



**TOWN LAKE OF PARK
PLANNING & ZONING BOARD
STAFF REPORT**

**MEETING DATE: September 11, 2023
PZ-23-06**

APPLICATION: Empire Landscaping

SUMMARY OF APPLICANT’S REQUEST: Empire Landscaping (“Property Owner” and “Applicant”) is requesting site plan approval for a one-story, 2,112 SF office/warehouse building. The proposed development is consistent with the Town of Lake Park’s adopted regulations for the CLIC-1 District.

The Subject Property is located south of Watertower Road along 13th Street in the Town of Lake Park as denoted in the location map. It is comprised of the following parcel, which totals 0.33 acres:

- Parcel 1 – PCN: 36434220000007400

BACKGROUND:

Owner & Applicant(s):

Empire Landscape

Agent and Consultant:

James Leserra, Empire Landscaping

Location:

36434220000007400 (No Address)

Net Acreage (total):

0.333 acres

Legal Description:

See survey enclosed in packet.

Existing Zoning:

CLIC-1

Future Land Use:

Light Industrial and Commercial

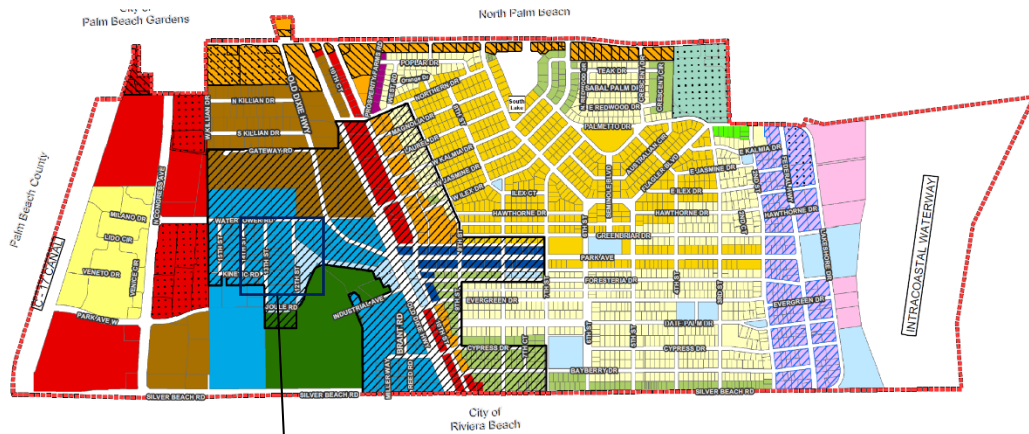
Figure 1: Aerial View of Site (image not to scale; for visual purposes only)



LAKE PARK ZONING MAP



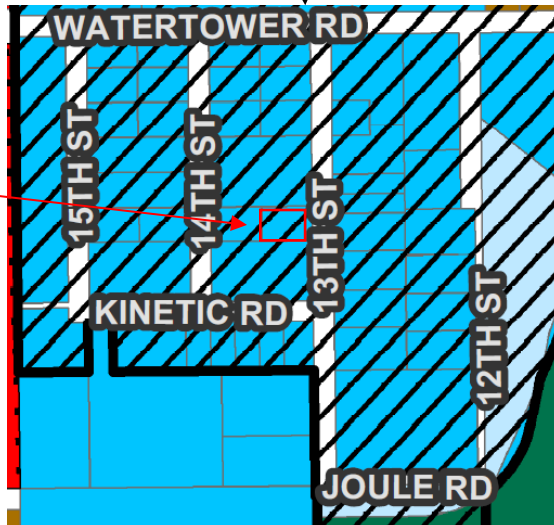
Lake Park Zoning Map



Legend

TOWN BOUNDARY	Zoning	C4 BUSINESS DISTRICT	PADD PARK AVENUE DOWNTOWN DISTRICT	R2 MULTIPLE FAMILY RESIDENCE DISTRICT
Planned Unit Development Overlay	C1 BUSINESS DISTRICT	CLIC CAMPUS LIGHT INDUSTRIAL & COMMERCIAL	R1 SINGLE FAMILY RESIDENCE DISTRICT	R2A MULTIPLE FAMILY RESIDENCE DISTRICT
NBOZ Overlay	C1B NEIGHBORHOOD COMMERCIAL DISTRICT	CONSERVATION	R1A SINGLE FAMILY RESIDENCE DISTRICT	TND TRADITIONAL NEIGHBORHOOD DEVELOPMENT
CRA Overlay	C2 BUSINESS DISTRICT	MU MIXED USE	R1AA RESIDENCE DISTRICT	
FHMUDO Federal Highway Mixed Use District Overlay	C3 BUSINESS DISTRICT	P PUBLIC DISTRICT	R1B TWO FAMILY RESIDENCE DISTRICT	

Subject
Site



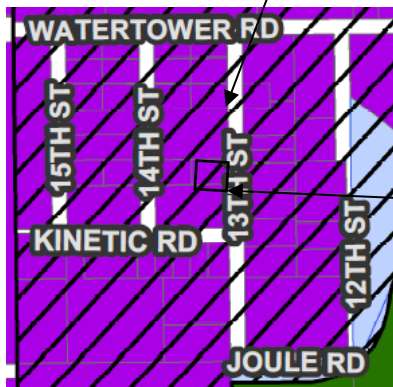
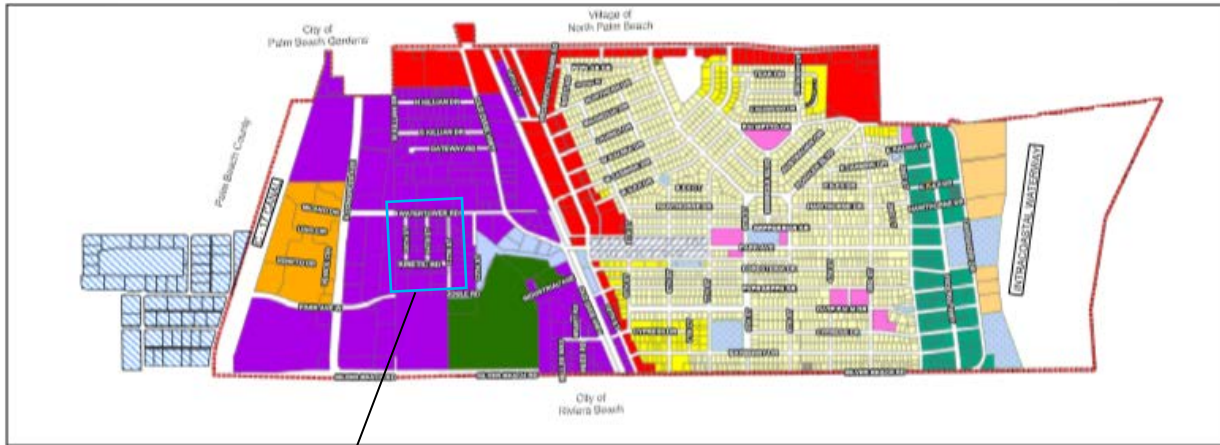
Adjacent Zoning:

North: CLIC-1
 South: CLIC-1
 East: CLIC-1
 West: CLIC-1

LAKE PARK FUTURE LAND USE MAP



Lake Park Future Land Use Map



Subject Site

Adjacent Existing Land Use

North: Commercial and Light Industrial
 South: Commercial and Light Industrial
 East: Commercial and Light Industrial
 West: Commercial and Light Industrial

PART I: SITE PLAN APPLICATION

The site plan application for Empire Landscape has been reviewed by the Town's consulting Engineers, Landscape Architect, Palm Beach County Fire Rescue, Seacoast Utility Authority, Palm Beach County Sheriff's Office (PBSO) for Crime Prevention Through Environmental Design (CPTED), Lake Park Public Works Staff, and Lake Park Community Development Department Staff. Based on these reviews, the project substantially complies with our Land Development Regulations and Comprehensive Plan.

****This project has been noticed by certified mail to property owners within 300 feet on 8/30/23 and advertised in the Palm Beach Post on Friday 9/1/23 ****

SITE PLAN PROJECT DETAILS

Comprehensive Plan: The proposal is consistent with the goals, objectives and policies of the Town's Comprehensive Plan, including:

- ➔ **3.4.2 Objectives and Policies, Policy 1.5:** *The Town shall encourage development and redevelopment activities which will substantially increase the tax base while minimizing negative impacts on natural and historic resources, existing neighborhoods and development and adopted Levels of Service (LOS) standards.*

This development project activates a vacant parcel along 13th Street, bringing in a new business while not producing any harmful impacts to neighboring districts and adopted Levels of Service.

- ➔ **Future Land Use (FLU) Classification System 3.4.3:** *Lands and structures devoted to light industrial uses with pollutants controlled on site, warehouses, commercial, wholesale establishments, and limited small scale commercial uses that are supportive of workers in the area such as convenience stores and restaurants and that can be carried on unobtrusively, with a maximum F.A.R. of 2.0.*

The current proposal is consistent with the definitional requirement for lands in the Commercial and Light Industrial FLU designation and consistent with the required Floor Area Ratio (FAR) by providing an FAR of 0.14.

- ➔ **Future Land Use Element, Policy 5.2:** *The Town shall foster the redevelopment of declining neighborhoods, underutilized parcels, and areas that demonstrate substandard and/or slum and blight conditions.*

The proposed development will redevelop a currently underutilized (vacant) parcel per the requirements of the Comprehensive Plan.

Zoning: The proposed project is consistent with the requirements of the CLIC-1 Business District, including use, parking, building height, and building site area. The project also complies with the supplemental regulations of the general code, which will be further discussed as applicable in the sections below.

Of note, this project is applying for two administrative waivers specific to sites under one acre. The first waiver is for the building setback to reduce the front yard setback from 25' to 20'. This is allowable with the 20% reduction to setbacks that can be applied.

The second requested waiver is for landscape buffer widths; instead of the standard 8' landscape buffers, the applicant is proposing to utilize the 20% reduction allowance to provide 6'4" buffers instead.

Both alternative proposals fall within the allowances of the administrative waivers for sites under one acre and staff supports their application to this project given the site's inherent constraints.

Architecture: The project is generally compliant with the Town's standards for nonresidential architectural design detailed under Chapter 78, Article XII. The proposal meets the standards set forth for building articulation, material variation, and decorative features.

Two outstanding elements pertaining to architecture that were not addressed during site plan review are ensuring secondary color percentages are no greater than 25% per wall and ensuring features of interest account for 60% of the front and side facades. These outstanding items are anticipated to be remedied prior to Town Commission scheduling, otherwise they will be conditioned on the approving Resolution.

Building Site: The total impervious area for the project is 9,398 SF and the pervious area is 2,990 SF. The development proposal consists of a one story 2,112 SF office warehouse building. This structure will serve as storage and the main offices for the Empire Landscaping company.

Traffic Concurrency: O'Rourke Engineering has reviewed the proposed traffic generated for this project as well as internal circulation within the site and recommended approval 8/28/23. Palm Beach County TPS approval for this project was issued on 7/5/23.

Landscaping: The proposed landscaping plans have been deemed code compliant by the Town's consulting Landscape Architect (JMorton) as of 8/28/23.

Paving, Grading and Drainage: The Town's consulting Engineers reviewed and approved the civil plans for this proposal on 8/24/23. Likewise the Town Stormwater Division approved the project on 8/29/23.

Signage: Signage will be subject to permit review and approval pursuant to the sign code when permits are applied for.

Water/Sewer: Seacoast Utility Authority reviewed these plans for compliance with their best practices and provided final approval on 8/24/23.

Fire: PBC Fire Rescue reviewed the site plan and found it to be in compliance with PBC Fire Rescue best practices on 8/28/23. An additional round of fire review will be conducted during the building permit phase, which is standard procedure.

PBSO: The Crime Prevention Through Environmental Design (CPTED) review was performed by D/S Adam Pozsonyi at the Palm Beach County Sheriff's Office and the proposal was found to be compliant with best-practice principles for CPTED on 8/25/23.

PART II: STAFF RECOMMENDATION

Staff recommends **APPROVAL** of the Site Plan for Empire Landscaping.



**TOWN OF LAKE PARK
COMMUNITY DEVELOPMENT DEPARTMENT**

APPLICATION FOR SITE PLAN REVIEW OR AMENDMENT

Please call (561)881-3319 for submittal fees

*****For Planned Unit Development (PUD) applications, please refer to Section 78-77 of the
Town Code of Ordinances for additional requirements*****

Project Name: Empire Landscape

Project Address: 830 13th Street, Lake Park, FL 33403

Property Owner: James Leserra

APPLICANT INFORMATION:

Applicant Name: Dustin Leserra

Applicant Address: 246 SE Ashley Oaks Way, Stuart, FL 34997

Phone: 772-215-8383 Fax: _____ E-Mail: info@empirelandscape.biz

SITE INFORMATION:

General Location: AKA Lot 47 LAKE PARK INDUSTRIAL SITES, UNRECORDED.

Address: 830 13th Street, Lake Park, FL 33403

Zoning District: Clic Future Land Use: Industrial Acreage: 0.33

Property Control Number (PCN): 36-43-42-20-00-000-7400

ADJACENT PROPERTY:

DIRECTION	ZONING	BUSINESS NAME	USE
North			Storage
East			Junkyard
South		Revival Landscape	Landscape
West			Auto Repair Shop

JUSTIFICATION:

Information concerning all requests (attach additional sheets if needed)

1. Please explain the nature of the request:

Site Plan Application

Proposed 44' x 48" (2112 Sq/ft) Pre-fabricated Metal Building. Mixed Office/Warehouse space.

- 720 sq/ft Office space

- 1392 sq/ft of Warehouse space.

2. What will be the impact of the proposed change to the surrounding area?

The encompassed area will be improved.

- The proposed native vegetation will increase biodiversity.

- The proposed lighting and security system will increase safety in the surrounding areas.

3. How does the proposed Project comply with the Town of Lake Park's zoning requirements?

The project will comply with Lake park zoning requirements.

LEGAL DESCRIPTION:

The subject property is located approximately 1 mile(s) from the intersection of Watertower Rd./Congress Ave., on the north, east, south, X west side of the 13th Street (street/road).

Legal Description:

The Southerly 100 feet of the Northerly 650 feet of the Easterly 145 feet of the Westerly 845 feet of Northwest Quarter of the Southwest Quarter of Section 20, Township 42 South, Range 43 Palm Beach County, Florida

I hereby certify that I am the owner(s) of record of the above described property or that I/we have written permission from the owner(s) of record to request this action.

OWNER/APPLICANT Signature

Date

J. 23-23

PLEASE DO NOT DETACH FROM APPLICATION.

SIGNATURE REQUIRED BELOW.



Please be advised that Section 51-6 of the *Town of Lake Park Code of Ordinances* provides for the Town to be reimbursed, in addition to any application or administrative fees, for any supplementary fees and costs the Town incurs in processing development review requests.

These costs may include, but are not limited to, advertising and public notice costs, legal fees, consultant fees, additional Staff time, cost of reports and studies, NPDES stormwater review and inspection costs, and any additional costs associated with the building permit and the development review process.

For further information and questions, please contact the Community Development Department at 561-881-3318.

I, James Leserra, have read and understand the regulations above regarding cost recovery.



Property Owner Signature

8-23-23

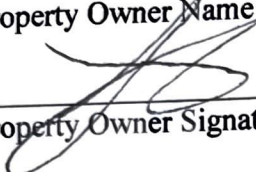
Date

CONSENT FORM
FROM PROPERTY OWNER AND DESIGNATION OF AUTHORIZED AGENT:

Before me, the undersigned authority, personally appeared James Leserra,
who, being by me first duly sworn, on Oath deposed and says:

1. That he/she is the fee simple title owner of the property described in the attached Legal Description;
2. That he/she is requesting Site Plan Approval in the Town of Lake Park, Florida;
3. That he/she is appointed Authorized Agent to act as authorized on his/her behalf to accomplish the above Project.

Property Owner Name: James Leserra


Property Owner Signature

James Leserra, Owner

By: Name/Title

4545 SE Manatee Terrace

Stuart, FL 34997

Street Address

City, State, Zip Code

772-485-6008

Telephone Number

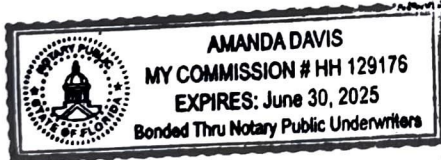
Fax Number

jim@empirelandscape.biz

E-Mail Address

Sworn and Subscribed before me on this 23rd day of August, 20 23


NOTARY PUBLIC



MY COMMISSION EXPIRES:

6/30/2025



**TOWN OF LAKE PARK
COMMUNITY DEVELOPMENT DEPARTMENT**

APPLICATION FOR WAIVER

APPLICANT INFORMATION

Owner

Name: Empire LS Property Management Phone: 772-215-8383
Address: 4545 SE Manatee Terrace City: Stuart State: FL Zip: 34997
Email Address: INFO@EMPIRELANDSCAPE.BIZ (REQUIRED)

Agent (if applicable)

Name: Dustin Leserra Phone: 772-215-8383
Address: 246 SE Ashley Oaks Way City: Stuart State: FL Zip: 34997
Email Address: INFO@EMPIRELANDSCAPE.BIZ (REQUIRED)

PROPERTY INFORMATION

1. Property Location/Address: 13th St.; Lake Park, FL
2. Property Control Number(s): 36 - 43 - 42 - 20 - 00 - 000 - 7400
3. Zoning District: Town of Lake Park

PROJECT INFORMATION

Waiver(s) requested: Building setbacks.

Brief description of work proposed (use additional sheets if necessary):

Requesting Building setbacks. Up to 20 percent of the land development regulations for the front, side yard, side
and rear setbacks may be waived, upon the community development director's determinationat one or more of the following
conditions exists: There are site or structural conditions, such as, but not limited to: the lot size is less than 1.0 acre

Waiver Justification Letter

In order to authorize any waiver from the requirements of the Land Development Regulations, the Community Development Department must ensure its relevance to the application and the satisfaction of its requisite conditions per the Town Code. Please provide this information in a justification letter below or as an attachment and include the associated Town Code Section that enables the waiver.

There are site or structural conditions, such as, but not limited to: the lot size is less than 1.0 acre

Sec. 78-325. - Land development regulations eligible for waivers.

LIST OF REQUIRED DOCUMENTS

- Justification letter.

FEES

Application Fee:
\$1,000 nonresidential;
\$750.00 residential
Minimum Escrow Deposit:
\$1,500.00*

**Unused portion of escrow is refundable – additional costs will be recovered in advance. If this application is being submitted in conjunction with another application and an escrow account already exists, additional escrow may not be needed.*



PLEASE DO NOT DETACH FROM APPLICATION.

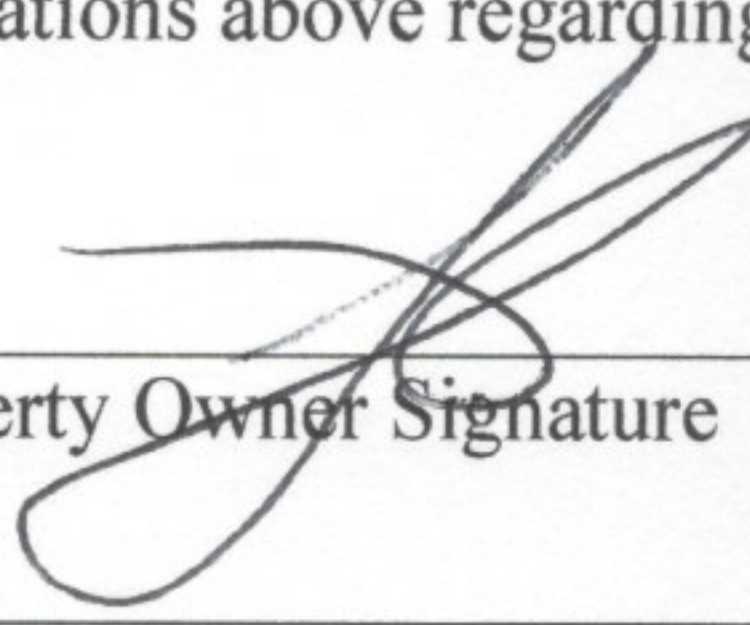
SIGNATURE REQUIRED BELOW.

