for waivers.

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**LIST OF REQUIRED DOCUMENTS**

- Justification letter.

**FEES**

Application Fee:  
\$1,000 nonresidential;  
\$750.00 residential  
Minimum Escrow Deposit:  
\$1,500.00\*

*\*Unused portion of escrow is refundable – additional costs will be recovered in advance. If this application is being submitted in conjunction with another application and an escrow account already exists, additional escrow may not be needed.*





**PLEASE DO NOT DETACH FROM APPLICATION.**

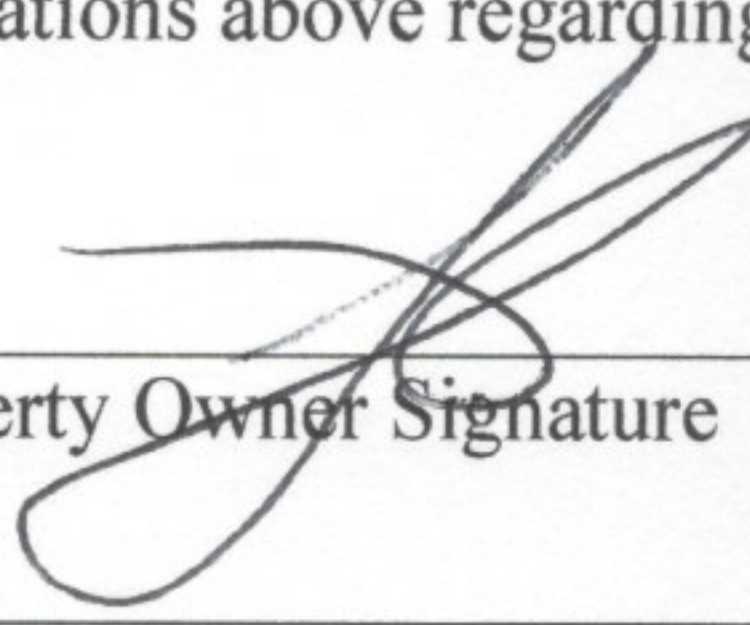
**SIGNATURE REQUIRED BELOW.**

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These costs may include, but are not limited to, advertising and public notice costs, legal fees, consultant fees, additional Staff time, cost of reports and studies, NPDES stormwater review and inspection costs, and any additional costs associated with the building permit and the development review process.

For further information and questions, please contact the Community Development Department at 561-881-3318.

I, Jim Leservn, have read and understand the regulations above regarding cost recovery.

  
Property Owner Signature

4-3-23  
Date

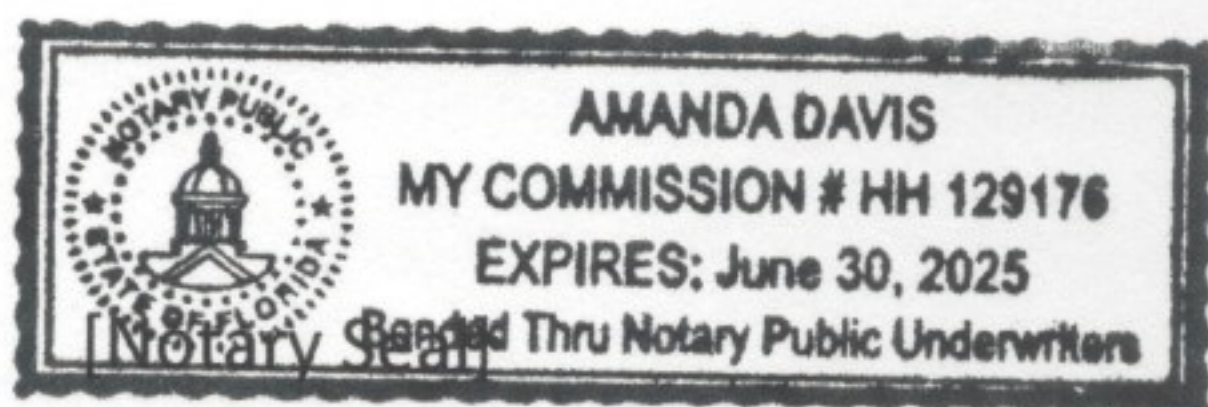


## SIGNATURE

The undersigned acknowledges the information provided above is true and correct as s/he is informed and believes:

STATE OF FL  
COUNTY OF Martin

The foregoing instrument was acknowledged before me by means of ✓ physical presence or \_\_\_\_\_ online notarization, this date 4/3/23 by (name and title of position) Jim Userra, owner, who is personally known to me or who has produced (type of identification) \_\_\_\_\_ as identification.



Amanda Davis

(Signature of person taking acknowledgment)

Amanda Davis

(Name typed, printed or stamped)

Bookkeeper

(Title or rank)

(Serial number, if any)





**TOWN OF LAKE PARK  
COMMUNITY DEVELOPMENT DEPARTMENT**

**APPLICATION FOR WAIVER**

**APPLICANT INFORMATION**

**Owner**

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2. Property Control Number(s): 36 - 43 - 42 - 20 - 00 - 000 - 7400  
3. Zoning District: Town of Lake Park

**PROJECT INFORMATION**

Waiver(s) requested: Landscape Buffer widths

Brief description of work proposed (use additional sheets if necessary):

Requested up to 20 percent of the required landscape buffers. Site is less than 1 acre buffer width will not be less than six feet



### Waiver Justification Letter

In order to authorize any waiver from the requirements of the Land Development Regulations, the Community Development Department must ensure its relevance to the application and the satisfaction of its requisite conditions per the Town Code. Please provide this information in a justification letter below or as an attachment and include the associated Town Code Section that enables the waiver.

Site is less than 1 acres per Sec. 78-325. - Land development regulations eligible for waivers.

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### LIST OF REQUIRED DOCUMENTS

- Justification letter.

### FEES

Application Fee:  
\$1,000 nonresidential;  
\$750.00 residential  
Minimum Escrow Deposit:  
\$1,500.00\*

*\*Unused portion of escrow is refundable – additional costs will be recovered in advance. If this application is being submitted in conjunction with another application and an escrow account already exists, additional escrow may not be needed.*



**PLEASE DO NOT DETACH FROM APPLICATION.**

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For further information and questions, please contact the Community Development Department at 561-881-3318.

I, Jim Leserra, have read and understand the regulations above regarding cost recovery.

[Signature]  
Property Owner Signature

4-3-23  
Date



**SIGNATURE**

The undersigned acknowledges the information provided above is true and correct as s/he is informed and believes:

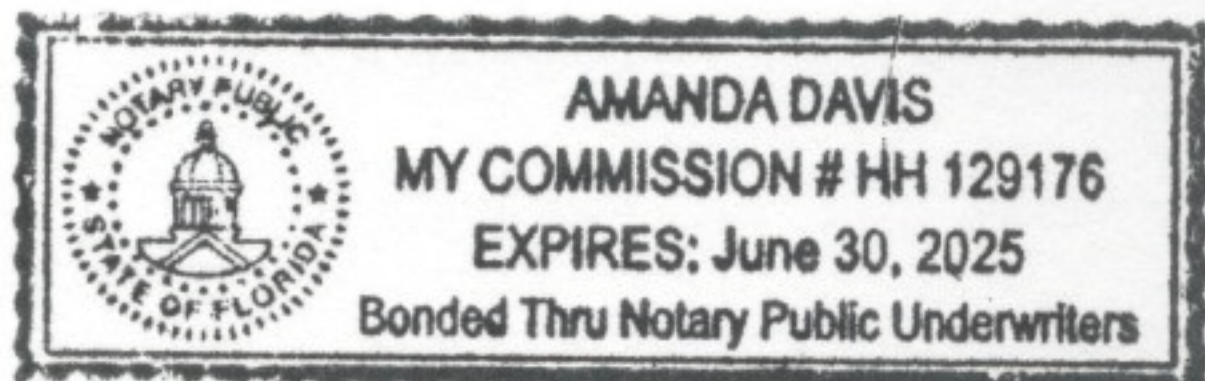
STATE OF FL  
COUNTY OF Martin

The foregoing instrument was acknowledged before me by means of ✓ physical presence or online notarization, this date 4/3/23 by (name and title of position) Jim Leserra, owner who is personally known to me or who has produced (type of identification) \_\_\_\_\_ as identification.

Amanda Davis  
(Signature of person taking acknowledgment)  
Amanda DAVIS  
(Name typed, printed or stamped)  
Bookkeeper  
(Title or rank)

[Notary Seal]

(Serial number, if any)  
\_\_\_\_\_







**Department of Engineering  
and Public Works**

P.O. Box 21229  
West Palm Beach, FL 33416-1229  
(561) 684-4000  
FAX: (561) 684-4050  
www.pbcgov.com

**Palm Beach County  
Board of County  
Commissioners**

Gregg K. Weiss, Mayor  
Maria Sachs, Vice Mayor  
Maria G. Marino  
Michael A. Barnett  
Marci Woodward  
Sara Baxter  
Mack Bernard

**County Administrator**

Verdenia C. Baker

"An Equal Opportunity  
Affirmative Action Employer"

July 5, 2023

Rebecca J. Mulcahy, P.E.  
Pinder Troutman Consulting, Inc.,  
601 Heritage Dr, Suite 493  
Jupiter, FL 33458

**RE: 830 13<sup>th</sup> Street**  
**Project #: 230610**  
**Traffic Performance Standards (TPS) Review**

Dear Ms. Mulcahy:

The Palm Beach County Traffic Division has reviewed the above referenced project Traffic Impact statement, dated June 14, 2023, pursuant to the Traffic Performance Standards in Article 12 of the Palm Beach County (PBC) Unified Land Development Code (ULDC). The project is summarized as follows:

<b>Municipality:</b>	Town of Lake Park
<b>Location:</b>	W of 13 <sup>th</sup> St, 490 ft S of Watertower Rd
<b>PCN #:</b>	36-43-42-20-00-000-7400
<b>Access:</b>	One In-only and One Out-only driveways on 13 <sup>th</sup> St
<b>Existing Uses:</b>	Outdoor Storage = 0.33 acres
<b>Proposed Uses:</b>	Redevelop with Warehouse = 1,392 SF, Office = 720 SF, Landscape Service = 0.33 acres
<b>New Daily Trips:</b>	40
<b>New Peak Hour Trips:</b>	11(5/6) AM; 6(3/3) PM
<b>Build-out:</b>	December 31, 2026

Based on our review, the Traffic Division has determined the proposed project generates less than 21 peak hour net trips and has insignificant traffic impact, and therefore, meets the TPS of Palm Beach County.

Please note the receipt of a Traffic Performance Standards (TPS) approval letter does not constitute the review and issuance of a Palm Beach County Right-of-Way (R/W) Construction Permit nor does it eliminate any requirements that may be deemed as site related. For work within Palm Beach County R/W, a detailed review of the project will be provided upon submittal for a R/W permit application. The project is required to comply with all Palm Beach County standards and may include R/W dedication.

No building permits are to be issued by the Town after the build-out date specified above. The County traffic concurrency approval is subject to the Project Aggregation Rules set forth in the Traffic Performance Standards Ordinance.

The approval letter shall be valid no longer than one year from date of issuance, unless an application for a Site Specific Development Order has been approved, an application for a





Rebecca J. Mulcahy, P.E.

July 5, 2023

Page 2

Site Specific Development Order has been submitted, or the approval letter has been superseded by another approval letter for the same property.

If you have any questions regarding this determination, please contact me at 561-684-4030 or email [QBari@pbcgov.org](mailto:QBari@pbcgov.org).

Sincerely,

A handwritten signature in blue ink that reads "Quazi Bari".

Quazi Bari, P.E., PTOE  
Manager – Growth Management  
Traffic Division

QB:jb

cc: Nadia Di Tommaso, Director of Community Development, Town of Lake Park  
Hanane Akif, P.E., Professional Engineer, Traffic Division  
Alberto Lopez, Technical Assistant III, Traffic Division

File: General - TPS - Mun - Traffic Study Review  
F:\TRAFFIC\HA\MUNICIPALITIES\APPROVALS\2023\230610 - 830 13TH STREET.DOC



**LEGAL DESCRIPTION OF: XX 13TH STREET, LAKE PARK, FLORIDA, 33403**

A PARCEL OF LAND LYING IN SECTION 20, TOWNSHIP 42 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA,  
DESCRIBED AS FOLLOWS:

THE SOUTHERLY 100 FEET OF THE NORTHERLY 650 FEET OF THE EASTERLY 145 FEET OF THE WESTERLY 845 FEET OF  
NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 42 SOUTH, RANGE 43 EAST, PALM  
BEACH COUNTY, FLORIDA.

A/K/A LOT 47 LAKE PARK INDUSTRIAL SITES, UNRECORDED.

**CERTIFIED TO:**

JAMES LESERRA  
LIBERTY TITLE COMPANY OF AMERICA, INC  
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

**FLOOD ZONE:**

12099C0387F

ZONE: X

EFF. 10/5/2017

**SURVEY NOTES:**

- THERE ARE FENCES NEAR TO THE PROPERTY LINES AS SHOWN. FENCE OWNERSHIP NOT  
DETERMINED.

**LEGEND**

A/C	-AIR CONDITIONER
WM	-WATER METER
AL	-ARC LENGTH
(C)	-CALCULATED
(M)	-MEASURED
P.O.B.	-POINT OF BEGINNING
P.O.C.	-POINT OF COMMENCEMENT
&	-AND
P.B.	-PLAT BOOK
PG	-PAGE
U.E.	-UTILITY EASEMENT
D.E.	-DRAINAGE EASEMENT
P.U.E.	-PUBLIC UTILITY EASEMENT
L.A.E.	-LIMITED ACCESS EASEMENT
L.M.E.	-LAKE MAINTENANCE EASEMENT
O.H.E.	-OVERHEAD EASEMENT
R	-RADIUS
(R)	-RECORD
O.R.B.	-OFFICIAL RECORDS BOOK
Sq.Ft.	-SQUARE FEET
Ac.	-ACRES
DB	-DEED BOOK
(D)	-DEED
(P)	-PLAT
EOW	-EDGE OF WATER
TOB	-TOP OF BANK
OHL	-OVERHEAD LINE
C/O	-CLEAN OUT
ELEV	-ELEVATION
FF	-FINISHED FLOOR
LS	-LICENSED SURVEYOR
LB	-LICENSED BUSINESS
PSM	-PROFESSIONAL SURVEYOR & MAPPER
— x —	-FENCE
#	-NUMBER
±	-PLUS OR MINUS
■	-ASPHALT
■	-CONCRETE
■	-PAVER/BRINCK
■	-WOOD
☼	-LIGHT POLE
⊙	-WELL
⊗	-WATER VALVE
⌒	-CENTER LINE
■	-CATCH BASIN
⊕	-FIRE HYDRANT
⊕	-UTILITY POLE
⊕	-MANHOLE
XX	-ELEVATION

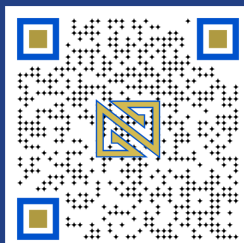
SOME ITEMS IN LEGEND MAY NOT  
APPEAR ON DRAWING.

