



**TOWN OF LAKE PARK
COMMUNITY DEVELOPMENT DEPARTMENT**

APPLICATION FOR SITE PLAN REVIEW OR AMENDMENT

Please call (561)881-3319 for submittal fees

*****For Planned Unit Development (PUD) applications, please refer to Section 78-77 of the
Town Code of Ordinances for additional requirements*****

Project Name: 1220 10th Street
Project Address: 1220 10th Street
Property Owner: JS 1220 10th Street, LLC

APPLICANT INFORMATION:

Applicant Name: JS 1220 10th Street, LLC
Applicant Address: 701 US Highway One, Suite 402, North Palm Beach, FL 33408
Phone: 561-575-9557 **Fax:** _____ **E-Mail:** george@2gho.com

SITE INFORMATION:

General Location: west side of 10th Street Lake Park
Address: 1220 10th Street
Zoning District: C-2 **Future Land Use:** Commercial **Acreage:** 2.77
Property Control Number (PCN): 36-43-42-20-01-123-0030

ADJACENT PROPERTY:

DIRECTION	ZONING	BUSINESS NAME	USE
North	C-2	O'REILLY AUTO PARTS	AUTOMOTIVE
East	C-1 AND C-2	LUMINOUS MEALS AND CAMILLA SQUARE	COMMERCIAL
South	C-2	FPL	UTILITY
West	ROW AND C-2	RAILROAD TRACKS AND CEMEX	COMMERCIAL

JUSTIFICATION:

Information concerning all requests (attach additional sheets if needed)

1. Please explain the nature of the request:

SEE ATTACHED NARRATIVE

2. What will be the impact of the proposed change to the surrounding area?

SEE ATTACHED NARRATIVE

3. How does the proposed Project comply with the Town of Lake Park's zoning requirements?

SEE ATTACHED NARRATIVE

LEGAL DESCRIPTION:

The subject property is located approximately _____ mile(s) from the intersection of _____, on the _____ north, _____ east, _____ south, ^x _____ west side of the 10TH STREET (street/road).

Legal Description:

SEE ATTACHED SURVEY

I hereby certify that I am the owner(s) of record of the above described property or that I/we have written permission from the owner(s) of record to request this action.



OWNER/APPLICANT Signature

5-28-24

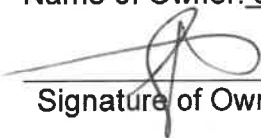
Date

CONSENT FORM
Statement of Ownership and Designation of Authorized Agent

Before me, the undersigned authority, personally appeared John Staluppi, who,
being by me first duly sworn, on oath deposed and says:

1. That he is the Authorized Representative of JS 1220 10th Street, LLC, the fee simple title holder of the property described in the attached Legal Description.
2. That he is requesting an application for Special Exception and Site Plan Review in the Town of Lake Park, Florida.
3. That he has appointed George G. Gentile and 2GHO, Inc. to act as authorized agent on his/her behalf to accomplish the above project.

Name of Owner: JS 1220 10th Street, LLC


Signature of Owner

John Staluppi (Manager)

By: Name/Title

1220 10th Street
Street Address

Lake Park, FL, 33403
City, State, Zip Code

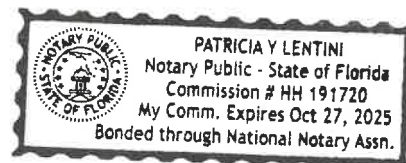
561-575-9557
Telephone Number

george@2gho.com
Email Address

Sworn and subscribed before me this 22nd day of May, 2024


Notary Public

My Commission Expires:



STAFF REVIEW: SUBMIT ONE COMPLETE SET IN HARD COPY AND ONE AS AN ELECTRONIC COPY.

PLANNING BOARD REVIEW: UPON THE APPROVAL OF ALL GOVERNING AGENCIES, PLEASE SUBMIT ONE ELECTRONIC COPY AND SIX (6) COMPLETE SETS OF THE REQUIRED DOCUMENTS FOR FINAL REVIEW



PLEASE DO NOT DETACH FROM APPLICATION.

SIGNATURE REQUIRED BELOW.

Please be advised that Section 51-6 of the *Town of Lake Park Code of Ordinances* provides for the Town to be reimbursed, in addition to any application or administrative fees, for any supplementary fees and costs the Town incurs in processing development review requests.

These costs may include, but are not limited to, advertising and public notice costs, legal fees, consultant fees, additional Staff time, cost of reports and studies, NPDES stormwater review and inspection costs, and any additional costs associated with the building permit and the development review process.

For further information and questions, please contact the Community Development Department at 561-881-3320.

9/13/21

I, see attached consent, have read and understand the regulations above regarding cost recovery.



Property Owner Signature

5/6/2024

Date



**TOWN OF LAKE PARK
COMMUNITY DEVELOPMENT DEPARTMENT**

APPLICATION FOR SPECIAL EXCEPTION REVIEW

Applicant/Agent: JS 1220 10th Street, LLC/George G. Gentile Agent
Address: c/o 1907 Commerce Lane Suite 101 Jupiter FL 33458
Telephone: 561-575-9557 Fax: 561-575-5260
E-mail : george@2gho.com/alec@2gho.com

- ☐ Owner
☒ Agent (Attach Agent Authorization Form)

Owner's Name
(if not Applicant): JS 1220 10th Street, LLC
Address: 1220 10th Street, Lake Park, FL 33403
Telephone: see agent info Fax: _____
E-Mail : george@2gho.com

Property Location: 1220 10th Street
Legal Description: See attached legal
Property Control Number: 36-43-42-20-01-123-0030

Future Land Use: Commercial Zoning: C-2
Acreage: 2.77 Square Footage of Use: approx. 20,000 s.f.
Proposed Use: motor vehicle sales and storage warehouse

Zoning/Existing Use of Adjacent Properties:

North:	<u>C-2</u>	South:	<u>C-2</u>
East:	<u>C-1</u>	West:	<u>C-4</u>

APPLICATION REQUIREMENTS:

1. Please discuss how the Special Exception use is consistent with the goals, objectives, and policies of the Town's Comprehensive Plan.

SEE ATTACHED PROJECT NARRATIVE.

2. Please discuss how the proposed Special Exception is consistent with the land development and zoning regulations and all other portions of the Town of Lake Park Code of Ordinances.

SEE ATTACHED PROJECT NARRATIVE.

3. Please explain how the proposed Special Exception use is compatible with the character and use (existing and future) of the surrounding properties in its function; hours of operation; type and amount of traffic to be generated; building location; mass; height and setback; and other relevant factors peculiar to the proposed Special Exception use and the surrounding property.

SEE ATTACHED PROJECT NARRATIVE.

4. Please explain how the establishment of the proposed Special Exception use in the identified location does not create a concentration or proliferation of the same or similar type of Special Exception use, which may be deemed detrimental to the development or redevelopment of the area in which the Special Exception use is proposed to be developed.

SEE ATTACHED PROJECT NARRATIVE.

5. Please explain how the Special Exception use does not have a detrimental impact on surrounding properties based on; (a) The number of persons anticipated to be using, residing, or working on the property as a result of the Special Exception use; (b) The degree of noise, odor, visual, or other potential nuisance factors generated by the Special Exception use; (c) The effect on the amount and flow of traffic within the vicinity of the proposed Special Exception use.

SEE ATTACHED PROJECT NARRATIVE.

6. Please explain how the proposed Special Exception use meets the following requirements; (a) does not significantly reduce light and air to adjacent properties; (b) does not adversely affect property values in adjacent areas; (c) would not be deterrent to the improvement, development or redevelopment of surrounding properties in accord with existing regulations; (d) does not negatively impact adjacent natural systems or public facilities, including parks and open spaces; and (e) provides pedestrian amenities, including, but not limited to, benches, trash receptacles, and/or bicycle parking.

SEE ATTACHED PROJECT NARRATIVE.

Please provide the following:

1. Fees:

1. Special Exception Fees:

Structure Size:

0 - 14,999 sq. ft. = \$1,500.00

+ 15,000 sq. ft. = \$3,000.00

2. Minimum Initial Escrow Fee: \$1,500.00

Advertising costs:

The petitioner shall pay all costs of publication of Public Hearing required in a newspaper of general circulation within the Town. This cost will be deducted from the escrow.

2. Property Owners List:

A complete list of property owners and mailing addresses of all property owners within 300 feet of the subject parcel as recorded in the latest official Palm Beach County Tax Roll. Certified Mail will be sent to all owners within 300 feet; postage will be deducted from escrow.

3. Location Map

4. Site Plan, Landscape Plan
Architectural Plans

A. Site plan drawn to scale indicating:

1. size of the buildings;
2. intended floor area ratios;
3. quantity of parking spaces;
4. intended access road(s);
5. the general type of construction in accordance with the Florida Building Code and the Codes of the Town of Lake Park; and,
6. availability and approximate location of utilities

B. Landscape Plan showing proposed improvements, to scale

C. Architectural plans including floor plan and building elevations, to scale

5. Site Survey:

A certified boundary survey by a surveyor registered in the State of Florida containing an accurate legal description of the property and a computation of the total acreage of the parcel.

6. Applicants statement:

On the Applicants letterhead please provide a statement of interest in the property.

7. Warranty Deed:

A Warranty Deed with an affidavit from the Applicant stating that the Deed represents the current ownership.

8. Traffic Analysis:

A Traffic Impact Analysis, if required by the Town Engineer or Staff.

***If special exception is for new development on a vacant parcel, please refer to requirements for site plan approval and site plan checklist as well.

CONSENT FORM
Statement of Ownership and Designation of Authorized Agent

Before me, the undersigned authority, personally appeared John Staluppi, who,
being by me first duly sworn, on oath deposed and says:

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2. That he is requesting an application for Special Exception and Site Plan Review in the Town of Lake Park, Florida.
3. That he has appointed George G. Gentile and 2GHO, Inc. to act as authorized agent on his/her behalf to accomplish the above project.

Name of Owner: JS 1220 10th Street, LLC


Signature of Owner

John Staluppi (Manager)

By: Name/Title

1220 10th Street
Street Address

Lake Park, FL, 33403
City, State, Zip Code

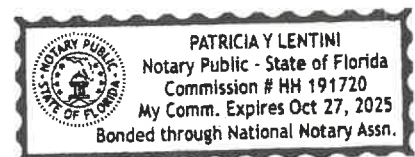
561-575-9557
Telephone Number

george@2gho.com
Email Address

Sworn and subscribed before me this 22nd day of May, 2024.


Notary Public

My Commission Expires:



George G. Gentile, PLA ■ Emily M. O'Mahoney, PLA ■ M. Troy Holloway, PLA ■ Dan Siemsen, PLA ■ Dylan Roden, PLA

1220 10th Street
Site Plan Amendment/Special Exception
Town of Lake Park
Project Narrative
May, 2024
rev. July 10, 2025

REQUEST/LOCATION:

2GHO, Inc. as agent, respectfully request review and approval of the subject site plan amendment and “amended” special exception application(s) which will allow for the addition of two - 4,476-sf accessory storage warehouse buildings, for a total of 8,952 additional sf to the property.

The subject 2.74-acre site is located on the west side of 10th Street, north of Park Avenue in the Town of Lake Park, Florida. The subject site has a land use designation of Commercial, and a zoning designation of C-2 Commercial.

PROPERTY HISTORY:

The existing building was originally constructed in 1967 and has been many uses over the years, inclusive of a grocery store and business offices. More recently, Palm Beach Academy of Health and Beauty operated on the site. On May 17, 2023, the site received Special Exception approval for 13,420 sf storage warehouse, and 6,632 motor vehicle sales use. As noted above, this application simply seeks to add an additional 8,952 sf of an already approved special exception use (storage warehouse). A chart depicting the existing and proposed uses for the site is provided below:

Existing Uses (SF)	Proposed Uses (SF)	Total
Motor Vehicle Sales (6,632)	-	6,632
Warehouse/Storage (13,420)	Warehouse/Storage (8,952)	22,372
		29,004 SF

SURROUNDING ZONING AND LAND USE DESIGNATIONS:

The chart below demonstrates that the subject property is compatible with the land use and zoning of the surrounding properties.

	Existing Zoning	Existing FLU
SUBJECT PROPERTY (Existing Office Use)	C-2; Business District	Commercial
NORTH (Retail Strip Center)	C-2; Business District	Commercial
EAST	C-2; Business District	Commercial
SOUTH (FPL Service Center)	C-1; Business District	Commercial
WEST (FEC Rail /Cemex)	C-2; Business District	Commercial

PROPOSED SITE PLAN:

As the Owner continues to evaluate the operational needs of the facility, it is now proposed to add additional storage warehouse use to the site. The buildings will be concrete block base, and the facades will match that of the principal structure. The proposed buildings will have two 20 wide' entry doors that will face the internal portion of the property, and will be utilized for support storage to meet the needs of the Owner. Note, all other elements that were detailed with the previously approved special exception application will continue to function, as approved.

There will be no impact to the surrounding area, as this is an established commercial corridor. As mentioned, the new building will be used as accessory storage to support the operations inside of the principal building.

LANDSCAPE:

Currently, the site contains existing vegetation that will be removed with the placement of the two storage warehouse buildings on the property. The Owner proposes to replace the trees that will be removed at a ratio of 1" for 1". All other landscape requirements will be met, as demonstrated on the submitted landscape plan.

SPECIAL EXCEPTION USE REQUEST

As previously mentioned, motor vehicle sales, and storage warehouse uses are designated as Special Exception uses in the Town. The Owner received Special Exception approval for both of these uses on May 17, 2023; however, as this proposal contemplates adding additional square footage of storage warehouse use, the Owner requests consideration on amending the site plan. Consistent with Section 78-184 of the Town's Zoning Code, the Owner will address the required criteria set forth in 78-184(5)(b).

1. The proposed Special Exception use is consistent with the goals, objectives, and policies of the Town's Comprehensive Plan.

Future Land Use:

The subject property is designated with a Commercial Land Use;

- ❖ *In the Town's Comprehensive Plan, Table 3-4, Land Use Classification System, Commercial Land Use is defined as Lands and structures devoted primarily to the delivery, sale or otherwise transfer of goods or services on a retail basis, with a maximum F.A.R. of 2.0. This category also includes personal and professional services.*

The proposed uses are directly aligned with the Future Land Use description of commercial, as this use will allow for the delivery, and/or transfer of classic cars. Additional storage warehouse use will not create any inconsistencies with any other elements of the adopted Comprehensive Plan.

Objective 5:

As a substantially built-out community in an urbanized area, the Town shall promote redevelopment and infill development in a manner that is considerate to existing neighborhoods and uses, the built and natural environments. and neighboring jurisdictions.

The Owner's proposal is directly consistent with the Town's objective of promoting redevelopment, as the project will repurpose an existing building within a commercial core of Lake Park. Additionally, an accessory storage warehouse buildings will be added to the property that will be architecturally compatible with the principal structure.

2. Please discuss how the Special Exception use is consistent with the land development and zoning regulations and all other portions of the Town of Lake Park Code of Ordinances.

Response: Per Sec. 78-72(2)(n) of the Town's zoning code, storage warehouse use is a permitted use by Special Exception. It is important to note that the project previously received special exception approval for 13,420 sf of storage warehouse, and this request is considered an expansion to the existing special exception use.

<i>Previously Approved Storage Warehouse</i>	<i>13,420sf</i>
<i>Proposed Additional Storage Warehouse</i>	<i>8,952 sf</i>
<i>Total Storage Warehouse</i>	<i>22,372 sf</i>

With regards to consistency with the Town's code, the proposed site plan makes efficient use of the land with the placement of the proposed storage warehouse buildings in portions of the site that are underutilized. All pertinent development regulations of the C-2 zoning district are provided with the plan. Further, the plan provides for more than double the required open space by providing 35%

3. Please explain how the proposed Special Exception use is compatible with the character and use (existing and future) of the surrounding properties in its function; hours of operation; type and amount of traffic to be generated; building location; mass; height and setback; and other relevant factors peculiar to the proposed Special Exception use and the surrounding property.

The subject site is located on a major arterial roadway within the Town of Lake Park. 10th Street is a north/south roadway which traverses through several industrial, and commercial uses within the Town. The expanded storage warehouse use will not create any adverse impacts to the surrounding area.

4. Please explain how the establishment of the proposed Special Exception use in the identified location does not create a concentration or proliferation of the same or similar type of special Exception use, which may be deemed detrimental to the development or redevelopment of the area in which the Special Exception use is proposed to be developed.

Response: The approval additional storage warehouse will not cause a concentration of the same in the area. The proposed improvement seeks to enhance the property, and is designed in a cohesive manner that ties the buildings together.

5. Please explain how the Special Exception use does not have a detrimental impact on surrounding property based on: (a) the number of persons anticipated to be using, residing, or working on the property as a result of the Special Exception use; (b) the degree of noise, odor, visual, or other potential nuisance factors generated by the Special Exception use; (c) the effect on the amount of flow of traffic within the vicinity of the proposed Special Exception use.

Response: The proposed use will not create any traffic impacts, as this use will not be a high trip generator. Please refer to traffic statement which states that the added storage warehouse use has an insignificant impact on the adjacent roadways.

6. Please explain how the Special Exception use meets the following requirements; (a) does not significantly reduce light and air to adjacent properties; (b) does not adversely affect property values in adjacent areas; (c) would not be deterrent to the improvement, development or redevelopment of surrounding properties in accord with existing regulations; (d) does not negatively impact adjacent natural systems or public facilities, including parks and open spaces; and (e) provides

pedestrian amenities, including, but not limited to benches, trash receptacles, and/or bicycle parking.

Response: The expansion of the previously approved storage warehouse use, makes more efficient use of the site, and will adhere to all development standards ensuring that no adverse impacts are extended to surrounding and adjacent areas. For context; this property is in an established commercial corridor within the Town of Lake Park, and abuts railroad tracks. The proposed request WILL NOT deter any neighboring commercial businesses from redeveloping in the future should the respective owner choose. The additional 8,952 sf of storage warehouse will not impact adjacent natural systems or public facilities. Last, there are no changes to proposed public amenity areas for the previous approval, as the site will provide a trash receptacle, and bench.

CRITERIA FOR SITE PLAN REVIEW:

1. The proposed development or redevelopment is consistent with the goals, objectives and policies of the comprehensive plan.
Response: The Owner's proposal seeks to add additional square footage of storage warehouse, which was initially approved by the Town Commission in May, 2023. The proposed operations will remain consistent with the Commercial Future Land Use designation.
2. The proposed development or redevelopment is consistent with any applicable land development regulations.
Response: All applicable land development regulations are maintained with this request.
3. The proposed development or redevelopment is consistent with other regulations of this Code.
Response: The request for additional storage warehouse use remains consistent with the Owner's initial request that received special exception approval in May, 2023. All code requirements will continue to be met with this request.
4. The proposed development or redevelopment is compatible and/or consistent with the established character of a neighborhood, area, or a particular zoning district.
Response: The existing site is located an established commercial corridor. As shown on the surrounding land use and zoning table (found on page 1 of this document), the property is compatible with the surrounding area, and the proposed improvements will not create any inconsistencies within the commercial corridor.

5. The proposed development or redevelopment does not substantially increase traffic or otherwise adversely impact the roadways within the town.

Response: No traffic impacts are anticipated from this request. With this application, we have provided a traffic statement prepared by Pinder Troutman Consultants, showing no adverse traffic impacts.

6. There are adequate levels of service for all public facilities, including, but not limited to, transportation, water supply, drainage and sanitation, and that the public facilities are available concurrent with the impact expected to be created by the development or redevelopment.

Response: As this is an existing property with a structure, there will be adequate levels of service to support the Owner's request.

7. The proposed development or redevelopment does not adversely affect the light and air of adjacent properties.

Response: There will be no reduction of light and air to the surrounding properties.

8. The proposed development or redevelopment does not adversely affect property values in adjacent areas.

Response: There will be no negative impact the any property values in the adjacent area.

9. The proposed development or redevelopment would not be a deterrent to the improvement, redevelopment or development of adjacent properties in the same general area or zoning district.

Response: The Owner's request does not propose anything that that will deter any nearby properties from redeveloping.

10. The proposed development or redevelopment does not diminish the views of adjacent properties, create a substantial increase in noise, or contribute to the visual pollution in the area of the proposed development or redevelopment.

Response: No noise/visual impacts are anticipated with this proposal.

11. The proposed development or redevelopment does not negatively impact parks, open space, natural systems or public facilities in the general vicinity of the proposed development or redevelopment.

Response: No parks/public facilities will be affected with the request to add 8,952 sf of storage warehouse.

12. The proposed development or redevelopment provides pedestrian amenities, including, but not limited to, green or open spaces, benches, trash receptacles, and/or bicycle parking.

Response: The project does provide for a pedestrian amenity area, as denoted on the site plan.

Conclusion

In closing, the Owner is requesting site plan approval for additional storage warehouse use for an existing site on 10th Street. The two 4,476 sf structures will be architecturally consistent with the existing (principal) building on the property.