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These costs may include, but are not limited to, advertising and public notice costs, legal fees, consultant fees, additional Staff time, cost of reports and studies, NPDES stormwater review and inspection costs, and any additional costs associated with the building permit and the development review process.

For further information and questions, please contact the Community Development Department at 561-881-3318.

I, Jim Leservn, have read and understand the regulations above regarding cost recovery.


Property Owner Signature

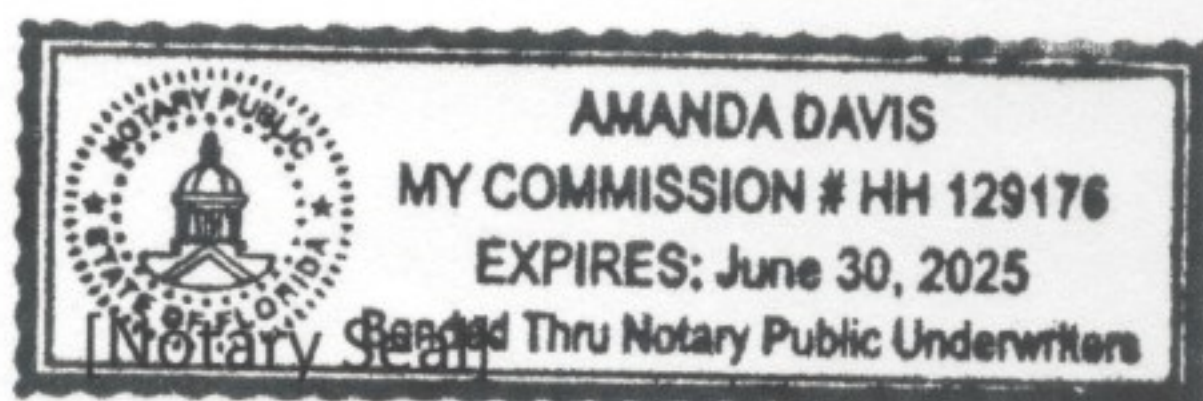
4-3-23
Date

SIGNATURE

The undersigned acknowledges the information provided above is true and correct as s/he is informed and believes:

STATE OF FL
COUNTY OF Martin

The foregoing instrument was acknowledged before me by means of ✓ physical presence or _____ online notarization, this date 4/3/23 by (name and title of position) Jim Userra, owner, who is personally known to me or who has produced (type of identification) _____ as identification.



Amanda Davis

(Signature of person taking acknowledgment)

Amanda Davis

(Name typed, printed or stamped)

Bookkeeper

(Title or rank)

(Serial number, if any)



**TOWN OF LAKE PARK
COMMUNITY DEVELOPMENT DEPARTMENT**

APPLICATION FOR WAIVER

APPLICANT INFORMATION

Owner

Name: Empire LS Property Management Phone: 772-215-8383
Address: 4545 SE Manatee Terrace City: Stuart State: FL Zip: 34997
Email Address: INFO@EMPIRELANDSCAPE.BIZ (REQUIRED)

Agent (if applicable)

Name: Dustin Leserra Phone: 772-215-8383
Address: 246 SE Ashley Oaks Way City: Stuart State: FL Zip: 34997
Email Address: INFO@EMPIRELANDSCAPE.BIZ (REQUIRED)

PROPERTY INFORMATION

1. Property Location/Address: 13th St.; Lake Park, FL
2. Property Control Number(s): 36 - 43 - 42 - 20 - 00 - 000 - 7400
3. Zoning District: Town of Lake Park

PROJECT INFORMATION

Waiver(s) requested: Landscape Buffer widths

Brief description of work proposed (use additional sheets if necessary):

Requested up to 20 percent of the required landscape buffers. Site is less than 1 acre buffer width will not be less than six feet

Waiver Justification Letter

In order to authorize any waiver from the requirements of the Land Development Regulations, the Community Development Department must ensure its relevance to the application and the satisfaction of its requisite conditions per the Town Code. Please provide this information in a justification letter below or as an attachment and include the associated Town Code Section that enables the waiver.

Site is less than 1 acres per Sec. 78-325. - Land development regulations eligible for waivers.

LIST OF REQUIRED DOCUMENTS

- Justification letter.

FEES

Application Fee:
\$1,000 nonresidential;
\$750.00 residential
Minimum Escrow Deposit:
\$1,500.00*

**Unused portion of escrow is refundable – additional costs will be recovered in advance. If this application is being submitted in conjunction with another application and an escrow account already exists, additional escrow may not be needed.*

PLEASE DO NOT DETACH FROM APPLICATION.

SIGNATURE REQUIRED BELOW.



Please be advised that Section 51-6 of the *Town of Lake Park Code of Ordinances* provides for the Town to be reimbursed, in addition to any application or administrative fees, for any supplementary fees and costs the Town incurs in processing development review requests.

These costs may include, but are not limited to, advertising and public notice costs, legal fees, consultant fees, additional Staff time, cost of reports and studies, NPDES stormwater review and inspection costs, and any additional costs associated with the building permit and the development review process.

For further information and questions, please contact the Community Development Department at 561-881-3318.

I, Jim Leserra, have read and understand the regulations above regarding cost recovery.

[Signature]
Property Owner Signature

4-3-23
Date

SIGNATURE

The undersigned acknowledges the information provided above is true and correct as s/he is informed and believes:

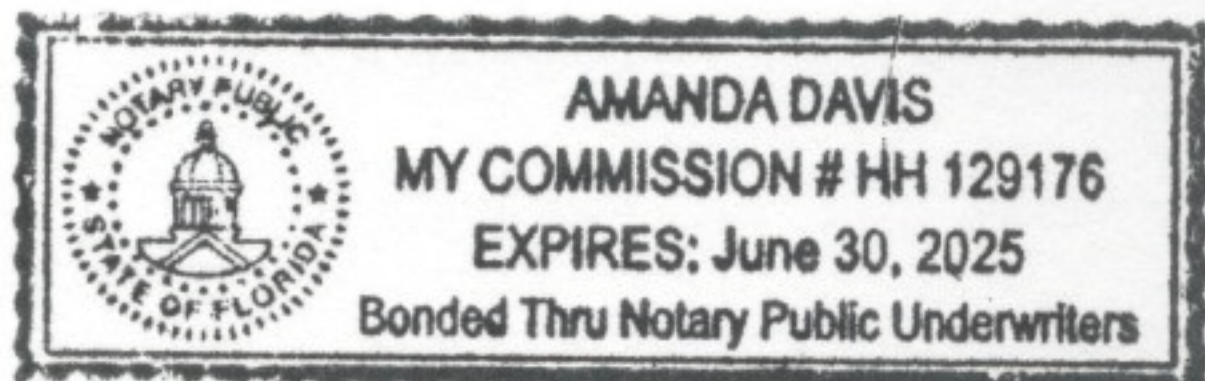
STATE OF FL
COUNTY OF Martin

The foregoing instrument was acknowledged before me by means of ✓ physical presence or online notarization, this date 4/3/23 by (name and title of position) Jim Leserra, owner who is personally known to me or who has produced (type of identification) _____ as identification.

Amanda Davis
(Signature of person taking acknowledgment)
Amanda Davis
(Name typed, printed or stamped)
Bookkeeper
(Title or rank)

[Notary Seal]

(Serial number, if any)





**Department of Engineering
and Public Works**

P.O. Box 21229
West Palm Beach, FL 33416-1229
(561) 684-4000
FAX: (561) 684-4050
www.pbcgov.com

**Palm Beach County
Board of County
Commissioners**

Gregg K. Weiss, Mayor
Maria Sachs, Vice Mayor
Maria G. Marino
Michael A. Barnett
Marci Woodward
Sara Baxter
Mack Bernard

County Administrator

Verdenia C. Baker

"An Equal Opportunity
Affirmative Action Employer"

July 5, 2023

Rebecca J. Mulcahy, P.E.
Pinder Troutman Consulting, Inc.,
601 Heritage Dr, Suite 493
Jupiter, FL 33458

**RE: 830 13th Street
Project #: 230610
Traffic Performance Standards (TPS) Review**

Dear Ms. Mulcahy:

The Palm Beach County Traffic Division has reviewed the above referenced project Traffic Impact statement, dated June 14, 2023, pursuant to the Traffic Performance Standards in Article 12 of the Palm Beach County (PBC) Unified Land Development Code (ULDC). The project is summarized as follows:

Municipality:	Town of Lake Park
Location:	W of 13 th St, 490 ft S of Watertower Rd
PCN #:	36-43-42-20-00-000-7400
Access:	One In-only and One Out-only driveways on 13 th St
Existing Uses:	Outdoor Storage = 0.33 acres
Proposed Uses:	Redevelop with Warehouse = 1,392 SF, Office = 720 SF, Landscape Service = 0.33 acres
New Daily Trips:	40
New Peak Hour Trips:	11(5/6) AM; 6(3/3) PM
Build-out:	December 31, 2026

Based on our review, the Traffic Division has determined the proposed project generates less than 21 peak hour net trips and has insignificant traffic impact, and therefore, meets the TPS of Palm Beach County.

Please note the receipt of a Traffic Performance Standards (TPS) approval letter does not constitute the review and issuance of a Palm Beach County Right-of-Way (R/W) Construction Permit nor does it eliminate any requirements that may be deemed as site related. For work within Palm Beach County R/W, a detailed review of the project will be provided upon submittal for a R/W permit application. The project is required to comply with all Palm Beach County standards and may include R/W dedication.

No building permits are to be issued by the Town after the build-out date specified above. The County traffic concurrency approval is subject to the Project Aggregation Rules set forth in the Traffic Performance Standards Ordinance.

The approval letter shall be valid no longer than one year from date of issuance, unless an application for a Site Specific Development Order has been approved, an application for a



Rebecca J. Mulcahy, P.E.

July 5, 2023

Page 2

Site Specific Development Order has been submitted, or the approval letter has been superseded by another approval letter for the same property.

If you have any questions regarding this determination, please contact me at 561-684-4030 or email QBari@pbcgov.org.

Sincerely,

A handwritten signature in blue ink that reads "Quazi Bari".

Quazi Bari, P.E., PTOE
Manager – Growth Management
Traffic Division

QB:jb

cc: Nadia Di Tommaso, Director of Community Development, Town of Lake Park
Hanane Akif, P.E., Professional Engineer, Traffic Division
Alberto Lopez, Technical Assistant III, Traffic Division

File: General - TPS - Mun - Traffic Study Review
F:\TRAFFIC\HA\MUNICIPALITIES\APPROVALS\2023\230610 - 830 13TH STREET.DOC

LEGAL DESCRIPTION OF: XX 13TH STREET, LAKE PARK, FLORIDA, 33403

A PARCEL OF LAND LYING IN SECTION 20, TOWNSHIP 42 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA,
DESCRIBED AS FOLLOWS:

THE SOUTHERLY 100 FEET OF THE NORTHERLY 650 FEET OF THE EASTERLY 145 FEET OF THE WESTERLY 845 FEET OF
NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 42 SOUTH, RANGE 43 EAST, PALM
BEACH COUNTY, FLORIDA.

A/K/A LOT 47 LAKE PARK INDUSTRIAL SITES, UNRECORDED.

CERTIFIED TO:

JAMES LESERRA
LIBERTY TITLE COMPANY OF AMERICA, INC
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

FLOOD ZONE:

12099C0387F

ZONE: X

EFF. 10/5/2017

SURVEY NOTES:

- THERE ARE FENCES NEAR TO THE PROPERTY LINES AS SHOWN. FENCE OWNERSHIP NOT
DETERMINED.

LEGEND

A/C	-AIR CONDITIONER
WM	-WATER METER
AL	-ARC LENGTH
(C)	-CALCULATED
(M)	-MEASURED
P.O.B.	-POINT OF BEGINNING
P.O.C.	-POINT OF COMMENCEMENT
&	-AND
P.B.	-PLAT BOOK
PG	-PAGE
U.E.	-UTILITY EASEMENT
D.E.	-DRAINAGE EASEMENT
P.U.E.	-PUBLIC UTILITY EASEMENT
L.A.E.	-LIMITED ACCESS EASEMENT
L.M.E.	-LAKE MAINTENANCE EASEMENT
O.H.E.	-OVERHEAD EASEMENT
R	-RADIUS
(R)	-RECORD
O.R.B.	-OFFICIAL RECORDS BOOK
Sq.Ft.	-SQUARE FEET
Ac.	-ACRES
DB	-DEED BOOK
(D)	-DEED
(P)	-PLAT
EOW	-EDGE OF WATER
TOB	-TOP OF BANK
OHL	-OVERHEAD LINE
C/O	-CLEAN OUT
ELEV	-ELEVATION
FF	-FINISHED FLOOR
LS	-LICENSED SURVEYOR
LB	-LICENSED BUSINESS
PSM	-PROFESSIONAL SURVEYOR & MAPPER
— x —	-FENCE
#	-NUMBER
±	-PLUS OR MINUS
■	-ASPHALT
■	-CONCRETE
■	-PAVER/BRINCK
■	-WOOD
☼	-LIGHT POLE
⊙	-WELL
⊗	-WATER VALVE
⌒	-CENTER LINE
■	-CATCH BASIN
⊕	-FIRE HYDRANT
⊕	-UTILITY POLE
⊕	-MANHOLE
XX	-ELEVATION

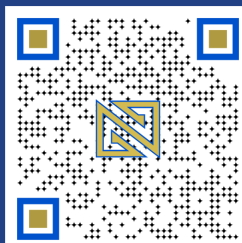
SOME ITEMS IN LEGEND MAY NOT
APPEAR ON DRAWING.

GENERAL NOTES:

1) THIS SURVEY IS BASED UPON RECORD INFORMATION BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY THIS OFFICE UNLESS OTHERWISE NOTED.
2) IF THIS SURVEY HAS BEEN PREPARED FOR THE PURPOSES OF A MORTGAGE TRANSACTION, ITS SCOPE IS LIMITED TO THE DETERMINATION OF TITLE DEFICIENCIES. NO FUTURE CONSTRUCTION SHALL BE BASED UPON THIS SURVEY WITHOUT FIRST OBTAINING APPROVAL AND/OR UPDATES FROM NEXGEN SURVEYING, LLC. NEXGEN SURVEYING, LLC, ASSUMES NO RESPONSIBILITY FOR ERRORS RESULTING FROM FAILURE TO ADHERE TO THIS CLAUSE. 3) ANY FENCES SHOWN HEREON ARE ILLUSTRATIVE OF THEIR GENERAL POSITION ONLY. FENCE TIES SHOWN ARE TO GENERAL CENTERLINE OF FENCE. THIS OFFICE WILL NOT BE RESPONSIBLE FOR DAMAGES RESULTING SOLELY ON THEIR PHYSICAL RELATIONSHIP TO THE MONUMENTED BOUNDARY LINES. 4) GRAPHIC REPRESENTATIONS MAY HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE MEASURED RELATIONSHIPS - DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED POSITIONS. 5) UNDERGROUND IMPROVEMENTS HAVE NOT BEEN LOCATED EXCEPT AS SPECIFICALLY SHOWN. 6) ELEVATIONS ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D. 1929) OR NORTH AMERICAN VERTICAL DATUM (N.A.V.D. 1988). 7) ALL BOUNDARY AND CONTROL DIMENSIONS SHOWN ARE FIELD MEASURED AND CORRESPOND TO RECORD INFORMATION UNLESS SPECIFICALLY NOTED OTHERWISE. 8) CORNERS SHOWN AS "SET" ARE 5/8" IRON RODS IDENTIFIED WITH A PLASTIC CAP MARKED LS (LICENSED SURVEYOR)

LB8111

info@NexGenSurveying.com



561-508-6272

1421 Oglethorpe Rd
West Palm Beach
FL 33405



Scope of Work

- Proposed 44' x 48' (2,112 SF) Prefabricated Metal Building
- 720 SF office
 - 1,392 SF Warehouse

Pre-Engineered Metal Building
830 13th Street
Lake Park

F L O R I D A

Sheet Index

- Cover Sheet
L1.0 - Existing Conditions
L2.0 - Site Plan
L3.0 - Landscape Plan
L3.1 - Landscape Details
L4.0 - Irrigation Plan
Architectural Plans & Elevations
Survey

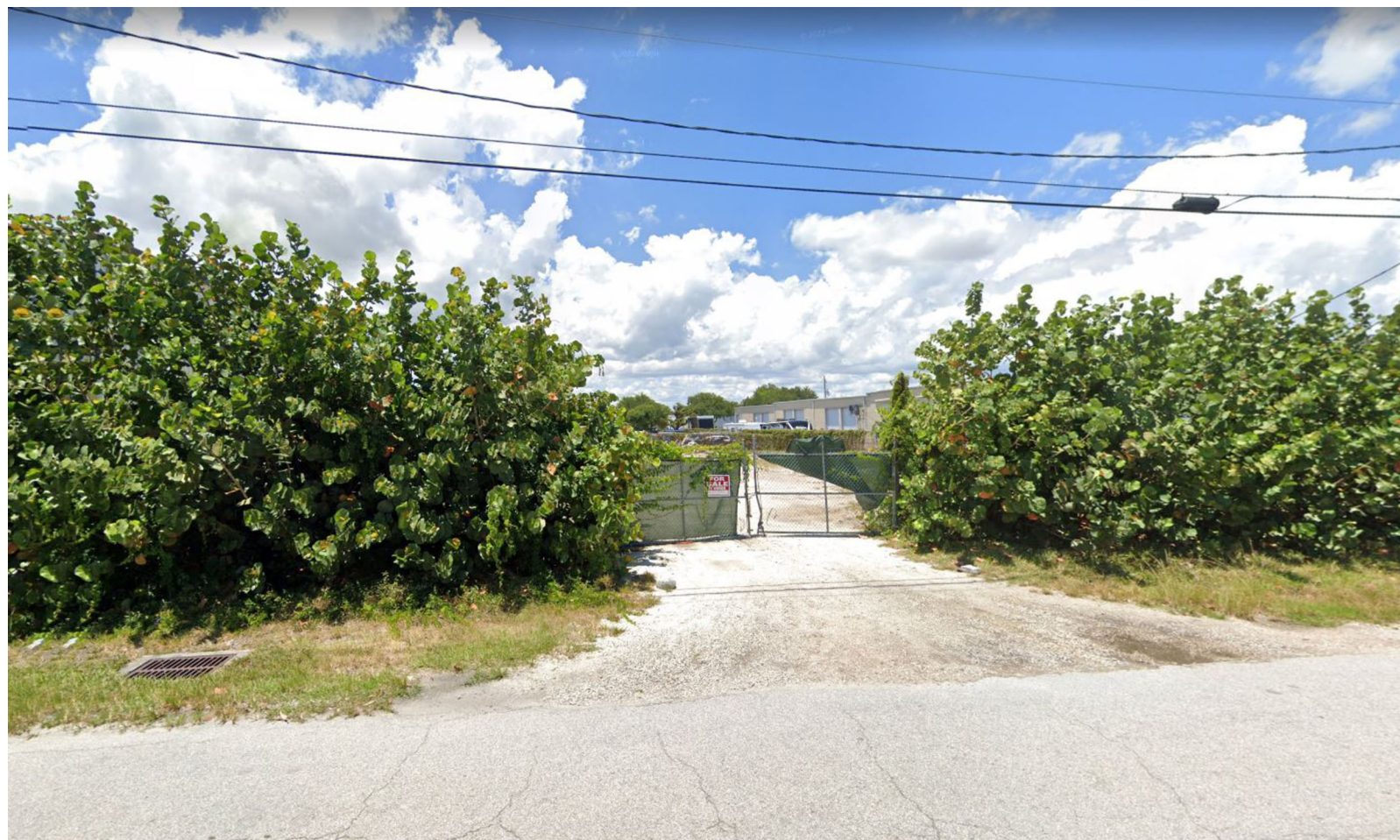
Design Team/Consultants

Landscape Architects
ENVIRONMENT DESIGN GROUP
139 NORTH COUNTY ROAD SUITE 20B
PALM BEACH, FL 33480
561.832.4600
WWW.ENVIRONMENTDESIGNGROUP.COM

