

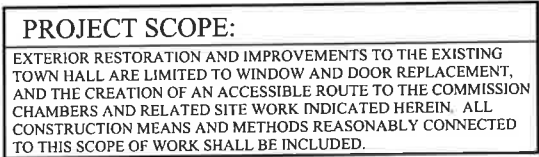
GENERAL NOTES:

IN ADDITION TO THE FOLLOWING REQUIREMENTS, IT SHALL BE THE HIGHEST PRIORITY IN ALL CASES TO FOLLOW THE SECRETARY OF THE INTERIOR'S GUIDELINES FOR REHABILITATION OF HISTORIC STRUCTURES. SHOULD THE CONTRACTOR HAVE QUESTIONS OR CONCERNS, CONSULTATION WITH THE ARCHITECT SHOULD BE SOUGHT BEFORE PROCEEDING WITH A QUESTIONABLE APPROACH.

1. THE INTENT OF THESE DRAWINGS IS TO SHOW THE OVERALL DESIGN INTENT AND PROVIDE THE BASIS FROM WHICH THE GENERAL CONTRACTOR (GC) WILL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND SUPERVISION NECESSARY TO PROVIDE A COMPLETED PROJECT OF THE HIGHEST QUALITY AND WORKMANSHIP. THEREFORE, ALL ITEMS NECESSARY FOR THE COMPLETION OF THE WORK ARE REQUIRED, EVEN IF NOT SHOWN HEREIN, BUT ARE REASONABLY INFERRABLE AS BEING NECESSARY TO PROVIDE THE INTENDED RESULTS.
2. THE CONTRACT FOR CONSTRUCTION SHALL BE AIA DOCUMENT A107 AND INCORPORATE A201, GENERAL CONDITIONS.
3. IT IS THE GC'S RESPONSIBILITY TO ENSURE THAT HIS FORCES AND THOSE OF HIS SUBCONTRACTORS HAVE REVIEWED THE PROJECT SITE, THESE DOCUMENTS AND THE RELATED FIELD CONDITIONS TO BECOME FAMILIAR WITH THE WORK. SAD FAMILIARITY SHALL BE ACHIEVED AND ANY DISCREPANCIES OR CONCERNS BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCING WORK.
4. THE GC SHALL VERIFY ALL DIMENSIONS. DRAWINGS SHALL NOT BE SCALED AS A BASIS FOR ANYTHING.
5. THE GC SHALL ENSURE THAT ALL MATERIALS ARE NEW AND ALL WORK PERFORMED BY HIS FORCES OR BY HIS SUBCONTRACTORS SHALL BE OF THE HIGHEST QUALITY.
6. ALL MATERIALS AND SYSTEMS SHALL BE INSTALLED IN STRICT COMPLIANCE WITH THE MANUFACTURER'S INSTRUCTIONS, DADE COUNTY NOAS, AND/OR PRODUCT APPROVALS WITH THE STATE OF FLORIDA.
7. DELIVERY AND STORAGE SHALL AT ALL TIMES BE ACCEPTABLE TO THE MANUFACTURER AND PROVIDE COMPLETE PROTECTION.
8. ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR 1-YEAR AFTER SUBSTANTIAL COMPLETION IS CERTIFIED BY THE ARCHITECT OR OWNER.
9. THE GC SHALL MAINTAIN A CURRENT SET OF AS-BUILTS ON SITE AT ALL TIMES AND DELIVER A FINAL AS-BUILT DRAWING TO THE OWNER UPON FINAL COMPLETION AND ACCEPTANCE.
10. THE GC SHALL SUBMIT ALL NECESSARY SHOP DRAWINGS AND PRODUCT APPROVALS TO THE LOCAL BUILDING DEPARTMENT FOR PERMITTING AND TO THE PROFESSIONAL OF RECORD, IF REQUIRED, FOR REVIEW.
11. ALL SUBCONTRACTORS SHALL BE CURRENTLY LICENSED IN THE STATE OF FLORIDA AND IN THE LOCAL JURISDICTION.
12. SUBSTITUTIONS OF ITEMS BY THE GC OR HIS SUBCONTRACTORS SHALL ONLY BE PROPOSED IF THEY BELIEVE AN EQUAL OR HIGHER QUALITY ITEM IS BEING OFFERED. APPROVAL BY THE OWNER WILL BE REQUIRED FOR ALL SUBSTITUTIONS AND, IF ITEMS REQUIRE APPROVAL BY THE PERMITTING AUTHORITY, IT SHALL ALSO BE APPROVED BY THE LOCAL BUILDING OFFICIAL.
13. THE GENERAL CONTRACTOR SHALL MAINTAIN ALL SAFETY MEASURES REQUIRED BY ANY REGULATORY BODY HAVING JURISDICTION TO PROTECT WORKMEN AND THE GENERAL PUBLIC.
14. ALL NECESSARY FIRE PROTECTION EQUIPMENT AND DEVICES SHALL BE MAINTAINED IN A WORKING AND ACCESSIBLE STATE THROUGHOUT THE DURATION OF THE CONSTRUCTION CONTRACT.
15. SINCE THE ARCHITECT IS PROVIDING LIMITED OR NO CONSTRUCTION PHASE SERVICES, THE OWNER AND THE GC ARE SOLELY RESPONSIBLE FOR COMPLIANCE WITH THE PERMITTED PLANS AND SPECIFICATIONS, THE QUALITY OF WORKMANSHIP AND FINAL MATERIAL SELECTION. ALL FINISHES, FIXTURES, HARDWARE, TRIM, COLORS AND ACCESSORIES SHALL BE COORDINATED WITH THE OWNER.
16. SPECIFICATIONS ARE PART OF THESE DOCUMENTS EITHER AS A SEPARATE BOOK OR WITHIN THE DRAWING. ALL DRAWINGS, SPECIFICATIONS AND NOTES WITHIN THESE DOCUMENTS ARE COMPLEMENTARY TO EACH OTHER. WHAT IS CALLED FOR IN ONE IS BINDING FOR ALL.
17. GYPSUM WALL BOARD SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE UNITED STATES GYPSUM "GYPSUM CONSTRUCTION HANDBOOK". ALL GYPSUM BOARD FINISHES SHALL BE LEVEL AND TRUE; HAVING NO VISIBLE SEAMS OR IMPERFECTIONS, FURR-OUT AS REQUIRED AND DO NOT DEVIATE FROM THE STATED REQUIREMENTS FOR RATED PARTITIONS.
18. THE GC SHALL MAINTAIN ADEQUATE LIABILITY INSURANCE (IN THE AMOUNTS AGREED BY THE OWNER) THROUGHOUT THE DURATION OF THE CONSTRUCTION CONTRACT.
19. UPON FINAL COMPLETION, THE GC SHALL THOROUGHLY CLEAN THE PREMISES TO THE SATISFACTION OF THE OWNER.
20. ALL FURNISHINGS, FIXTURES AND DISPLAYS SHALL BE BY OWNER UNLESS NOTED OTHERWISE. GC TO COORDINATE INSTALLATION WITH THE OWNER AND PROVIDE ASSISTANCE AS REQUESTED.
21. ALL SURFACES TO RECEIVE PAINT SHALL BE PROPERLY PREPARED. EACH SUCCESSIVE COAT SHALL BE APPLIED ONLY WHEN PREVIOUS COAT HAS THOROUGHLY DRIED.
22. GC SHALL PROVIDE INSTRUCTIONS AND RECOMMENDATIONS FOR MAINTENANCE OF ALL MATERIAL AND EQUIPMENT INSTALLATIONS TO THE OWNER. PROPER MAINTENANCE OF SAME SHALL BE THE RESPONSIBILITY OF THE OWNER AND GC. FAILURE TO PROVIDE PROPER MAINTENANCE THAT LEADS TO BODILY HARM OF WORKERS AND/OR BUILDING OCCUPANTS SHALL REMAIN THE SOLE RESPONSIBILITY OF THE OWNER AND/OR GC.
23. A CERTIFICATE OF OCCUPANCY SHALL BE ISSUED BY THE BUILDING DEPT. PRIOR TO REQUESTING FINAL PAYMENT FROM THE OWNER.
24. FIRE EXTINGUISHERS SHALL BE PROVIDED IN THE PROPER QUANTITY AND TYPES REQUIRED BY ALL APPLICABLE CODES.
25. THE GC AND HIS SUBS SHALL REQUEST FROM THE ARCHITECT ANY ADD'L INFORMATION AND/OR DETAILS THEY MAY NEED TO FULLY UNDERSTAND THE DESIGN INTENT. LACK OF INFORMATION, DETAILS OR THE REQUEST FOR SAME WILL NOT EXCUSE IMPROPER INSTALLATION AND CORRECTIONS SHALL BE MADE BY THE GC AT NO ADDITIONAL COST TO THE OWNER.
26. AN ESTIMATE OF CONSTRUCTION DURATION SHALL BE PROVIDED TO THE OWNER BY THE GC FOR APPROVAL.
27. VINYL WALL COVERING SHALL NOT BE INSTALLED ON THE INTERIOR FACE OF AN EXTERIOR WALL AT ANYTIME.
28. THESE PLANS HAVE BEEN PREPARED TO COMPLY WITH APPLICABLE LOCAL PERMITTING ONLY. ANY WORK BEYOND THE SCOPE OF THESE DRAWINGS NOT REVIEWED OR APPROVED BY THE ARCHITECT IN WRITING SHALL NOT BE THE ARCHITECT'S RESPONSIBILITY.
29. THE GC SHALL COORDINATE THE INSTALLATION OF ALL SUB WORK TO AVOID CONFLICTS. THE GC SHALL ENSURE THAT ALL OF HIS SUBS HAVE REVIEWED THE PLANS THAT MAY AFFECT THE INSTALLATION OF THEIR WORK, SHOP DRAWINGS AND PREPARED, AND COORDINATION MEETINGS HELD AS NECESSARY IN THE OPINION OF THE GC TO ASSIST THE COORDINATION EFFORT. THE ARCHITECT AND ENGINEER WILL REVIEW SHOP DRAWINGS IF IT WILL BE A BENEFIT TO THE COORDINATION EFFORT. HOWEVER, ALL CONFLICTS SHALL BE RESOLVED PRIOR TO EXECUTING THE WORK. REWORK RESULTING FROM A LACK OF COORDINATION SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.
30. G.C. SHALL COORDINATE, INSTALL ALL NECESSARY BACKING SUPPORTS FOR LIGHTING FIXTURES AND ACCESSORIES.
31. NEW CONSTRUCTION MUST MEET "ADA" BARRIER FREE REQUIREMENTS. CONFLICTS OR CONCERNS SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO COMMENCING WORK. NO WORK ASSOCIATED WITH BRINGING THE EXISTING STRUCTURE INTO COMPLIANCE WITH THE "ADA" IS PART OF THE INTENDED SCOPE OF WORK.
32. NO ASBESTOS CONTAINING MATERIALS (ACMs) WILL BE PERMITTED ON THE PROJECT.
33. COPIES OF MATERIAL SAFETY DATA SHEETS (MSDSs), FOR ALL MATERIALS USED FOR, OR ASSOCIATED WITH, THE CONSTRUCTION OF THIS PROJECT WILL BE PROVIDED TO THE OWNER BY THE GC.
34. WHEREVER DISSIMILAR METALS MUST BE IN CONTACT EACH OTHER, AND ARE SEPARATED ON THE BELOW SCALE BY MORE THAN ONE INTERMEDIATE METAL, THE CONTACTING SURFACES SHALL BE SEPARATED FROM EACH OTHER BY A BITUMINOUS COATING, 15# ASPHALT SATURATED FELT, OR OTHER ARCHITECT APPROVED MEANS. METALS ARRANGED IN ORDER OF GALVANIC ACTIVITY: ALUMINUM, ZINC, GALVANIZED IRON, TIN ON STEEL, LEAD (HARD), STAINLESS STEEL, COPPER, MONEL.
35. ALL WOOD LOCATED IN CONCEALED SPACES SHALL BE FIRE RETARDANT.
36. ALL REQUIRED EXITS AND EXIT PATHWAYS SHALL REMAIN OPEN AND FREE OF BLOCKAGE AT ALL TIMES.
37. SEE SPECIFICATIONS FOR ADA SIGNAGE REQUIREMENTS.
38. ALL CONSTRUCTION ACTIVITY SHALL BE PERFORMED IN A MANNER THAT WILL NOT ADVERSELY IMPACT THE CONDITION OF ADJACENT PROPERTY. UNLESS SUCH ACTIVITY IS PERMITTED TO AFFECT SAID PROPERTY PURSUANT TO WRITTEN AGREEMENT BETWEEN THE PROJECT OWNER AND ADJACENT PROPERTY OWNER.
39. IT IS UNLAWFUL FOR ANY PERSON TO ALLOW CONSTRUCTION RELATED MATERIALS EQUIPMENT AND DEBRIS TO REMAIN LOOSE UNWATCHED AT A CONSTRUCTION SITE FROM 24 HRS. AFTER A HURRICANE WATCH HAS BEEN ISSUED, AND UNTIL THE HURRICANE WATCH HAS BEEN LIFTED. ALL CONSTRUCTION MATERIALS, EQUIPMENT AND DEBRIS SHALL BE REMOVED FROM THE CONSTRUCTION SITE OR SECURED IN ACCORDANCE WITH FLORIDA LAWS TO MINIMIZE DAMAGE TO PERSONS OR PROPERTY FROM HIGH WINDS. ANY PERSONS WHO FAIL TO COMPLY WITH SAID LAWS MAY BE SUBJECT TO A FINE OR DISCIPLINARY ACTION PURSUANT TO FLORIDA STATUTES.
40. ALL CONSTRUCTION, ALTERATION, OR DEMOLITION OPERATIONS SHALL COMPLY WITH NFPA 241.