On behalf of the Owner, 2GHO, Inc. requests approval of the special exception application. The project managers at 2GHO, Inc. are George G. Gentile, FASLA, PLA, Dan Siemsen, PLA, and Alec Dickerson.

TYPE OF SURVEY:

- ☐ BOUNDARY
☐ ALTA/NSPS

- ☒ CONSTRUCTION
☒ TOPOGRAPHIC

- ☐ CONDOMINIUM
☐ SPECIAL PURPOSE

PURPOSE OF SURVEY (SEE GENERAL NOTES BELOW):

TREE LOCATION

BEARING REFERENCE:

NONE. RECORD INFORMATION RELIANT UPON ANGULAR DATA ONLY.
ALL ANGULAR DATA SHOWN HEREON REFERENCED THERETO.

SURVEY NOTES:
F.E.C.R.R. = FLORIDA EAST COAST RAILROAD

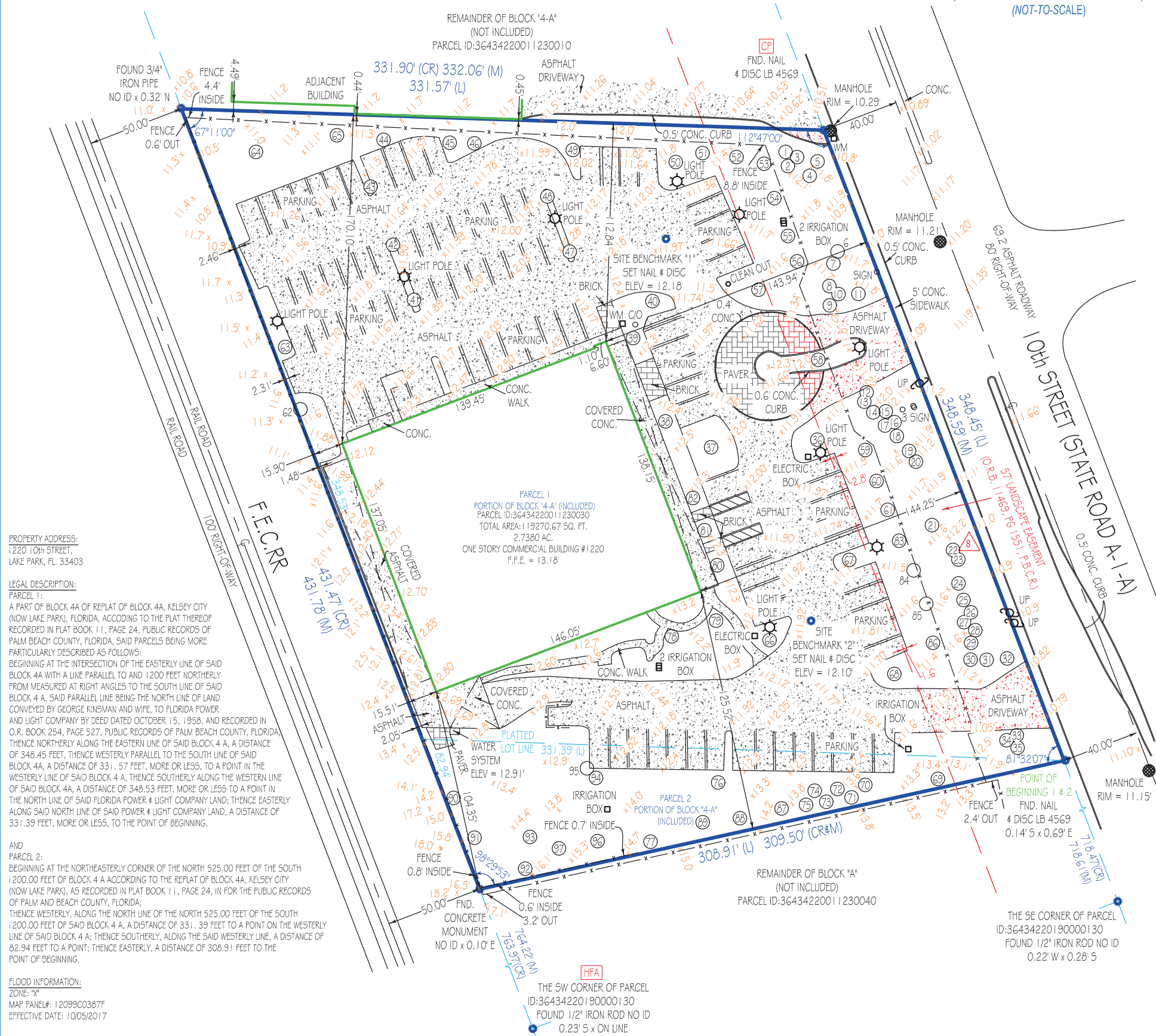
NOTE:

⊕ = TREE



AERIAL PHOTOGRAPH

(MAY NOT SHOW LATEST IMPROVEMENTS)
(NOT-TO-SCALE)



PROPERTY ADDRESS:
1220 10th STREET,
LAKE PARK, FL. 33403

LEGAL DESCRIPTION:

PARCEL 1:
A PART OF BLOCK 4A OF REPLAT OF BLOCK 4A, KELSEY CITY (NOW LAKE PARK), FLORIDA, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 11, PAGE 24, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID PARCELS BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE INTERSECTION OF THE EASTERLY LINE OF SAID BLOCK 4A WITH A LINE PARALLEL TO AND 1200 FEET NORTHERLY FROM MEASURED AT RIGHT ANGLES TO THE SOUTH LINE OF SAID BLOCK 4A, SAID PARALLEL LINE BEING THE NORTH LINE OF LAND CONVEYED BY GEORGE KINSMAN AND WIFE, TO FLORIDA POWER AND LIGHT COMPANY BY DEED DATED OCTOBER 15, 1958, AND RECORDED IN O.R. BOOK 254, PAGE 527, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, THENCE NORTHERLY ALONG THE EASTERN LINE OF SAID BLOCK 4A, A DISTANCE OF 348.45 FEET, THENCE WESTERLY PARALLEL TO THE SOUTH LINE OF SAID BLOCK 4A, A DISTANCE OF 331.57 FEET, MORE OR LESS, TO A POINT IN THE WESTERLY LINE OF SAID BLOCK 4A, THENCE SOUTHERLY ALONG THE WESTERN LINE OF SAID BLOCK 4A, A DISTANCE OF 348.53 FEET, MORE OR LESS TO A POINT IN THE NORTH LINE OF SAID FLORIDA POWER & LIGHT COMPANY LAND, THENCE EASTERLY ALONG SAID NORTH LINE OF SAID POWER & LIGHT COMPANY LAND, A DISTANCE OF 331.39 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

AND
PARCEL 2:
BEGINNING AT THE NORTHEASTERLY CORNER OF THE NORTH 525.00 FEET OF THE SOUTH 1200.00 FEET OF BLOCK 4A ACCORDING TO THE REPLAT OF BLOCK 4A, KELSEY CITY (NOW LAKE PARK), AS RECORDED IN PLAT BOOK 11, PAGE 24, IN FOR THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA;
THENCE WESTERLY, ALONG THE NORTH LINE OF THE NORTH 525.00 FEET OF THE SOUTH 1200.00 FEET OF SAID BLOCK 4A, A DISTANCE OF 331.39 FEET TO A POINT ON THE WESTERLY LINE OF SAID BLOCK 4A; THENCE SOUTHERLY, ALONG THE SAID WESTERLY LINE, A DISTANCE OF 82.94 FEET TO A POINT; THENCE EASTERLY, A DISTANCE OF 308.91 FEET TO THE POINT OF BEGINNING.

FLOOD INFORMATION:

ZONE: "X"
MAP PANEL#: 12099C0387F
EFFECTIVE DATE: 1/05/2017

"CP" = CONTROLLING POINT (POINT OF ROTATION) "HFA" = HELD FOR ALIGNMENT - ALL OTHER MONUMENTATION AND IMPROVEMENTS RELATIVE THERETO

Platted Easements & Notable Conditions (unplatted easements also listed if provided): IF APPLICABLE, RECIPIENTS OF THIS SURVEY SHOULD REVIEW THE POSITION OF ANY FENCE LINES SHOWN AND THEIR RELATIONSHIP TO THE BOUNDARY LINE.

- 57' LANDSCAPE EASEMENT ALONG EASTERLY BOUNDARY LINE OF SUBJECT LOT.

- ASPHALT DRIVEWAY CROSSES THE BOUNDARY LINE ON NORTHERLY SIDE OF LOT.

- ASPHALT DRIVEWAY, ASPHALT PARKING AND PAVER SURFACE EXTENDS THROUGH THE EASTERLY EASEMENT.

This survey has been issued by the

following Landtec Surveying office:

840 U.S. HWY 1, Suite 330

North Palm Beach, FL 33408

Office: (561) 210-9344

Email: Construction@landtecsurvey.com

www.Landtecsurvey.com

ABBREVIATION LEGEND (SOME ITEMS IN LEGEND MAY NOT APPEAR ON DRAWING):

A OR AL = ARC LENGTH
C/O = CLEANOUT
CA = CENTRAL ANGLE
CATV = CABLE TV RISER
CF = CALCULATED FROM FIELD
CH = CHORD DISTANCE
CONC. = CONCRETE
CR = CALCULATED FROM RECORD
DE = DRAINAGE EASEMENT
EL OR ELEV = ELEVATION
EM = ELECTRIC METER
F.F.E. = FINISHED FLOOR ELEV.
FIR = FOUND IRON ROD
FN = FOUND NAIL
FND = FOUND
G.F.F.E. = GARAGE FINISHED FLOOR ELEV.
L = LEGAL DESCRIPTION
M = MEASURED
OHC = OVERHEAD CABLE
P = PLAT
PC = POINT OF CURVE
PCC = POINT OF COMPOUND CURVATURE
PH = POOL HEATER
PI = POINT OF INTERSECTION
PK = PARKER KAELO
POB = POINT OF BEGINNING
POC = POINT OF COMMENCEMENT

PP = POOL PUMP
PRC = POINT OF REVERSE CURVATURE
PT = POINT OF TANGENCY
QTR = QUARTER
R = RADIUS
RNG = RANGE
ROW = RIGHT OF WAY
SEC = SECTION
TR = TELEPHONE RISER
TWP = TOWNSHIP
UE = UTILITY EASEMENT
UP = UTILITY POLE
WM = WATER METER
WV = WATER VALVE

SYMBOLS (SOME ITEMS IN LEGEND MAY NOT APPEAR ON DRAWING - NOT TO SCALE):

⊕ = UTILITY POLE
⊙ = LIGHT POLE
⊗ = CATCH BASIN
⊕ = FIRE HYDRANT
⊕ = MANHOLE
⊕ = WATER VALVE
⊕ = WELL
⊕ = CENTER LINE
⊕ = PARTY WALL
⊕ = AIR CONDITIONER
⊕ = SEPTIC LID
⊕ = ELEV. SHOT
⊕ = HANDICAP PARKING SPACE
⊕ = SEC. QTR. CORNER
⊕ = SECTION CORNER
⊕ = WWM = WATER METER

LINETYPES:

BOUNDARY
BUILDING
EASEMENT
CHAIN LINK FENCE
WOOD FENCE
PLASTIC FENCE
OVERHEAD CABLE

GENERAL NOTES:
1. THIS SURVEY IS BASED UPON RECORD INFORMATION PROVIDED BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY THIS OFFICE UNLESS OTHERWISE NOTED.
2. ANY FENCES SHOWN HEREON ARE ILLUSTRATIVE OF THEIR GENERAL POSITION ONLY. FENCE TIES SHOWN ARE TO GENERAL CENTERLINE OF FENCE. THIS OFFICE WILL NOT BE RESPONSIBLE FOR DAMAGES RESULTING FROM THE REMOVAL OF, OR CHANGES MADE TO, ANY FENCES UNLESS WE HAVE PROVIDED A SURVEY SPECIFICALLY LOCATING SAID FENCES FOR SUCH PURPOSES. DETERMINATION OF FENCE POSITIONS SHOULD BE BASED SOLELY ON THEIR PHYSICAL RELATIONSHIP TO THE MONUMENTED BOUNDARY LINES.
3. GRAPHIC REPRESENTATIONS MAY HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE MEASURED RELATIONSHIPS - DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED POSITIONS.
4. UNDERGROUND IMPROVEMENTS HAVE NOT BEEN LOCATED EXCEPT AS SPECIFICALLY SHOWN.
5. ELEVATIONS ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D. 1929) OR NORTH AMERICAN VERTICAL DATUM (N.A.V.D. 1988) AS SHOWN HEREON.
6. ALL BOUNDARY AND CONTROL DIMENSIONS SHOWN ARE FIELD MEASURED AND CORRESPOND TO RECORD INFORMATION UNLESS SPECIFICALLY NOTED OTHERWISE.
7. ANY CORNERS SHOWN AS "SET" HAVE EITHER BEEN SET ON THE DATE OF FIELD WORK, OR WILL BE SET WITHIN 2 BUSINESS WEEKS OF SAID DATE AND ARE IDENTIFIED WITH A CAP MARKED LB (LICENSED BUSINESS) #8507.

REVISIONS CONTINUED ON PAGE 2

UPDATE TOPO	Job Nr: 190233-SE	Date of Field Work : 04/09/2024	Drawn by: A.C.V.
UPDATE	Job Nr: 143136-SE	Date of Field Work : 11/03/2023	Drawn by: A.C.V.
	Job Nr: 143136-SE	Date of Field Work : 05/07/2022	Drawn by: O.S.

Elevations, if shown:

Benchmark: AD 8025

Benchmark Elev.: 16.60'

Benchmark Datum: N.A.V.D.88

Elevations on Drawing are in:

N.G.V.D.29 ☐ N.A.V.D.88 ☒

Revisions: TREE UPDATE

Job Nr.: 190233-SE

Date of Field Work: 10/12/2024

Drawn by: A.C.V. - 10/15/2024

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LANDTEC

LICENSED BUSINESS No. 8507

PAGE2OF2

TYPE OF SURVEY:

☐ BOUNDARY

☐ CONSTRUCTION

☐ CONDOMINIUM

☐ ALTA/NSPS

☐ TOPOGRAPHIC

☐ SPECIAL PURPOSE

PURPOSE OF SURVEY (SEE GENERAL NOTES BELOW):

SCHEDULE B-II TITLE COMMITMENT REVIEW FINDINGS
PER TITLE COMMITMENT ISSUED BY OLD REPUBLIC NATIONAL
TITLE INSURANCE COMPANY
DATED: 04/12/2022 AT 8:00 AM
ISSUING OFFICE FILE NO, 2022-500

ITEM NO.	COMMENTS
1	DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY, CREATED, FIRST APPEARING IN THE PUBLIC RECORDS OR ATTACHING SUBSEQUENT TO THE COMMITMENT DATE HEREOF BUT PRIOR TO THE DATE THE PROPOSED INSURED ACQUIRES FOR VALUE OF RECORD THE ESTATE OR INTEREST OR MORTGAGE THEREON COVERED BY THIS COMMITMENT. (NOT A SURVEY MATTER HEREON)
2	STANDARD EXCEPTIONS: A. GENERAL OR SPECIAL TAXES AND ASSESSMENTS REQUIRED TO BE PAID IN THE YEAR 2021 AND SUBSEQUENT YEARS. (NOT A SURVEY MATTER HEREON) B. RIGHTS OR CLAIMS OF PARTIES IN POSSESSION NOT RECORDED IN THE PUBLIC RECORDS. (NOT A SURVEY MATTER HEREON) C. ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION OR ADVERSE CIRCUMSTANCE THAT WOULD BE DISCLOSED BY AN INSPECTION OR AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND AND INSPECTION OF THE LAND. (AFFECTS AS SHOWN) D. EASEMENTS OR CLAIMS OF EASEMENTS NOT RECORDED IN THE PUBLIC RECORDS. (DOCUMENTS NOT PROVIDED) E. ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR OR MATERIAL FURNISHED, IMPOSED BY LAW AND NOT RECORDED IN THE PUBLIC RECORDS. (NOT A SURVEY MATTER HEREON)
3	ANY OWNER'S POLICY ISSUED PURSUANT HERETO WILL CONTAIN UNDER SCHEDULE B THE FOLLOWING EXCEPTION: ANY ADVERSE OWNERSHIP CLAIM BY THE STATE OF FLORIDA BY RIGHT OF SOVEREIGNTY TO ANY PORTION OF THE LAND INSURED HEREUNDER, INCLUDING SUBMERGED, FILLED AND ARTIFICIALLY EXPOSED LANDS, AND LANDS ACCRETED TO SUCH LANDS. (NOT A SURVEY MATTER HEREON)
4	ANY LIEN PROVIDED BY COUNTY ORDINANCE OR BY CHAPTER 159, F.S., IN FAVOR OF ANY CITY, TOWN, VILLAGE OR PORT AUTHORITY, FOR UNPAID SERVICE CHARGES FOR SERVICES BY ANY WATER SYSTEMS, SEWER SYSTEMS OR GAS SYSTEMS SERVING THE LAND DESCRIBED HEREIN; AND ANY LIEN FOR WASTE FEES IN FAVOR OF ANY COUNTY OR MUNICIPALITY. (NOT A SURVEY MATTER HEREON)
5	RIGHTS OF THE LESSEES UNDER UNRECORDED LEASES. (NOT A SURVEY MATTER HEREON)
6	ALL MATTERS CONTAINED ON THE PLAT OF RE-PLAT OF BLOCK 4-A KELSEY CITY (NOW LAKE PARK), FLORIDA, AS RECORDED IN PLAT (AFFECTS AS SHOWN)
7	LOT LINES, BOUNDARY LINES AND ROAD RIGHT OF WAYS AS CONTAINED ON THE PLAT OF KELSEY CITY (NOW LAKE PARK), AS RECORDED IN PLAT BOOK 8, PAGE 34, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA. (AFFECTS AS SHOWN)
8	TERMS AND CONDITIONS CONTAINED IN DECLARATION OF LANDSCAPE EASEMENT BY AND BETWEEN TOWN OF LAKE PARK, FLORIDA AND PALM BEACH LIMITED PARTNERS, LTD. (PALM BEACH POTTERY), RECORDED IN O.R. BOOK 11469, PAGE 1544, PUBLIC ISSUING OFFICE FILE NUMBER: 92903687 (AFFECTS AS SHOWN)
9	HAZARD SUBSTANCES CERTIFICATE OF INDEMNITY RECORDED IN O.R. BOOK 10104, PAGE 978, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA. (NOT A SURVEY MATTER HEREON)
10	NOTICE OF LIEN RIGHTS OF SEACOAST UTILITY AUTHORITY RECORDED IN O.R. BOOK 22953, PAGE 1631 AND NOTICE OF INTEREST RECORDED IN O.R. BOOK 26779, PAGE 403, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA. (NOT A SURVEY MATTER HEREON)
11	FOR INFORMATIONAL PURPOSES ONLY, COMMITMENT EXCEPTION #3 IS HEREBY DELETED IN ITS ENTIRETY. (NOT A SURVEY MATTER HEREON)
LEGEND	
<div><div>#</div><div>DENOTES EXCEPTION NUMBER, IF IT EFFECTS AND IS PLOTTABLE.</div></div>	

CERTIFIED TO
JS 1220 10TH STREET LLC

This survey has been issued by the following Landtec Surveying office: 840 U.S. HWY 1, Suite 330 North Palm Beach, FL 33408 Office: (561) 210-9344 Email: Construction@landtecsurvey.com www.Landtecsurvey.com	ABBREVIATION LEGEND (SOME ITEMS IN LEGEND MAY NOT APPEAR ON DRAWING): A OR AL = ARC LENGTH C/O = CLEANOUT CA = CENTRAL ANGLE CATV = CABLE TV RISER CF = CALCULATED FROM FIELD CH = CHORD DISTANCE CONC. = CONCRETE CR = CALCULATED FROM RECORD DE = DRAINAGE EASEMENT EL OR ELEV = ELEVATION EM = ELECTRIC METER F.F.E. = FINISHED FLOOR ELEV. FIR = FOUND IRON ROD FN = FOUND NAIL FND = FOUND G.F.F.E = GARAGE FINISHED FLOOR ELEV. L = LEGAL DESCRIPTION M = MEASURED OHC = OVERHEAD CABLE P = PLAT PC = POINT OF CURVE PCC = POINT OF COMPOUND CURVATURE PH = POOL HEATER PI = POINT OF INTERSECTION PK = PARKER KAELOH POB = POINT OF BEGINNING POC = POINT OF COMMENCEMENT PP = POOL PUMP PRC = POINT OF REVERSE CURVATURE PT = POINT OF TANGENCY QTR = QUARTER R = RADIUS RNG = RANGE ROW = RIGHT OF WAY SEC = SECTION TR = TELEPHONE RISER TWP = TOWNSHIP UE = UTILITY EASEMENT UP = UTILITY POLE WM = WATER METER WV = WATER VALVE	SYMBOLS (SOME ITEMS IN LEGEND MAY NOT APPEAR ON DRAWING - NOT TO SCALE): = UTILITY POLE = LIGHT POLE = CATCH BASIN = FIRE HYDRANT = MANHOLE = WATER VALVE = WATER METER = WELL = CENTER LINE = PARTY WALL = AIR CONDITIONER = SEPTIC LID = ELEV. SHOT = HANDICAP PARKING SPACE = SEC. QTR. CORNER = SECTION CORNER	LINETYPES: BOUNDARY BUILDING EASEMENT CHAIN LINK FENCE WOOD FENCE PLASTIC FENCE OVERHEAD CABLE
--	--	--	---

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I HEREBY CERTIFY THAT THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS OUTLINED IN CHAPTER 5J-17.051 & 5J-17.052 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THAT THE ELECTRONIC SIGNATURE AND SEAL (IF AFFIXED) HEREON MEETS PROCEDURES AS SET FORTH IN CHAPTER 5J-17.062, PURSUANT TO SECTION 472.025, FLORIDA STATUTES.