Building Engineers
CLEAR SPAN STRUCTURES, LLC
2000 AVENUE P, SUITE 5
RIVIERA BEACH, FL 33404



Aerial View



Street View



ENVIRONMENT
DESIGN
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139 North County Road 5400-B
Phone 561.832.4800

Palm Beach, FL 33480
Mobile 561.313.4424

Landscape Architecture
Land Planning
Landscape Management

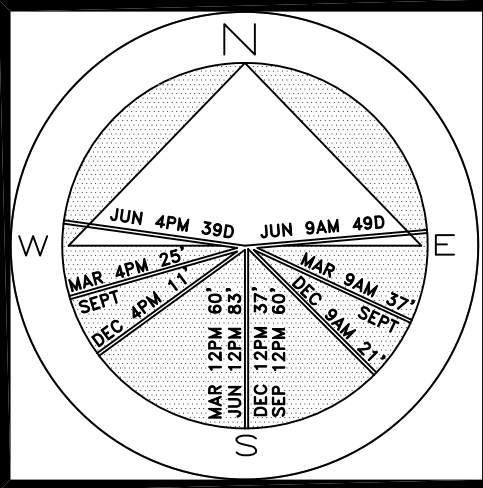
Dustin M. Mizell, MIA, RLA #6666784
Dustin@environmentdesigngroup.com

13TH STREET

Pre-Engineered Metal Building

830 13th Street

Lake Park



JOB NUMBER: # 22202.00 LA
DRAWN BY: Sean Twomey
Allison Padilla
DATE: 10.31.2022
12.08.2022

SHEET L1.0

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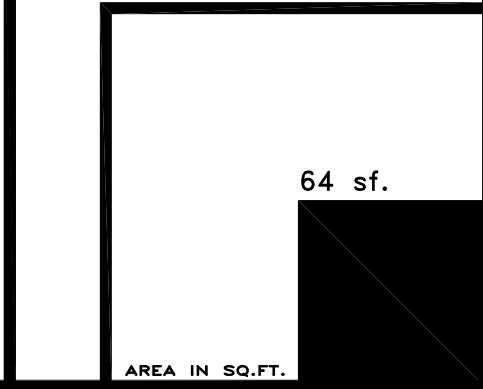
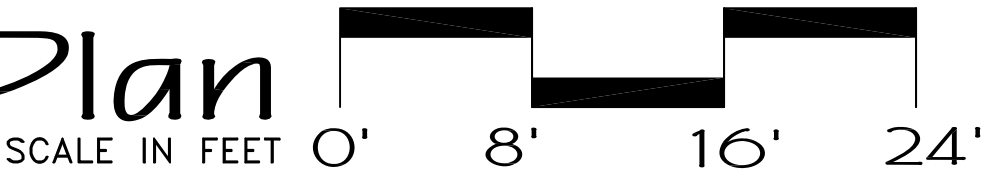
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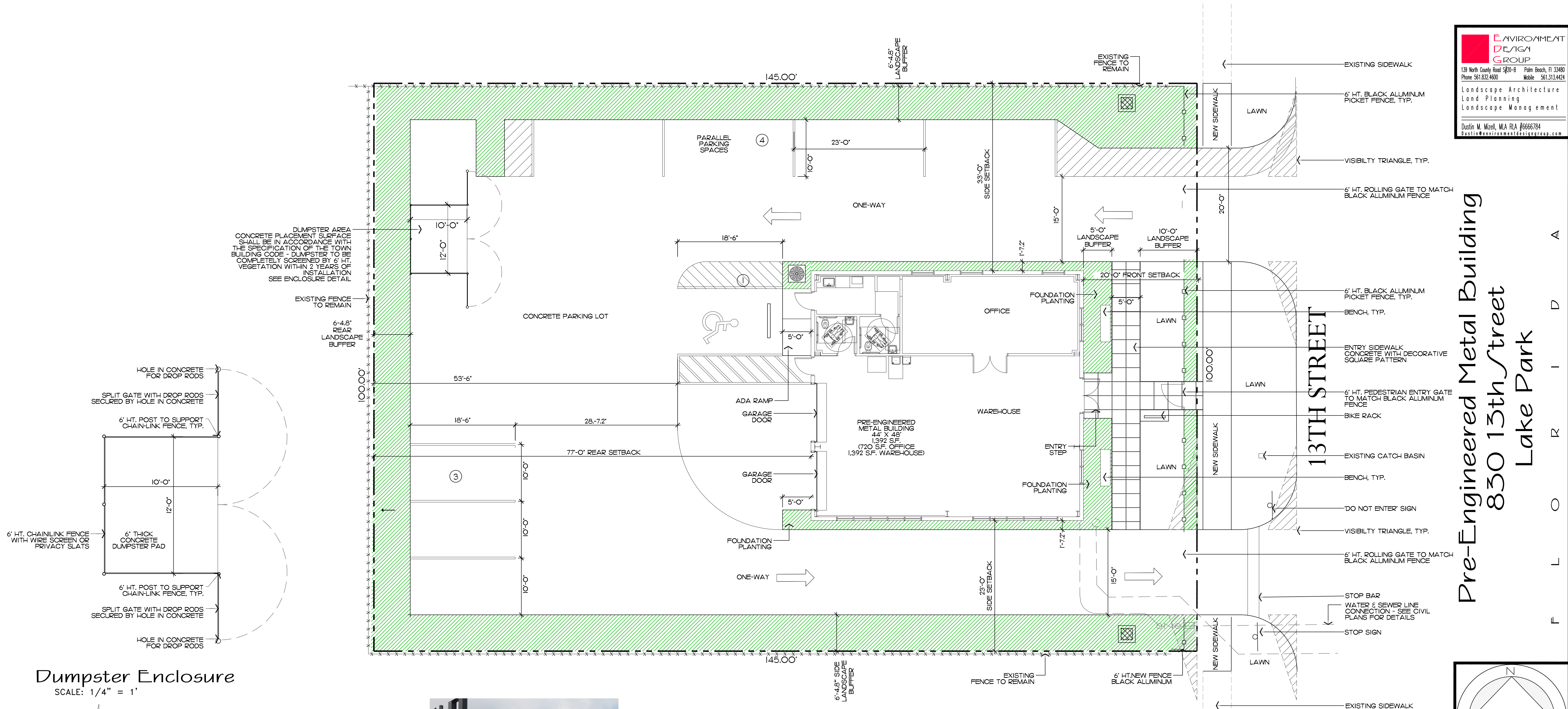
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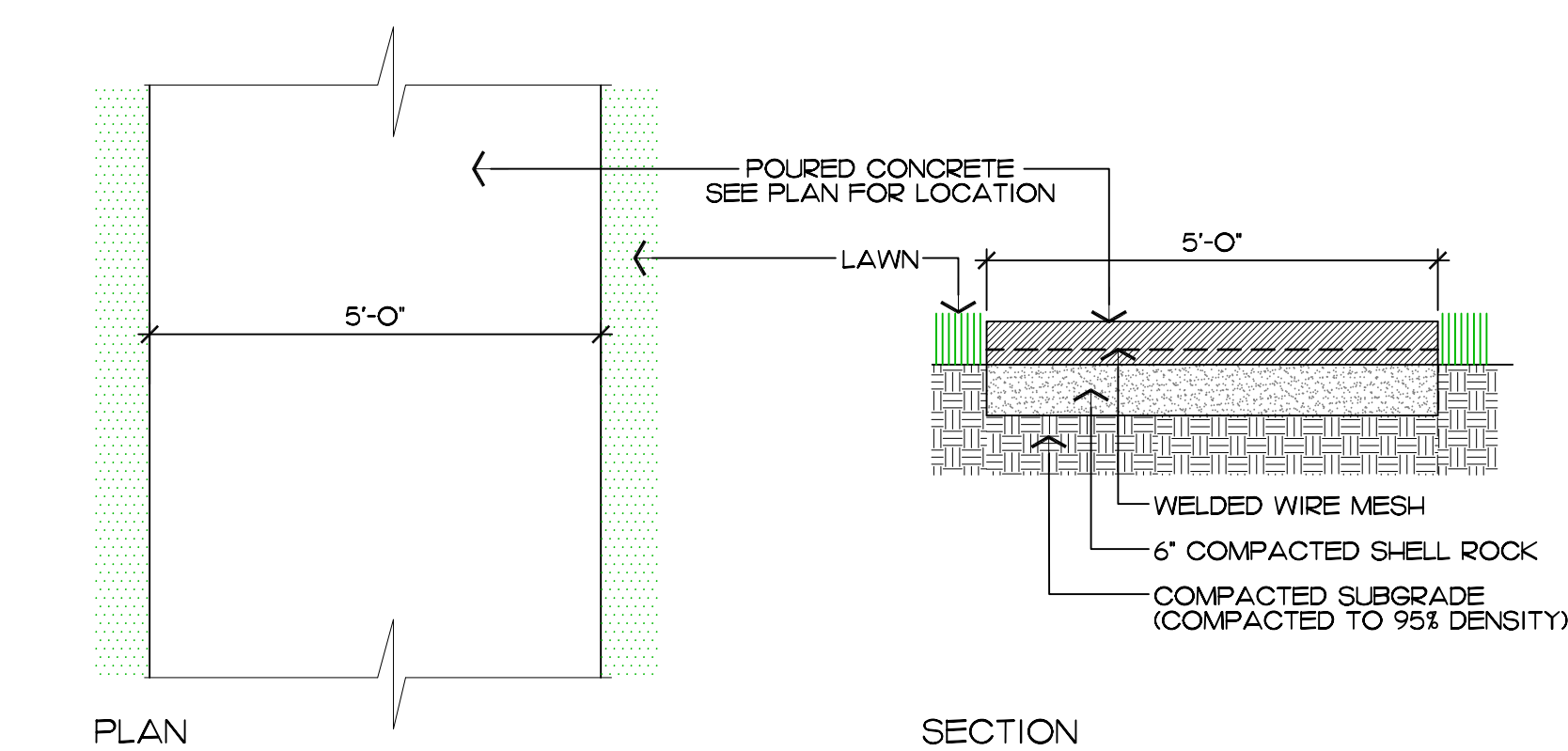
Existing Conditions / Tree Disposition Plan





Dumpster Enclosure

SCALE: 1/4" = 1'



Sidewalk

SCALE: 1/2" = 1'

2023
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Black Aluminum Fence
6' HT. - WITH ROLLING VEHICULAR ENTRY GATE

Waiver Requests

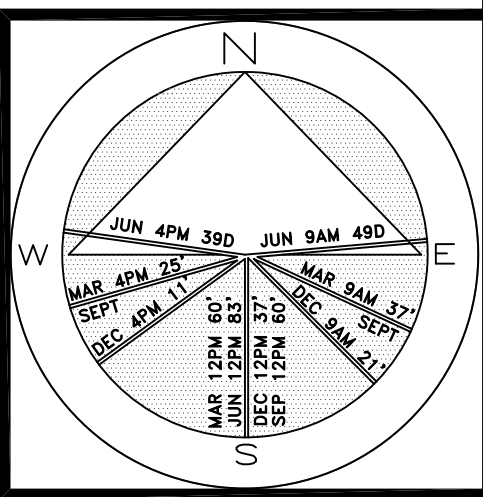
	REQUIRED	PROPOSED
WAIVER 1	MINIMUM LANDSCAPE BUFFER 8'-0"	REDUCE MINIMUM LANDSCAPE BUFFER TO 6'-0"
WAIVER 2	MINIMUM FRONT BUILDING SETBACK 25'	REDUCE FRONT BUILDING SETBACK TO 20'-0"

Parking

CODE	REQUIRED	PROPOSED
FOUR SPACES FOR EACH 1,000 SQUARE FEET OF GROSS FLOOR AREA OF OFFICE	(4) PARKING SPACES	(4) PARKING SPACES
ONE SPACE FOR EACH 2,000 SQUARE FEET OF GROSS FLOOR AREA OF WAREHOUSE	(1) PARKING SPACE	(1) PARKING SPACE
ONE SPACE FOR EACH EMPLOYEE ON THE SHIFT OF GREATEST EMPLOYMENT	3 EMPLOYEES (3) PARKING SPACES	(3) PARKING SPACES
TOTAL PARKING	8 PARKING SPACES	8 PARKING SPACES

Site Calculations

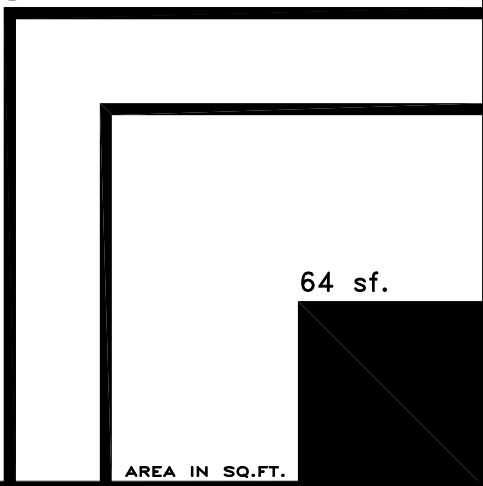
CATEGORY	PROPOSED
ZONING AND LAND USE	CLIC - CAMPUS LIGHT INDUSTRIAL & COMMERCIAL
TOTAL AREA	14,500 S.F. 0.33287 ACRES
BUILDING COVERAGE	2,112 S.F. 14.5%
BUILDING USE	720 S.F. - OFFICE 1,392 S.F. - WAREHOUSE
PERVIOUS AREA	2,990 S.F. 20.6%
IMPERVIOUS AREA (NOT INCLUDING BUILDING)	9,398 S.F. 64.8%

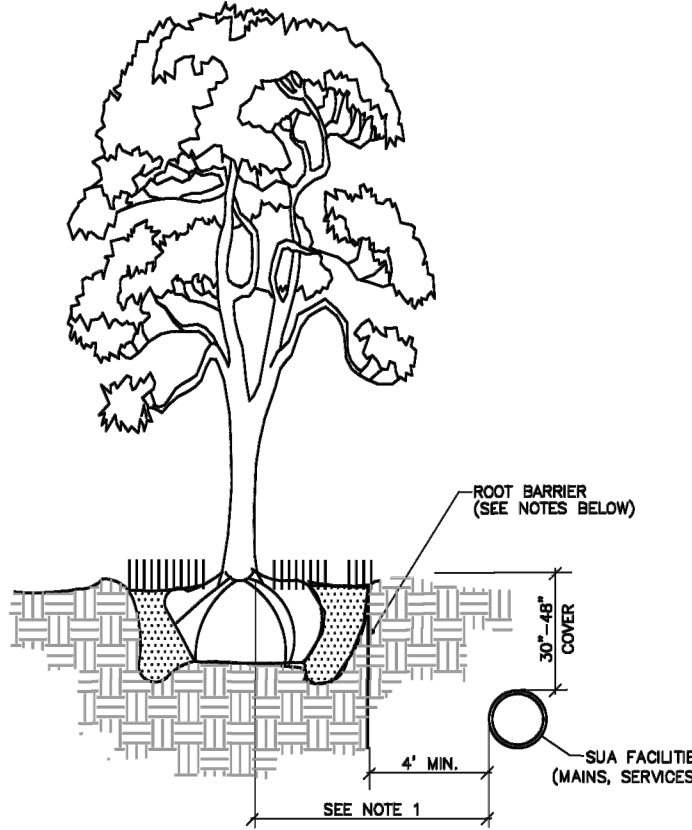


JOB NUMBER: # 22202.00 LA
DRAWN BY: Jean Twomey
Allison Padilla
DATE: 10.31.2022
12.08.2022
02.17.2023
05.04.2023
08.01.2023
08.23.2023

Site Plan
SCALE IN FEET 0' 8' 16' 24'

SHEET L2.0





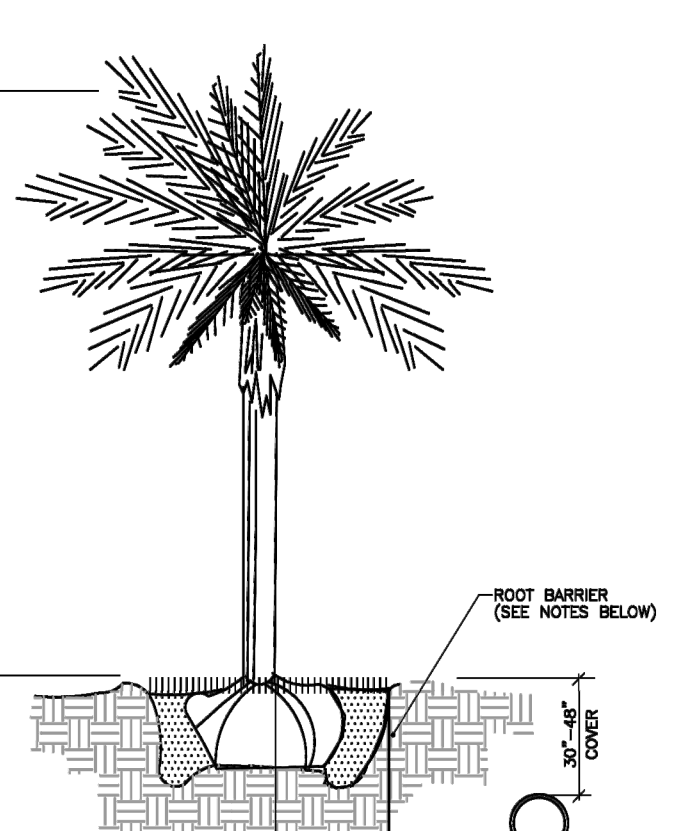
NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)

1. THIS DISTANCE SHALL BE 10' MINIMUM WITH ROOT BARRIER AND 15' MINIMUM IF NO ROOT BARRIER IS USED.
2. ALL ROOT BARRIERS SHALL BE 4' MINIMUM FROM ALL SEACOAST FACILITIES.
3. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH SEACOAST AND INSPECTED BY SEACOAST PRIOR TO SHOVELING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
4. ROOT BARRIERS SHALL BE MINIMUM 36" DEEP. APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTIONS".
5. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.
6. LARGE PALM TREES INCLUDE ROYAL, WASHINGTONIAN, BISMARCK AND SIMILAR SIZED SPECIES.

Typical Canopy Tree, Large Palm or Exotic Tree with Root Barrier

SEACOAST UTILITY AUTHORITY
CONSTRUCTION STANDARDS AND DETAILS

DATE APPROVED: AUGUST 26, 2020
DRAWING NO. 91
Revision C-16



NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)

1. THIS DISTANCE SHALL BE 7' MINIMUM WITH ROOT BARRIER AND 10' MINIMUM IF NO ROOT BARRIER IS USED.
2. ALL ROOT BARRIERS SHALL BE 4" MINIMUM FROM ALL SEACOAST FACILITIES.
3. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH SEACOAST AND INSPECTED BY SEACOAST PRIOR TO SHOVELING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
4. ROOT BARRIERS SHALL BE MINIMUM 36" DEEP. APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTIONS".
5. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.