FINAL CONSTRUCTION DOCUMENTS: AUGUST 25, 2025
TFH Architectural Services, LLC

tfh_architect@msn.com



-2023 FLORIDA BUILDING CODE / WITH REVISIONS & SUPPLEMENTS
-NFPA 101, LIFE SAFETY CODE. LATEST EDITION
-NFPA 241, STANDARD FOR SAFEGUARDING CONSTRUCTION,
ALTERATION, AND DEMOLITION OPERATIONS
-NFPA-70, LATEST EDITION - NATIONAL ELECTRIC CODE
-NFPA-72, LATEST EDITION
-NFPA-13, LATEST EDITION

SUMMARY OF NEW ACCESSIBLE ENTRANCE:

1. THE NEW DOOR DOES NOT ALTER THE EXISTING COMBINED EGRESS WIDTH FROM THE COUNCIL CHAMBER.
2. THE POWER ASSISTED OPENING METHODOLOGY SHALL COMPLY WITH THE ADA WHILE REMAINING AN EMERGENCY EXIT. THUS, IT SHALL BE INTERFACED WITH FIRE ALARM TO ENSURE THAT IT DEFAULTS TO AN UNLOCKED AND FREE TO OPEN STATUS WHEN FIRE ALARM IS TRIGGERED.

INTERIOR FINISHES:

FBC TABLE 803.5 - FOR TYPE 'B' OCCUPANCY, NON-SPRINKLERED, CLASS 'C' IS ALLOWABLE. NFPA 101 SEC. 10.2.8.1 & 39.3.2.1 & TABLE A.10.2.2

FIRE SPRINKLERS AND ALARMS:

EXCEPT FOR THE INTERFACE MENTIONED ABOVE, FIRE ALARM SYSTEM ADDITIONS AND / OR MODIFICATIONS ARE NOT REQUIRED OR PROPOSED.

THE MODIFICATIONS PROPOSED HEREIN HAVE NO AFFECT OF THE EXISTING OCCUPANCY TYPE, LOAD OR EGRESS CAPACITY OF THE EXISTING FACILITY. THE SIZE AND LOCATION OF ALL INTERIOR USES WILL REMAIN THE SAME, AND THE WIDTH AND LOCATION OF ALL EGRESS POINTS WILL REMAIN AS-IS. THEREFORE, THE INGRESS / EGRESS CONFIGURATION REMAINS UNCHANGED.

THUS, NO OCCUPANCY CALCULATION HAS BEEN CREATED, NOR SHOULD ONE BE REQUIRED.

CVR	KEY PLAN, LOCATION MAP AND GENERAL NOTES
<u>ARCHITECTURAL:</u>	
A-1	SITE PLANS - NEW AND EXISTING
A-2	1ST FLOOR PLANS - NEW AND EXISTING
A-3	EXTERIOR ELEVATIONS AND SECTIONS
A-4	DETAILS AND SPECIFICATIONS

PROJECT SITE @
535 PARK AVENUE
LAKE PARK, FL

US HIGHWAY 1
US HIGHWAY 90
LAKE WORTH LAGOON
PARK AVENUE
HAWTHORN DRIVE
GREENLEAF DRIVE
DATE PALM DRIVE
1ST STREET
2ND STREET
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TOWN OF LAKE PARK
Town Hall Accessibility Improvements + Window/Door Replacements
535 Park Avenue, Lake Park, Florida