**GENERAL NOTES:**

1) THIS SURVEY IS BASED UPON RECORD INFORMATION BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY THIS OFFICE UNLESS OTHERWISE NOTED.  
2) IF THIS SURVEY HAS BEEN PREPARED FOR THE PURPOSES OF A MORTGAGE TRANSACTION, ITS SCOPE IS LIMITED TO THE DETERMINATION OF TITLE DEFICIENCIES. NO FUTURE CONSTRUCTION SHALL BE BASED UPON THIS SURVEY WITHOUT FIRST OBTAINING APPROVAL AND/OR UPDATES FROM NEXGEN SURVEYING, LLC. NEXGEN SURVEYING, LLC, ASSUMES NO RESPONSIBILITY FOR ERRORS RESULTING FROM FAILURE TO ADHERE TO THIS CLAUSE. 3) ANY FENCES SHOWN HEREON ARE ILLUSTRATIVE OF THEIR GENERAL POSITION ONLY. FENCE TIES SHOWN ARE TO GENERAL CENTERLINE OF FENCE. THIS OFFICE WILL NOT BE RESPONSIBLE FOR DAMAGES RESULTING SOLELY ON THEIR PHYSICAL RELATIONSHIP TO THE MONUMENTED BOUNDARY LINES. 4) GRAPHIC REPRESENTATIONS MAY HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE MEASURED RELATIONSHIPS - DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED POSITIONS. 5) UNDERGROUND IMPROVEMENTS HAVE NOT BEEN LOCATED EXCEPT AS SPECIFICALLY SHOWN. 6) ELEVATIONS ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D. 1929) OR NORTH AMERICAN VERTICAL DATUM (N.A.V.D. 1988). 7) ALL BOUNDARY AND CONTROL DIMENSIONS SHOWN ARE FIELD MEASURED AND CORRESPOND TO RECORD INFORMATION UNLESS SPECIFICALLY NOTED OTHERWISE. 8) CORNERS SHOWN AS "SET" ARE 5/8" IRON RODS IDENTIFIED WITH A PLASTIC CAP MARKED LS (LICENSED SURVEYOR)

**LB8111**

info@NexGenSurveying.com



**561-508-6272**

1421 Oglethorpe Rd  
West Palm Beach  
FL 33405



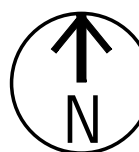
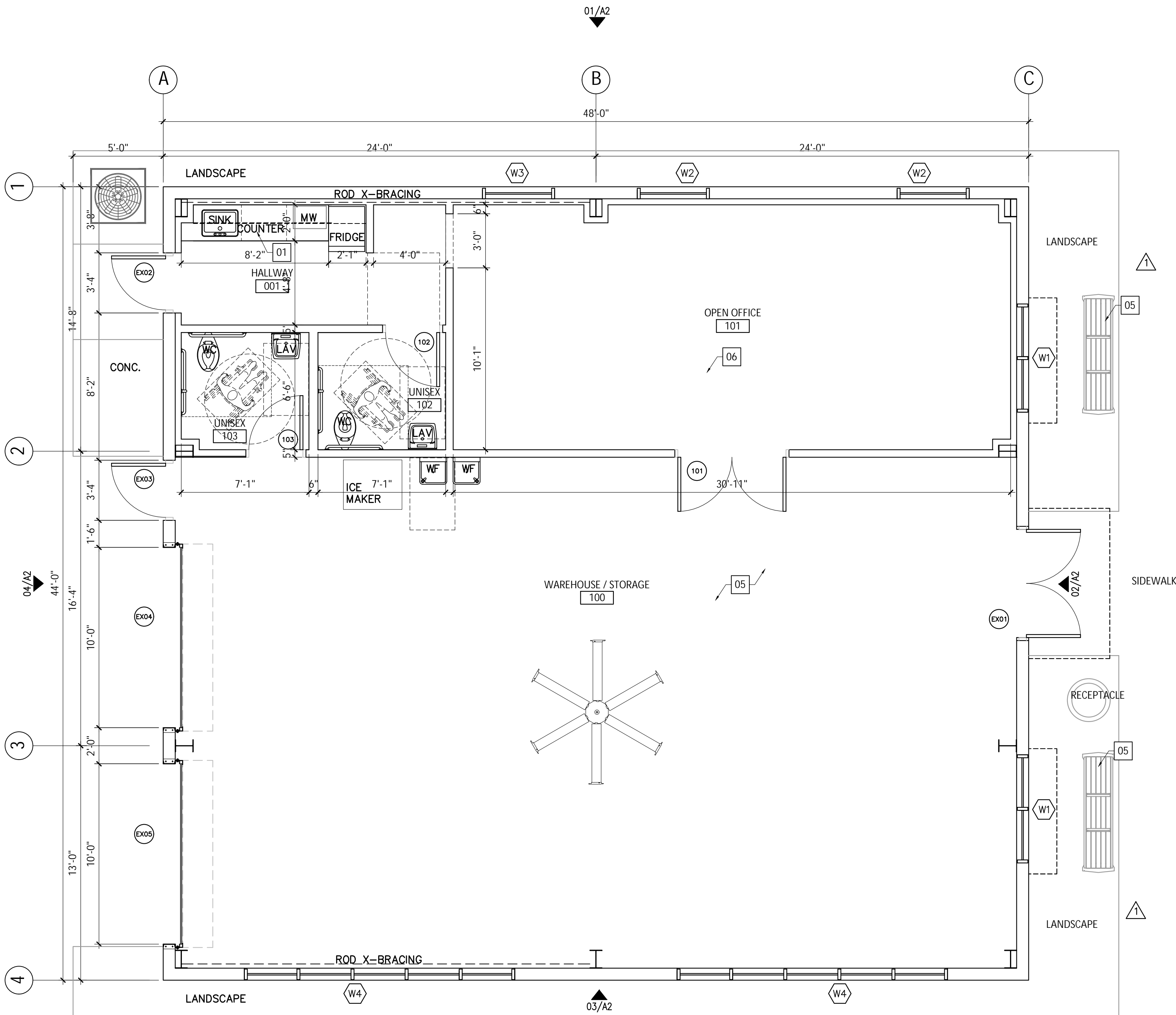
REVISIONS		
NO.	DATE	DESCRIPTION
01	07.26.23	ZONING COMMENTS
03	10.13.23	ZONING COMMENTS

DQ PROJECT NO. : 2304
CHECKED BY : DD
DRAWN BY : DD
DATE : 06/07/23

PHASE
SITE PLAN APPLICATION

SHEET TITLE
FLOOR PLAN

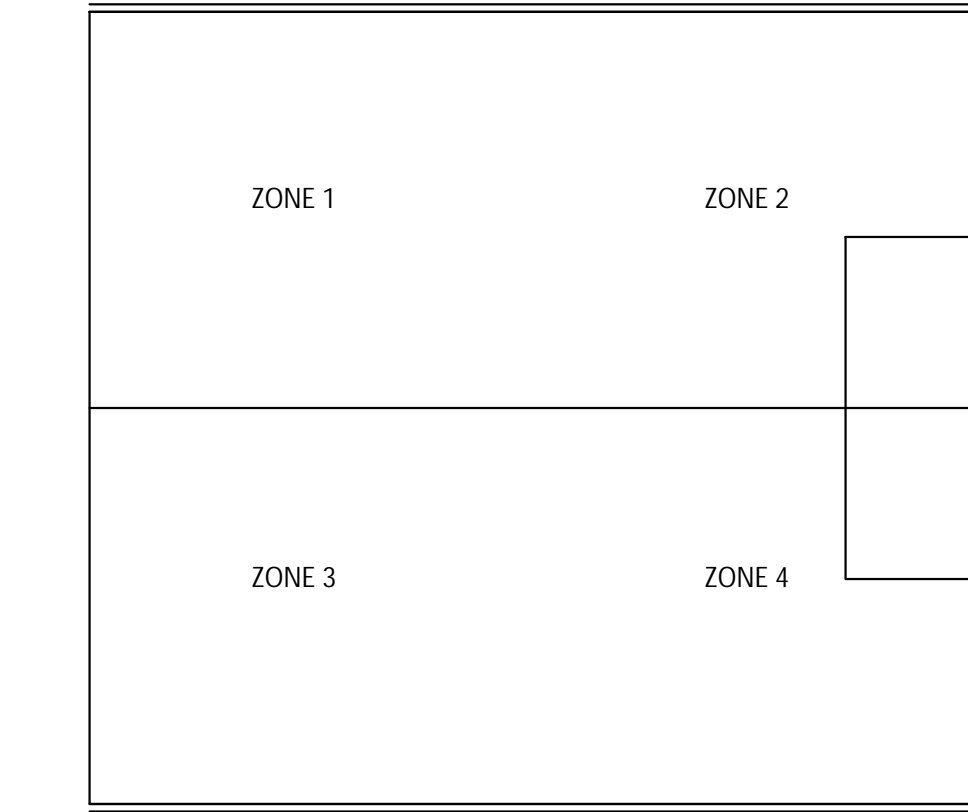
SHEET NUMBER
A-1 (1 OF 3)



01  
A-1

ARCHITECTURE FLOOR PLAN

SCALE: 3/16" = 1'-0"



## ROOF PLAN

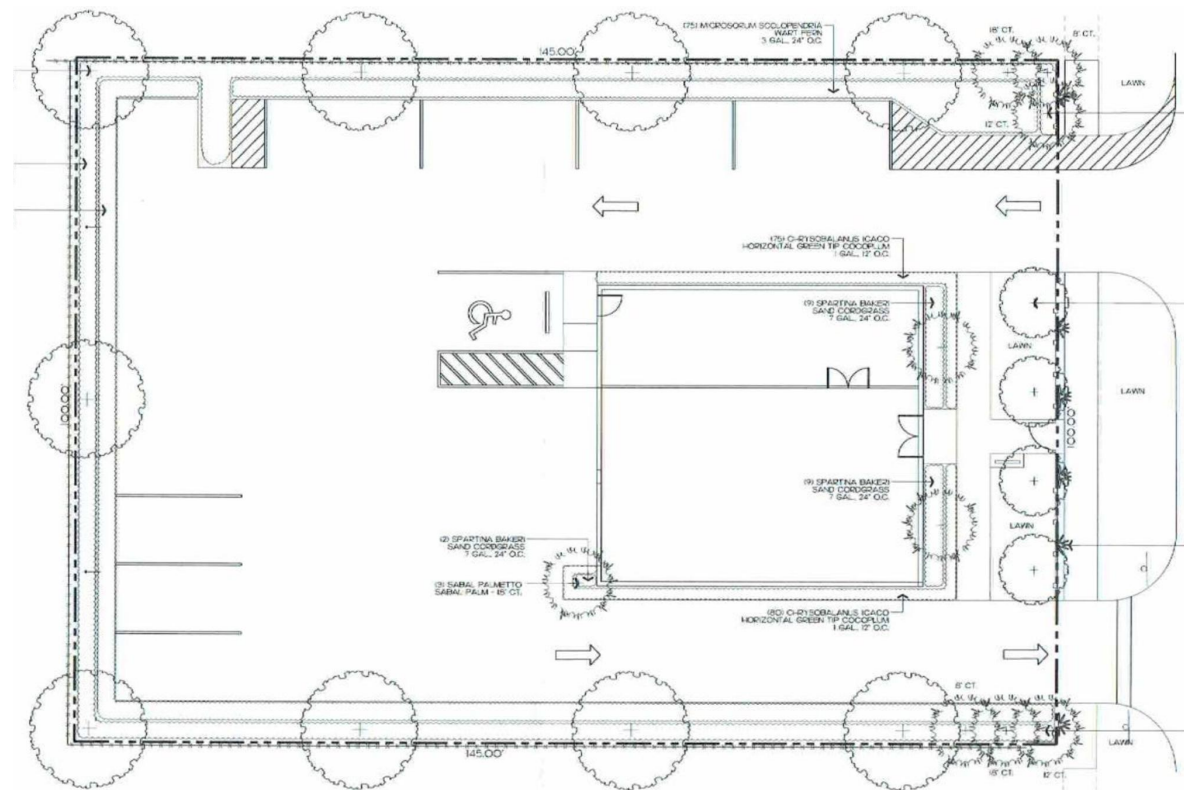
### ROOF DRAINAGE CALCULTION

ITEM	ROOF AREA (SF)	TOTAL GPM REQUIRED	SLOPE	GUTTER SIZE	GUTTER CAPACITY (GPM)	DOWNSPOUT SIZE	DOWNSPOUT CAPACITY (GPM)
ZONE 01	539	26	1/8" / 1'-0"	5" X 5"	74	3" RWL DS-1	92
ZONE 02	539	26	1/8" / 1'-0"	5" X 5"	74	3" RWL DS-2	92
ZONE 03	539	26	1/8" / 1'-0"	5" X 5"	74	3" RWL DS-3	92
ZONE 04	539	26	1/8" / 1'-0"	5" X 5"	74	3" RWL DS-4	92

1. ROOF AREA x 4.5" RAINFALL PER HR X 0.0104 = GPM REQUIRED.
2. GUTTER AND DOWNSPOUT CAPACITY AT 4.5" PER HOUR RAINFALL RATE WITH 1/8" - 1'-0" SLOPE. TABLES 1106.3 & 1106.6 FBC P 2020

TOTAL ROOF AREA STORAGE BLDG: 2,156

NOTE: DS = DOWNSPOUT. DOWNSPOUT DISCHARGE TO GRADE, AT LEAST 1 FOOT AWAY FROM BUILDING SIDE WALL W/ SPLASH BLOCK.



00  
A-1

FRO REFERENCE ONLY  
KEY PLAN  
SCALE: NTS

### AREA TABULATION BREAKDOWN

PRE-ENGINEERING METAL BUILDING	
BUSINESS AREA:	720 GSF
STORAGE/WAREHOUSE AREA:	1,392 GSF
TOTAL BUILDING AREA:	2,112 GSF

#### NOTE:

1. INFORMATION PROVIDED FOR SITE PLAN APPLICATION REVIEW ONLY. NOT FOR CONSTRUCTION.
2. ARCHITECT SHALL PROVIDE LIFE SAFETY SUMMARY FOR AHJ REVIEW DURING BUILDING PERMITTING.
3. GC SHALL PROVIDE PRE-ENGINEERING BUILDING ENGINEERING DWGS WITH PERMIT SUBMITTAL.
4. FIRE ALARM AND FIRE SPRINKLER NOT REQUIRED.

### FLOOR PLAN LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	ROOM NAME ROOM NUMBER		PARTITION TYPE KEY WALL, PARTITION OR CHASE TYPE DETAIL NUMBER STUD OR MASONRY THICKNESS, IF DIFFERENT THAN INDICATED IN DETAIL IF WALL TYPE FOLLOWED WITH AN "S", WALL IS TO BE PROVIDED WITH INSULATION AS INDICATED IN DETAIL WALL HOURLY FIRE RATING		WALL LEGEND CMU EXTERIOR WALL: 8" CONCRETE MASONRY UNIT(R-3 MIN.) WITH SMOOTH STUCCO FINISH ON EXTERIOR. PEMB WALL ASSEMBLY, WAREHOUSE: SLIDING OVER 8" GIRTS W/ INSULATION (R-19 MIN.) PEMB WALL ASSEMBLY, OFFICE: SLIDING OVER 8" GIRTS W/ INSULATION (R-19 MIN.) PROVIDE MTL STUD PARTITION WITH INSULATION(R-13 MIN.) INTERIOR PARTITION: (1) LAYER 5/8" TYPE-X GYPSUM WALLBOARD FASTENED TO BOTH SIDES OF MTL STUD PARTITION.
	SECTION/DETAIL KEY SHEET NO. SECTION NO.		ELEVATIONS KEY ELEVATION NUMBER SHEET NUMBER VIEWPOINT		
	DOOR KEY DOOR NUMBER				
	WINDOW TAG WINDOW NO.				
	DETAIL KEY DETAIL NUMBER SHEET NUMBER AREA OF CONCERN				

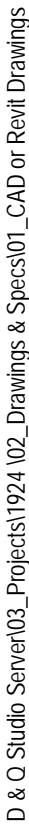
### FLOOR PLAN KEY NOTES

#	DESCRIPTION	#	DESCRIPTION
01	MILLWORK CASEWORK.		
02	PROVIDE HOSE BIB.		
03	PROVIDE TANKLESS WATER HEAT UNDER KITCHEN SINK.		
04	LARGE VOLUME LOW SPEED FAN, ABOVE.		
05	EXPOSED CONCRETE, HARDENER AND SEALER.		
06	POLISHED CONCRETE.		
07	FRONT LANDSCAPE BENCH AND RECEPTACLE		

### NOTES

1.