Typical Shrub, Small Tree or Palm Tree with Root Barrier

SEACOAST UTILITY AUTHORITY
CONSTRUCTION STANDARDS AND DETAILS

DATE APPROVED: AUGUST 26, 2020
DRAWING NO. 90
Revision C-16

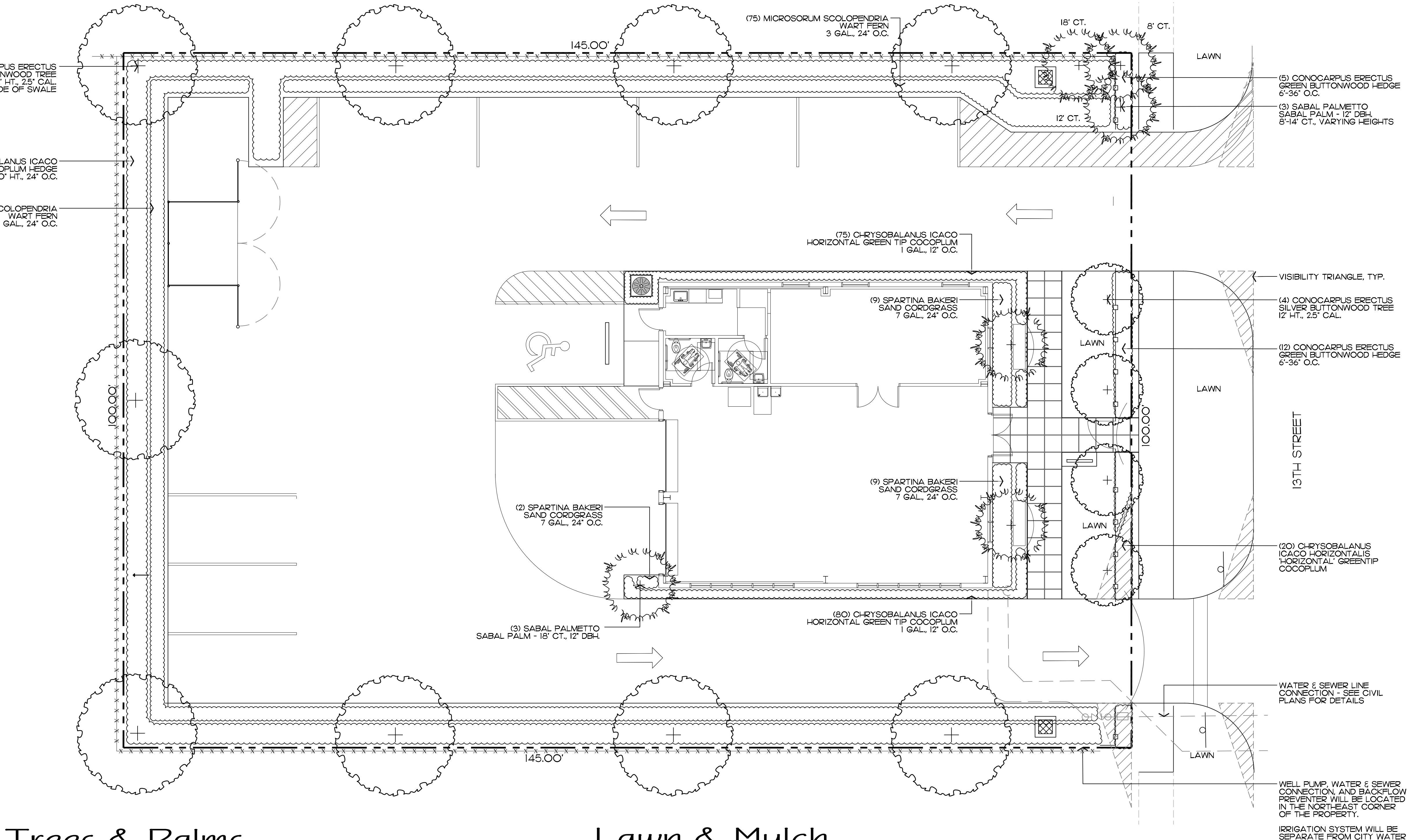
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2023

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Trees & Palms

SYMBOL	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	CONOCARPUS ERECTUS SILVER BUTTONWOOD TREE	4	12' HT., 25" CAL.	YES
	CONOCARPUS ERECTUS GREEN BUTTONWOOD TREE	9	12' HT., PLANTED HIGH SIDE OF SWALE, 25" CAL.	YES
	SABAL PALMETTO SABAL PALM	1 4	8' CT., 12" DBH. 12' CT., 12" DBH. 18' CT., 12" DBH.	YES

Shrubs, Vines, & Groundcovers

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	CONOCARPUS ERECTUS GREEN BUTTONWOOD	17	6' HT, 36" O.C.	YES
	CHRYSOBALANUS ICACO RED TIP COCOPLUM	226	30" HT., 24" O.C.	YES
	CHRYSOBALANUS ICACO HORIZONTAL GREEN TIP COCOPLUM	175	1 GAL., 12" O.C.	YES
	MICROSORUM SCOLOPENDRIA WART FERN	197	3 GAL., 24" O.C.	YES
	SPARTINA BAKERI SAND CORDGRASS	78	7 GAL., 24" O.C.	YES

Lawn & Mulch

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION
LAWN	ST. AUGUSTINE FLORATAM GRASS	AS NEEDED	SOD PALLETS
PLANTING BED	SHREDDED EUCALYPTUS MULCH	AS NEEDED	MULCH ALL BEDS 3" MIN. DEPTH

NOTE: 100% OF PROPOSED VEGETATION IS NATIVE TREES SHALL BE A MINIMUM OF 12' IN HEIGHT AND A DBH AT THE TIME OF PLANTING. ROOT BARRIERS SHALL BE USED WHEREVER NECESSARY

Buffer Planting

BUFFER TYPE	TREES REQUIRED	TREES PROVIDED
EAST (PUBLIC STREET)	5 TREES (1 PER 20 LINEAR FEET)	6 TREES
WEST	3 TREES (1 PER 40 LINEAR FEET)	3 TREES
NORTH	4 TREES (1 PER 40 LINEAR FEET)	4 TREES
SOUTH	4 TREES (1 PER 40 LINEAR FEET)	4 TREES

Waiver Requests

	REQUIRED	PROPOSED
WAIVER 1	MINIMUM LANDSCAPE BUFFER 8'-0"	REDUCE MINIMUM LANDSCAPE BUFFER TO 6'-0"
WAIVER 2	MINIMUM FRONT BUILDING SETBACK 25'	REDUCE FRONT BUILDING SETBACK TO 20'-0"

Landscape Plan

SCALE IN FEET 0' 8' 16' 24'

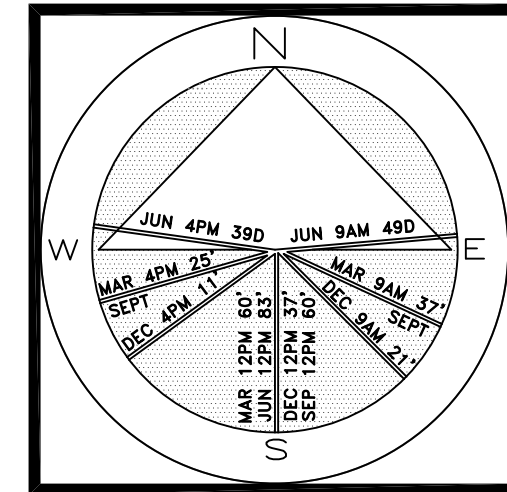


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Phone 561.832.4800 Mobile 561.313.4424

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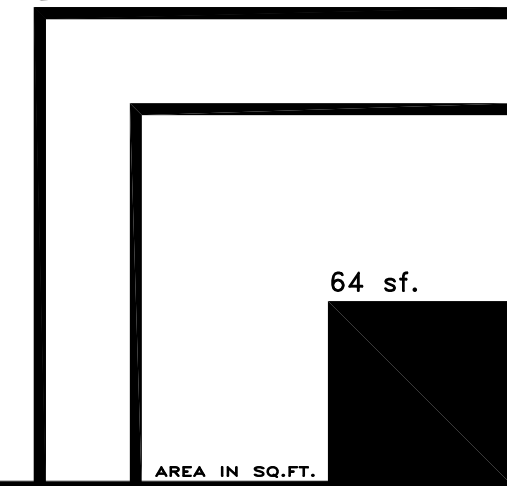
Dustin M. Mizell, MIA, RLA #6666784
dustin@environmentdesigngroup.com

Pre-Engineered Metal Building 13th Street Lake Park



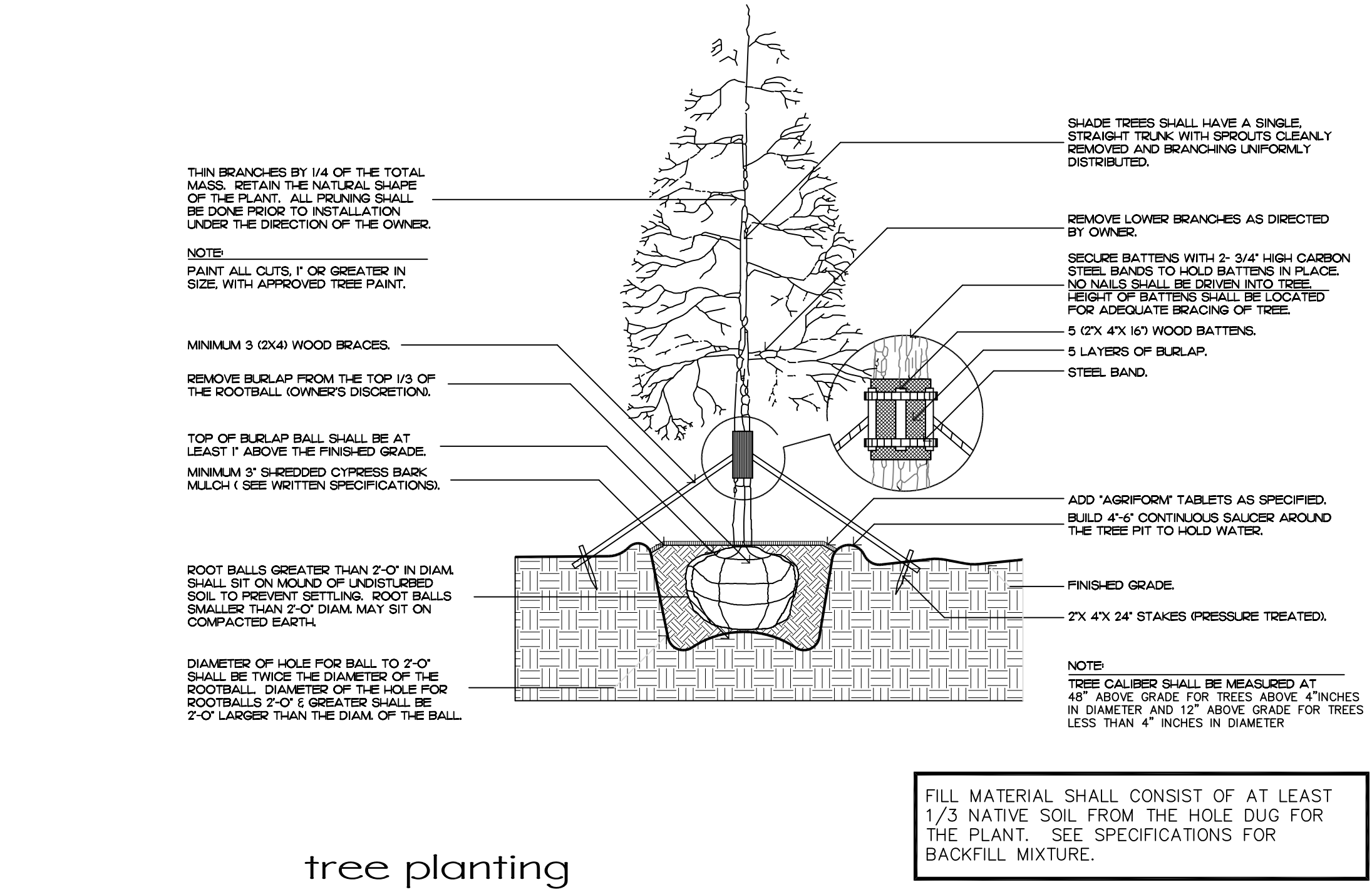
JOB NUMBER: # 22202.00 LA
DRAWN BY: Jean Twomey
DATE: 10.31.2022
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08.23.2023

SHEET L3.0

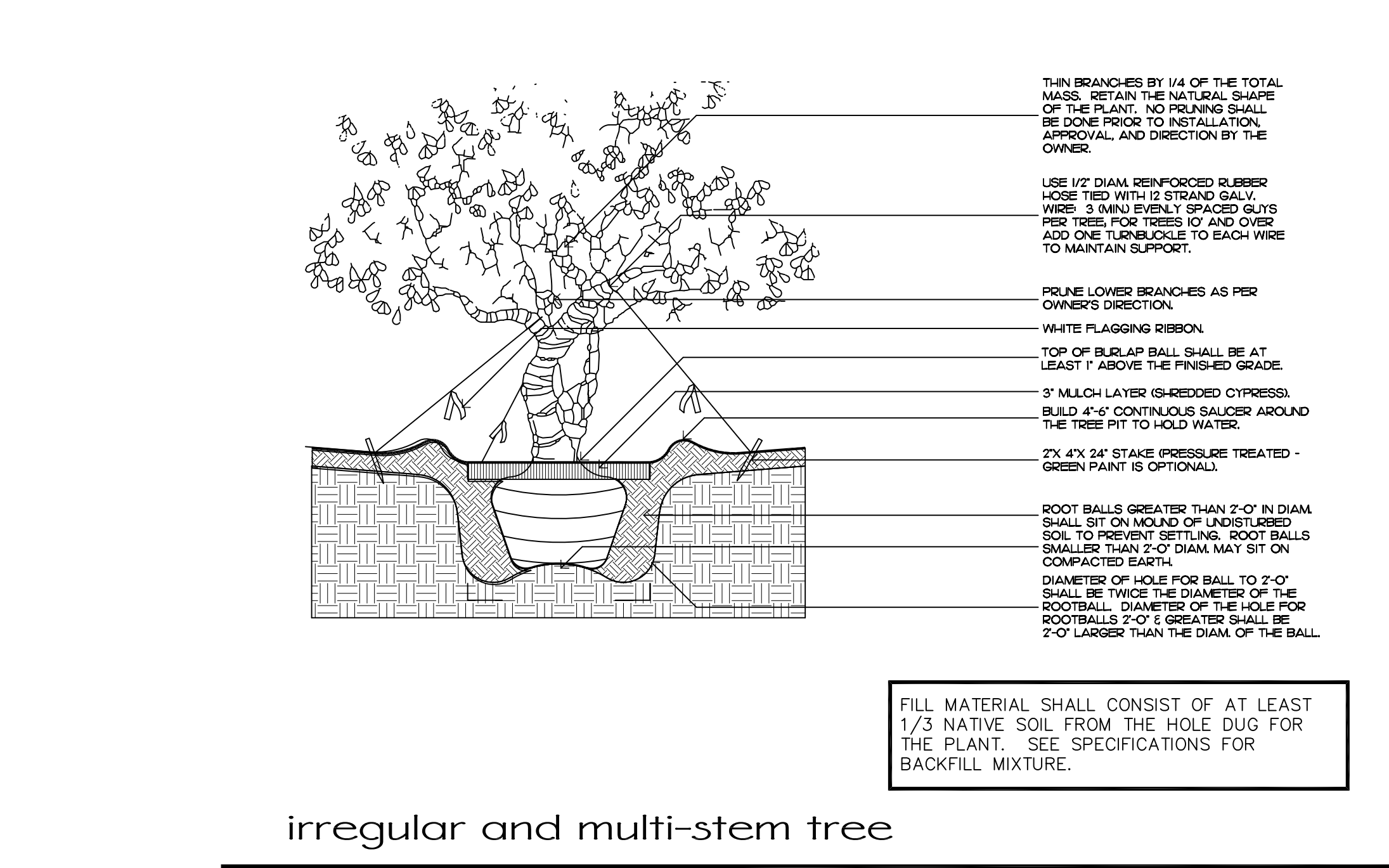


64 sf.

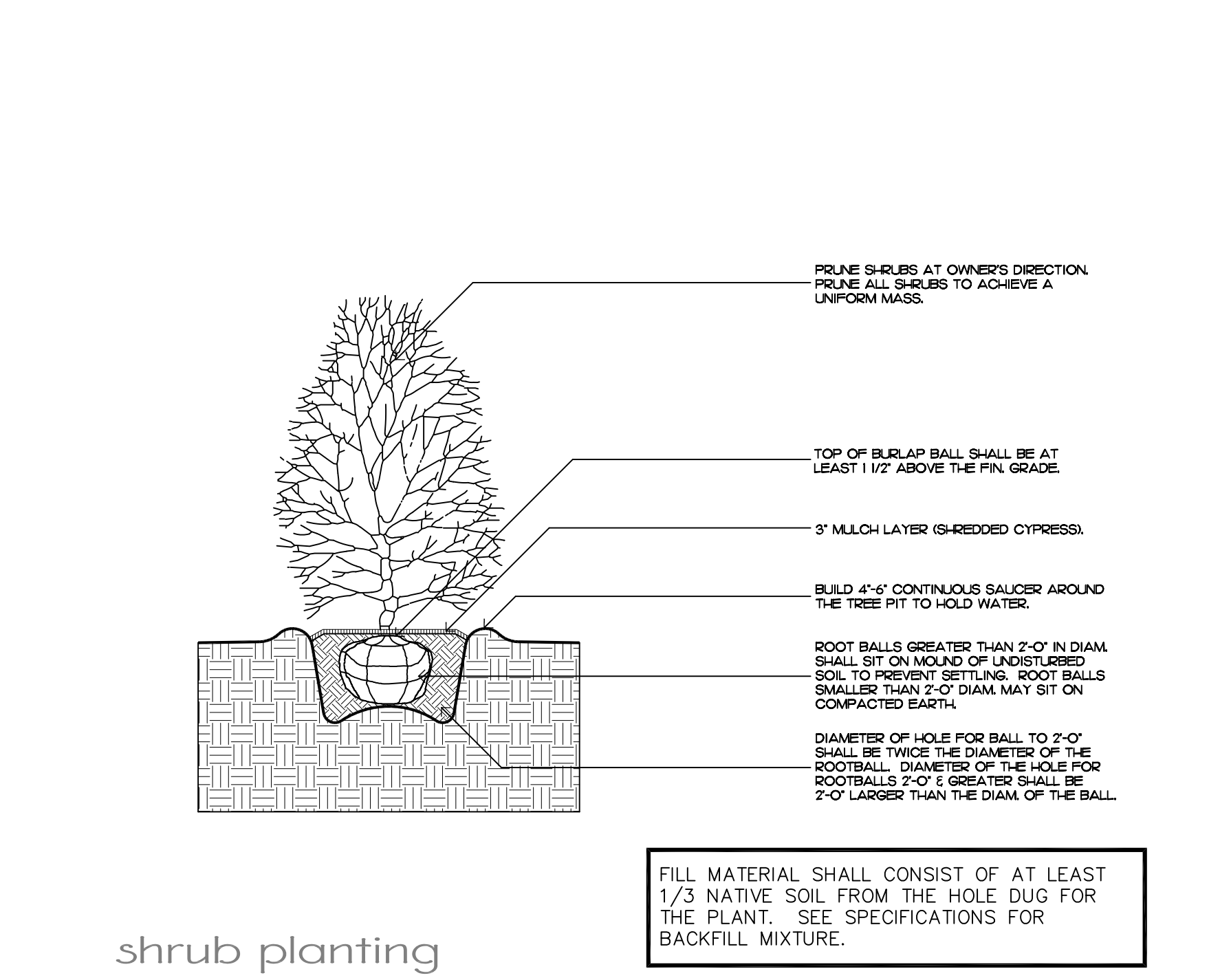
AREA IN SQ.FT.