COVER SHEET

tmh architectural
Timothy F. Hulihan, AIA
www.tfmhulihan.com

FL Lic. #: AR0013264

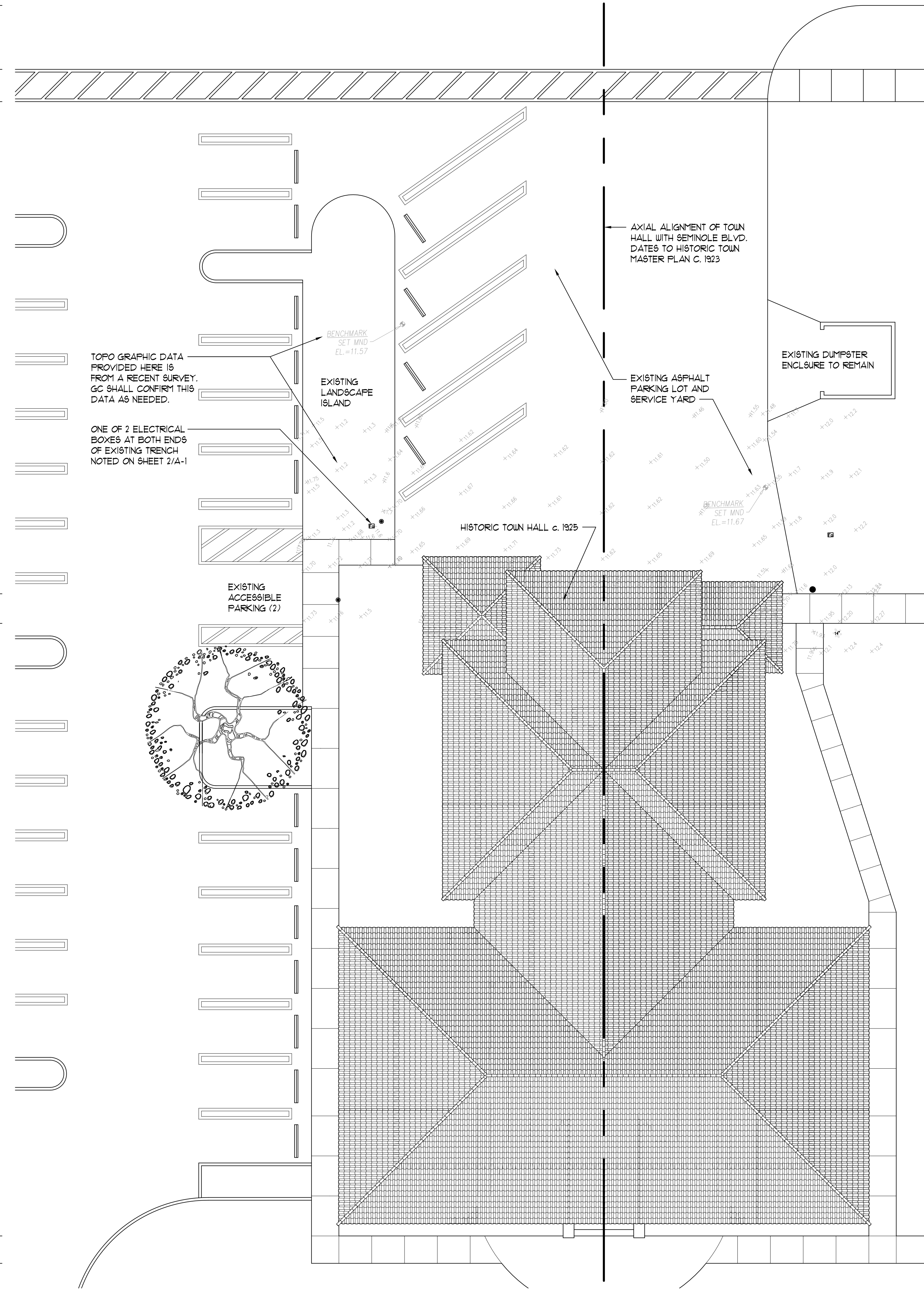
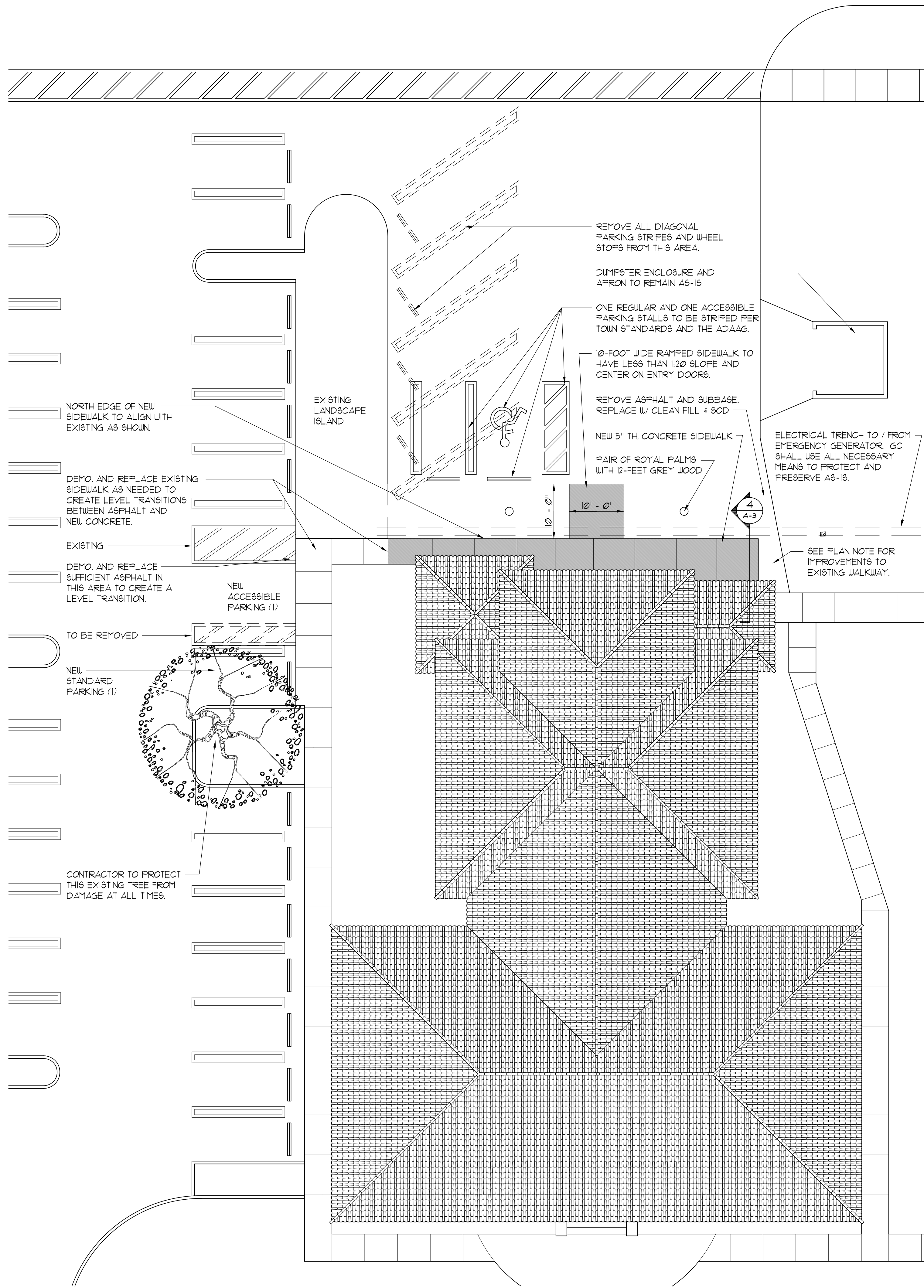
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SHEET 1 OF 5

CVR



EXISTING SIDEWALK AT THIS LOCATION TO BE MODIFIED AS NEEDED TO CREATE NEW ACCESSIBLE PATH. SEE PLAN ON THIS SHEET FOR ADDITIONAL INFORMATION.

CONTINUOUS 1/2" FIBEROUS EXPANSION STRIP TO BE CAPPED BY A CONTINUOUS BEAD OF TRAFFIC GRADE SEALEAT THAT CLOSELY MATCHES THE COLOR OF THE CONCRETE SIDEWALK.

EXISTING INTERIOR OF TOWN HALL IS NOT TO BE MODIFIED OR ALTERED IN ANYWAY AS PART OF THIS SCOPE OF WORK.

NORTH ENTRANCE TO COUNCIL CHAMBERS IS A NEW CUSTOM FABRICATED REFLICA OF THE ORIGINAL C. 1921 DOOR. IT SHALL NOT BE MODIFIED IN ANY WAY AS PART OF THIS PROJECT. CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PROTECT IT FROM INADVERTENT DAMAGE THROUGHOUT THE CONSTRUCTION PERIOD.

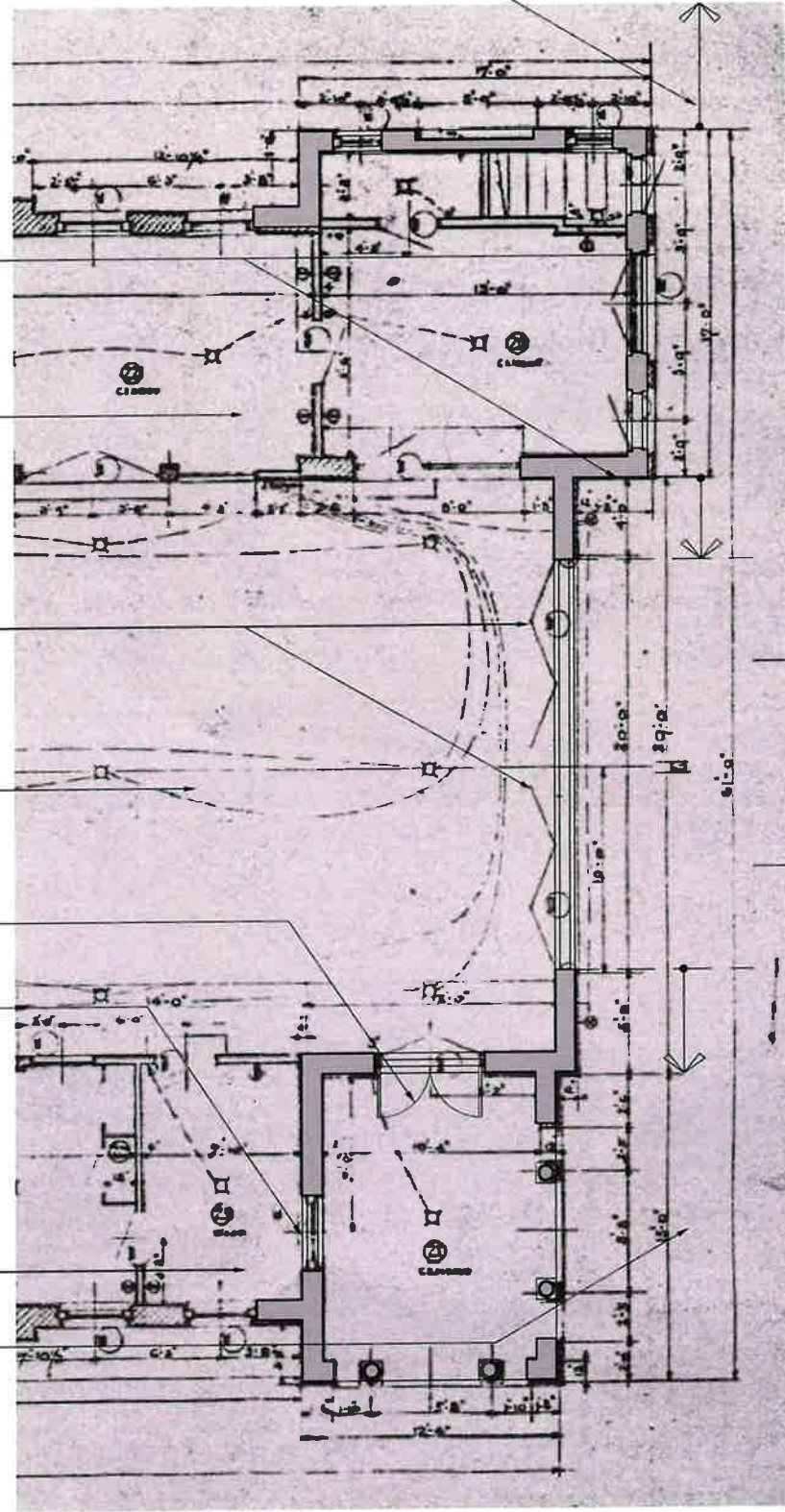
EXISTING COUNCIL CHAMBERS TO REMAIN AS-IS. CONTRACTOR LIMIT ACCESS TO THE INTERIOR TO THE GREATEST EXTENT POSSIBLE. PROTECT FROM DAMAGE OR ALTERATION AT ALL TIMES DURING CONSTRUCTION.

EXISTING PAIR OF DOORS TO BE REMOVED AND REPLACED. SEE PLAN ON THIS SHEET FOR ADDITIONAL INFORMATION.