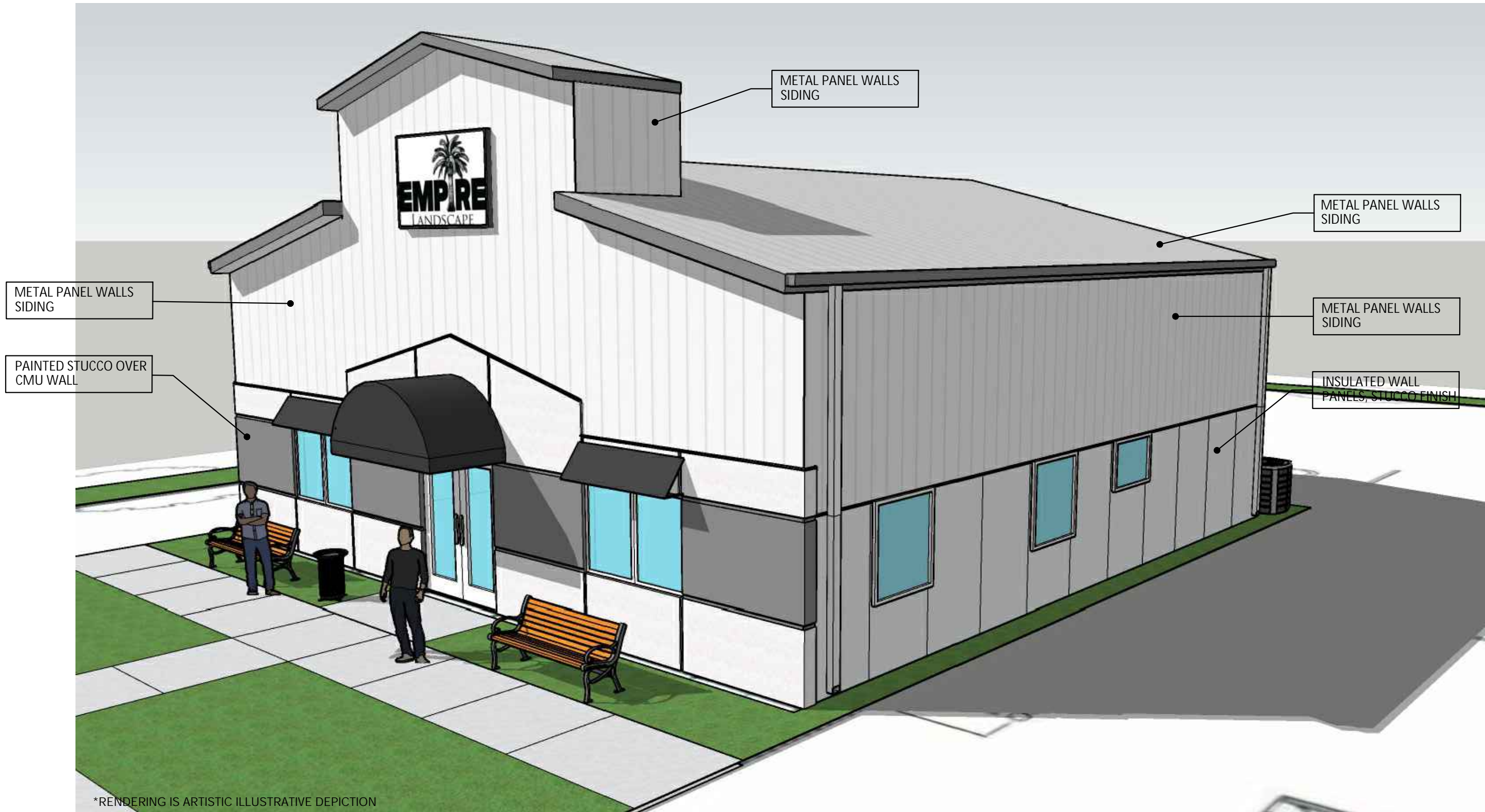




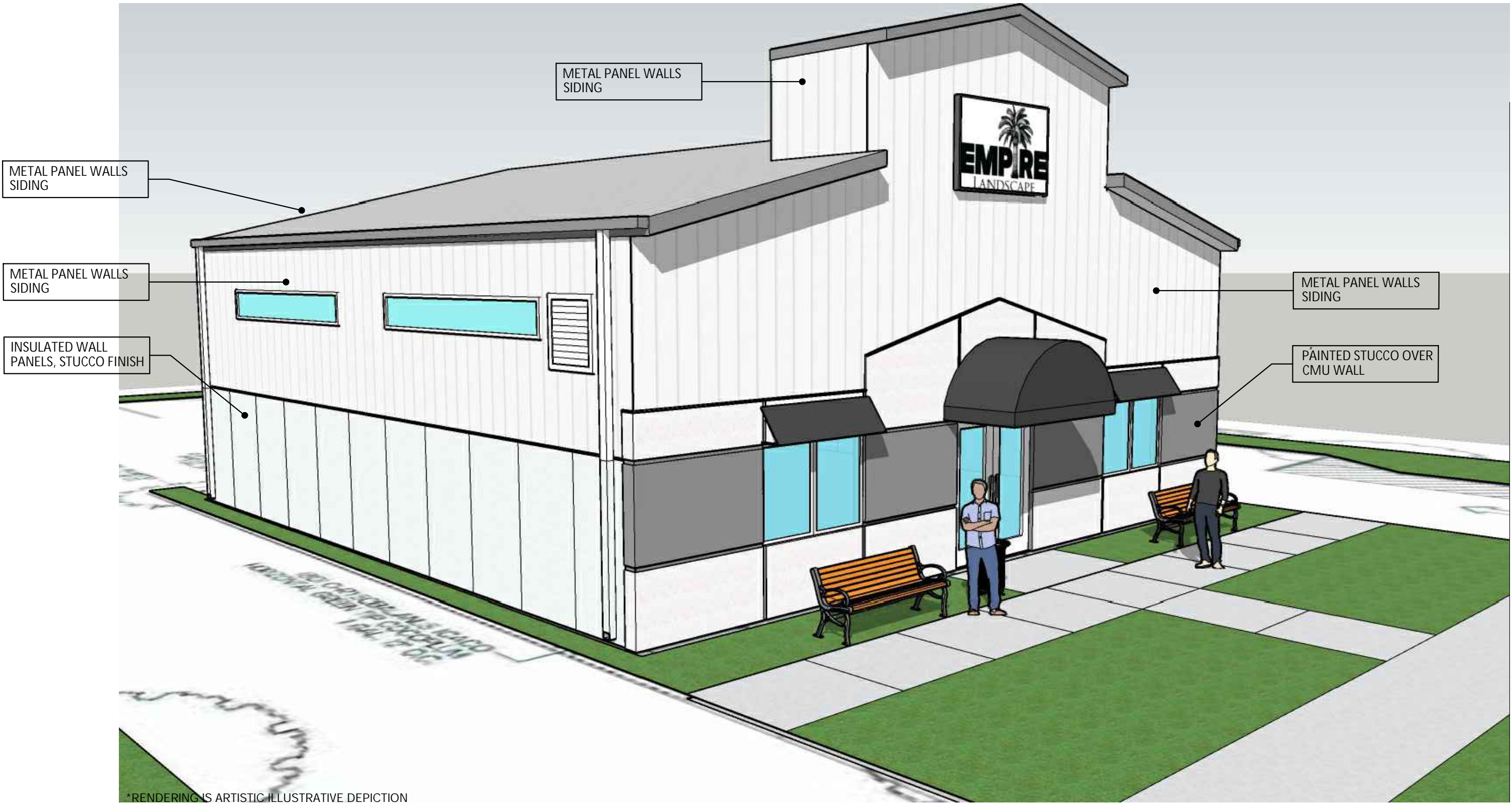
EXTERIOR COLOR / FINISH LEGEND				FACADE TREATMENT TABULATION				ELEVATION KEYNOTES			
SYMBOL		DESCRIPTION		SYMBOL		DESCRIPTION		ITEM #		DESCRIPTION	
<div>MB-1</div> <div></div>		PRE-FINISHED METAL BUILDING (PEMB) COLOR: REFLECTIVE WHITE SIDING PANEL		<div>GLAZ-1</div> <div></div>		IMPACT RATED GLAZING IN ALUMINUM FRAMES. SOLARBAN 70 (LOW-E) CLEAR.		<div>PNT-3</div> <div></div>		EXTERIOR HM DOOR, ROLL-UP DOORS TO MATCH COLOR: WHITE	
<div>MB-2</div> <div></div>		PRE-FINISHED METAL BUILDING (PEMB) COLOR: PEARL GRAY RAKE TRIM EAWE TRIM		<div>ALUM-1</div> <div></div>		WINDOW/STOREFRONT ALUMINUM FRAMES. COLOR: WHITE		<div>PNT-2</div> <div></div>		STEEL BOLLARDS TO MATCH COLOR: TRAFFIC YELLOW	
<div>MB-3</div> <div></div>		PRE-FINISHED METAL BUILDING (PEMB) COLOR: GALVALUME NUCOR CFR ROOF PANELS (NOTE: NO VISIBLE FASTENERS)		<div>PNT-1</div> <div></div>		STUCCO PAINT OVER CMU WALL COLOR: REFLECTIVE WHITE: MATCH MB-1 COLOR		<div>AWN-1</div> <div></div>		FABRIC AWNING (FIRE-RETARDANT) COLOR: BLACK, UV RESISTANT	
<div>MB-4</div> <div></div>		STUCCO SIMULATED WALL PANELS COLOR: REGAL WHITE, STUCCO FINISH SIDE ELEVATION		<div>PNT-2</div> <div></div>		STUCCO PAINT OVER CMU WALL, ACCENT COLOR: DARK GRAY (SECONDARY)					
								<div>EAST ELEVATION(FRONT): TOTAL LENGTH.....44'-0"(100%)</div> <div>WINDOW/ AWNING.....18'-4"(40%)</div> <div>HORIZONTAL REVEAL AND FEATURE.....25'-8"(60%)</div> <div>TOTAL.....44'-0"(100%)</div> <div>REQUIRED: 60%</div> <div>PROVIDED: 100%</div> <div>NORTH ELEVATION(SIDE): TOTAL LENGTH.....48'-0"(100%)</div> <div>WINDOW/ AWNING.....12'-0"(25%)</div> <div>BASE TRIM TREATMENT.....48'-0"(100%)</div> <div>TOTAL.....48'-0"(100%)</div> <div>REQUIRED: 60%</div> <div>PROVIDED: 100%</div> <div>WEST ELEVATION(REAR):TOTAL LENGTH.....44'-0"(100%)</div> <div>REQUIRED: N/A</div> <div>PROVIDED: N/A</div> <div>SOUTH ELEVATION(SIDE): TOTAL LENGTH.....48'-0"(100%)</div> <div>WINDOW/ AWNING.....30'-0"(63%)</div> <div>BASE TRIM TREATMENT.....48'-0"(100%)</div> <div>TOTAL.....48'-0"(100%)</div> <div>REQUIRED: 60%</div> <div>PROVIDED: 100%</div>			
								<div>01</div> <div>STUCCO FINISH OVER CMU WALL. W/ DECORATIVE 2" REVEALS AS SHOWN.</div> <div>02</div> <div>PRE-FINISHED STL WALL FLASHING TRIM.</div> <div>03</div> <div>26 GA. PRE-FINISHED STEEL WALL SHEETS/SIDING.</div> <div>03A</div> <div>STUCCO SIMULATED WALL PANEL. MFR: ALL WEATHER INSULATED PANELS, STUCCO FINISH</div> <div>04</div> <div>PRE-FINISHED STEEL DOWNSPOUTS (DS). MATCH WALL COLOR</div> <div>05</div> <div>PRE-FINISHED STEEL GUTTER CONT. MATCH WALL TRIM COLOR</div> <div>06</div> <div>PRE-FINISHED STEEL RAKE TRIM</div> <div>07</div> <div>GALVALUME ROOF PANELS, MIN. 24 GA. MFR: NUCOR, CFR ROOF PANELS, STANDING STEAM NOTE: ROOF FASTENERS SHALL NOT BE VISIBLE.</div> <div>08</div> <div>STEEL BOLLARD, PAINT COLOR TBD</div> <div>09</div> <div>INTAKE/EXUAUST LOUVER PAINT TO MATCH WALL.</div>			
								<div>10</div> <div>PAINTED HOLLOW METAL DOOR AND DOOR FRAME.</div> <div>11</div> <div>OVERHEAD ROLL-UP DOORS, MFR PAINTED.</div> <div>12</div> <div>DECORATIVE EXTERIOR WALL PACK LIGHTING FIXTURE.</div> <div>13</div> <div>SIGNAGE, BY OTHER.</div> <div>14</div> <div>DECORATIVE AWNING CANOPY. COLOR: DARK</div> <div>15</div> <div>ROOF EAWE OVERHANG</div> <div>16</div> <div>LANDSCAPE BENCH (SITE AMENITY)</div>			



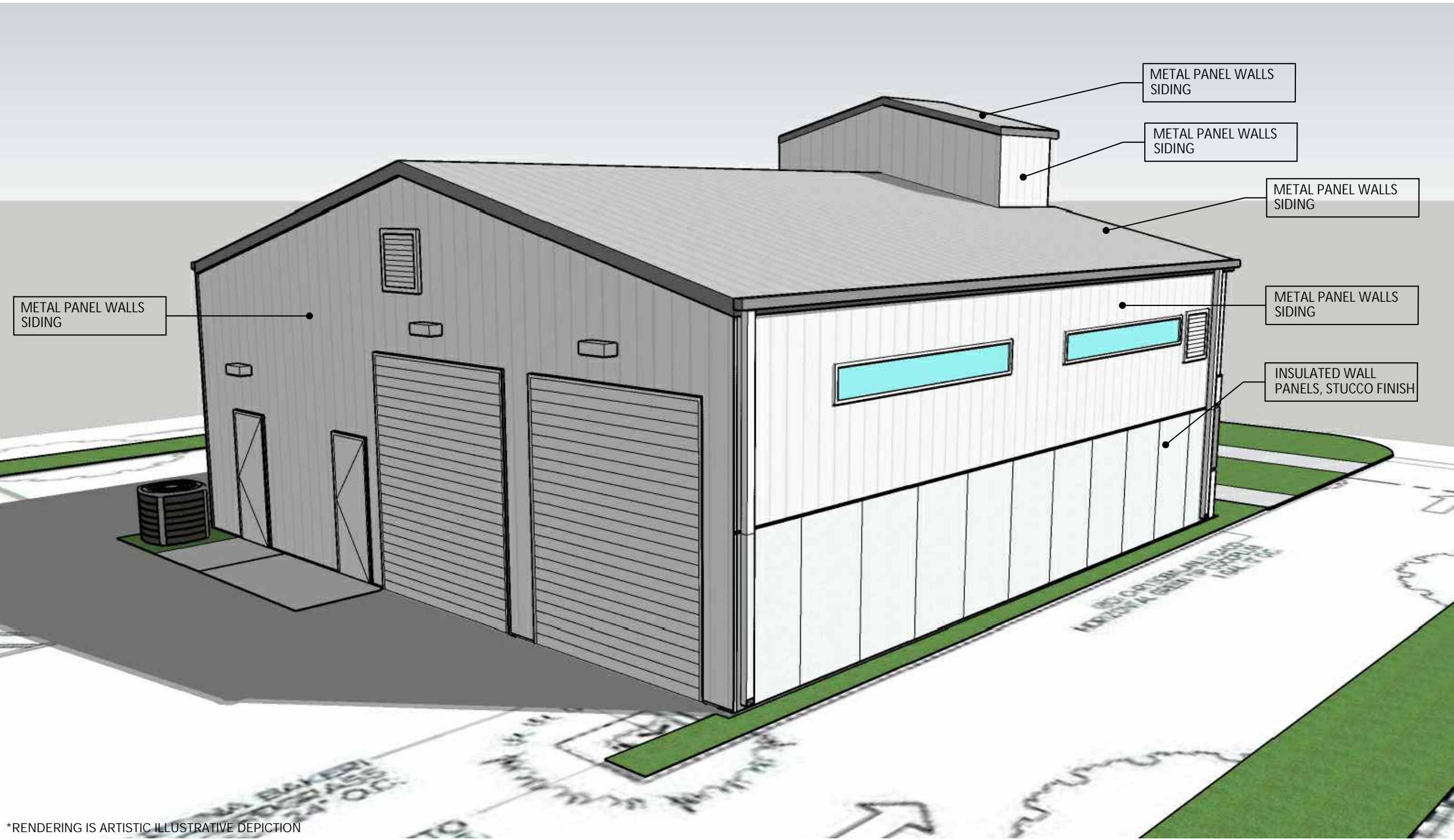
D & Q Studio Server003\_Projects\1924\_102\_Drawings & Specs\01\_L\_CAD or Revit Drawings



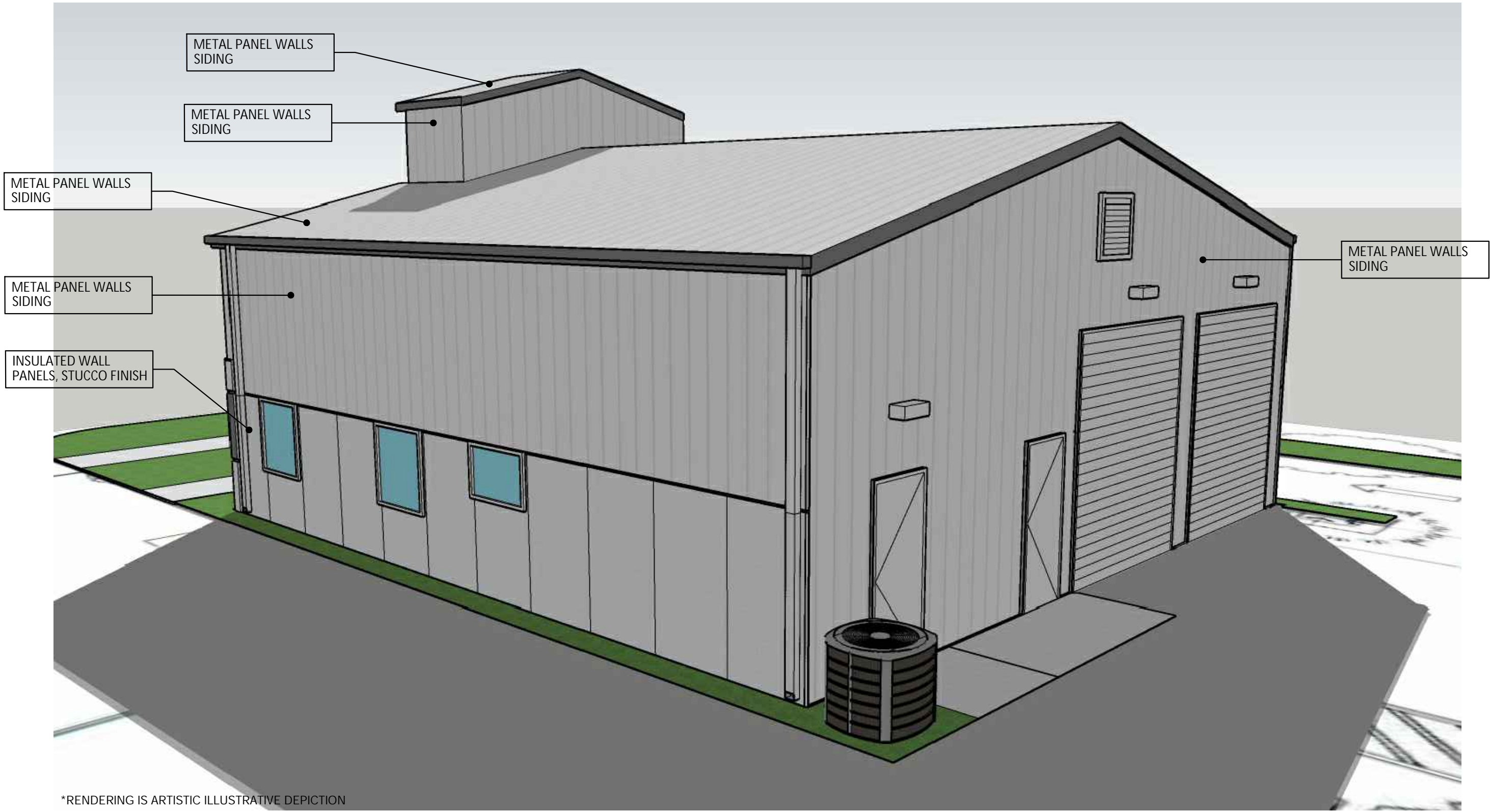
NORTHEAST VIEW



SOUTHEAST VIEW



SOUTHWEST VIEW



NORTHWEST VIEW

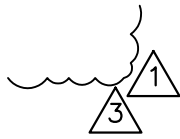
REVISIONS		
NO.	DATE	DESCRIPTION
01	07.26.23	ZONING COMMENTS
03	10.13.23	ZONING COMMENTS