Elevations, if shown:

Benchmark:

Benchmark Elev.:

Benchmark Datum:

Elevations on Drawing are in:
N.G.V.D.29 ☐ N.A.V.D.88 ☐

12/03/2024 - UPDATED TREE INFO - K.T.

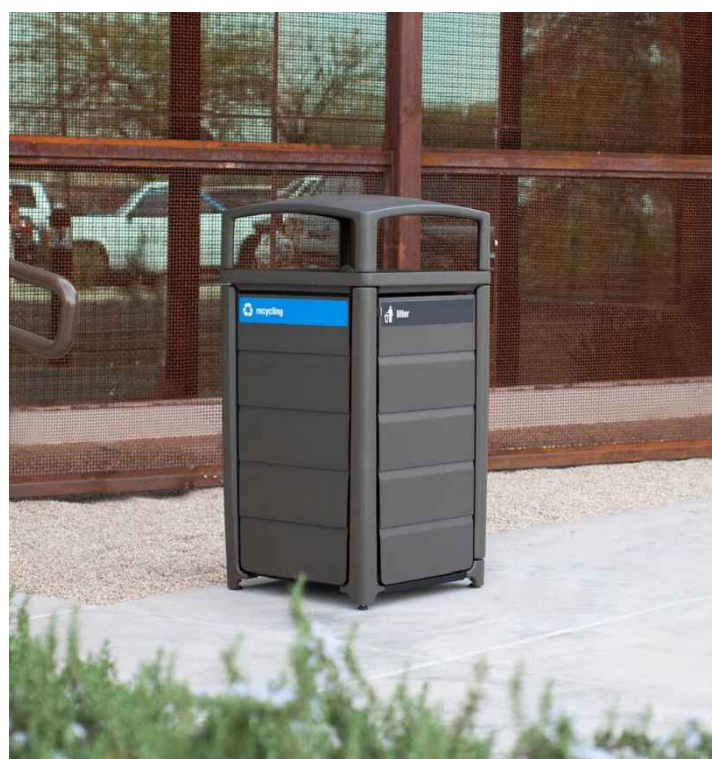
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DO NOT USE "FIT".



LICENSED BUSINESS No. 8507

FILE: P:\STALP\PROJECTS\1220 10TH STREET 22-0519\DRAWINGS\CURRENT\1220 10TH STREET ACCESSORY BLDGS PLAN 2013_REV1.DWG
PLOTED: 7/21/25 AT 14:41 PM BY: DSJENSEN
XREFS: X222019_A-11.DWG X222019_EXTR-11.DWG X222040_EXTR-11.DWG

TRASH RECEPTACLE

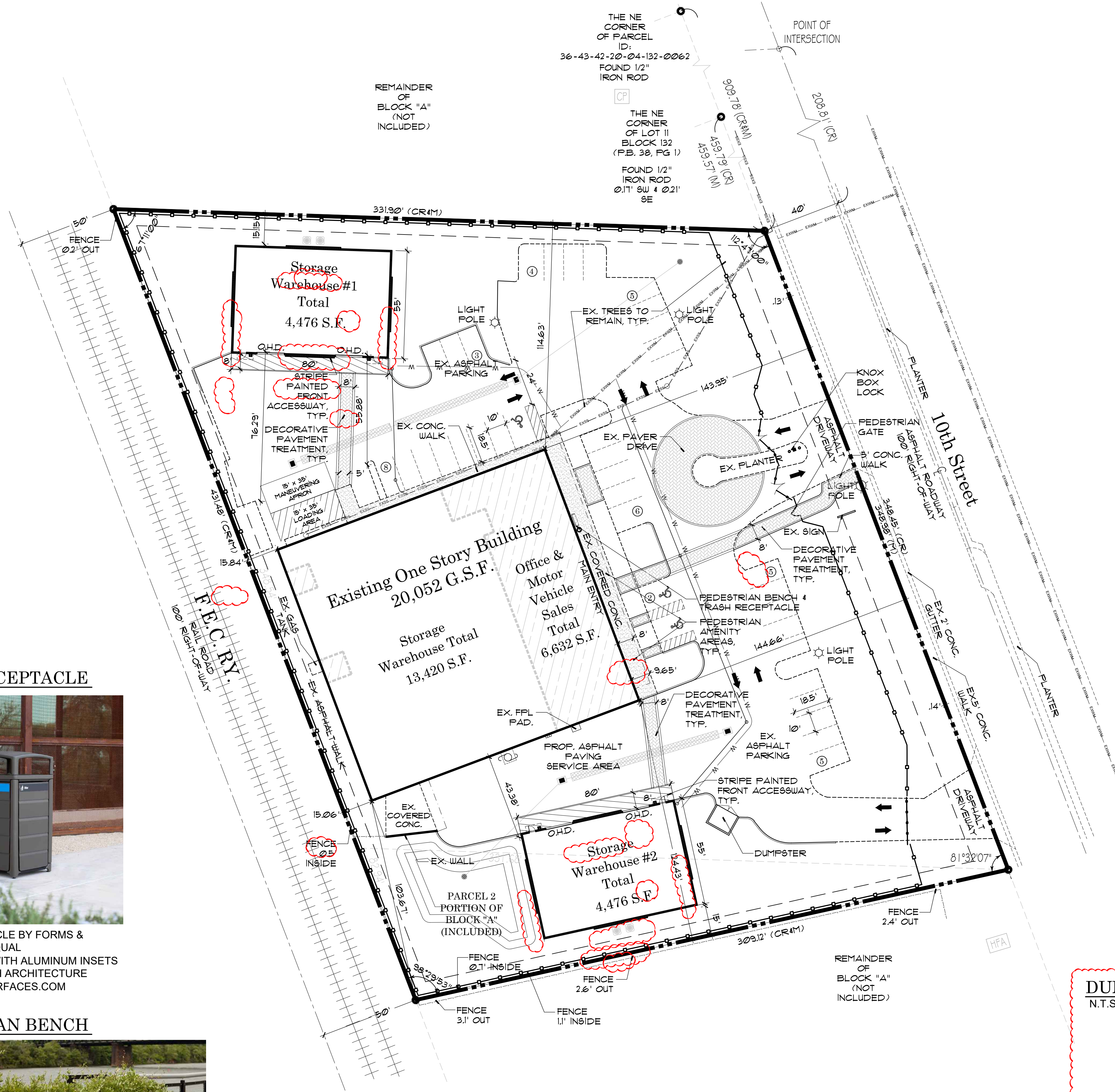


TRASH RECEPTACLE BY FORMS & SURFACES OR EQUAL
CORDIA MODEL WITH ALUMINUM INSETS
COLOR TO MATCH ARCHITECTURE
WWW.FORMS-SURFACES.COM
800-451-0410

PEDESTRIAN BENCH



6' ALUMINUM BENCH BY FORMS & SURFACES OR EQUAL
CORDIA MODEL WITH ALUMINUM SLATS
COLOR TO MATCH ARCHITECTURE
WWW.FORMS-SURFACES.COM
800-451-0410



SITE DATA:

PROJECT NAME: 1220 10th Street
EXISTING FUTURE LAND USE: C - Commercial
ZONING: C-2; Commercial
SECTION - TOWNSHIP - RANGE: 20-42-43
SITE AREA AC.: 2.74 AC. (119,270.67 s.f.)
PROPOSED USE: OFFICE, MOTOR VEHICLE SALES & STORAGE WAREHOUSE

BUILDING DATA:

EXISTING BUILDING S.F.: 20,052 S.F.
EXISTING USES:
OFFICE/MOTOR VEHICLE SALES S.F.: 6,632 S.F.
WAREHOUSE/STORAGE S.F.: 13,420 S.F.
PROPOSED BUILDING S.F.: 8,952 S.F.
PROPOSED USES:
WAREHOUSE/STORAGE S.F.: 8,952 S.F.
GROSS S.F.: 29,004 S.F.

	REQUIRED	PROVIDED
FRONT SETBACK (10TH STREET):	25'	143.95'
SIDE SETBACK (NORTH):	15'	15.15'
SIDE SETBACK (SOUTH):	15'	15'
REAR SETBACK (WEST):	15'	15.06'
BUILDING HEIGHT LIMIT:	50' MAX	N/A
F.A.R.:	2.0 MAX	0.24

	REQUIRED	PROVIDED
LOT COVERAGE:	15%	42,161.28 s.f.(0.97 Ac.), 35%
MIN. OPEN SPACE :		29,004 s.f.(0.67 Ac.), 24%
BUILDING COVERAGE :		77,109.39 s.f. (65%)
IMPERVIOUS COVERAGE:		42,161.28 s.f. (35%)
PERVIOUS COVERAGE:		

PARKING DATA:

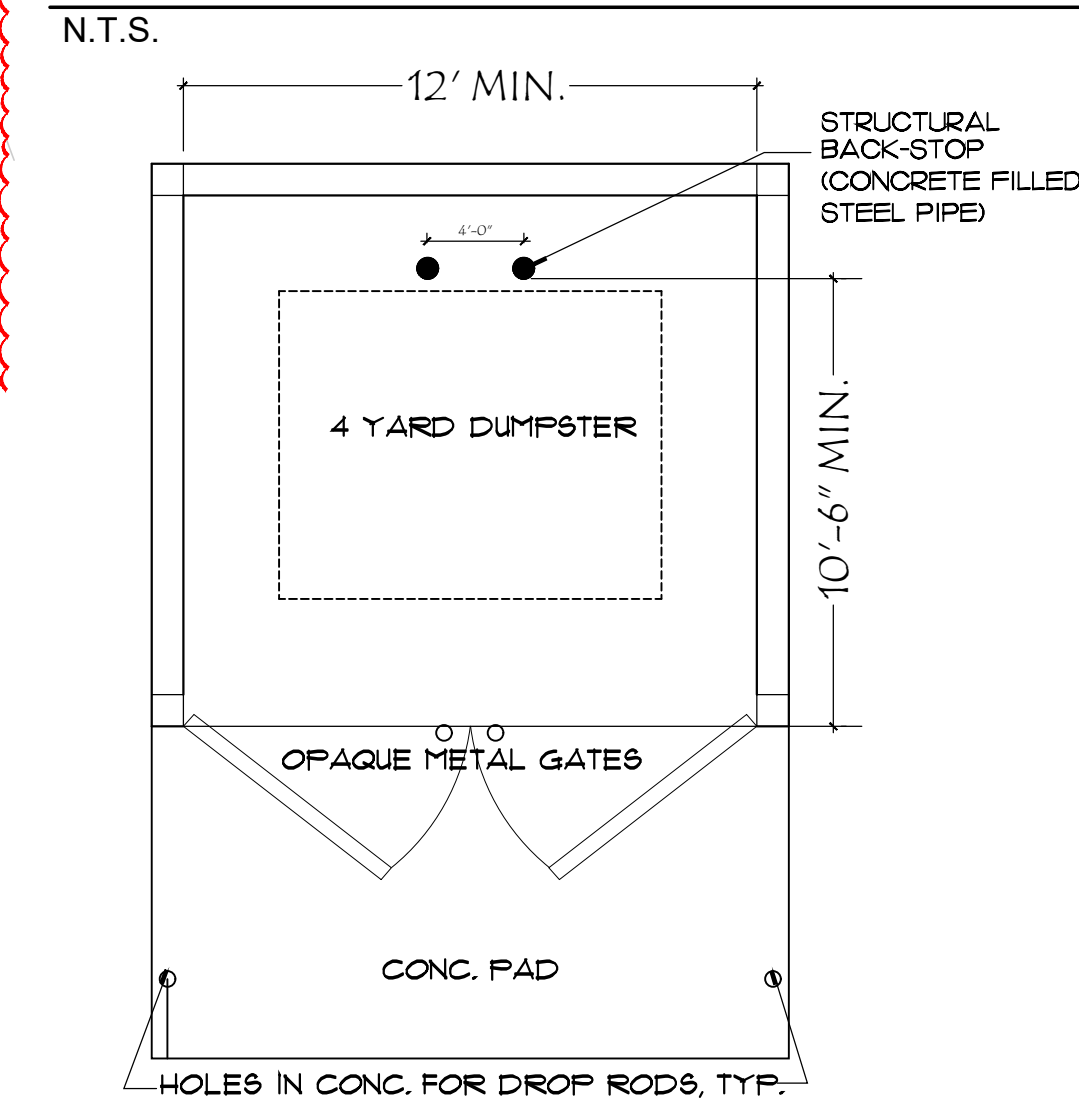
	REQUIRED	PROVIDED
TOTAL PARKING :		
BUSINESS OFFICES/STUDIO, INDIVIDUAL/MOTOR VEHICLE SALES: 5 SP / 1,000 S.F. OFFICE (6,632 SF)	13 SPACES	17 SPACES
WAREHOUSE: 1 SP / 2,000 S.F. (22,220 SF) 1 SP/EMPLOYEE (MAX SHIFT): 10	11 SPACES 10 SPACES	11 SPACES 10 SPACES
TOTALS:	34 SPACES	38 SPACES

HANDICAP PARKING:	3 SPACES	3 SPACES
LOADING SPACES:	1 SPACES	1 SPACES

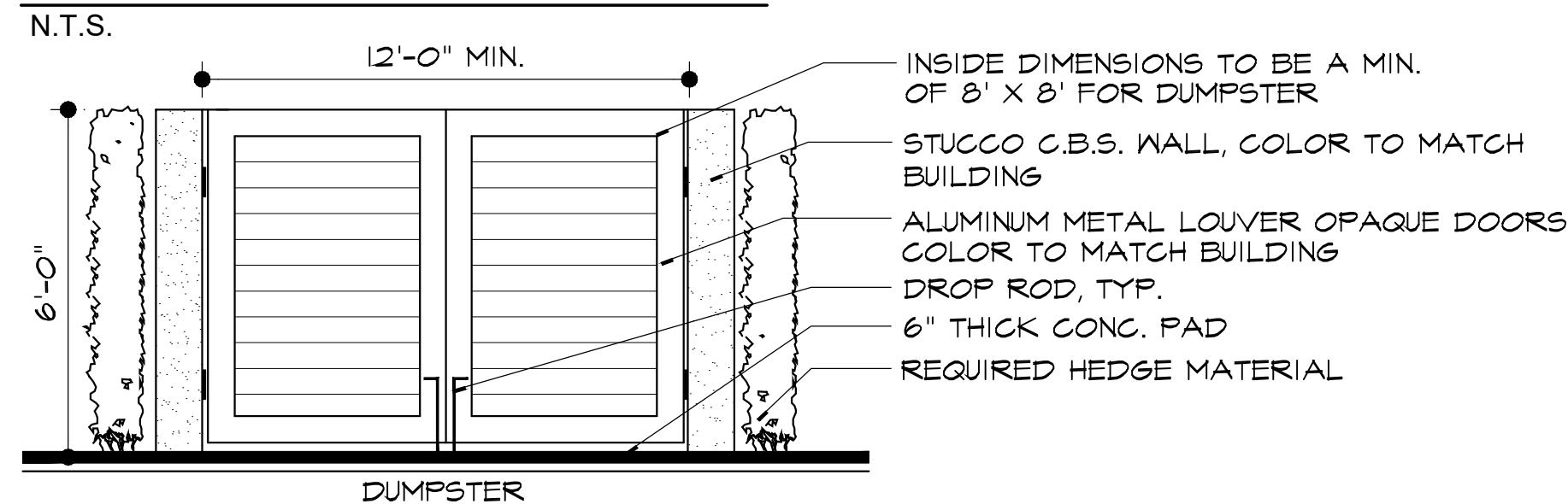
GENERAL NOTES:

- SITE PLAN FOR INTERIOR AND EXTERIOR RENOVATIONS OF THE EXISTING BUILDING AND ASSOCIATED UTILITIES/IRRIGATION.
- PARKING AREAS TO BE SINGLE STRIPED AS PER TOWN OF LAKE PARK CODE.
- HANDICAPPED & DIRECTIONAL SIGNAGE WILL BE PROVIDED ON SITE & WILL MEET ALL STATE & LOCAL CODES.
- ALL PARKING AREAS SHALL BE ASPHALT PAVED OR EQUIVALENT.
- THE DIRECTION OF ALL PROPOSED LIGHTING SHALL BE DIRECTED AWAY FROM ADJACENT PROPERTIES.
- IRRIGATION SOURCE SHALL BE POTABLE OR WELL WATER SOURCE.
- ALL PLANTING AREAS SHALL RECEIVE 100% COVERAGE FROM A FULLY AUTOMATIC IRRIGATION SYSTEM, EQUIPPED WITH A RAIN SENSOR.
- ALL MECHANICAL/ELECTRICAL EQUIPMENT SHALL BE SCREENED FROM VIEW.