ALTERNATE BID ITEM:
THIS EXISTING DOOR IS A REPLACEMENT FROM A PREVIOUS PROJECT. IT APPEARS TO BE HURRICANE RESISTANT (GC TO VERIFY). IT SHALL SERVE AS THE BASELINE COLOR FOR ALL NEW WINDOWS AND DOORS IN THIS PROJECT, AND SHALL BE REPAINTED AS PART OF THIS PROJECT TO MATCH ADJACENT NEW ADA DOOR. IF IT IS DETERMINED AS NEEDING REPLACEMENT, AN ALTERNATE BID ITEM SHALL ESTABLISH THE COST TO REPLACE IT TO THE FOLLOWING CRITERIA:
1. CUSTOM COLOR ALUM. CLAD WOOD DOOR.
2. EXACT REFLICA OF EXISTING DOOR.
3. MANUFACTURED BY KOLBE WIDOWS & DOORS.
4. INSTALL PER FL. PROD. APPR'L. FL. xxxxxxxx.

EXISTING INTERIOR OF TOWN HALL IS NOT TO BE MODIFIED OR ALTERED IN ANYWAY AS PART OF THIS SCOPE OF WORK.

EXISTING ASPHALT SERVICE DRIVE TO BE MODIFIED TO ACCOMMODATE ACCESSIBLE ACCESS IMPROVEMENTS. SEE PLAN ON THIS SHEET FOR ADDITIONAL INFORMATION.



2 PARTIAL EXISTING FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

CONTINUOUS AND UNIFORM SLOPE AT LESS THAN 2% TO ASPHALT PARKING LOT. SEE TOPO POINTS FOR ADDITIONAL INFO.

SEE SITE PLAN FOR NEW SIDEWALK'S CONTINUATION AND TERMINATION. MODIFY OR REMOVE EXISTING SIDEWALK AS NEEDED TO ACHIEVE RILLY ACCESSIBLE ROUTE FROM WEST PARKING LOT.

THIS SEGMENT OF SIDEWALK IS LEVEL AT THE SOUTH EDGE AT AN ELEV. EQUAL TO THE EXISTING THRESHOLD AT 12.18. THE NORTH EDGE IS SIMILARLY LEVEL AT 12.10.

CONTINUOUS 1/2" FIBEROUS EXPANSION STRIP TO BE CAPPED BY A CONTINUOUS BEAD OF TRAFFIC GRADE SEALEAT THAT CLOSELY MATCHES THE COLOR OF THE CONCRETE SIDEWALK.

EXISTING INTERIOR OF TOWN HALL IS NOT TO BE MODIFIED OR ALTERED IN ANYWAY AS PART OF THIS SCOPE OF WORK.

A SLIGHT RAMP DOWN IN THIS SHORT SECTION TO TRANSITION TO A FLUSH CONDITION ALONG THE 12.15 ELEVATION AT THRESHOLD FOR MAIN ENTRY DOORS.

NORTH ENTRANCE TO COUNCIL CHAMBERS IS A NEW CUSTOM FABRICATED REFLICA OF THE ORIGINAL C. 1921 DOOR. IT SHALL NOT BE MODIFIED IN ANY WAY AS PART OF THIS PROJECT. CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PROTECT IT FROM INADVERTENT DAMAGE THROUGHOUT THE CONSTRUCTION PERIOD.

EXISTING COUNCIL CHAMBERS TO REMAIN AS-IS. CONTRACTOR LIMIT ACCESS TO THE INTERIOR TO THE GREATEST EXTENT POSSIBLE. PROTECT FROM DAMAGE OR ALTERATION AT ALL TIMES DURING CONSTRUCTION.

FUTURE ACCESSIBLE ENTRANCE TO COUNCIL CHAMBERS. EXISTING PAIR OF DOORS TO BE REMOVED AND REPLACED WITH A CUSTOM SINGLE LEAF REFLICA ASSEMBLY. SEE DOOR ELEVATION DETAILS AND NOTES FOR ADDITIONAL INFORMATION.

NEW DOOR THRESHOLD TO BE FROM DOOR MANUFACTURER AND HAVE SHALLOW ADA COMPLIANT PROFILE.

VERIFY IF EXISTING CIRCUIT CAN BE USED TO USED TO POWER DOOR OPERATION.

NEW DOOR ASSEMBLY SHALL HAVE PUSH BUTTON ELECTRICALLY MOTORIZED OPENING TO ACHIEVE FULL ADA COMPLIANCE. ALL NEW ELECTRICAL TO BE RILLY CONCEALED - NO EXPOSED CONDUIT.

EXISTING INTERIOR OF TOWN HALL IS NOT TO BE MODIFIED OR ALTERED IN ANYWAY AS PART OF THIS SCOPE OF WORK.

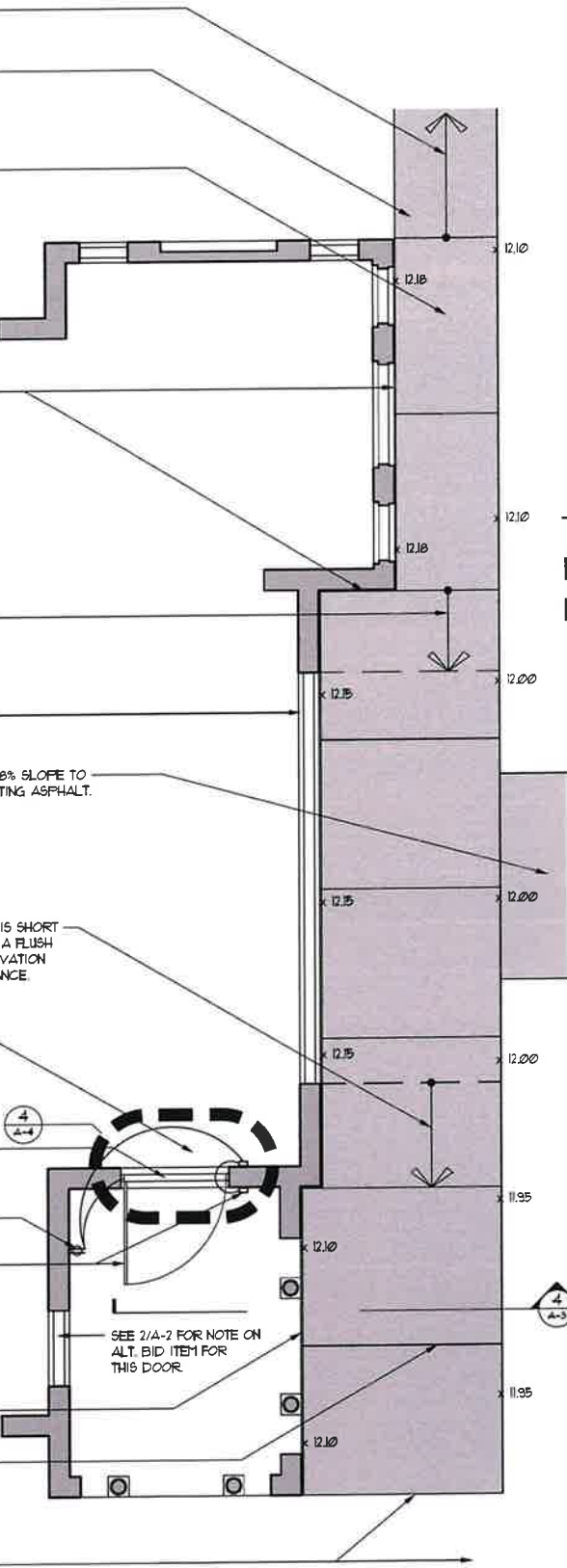
CREATE FLUSH ACCESSIBLE CONDITION BETWEEN NEW AND EXISTING CONCRETE - TYP.

LOCATE CONTROL JOINTS IN NEW CONCRETE WALKWAY TO ALIGN WITH 3 OPENING CENTERLINES AND 2 OFFSETS IN NORTH ELEVATION AS SHOWN. THEN, ADD ADDIT'L JOINTS AS SHOWN AT EQUAL SPACING.

NEW SIDE WALK ENDS WITH 5" - 6" STEP DOWN TO EXISTING WALKING. MODIFY, EXPAND AND/OR REPLACE PORTION OF EXISTING PAVEMENT TO MAINTAIN A MINIMUM 4-FOOT WIDTH OF CONCRETE.

PLEASE NOTE:
EXCERPTS FROM THE ORIGINAL ARCHITECTURAL DRAWINGS PREPARED BY BRUCE KITCHELL IN THE 1920s ARE USED HEREIN WITH PERMISSION FROM THE TOWN OF LAKE PARK. THE GENERAL CONTRACT SHALL NOTIFY THE ARCHITECT OF THIS RENOVATION OF ANY DISCREPANCIES BETWEEN THESE DRAWING AND THE ORIGINAL KITCHELL DRAWINGS SO ADJUSTMENTS CAN BE MADE PRIOR TO THE VARIATIONS CREATE ANY PROBLEMS OR DELAYS.