DQ PROJECT NO. : 2304
CHECKED BY : DD
DRAWN BY : DD
DATE : 06/07/23

PHASE
SITE PLAN APPLICATION

SHEET TITLE
EXTERIOR RENDERINGS

SHEET NUMBER
A-3 (3 OF 3)







Scope of Work

- Proposed 44' x 48' (2,112 SF) Prefabricated Metal Building
- 720 SF office
  - 1,392 SF Warehouse

Pre-Engineered Metal Building  
830 13th Street  
Lake Park

F L O R I D A

Sheet Index

- Cover Sheet
- L1.0 - Existing Conditions
  - L2.0 - Site Plan
  - L3.0 - Landscape Plan
  - L3.1 - Landscape Details
  - L4.0 - Irrigation Plan
- Architectural Plans & Elevations  
Survey

Design Team/Consultants

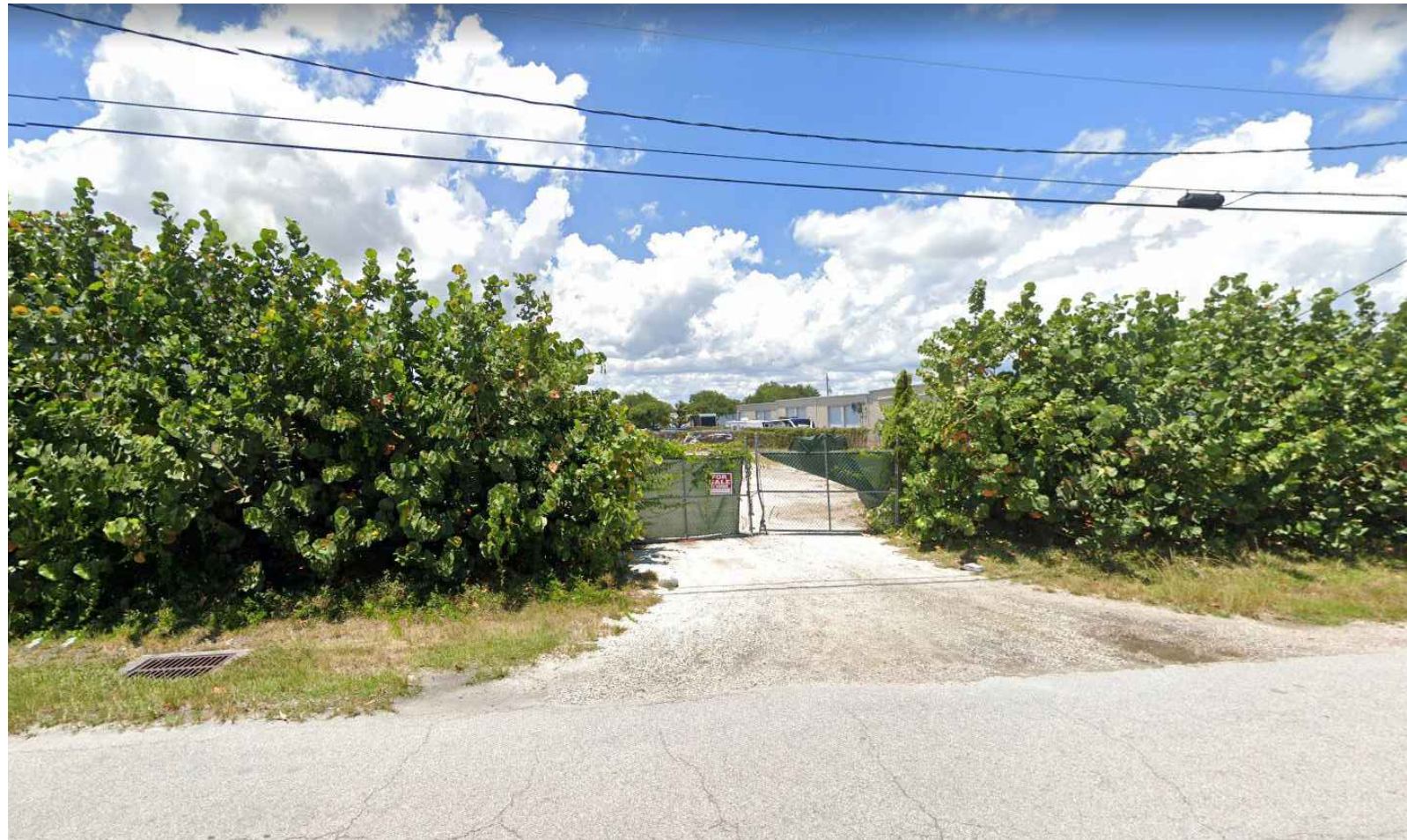
Landscape Architects  
ENVIRONMENT DESIGN GROUP  
139 NORTH COUNTY ROAD SUITE 20B  
PALM BEACH, FL 33480  
561.832.4600  
WWW.ENVIRONMENTDESIGNGROUP.COM

Building Engineers  
CLEAR SPAN STRUCTURES, LLC  
2000 AVENUE P, SUITE 5  
RIVIERA BEACH, FL 33404





Aerial View

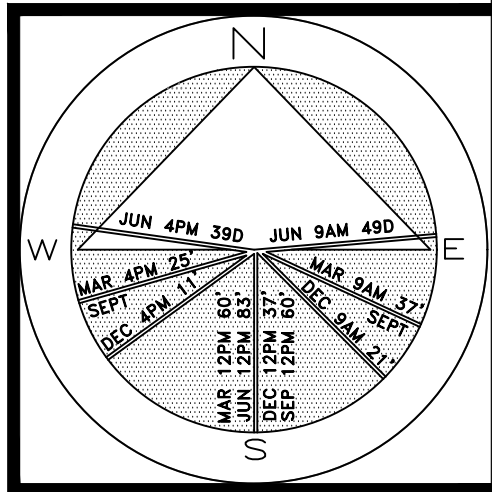


Street View



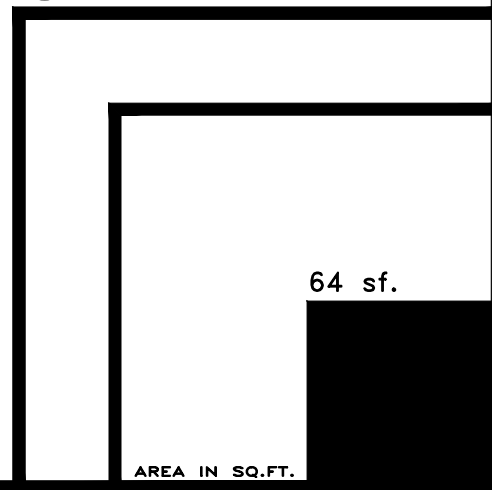
13TH STREET

Pre-Engineered Metal Building  
830 13th Street  
Lake Park



JOB NUMBER: # 22202.00 LA  
DRAWN BY: Jean Twomey  
Allison Padilla  
DATE: 10.31.2022  
12.08.2022

SHEET L1.0



# Existing Conditions / Tree Disposition Plan

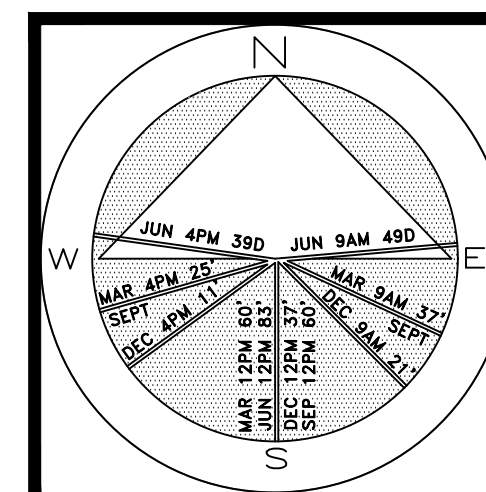
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SHEET 2.0



## Waiver Requests

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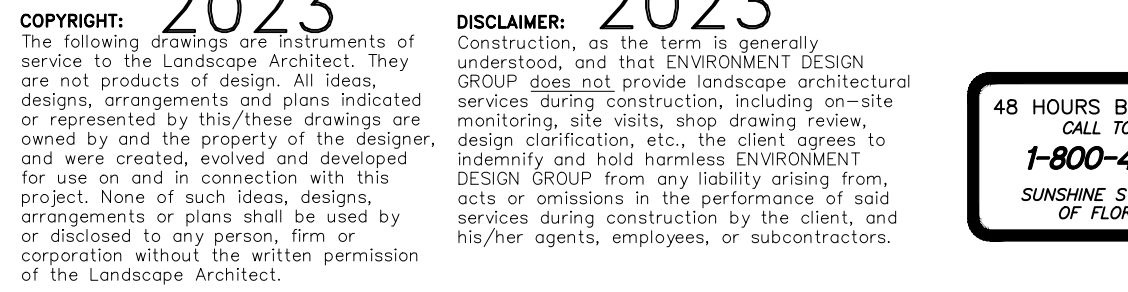
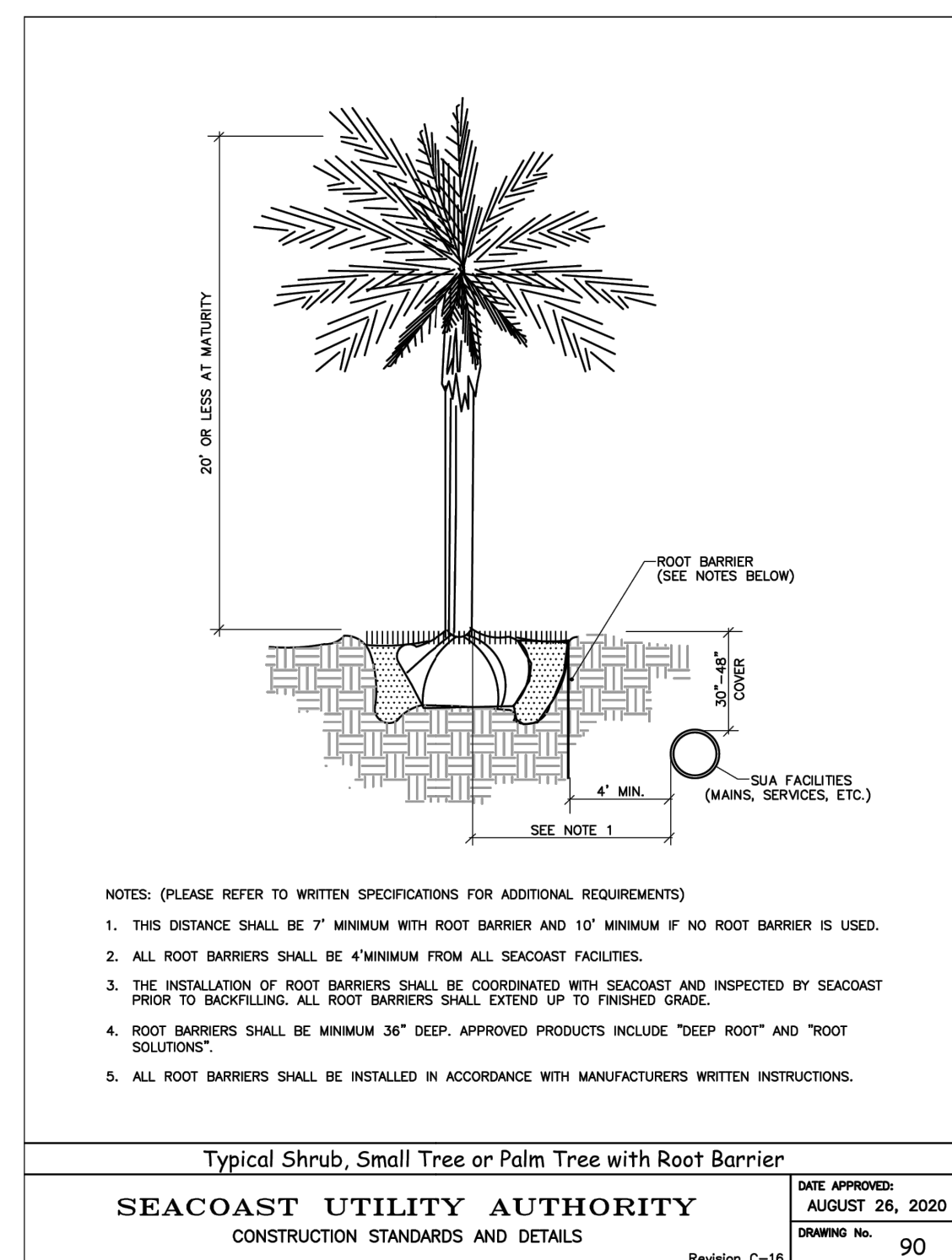
Site Plan

SCALE IN FEET 0' 8' 16' 24'






Parking		
OFFICE / WAREHOUSE		
CODE	REQUIRED	PROPOSED
FOUR SPACES FOR EACH 1,000 SQUARE FEET OF GROSS FLOOR AREA OF OFFICE	(4) PARKING SPACES	(4) PARKING SPACES
ONE SPACE FOR EACH 2,000 SQUARE FEET OF GROSS FLOOR AREA OF WAREHOUSE	(1) PARKING SPACE	(1) PARKING SPACE
ONE SPACE FOR EACH EMPLOYEE ON THE SHIFT OF GREATEST EMPLOYMENT	3 EMPLOYEES (3) PARKING SPACES	(3) PARKING SPACES
TOTAL PARKING	8 PARKING SPACES	8 PARKING SPACES

CATEGORY	PROPOSED
ZONING AND LAND USE	CLIC - CAMPUS LIGHT INDUSTRIAL & COMMERCIAL
TOTAL AREA	14,500 S.F. 0.33287 ACRES
BUILDING COVERAGE	2,112 S.F. 14.5%
BUILDING USE	720 S.F. - OFFICE 1,392 S.F. - WAREHOUSE
PERVIOUS AREA	2,990 S.F. 20.6%
IMPERVIOUS AREA (NOT INCLUDING BUILDING)	9,398 S.F. 64.8%





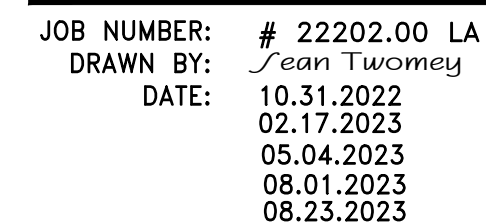
## Shrubs, Vines, & Groundcovers

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	CONOCARPUS ERECTUS GREEN BUTTWOOD	17	6' HT, 36" O.C.	YES
	CHRYSOBALANUS ICACO RED TIP COCOPLUM	226	30" HT., 24" O.C.	YES
	CHRYSOBALANUS ICACO HORIZONTAL GREEN TIP COCOPLUM	175	1 GAL., 12" O.C.	YES
	MICROSORUM SCOLOPENDRIA WART FERN	197	3 GAL., 24" O.C.	YES
	SPARTINA BAKERII SAND CORDGRASS	78	7 GAL., 24" O.C.	YES

NOTE: 100% OF PROPOSED VEGETATION IS NATIVE  
TREES SHALL BE A MINIMUM OF 12' IN HEIGHT AND A  
DBH AT THE TIME OF PLANTING.  
ROOT BARRIERS SHALL BE USED WHEREVER NECESSARY

BUFFER TYPE	TREES REQUIRED	TREES PROVIDED
EAST (PUBLIC STREET)	5 TREES (1 PER 20 LINEAR FEET)	6 TREES
WEST	3 TREES (1 PER 40 LINEAR FEET)	3 TREES
NORTH	4 TREES (1 PER 40 LINEAR FEET)	4 TREES
SOUTH	4 TREES (1 PER 40 LINEAR FEET)	4 TREES

	REQUIRED	PROPOSED
WAIVER 1	MINIMUM LANDSCAPE BUFFER 8'-0"	REDUCE MINIMUM LANDSCAPE BUFFER TO 6'-0"
WAIVER 2	MINIMUM FRONT BUILDING SETBACK 25'	REDUCE FRONT BUILDING SETBACK TO 20'-0"