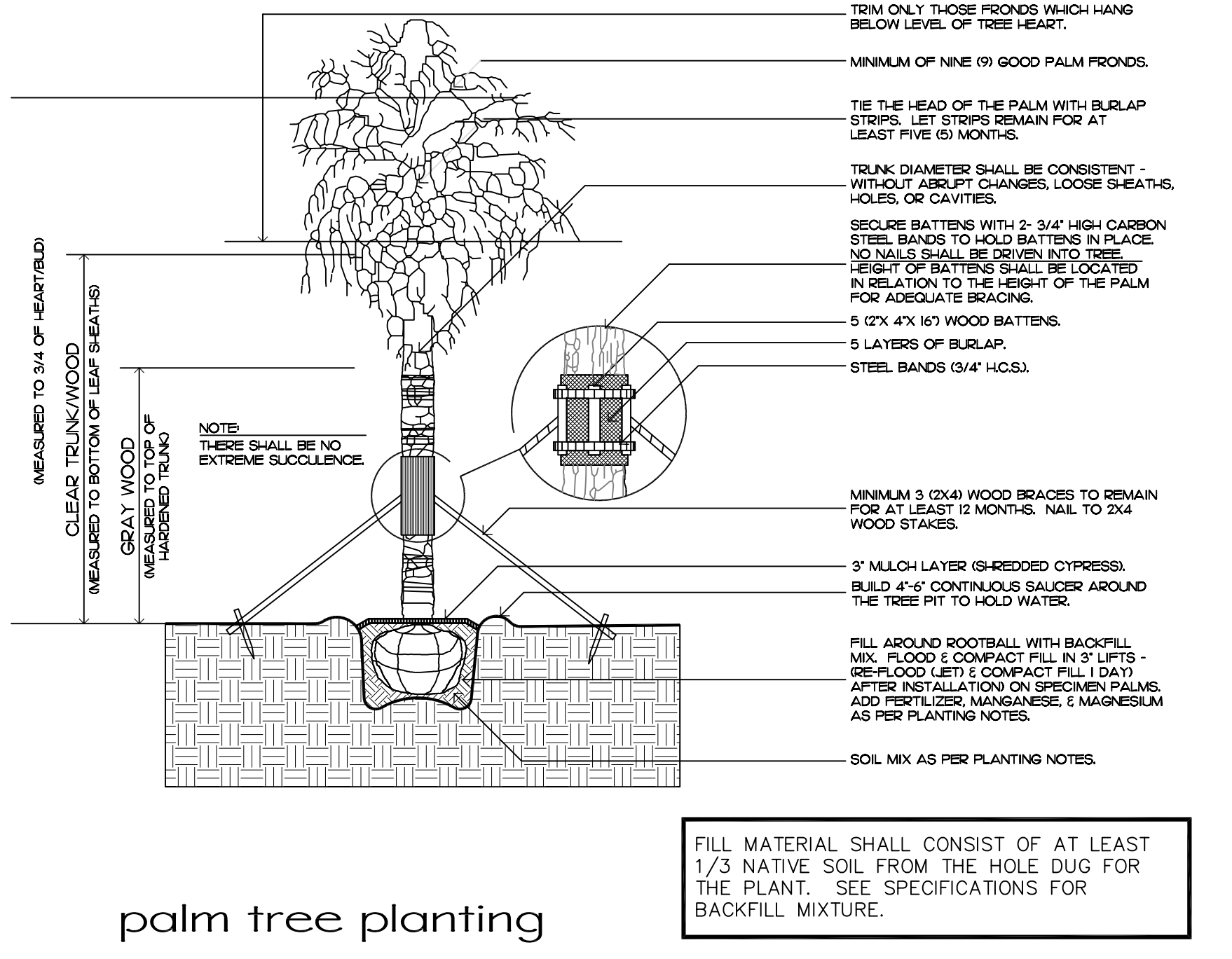
tree planting



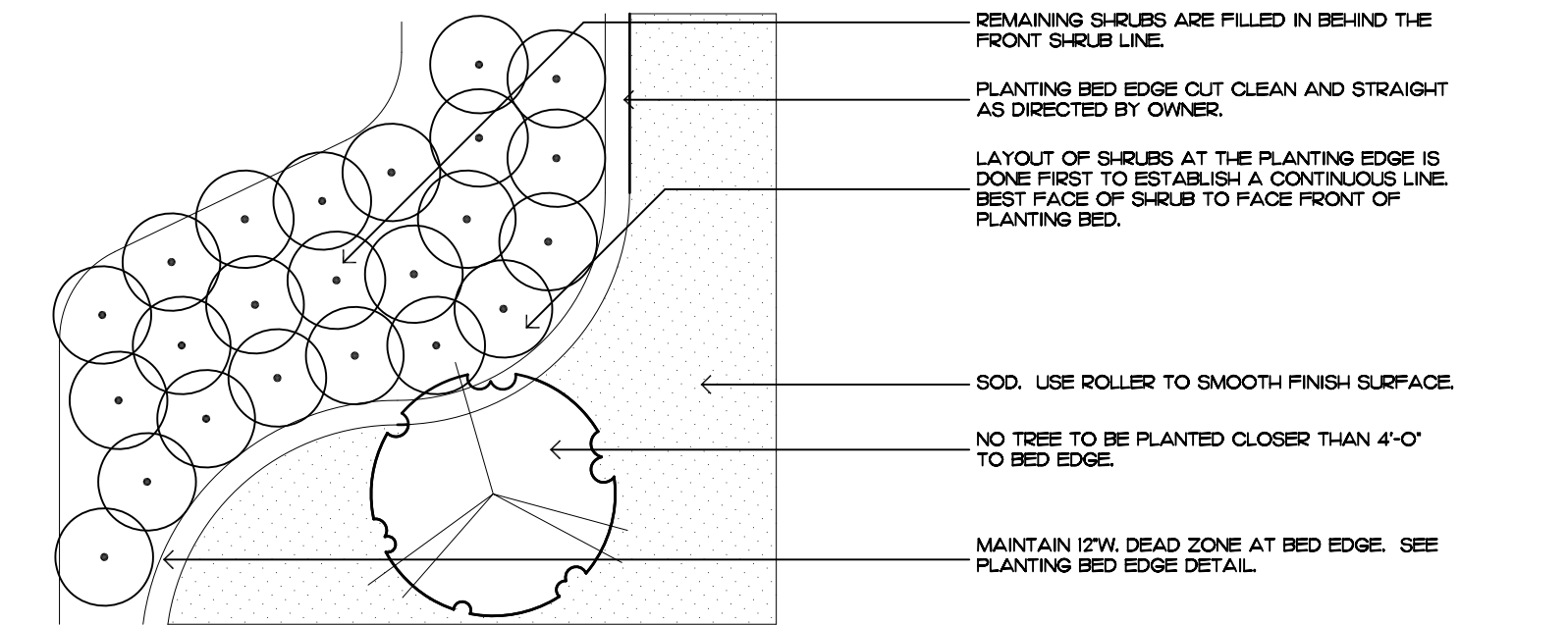
irregular and multi-stem tree



shrub planting



palm tree planting



shrub & ground cover layout

Planting Notes

COMMERCIAL FERTILIZER:

FERTILIZER SHALL BE COMPLETELY ORGANIC, IT SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED BAGS, EACH BEARING THE MANUFACTURER'S STATEMENT OF ANALYSIS, AND SHALL MEET THE FOLLOWING REQUIREMENTS:

- SIX PERCENT (6%) NITROGEN
- SIX PERCENT (6%) PHOSPHOROUS
- SIX PERCENT (6%) POTASSIUM

FERTILIZER SHALL BE APPLIED TO ALL SHRUBS (1/3 LB. PER 3 GAL. POT, 1/4 LB. PER 1 GAL. POT) AND GROUNDCOVERS. THE SAME FERTILIZER MIXTURE SHALL BE USED ON SOD AT A RATE OF 15 LBS. PER 1000 SQUARE FEET. A FOURTEEN PERCENT (14%) NITROGEN, FOURTEEN PERCENT (14%) PHOSPHOROUS AND FOURTEEN PERCENT (14%) POTASSIUM IS REQUIRED ON ALL TREES AND SHRUBS OVER 5'-0" IN HEIGHT (1/2 LB. PER 5'-0" OF SPREAD). AGRIFORM TABLETS WITH TWENTY PERCENT (20%) NITROGEN, TEN PERCENT (10%) PHOSPHOROUS, FIVE PERCENT (5%) POTASSIUM IN 21 GRAM SIZES SHALL BE APPLIED ALONG WITH THE FERTILIZER PROCESS (1 WITH 1 GAL. PLANTS, 2 WITH 3 GAL. PLANTS AND 2 TABLETS PER 1" OF TREE TRUNK CALIPER). BACK FILL HALFWAY UP THE ROOT BALL. PLACE ABOUT ONE INCH (1") FROM ROOT TIPS. MAGNESIUM SULFATE SHALL BE APPLIED TO ALL PALMS AT INSTALLATION AT A RATE OF 1/2 LB. PER INCH OF TRUNK CALIPER. MANGANESE SHALL BE APPLIED AT THE SAME RATE.

MULCH:

MULCH MATERIAL SHALL BE SHREDDED CYPRESS MULCH OR APPROVED EQUAL, MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT. MULCH SHALL BE APPLIED TO A MINIMUM 3" DEPTH IN PLANTING BEDS.

SOD:

THE SOD SHALL BE FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASES OF ANY KIND, CLEAN, STRONGLY ROOTED, UNIFORMLY SIZED STRIPS, MACHINE STRIPPED NOT MORE THAN TWENTY-FOUR (24) HOURS PRIOR TO LAYING.

SUBSTITUTIONS:

NO SUBSTITUTION OF PLANT MATERIAL TYPES OR SIZES WILL BE ALLOWED WITH-OUT WRITTEN AUTHORIZATION FROM THE OWNER. CONTAINER GROWN MATERIAL WILL NOT BE ACCEPTED AS SUBSTITUTE FOR B&B MATERIAL UNLESS PREVIOUSLY APPROVED. INTENDED SUBSTITUTIONS SHALL BE SPELLED OUT IN BID.

MEASUREMENTS:

SHADE TREES: HEIGHT SHALL BE MEASURED FROM GROUND TO THE AVERAGE BRANCH HEIGHT OF CANOPY. SPREAD SHALL BE MEASURED TO THE END OF THE BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF "V" CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION.

SHRUBS: HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE AVERAGE POINT WHERE MATURE PLANT GROWTH STOPS. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE SHRUB MASS. MEASUREMENT AREA NOT TO INCLUDE ANY TERMINAL GROWTH.

PALMS: CLEAR TRUNK (C.T.) - SHALL BE MEASURED FROM THE GROUND AT TIME OF INSTALLATION TO THE POINT WHERE THE MATURE AGED TRUNK JOINS THE IMMATURE OR GREEN PORTION OF THE TRUNK OR HEAD.

OVERALL HEIGHT (O.A.) - SHALL BE MEASURED FROM THE GROUND AT THE TIME OF INSTALLATION TO THE AVERAGE FROND HEIGHT.

PALMS WITH MARKED OR BURNED TRUNKS WILL NOT BE ACCEPTED.

PLANTING SOIL AND BACKFILL:

PLANTING SOIL FOR USE IN PREPARING BACKFILL FOR PLANT PITS SHALL BE A FERTILE, FRIABLE AND NATURAL TOPSOIL, WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND SHALL BE FREE FROM HEAVY CLAY, STONES, LIME, LUMPS, SHELLS, PLANTS, ROOTS OR OTHER FOREIGN MATERIALS, WEEDS, OR NOXIOUS GRASSES (SUCH AS BERMUDA OR NUT GRASS). IT SHALL NOT CONTAIN TOXIC SUBSTANCES WHICH MAY BE HARMFUL TO THE PLANT GROWTH.

BACKFILL FOR SOD AREAS SHALL BE SUBJECT TO LESSER STANDARDS AT THE DISCRETION AND DECISION OF THE OWNER.

EXISTING TOPSOIL SHALL BE USED IN ALL PLANT MATERIAL PITS EXCEPT SABAL PALMS WHERE THE SOIL SHALL CONSIST OF CLEAN SAND.

PLANTING SOIL FOR USE IN BEDS FOR ANNUALS AND/OR PERENNIALS SHALL CONTAIN ONE-THIRD (1/3) POTTING SOIL OR A BLENDED TOPSOIL, TILL INTO TOP 10" - 12" OF SOIL WITH A TIME-RELEASE FERTILIZER.

PLANT MATERIALS:

PALMS, TREES, SHRUBS, GROUNDCOVERS AND VINES

PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO "STANDARDIZED PLANT NAMES", 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRASSES AND STANDARDS FOR NURSERY PLANTS PARTS I & II, LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. UNLESS SPECIFIED OTHERWISE, ALL PLANTS SHALL BE FLORIDA GRADE NUMBER 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. SPECIMEN MEANS AN EXCEPTIONALLY HEAVY, SYMMETRICAL, TIGHTLY KNIT PLANT, SO TRAINED OR FAVORED IN ITS DEVELOPMENT THAT FIRST APPEARANCE IS UNQUESTIONABLE AND OUTSTANDINGLY SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND FREE OF DISEASE AND INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY AND FLORIDA NUMBER 1. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.

CONTAINER GROWN STOCK:

- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS OF GOOD QUALITY AND BE IN A HEALTHY GROWING CONDITION.
- AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER.

WARRANTY:

WARRANTY PLANTS, SHRUBS AND GROUNDCOVERS FOR A PERIOD OF NINETY (90) DAYS. TREES & PALMS FOR ONE YEAR (1) AGAINST UNHEALTHY CONDITION, EXCEPT AS MAY RESULT FROM NEGLECT BY OWNER, DAMAGE BY OTHERS, AND UNUSUAL PHENOMENA BEYOND INSTALLER'S CONTROL. REPLACE AT TIME REQUESTED BY THE OWNER OR LANDSCAPE ARCHITECT.

MAINTENANCE:

MAINTAIN LANDSCAPE WORK UNTIL THE LETTER OF SUBSTANTIAL COMPLETION BY THE GENERAL CONTRACTOR. INCLUDE WATERING, WEEDING, CULTIVATING, RESTORATION OF GRADE, MOWING AND TRIMMING GRASS, PRUNING TREES AND SHRUBS, PROTECTION FROM INSECTS AND DISEASES, FERTILIZATION AND SIMILAR OPERATIONS AS NEEDED TO ENSURE NORMAL GOOD HEALTH FOR LIVE PLANT MATERIAL.

ENVIRONMENT
DESIGN
GROUP

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Palm Beach, FL 33480
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Landscape Architecture
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Landscape Management

Dustin M. Mizell, M.L.A. RLA #0666784
dustin@environmentaldesigngroup.com

Pre-Engineered Metal Building
13th Street
Lake Park

JOB NUMBER: # 22202.00 LA
DRAWN BY: Dustin Mizell
DATE: 10.31.2022

SHEET L3.1

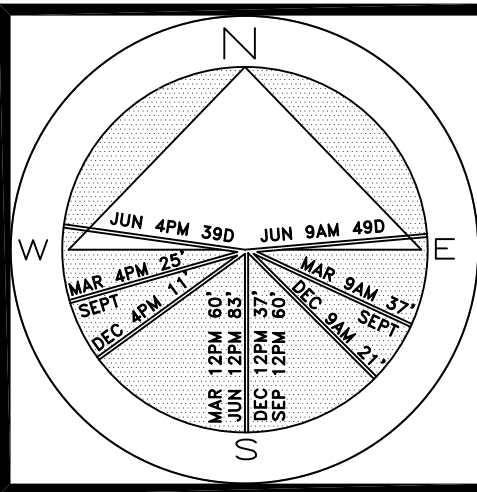
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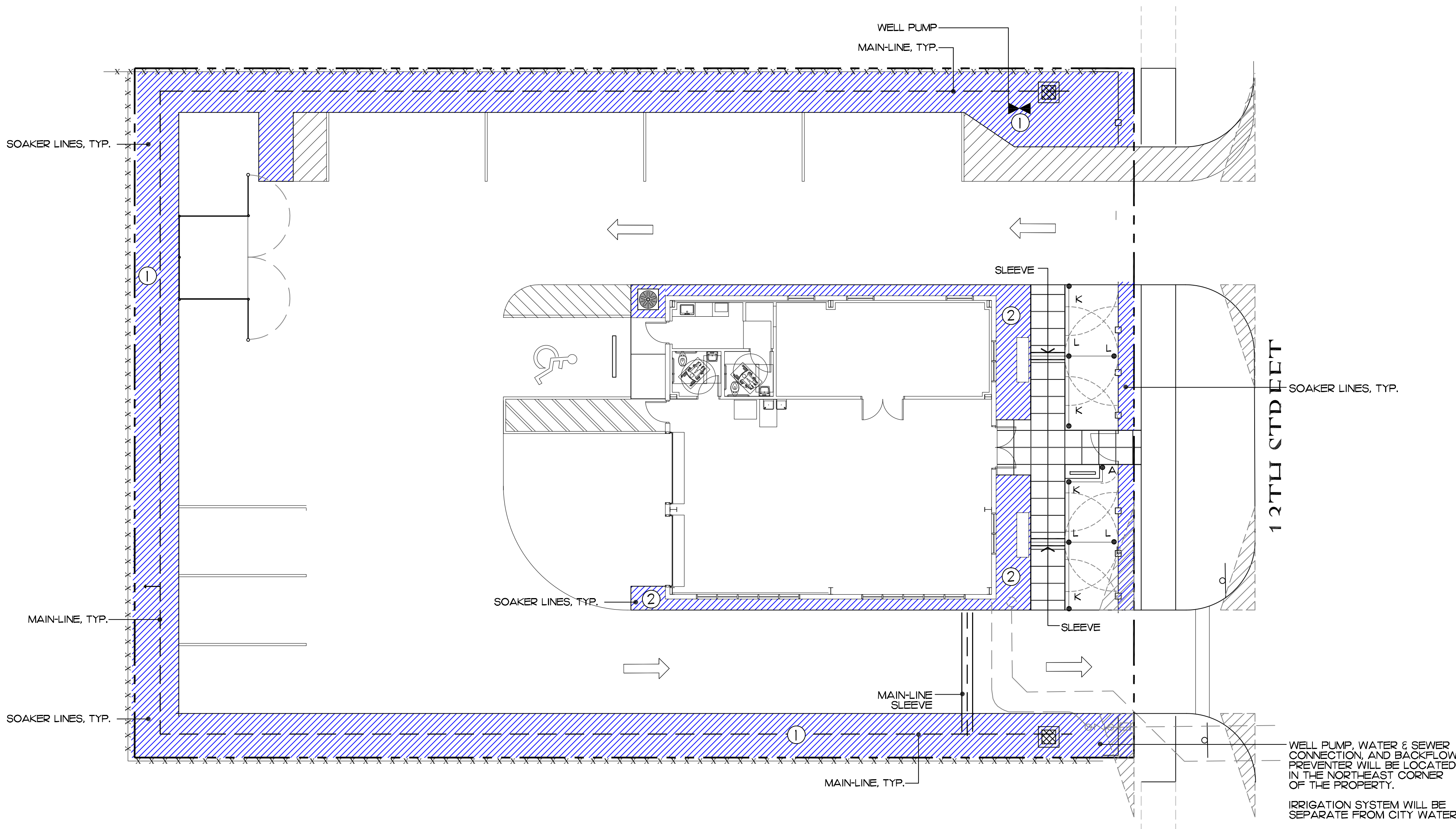
Planting Details & Specifications

Pre-Engineered Metal Building
13th Street
Lake Park



JOB NUMBER: # 22202.00 LA
DRAWN BY: Jean Twomey
Allison Padilla
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SHEET L4.0



Irrigation Legend

- PVC MAIN LINE
CONTRACTOR TO SIZE ACCORDINGLY
- PVC SECONDARY LINE
CONTRACTOR TO SIZE ACCORDINGLY
- SLEEVE
SIZE 2 TIMES PIPE SIZE
- IRRIGATION HEAD TYPE AND LOCATION
- ZONE NUMBER
- ELECTRIC VALVE (SIZE TBD)

NOTE:
CONTRACTOR TO CONFIRM LOCATION OF WATER SOURCE
AND WATER PRESSURE AVAILABLE. IF ZONES NEED TO BE
ADJUSTED, BASED ON AVAILABLE WATER PRESSURE,
CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO LANDSCAPE
ARCHITECT FOR REVIEW & APPROVAL

Pipe Installation

VEHICLE TRAFFIC AREAS		ALL AREAS EXCEPT VEHICLE TRAFFIC	
PIPE SIZE	DEPTH OF COVER	PIPE SIZE	DEPTH OF COVER
0.5" - 2.5"	18"	0.5" - 1.5"	6"
3" - 5"	24"	2" - 3"	12"
> 6"	30"	4" - 6"	18"
		> 6"	24"

SEE CHART FOR DEPTH

VEHICLE TRAFFIC AREA

ALL AREAS EXCEPT
VEHICLE TRAFFIC

DETAIL

DETAIL

NOTE: MEET FBC-P APPENDIX F - PART 5 - SECTION A
PIPE INSTALLATION REQUIREMENTS

Irrigation Notes

THE CONTRACTOR SHALL MAKE ALL ADJUSTMENTS TO THE IRRIGATION
SYSTEM TO INSURE 100% COVERAGE.
DO NOT SCALE PLAN FOR EXACT HEAD LOCATION.
THE CONTRACTOR SHALL DETERMINE THE APPROPRIATE AMOUNT OF
IRRIGATION ZONES AND LAYOUT THE SYSTEM ACCORDINGLY.
UPON LAYOUT AND COMPLETION OF SYSTEM, THERE SHOULD BE NO
SPILLAGE OR OVERFLOW OF WATER INTO PEDESTRIAN AREAS, WALKS,
DRIVES, PARKING LOT, ETC.)
LATERAL ZONE PIPING TO BE CLASS 160 SOLVENT WELD PVC PIPE
BURIED WITH MINIMUM COVER OF 8".
ALL PIPING CROSSING UNDER PAVING, PAVERS, CONCRETE, ETC. SHALL
BE SLEEVED IN SCH. 160 PIPE TO BE AT LEAST 2 TIMES THE NOMINAL
SIZE.
MAINLINE TO BE CLASS 200 O-RING GASKETED PVC PIPE BURIED WITH
MINIMUM COVER OF 24". MAINLINE TO BE 2".
PIPING NOT TO EXCEED A WATER VELOCITY OF 5 FEET PER SECOND.
CONTRACTOR SHALL SIZE ALL PIPING APPROPRIATELY TO ENSURE A
MINIMUM OF 30 PSI AT THE FARTHEST HEAD OF EACH ZONE.
ALL RISERS SHALL BE PAINTED FLAT BLACK.