1 PARTIAL NEW FIRST FLOOR AT NORTH ENTRY
SCALE: 1/4"=1'-0"



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Timothy F. Hullihan
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TOWN OF LAKE PARK
Town Hall Accessibility Improvements + Window/Door Replacements
535 Park Avenue, Lake Park, Florida
FIRST FLOOR PLANS AND MISCELLANEOUS DETAILS

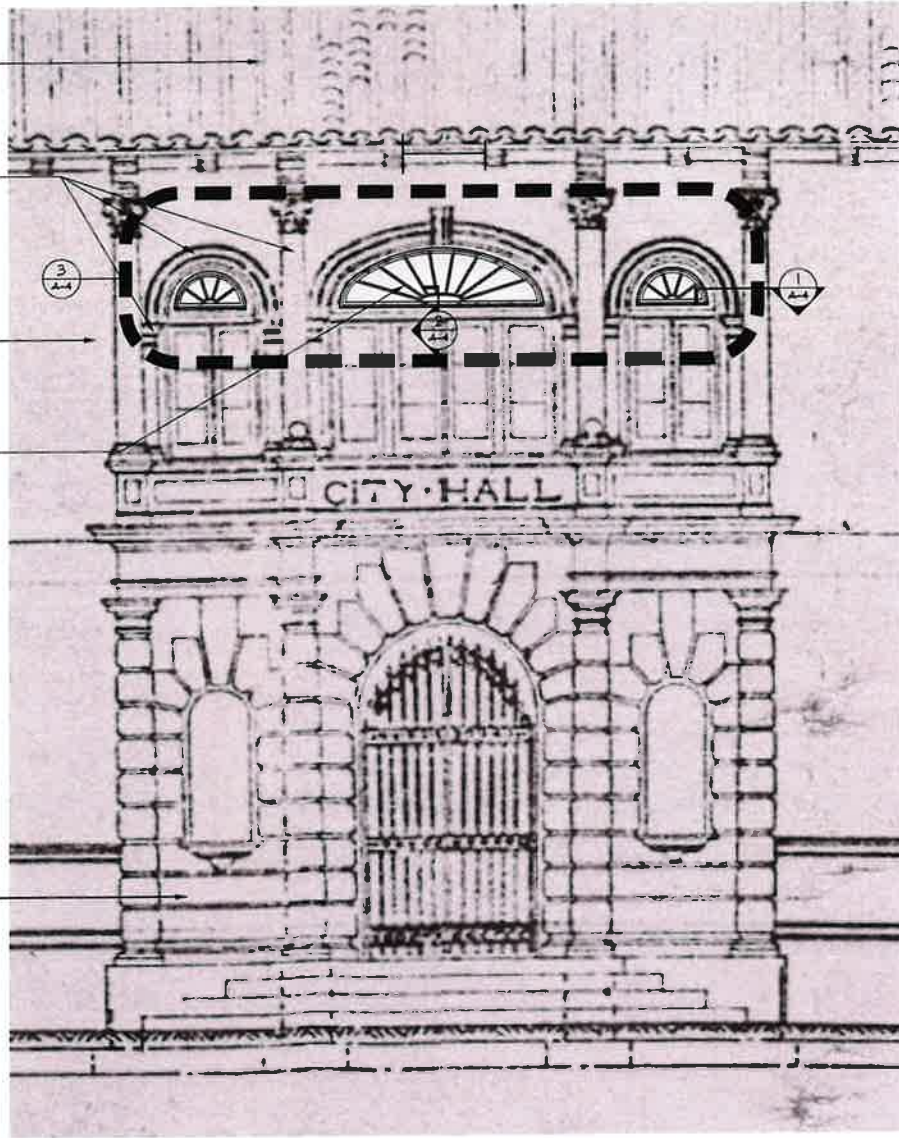
EXISTING ROOF ASSEMBLY IS NOT PART OF THE SCOPE OF WORK, AND SHALL NOT BE MODIFIED IN ANY WAY.

ALL EXISTING CAST STONE ELEMENTS SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. IF LOOSE, SIGNIFICANTLY DAMAGED, OR DETEIORATED PRECAST ELEMENTS ARE DISCOVERED, THE GC SHALL PRESENT A PLAN FOR REPAIRS AND/OR REPLACEMENT WITH MATCHING PROFILES TO THE ARCHITECT FOR APPROVAL.

UNLESS ASSOCIATED WITH A WINDOW OR DOOR REPLACEMENT NOTED HEREIN, NO MODIFICATIONS TO THE EXTERIOR FINISHES OF TOWN HALL ARE PART OF THIS SCOPE OF WORK AND SHALL NOT BE MODIFIED IN ANY WAY.

REPLACE ALL 3 EXISTING FIXED ARCHED WINDOWS WITH EXACT REPLICAS. CUSTOM ASSEMBLY ALUMINUM CLAD WINDOWS FROM KOLBE, OR AN EQUIVALENT MANUFACTURER SHALL MATCH THE EXISTING WINDOWS IN EVERY REGARD. CUSTOM COLOR FOR FACTORY FINISHED ALUMINUM AND FIELD PAINTED INTERIOR WOOD SURFACES SHALL MATCH EXISTING EXACTLY.

NO WORK ON THE GROUND FLOOR IN THIS ELEVATION UNDER THIS SCOPE. PROTECT ALL EXISTING ELEMENTS FROM DAMAGE OR ALTERATION DURING CONSTRUCTION.



2 PARTIAL EAST ELEVATION - EXISTING
SCALE 3/8"=1'-0"

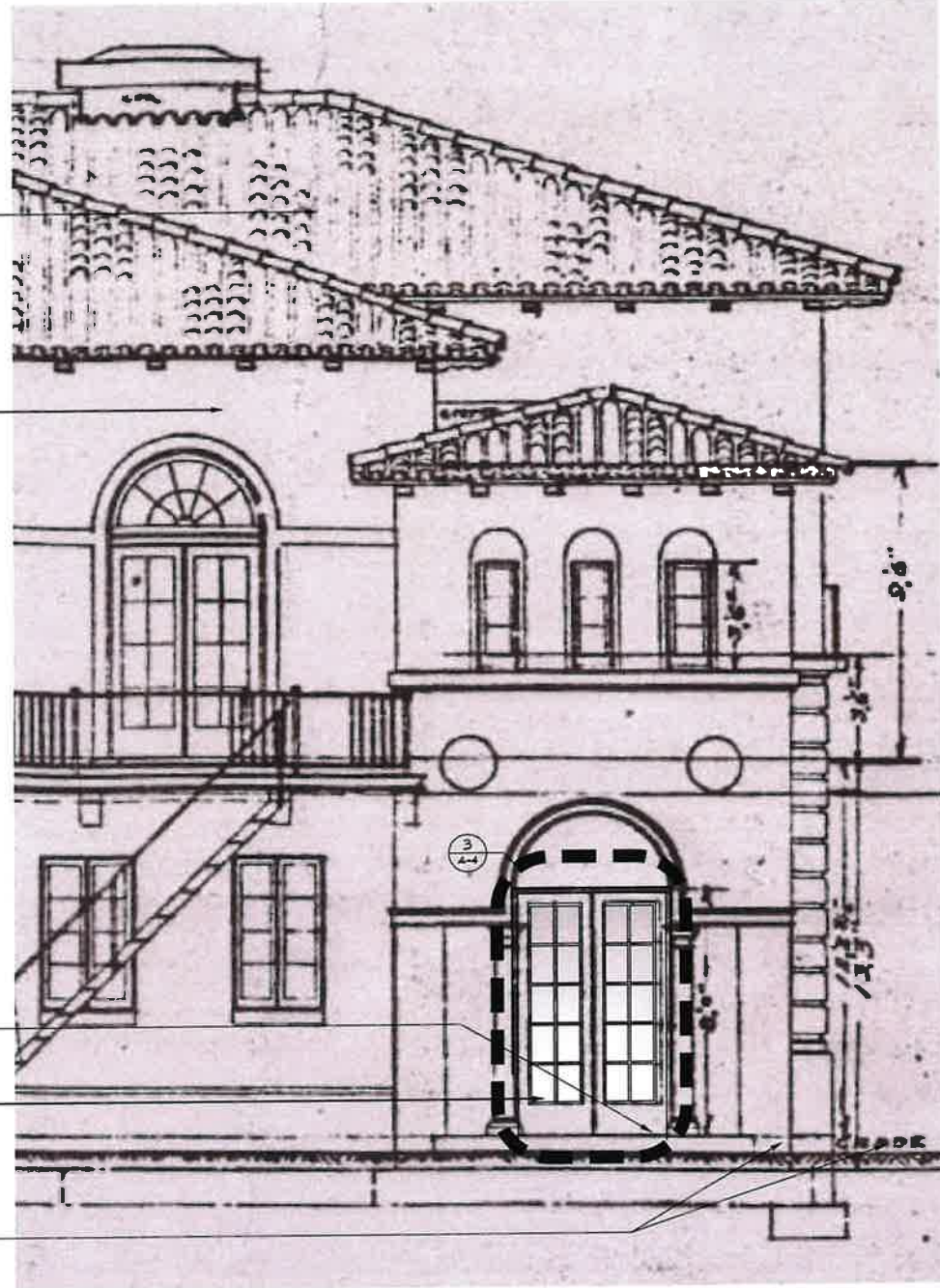
EXISTING ROOF ASSEMBLY IS NOT PART OF THE SCOPE OF WORK, AND SHALL NOT BE MODIFIED IN ANY WAY.

UNLESS ASSOCIATED WITH A WINDOW OR DOOR REPLACEMENT NOTED HEREIN, NO MODIFICATIONS TO THE EXTERIOR FINISHES OF TOWN HALL ARE PART OF THIS SCOPE OF WORK AND SHALL NOT BE MODIFIED IN ANY WAY.

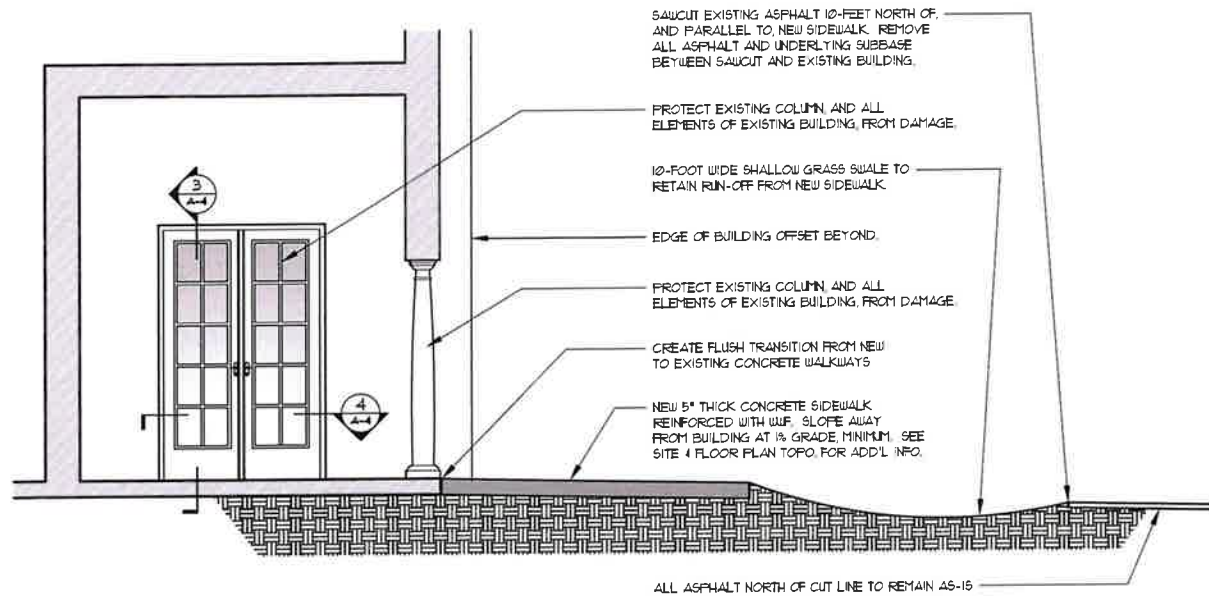
NEW DOOR THRESHOLD TO BE FROM DOOR MANUFACTURER, AND HAVE THE SHALLOWEST WIND LOAD AND ADA COMPLIANT PROFILE.