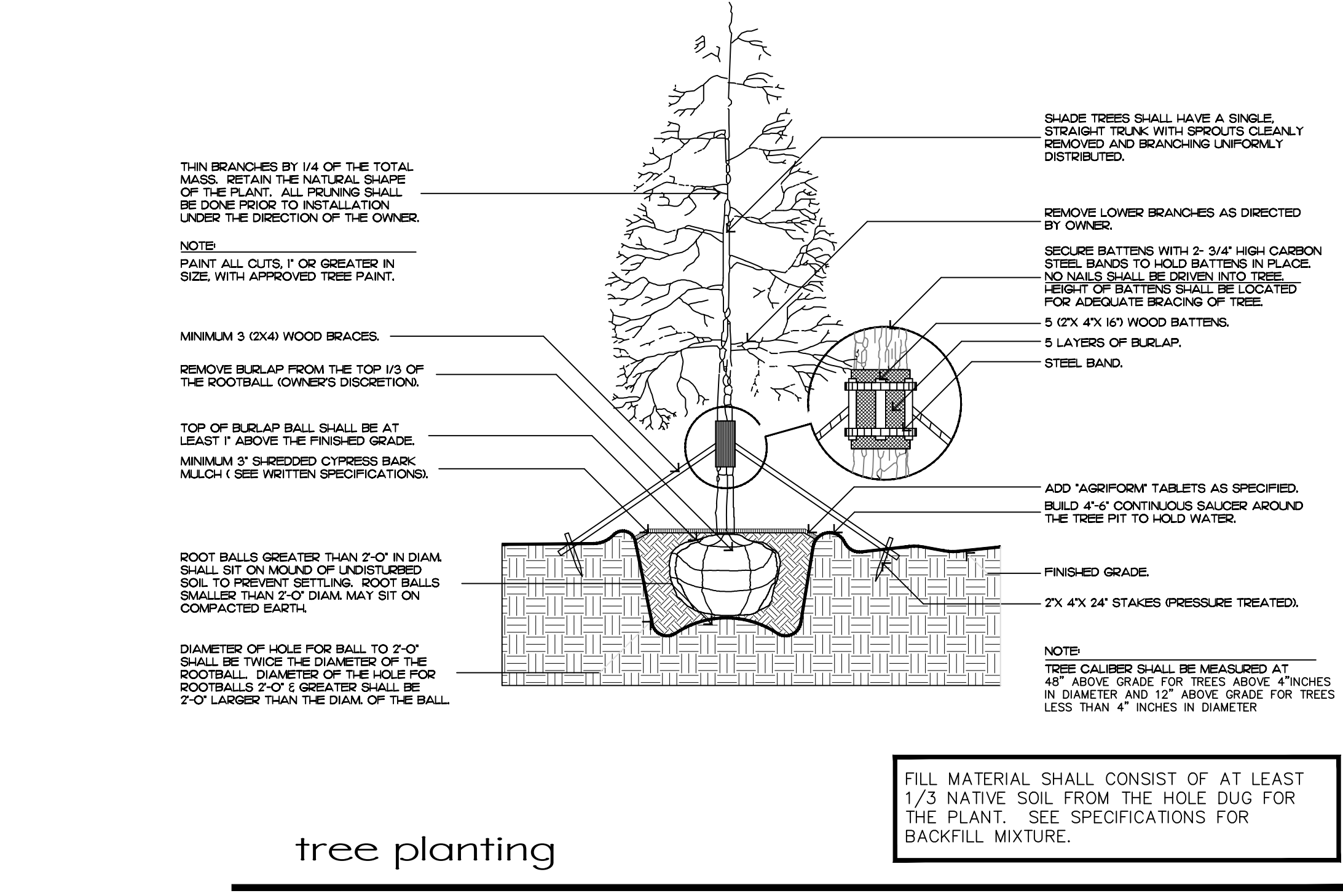
64 sf.

SCALE IN FEET 0' 8' 16' 24'

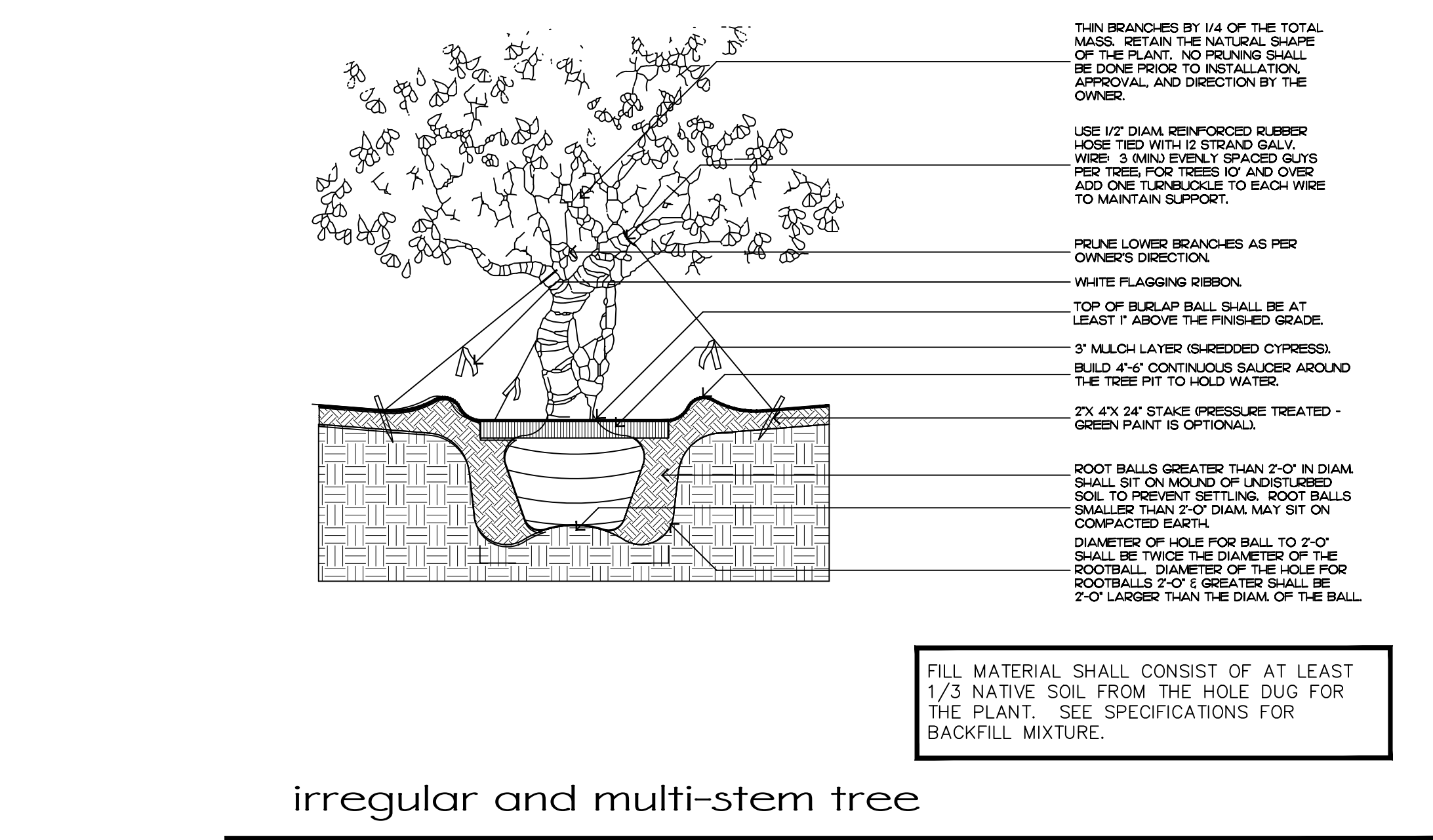
64 sf.

AREA IN SQ.F.

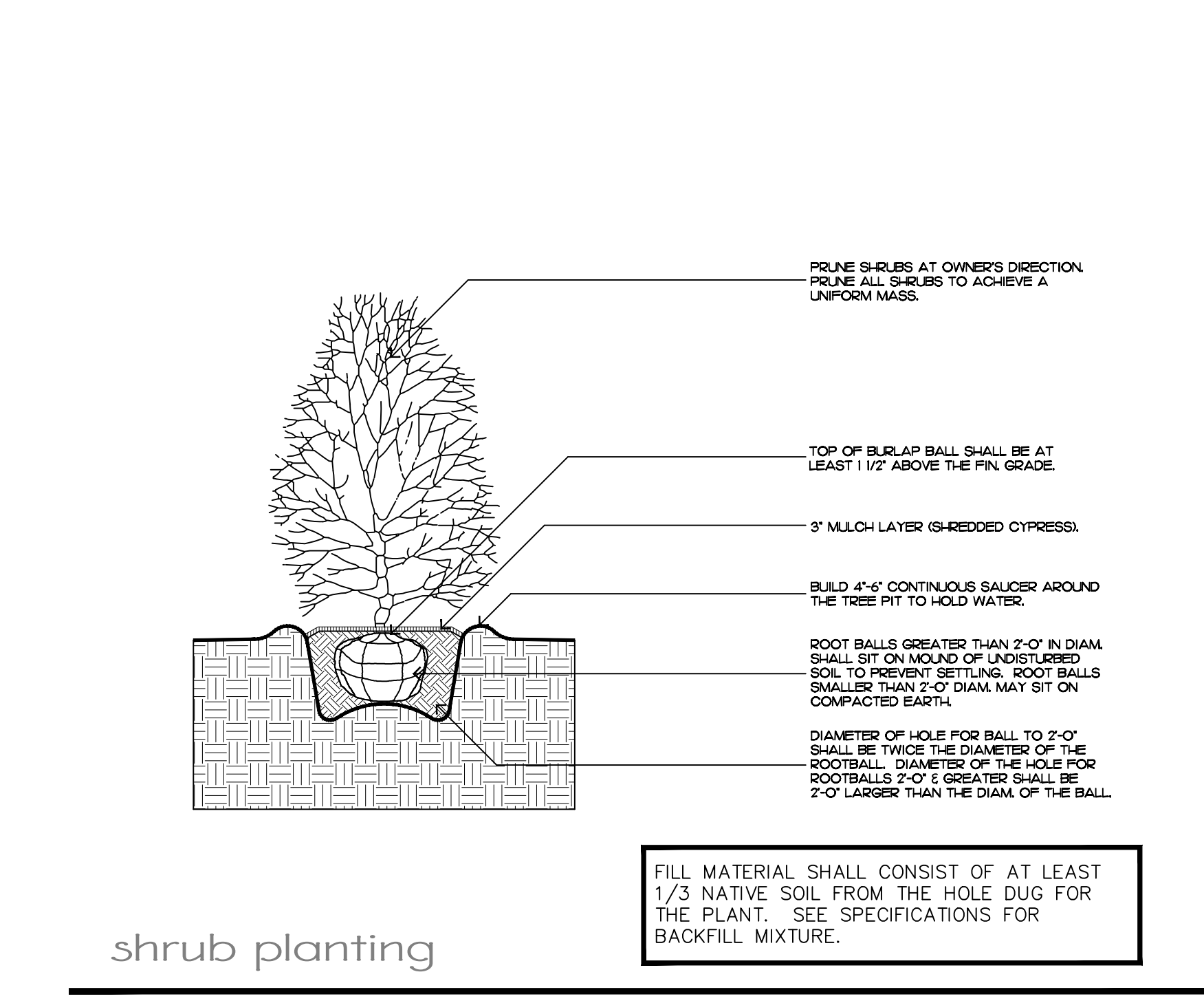




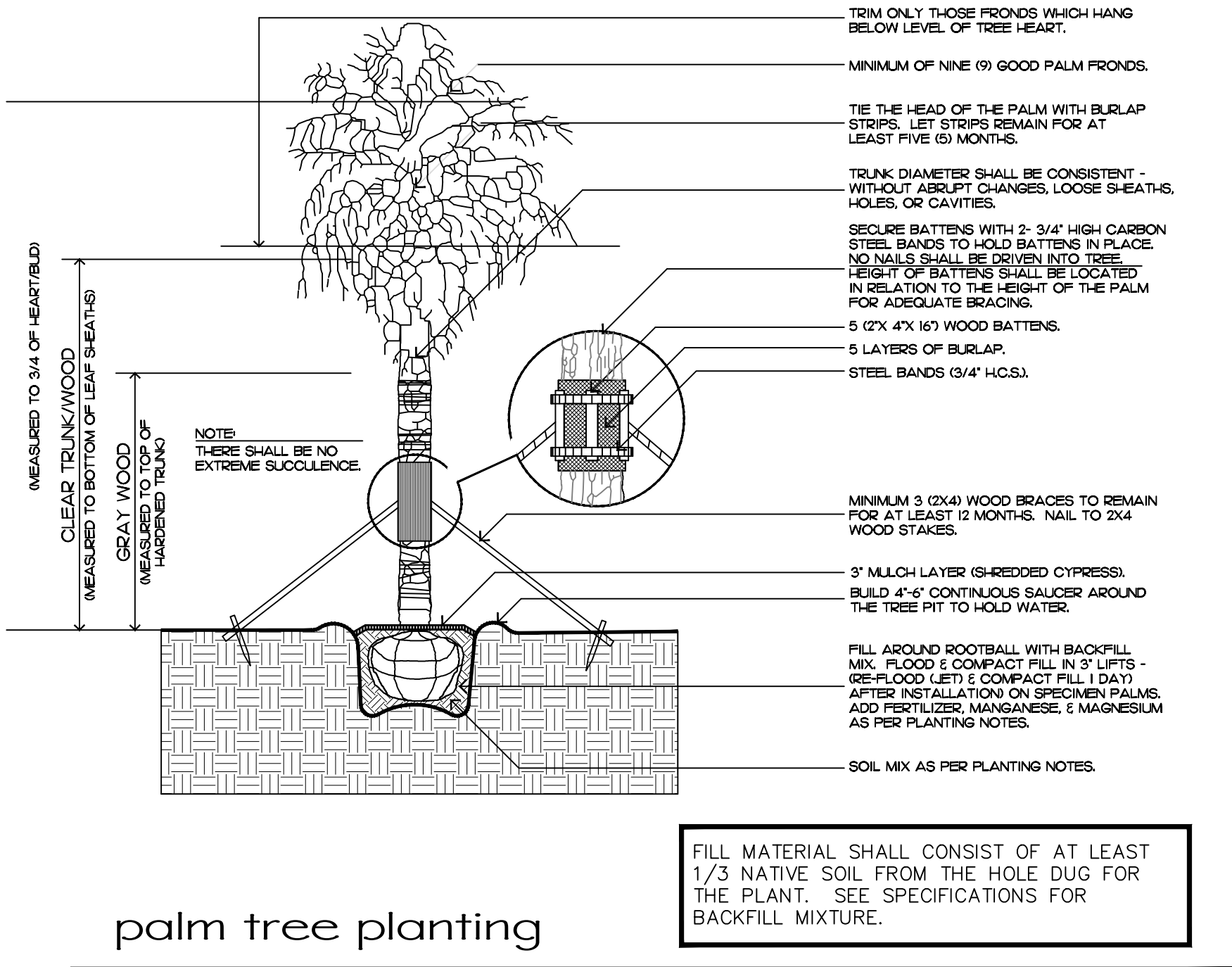
tree planting



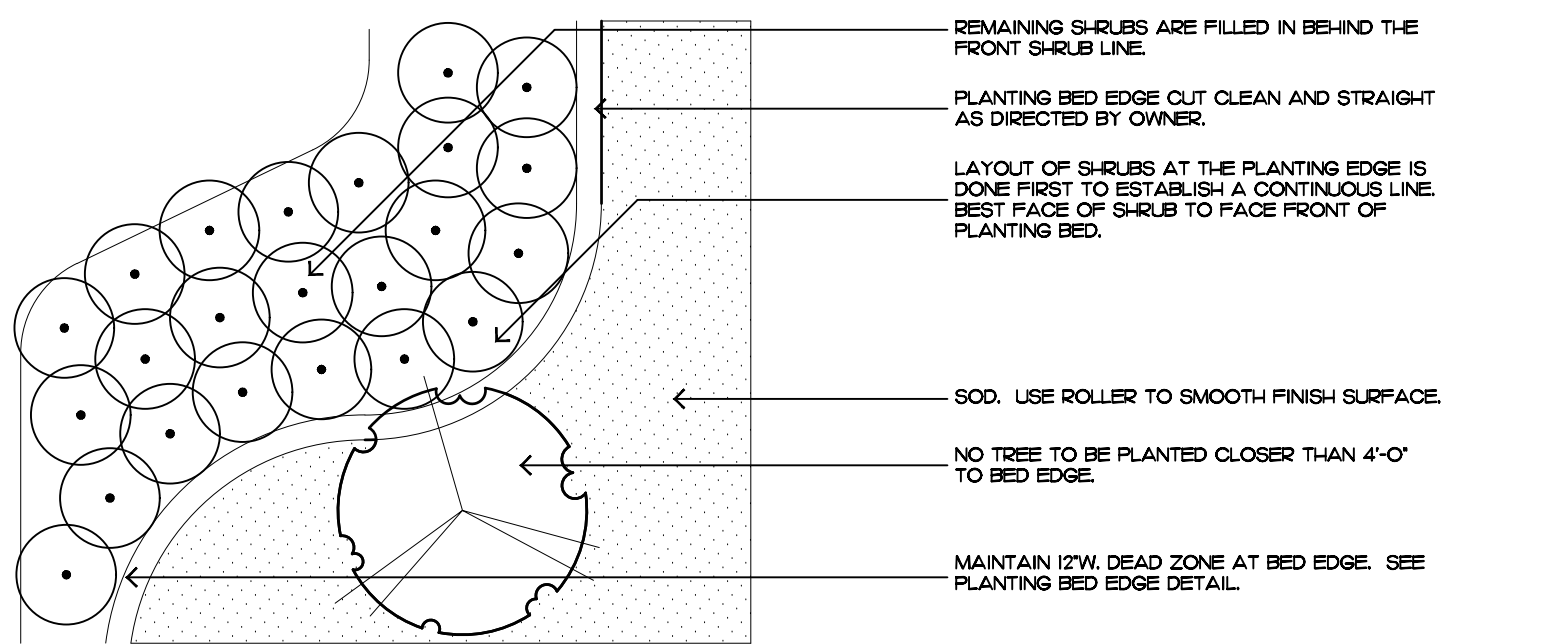
irregular and multi-stem tree



shrub planting



palm tree planting



shrub & ground cover layout

# Planting Notes

## COMMERCIAL FERTILIZER:

FERTILIZER SHALL BE COMPLETELY ORGANIC, IT SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED BAGS, EACH BEARING THE MANUFACTURER'S STATEMENT OF ANALYSIS, AND SHALL MEET THE FOLLOWING REQUIREMENTS:

- SIX PERCENT (6%) NITROGEN
- SIX PERCENT (6%) PHOSPHOROUS
- SIX PERCENT (6%) POTASSIUM

FERTILIZER SHALL BE APPLIED TO ALL SHRUBS (1/3 LB. PER 3 GAL. POT, 1/4 LB. PER 1 GAL. POT) AND GROUNDCOVERS. THE SAME FERTILIZER MIXTURE SHALL BE USED ON SOD AT A RATE OF 15 LBS. PER 1000 SQUARE FEET. A FOURTEEN PERCENT (14%) NITROGEN, FOURTEEN PERCENT (14%) PHOSPHOROUS AND FOURTEEN PERCENT (14%) POTASSIUM IS REQUIRED ON ALL TREES AND SHRUBS OVER 5'-0" IN HEIGHT (1/2 LB. PER 5'-0" OF SPREAD). AGRIFORM TABLETS WITH TWENTY PERCENT (20%) NITROGEN, TEN PERCENT (10%) PHOSPHOROUS, FIVE PERCENT (5%) POTASSIUM IN 21 GRAM SIZES SHALL BE APPLIED ALONG WITH THE FERTILIZER PROCESS (1 WITH 1 GAL. PLANTS, 2 WITH 3 GAL. PLANTS AND 2 TABLETS PER 1" OF TREE TRUNK CALIBER). BACK FILL HALFWAY UP THE ROOT BALL. PLACE ABOUT ONE INCH (1") FROM ROOT TIPS. MAGNESIUM SULFATE SHALL BE APPLIED TO ALL PALMS AT INSTALLATION AT A RATE OF 1/2 LB. PER INCH OF TRUNK CALIBER. MANGANESE SHALL BE APPLIED AT THE SAME RATE.

## MULCH:

MULCH MATERIAL SHALL BE SHREDDED CYPRESS MULCH OR APPROVED EQUAL, MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT. MULCH SHALL BE APPLIED TO A MINIMUM 3" DEPTH IN PLANTING BEDS.

## SOD:

THE SOD SHALL BE FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASES OF ANY KIND, CLEAN, STRONGLY ROOTED, UNIFORMLY SIZED STRIPS, MACHINE STRIPPED NOT MORE THAN TWENTY-FOUR (24) HOURS PRIOR TO LAYING.

## SUBSTITUTIONS:

NO SUBSTITUTION OF PLANT MATERIAL TYPES OR SIZES WILL BE ALLOWED WITH-OUT WRITTEN AUTHORIZATION FROM THE OWNER. CONTAINER GROWN MATERIAL WILL NOT BE ACCEPTED AS SUBSTITUTE FOR B&B MATERIAL UNLESS PREVIOUSLY APPROVED. INTENDED SUBSTITUTIONS SHALL BE SPELLED OUT IN BID.

## MEASUREMENTS:

SHADE TREES: HEIGHT SHALL BE MEASURED FROM GROUND TO THE AVERAGE BRANCH HEIGHT OF CANOPY. SPREAD SHALL BE MEASURED TO THE END OF THE BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF "V" CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION.

SHRUBS: HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE AVERAGE POINT WHERE MATURE PLANT GROWTH STOPS. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE SHRUB MASS. MEASUREMENT AREA NOT TO INCLUDE ANY TERMINAL GROWTH.

PALMS: CLEAR TRUNK (C.T.) - SHALL BE MEASURED FROM THE GROUND AT TIME OF INSTALLATION TO THE POINT WHERE THE MATURE AGED TRUNK JOINS THE IMMATURE OR GREEN PORTION OF THE TRUNK OR HEAD.

OVERALL HEIGHT (O.A.) - SHALL BE MEASURED FROM THE GROUND AT THE TIME OF INSTALLATION TO THE AVERAGE FROND HEIGHT.

PALMS WITH MARKED OR BURNED TRUNKS WILL NOT BE ACCEPTED.

## PLANTING SOIL AND BACKFILL:

PLANTING SOIL FOR USE IN PREPARING BACKFILL FOR PLANT PITS SHALL BE A FERTILE, FRIABLE AND NATURAL TOPSOIL, WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND SHALL BE FREE FROM HEAVY CLAY, STONES, LIME, LUMPS, SHELLS, PLANTS, ROOTS OR OTHER FOREIGN MATERIALS, WEEDS, OR NOXIOUS GRASSES (SUCH AS BERMLUDA OR NUT GRASS). IT SHALL NOT CONTAIN TOXIC SUBSTANCES WHICH MAY BE HARMFUL TO THE PLANT GROWTH.

BACKFILL FOR SOD AREAS SHALL BE SUBJECT TO LESSER STANDARDS AT THE DISCRETION AND DECISION OF THE OWNER.

EXISTING TOPSOIL SHALL BE USED IN ALL PLANT MATERIAL PITS EXCEPT SABAL PALMS WHERE THE SOIL SHALL CONSIST OF CLEAN SAND.

PLANTING SOIL FOR USE IN BEDS FOR ANNUALS AND/OR PERENNIALS SHALL CONTAIN ONE-THIRD (1/3) POTTING SOIL OR A BLENDED TOPSOIL, TILL INTO TOP 10" - 12" OF SOIL WITH A TIME-RELEASE FERTILIZER.

## PLANT MATERIALS:

PALMS, TREES, SHRUBS, GROUNDCOVERS AND VINES

PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO "STANDARDIZED PLANT NAMES", 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH "GRADES AND STANDARDS FOR NURSERY PLANTS" PARTS 1 & 11, LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. UNLESS SPECIFIED OTHERWISE, ALL PLANTS SHALL BE FLORIDA GRADE NUMBER 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. SPECIMEN MEANS AN EXCEPTIONALLY HEAVY, SYMMETRICAL, TIGHTLY KNIT PLANT, SO TRAINED OR FAVORED IN ITS DEVELOPMENT THAT FIRST APPEARANCE IS UNQUESTIONABLE AND OUTSTANDINGLY SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND FREE OF DISEASE AND INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY AND FLORIDA NUMBER 1. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.

## CONTAINER GROWN STOCK:

- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS OF GOOD QUALITY AND BE IN A HEALTHY GROWING CONDITION.
- AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER.

## WARRANTY:

WARRANTY PLANTS, SHRUBS AND GROUNDCOVERS FOR A PERIOD OF NINETY (90) DAYS. TREES & PALMS FOR ONE YEAR (1) AGAINST UNHEALTHY CONDITION, EXCEPT AS MAY RESULT FROM NEGLECT BY OWNER, DAMAGE BY OTHERS, AND UNUSUAL PHENOMENA BEYOND INSTALLER'S CONTROL. REPLACE AT TIME REQUESTED BY THE OWNER OR LANDSCAPE ARCHITECT.

## MAINTENANCE:

MAINTAIN LANDSCAPE WORK UNTIL THE LETTER OF SUBSTANTIAL COMPLETION BY THE GENERAL CONTRACTOR. INCLUDE WATERING, WEEDING, CULTIVATING, RESTORATION OF GRADE, MOWING AND TRIMMING GRASS, PRUNING TREES AND SHRUBS, PROTECTION FROM INSECTS AND DISEASES, FERTILIZATION AND SIMILAR OPERATIONS AS NEEDED TO ENSURE NORMAL GOOD HEALTH FOR LIVE PLANT MATERIAL.

ENVIRONMENT  
DESIGN  
GROUP

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Landscape Architecture  
Land Planning  
Landscape Management

Dustin M. Mizell, M.L.A. RLA #0666784  
dustin@environmentaldesigngroup.com

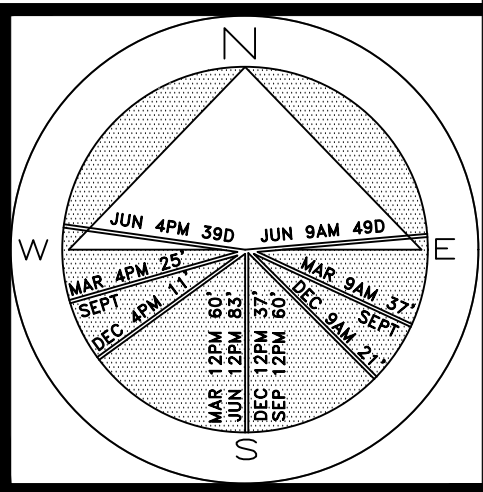
Pre-Engineered Metal Building  
13th Street  
Lake Park

JOB NUMBER: # 22202.00 LA  
DRAWN BY: Dustin Mizell  
DATE: 10.31.2022

SHEET 3.1

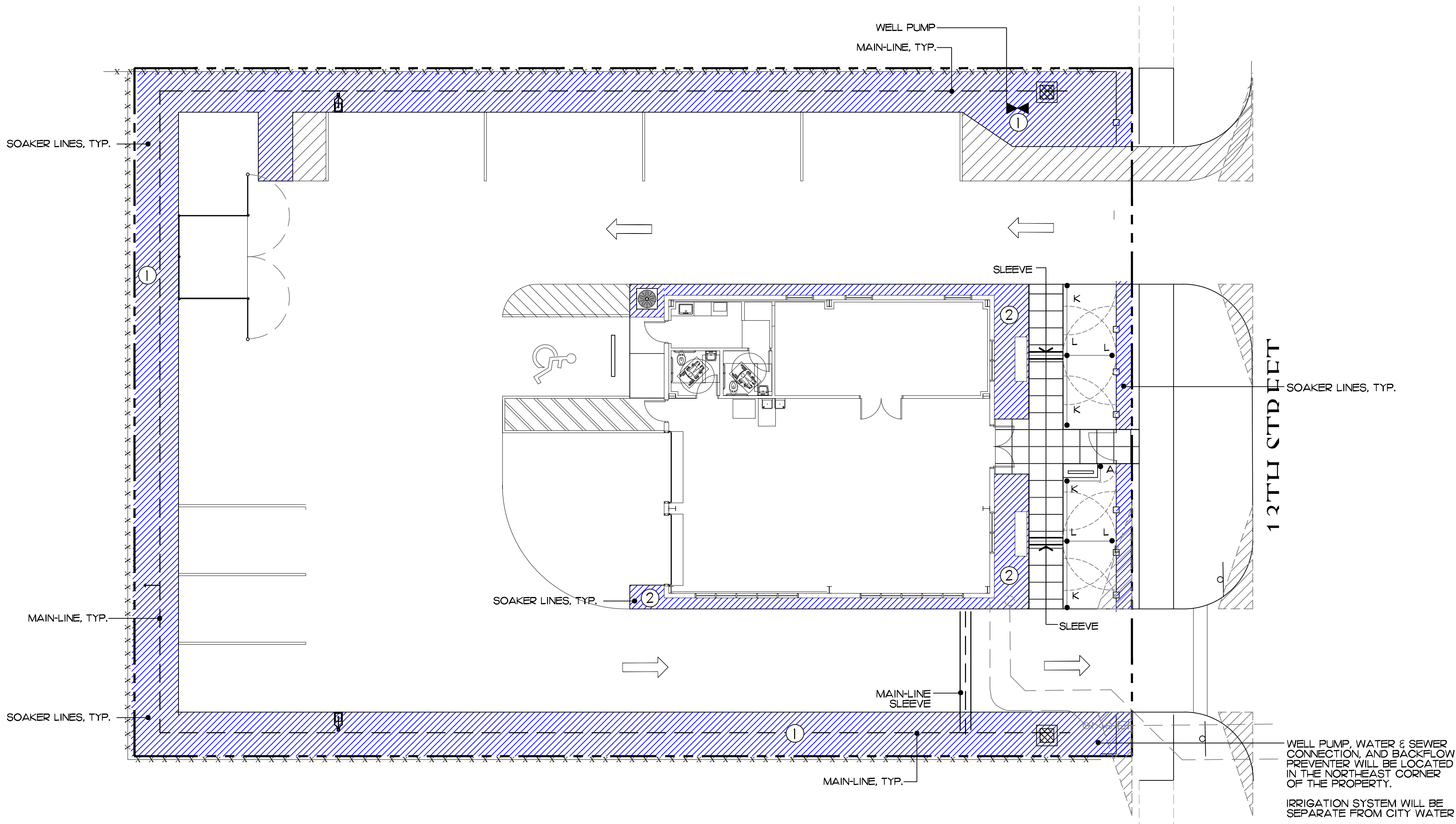


Pre-Engineered Metal Building  
13th Street  
Lake Park



JOB NUMBER: # 22202.00 LA  
DRAWN BY: Jean Twomey  
Allison Padilla  
DATE: 10.31.2022  
12.08.2022  
02.20.2023  
05.04.2023  
08.01.2023

SHEET L4.0



### Irrigation Legend

- PVC MAIN LINE  
CONTRACTOR TO SIZE ACCORDINGLY
- PVC SECONDARY LINE  
CONTRACTOR TO SIZE ACCORDINGLY
- SLEEVE  
SIZE 2 TIMES PIPE SIZE
- IRRIGATION HEAD TYPE AND LOCATION
- ① ZONE NUMBER
- ⬛ ELECTRIC VALVE (SIZE TBD)

NOTE:  
CONTRACTOR TO CONFIRM LOCATION OF WATER SOURCE  
AND WATER PRESSURE AVAILABLE. IF ZONES NEED TO BE  
ADJUSTED, BASED ON AVAILABLE WATER PRESSURE,  
CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO LANDSCAPE  
ARCHITECT FOR REVIEW & APPROVAL

### Pipe Installation

VEHICLE TRAFFIC AREAS		ALL AREAS EXCEPT VEHICLE TRAFFIC	
PIPE SIZE	DEPTH OF COVER	PIPE SIZE	DEPTH OF COVER
0.5" - 2.5"	18"	0.5" - 1.5"	6"
3" - 5"	24"	2" - 3"	12"
> 6"	30"	4" - 6"	18"
		> 6"	24"

SEE CHART FOR DEPTH

VEHICLE TRAFFIC AREA

ALL AREAS EXCEPT VEHICLE TRAFFIC

DETAIL

DETAIL

NOTE: MEET FBC-P APPENDIX F - PART 5 - SECTION A  
PIPE INSTALLATION REQUIREMENTS

### Irrigation Notes

THE CONTRACTOR SHALL MAKE ALL ADJUSTMENTS TO THE IRRIGATION  
SYSTEM TO INSURE 100% COVERAGE.  
DO NOT SCALE PLAN FOR EXACT HEAD LOCATION.  
THE CONTRACTOR SHALL DETERMINE THE APPROPRIATE AMOUNT OF  
IRRIGATION ZONES AND LAYOUT THE SYSTEM ACCORDINGLY.  
UPON LAYOUT AND COMPLETION OF SYSTEM, THERE SHOULD BE NO  
SPILLAGE OR OVERFLOW OF WATER INTO PEDESTRIAN AREAS, WALKS,  
DRIVES, PARKING LOT, ETC.)  
LATERAL ZONE PIPING TO BE CLASS 160 SOLVENT WELD PVC PIPE  
BURIED WITH MINIMUM COVER OF 8".  
ALL PIPING CROSSING UNDER PAVING, PAVERS, CONCRETE, ETC. SHALL  
BE SLEEVED IN SCH. 160 PIPE TO BE AT LEAST 2 TIMES THE NOMINAL  
SIZE.  
MAINLINE TO BE CLASS 200 O-RING GASKETED PVC PIPE BURIED WITH  
MINIMUM COVER OF 24". MAINLINE TO BE 2".  
PIPING NOT TO EXCEED A WATER VELOCITY OF 5 FEET PER SECOND.  
CONTRACTOR SHALL SIZE ALL PIPING APPROPRIATELY TO ENSURE A  
MINIMUM OF 30 PSI AT THE FARTHEST HEAD OF EACH ZONE.  
ALL RISERS SHALL BE PAINTED FLAT BLACK.