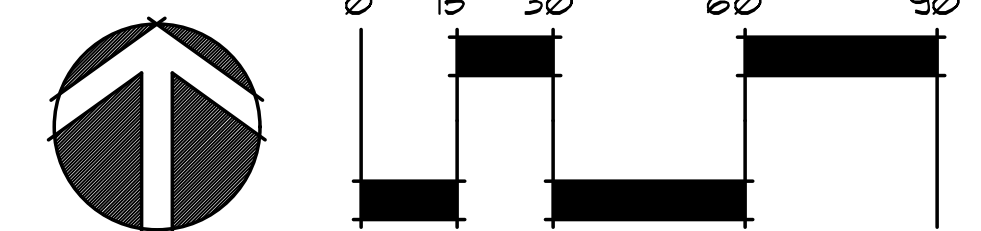
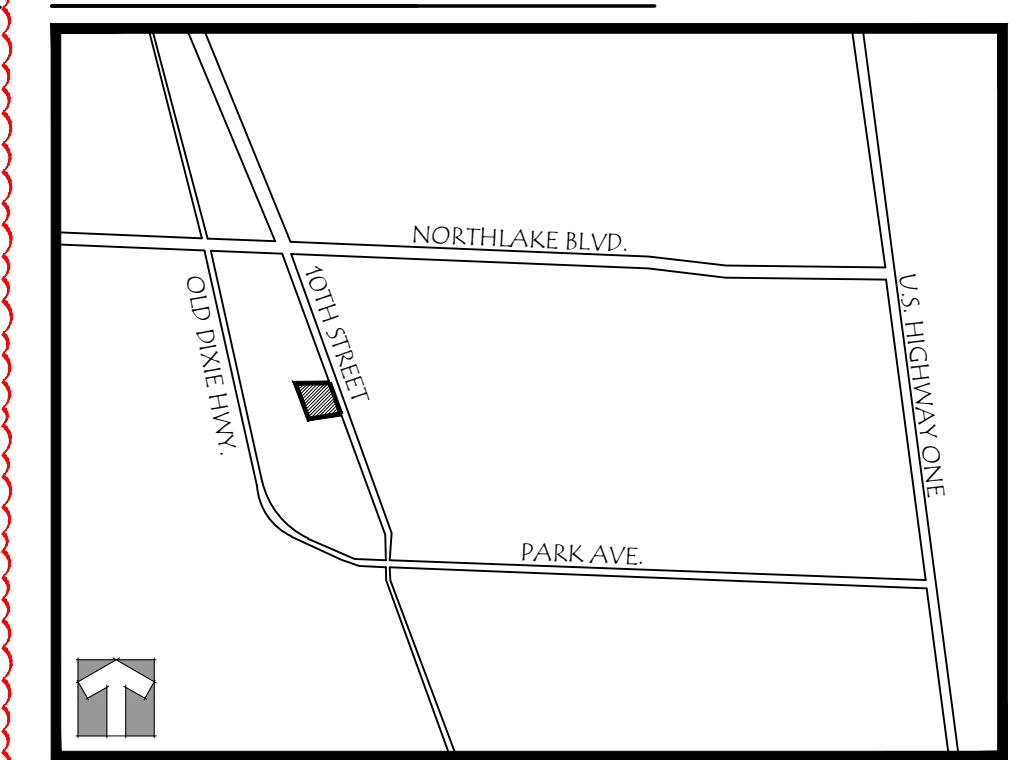
DUMPSTER ENCLOSURE ELEVATION



DUMPSTER ENCLOSURE PLAN



LOCATION MAP:



1220 10th Street

Town of Lake Park, Florida

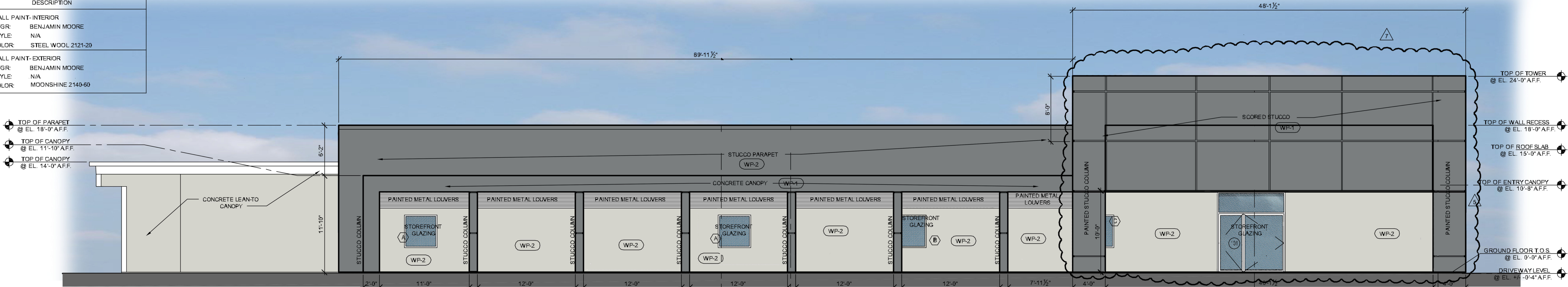


Aerial Location Map

5-28-24

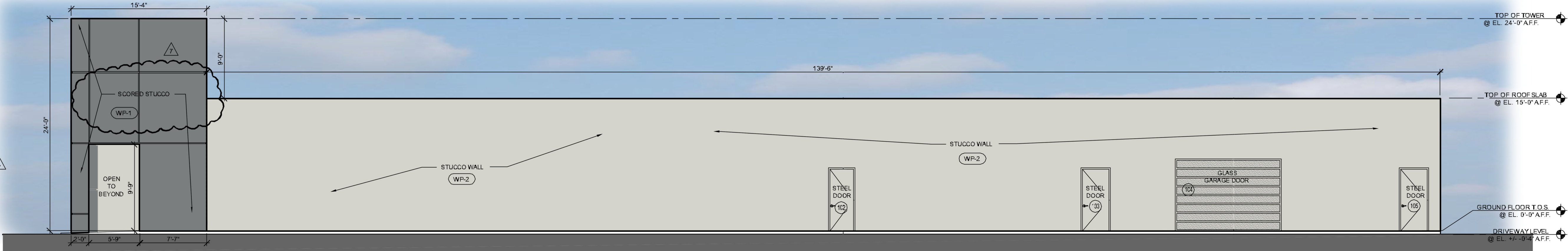


FINISH SCHEDULE	
SYMBOL	DESCRIPTION
WP-1	WALL PAINT- INTERIOR
	MFGR: BENJAMIN MOORE
	STYLE: N/A
WP-2	WALL PAINT- EXTERIOR
	MFGR: BENJAMIN MOORE
	STYLE: N/A
	COLOR: STEEL WOOL 2121-29
	COLOR: MOONSHINE 2149-69



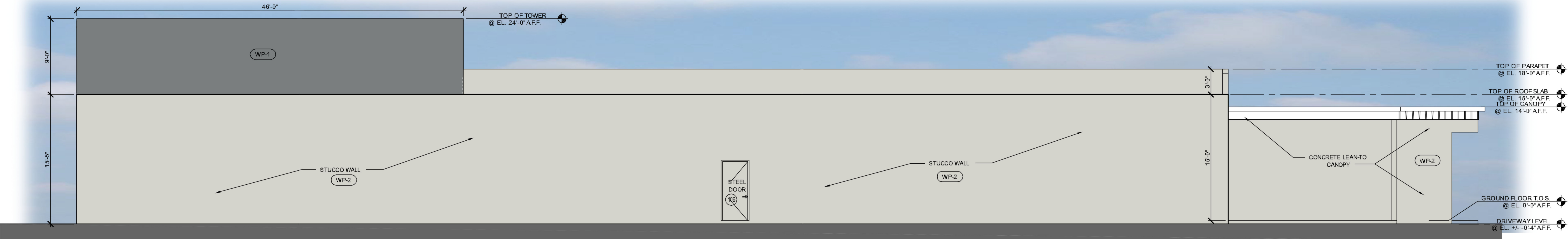
EAST BUILDING ELEVATION

WP-1 = 25% OF ELEVATION
WP-2 = 75% OF ELEVATION
SCALE: 3/16" = 1'-0"
A-2.01



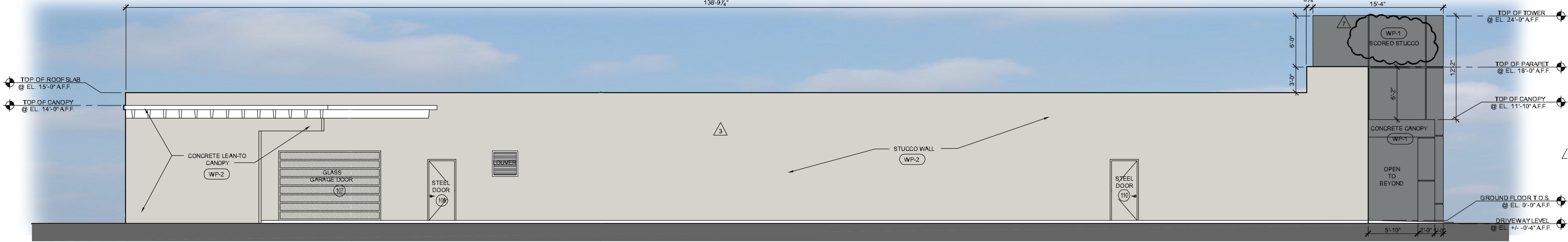
NORTH BUILDING ELEVATION

WP-1 = 13% OF ELEVATION
WP-2 = 87% OF ELEVATION
SCALE: 3/16" = 1'-0"
B-2.01



WEST BUILDING ELEVATION

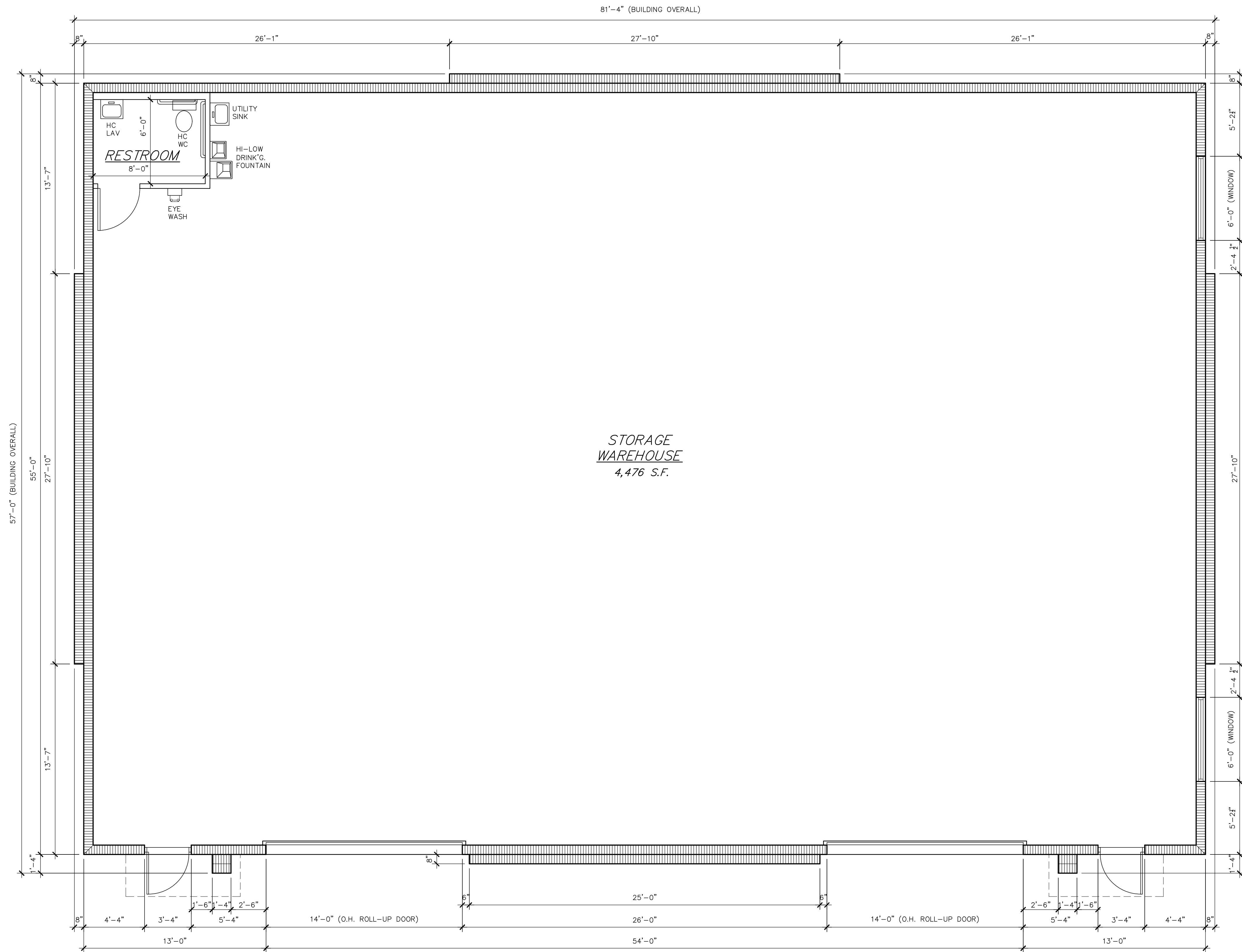
WP-1 = 0% OF ELEVATION
WP-2 = 100% OF ELEVATION
SCALE: 3/16" = 1'-0"
C-2.01



SOUTH BUILDING ELEVATION

WP-1 = 13% OF ELEVATION
WP-2 = 87% OF ELEVATION
SCALE: 3/16" = 1'-0"
D-2.01

Rendered Building Elevation
(For Information only. Colors as shown in permit drawings approved by the Town.
Permit # 23-000055, submitted 8.30.23. Refer to finish schedule for paint color specifications.)



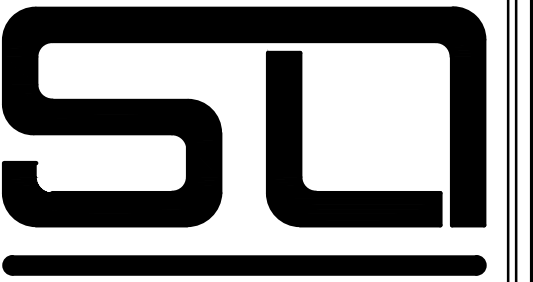
STORAGE / WAREHOUSE
BUILDING #1 FLOOR PLAN

1/4" = 1'-0"

NOTE:
STORAGE / WAREHOUSE BUILDING #2 FLOOR PLAN
SIMILAR. (STORAGE / WAREHOUSE BUILDING #2 IS
A MIRROR IMAGE OF STORAGE / WAREHOUSE BUILDING #1).

AREAS:

NEW STORAGE / WAREHOUSE BUILDING #1 AREA	4,476	S.F.
NEW STORAGE / WAREHOUSE BUILDING #2 AREA	4,476	S.F.
TOTAL NEW AREA	8,952	S.F.



SCOTT D. DYER
ARCHITECT, P.A.

AA C001929
AR 0011551
6671 CONCH COURT
BOYNTON BEACH, FLORIDA
33437
(561) 596-7503

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THE APPLICABLE BUILDING CODES IN
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REVISIONS

COMM. NO.
23-012

DATE
16 OCTOBER 2023

SITE DEVELOPMENT
STORAGE
WAREHOUSE
BUILDINGS

1220 10TH STREET

TOWN OF LAKE PARK,
FLORIDA

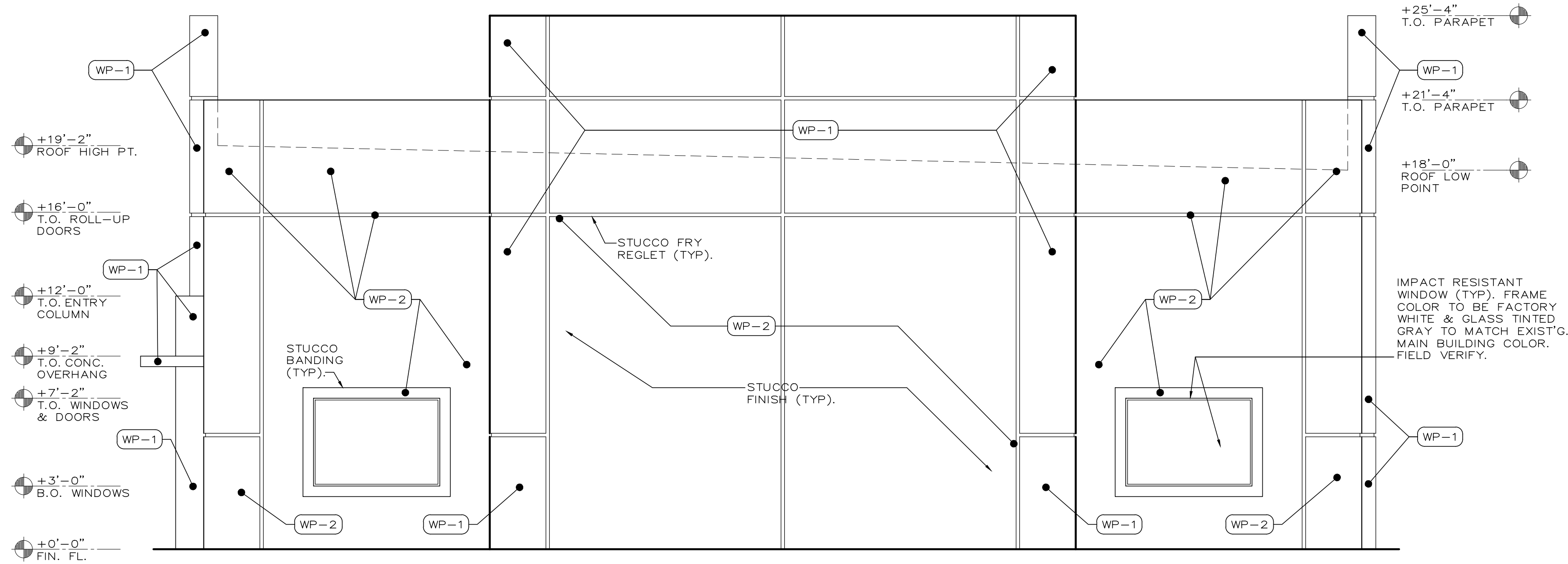
SCHEME-G

SHEET

A-1

OF 4

LAST DATE PRINTED 10-16-23 (SCHEME A, B, C) / 3-5-24 (SCHEME-D TOWN SITE PLAN REVIEW) / 9-20-24 (SCHEME-E TOWN SITE PLAN REVIEW COMMENTS) / 4-15-25 (SCHEME-F TOWN SITE PLAN REVIEW COMMENTS) / 6-25-25 (SCHEME-G TOWN SITE PLAN REVIEW COMMENTS)



FINISH SCHEDULE

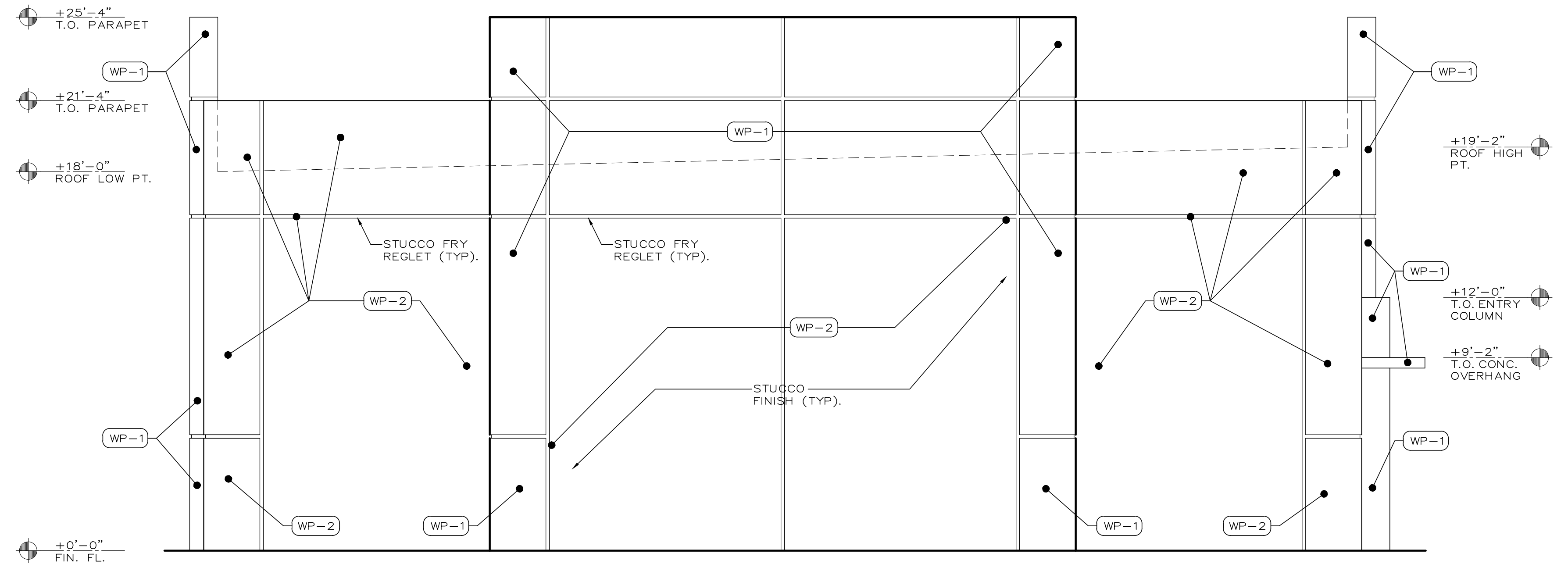
SYMBOL	DESCRIPTION
WP-1	WALL PAINT - EXTERIOR SATIN MFR: BENJAMIN MOORE STYLE: N/A COLOR: STEEL WOOL 2121-20
WP-2	WALL PAINT - EXTERIOR SATIN MFR: BENJAMIN MOORE STYLE: N/A COLOR: MOONSHINE 2140-60

STORAGE / WAREHOUSE BUILDING #1 EAST ELEVATION

1/4" = 1'-0"

NOTE:
STORAGE / WAREHOUSE BUILDING #2
EAST ELEVATION SIMILAR (MIRROR IMAGE
OF STORAGE / WAREHOUSE BUILDING #1)

WP-1 = 34.5% OF ELEVATION
WP-2 = 65.5% OF ELEVATION



STORAGE / WAREHOUSE BUILDING #1 WEST ELEVATION

1/4" = 1'-0"

NOTE:
STORAGE / WAREHOUSE BUILDING #2
WEST ELEVATION SIMILAR (MIRROR IMAGE
OF STORAGE / WAREHOUSE BUILDING #1)

WP-1 = 30.9% OF ELEVATION
WP-2 = 69.1% OF ELEVATION



SCOTT D. DYER
ARCHITECT, P.A.

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AR 0011551

6671 CONCH COURT
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33437

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REVISIONS

COMM. NO.