REPLACE EXISTING EAST PAIR OF DOORS WITH AN EXACT REPLICA SINGLE LEAF OUTWARD SWINGING PAINTED STAINLESS STEEL AND IMPACT RATED CLEAR GLASS CUSTOM ASSEMBLY DOOR FROM AMERICA STEEL, OR AN EQUIVALENT MANUFACTURER.

SEE SITE PLAN FOR NEW RAISED CONCRETE WALKWAY THAT CONNECTS EAST PORCH TO WEST PARKING LOT AS AN ADA COMPLIANT ACCESSIBLE ROUTE TO THE COMMISSION CHAMBERS.



1 PARTIAL EAST ELEVATION - EXISTING
SCALE 3/8"=1'-0"



4 SECTION LOOKING WEST
SCALE 3/8"=1'-0"

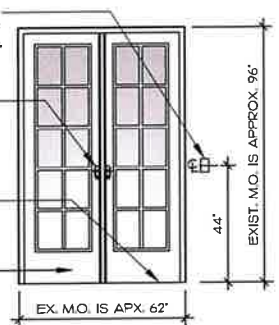
THREE ARCHED FIXED TRANSOM WINDOWS TO BE REPLACED WITH FBC WIND LOAD COMPLIANT MATCHING UNITS. SEE PARTIAL EAST ELEVATION AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.

ELEC. DOOR OPENER TO BE 6" MIN. FROM EDGE OF MASONRY OPENING WITH A CENTERLINE OF 44" AFF.

PAIR OF DUMMY LEVER HANDLES TO MATCH EXISTING. PROVIDE MATCHING SETS INSIDE AND OUT.

ADA COMPLIANT THRESHOLD BY DOOR MANUFACTURER

PAINTED SS DOOR - SEE SPEC'S AND DETAILS



3 DOOR & WINDOW TYPES
SCALE 3/8"=1'-0"



PLEASE NOTE:
EXCERPTS FROM THE ORIGINAL ARCHITECTURAL DRAWINGS PREPARED BY BRUCE KITCHELL IN THE 1970s ARE USED HEREIN WITH PERMISSION FROM THE TOWN OF LAKE PARK. THE GENERAL CONTRACT SHALL NOTIFY THE ARCHITECT OF THIS RENOVATION OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND THE ORIGINAL KITCHELL DRAWINGS SO ADJUSTMENTS CAN BE MADE PRIOR TO THE VARIATIONS CREATE ANY PROBLEMS OR DELAYS.

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PLOTTED	TWO	PLAT	SCALE	DESIGNED	BY	DATE	APPROVED	DATE

Timothy F. Hullihan
Digitally signed by Timothy F. Hullihan
Date: 2025.08.28
12:31:12 -04'00'

TOWN OF LAKE PARK
Town Hall Accessibility Improvements + Window/Door Replacements
535 Park Avenue, Lake Park, Florida
EXTERIOR ELEVATIONS AND MISCELLANEOUS DETAILS

FL Lic. #: AR0013264
JOB NUMBER C0625
CAD FILE LPTH01
SHEET NUMBER A-3
SHEET 4 OF 5

MATERIALS AND COMPONENTS SPECIFICATIONS:

1. THE FOLLOWING SETS OUT PERFORMANCE CRITERIA FOR THE REPLACEMENT DOOR AT THE NORTH-EAST CORNER OF THE COUNCIL CHAMBERS. IT SHALL BE A CUSTOM FABRICATED PAINTED STAINLESS STEEL ASSEMBLY FABRICATED BY AMERICAN STEEL MANUFACTURING IN FULL COMPLIANCE WITH THEIR FLORIDA PRODUCT APPROVAL FL7348J, AND SHALL MATCH EXISTING DOOR IN EVERY RESPECT.
2. ALL HARDWARE AND ACCESSORIES SHALL BE INSTALLED TO COMPLY WITH THE BEST-PRACTICE STANDARDS ESTABLISHED BY THE BMA AND ANSI. THE QUALITY OF THE FINISHED RESULTS SHALL MEET OR EXCEED THE HIGHEST AND BEST PRACTICES ACCEPTED BY SEASONED INDUSTRY EXPERTS AND TECHNICIANS.
3. ALL HARDWARE ASSEMBLIES SHALL BE SELECTED BY THE OWNER AND/OR ARCHITECT WITH THE ASSISTANCE OF THE GC. SPECIAL CARE SHALL BE USED TO SELECT HISTORICALLY ACCURATE REPLACEMENTS AND/OR THE REUSE OF EXISTING HISTORICAL COMPONENTS. IN NO CASE, HOWEVER, SHALL IT BE DEEMED ACCEPTABLE TO SUBSTITUTE OR ELIMINATE HARDWARE COMPONENTS FROM EXTERIOR DOORS THAT ARE ESSENTIAL TO THE MANUFACTURER'S STATE OF FLORIDA PRODUCT APPROVAL UNLESS EQUAL OR GREATER STRUCTURAL CHARACTERISTICS CAN BE PROVEN.
4. THE FOLLOW IS A LIST OF THE HARDWARE:
- KEY OPERATED 3-POINT LOCKING SYSTEM (HEAD, JAMB AND SILL) AT NORTH SIDE OF DOOR.
 - 25 PAIR OF REPLICA HINGES SUITABLE FOR SUPPORTING THE WEIGHT OF THE DOOR.
 - FULLY CONCEALED MOTORIZED DOOR OPENING DEVICE. CONCEAL WITHIN DOOR HEAD.
 - ADA COMPLIANT THRESHOLD PER DETAIL 3/A4.
 - ADA COMPLIANT ALUMINUM PUSH PAD ASSEMBLY AT EACH SIDE OF DOOR TO TRIGGER MOTORIZED OPENING.
 - DUMMY REPLICA LEVER HANDLES, AS NOTED ON DRAWINGS, ON INTERIOR AND EXTERIOR SIDES.
5. ALL EXTERIOR DOORS SHALL BE INSTALLED IN STRICT COMPLIANCE WITH THE MANUFACTURER'S FL PRODUCT APPROVAL FL7348J.
6. THE EXTERIOR DOORS SHALL BE INSTALLED AS A COMPLETE ASSEMBLY AND IN RECOGNITION OF THE EXISTING CONDITIONS AND HISTORIC PRESERVATION CRITERIA WITHIN WHICH IT IS TO BE INSTALLED.
7. COORDINATE ALL HARDWARE STYLES, FUNCTIONS, KEYING, FINISH, ACCESSORIES AND QUANTITIES WITH THE OWNER AND ACCEPTED INDUSTRY STANDARDS PRIOR TO ORDERING.
8. COORDINATE OWNER'S SECURITY REQUIREMENTS WITH RESPECT TO DOOR FUNCTION AND PRE-WIRING. AS INDICATED IN THE DRAWINGS, THE CUSTOM DOOR IS REPLACING A PAIR OF FRENCH DOORS WITH A LARGE SINGLE LEAF SWING DOOR. ITS GENERAL REQUIREMENTS ARE OUTLINED BELOW. HOWEVER, ONLY A SINGLE SOURCE FOR THE DOOR WILL BE PERMITTED (NO SUBSTITUTES) UNLESS THE GC CAN DEMONSTRATE EQUAL STRENGTH, QUALITY AND APPROPRIATENESS FOR THIS UNIQUE APPLICATION.
- A. MANUFACTURER AND INSTALLER, AMERICAN STEEL MANUFACTURING, INC.
- B. FACTORY PAINTED STAINLESS STEEL FINAL COLOR TO BE A CUSTOM MATCH TO EXISTING, AND BE THE MANUFACTURER'S HIGHEST GRADE EXTERIOR COATING SYSTEM.
- C. GLASS CLEAR LAMINATED IN COMPLIANCE WITH MANUFACTURER'S FL PRODUCT APPROVAL.
- D. THRESHOLD BY MANUFACTURE TO BE INSTALLED IN FULL COMPLIANCE WITH THE ADA.
- E. THE NUMBER OF HINGE PAIRS (25 MINIMUM, OR 5 TOTAL) SHALL BE DETERMINED BY THE DOOR MANUFACTURER USING THE DOOR'S WEIGHT AND STRENGTH OF THE EXISTING SUBSTRATE TO SUPPORT THE DOOR.
- F. MOTORIZED DOOR OPERATION SHALL BE VIA A FULLY CONCEALED OVER-HEAD OPERATOR.
10. PROVIDE WEATHER-STRIPPING AS NEEDED TO PREVENT WATER INTRUSION FROM HARD BLOWING RAIN.
11. PROVIDE SILENCERS AND STOPS (WALL OR FLOOR MOUNTED).
12. AS NOTED ABOVE, THE GC SHALL COORDINATE ALL LOCKING AND SECURITY DEVICES ASSOCIATED WITH PUSH BUTTON DOOR OPERATION TO PREVENT DAMAGE TO MOTOR WHEN DOOR IS LOCKED OR UNLOCKED.
13. ALL NEW ELECTRICAL SHALL BE FULLY CONCEALED FROM VIEW. NO EXPOSED CONDUIT PERMITTED.