THE CONTRACTOR SHALL RUN 3 ADDITIONAL SETS OF WIRES  
IN EACH DIRECTION TO EACH END OF THE MAIN FOR FUTURE USE.  
A MINIMUM OF 14 GA. FOR CONTROL WIRE AND 12 GA. COMMON  
WITH WATERPROOF CONNECTORS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR HARD WIRING THE  
THE ELECTRICAL SERVICE CONNECTIONS.

THE FINAL LOCATION OF ALL COMPONENTS SHALL BE APPROVED  
BY THE OWNER.

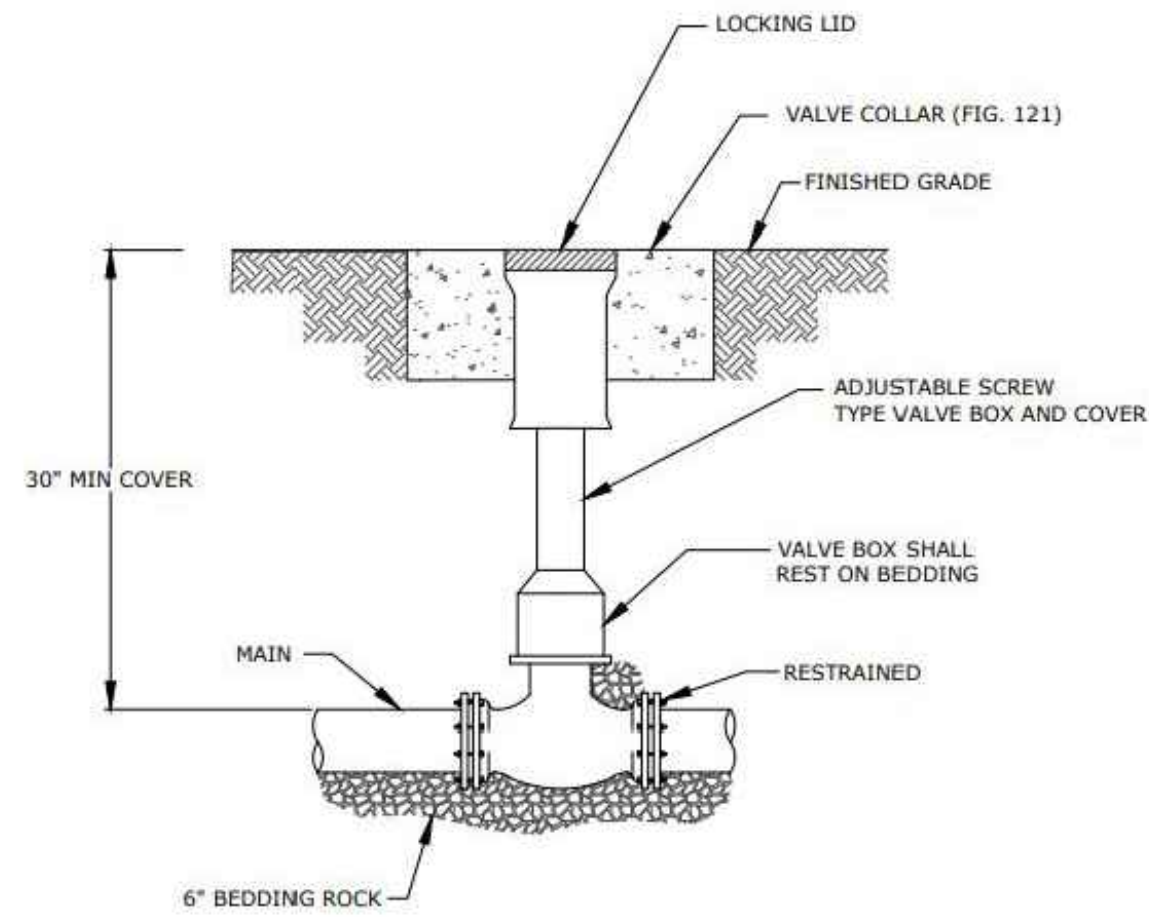
ALL MAIN LINE SLEEVE LOCATION ARE ACCOMPANIED WITH A  
2" ELECTRICAL CHASE FOR THE CONTROL WIRING.  
AUTOMATIC CONTROLLERS: HUNTER ICC-800 & STATION/36 STATION  
EXPANDABLE STATION WALL MOUNT CONTROLLER TO BE MOUNTED ON  
SAME ELECTRICAL PANEL AS PUMP MAGNETIC STARTER ETC.

RAIN SENSOR: HUNTER MINICLIK-C INSTALLED PER CODE.  
TO BE LOCATED AT PUMP AND CONTROLLER LOCATION.

PROVIDE BACKFLOW PREVENTION ASSEMBLIES AT ALL CROSS CONNECTIONS  
WITH ALL WATER SUPPLIES IN ACCORDANCE WITH COUNTY, MUNICIPAL OR  
OTHER APPLICABLE CODES TO DETERMINE ACCEPTABLE BACKFLOW  
PREVENTION ASSEMBLY TYPES AND INSTALLATION PROCEDURES FOR  
A GIVEN APPLICATION. IN THE EVENT OF CONFLICTING REGULATION PROVIDE  
THE ASSEMBLY TYPE WHICH GIVES THE HIGHEST DEGREE OF PROTECTION.

MUST MEET ALL FBC-P REQUIREMENTS

### Valve Box



- WHEN VALVE IS NOT LOCATED IN PAVEMENT,  
PLACE AN APPROPRIATE PAVEMENT REFLECTOR  
MARKER IN THE DRIVE LANE, ADJACENT TO THE VALVE
- OPERATOR EXTENSION SHAFT SHALL BE  
PROVIDED WHEN OPERATING NUT IS MORE THAN  
24" BELOW TOP OF VALVE BOX
- PVC PIPE OR DUCTILE IRON PIPE IS NOT  
ACCEPTABLE FOR VALVE BOX RISER

## Irrigation Plan

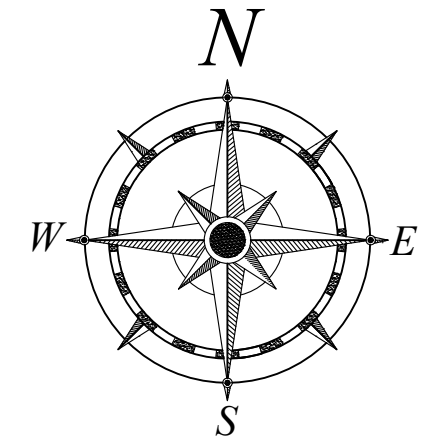
SCALE IN FEET 3/32" = 1'

48 HOURS BEFORE DIGGING  
CALL TOLL FREE  
1-800-432-4770  
SUNSHINE STATE ONE CALL  
OF FLORIDA, INC.

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0 5 10 20  
SCALE: 1" = 10'



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FIELD: DRAWN: P. Saffold  
DESIGNED: TNM  
APPROVED: TNM  
PROJECT #23-015

REVISIONS  
DATE  
NO.

**PRELIMINARY PAVING, GRADING, &  
DRAINAGE PLAN  
830 13th STREET  
COMMERCIAL BUILDING  
LAKE PARK, FLORIDA**

SITE PLAN RESUBMITTAL  
DATE: 10/4/2023

SHEET  
**C1.1**  
OF 4

#### LEGEND

- PROP. SIGN  
SURFACE FLOW ARROW  
PROP. CONCRETE PAVEMENT  
PROP. ASPHALT PAVEMENT  
PROPOSED ELEVATION  
EXIST. ELEVATION  
POLLUTION RETARDANT BAFFLE PRB

#### NOTES:

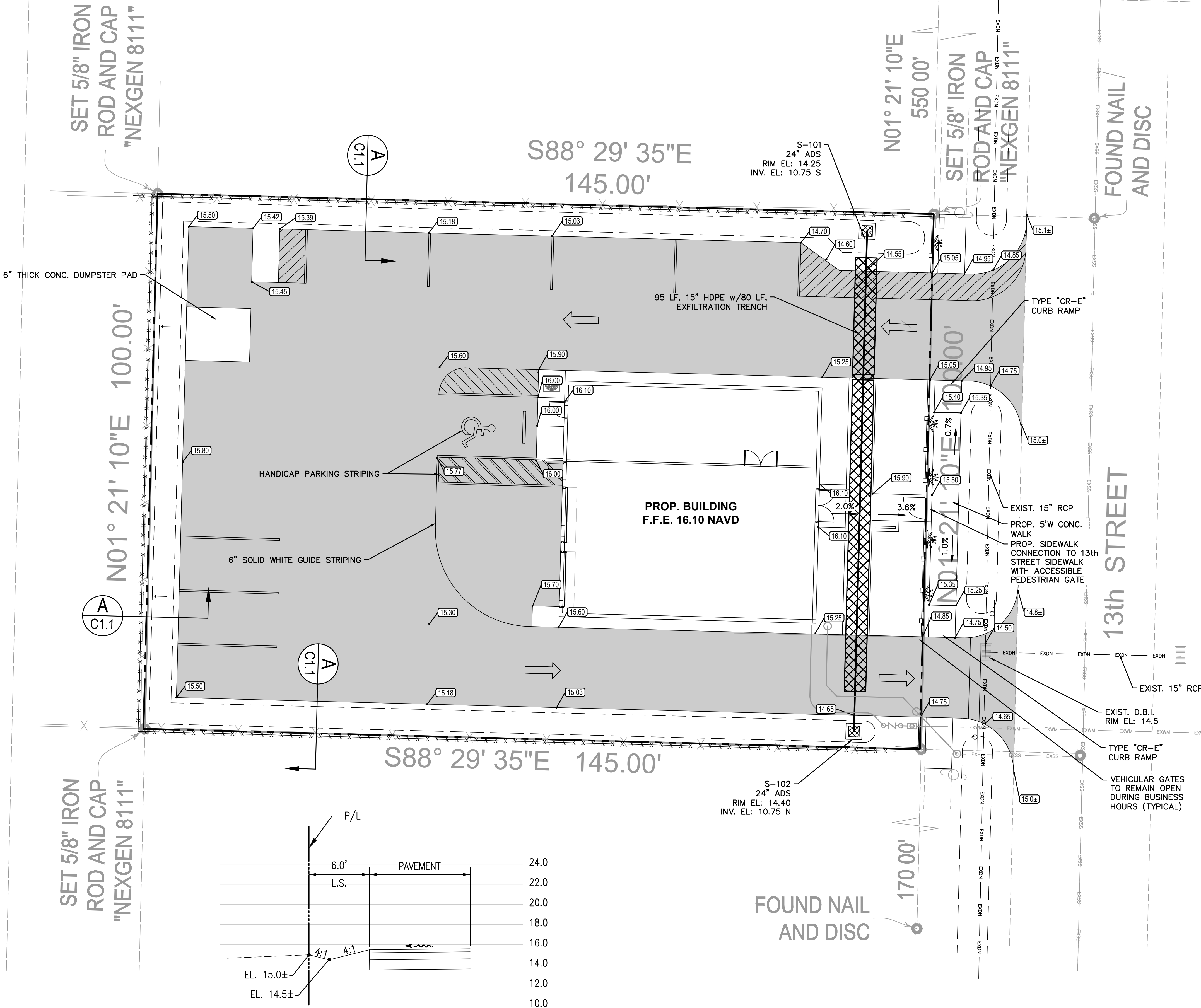
- EXIST. UTILITIES, DRAINAGE, & ELEVATIONS BASED ON SURVEY PREPARED BY NEXGEN SURVEYING. CONTRACTOR SHALL VERIFY INVERTS, PIPE SIZES, AND STRUCTURE LOCATIONS PRIOR TO SUBMITTING SHOP DRAWINGS.
- ALL LANDSCAPE AREAS ADJACENT TO BUILDING SHALL BE GRADED TO DRAIN AWAY FROM BUILDING.
- CONTRACTOR SHALL CONFIRM DETECTABLE WARNING REQUIREMENTS WITH BUILDING OFFICIAL PRIOR TO INSTALLATION.
- WHERE LANDSCAPE/SOD ABUTS BUILDING SLAB, A MINIMUM 3" SLAB REVEAL SHALL BE PROVIDED.
- MAXIMUM SLOPE FROM TOP OF CURB AND BACK OF WALK TO FINISHED GRADE SHALL BE 4(H):1(V), UNLESS OTHERWISE NOTED.
- ALL BUFFER, DETENTION, SWALE, AND UN-LANDSCAPED/UNPAVED AREAS SHALL BE SODDED UNLESS OTHERWISE NOTED.
- REFER TO SITE PLAN PREPARED BY ENVIRONMENT DESIGN GROUP FOR ADDITIONAL SITE REQUIREMENTS.
- ALL CULVERTS LEADING TO EXFILTRATION TRENCH SHALL BE FITTED WITH A POLLUTION RETARDANT BAFFLE (PRB) PER THE ENCLOSED DETAIL.
- ALL BUFFER & UNPAVED/UNLANDSCAPED AREAS SHALL BE SODDED BY CONTRACTOR.
- ALL OFFSITE DISTURBED AREAS SHALL BE SODDED BY CONTRACTOR. ALL DAMAGED CURBING, PAVEMENT, STRIPING, SIGNAGE, LANDSCAPING, ETC. SHALL BE RESTORED BY CONTRACTOR.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR PREPARING MAINTENANCE OF TRAFFIC (MOT) PLANS AND OBTAINING ALL REGULATORY APPROVALS FOR MOT PLANS. COPIES OF APPROVED MOT PLANS SHALL BE PROVIDED TO ENGINEER PRIOR TO COMMENCING WORK.
- ALL PIPE JOINTS SHALL BE WRAPPED PER FDOT INDEX NO. 430--001.

#### ACCESSIBILITY NOTES:

- ACCESSIBLE ROUTES SHALL BE CONSTRUCTED TO MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE - ACCESSIBILITY.
- ALL WALKS CROSSING A VEHICULAR AREA SHALL HAVE DETECTABLE WARNING SURFACE (TRUNCATED DOME) IN ACCORDANCE WITH THE FLORIDA BUILDING CODE - ACCESSIBILITY.
- CURB RAMP SLOPES AND DIMENSIONS SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD INDEX NO. 522-02. CURB RAMP DETECTABLE WARNING SURFACES SHALL BE TRUNCATED DOME AND SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE.
- DETECTABLE WARNING SHALL BE THE WIDTH OF THE WALKING SURFACE AND 3' IN LONGITUDINAL LENGTH (DIRECTION OF TRAVEL). DETECTABLE WARNING MATS SHALL PER THE FDOT APPROVED PRODUCTS LIST (APL), LATEST EDITION.

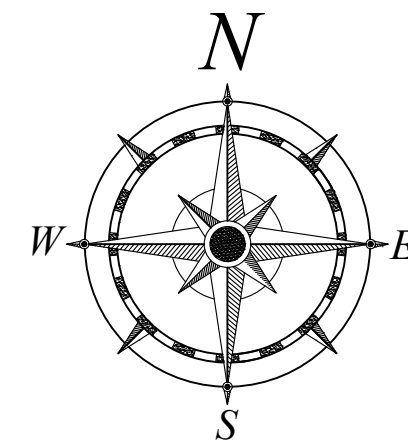
NOTE: THESE PLANS ARE STILL UNDER REGULATORY PERMIT REVIEW. OWNER IS ADVISED NOT TO ENTER INTO CONTRACT FOR THE CONSTRUCTION OF THIS PROJECT UNTIL ALL PERMITS ARE ISSUED. BIDDING/CONTRACTING PRIOR TO COMPLETION OF PERMITTING WILL RESULT IN INCREASED COSTS & CHANGE ORDERS.

DATUM NOTE: ALL ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). TO CONVERT TO NGVD 1929, ADD 1.53' TO NAVD ELEVATIONS.