23-012

DATE

16 OCTOBER 2023

SITE DEVELOPMENT
STORAGE
WAREHOUSE
BUILDINGS

1220 10TH STREET

TOWN OF LAKE PARK,
FLORIDA

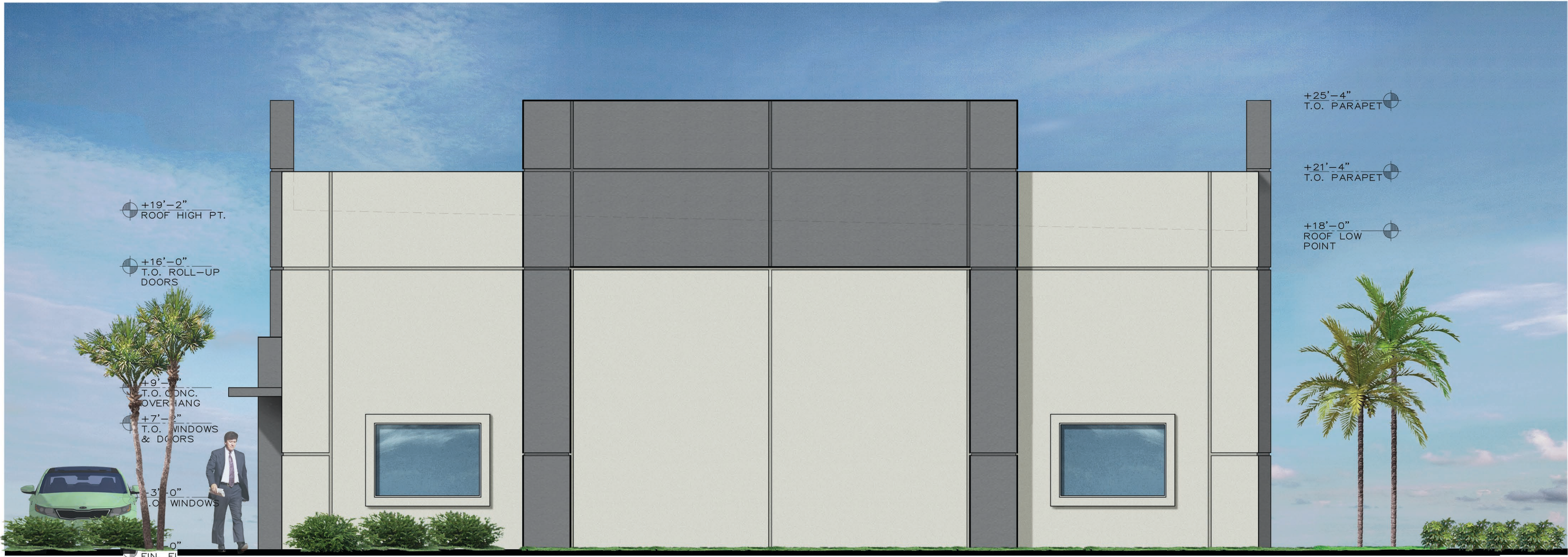
SCHEME-G

SHEET

A-2

OF 4

LAST DATE PRINTED 10-16-23 (SCHEME-A, B, C) / 3-5-24 (SCHEME-D, TOWN SITE PLAN REVIEW) / 9-20-24 (SCHEME-E, TOWN SITE PLAN REVIEW COMMENTS) / 4-15-25 (SCHEME-F, TOWN SITE PLAN REVIEW COMMENTS) / 6-25-25 (SCHEME-G, TOWN SITE PLAN REVIEW COMMENTS)



FINISH SCHEDULE

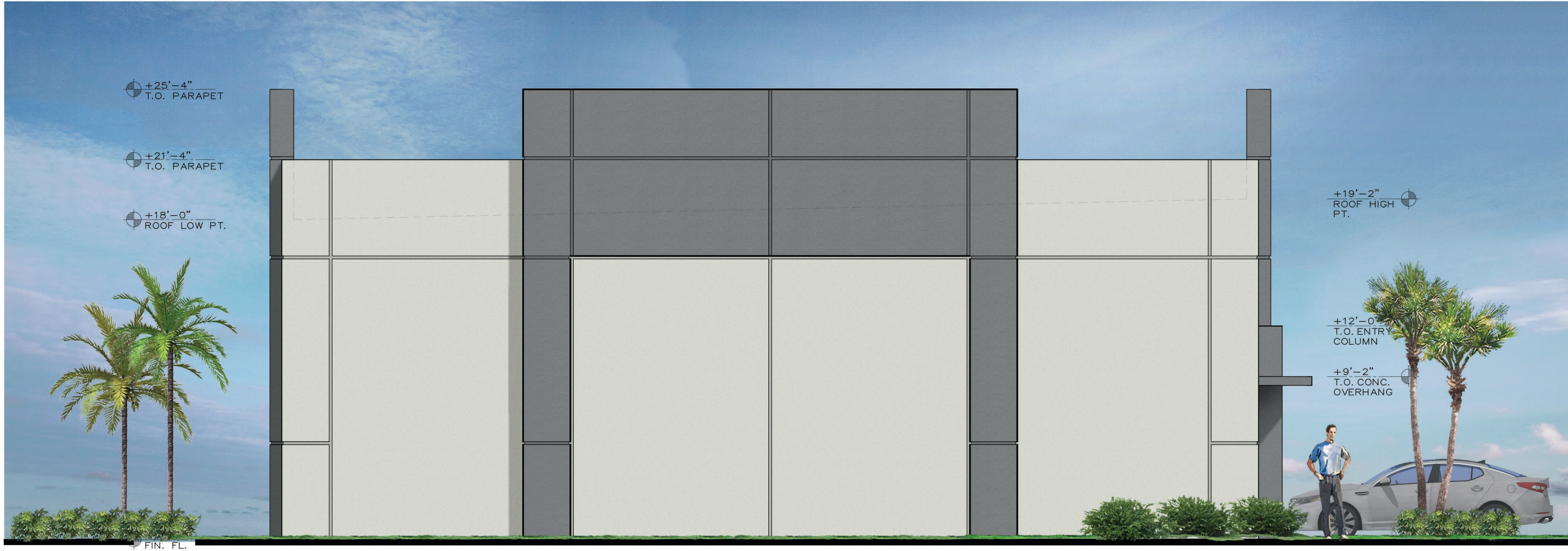
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WP-2	WALL PAINT — EXTERIOR SATIN MFGR: BENJAMIN MOORE STYLE: N/A COLOR: MOONSHINE 2140-60

STORAGE / WAREHOUSE BUILDING #1 EAST ELEVATION

1/4" = 1'-0"

NOTE:
STORAGE / WAREHOUSE BUILDING #2
EAST ELEVATION SIMILAR (MIRROR IMAGE
OF STORAGE / WAREHOUSE BUILDING #1)

WP-1 = 34.5% OF ELEVATION
WP-2 = 65.5% OF ELEVATION

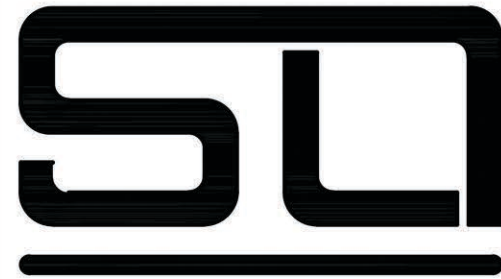


STORAGE / WAREHOUSE BUILDING #1 WEST ELEVATION

1/4" = 1'-0"

NOTE:
STORAGE / WAREHOUSE BUILDING #2
WEST ELEVATION SIMILAR (MIRROR IMAGE
OF STORAGE / WAREHOUSE BUILDING #1)

WP-1 = 30.9% OF ELEVATION
WP-2 = 69.1% OF ELEVATION



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REVISIONS

COMM. NO.
23-012

DATE
16 OCTOBER 2023

SITE DEVELOPMENT
STORAGE
WAREHOUSE BUILDINGS

1220 10TH STREET
TOWN OF LAKE PARK,
FLORIDA

SCHEME-G

SHEET

OF 4



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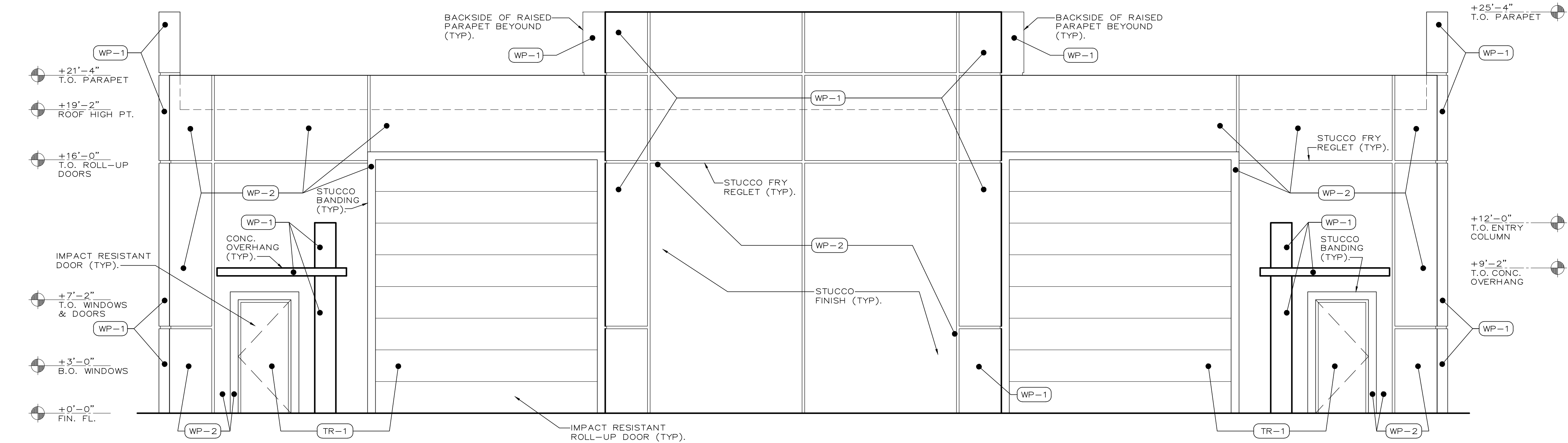
SITE DEVELOPMENT
STORAGE
WAREHOUSE
BUILDINGS

1220 10TH STREET

TOWN OF LAKE PARK,
FLORIDA

SCHEME-G

SHEET
A-3
OF 4



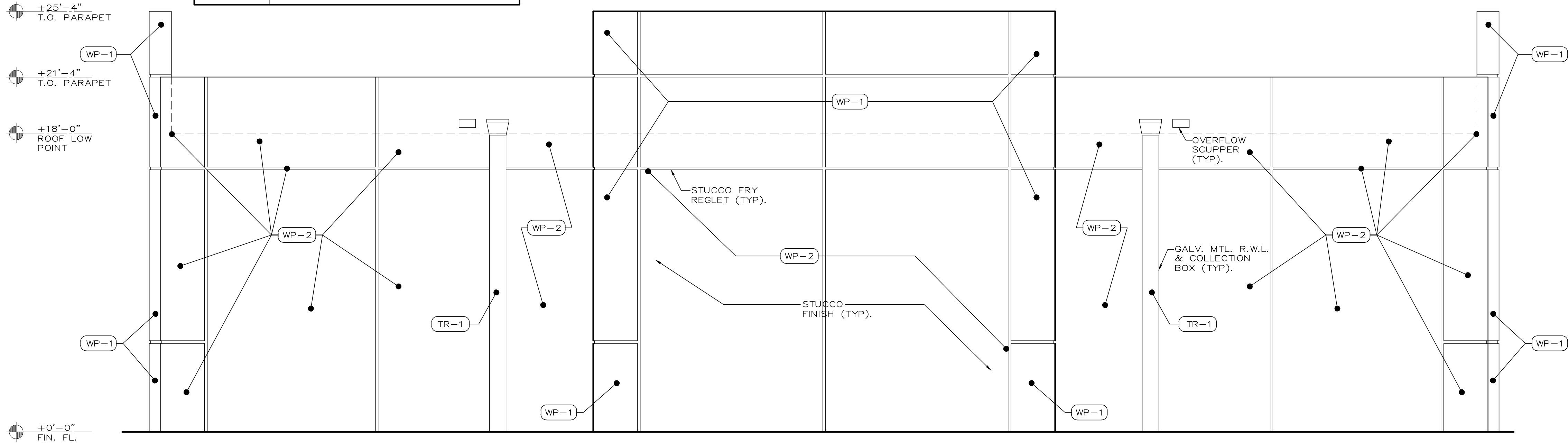
FINISH SCHEDULE	
SYMBOL	DESCRIPTION
WP-1	WALL PAINT - EXTERIOR SATIN MFGR: BENJAMIN MOORE STYLE: N/A COLOR: STEEL WOOL 2121-20
WP-2	WALL PAINT - EXTERIOR SATIN MFGR: BENJAMIN MOORE STYLE: N/A COLOR: MOONSHINE 2140-60
TR-1	WALL PAINT - ACRYLIC LATEX SEMI GLOSS MFGR: BENJAMIN MOORE STYLE: N/A COLOR: MOONSHINE 2140-60

STORAGE / WAREHOUSE BUILDING #1 SOUTH ELEVATION

1/4" = 1'-0"

NOTE:
STORAGE / WAREHOUSE BUILDING #2
NORTH ELEVATION SIMILAR (MIRROR IMAGE
OF STORAGE / WAREHOUSE BUILDING #1)

WP-1 = 23% OF ELEVATION
WP-2 = 50.6% OF ELEVATION
TR-1 = 26.4% OF ELEVATION



STORAGE / WAREHOUSE BUILDING #1 NORTH ELEVATION

1/4" = 1'-0"

NOTE:
STORAGE / WAREHOUSE BUILDING #2
SOUTH ELEVATION SIMILAR (MIRROR IMAGE
OF STORAGE / WAREHOUSE BUILDING #1)

WP-1 = 41.1% OF ELEVATION
WP-2 = 56.9% OF ELEVATION
TR-1 = 2% OF ELEVATION



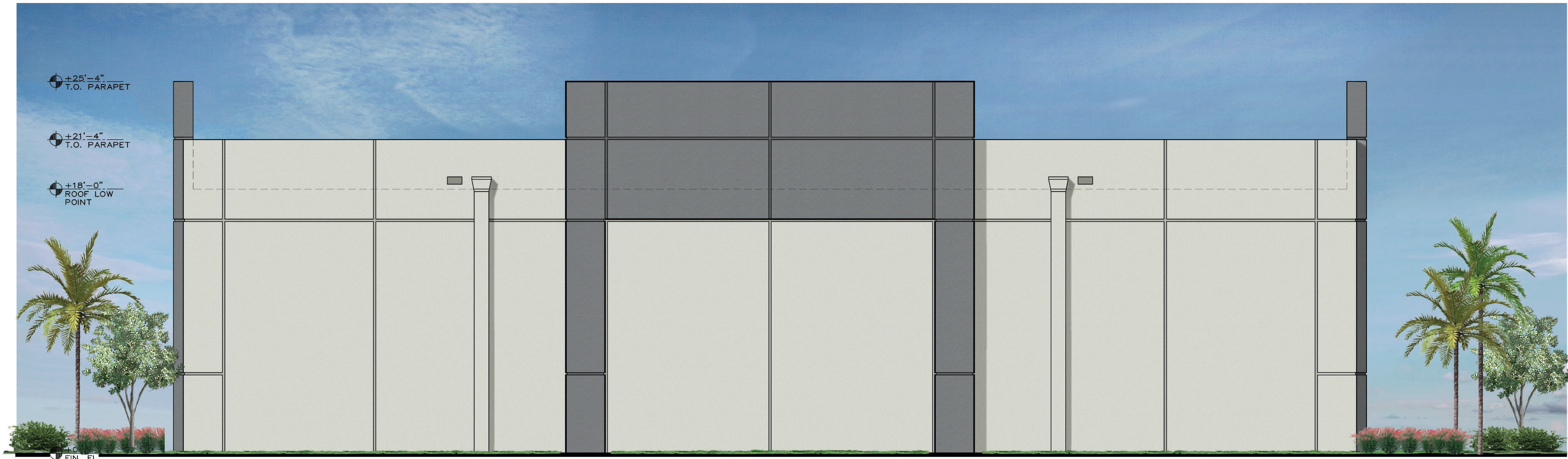
FINISH SCHEDULE	
SYMBOL	DESCRIPTION
WP-1	WALL PAINT — EXTERIOR SATIN MFGR: BENJAMIN MOORE STYLE: N/A COLOR: STEEL WOOL 2121-20
WP-2	WALL PAINT — EXTERIOR SATIN MFGR: BENJAMIN MOORE STYLE: N/A COLOR: MOONSHINE 2140-60
TR-1	WALL PAINT — ACRYLIC LATEX SEMI GLOSS MFGR: BENJAMIN MOORE STYLE: N/A COLOR: MOONSHINE 2140-60

STORAGE / WAREHOUSE
BUILDING #1 SOUTH ELEVATION

1/4" = 1'-0"

NOTE:
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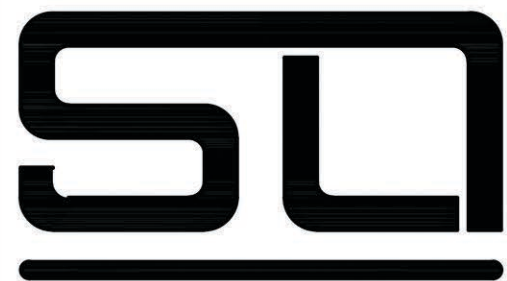


STORAGE / WAREHOUSE
BUILDING #1 NORTH ELEVATION

1/4" = 1'-0"

NOTE:
STORAGE / WAREHOUSE BUILDING #2
SOUTH ELEVATION SIMILAR (MIRROR IMAGE
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WP-2 = 56.9% OF ELEVATION
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SITE DEVELOPMENT
STORAGE
WAREHOUSE BUILDINGS

1220 10TH STREET
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SHEET

OF 4



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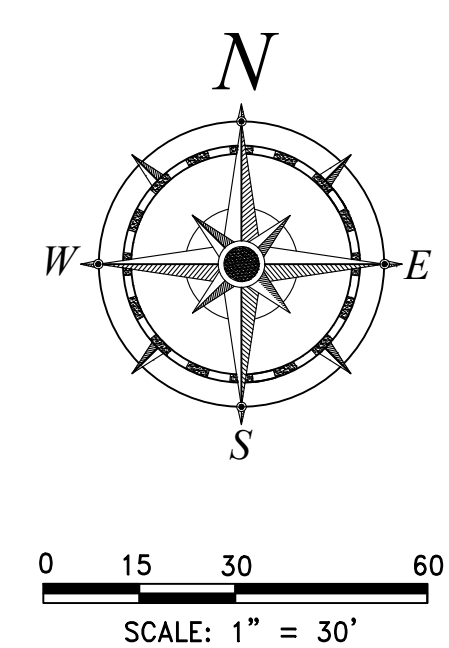
FIELD: DRAWN: P. Saffold
DESIGNED: TMM
APPROVED: TMM
PROJECT #24-004

REVISIONS
DATE
NO.

**PRELIMINARY GRADING &
DRAINAGE PLAN
1220 10th STREET
STORAGE BUILDING ADDITION
LAKE PARK, FLORIDA**

SITE PLAN RESUBMITTAL
DATE: 7/1/2025

SHEET
C1.1
OF 5



LEGEND

- PROP. SIGN
- SURFACE FLOW ARROW
- PROP. CONCRETE PAVEMENT
- PROP. FULL-DEPTH ASPHALT PAVEMENT OR RECONSTRUCTION
- PROP. SEALCOAT & RESTRIPING
- PROPOSED ELEVATION
- EXIST. ELEVATION

NOTES:

- EXIST. UTILITIES, DRAINAGE, & ELEVATIONS BASED ON SURVEY PREPARED BY LANDTEC SURVEYING. CONTRACTOR SHALL VERIFY INVERTS, PIPE SIZES, AND STRUCTURE LOCATIONS PRIOR TO SUBMITTING SHOP DRAWINGS.
- ALL LANDSCAPE AREAS ADJACENT TO BUILDING SHALL BE GRADED TO DRAIN AWAY FROM BUILDING.
- CONTRACTOR SHALL CONFIRM DETECTABLE WARNING REQUIREMENTS WITH BUILDING OFFICIAL PRIOR TO INSTALLATION.
- WHERE LANDSCAPE/SOD ABUTS BUILDING SLAB, A MINIMUM 3" SLAB REVEAL SHALL BE PROVIDED.
- MAXIMUM SLOPE FROM TOP OF CURB AND BACK OF WALK TO FINISHED GRADE SHALL BE 4(H):1(V), UNLESS OTHERWISE NOTED.
- ALL BUFFER, DETENTION, SWALE, AND UN-LANDSCAPED/UNPAVED AREAS SHALL BE SODDED UNLESS OTHERWISE NOTED.
- REFER TO SITE PLAN PREPARED BY 2GHO FOR ADDITIONAL SITE REQUIREMENTS.
- ALL CULVERTS LEADING TO EXFILTRATION TRENCH SHALL BE FITTED WITH A POLLUTION RETARDANT BAFFLE (PRB) PER THE ENCLOSED DETAIL.
- ALL BUFFER & UNPAVED/UNLANDSCAPED AREAS SHALL BE SODDED BY CONTRACTOR.
- ALL OFFSITE DISTURBED AREAS SHALL BE SODDED BY CONTRACTOR. ALL DAMAGED CURBING, PAVEMENT, STRIPING, SIGNAGE, LANDSCAPING, ETC. SHALL BE RESTORED BY CONTRACTOR.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR PREPARING MAINTENANCE OF TRAFFIC (MOT) PLANS AND OBTAINING ALL REGULATORY APPROVALS FOR MOT PLANS. COPIES OF APPROVED MOT PLANS SHALL BE PROVIDED TO ENGINEER PRIOR TO COMMENCING WORK.
- ALL PIPE JOINTS SHALL BE WRAPPED PER FDOT INDEX NO. 430--001.