INTERIOR FINISHES

1. EXISTING INTERIOR FINISHES POTENTIALLY IMPACTED BY THE SCOPE OF WORK SHALL BE PROTECTED FROM DAMAGE.
2. COMPLETE RESTORATION OF DAMAGED AREAS TO ORIGINAL CONDITION IS THE GC'S RESPONSIBILITY.
3. INTERIOR FINISHES ADJACENT TO A DOOR OR WINDOW REPLACEMENT THAT ARE IN NEED OF REPAIR OR REPAINTING, DUE IN NO PART TO THE GC'S WORK, SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT FOR INCORPORATION INTO THE SCOPE OF WORK.
4. EXISTING INTERIOR WOOD TRIM AND WALL FINISHES THAT ARE NECESSARILY REMOVED OR ALTERED FOR A WINDOW OR DOOR REPLACEMENT SHALL BE RESTORED TO ORIGINAL CONDITION.
5. EXISTING EXTERIOR STONE OR PLASTER TRIM AND WALL FINISHES THAT ARE NECESSARILY REMOVED OR ALTERED FOR A WINDOW OR DOOR REPLACEMENT SHALL BE RESTORED TO ORIGINAL CONDITION.
6. THE USE OF WALL COVERING ON EXTERIOR WALLS IS STRONGLY RECOMMENDED AGAINST.

FIXED GLAZING SYSTEMS, WINDOWS AND DOORS

1. FIXED WINDOW ASSEMBLIES USE KOLBE AND THE KOLBE WILLWORK COMPANY, INC. AS THE BASIS OF DESIGN. SEE SHEET A-3 FOR ADDITIONAL INFORMATION.
2. THE FOLLOWING NOAS OR SOPFA NUMBERS SHALL GUIDE THE PRODUCT SPECIFICATIONS AND INSTALLATION IN ADDITION TO THE DETAILS CONTAINED IN THESE DOCUMENTS:
- FIXED ARCH WINDOWS: FL 14782, INCLUDING ALL CURRENT REVISIONS AND UPDATES.
 - OUT SWINGING FRENCH DOOR: FL 1652, INCLUDING ALL CURRENT REVISIONS + UPDATES (ADD ALTERNATE).
 - ANY SUBSTITUTES SHALL MEET / EXCEED IMPACT AND WIND LOADING CAPACITIES OF LISTED SYSTEMS.
3. THE SYSTEMS AND THEIR TESTED PRODUCT APPROVALS AND/OR PERFORMANCE STANDARDS ARE THE MINIMUM REQUIREMENTS OF ANY SUBSTITUTE SYSTEM PROPOSED BY THE CONTRACTOR. ALTERNATE MANUFACTURES SHALL MEET OR EXCEED THE WIND PRESSURE RATING, IMPACT CAPACITY, AND MAXIMUM AIR AND WATER INFILTRATION OF THE BASE DESIGN AND HAVE AN APPROVED SOPFA DEMONSTRATING SUCH COMPLIANCE.
4. IN ADDITION TO THE ABOVE, THE FOLLOWING QUALITIES OF THE SPECIFIED KOLBE WINDOWS SHALL BE PRESENT IN ANY KOLBE WINDOW, OR PROPOSED WINDOW SUBSTITUTION TO BE CONSIDERED EQUAL:
- INTERIOR GLAZED
 - GLAZED WITH CLEAR HISTORICALLY COMPATIBLE 1/2" THICK LAMINATED IMPACT RATED GLASS.
 - EXTRUDED ALUMINUM CLADDING WITH TRADITIONAL STYLE AND RAIL DESIGN.
 - ALL ALUMINUM COMPONENTS TO RECEIVE 701 FLOUROPOLYMER COATING WITH A 20-YEAR WARRANTY SPECIFIC TO THIS PROJECT AND LOCATION.
 - 10-YEAR WARRANTY ON ENTIRE ASSEMBLY SPECIFIC TO THIS PROJECT AND LOCATION.
 - MUTTINGS TO BE ON BOTH SIDES OF GLASS TO CREATE A THRU-GLASS APPEARANCE AND BE CUSTOM FABRICATED TO MATCH MUTTINGS AT OTHER RECENTLY REPLACED WINDOWS.
 - A CUSTOM COLOR MATCH FOR ALL EXTERIOR CLADDING IS REQUIRED. IT SHALL MATCH OTHER RECENTLY REPLACED WINDOW UNITS.
5. INTERIOR WOOD SURFACES SHALL BE FIELD PAINTED TO MATCH SIMILAR ADJACENT WINDOWS OR DOORS. THE OWNER OR ARCHITECT SHALL APPROVE COLOR SAMPLE BEFORE PAINTING.
6. REFER TO WIND PRESSURE RESISTANCE REQUIREMENTS PROVIDED ELSEWHERE IN THESE DOCUMENTS.
7. INSTALL ALL ASPECTS OF THE WINDOW SYSTEMS IN STRICT COMPLIANCE WITH THE MANUFACTURER'S SPECIFICATIONS, NOA AND/OR FL PRODUCT APPROVAL.
8. WINDOW UNIT SHALL BE WATER TESTED VIA A CERTIFIED TESTING COMPANY WHO CAN PERFORM TESTS USING ASTM PROTOCOLS AND WILL CERTIFY COMPLIANCE OR FAILURE RELATIVE TO THE MANUFACTURER'S SPECIFICATION REGARDING WATER AND AIR INFILTRATION. IN THE CASE OF FAILURE, TAKE WHATEVER REMEDIAL ACTION IS RECOMMENDED BY THE MANUFACTURER, TESTING COMPANY AND / OR INDEPENDENT 3RD PARTY EXPERT, AND RETEST. CONTINUE THE TESTING / REPAIR PROCESS UNTIL THE WINDOW PASSES THE TESTING PROTOCOLS AND IS CERTIFIED BY THE TESTING COMPANY.
9. GLAZING:
- ALL GLAZING SHALL BE 1/2" LAMINATED IMPACT RESISTANT, OR BE OF A SIMILAR TYPE AND NATURE LISTED IN THE MANUFACTURER'S NOA OR FLORIDA PRODUCT APPROVAL (SOPFA).
 - ALL GLAZING SHALL APPEAR EQUALLY CLEAR TO THE ORIGINAL HISTORICAL WINDOWS BEING REPLACED, HAVE AT LEAST THE MINIMUM U-VALUE AND SHGC REQUIRED BY THE FBC, AND A VTL COMPARABLE TO GLASS.
 - NO LOW-E GLASS, OR OTHER GLASS COATINGS THAT WILL CREATE A COLOR TINT WILL BE PERMITTED.
10. ALL FASTENERS SHALL BE INSTALLED IN THE SIZE, DEPTH, SPACING, TYPE, MATERIAL, STRENGTH AND EMBEDMENT REQUIRED BY THE MANUFACTURER'S SOPFA.
11. FIELD MEASUREMENT OF ACTUAL OPENINGS SHALL BE MADE PRIOR TO MANUFACTURING AND FABRICATING ANY OF THE SYSTEM COMPONENTS.
12. IT SHOULD BE ASSUMED THAT ALL ROUGH OPENINGS WILL NOT MATCH STANDARD KOLBE WINDOW UNITS, AND, THEREFORE, CUSTOM SIZES ARE REQUIRED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE PRECISE MEASURING AND ORDERING OF WINDOWS AND DOORS SO MAINTAINING THE ORIGINAL DESIGN AND APPEARANCE OF THE HOME IS ACHIEVED.
13. ALL WATERPROOFING NOTED IN THE DETAILS SHALL BE INSTALLED PRIOR TO THE INSTALLATION OF THE WINDOWS AND EXTERIOR DOORS.

STUCCO

1. USE ONLY PORTLAND CEMENT PLASTER THAT HAS BEEN PREPARED ON-SITE ON THE DAY OF USE.
2. EXTERIOR STUCCO IS A VENEER APPLICATION OVER EXISTING STUCCO. THIS SHALL BE ACHIEVED BY ATTACHED NEW GALVANIZED METAL LATH TO EXISTING WOOD SUBSTRATE. ALTERNATELY, IF THE GC CAN DETERMINE THAT THE EXISTING LATH BENEATH ORIGINAL STUCCO IS SOUND AND CAN ACCEPT THE NEW VENEER, ONLY A BONDING AGENT WILL BE NEEDED TO BOND NEW STUCCO TO OLD.
3. USE A 2 OR 3-COAT PROCESS TO ACHIEVE MINIMUM DESIRED VENEER THICKNESS. IN ALL CASES, PROTECT EACH COAT FROM RAPID HYDRATION AND OTHER SOURCES OF CRACKING THAT WOULD BE REASONABLY KNOWN TO AN EXPERIENCED APPLICATOR.
4. SCHEDULE A PRE-WORK CONFERENCE WITH THE ARCHITECT IF DESIRED.
5. DO NOT PERMIT PAINTING OF THE STUCCO UNTIL IT HAS FULLY CURED.

SEALANTS

1. USE ONLY SEALANTS MANUFACTURED BY DOW CHEMICAL.
2. OBTAIN COMPATIBILITY LETTERS FROM DOW FOR EACH SEALANT TYPE PROPOSED TO BE APPLIED TO EACH GIVEN SURFACE MATERIAL.
3. CONSULT THE LOCAL TECHNICAL REPRESENTATIVE FROM DOW CHEMICAL TO DEVELOP A SCHEDULE FOR ALL EXTERIOR SEALANTS.