**SECTION A**  
(SEE SHEET C1.1) NTS





0 5 10 20  
SCALE: 1" = 10'

#### LEGEND

	EASEMENT LINE
	EXISTING WATER MAIN, GATE VALVE (G.V.), TEE, F.H. AND PLUG
	EXISTING SANITARY SEWER MAIN, MANHOLE AND DIRECTION OF FLOW
	PROPOSED WATER MAIN, GATE VALVE (G.V.), BEND AND TEE WITH FIRE HYDRANT ASSEMBLY
	PROPOSED SANITARY SEWER MAIN, SINGLE & DOUBLE SEWER SERVICE CLEAN OUT (C.O.), MANHOLE AND
	CONCRETE
	MILLING & RESURFACING
	ASPHALT PAVEMENT
	EXIST. UTILITY TO BE VERIFIED BY SOFT DIGS PRIOR TO APPROVAL OF SHOP DRAWINGS
	UTILITY EASEMENT

#### NOTES:

1. PRIOR TO CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY (ELEVATION & LOCATION) ALL EXISTING UTILITIES. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONTINUATION OF WORK.
2. M OF 12' FROM EDGE OF PAVEMENT, OR SHALL BE PROTECTED BY BOLLARDS.
3. VALVES SHALL NOT BE PLACED IN CURBS.
4. ALL WATER AND SANITARY SERVICES SHALL BE CONSTRUCTED A MINIMUM OF 5' FROM DRAINAGE STRUCTURES.
5. RECORD DRAWINGS MUST HAVE DATA FOR TAP AND METER LOCATIONS FOR ALL WATER MAIN SERVICES.
6. PRESSURE TESTING AND CERTIFICATION SHALL FOLLOW SEACOAST UTILITY AUTHORITY CONSTRUCTION STANDARDS, LATEST EDITION.
7. CONTRACTOR SHALL ADJUST ALL EXISTING SANITARY MANHOLE RIMS, CLEANOUTS, AND VALVE BOXES TO NEW FINISHED GRADE AND SHALL POUR CONCRETE COLLARS AS REQUIRED BY SUA SPECIFICATIONS, PRIOR TO FINAL PAVING/CONCRETE.
8. CONTRACTOR SHALL LOCATE & PROTECT ALL EXIST. UTILITIES.
9. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS, SIZES, MATERIALS, AND DEPTHS VIA "SOFT DIGS", PRIOR TO SUBMITTING SHOP DRAWINGS.
10. CONTRACTOR IS SOLELY RESPONSIBLE FOR PREPARING MOT DRAWINGS AND OBTAINING ALL REQUIRED MOT APPROVALS.
11. WATER/SEWER SYMBOLS ARE REPRESENTATIVE OF THE CORRESPONDING FITTINGS ONLY. CONTRACTOR SHALL NOT ATTEMPT TO ATTEMPT TO CONSTRUCT WATER/SEWER SYSTEM BY SCALING THE SYMBOLS FORM THESE PLANS. ALL FITTINGS SHALL INSTEAD BE BUILT PER THE ENCLOSED DETAILS.

#### RECORD DRAWING NOTES:

1. RECORD DRAWINGS SHALL BE PREPARED IN THE STATE PLANE COORDINATE SYSTEM.
2. ALL UTILITY FEATURES SHALL BE SHOWN IN THEIR AS-BUILT LOCATION.
3. STATE PLANE COORDINATES SHALL BE DISPLAYED ON RECORD DRAWINGS FOR ALL FEATURES SPECIFIED IN THE SUA STANDARDS.

#### GENERAL WATER NOTES:

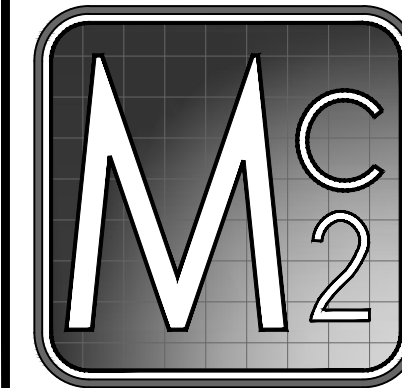
1. ALL WATER SERVICE BRASS ARE REQUIRED TO BE LEAD FREE.
2. CONTRACTOR SHALL ALLOW A MINIMUM OF 90 DAYS FROM SUBMITTAL OF WATER/SEWER ASBUILT RECORD DRAWINGS UNTIL REQUEST FOR FIRST WATER METER IN ORDER TO ALLOW FOR EOR AND SUA REVIEW OF ASBUILT DRAWINGS. ASBUILTS WHICH DO NOT COMPLY WITH SUA STANDARDS OR WHICH INDICATE UTILITY WORK WHICH DOES NOT COMPLY WITH THESE PLANS AND SUA/HEALTH DEPT. CRITERIA, MAY REQUIRE SIGNIFICANT CORRECTIVE WORK AND MAY RESULT IN SIGNIFICANT DELAYS WHICH SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
3. CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL BACTERIOLOGICAL TESTING AND RETESTING UNTIL PROJECT PASSES PBC HEALTH DEPARTMENT RELEASE PROCESS.
4. CONTRACTOR IS SOLELY RESPONSIBLE FOR PROVIDING ALL SURVEY SERVICES (VIA LICENSED SURVEYOR) ASSOCIATED WITH ASBUILT RECORD DRAWING PREPARATION, EASEMENT SKETCH/LEGAL DESCRIPTIONS, AND ALL PROJECT STAKING/LAYOUT AND UTILITY VERIFICATION.

#### GENERAL SEWER NOTES:

1. ON-SITE SEWER LATERALS ARE PRIVATELY OWNED AND MAINTAINED PAST SUA POINT-OF-SERVICE.
2. CONTRACTOR SHALL CONFIRM THAT PROPOSED SEWER LATERAL INVERTS HAVE SUFFICIENT DEPTH TO CONNECT TO BUILDING PLUMBING PRIOR TO COMMENCING UTILITY CONSTRUCTION. CONTRACTOR IS SOLELY RESPONSIBLE FOR COST OF MODIFYING SEWER LATERALS IF HE FAILS TO COORDINATE PLUMBING/LATERAL DEPTHS PRIOR TO CONSTRUCTION.

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DATUM NOTE: ALL ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). TO CONVERT TO NGVD 1929, ADD 1.53' TO NAVD ELEVATIONS.



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DRAWN: P. Saffold  
DESIGNED: TMM  
APPROVED: TMM  
PROJECT #23-015

REVISIONS

DATE

NO.

**PRELIMINARY WATER  
& WASTEWATER PLAN  
830 13th STREET  
COMMERCIAL BUILDING  
LAKE PARK, FLORIDA**

SITE PLAN RESUBMITTAL  
DATE: 10/4/2023

SHEET

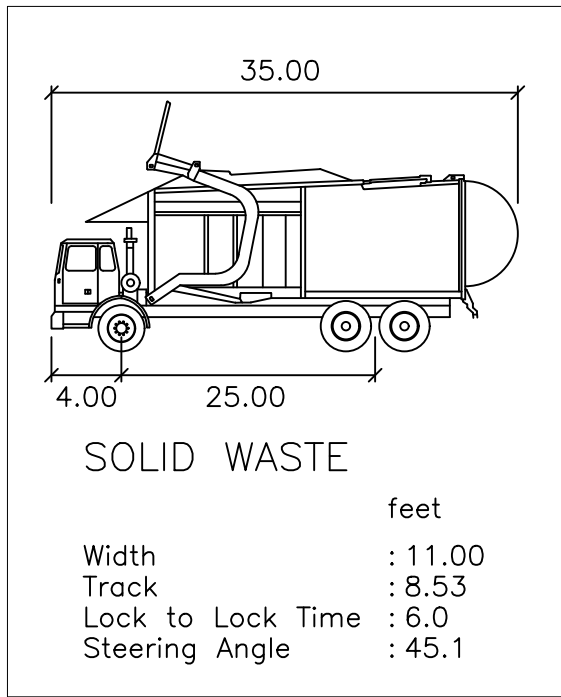
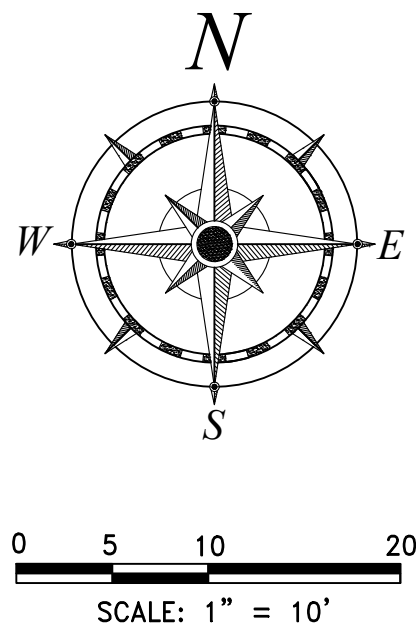
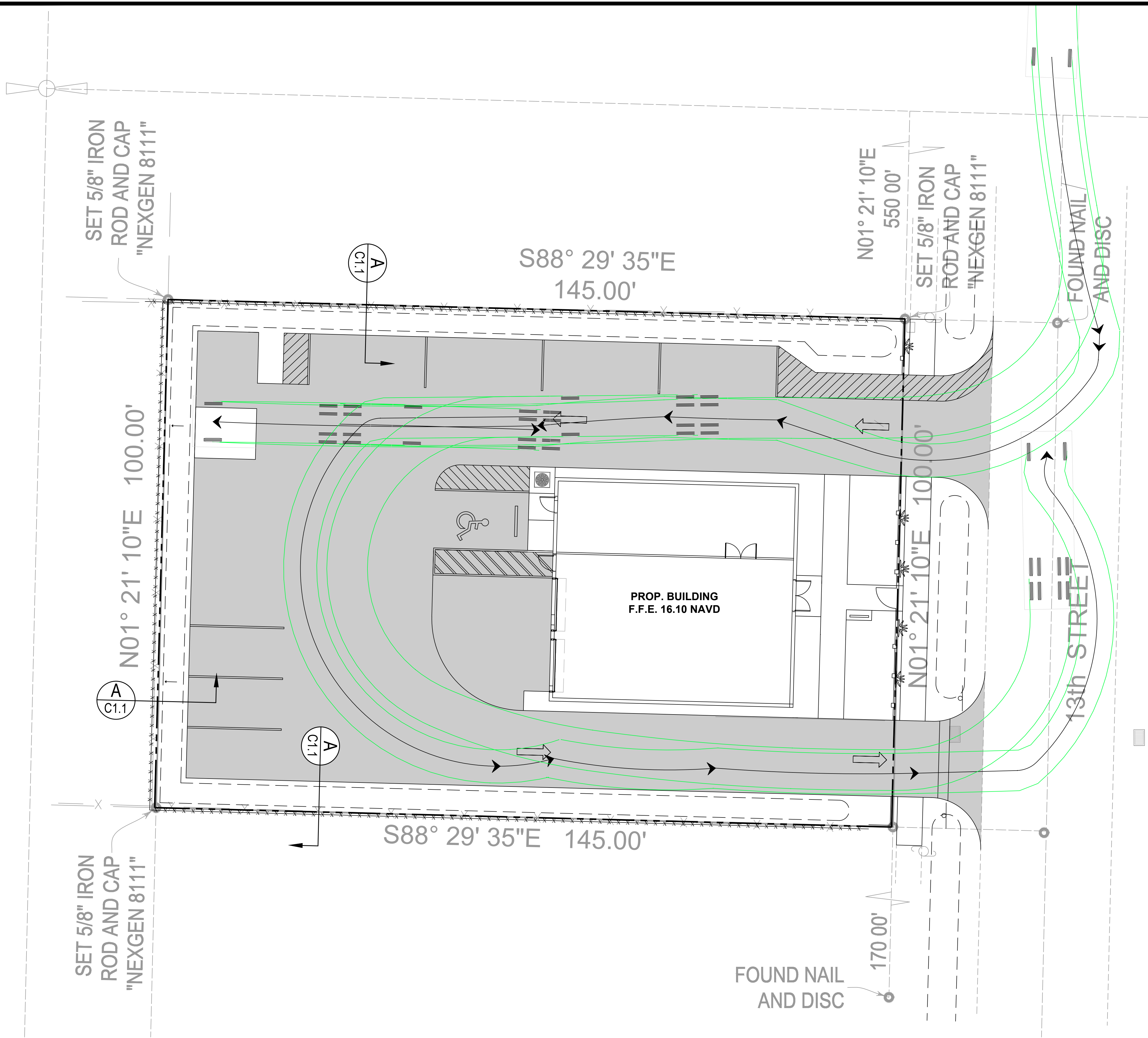
**C2.4**

OF 4









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FIELD: **Drawn: P. Saffold**  
**Designed: TMM**  
**Approved: TMM**  
**Project #23-015**

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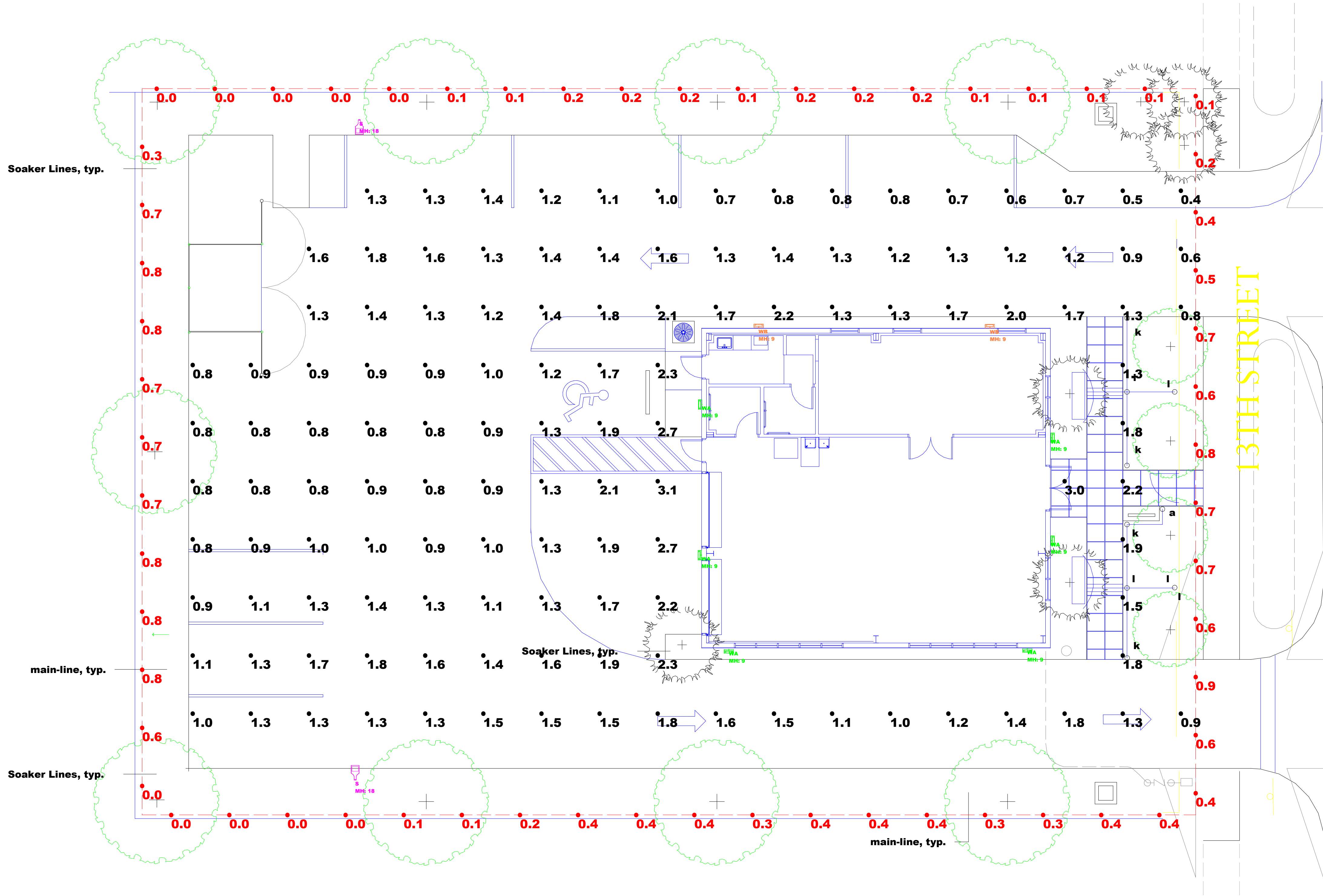
NO.	DATE	REVISIONS

**AUTOTURN EXHIBIT: SOLID WASTE**  
**830 13th STREET**  
**COMMERCIAL BUILDING**  
**LAKE PARK, FLORIDA**

SITE PLAN RESUBMITTAL  
DATE: 10/4/2023

SHEET  
**EX1**  
OF 4





LUMINAIRE SCHEDULE										
SYMBOL	QTY	LABEL	ARRANGEMENT	MANUFACTURER	CATALOG NUMBER	MOUNTING	EMERGENCY	LLF	LUMINAIRE LUMENS	LUMINAIRE WATTS
	2	S	Single	Lithonia Lighting	DSX0 LED P2 40K 80CRI BLC4	POLE MOUNTED: 18' A.F.G.	N/A	0.900	4259	45.14
	6	WA	Single	Lithonia Lighting	DSXW1 LED 10C 350 40K T3M MVOLT	WALL MOUNTED: 9' A.F.G.	N/A	0.900	1488	13.3
	2	WB	Single	Lithonia Lighting	DSXW1 LED 10C 350 40K T4M	WALL MOUNTED: 9' A.F.G.	N/A	0.900	1458	13.3

CALCULATION SUMMARY										
LABEL	CALC TYPE	UNITS	SPACING L-R (FT)	SPACING T-B (FT)	HEIGHT (FT)	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PARKING & DRIVEWAY	Illuminance	Fc	8	8	0	1.33	3.1	0.4	3.33	7.75
PROP. LINE	Illuminance	Fc	8	N.A.	N.A.	0.35	0.9	0.0	N.A.	N.A.

Scale: 1 inch= 8 Ft.

DESCRIPTION:  
PARKING & DRIVEWAY  
NORMAL POWER

DATE:  
8/23/2023

REV# 01

PROJECT:  
EMPIRE LANDSCAPE