ACCESSIBILITY NOTES:

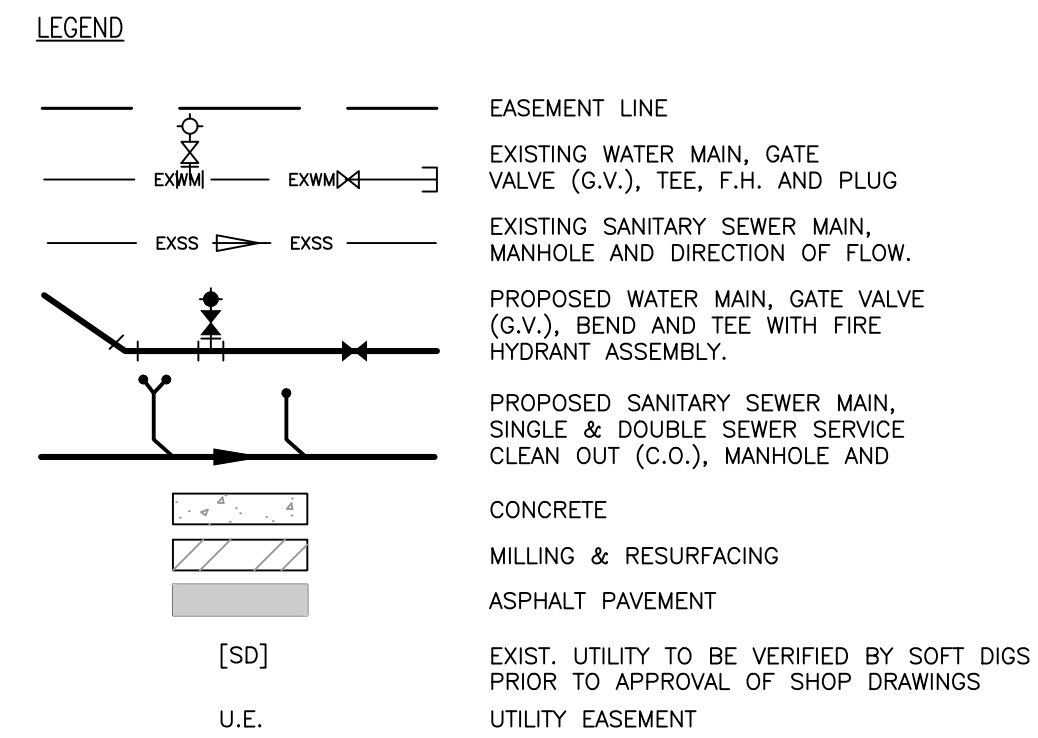
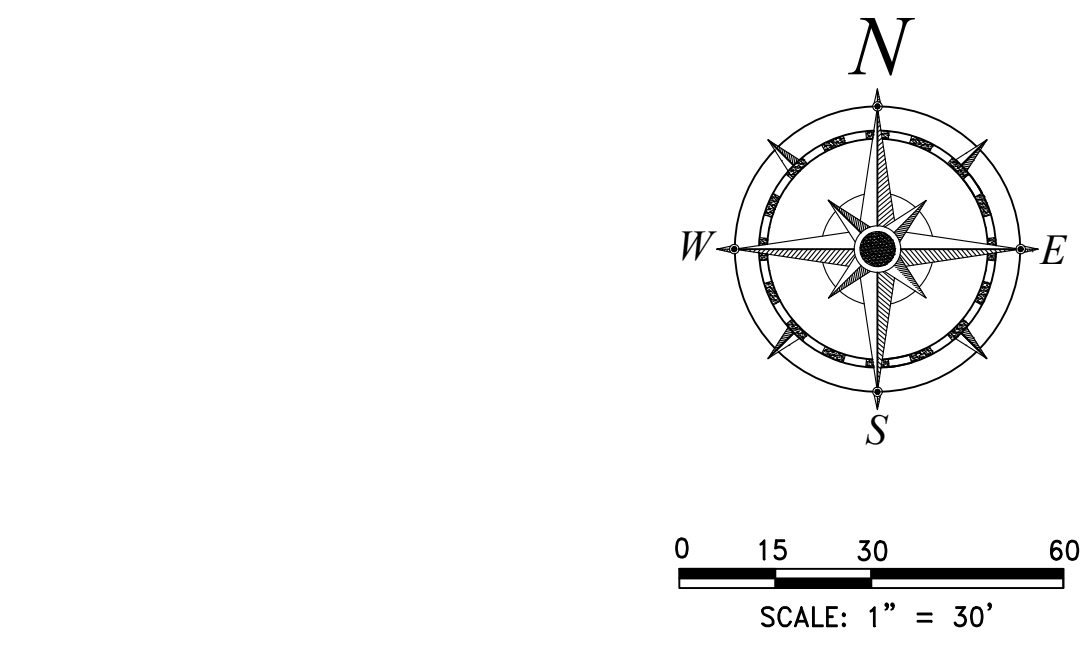
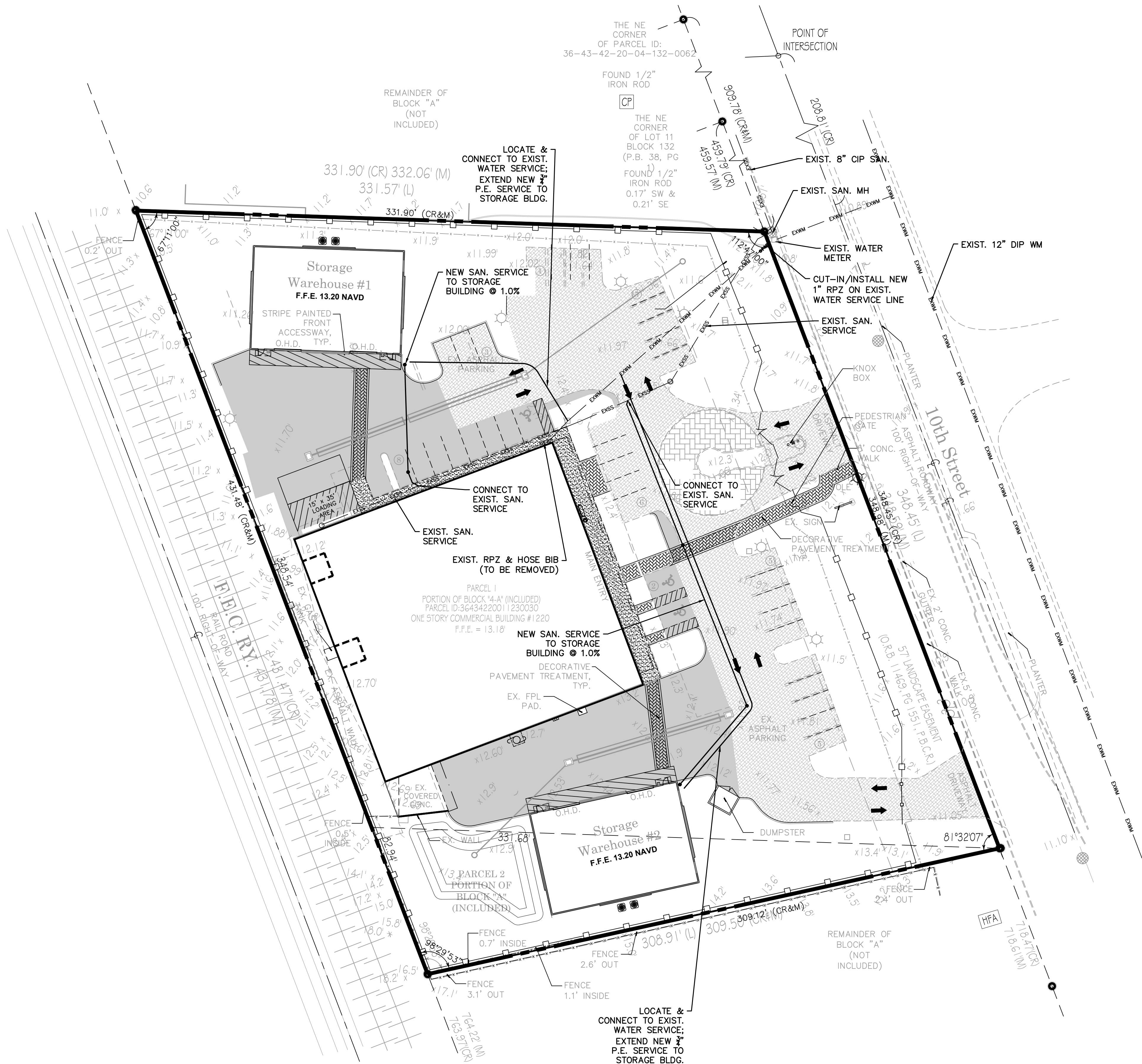
- ACCESSIBLE ROUTES SHALL BE CONSTRUCTED TO MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE -- ACCESSIBILITY.
- ALL WALKS CROSSING A VEHICULAR AREA SHALL HAVE DETECTABLE WARNING SURFACE (TRUNCATED DOME) IN ACCORDANCE WITH THE FLORIDA BUILDING CODE -- ACCESSIBILITY.
- CURB RAMP SLOPES AND DIMENSIONS SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD INDEX NO. 522--02. CURB RAMP DETECTABLE WARNING SURFACES SHALL BE TRUNCATED DOME AND SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE.
- DETECTABLE WARNING SHALL BE THE WIDTH OF THE WALKING SURFACE AND 3' IN LONGITUDINAL LENGTH (DIRECTION OF TRAVEL). DETECTABLE WARNING MATS SHALL PER THE FDOT APPROVED PRODUCTS LIST (APL), LATEST EDITION.

NOTE: THESE PLANS ARE STILL UNDER REGULATORY PERMIT REVIEW. OWNER IS ADVISED NOT TO ENTER INTO CONTRACT FOR THE CONSTRUCTION OF THIS PROJECT UNTIL ALL PERMITS ARE ISSUED. BIDDING/CONTRACTING PRIOR TO COMPLETION OF PERMITTING WILL RESULT IN INCREASED COSTS & CHANGE ORDERS.

DATUM NOTE: ALL ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). TO CONVERT TO NGVD 1929, ADD 1.50' TO NAVD ELEVATIONS.



SURVEY NOTES:
F.E.C.R.R. = FLORIDA EAST COAST RAILROAD



- NOTES:
1. PRIOR TO CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY (ELEVATION & LOCATION) ALL EXISTING UTILITIES. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONTINUATION OF WORK.
 2. M. OF 12' FROM EDGE OF PAVEMENT, OR SHALL BE PROTECTED BY BOLLARDS.
 3. VALVES SHALL NOT BE PLACED IN CURBS.
 4. ALL WATER AND SANITARY SERVICES SHALL BE CONSTRUCTED A MINIMUM OF 5' FROM DRAINAGE STRUCTURES.
 5. RECORD DRAWINGS MUST HAVE DATA FOR TAP AND METER LOCATIONS FOR ALL WATER MAIN SERVICES.
 6. PRESSURE TESTING AND CERTIFICATION SHALL FOLLOW SEACOAST UTILITY AUTHORITY CONSTRUCTION STANDARDS, LATEST EDITION.
 7. CONTRACTOR SHALL ADJUST ALL EXISTING SANITARY MANHOLE RIMS, CLEANOUTS, AND VALVE BOXES TO NEW FINISHED GRADE AND SHALL POUR CONCRETE COLLARS AS REQUIRED BY SUA SPECIFICATIONS, PRIOR TO FINAL PAVING/CONCRETE.
 8. CONTRACTOR SHALL LOCATE & PROTECT ALL EXIST. UTILITIES.
 9. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS, SIZES, MATERIALS, AND DEPTHS VIA "SOFT DIGS", PRIOR TO SUBMITTING SHOP DRAWINGS.
 10. CONTRACTOR IS SOLELY RESPONSIBLE FOR PREPARING MOT DRAWINGS AND OBTAINING ALL REQUIRED MOT APPROVALS.
 11. WATER/SEWER SYMBOLS ARE REPRESENTATIVE OF THE CORRESPONDING FITTINGS ONLY. CONTRACTOR SHALL NOT ATTEMPT TO ATTEMPT TO CONSTRUCT WATER/SEWER SYSTEM BY SCALING THE SYMBOLS FORM THESE PLANS. ALL FITTINGS SHALL INSTEAD BE BUILT PER THE ENCLOSED DETAILS.

- RECORD DRAWING NOTES:
1. RECORD DRAWINGS SHALL BE PREPARED IN THE STATE PLANE COORDINATE SYSTEM.
 2. ALL UTILITY FEATURES SHALL BE SHOWN IN THEIR AS-BUILT LOCATION.
 3. STATE PLANE COORDINATES SHALL BE DISPLAYED ON RECORD DRAWINGS FOR ALL FEATURES SPECIFIED IN THE SUA STANDARDS.

- GENERAL WATER NOTES:
1. ALL WATER SERVICE BRASS ARE REQUIRED TO BE LEAD FREE.
 2. CONTRACTOR SHALL ALLOW A MINIMUM OF 90 DAYS FROM SUBMITTAL OF WATER/SEWER ASBUILT RECORD DRAWINGS UNTIL REQUEST FOR FIRST WATER METER IN ORDER TO ALLOW FOR EOR AND SUA REVIEW OF ASBUILT DRAWINGS. ASBUILTS WHICH DO NOT COMPLY WITH SUA STANDARDS OR WHICH INDICATE UTILITY WORK WHICH DOES NOT COMPLY WITH THESE PLANS AND SUA/HEALTH DEPT. CRITERIA, MAY REQUIRE SIGNIFICANT CORRECTIVE WORK AND MAY RESULT IN SIGNIFICANT DELAYS WHICH SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 3. CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL BACTERIOLOGICAL TESTING AND RETESTING UNTIL PROJECT PASSES PBC HEALTH DEPARTMENT RELEASE PROCESS.
 4. CONTRACTOR IS SOLELY RESPONSIBLE FOR PROVIDING ALL SURVEY SERVICES (VIA LICENSED SURVEYOR) ASSOCIATED WITH ASBUILT RECORD DRAWING PREPARATION, EASEMENT SKETCH/LEGAL DESCRIPTIONS, AND ALL PROJECT STAKING/LAYOUT AND UTILITY VERIFICATION.

- GENERAL SEWER NOTES:
1. ON-SITE SEWER LATERALS ARE PRIVATELY OWNED AND MAINTAINED PAST SUA POINT-OF-SERVICE.
 2. CONTRACTOR SHALL CONFIRM THAT PROPOSED SEWER LATERAL INVERTS HAVE SUFFICIENT DEPTH TO CONNECT TO BUILDING PLUMBING PRIOR TO COMMENCING UTILITY CONSTRUCTION. CONTRACTOR IS SOLELY RESPONSIBLE FOR COST OF MODIFYING SEWER LATERALS IF HE FAILS TO COORDINATE PLUMBING/LATERAL DEPTHS PRIOR TO CONSTRUCTION.

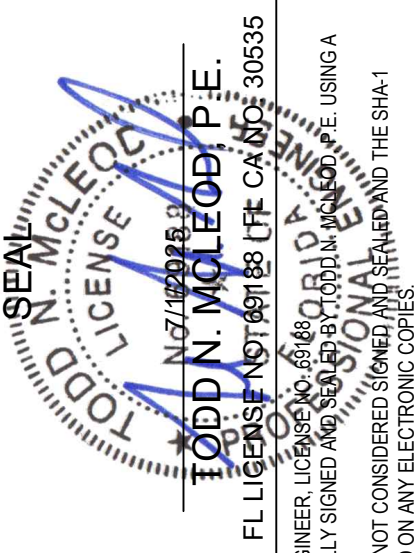
NOTE: THESE PLANS ARE STILL UNDER REGULATORY PERMIT REVIEW. OWNER IS ADVISED NOT TO ENTER INTO CONTRACT FOR THE CONSTRUCTION OF THIS PROJECT UNTIL ALL PERMITS ARE ISSUED. BIDDING/CONTRACTING PRIOR TO COMPLETION OF PERMITTING WILL RESULT IN INCREASED COSTS & CHANGE ORDERS.

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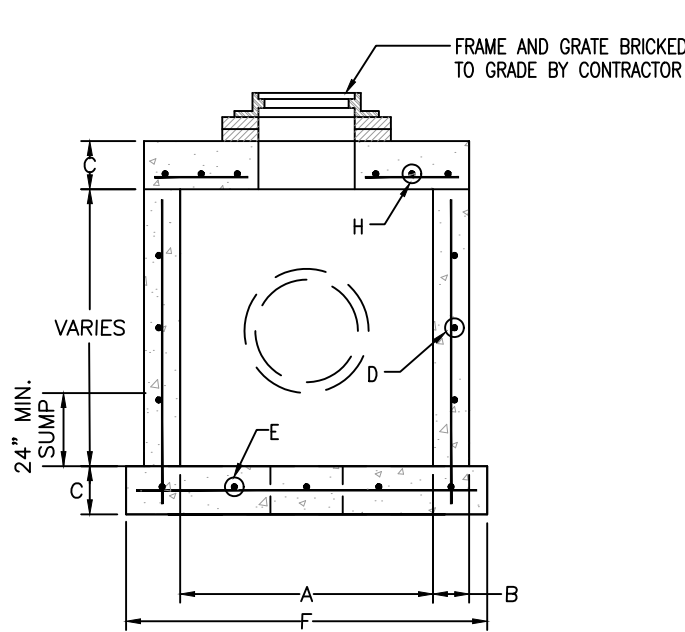
FIELD: **Drawn: P. Saffold**
DESIGNED: **TMM**
APPROVED: **TMM**
PROJECT: **#24-004**

NO.	DATE	REVISIONS

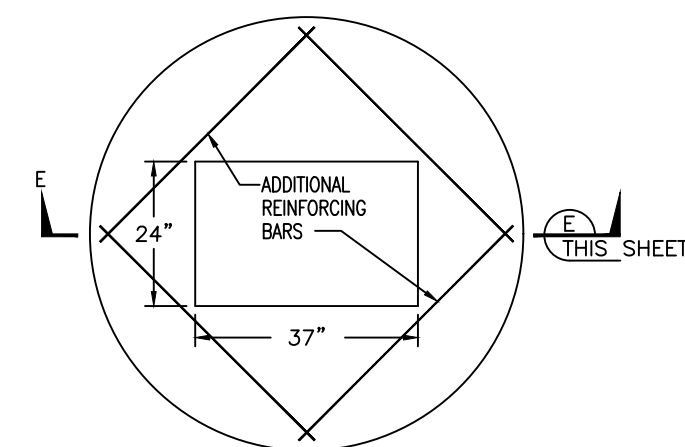
**PRELIMINARY WATER &
SEWER PLAN**
1220 10th STREET
STORAGE BUILDING ADDITION
LAKE PARK, FLORIDA

SITE PLAN RESUBMITTAL
DATE: 7/1/2025

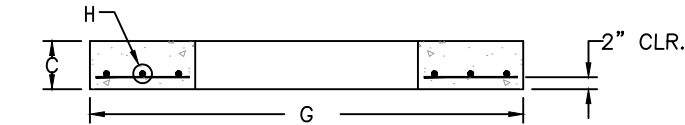
SHEET
C1.2
OF 5



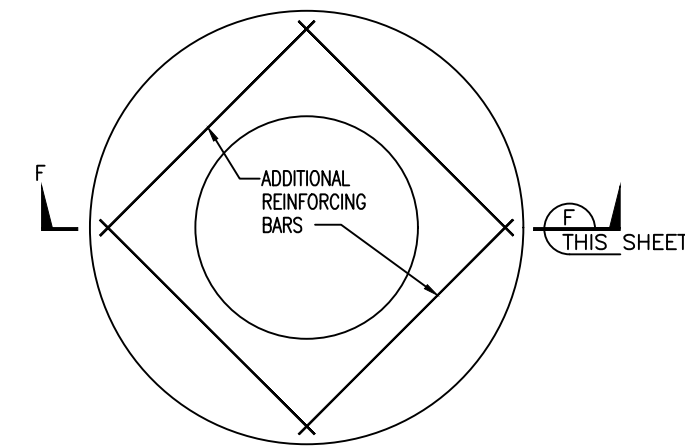
CATCH BASIN
(SEE TABLE FOR DIMENSIONS)



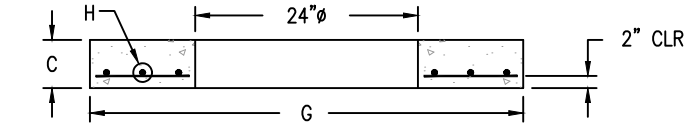
TOP SLAB FOR CATCH BASIN



SECTION E
(SEE TABLE FOR DIMENSIONS)