INTERIOR PAINTING

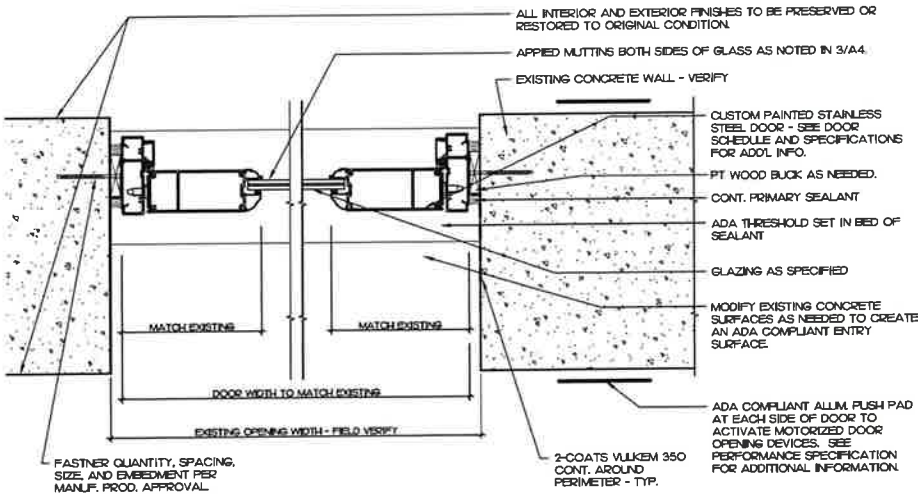
1. ONLY WHEN REQUIRED FOR REPAIR OR REPLACEMENT OF EXISTING INTERIOR SURFACE.
2. USE ONLY PAINT PRODUCTS THAT ARE COMPATIBLE WITH EXISTING PAINT TYPES.
3. PRECISELY MATCH EXISTING COLORS, AND REPAINT EXISTING SURFACE TO NEAREST CONCAVE CORNERS.
4. WOOD SURFACES REQUIRING PAINTING SHALL BE SANDED AND SEALED, PRIMER AND THEN PAINTED WITH 2 COATS OF COMPATIBLE PAINT.
5. WOOD SURFACES REQUIRING STAINING SHALL BE SANDED AND SEALED AND THEN STAINED TO MATCH EXISTING. GC SHALL PREPARE STAINED WOOD SAMPLE FOR APPROVAL BY THE OWNER AND MATCH EXISTING EXACTLY.
6. IN ALL CASES, THE COLORS OF WALLS, TRIM AND ACCESSORIES SHALL BE AS DIRECTED BY THE OWNER OR ARCHITECT.
7. PAINT SHALL BE FROM EITHER BENJAMIN MOORE, PITTSBURGH PAINTS OR SHERWIN WILLIAMS. CONSULT THE LOCAL TECHNICAL REPRESENTATIVE OF THE PAINT MANUFACTURER AND OBTAIN A WRITTEN RECOMMENDATION SCHEDULE FOR THE FINISH AND PRIMER COATS FOR EACH OF THE RESPECTIVE MATERIALS AND SURFACES.

EXTERIOR PAINTING

1. THE EXTERIOR PAINTING IN THE SCOPE OF WORK CONSISTS OF ALL NEW STUCCO SURFACES, WOOD TRIM, CEILINGS, COLUMNS AND ACCESSORIES, AND ALL OTHER MISCELLANEOUS COMPONENTS WITHIN EXTERIOR WALLS UNLESS FACTORY FINISHED OR NOT PERMITTED TO BE PAINTED BY THE MANUFACTURER.
2. THE STUCCO PORTIONS OF THE BUILDING SHALL BE THOROUGHLY CURED PRIOR TO THE APPLICATION OF PAINT. ONCE CURED FOR THE MINIMUM TIME PERIOD RECOMMENDED BY THE PAINT MANUFACTURER, ALL STUCCO SURFACES SHALL BE PRIMERED AND THEN PAINTED WITH 2 COATS OF ACRYLIC PAINT.
3. ALL EXTERIOR WOOD COMPONENTS SCHEDULED FOR PAINTING SHALL BE THOROUGHLY PRIMERED WITH AN ACRYLIC WOOD PRIMER AND THEN PAINTED WITH 2 FINISH COATS OF ACRYLIC PAINT SUITABLE FOR EXTERIOR WOOD APPLICATIONS.
4. ALL EXTERIOR WOOD COMPONENTS SCHEDULED FOR STAINING SHALL BE SANDED AND SEALED AS RECOMMENDED BY STAIN MANUFACTURER. STAINING SHALL MATCH OWNER'S SAMPLE AND THE GC SHALL PREPARE SAMPLES FOR APPROVAL BY THE OWNER PRIOR TO COMMENCEMENT OF WORK. ALL STAINED WOOD COMPONENTS SHALL RECEIVE A CLEAR SEALER AS RECOMMENDED BY THE STAIN MANUFACTURER OR PAINTING CONTRACTOR.
5. IN ALL CASES, THE COLORS OF WALLS, TRIM AND ACCESSORIES SHALL FOLLOW THE HISTORIC COLOR SCHEDULE PREPARED JOINTLY BY THE OWNER AND ARCHITECT.
6. PAINT SHALL BE FROM EITHER BENJAMIN MOORE, PITTSBURGH PAINTS OR SHERWIN WILLIAMS. CONSULT THE LOCAL TECHNICAL REPRESENTATIVE OF THE PAINT MANUFACTURER AND OBTAIN A WRITTEN RECOMMENDATION SCHEDULE FOR THE FINISH AND PRIMER COATS FOR EACH OF THE RESPECTIVE MATERIALS AND SURFACES.

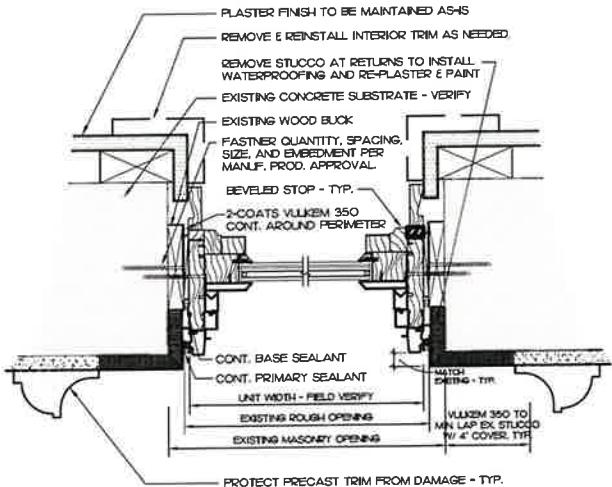
SUPPLEMENTAL BIDDING INSTRUCTION

1. PLEASE SEE PLAN SHEET A-2 FOR INSTRUCTIONS REGARDING AN ALTERNATE BID ITEM.
2. THE OPTION TO ADD AN ADDITIONAL REPLACEMENT DOOR SHALL BE OFFERED FOR A FIXED PRICE TO BE ESTABLISHED AS A SEPARATE LINE ITEM IN ADDITION TO THE BASE BID.
3. THE TOWN OF LAKE PARK WILL HAVE THE OPTION TO AWARD THE CONTRACT WITH OR WITHOUT THE ALTERNATE ITEM.

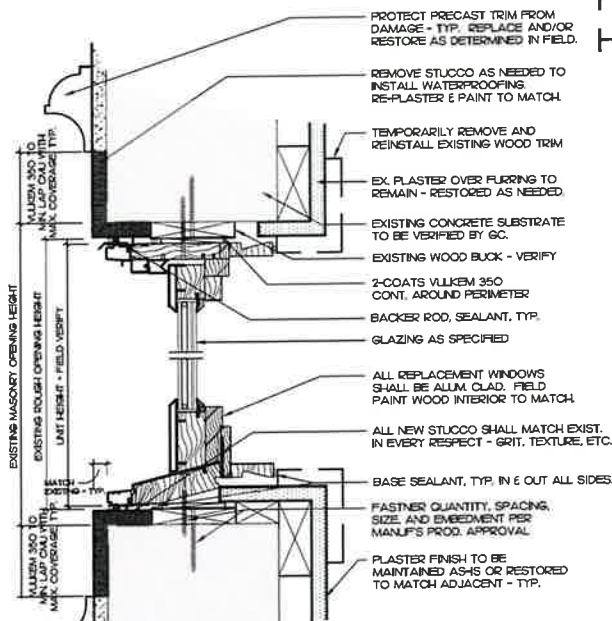


4 TYP. JAMB - ADA REPLACEMENT DOOR
SCALE 3/4"=1'

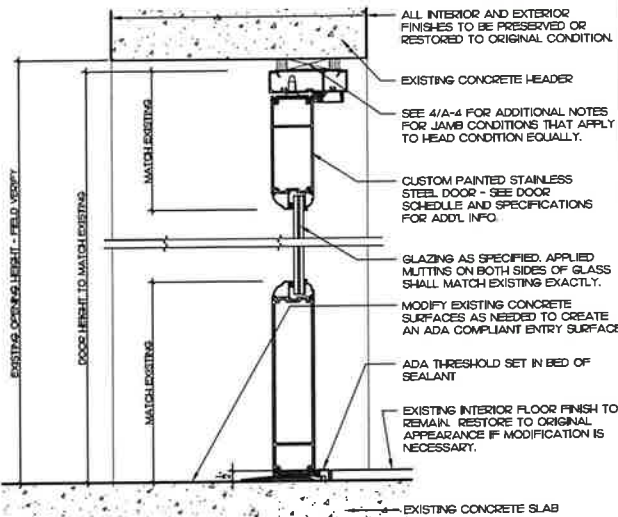
PLEASE NOTE:
EXCERPTS FROM THE ORIGINAL ARCHITECTURAL DRAWINGS PREPARED BY BRUCE KITCHELL IN THE 1920s ARE USED HEREIN WITH PERMISSION FROM THE TOWN OF LAKE PARK. THE GENERAL CONTRACT SHALL NOTIFY THE ARCHITECT OF THIS RENOVATION OF ANY DISCREPANCIES BETWEEN THESE DRAWING AND THE ORIGINAL KITCHELL DRAWINGS SO ADJUSTMENTS CAN BE MADE PRIOR TO THE VARIATIONS CREATE ANY PROBLEMS OR DELAYS.



1 TYP. JAMB - REPLACEMENT WINDOWS
SCALE 3/4"=1'



2 HEAD / SILL REPLACEMENT WINDOWS
SCALE 3/4"=1'



3 HEAD / SILL ADA REPLACEMENT DOOR
SCALE 3/4"=1'

REVISION	DATE	BY	APPV	DATE
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Timothy F. Hullihan
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TOWN OF LAKE PARK
Town Hall Accessibility Improvements + Window/Door Replacements
535 Park Avenue, Lake Park, Florida
SPECIFICATIONS AND MISCELLANEOUS DETAILS

FL Lic. #: AR0013264
JOB NUMBER C0625
CAD FILE LPTH01
SHEET NUMBER A-4
SHEET 5 OF 5