THE CONTRACTOR SHALL RUN 3 ADDITIONAL SETS OF WIRES
IN EACH DIRECTION TO EACH END OF THE MAIN FOR FUTURE USE.
A MINIMUM OF 14 GA. FOR CONTROL WIRE AND 12 GA. COMMON
WITH WATERPROOF CONNECTORS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR HARD WIRING THE
THE ELECTRICAL SERVICE CONNECTIONS.

THE FINAL LOCATION OF ALL COMPONENTS SHALL BE APPROVED
BY THE OWNER.

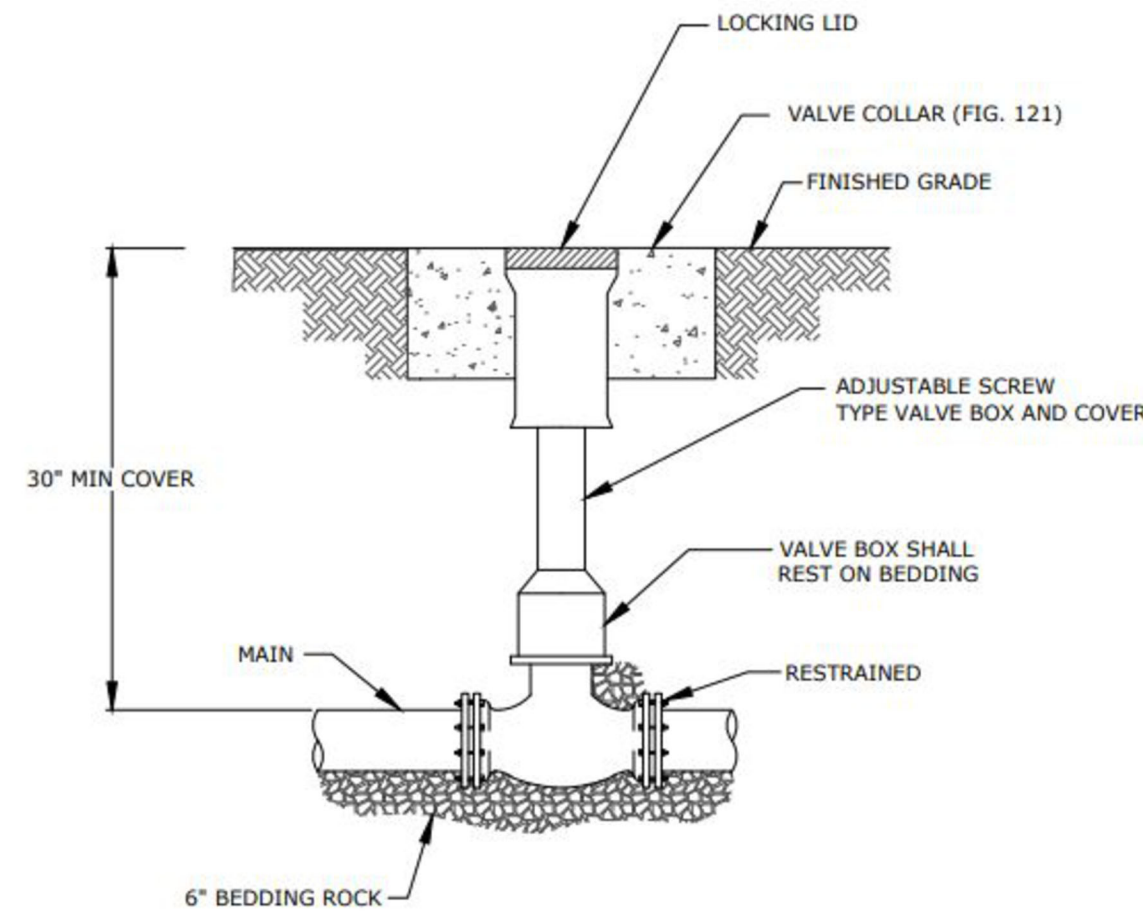
ALL MAIN LINE SLEEVE LOCATION ARE ACCOMPANIED WITH A
2" ELECTRICAL CHASE FOR THE CONTROL WIRING.
AUTOMATIC CONTROLLERS: HUNTER ICC-800 8 STATION/36 STATION
EXPANDABLE STATION WALL MOUNT CONTROLLER TO BE MOUNTED ON
SAME ELECTRICAL PANEL AS PUMP MAGNETIC STARTER ETC.

RAIN SENSOR: HUNTER MINICLK-C INSTALLED PER CODE.
TO BE LOCATED AT PUMP AND CONTROLLER LOCATION.

PROVIDE BACKFLOW PREVENTION ASSEMBLIES AT ALL CROSS CONNECTIONS
WITH ALL WATER SUPPLIES IN ACCORDANCE WITH COUNTY, MUNICIPAL OR
OTHER APPLICABLE CODES TO DETERMINE ACCEPTABLE BACKFLOW
PREVENTION ASSEMBLY TYPES AND INSTALLATION PROCEDURES FOR
A GIVEN APPLICATION. IN THE EVENT OF CONFLICTING REGULATION PROVIDE
THE ASSEMBLY TYPE WHICH GIVES THE HIGHEST DEGREE OF PROTECTION.

MUST MEET ALL FBC-P REQUIREMENTS

Valve Box



- WHEN VALVE IS NOT LOCATED IN PAVEMENT,
PLACE AN APPROPRIATE PAVEMENT REFLECTOR
MARKER IN THE DRIVE LANE, ADJACENT TO THE VALVE
- OPERATOR EXTENSION SHAFT SHALL BE
PROVIDED WHEN OPERATING NUT IS MORE THAN
24" BELOW TOP OF VALVE BOX
- PVC PIPE OR DUCTILE IRON PIPE IS NOT
ACCEPTABLE FOR VALVE BOX RISER

Irrigation Plan

SCALE IN FEET 3/32" = 1'

48 HOURS BEFORE DIGGING
CALL TOLL FREE
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.

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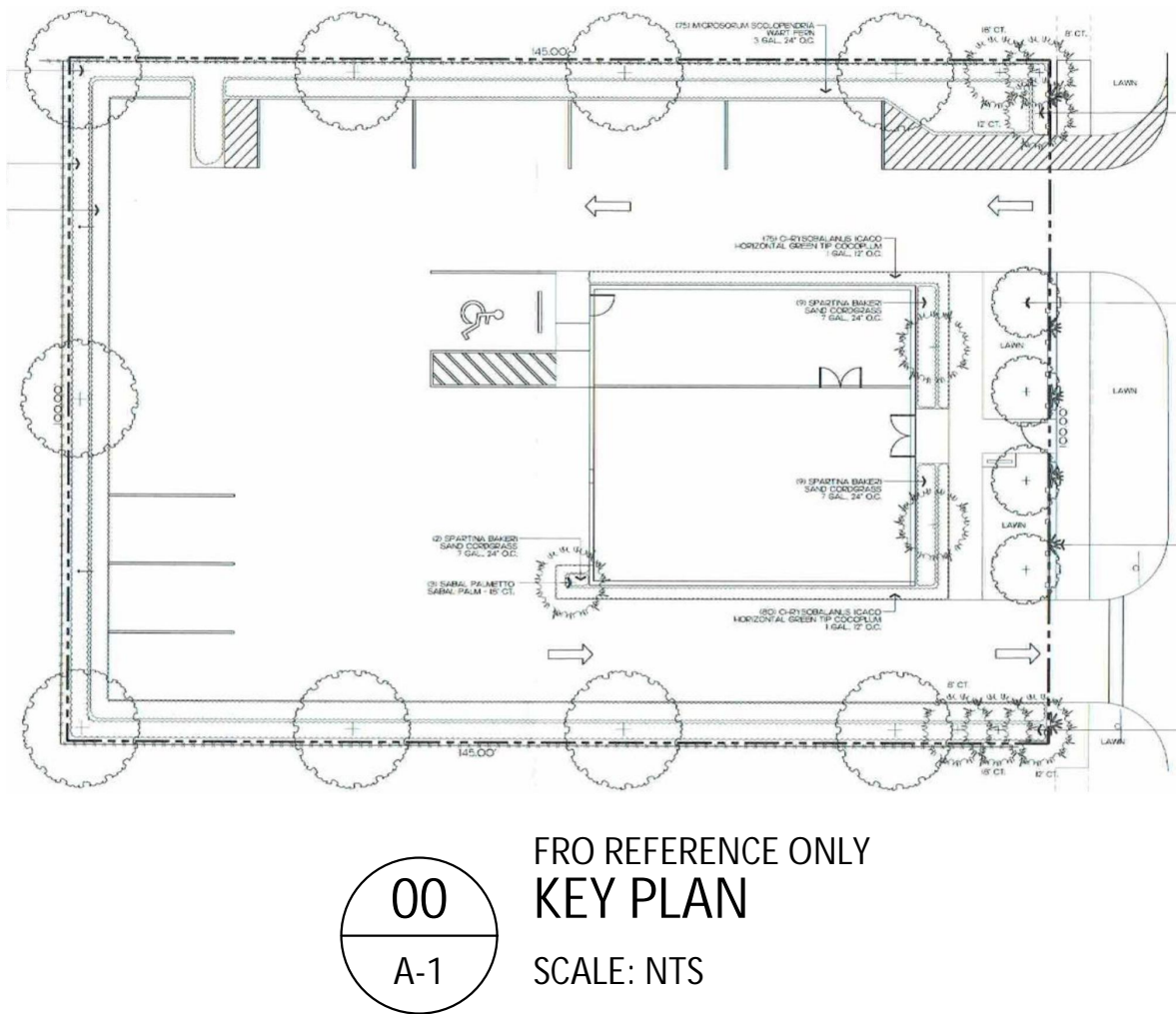
DISCLAIMER: 2023
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services during construction, including on-site
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design clarification, etc., the client agrees to
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REVISIONS		
NO.	DATE	DESCRIPTION
01	07.26.23	ZONING COMMENTS

DQ PROJECT NO. : 2304
CHECKED BY: DD
DRAWN BY: DD
DATE: 06/07/23

PHASE
SITE PLAN APPLICATION

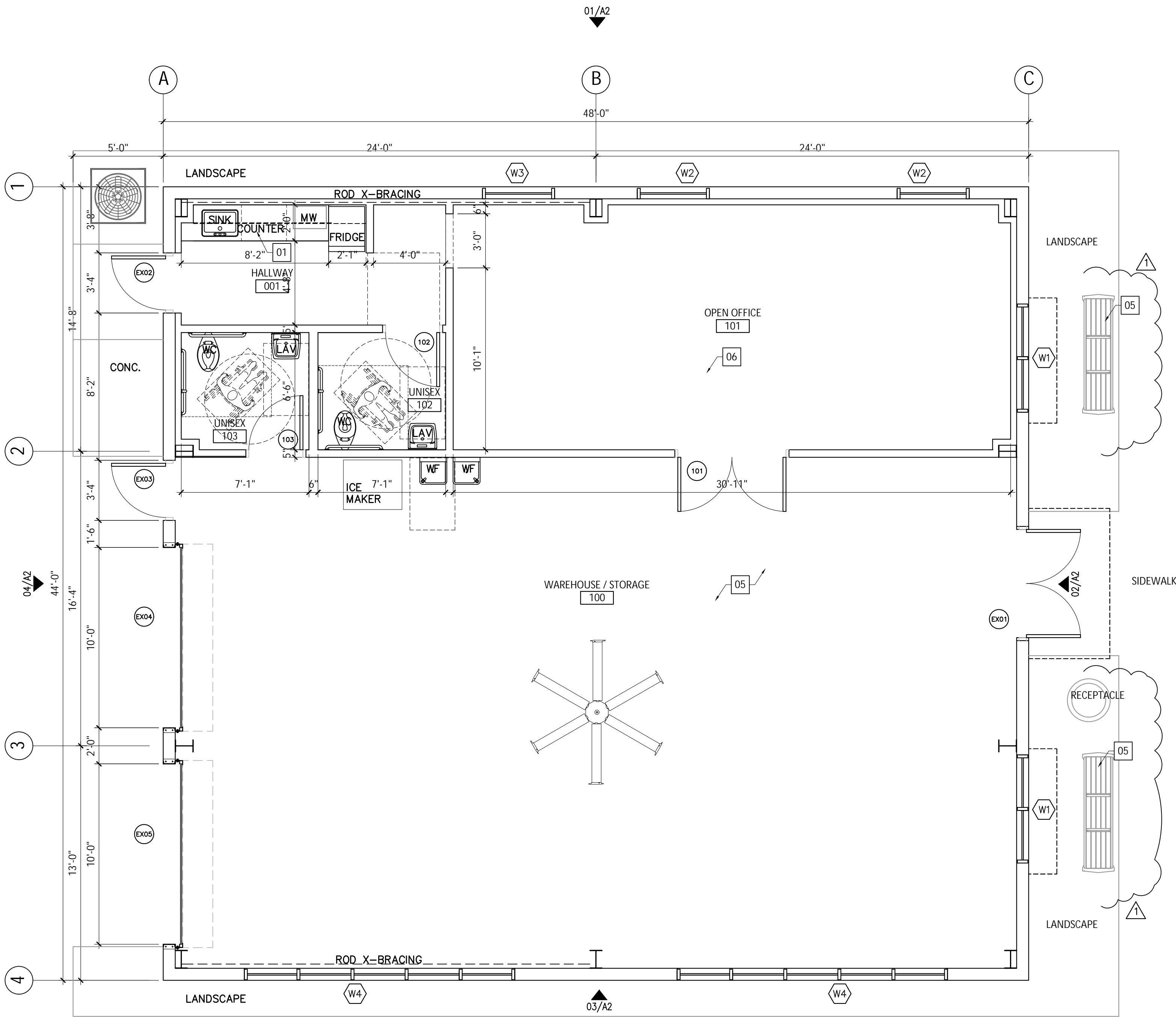
SHEET TITLE
FLOOR PLAN
SHEET NUMBER
A-1 (1 OF 3)



AREA TABULATION BREAKDOWN

PRE-ENGINEERING METAL BUILDING	
BUSINESS AREA:	720 GSF
STORAGE/WAREHOUSE AREA:	1,392 GSF
TOTAL BUILDING AREA:	2,112 GSF

- NOTE:
1. INFORMATION PROVIDED FOR SITE PLAN APPLICATION REVIEW ONLY. NOT FOR CONSTRUCTION.
 2. ARCHITECT SHALL PROVIDE LIFE SAFETY SUMMARY FOR AHJ REVIEW DURING BUILDING PERMITTING.
 3. GC SHALL PROVIDE PRE-ENGINEERING BUILDING ENGINEERING DWGS WITH PERMIT SUBMITTAL.
 4. FIRE ALARM AND FIRE SPRINKLER NOT REQUIRED.



01
A-1

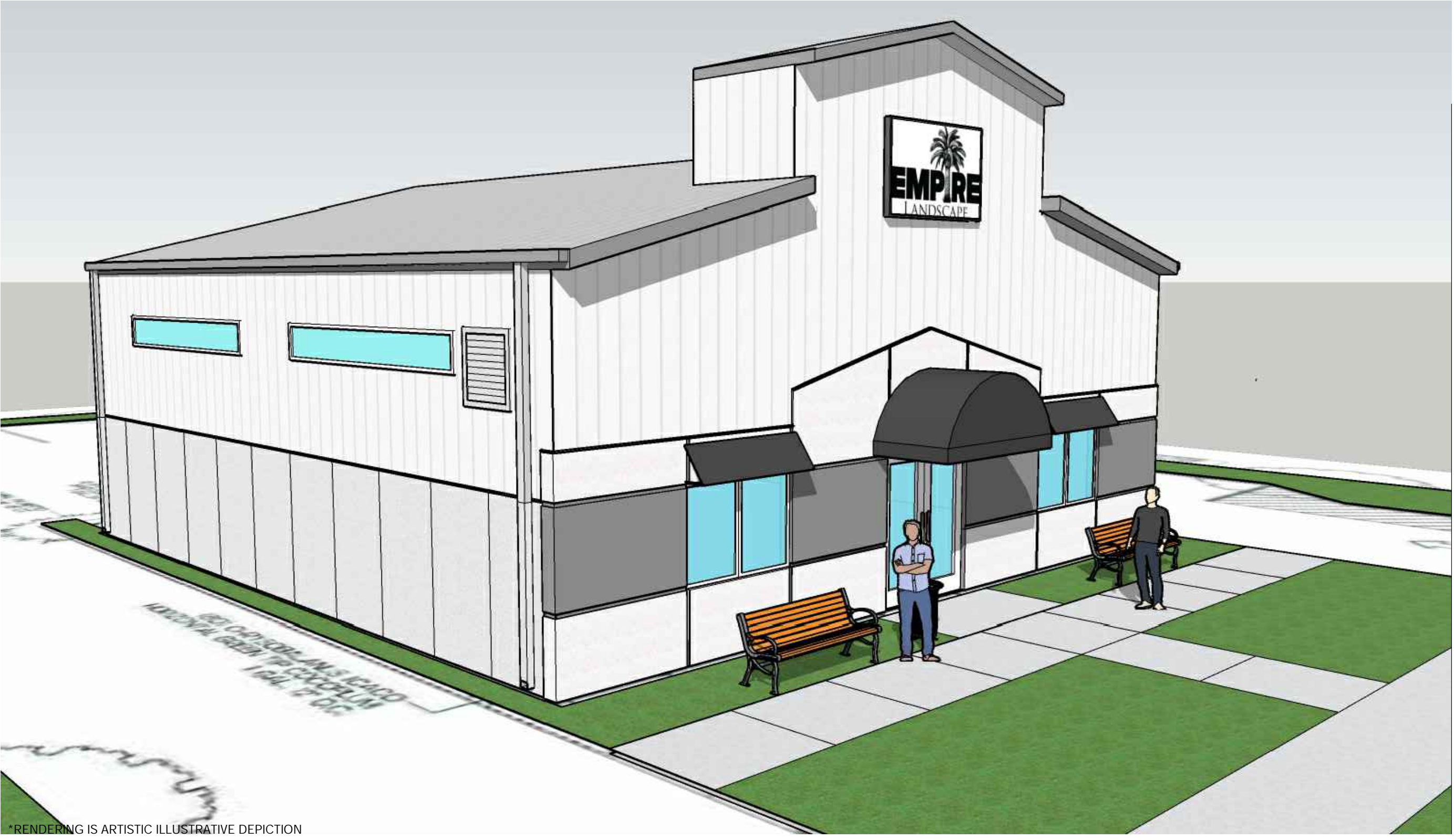
ARCHITECTURE FLOOR PLAN

SCALE: 3/16" = 1'-0"