TOP SLAB FOR MANHOLE



SECTION F
(SEE TABLE FOR DIMENSIONS)

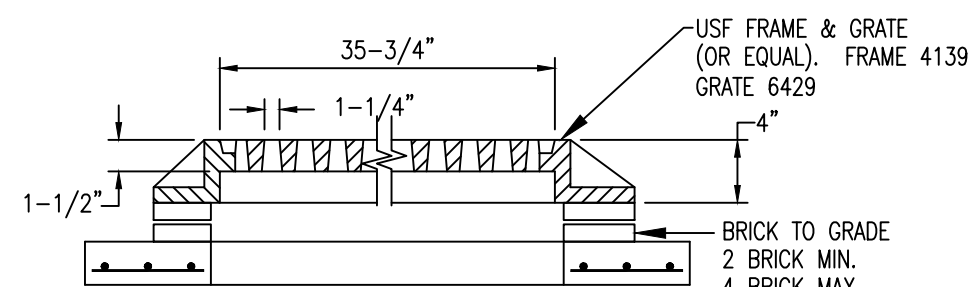
A	B	C	D	E*	F	G	H*
3'-6"	4"	8"	ASTM C-478	#4 @ 12"	4'-8"	4'-2"	#4 @ 6"
3'-0"	6"	8"	ASTM C-478	#4 @ 12"	5'-0"	4'-6"	#4 @ 6"
4"	6"	8"	ASTM C-478	#4 @ 12"	6'-0"	5'-0"	#4 @ 6"
4"	8"	8"	ASTM C-478	#4 @ 12"	6'-4"	5'-4"	#4 @ 6"
5'-0"	8"	8"	ASTM C-478	#5 @ 12"	7'-4"	6'-4"	#5 @ 6"
6'-0"	8"	8"	ASTM C-478	#5 @ 6"	8'-0"	7'-0"	#5 @ 6"
6'-0"	8"	8"	ASTM C-478	#5 @ 6"	8'-4"	7'-4"	#5 @ 6"
7'-0"	8"	8"	ASTM C-478	#5 @ 6"	9'-4"	8'-4"	#5 @ 6"
8'-0"	10"	10"	ASTM C-478	#5 @ 6"	10'-8"	9'-8"	#6 @ 6"
10'-0"	12"	12"	ASTM C-478	#5 @ 6"	12'-0"	12'-0"	#6 @ 6"

INLET NOTES

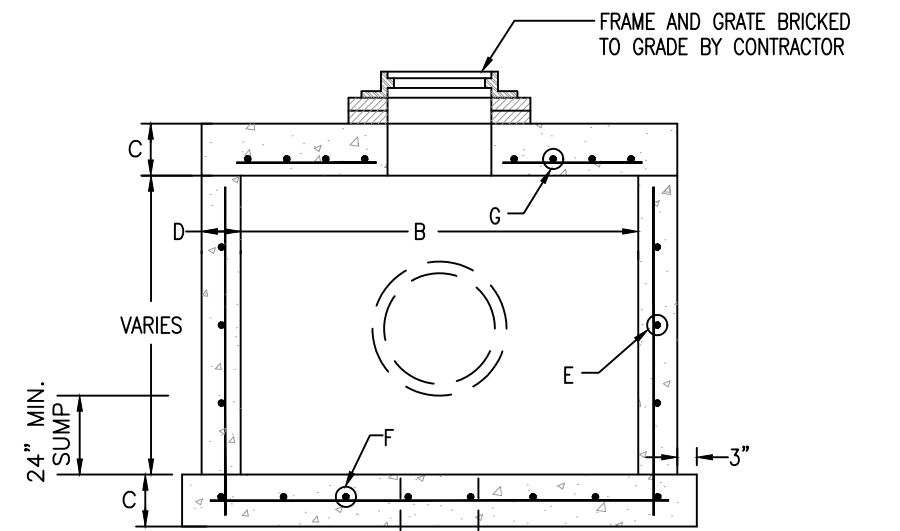
BEVELED EDGES: ALL EXPOSED CORNERS AND EDGES TO BE CHAMFERED 3/4".
FOUNDATION MATERIAL: WHERE MATERIAL UNSATISFACTORY FOR FOUNDATION IS ENCOUNTERED, ALL SUCH MATERIAL MUST BE REMOVED DOWN TO SATISFACTORY MATERIAL AND BACKFILLED TO SUBGRADE WITH CLEAN SAND.
INLET TYPES: INLETS ARE TO BE CONSTRUCTED TO THE DIMENSIONS SHOWN HEREON. INLETS RECEIVING PIPE LARGER THAN 42" DIAMETER SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARDS

MATERIAL: INLET WALLS AND BASES MAY EITHER BE CAST-IN-PLACE CLASS I, 2500 P.S.I. CONCRETE OR PRECAST CLASS II, 4000 (MIN.) P.S.I. CONCRETE.

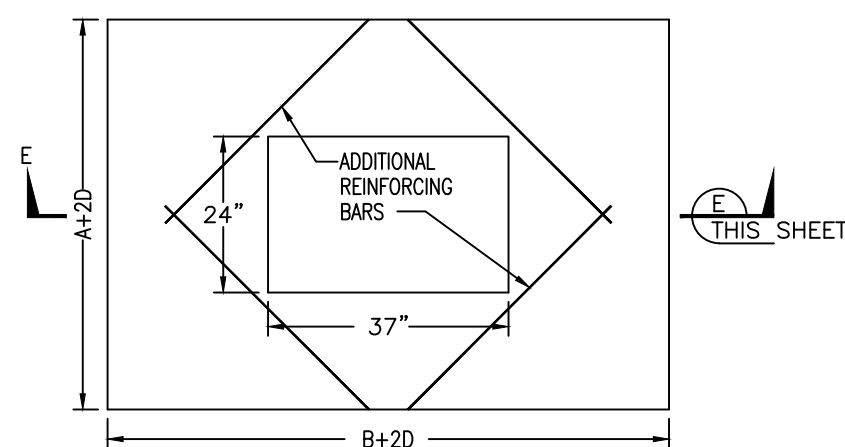
CIRCULAR CATCH BASIN (ON-SITE)



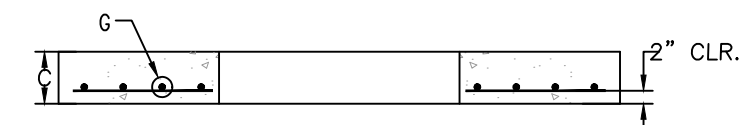
ON-SITE INLET FRAME & GRATE
(TYPE "C-D" INLET)



CATCH BASIN
(SEE TABLE FOR DIMENSIONS)



TOP SLAB FOR CATCH BASIN



SECTION E
(SEE TABLE FOR DIMENSIONS)

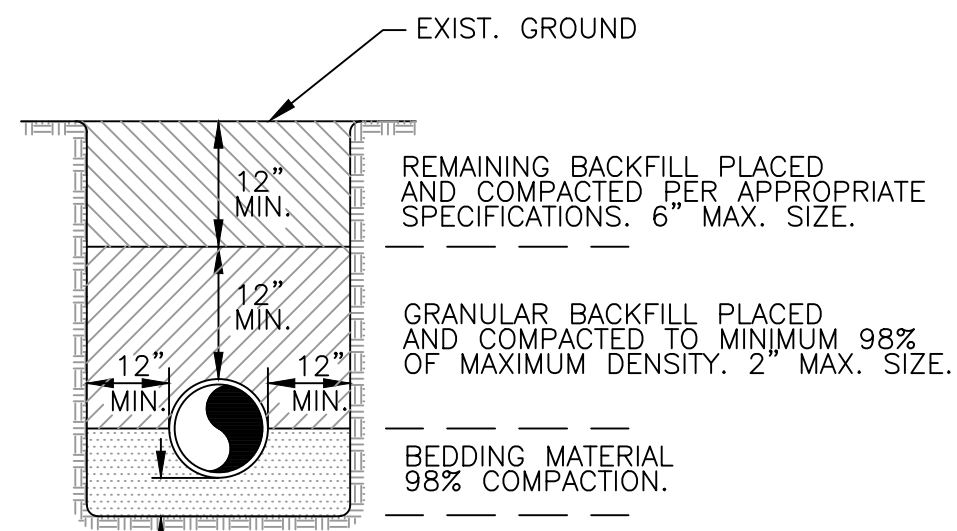
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3'-6"	3'-6"	8"	6"	#4 @ 12"	#4 @ 9"	#4 @ 6"
4'-0"	4'-0"	8"	6"	#4 @ 12"	#4 @ 9"	#4 @ 6"
4'-10"	5'-0"	8"	8"	#4 @ 12"	#5 @ 12"	#5 @ 6"
6'-0"	6'-0"	8"	8"	#4 @ 12"	#6 @ 12"	#6 @ 6"
8'-0"	8'-0"	10"	8"	#4 @ 12"	#6 @ 12"	#6 @ 6"
10'-0"	10'-0"	10"	8"	#4 @ 12"	#6 @ 6"	#7 @ 6"
3'-0"	4'-8"	8"	8"	#4 @ 12"	#4 @ 12"	#4 @ 6"
3'-6"	6'-0"	8"	8"	#4 @ 12"	#5 @ 12"	#5 @ 6"
4'-0"	6'-0"	8"	8"	#4 @ 12"	#5 @ 12"	#5 @ 6"
3'-6"	8'-0"	8"	8"	#4 @ 12"	#5 @ 12"	#5 @ 6"
4'-0"	8'-0"	8"	8"	#4 @ 12"	#5 @ 12"	#5 @ 6"
5'-0"	7'-0"	8"	8"	#4 @ 12"	#5 @ 12"	#5 @ 6"
6'-0"	8'-0"	8"	8"	#4 @ 12"	#6 @ 12"	#6 @ 6"
8'-0"	12'-0"	8"	8"	#4 @ 12"	#6 @ 12"	#6 @ 6"

INLET NOTES

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INLET TYPES: INLETS ARE TO BE CONSTRUCTED TO THE DIMENSIONS SHOWN HEREON. INLETS RECEIVING PIPE LARGER THAN 42" DIAMETER SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARDS

MATERIAL: INLET WALLS AND BASES MAY EITHER BE CAST-IN-PLACE CLASS I, 2500 P.S.I. CONCRETE OR PRECAST CLASS II, 4000 (MIN.) P.S.I. CONCRETE.

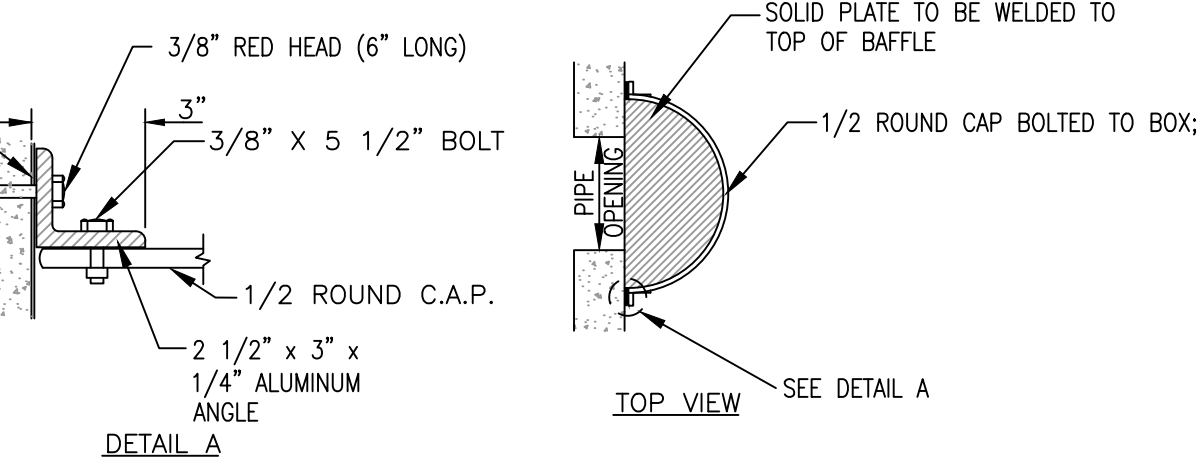
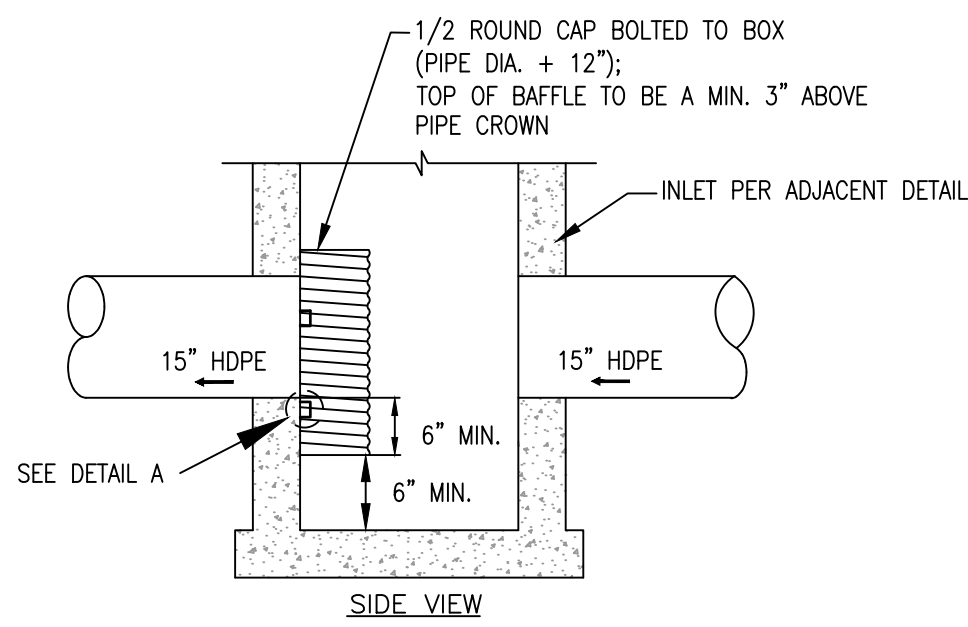
RECTANGULAR CATCH BASIN (ON-SITE)



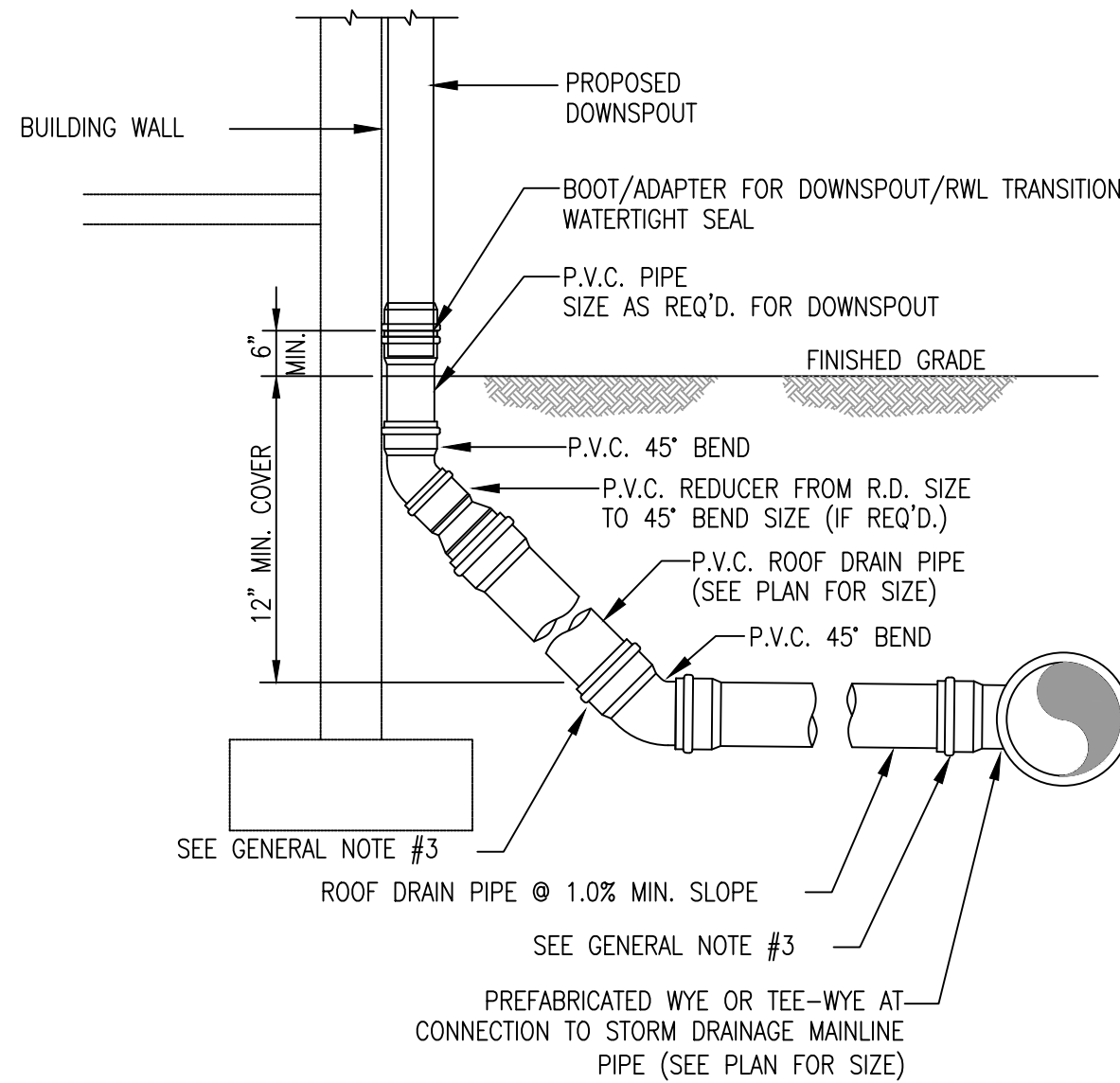
INLET NOTES

- BEDDING SHALL CONSIST OF IN-SITU GRANULAR MATERIAL OR WASHED AND GRADED LIMEROCK 3/8" TO 7/8" SIZING, UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS AND LARGER ROCK SHALL BE REMOVED.
- THE PIPE SHALL BE FULLY SUPPORTED FOR ITS ENTIRE LENGTH WITH APPROPRIATE COMPACTION UNDER THE PIPE HAUNCHES.
- THE PIPE SHALL BE PLACED IN A DRY TRENCH.
- BACKFILL SHALL BE FREE OF UNSUITABLE MATERIALS SUCH AS LARGER ROCK, MUCK AND DEBRIS.
- SEE GENERAL NOTES FOR PIPE BACKFILL BENEATH PROPOSED PAVEMENT.

TRENCH DETAIL
N.T.S.



POLLUTION RETARDANT BAFFLE (PRB) DETAIL
N.T.S.