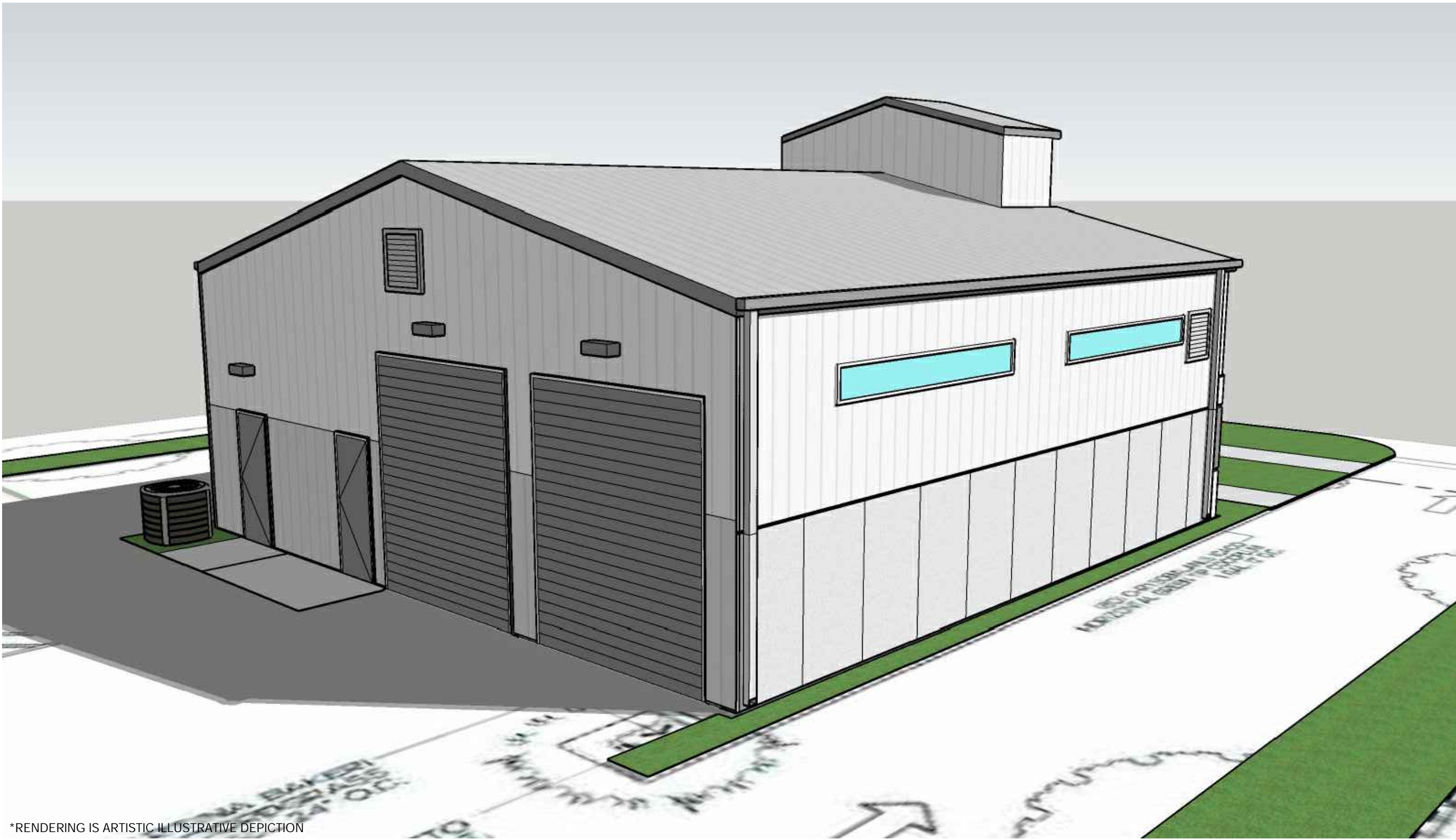
FLOOR PLAN LEGEND				FLOOR PLAN KEY NOTES				NOTES	
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	#	DESCRIPTION	#	DESCRIPTION
	ROOM NAME ROOM NUMBER		PARTITION TYPE KEY WALL, PARTITION OR CHASE TYPE DETAIL NUMBER STUD OR MASONRY THICKNESS, IF DIFFERENT THAN INDICATED IN DETAIL IF WALL TYPE FOLLOWED WITH AN 'S', WALL IS TO BE PROVIDED WITH INSULATION AS INDICATED IN DETAIL WALL HOURLY FIRE RATING		WALL LEGEND CMU EXTERIOR WALL: 8" CONCRETE MASONRY UNIT(R-3 MIN.) WITH SMOOTH STUCCO FINISH ON EXTERIOR. PEMB WALL ASSEMBLY, WAREHOUSE: SLIDING OVER 8" GIRTS W/ INSULATION (R-19 MIN.) PEMB WALL ASSEMBLY, OFFICE: SLIDING OVER 8" GIRTS W/ INSULATION (R-19 MIN.) PROVIDE MTL STUD PARTITION WITH INSULATION(R-13 MIN.) INTERIOR PARTITION: (1) LAYER 5/8" TYPE-X GYPSUM WALLBOARD FASTENED TO BOTH SIDES OF MTL STUD PARTITION.		MILLWORK CASEWORK.		
	SECTION/DETAIL KEY SHEET NO. SECTION NO.						PROVIDE HOSE BIB.		
	DOOR KEY DOOR NUMBER						PROVIDE TANKLESS WATER HEAT UNDER KITCHEN SINK.		
	WINDOW TAG WINDOW NO.						LARGE VOLUME LOW SPEED FAN, ABOVE.		
	DETAIL KEY DETAIL NUMBER SHEET NUMBER AREA OF CONCERN						EXPOSED CONCRETE, HARDENER AND SEALER.		
							POLISHED CONCRETE.		
							FRONT LANDSCAPE BENCH AND RECEPTACLE		



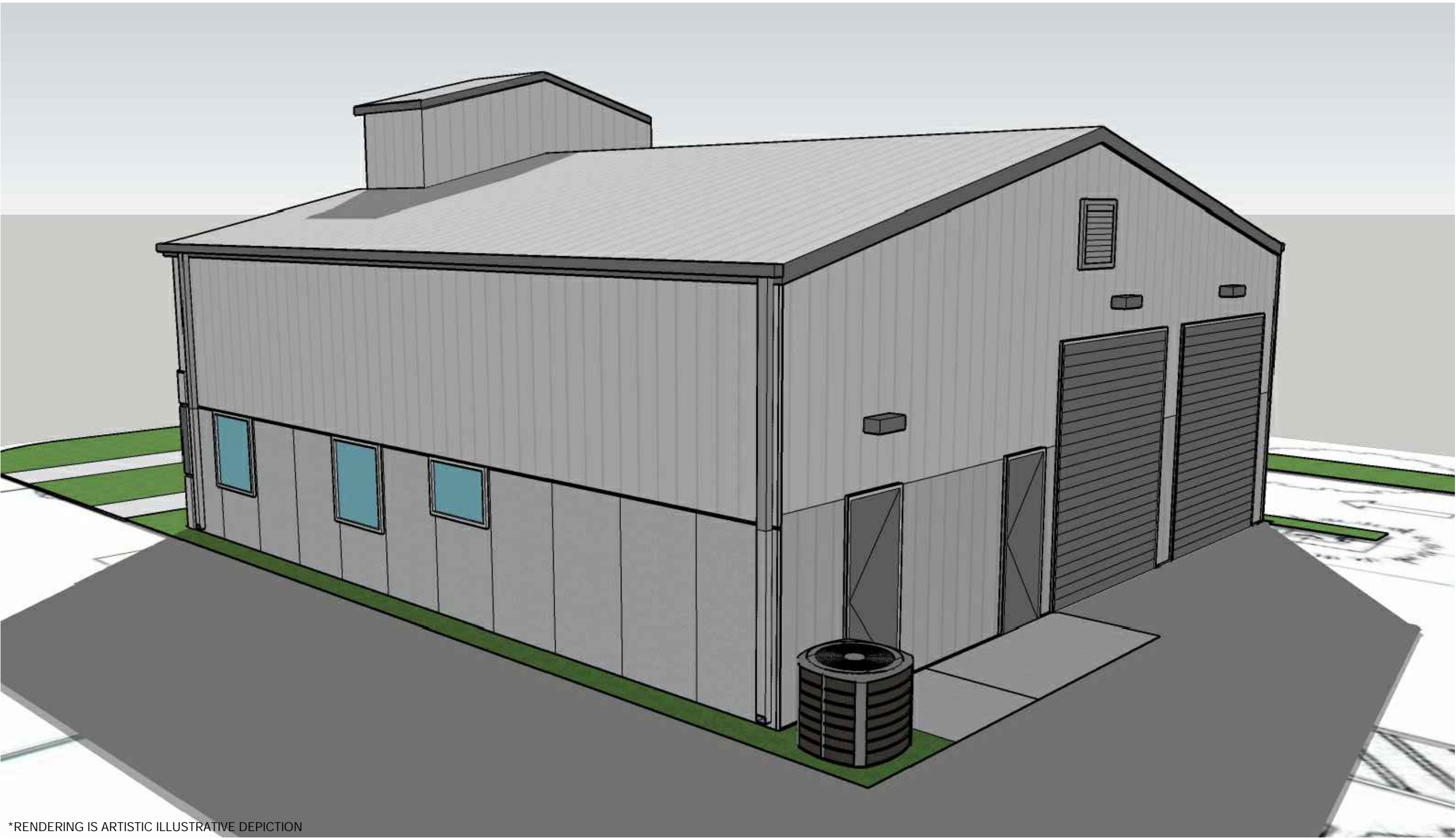
NORTHEAST VIEW



SOUTHEAST VIEW



SOUTHWEST VIEW



NORTHWEST VIEW

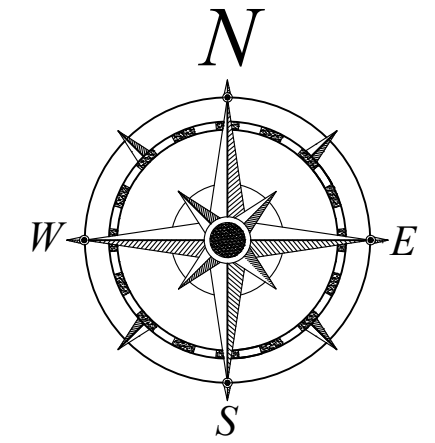
REVISIONS		
NO.	DATE	DESCRIPTION
01	07.26.23	ZONING COMMENTS

DQ PROJECT NO. : 2304
CHECKED BY : DD
DRAWN BY : DD
DATE : 06/07/23

PHASE
**SITE PLAN
APPLICATION**

SHEET TITLE
**EXTERIOR
RENDERINGS**

SHEET NUMBER
A-3
(3 OF 3)



0 5 10 20
SCALE: 1" = 10'

LEGEND

- PROP. SIGN
SURFACE FLOW ARROW
PROP. CONCRETE PAVEMENT
PROP. ASPHALT PAVEMENT
PROPOSED ELEVATION
EXIST. ELEVATION
POLLUTION RETARDANT BAFFLE PRB

NOTES:

- EXIST. UTILITIES, DRAINAGE, & ELEVATIONS BASED ON SURVEY PREPARED BY NEXGEN SURVEYING. CONTRACTOR SHALL VERIFY INVERTS, PIPE SIZES, AND STRUCTURE LOCATIONS PRIOR TO SUBMITTING SHOP DRAWINGS.
- ALL LANDSCAPE AREAS ADJACENT TO BUILDING SHALL BE GRADED TO DRAIN AWAY FROM BUILDING.
- CONTRACTOR SHALL CONFIRM DETECTABLE WARNING REQUIREMENTS WITH BUILDING OFFICIAL PRIOR TO INSTALLATION.
- WHERE LANDSCAPE/SOD ABUTS BUILDING SLAB, A MINIMUM 3" SLAB REVEAL SHALL BE PROVIDED.
- MAXIMUM SLOPE FROM TOP OF CURB AND BACK OF WALK TO FINISHED GRADE SHALL BE 4(H):1(V), UNLESS OTHERWISE NOTED.
- ALL BUFFER, DETENTION, SWALE, AND UN-LANDSCAPED/UNPAVED AREAS SHALL BE SODDED UNLESS OTHERWISE NOTED.
- REFER TO SITE PLAN PREPARED BY ENVIRONMENT DESIGN GROUP FOR ADDITIONAL SITE REQUIREMENTS.
- ALL CULVERTS LEADING TO EXFILTRATION TRENCH SHALL BE FITTED WITH A POLLUTION RETARDANT BAFFLE (PRB) PER THE ENCLOSED DETAIL.
- ALL BUFFER & UNPAVED/UNLANDSCAPED AREAS SHALL BE SODDED BY CONTRACTOR.
- ALL OFFSITE DISTURBED AREAS SHALL BE SODDED BY CONTRACTOR. ALL DAMAGED CURBING, PAVEMENT, STRIPING, SIGNAGE, LANDSCAPING, ETC. SHALL BE RESTORED BY CONTRACTOR.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR PREPARING MAINTENANCE OF TRAFFIC (MOT) PLANS AND OBTAINING ALL REGULATORY APPROVALS FOR MOT PLANS. COPIES OF APPROVED MOT PLANS SHALL BE PROVIDED TO ENGINEER PRIOR TO COMMENCING WORK.
- ALL PIPE JOINTS SHALL BE WRAPPED PER FDOT INDEX NO. 430--001.

ACCESSIBILITY NOTES:

- ACCESSIBLE ROUTES SHALL BE CONSTRUCTED TO MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE - ACCESSIBILITY.
- ALL WALKS CROSSING A VEHICULAR AREA SHALL HAVE DETECTABLE WARNING SURFACE (TRUNCATED DOME) IN ACCORDANCE WITH THE FLORIDA BUILDING CODE - ACCESSIBILITY.
- CURB RAMP SLOPES AND DIMENSIONS SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD INDEX NO. 522--02. CURB RAMP DETECTABLE WARNING SURFACES SHALL BE TRUNCATED DOME AND SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE.
- DETECTABLE WARNING SHALL BE THE WIDTH OF THE WALKING SURFACE AND 3' IN LONGITUDINAL LENGTH (DIRECTION OF TRAVEL). DETECTABLE WARNING MATS SHALL PER THE FDOT APPROVED PRODUCTS LIST (APL), LATEST EDITION.

NOTE: THESE PLANS ARE STILL UNDER REGULATORY PERMIT REVIEW. OWNER IS ADVISED NOT TO ENTER INTO CONTRACT FOR THE CONSTRUCTION OF THIS PROJECT UNTIL ALL PERMITS ARE ISSUED. BIDDING/CONTRACTING PRIOR TO COMPLETION OF PERMITTING WILL RESULT IN INCREASED COSTS & CHANGE ORDERS.

DATUM NOTE: ALL ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). TO CONVERT TO NGVD 1929, ADD 1.53' TO NAVD ELEVATIONS.



**McLeod • McCarthy
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Civil Engineers

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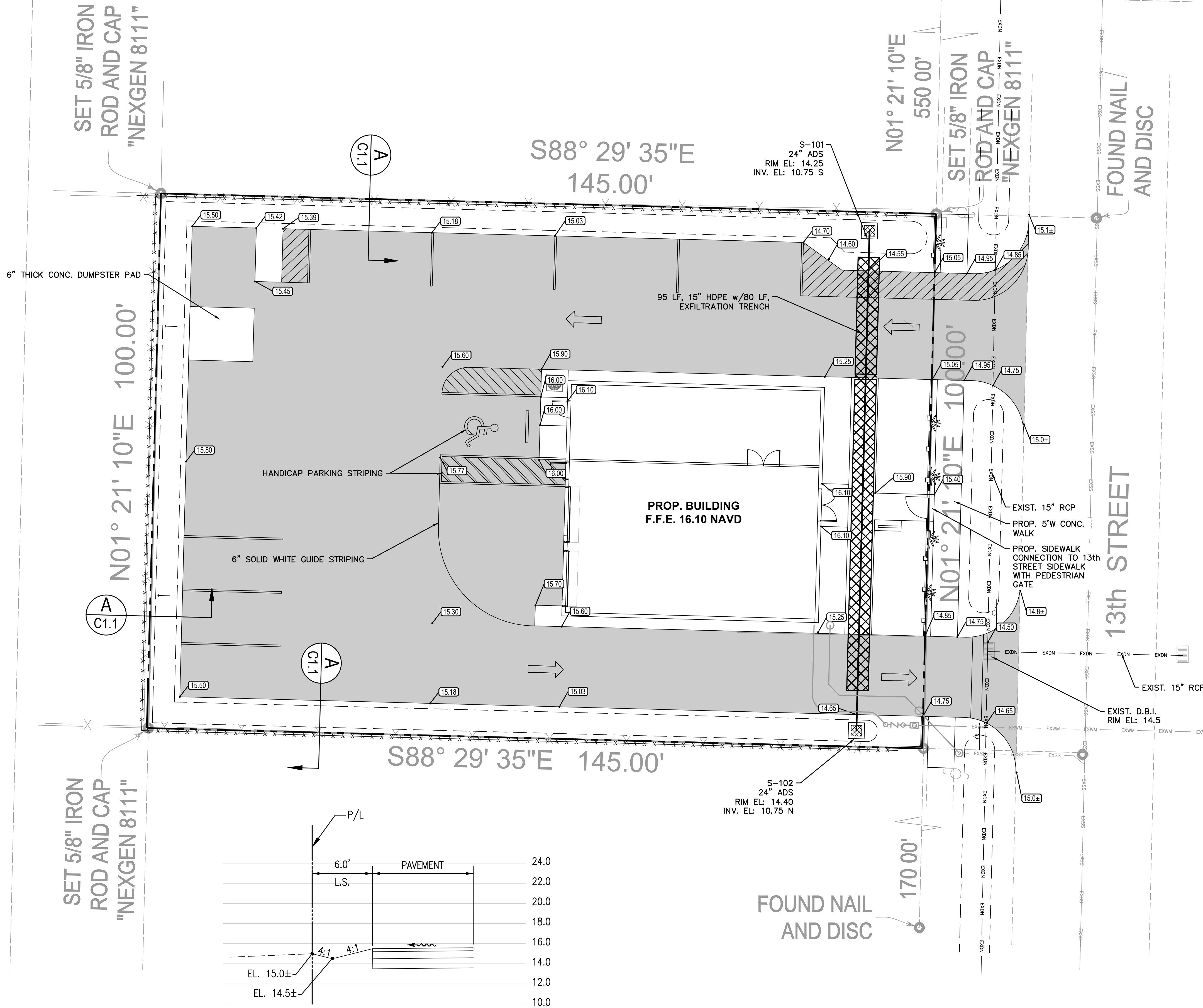
FIELD: DRAWN: P. Saffold
DESIGNED: TNM
APPROVED: TNM
PROJECT #23-015

REVISIONS
DATE
NO.

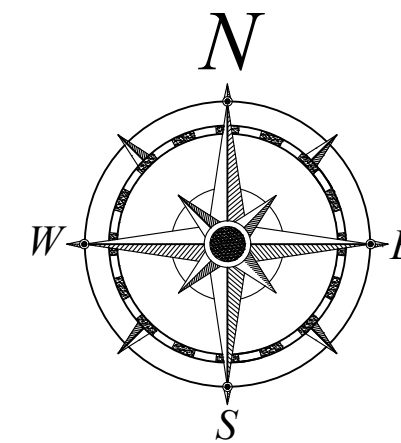
**PRELIMINARY PAVING, GRADING, &
DRAINAGE PLAN
830 13th STREET
COMMERCIAL BUILDING
LAKE PARK, FLORIDA**

SITE PLAN RESUBMITTAL
DATE: 8/22/2023

SHEET
C1.1
OF 4



SECTION A
(SEE SHEET C1.1) NTS



0 5 10 20
SCALE: 1" = 10'

LEGEND

	EASEMENT LINE
	EXISTING WATER MAIN, GATE VALVE (G.V.), TEE, F.H. AND PLUG
	EXISTING SANITARY SEWER MAIN, MANHOLE AND DIRECTION OF FLOW
	PROPOSED WATER MAIN, GATE VALVE (G.V.), BEND AND TEE WITH FIRE HYDRANT ASSEMBLY
	PROPOSED SANITARY SEWER MAIN, SINGLE & DOUBLE SEWER SERVICE CLEAN OUT (C.O.), MANHOLE AND
	CONCRETE
	MILLING & RESURFACING
	ASPHALT PAVEMENT
	EXIST. UTILITY TO BE VERIFIED BY SOFT DIGS PRIOR TO APPROVAL OF SHOP DRAWINGS
	U.E.

NOTES:

1. PRIOR TO CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY (ELEVATION & LOCATION) ALL EXISTING UTILITIES. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONTINUATION OF WORK.
2. M OF 12' FROM EDGE OF PAVEMENT, OR SHALL BE PROTECTED BY BOLLARDS.
3. VALVES SHALL NOT BE PLACED IN CURBS.
4. ALL WATER AND SANITARY SERVICES SHALL BE CONSTRUCTED A MINIMUM OF 5' FROM DRAINAGE STRUCTURES.
5. RECORD DRAWINGS MUST HAVE DATA FOR TAP AND METER LOCATIONS FOR ALL WATER MAIN SERVICES.
6. PRESSURE TESTING AND CERTIFICATION SHALL FOLLOW SEACOAST UTILITY AUTHORITY CONSTRUCTION STANDARDS, LATEST EDITION.
7. CONTRACTOR SHALL ADJUST ALL EXISTING SANITARY MANHOLE RIMS, CLEANOUTS, AND VALVE BOXES TO NEW FINISHED GRADE AND SHALL POUR CONCRETE COLLARS AS REQUIRED BY SUA SPECIFICATIONS, PRIOR TO FINAL PAVING/CONCRETE.
8. CONTRACTOR SHALL LOCATE & PROTECT ALL EXIST. UTILITIES.
9. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS, SIZES, MATERIALS, AND DEPTHS VIA "SOFT DIGS", PRIOR TO SUBMITTING SHOP DRAWINGS.
10. CONTRACTOR IS SOLELY RESPONSIBLE FOR PREPARING MOT DRAWINGS AND OBTAINING ALL REQUIRED MOT APPROVALS.
11. WATER/SEWER SYMBOLS ARE REPRESENTATIVE OF THE CORRESPONDING FITTINGS ONLY. CONTRACTOR SHALL NOT ATTEMPT TO ATTEMPT TO CONSTRUCT WATER/SEWER SYSTEM BY SCALING THE SYMBOLS FORM THESE PLANS. ALL FITTINGS SHALL INSTEAD BE BUILT PER THE ENCLOSED DETAILS.

RECORD DRAWING NOTES:

1. RECORD DRAWINGS SHALL BE PREPARED IN THE STATE PLANE COORDINATE SYSTEM.
2. ALL UTILITY FEATURES SHALL BE SHOWN IN THEIR AS-BUILT LOCATION.
3. STATE PLANE COORDINATES SHALL BE DISPLAYED ON RECORD DRAWINGS FOR ALL FEATURES SPECIFIED IN THE SUA STANDARDS.

GENERAL WATER NOTES:

1. ALL WATER SERVICE BRASS ARE REQUIRED TO BE LEAD FREE.
2. CONTRACTOR SHALL ALLOW A MINIMUM OF 90 DAYS FROM SUBMITTAL OF WATER/SEWER ASBUILT RECORD DRAWINGS UNTIL REQUEST FOR FIRST WATER METER IN ORDER TO ALLOW FOR EOR AND SUA REVIEW OF ASBUILT DRAWINGS. ASBUILTS WHICH DO NOT COMPLY WITH SUA STANDARDS OR WHICH INDICATE UTILITY WORK WHICH DOES NOT COMPLY WITH THESE PLANS AND SUA/HEALTH DEPT. CRITERIA, MAY REQUIRE SIGNIFICANT CORRECTIVE WORK AND MAY RESULT IN SIGNIFICANT DELAYS WHICH SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
3. CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL BACTERIOLOGICAL TESTING AND RETESTING UNTIL PROJECT PASSES PISC. HEALTH DEPARTMENT RELEASE PROCESS.
4. CONTRACTOR IS SOLELY RESPONSIBLE FOR PROVIDING ALL SURVEY SERVICES (VIA LICENSED SURVEYOR) ASSOCIATED WITH ASBUILT RECORD DRAWING PREPARATION, EASEMENT SKETCH/LEGAL DESCRIPTIONS, AND ALL PROJECT STAKING/LAYOUT AND UTILITY VERIFICATION.

GENERAL SEWER NOTES:

1. ON-SITE SEWER LATERALS ARE PRIVATELY OWNED AND MAINTAINED PAST SUA POINT-OF-SERVICE.
2. CONTRACTOR SHALL CONFIRM THAT PROPOSED SEWER LATERAL INVERTS HAVE SUFFICIENT DEPTH TO CONNECT TO BUILDING PLUMBING PRIOR TO COMMENCING UTILITY CONSTRUCTION. CONTRACTOR IS SOLELY RESPONSIBLE FOR COST OF MODIFYING SEWER LATERALS IF HE FAILS TO COORDINATE PLUMBING/LATERAL DEPTHS PRIOR TO CONSTRUCTION.

NOTE: THESE PLANS ARE STILL UNDER REGULATORY PERMIT REVIEW. OWNER IS ADVISED NOT TO ENTER INTO CONTRACT FOR THE CONSTRUCTION OF THIS PROJECT UNTIL ALL PERMITS ARE ISSUED. BIDDING/CONTRACTING PRIOR TO COMPLETION OF PERMITTING WILL RESULT IN INCREASED COSTS & CHANGE ORDERS.

DATUM NOTE: ALL ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). TO CONVERT TO NGVD 1929, ADD 1.53' TO NAVD ELEVATIONS.



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Civil Engineers

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FIELD: P. Saffold
DRAWN: P. Saffold
DESIGNED: TMM
APPROVED: TMM
PROJECT #23-015

REVISIONS

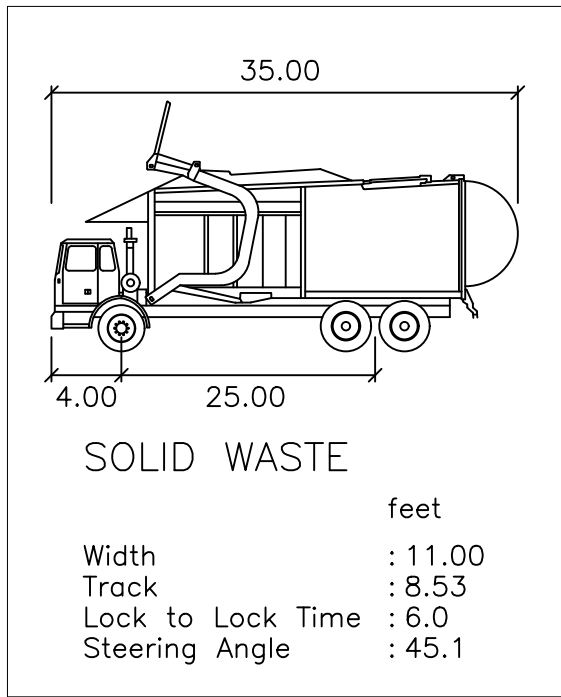
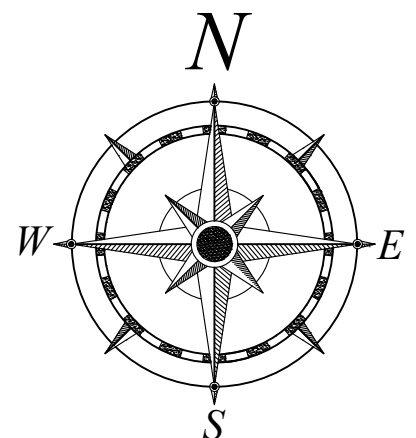
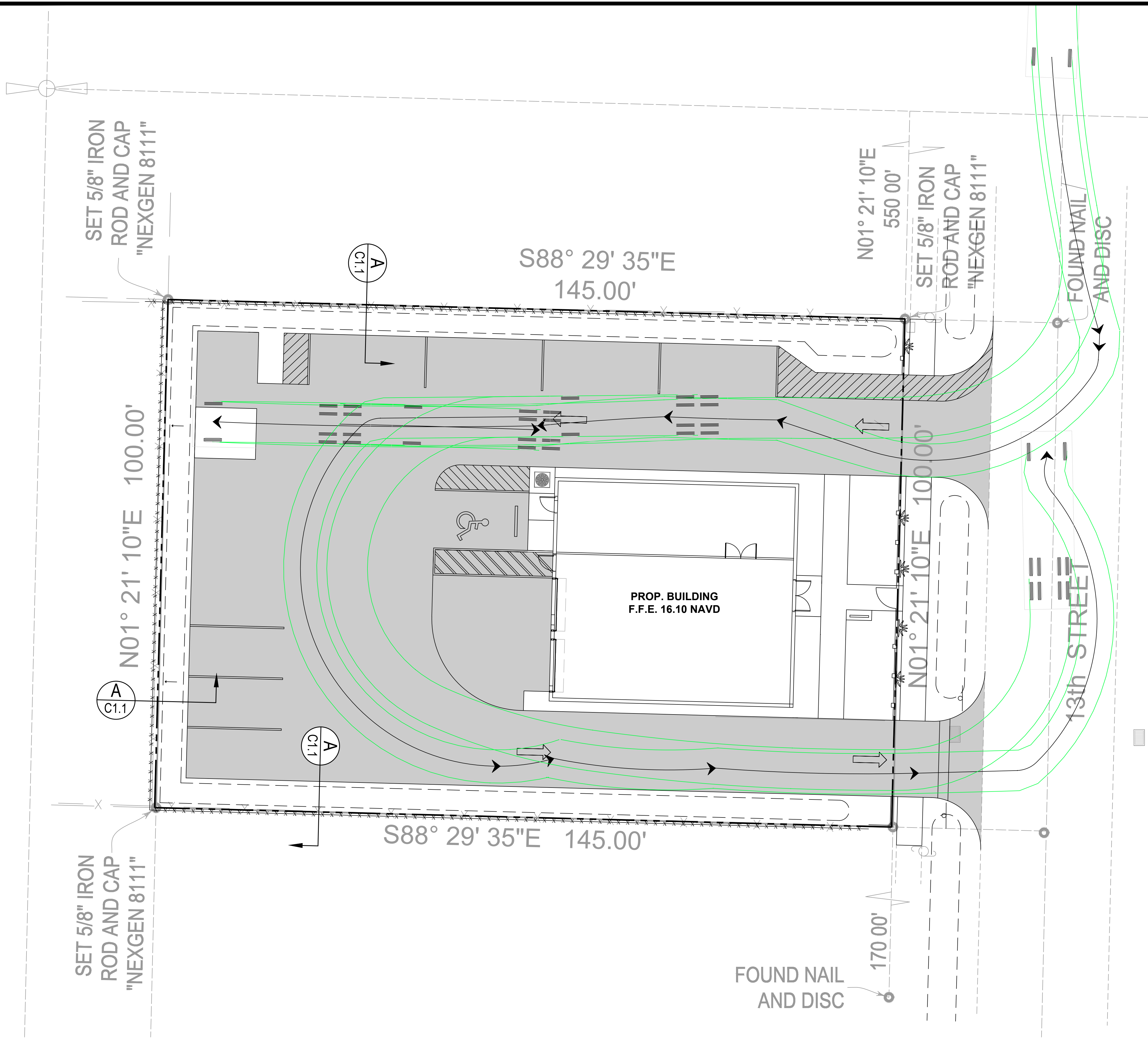
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NO.

**PRELIMINARY WATER
& WASTEWATER PLAN
830 13th STREET
COMMERCIAL BUILDING
LAKE PARK, FLORIDA**

SITE PLAN RESUBMITTAL
DATE: 8/22/2023

SHEET
C2.4
OF 4



**McLeod • McCarthy
& Associates, P.A.**
Civil Engineers

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1655 Palm Beach Lakes Blvd, Ste. 810
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FIELD: **Drawn: P. Saffold**
Designed: TMM
Approved: TMM
Project #23-015
TODD N. MCLEOD, P.E.
FL LICENSE NOTARY PUBLIC CA 603 30635
THIS DOCUMENT HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY TODD N. MCLEOD, P.E. USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

NO.	DATE	REVISIONS

AUTOTURN EXHIBIT: SOLID WASTE
830 13th STREET
COMMERCIAL BUILDING
LAKE PARK, FLORIDA

SITE PLAN RESUBMITTAL
DATE: 8/22/2023

SHEET
EX1
OF 4

NOTE: THESE PLANS ARE STILL UNDER REGULATORY PERMIT REVIEW. OWNER IS ADVISED NOT TO ENTER INTO CONTRACT FOR THE CONSTRUCTION OF THIS PROJECT UNTIL ALL PERMITS ARE ISSUED. BIDDING/CONTRACTING PRIOR TO COMPLETION OF PERMITTING WILL RESULT IN INCREASED COSTS & CHANGE ORDERS.

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McLeod • McCarthy & Associates, P.A.
Civil Engineers

August 22, 2023

Nadia Di Tommaso
Community Development Director
Town of Lake Park

**Re: Response to Engineering Comments: Empire Landscaping
Lake Park (MMA #23-015)**

Dear Ms. Di Tommaso;

Following are responses to your comments of 8/16/2023 for the preliminary engineering for the above-referenced project:

Comment: Verification from the Landscape Architect and Engineer of Record that the Green Buttonwood trees will not impact the drainage swale capacity along the perimeter of the site.

Response: The perimeter swale is not counted toward the capacity volume of the stormwater management system (which is provided in an underground exfiltration system). The perimeter pavement grades slope toward S-101 and S-102 while the perimeter swale prevents runoff from entering adjacent properties. The proposed Buttonwood Trees are not anticipated to affect this.

Comment: Civil plan shall include:

- a. The dumpster location and concrete slab.
- b. Cross section showing the swales grading.

Response: Dumpster pad location called-out on sheet C1.1. Perimeter cross section for swale at property line added as Section A on sheet C1.1.

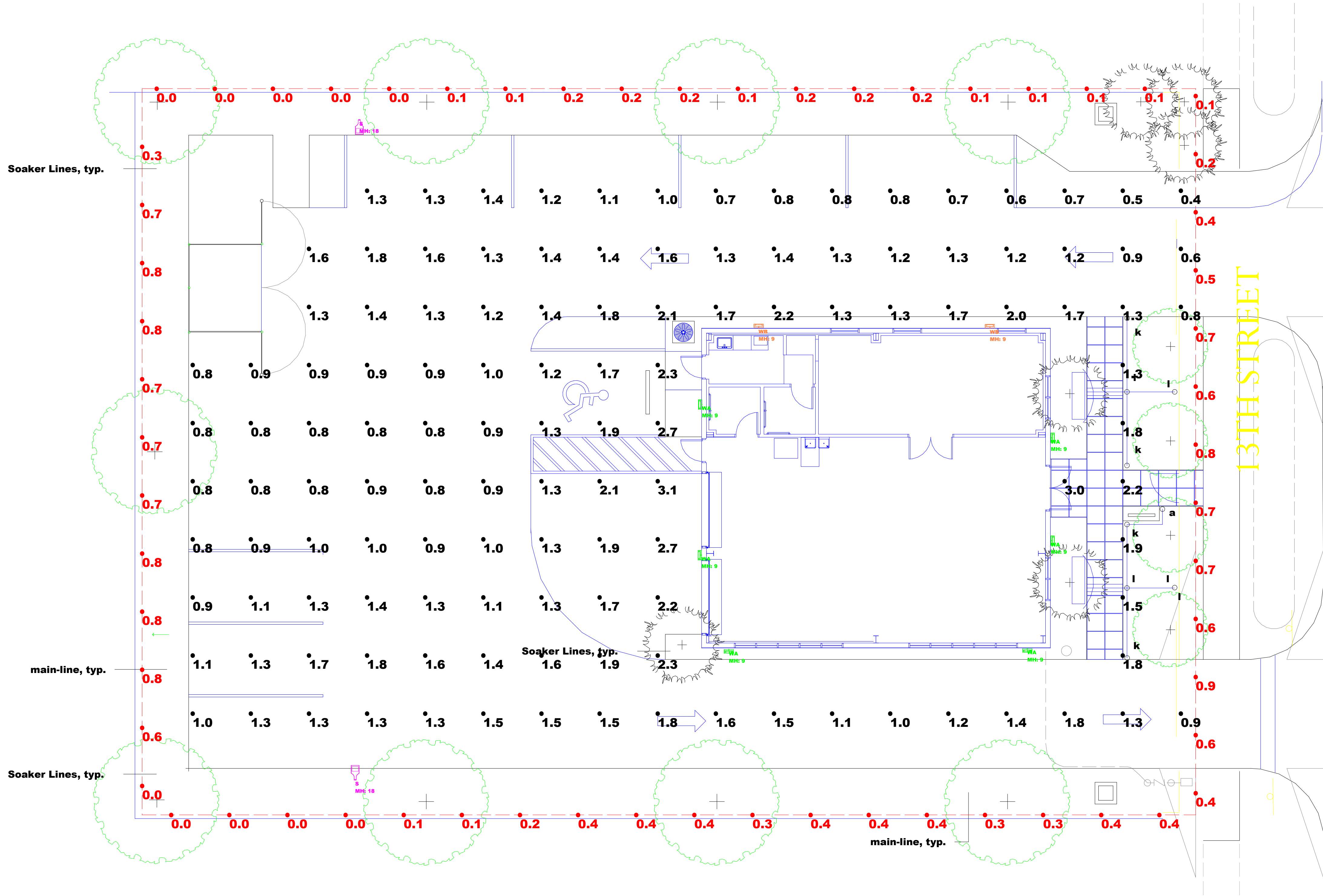
Comment: There might need to be some "island striping" or striping, just to guide vehicles on the correct path to execute the turns. An autoturn with the landscape trailer would be useful.

Response: Perimeter striping along the edge of the AutoTurn route has been added to assist truck with making the turns.

If you have any questions regarding this application, feel free to contact me at 561.689.9500 or todd@mcleodmccarthy.com.

Sincerely,

Todd N. McLeod, P.E., President
FL License No. 69188 | CA 30535



LUMINAIRE SCHEDULE										
SYMBOL	QTY	LABEL	ARRANGEMENT	MANUFACTURER	CATALOG NUMBER	MOUNTING	EMERGENCY	LLF	LUMINAIRE LUMENS	LUMINAIRE WATTS
	2	S	Single	Lithonia Lighting	DSX0 LED P2 40K 80CRI BLC4	POLE MOUNTED: 18' A.F.G.	N/A	0.900	4259	45.14
	6	WA	Single	Lithonia Lighting	DSXW1 LED 10C 350 40K T3M MVOLT	WALL MOUNTED: 9' A.F.G.	N/A	0.900	1488	13.3
	2	WB	Single	Lithonia Lighting	DSXW1 LED 10C 350 40K T4M	WALL MOUNTED: 9' A.F.G.	N/A	0.900	1458	13.3

CALCULATION SUMMARY										
LABEL	CALC TYPE	UNITS	SPACING L-R (FT)	SPACING T-B (FT)	HEIGHT (FT)	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PARKING & DRIVEWAY	Illuminance	Fc	8	8	0	1.33	3.1	0.4	3.33	7.75
PROP. LINE	Illuminance	Fc	8	N.A.	N.A.	0.35	0.9	0.0	N.A.	N.A.

Scale: 1 inch= 8 Ft.

DESCRIPTION:
PARKING & DRIVEWAY
NORMAL POWER

DATE:
8/23/2023

PROJECT:
EMPIRE LANDSCAPE

REV# 01