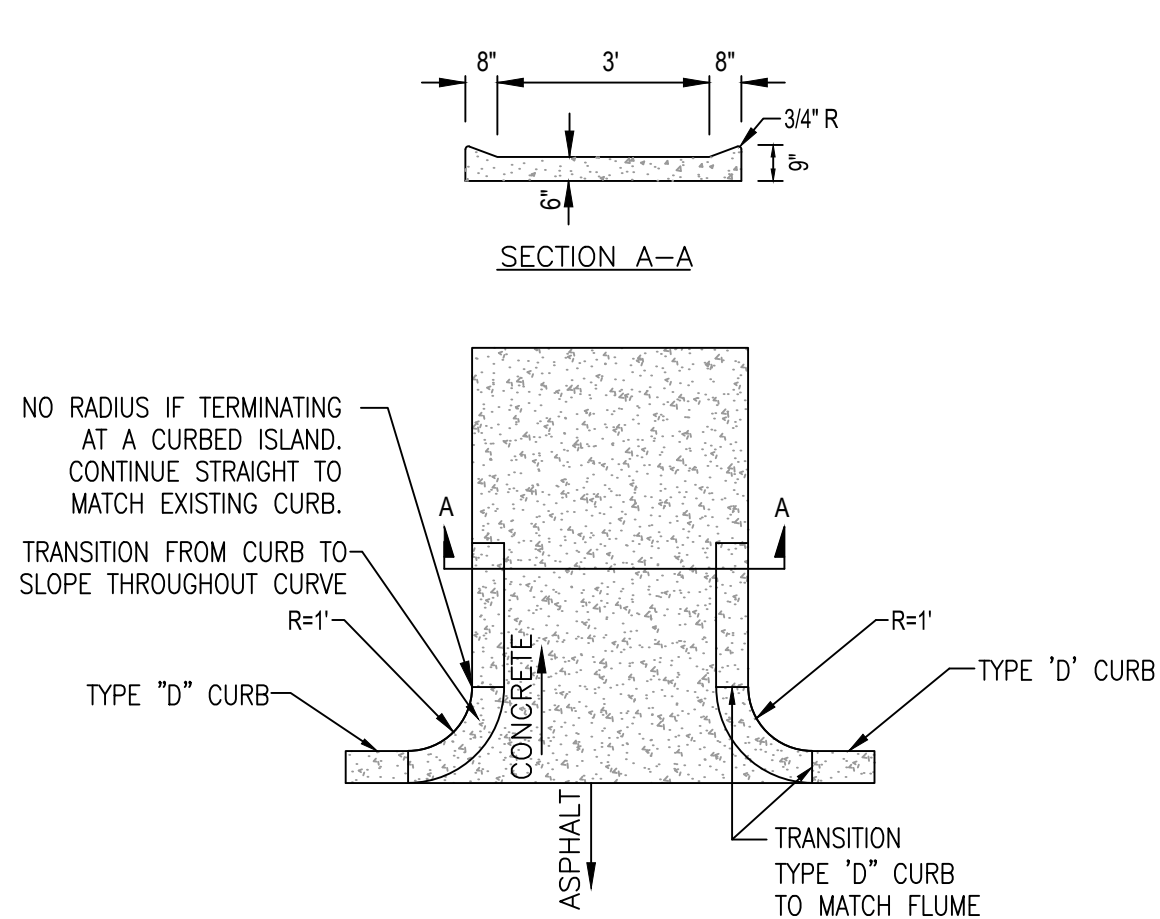


GENERAL NOTES

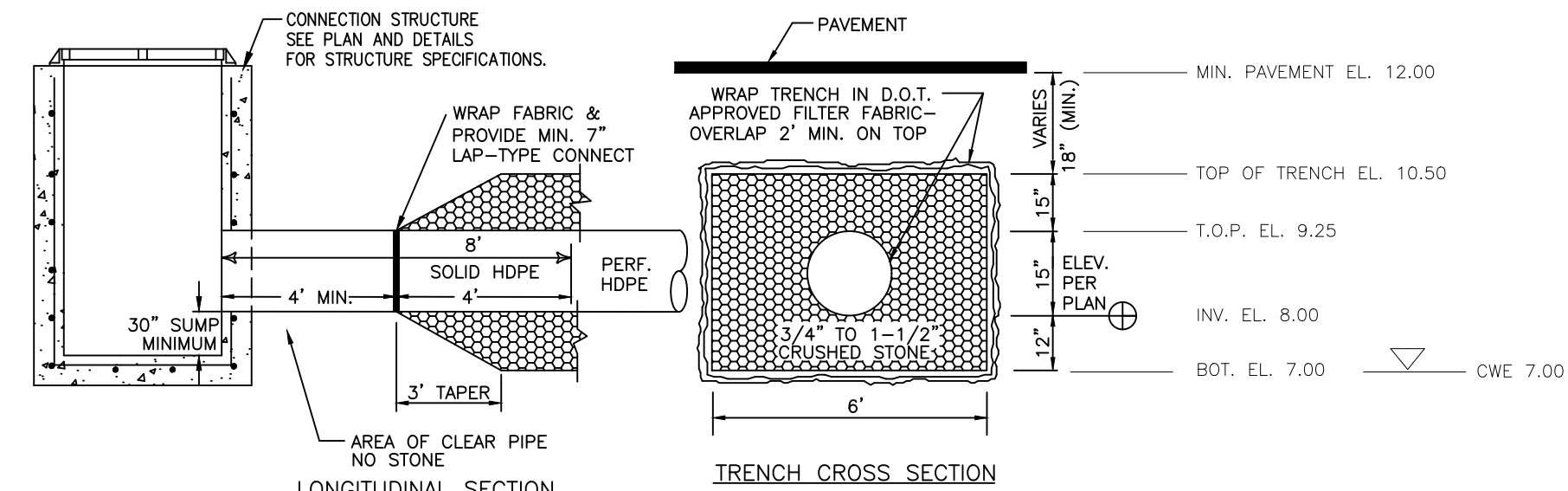
- PROVIDE TEMPORARY P.V.C. PLUG IN BELL END OF DOWNSPOUT SERVICE STUB-UP.
- ADDITIONAL BENDS MAY BE REQUIRED TO CLEAR BUILDING FOUNDATIONS OR TO CONNECT TO MAIN TRUNK LINE STORM DRAINAGE PIPES.
- USE A FABRICATED P.V.C. TRANSITION ADAPTER TO TRANSITION FROM P.V.C. PIPE TO H.D.P.E. PIPE OR FITTINGS.
- ALL PIPE AND FITTING JOINTS SHALL BE WATERTIGHT.

DOWNSPOUT TIE-IN DETAIL

N.T.S.



CONCRETE FLUME DETAIL
N.T.S.



ON-SITE EXFILTRATION TRENCH DETAIL
N.T.S.

PAVEMENT SECTION REQUIREMENTS			
TYPE	WEARING SURFACE	BASE	SUB-GRADE
CONCRETE PAVEMENT (ON-SITE)	6" THICK (4,000 PSI) WITH JOINTING PER ACI 330. JOINTING PLAN TO BE SUBMITTED PRIOR TO POURING CONCRETE	N/A	12" THICK, COMPACTED TO 98% MAXIMUM DRY DENSITY A.A.S.H.T.O. T-180 (LBR 40)
ASPHALT PAVEMENT (ON-SITE)	2" THICK SP-9.5 A.C.S.C. (2-LIFTS)	8" THICK LIMEROCK BASE (LBR 100) COMPACTED TO 98% AASHTO T-180 DENSITY & PLACED IN 4" MAX. LIFTS.	12" THICK, COMPACTED TO 98% MAXIMUM DRY DENSITY A.A.S.H.T.O. T-180 (LBR 40)
SIDEWALKS (ONSITE)	SIDEWALK: 4" THICK CONCRETE (3,000 PSI). CONCRETE TO BE BROOM FINISHED WITH EVEN, DUSTLESS SURFACE. CONTROL JOINTS TO BE SPACED 5' ON CENTER. ISOLATION JOINTS REQUIRED WHERE SIDEWALK ABUTS BUILDING, EXISTING PAVEMENT, OR OTHER STRUCTURES.		

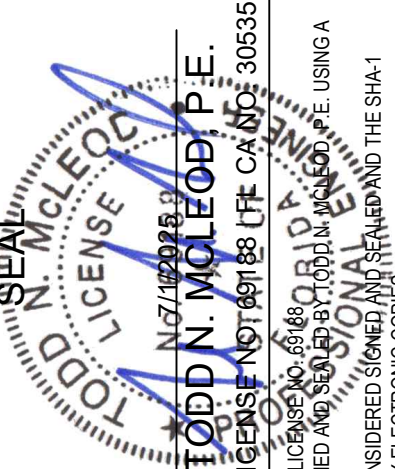
NOTE: THESE PLANS ARE STILL UNDER REGULATORY PERMIT REVIEW. OWNER IS ADVISED NOT TO ENTER INTO CONTRACT FOR THE CONSTRUCTION OF THIS PROJECT UNTIL ALL PERMITS ARE ISSUED. BIDDING/CONTRACTING PRIOR TO COMPLETION OF PERMITTING WILL RESULT IN INCREASED COSTS & CHANGE ORDERS.

DATUM NOTE: ALL ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). TO CONVERT TO NGVD 1929, ADD 1.50' TO NAVD ELEVATIONS.



**McLeod • McCarthy
& Associates, P.A.**
Civil Engineers

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www.mcleodmccarthy.com



FIELD: P. Saffold
DRAWN: TMM
DESIGNED: TMM
APPROVED: TMM
PROJECT #24-004

NO. DATE REVISIONS

PRELIMINARY ENGINEERING DETAILS
1220 10th STREET
STORAGE BUILDING ADDITION
LAKE PARK, FLORIDA

SITE PLAN RESUBMITTAL
DATE: 7/1/2025

SHEET
C2.1
OF 5

<div>STANDARD WATER, RECLAIMED WATER AND SEWER SEPARATION STATEMENT</div> <div><div><div><div><div><div>1. STORM SEWER, GRAVITY WASTEWATER, FORCE MAINS AND RECLAIMED WATER MAINS CROSSING UNDER POTABLE WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF TWELVE (12) INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE CROWN OF THE LOWER PIPE, WHERE THIS MINIMUM SEPARATION CANNOT BE MAINTAINED BETWEEN GRAVITY SEWER OR STORM SEWER, THE CROSSING SHALL BE ARRANGED SO THAT THE STORM/GRAVITY SEWER PIPE JOINTS AND POTABLE WATER MAIN JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING WITH NO LESS THAN SIX (6) FEET BETWEEN ANY TWO JOINTS. BOTH PIPES SHALL BE D.I.P., AND THE MINIMUM VERTICAL SEPARATION SHALL BE SIX (6) INCHES. WHERE THERE IS NO ALTERNATIVE TO STORM/WASTEWATER/FORCE MAIN/RECLAIMED WATER MAINS CROSSING OVER A POTABLE WATER MAIN, THE CRITERIA FOR MINIMUM TWELVE (12) INCH VERTICAL SEPARATION BETWEEN LINES AND JOINT ARRANGEMENT, AS STATED ABOVE, SHALL BE REQUIRED, AND BOTH PIPES SHALL BE D.I.P., RESPECTIVE OF SEPARATION, IN ALL OF THE ABOVE CASES D.I.P. IS NOT REQUIRED FOR STORM SEWER PIPE.</div><div>2. FORCE MAINS CROSSING RECLAIMED WATER MAINS OR STORM SEWER SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF TWELVE (12) INCHES BETWEEN THE OUTSIDE OF THE FORCE MAIN AND THE OUTSIDE OF THE RECLAIMED WATER MAIN OR STORM SEWER AND THE RECLAIMED WATER MAIN SHALL CROSS OVER THE FORCE MAIN.</div><div>3. AT THE UTILITY CROSSING DESCRIBED IN ITEMS 1 AND 2 ABOVE, ONE FULL LENGTH OF DUCTILE IRON WATER MAIN PIPE SHALL BE CENTERED SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE JOINTS. WHERE THIS IS NOT POSSIBLE, JOINTS SHALL BE AT LEAST THREE (3) FEET FROM STORM SEWERS AND SIX (6) FEET FROM GRAVITY SEWER MAINS, FORCE MAINS AND RECLAIMED WATER MAINS.</div><div>4. SEWER SERVICE LATERALS SHALL CROSS UNDER WATER MAINS WITH A MINIMUM VERTICAL SEPARATION OF TWELVE (12) INCHES. IF (12") VERTICAL SEPARATION CANNOT BE MAINTAINED, THEN THE WATER MAIN SHALL BE D.I.P. AND THE SEWER SERVICE LATERAL SHALL BE C-300 SDR 18 OR BETTER AND THE MINIMUM SEPARATION SHALL BE SIX (6) INCHES. WHEN IT IS NOT POSSIBLE FOR THE WATER MAIN TO CROSS OVER THE SEWER SERVICE LATERAL, A MINIMUM VERTICAL SEPARATION OF AT LEAST TWELVE (12) INCHES MUST BE MAINTAINED, THE WATER MAIN SHALL BE D.I.P. AND THE SEWER LATERAL SHALL BE C-300 SDR 18 OR BETTER.</div><div>5. MAINTAIN MINIMUM TEN (10) FEET HORIZONTAL DISTANCE BETWEEN POTABLE WATER MAIN OR FORCE MAIN, RECLAIMED WATER MAIN, STORM SEWER OR GRAVITY SEWER MAIN OR ON SITE SEWAGE DISPOSAL SYSTEMS. ADDITIONAL SEPARATION MAY BE REQUIRED AS OUTLINED IN SECTION II OF SUA STANDARDS.</div></div><div><div>INSTALLATION PROTOCOL</div><div><div>1. ALL PIPE IS TO BE LAID IN A CLEAN DRY TRENCH.</div><div>2. ALL MUCK AND UNSUITABLE MATERIALS ENCOUNTERED IN TRENCH BOTTOM SHALL BE REMOVED AND REPLACED WITH COMPACTED GRANULAR MATERIAL TO 98% OF MAXIMUM DENSITY PER AASHTO T-180. PROCTOR AND DENSITY TEST RESULTS SHALL BE SUBMITTED TO EOR WITH A COPY TO AUTHORITY.</div><div>3. ALL BACKFILL SHALL BE PLACED IN 12 INCH LIFTS AND COMPACTED BY MECHANICAL MEANS TO 98% OF MAXIMUM DENSITY PER MSHTO T-180 OR AS OTHERWISE REQUIRED BY THE PERMITTING AGENCY.</div><div>4. UTILITIES CROSSING ROAD RIGHT-OF-WAY SHALL BE INSTALLED PRIOR TO ROAD CONSTRUCTION AND BACKFILLED AND COMPACTED WITHIN RIGHT-OF-WAY LIMITS IN STRICT ACCORDANCE WITH THE DIRECTIONS OF THE EOR AND REQUIREMENTS OF ALL AGENCIES OF JURISDICTION.</div><div>5. EMBEDED MATERIALS BELOW PIPE SHALL CONFORM TO UNIFIED SOIL CLASSIFICATION SYSTEM (U.S.C.S.) SOIL CLASSIFICATION CLASS I OR II AS NOTED IN ASTM D2321.</div><div>6. ALL LINES UNDER CONSTRUCTION SHALL BE PLUGGED WITH A WING PLUG, AND ALL PRESSURE PIPES ARE TO BE PLUGGED WITH A MECHANICAL PLUG OR CAP AT THE END OF THE WORKING DAY TO PREVENT GROUND WATER AND POTENTIAL CONTAMINANTS FROM ENTERING COMPLETED LINES AND LINES UNDER CONSTRUCTION.</div><div>7. ABOVE GROUND PIPING, INCLUDING BUT NOT LIMITED TO, AERIAL CROSSINGS, LIFT STATION PIPING, FIRE LINES, METER/BACKFLOW PREVENTION DEVICE ASSEMBLIES, ETC. SHALL BE FLANGED AND BE COATED IN ACCORDANCE WITH SECTION 2 OF SEACOAST UTILITY AUTHORITY CONSTRUCTION STANDARDS. THE FINISHED COAT OF PAINT SHALL BE GREEN IN COLOR FOR SANITARY SEWER, LAVENDER FOR RECLAIMED APPURTENANCES AND BLUE FOR POTABLE WATER APPURTENANCES.</div><div>8. ALL FLANGED PIPE SHALL BE CAULKED BETWEEN EACH FLANGE AND THREADS WITH SIKKA 1 A URETHANE CAULK AFTER BLASTING AND PRIOR TO PRIMING.</div><div>9. ALL THE RODS, BOLTS, NUTS, ETC. INSTALLED UNDERGROUND MUST BE COR TEN OR APPROVED EQUAL AND SHALL BE PAINTED WITH KOPPERS 300-M OR AN AUTHORITY APPROVED EQUAL. BRASS AND STAINLESS STEEL HARDWARE IS EXEMPT FROM THIS REQUIREMENT.</div><div>10. COATINGS AND LININGS DAMAGED DUE MISHANDLING OR OTHERWISE, MUST BE REPLACED. COATING AND LININGS DAMAGED DUE TO FIELD CUTTING SHALL BE REPAIRED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. THIS INCLUDES, BUT IS NOT LIMITED TO, COBNET MORTAR AND POLYETHYLENE PIPE LININGS, PROTECTO 401, GALVANIZED COATINGS, PVC FENCE COATINGS AND OTHER TYPE COATINGS. APPROVAL MUST BE OBTAINED FROM AUTHORITY PRIOR TO PERFORMING COATING AND LINING REPAIRS. INSPECTIONS OF ALL REPAIRS ARE REQUIRED.</div><div>11. ALL STAINLESS STEEL NUTS, BOLTS AND HARDWARE REFERENCED IN THESE STANDARDS, SHALL BE SS 316 GRADE AND SHALL BE SO STAMPED BY THE MANUFACTURER TO VERIFY ALLOY. THE USE OF ANY OTHER STAINLESS STEEL ALLOY WILL REQUIRE SPECIFIC APPROVAL BY AUTHORITY. IN GENERAL, STAINLESS STEEL NUTS, BOLTS AND HARDWARE ARE REQUIRED IN AND AROUND LIFT STATIONS AND FOR FACILITIES INSTALLED OVER OR UNDER BRACKISH OR MARINE WATERS. THIS REQUIREMENT APPLIES TO FLANGE BOLTS AND NUTS ON FLANGED PIPING, MOUNTING BRACKETS, ALL THREAD ROD, ANCHOR BOLTS, WASHERS, CLAMPS AND OTHER MISCELLANEOUS HARDWARE. ANTI-GALLING COMPOUND ANTI-SEIZE LUBRICANT SHALL BE APPLIED TO THE THREADS OF ALL STAINLESS STEEL BOLTS PRIOR TO INSTALLATION.</div><div>ANTI-SEIZE LUBRICANT SHALL BE GRAPHITE 50 ANTI-SEIZE BY LOCTITE CORPORATION, 1000 ANTI-SEIZE PASTE BY DOW CORNING OR 3M LUBE AND ANTI-SEIZE BY 3M.</div><div>12. ALL RUBBER AND SYNTHETIC ELASTOMERIC COMPONENTS OF PRODUCTS THAT COME IN CONTACT WITH POTABLE WATER SHALL BE MANUFACTURED WITH CHLORAMINE RESISTANT ELASTOMERS AND SHALL BEAR NSF APPROVAL.</div><div>13. ALL MAIN, INCLUDING FITTINGS, SHALL BE EASILY IDENTIFIABLE AS TO THEIR CONTENTS AND SHALL BE COLOR CODED OR MARKED USING THE UNIVERSAL COLOR CODE OF BLUE FOR WATER, GREEN FOR SEWER AND LAVENDER FOR RECLAIMED. PIPE STRIPED DURING MANUFACTURING OF THE PIPE SHALL HAVE CONTINUOUS STRIPES THAT RUN PARALLEL TO THE AXIS OF THE PIPE, THAT ARE LOCATED AT NO GREATER THAN 90-DEGREE INTERVALS AROUND THE PIPE, AND THAT WILL REMAIN INTACT DURING AND AFTER INSTALLATION OF THE PIPE. IF TAPE IS USED TO STRIPE PIPE DURING INSTALLATION OF THE PIPE, THE TAPE SHALL BE APPLIED IN A CONTINUOUS LINE THAT RUNS PARALLEL TO THE AXIS OF THE PIPE AND THAT IS LOCATED ALONG THE TOP OF THE PIPE. FOR PIPES WITH AN INTERNAL DIAMETER OF 24 INCHES OR GREATER, TAPE SHALL BE APPLIED IN CONTINUOUS LINES ALONG EACH SIDE OF THE PIPE AS WELL AS ALONG THE TOP OF THE PIPE.</div></div></div></div></div></div></div>		<div>Water, Reclaimed Water, and Sewer and Separation Statement</div> <div><div>SEACOAST UTILITY AUTHORITY</div><div>CONSTRUCTION STANDARDS AND DETAILS</div><div>Revision B-18</div></div> <div><div>DATE APPROVED:</div><div>OCT 23, 2024</div><div>DRAWING No.</div><div>2</div></div>		<div>Pipe Installation Protocol</div> <div><div>SEACOAST UTILITY AUTHORITY</div><div>CONSTRUCTION STANDARDS AND DETAILS</div><div>Revision D-23</div></div> <div><div>DATE APPROVED:</div><div>OCT 23, 2024</div><div>DRAWING No.</div><div>15</div></div>		<div>Typical Water Service Installation</div> <div><div>SEACOAST UTILITY AUTHORITY</div><div>CONSTRUCTION STANDARDS AND DETAILS</div><div>Revision B-23</div></div> <div><div>DATE APPROVED:</div><div>OCT 23, 2024</div><div>DRAWING No.</div><div>29</div></div>		<div>Water Meter and Backflow Device 3/4" to 2"</div> <div><div>SEACOAST UTILITY AUTHORITY</div><div>CONSTRUCTION STANDARDS AND DETAILS</div><div>Revision D-23</div></div> <div><div>DATE APPROVED:</div><div>OCT 23, 2024</div><div>DRAWING No.</div><div>36</div></div>	
<div><div><div><div><div><div>CLEAN OUT WITH CONCRETE COLLAR (TYPICAL SINGLE AND DOUBLE SERVICE) (SEE "SANITARY SERVICE CLEAN OUT" DETAIL)</div><div>FINISH GRADE</div><div>30" MIN</div><div>48" MAX</div><div>12"</div><div>45°</div><div>45°</div><div>SDR 26 W/ CAP</div><div>DEPTH VARIES</div><div>6"</div><div>UNDISTURBED SOIL</div><div>45° BEND</div><div>WYE</div><div>45° MAX.</div><div>PROPERTY LINE</div><div>6" x 4" WYE BRANCH</div><div>CLEAN OUT</div><div>45° BEND</div></div></div><div><div>NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)</div><div><div>1. THE END OF EACH SERVICE CONNECTION SHALL BE MARKED WITH A 2" x 2" TREATED WOOD STAKE AND AN E.M.S. SANITARY SEWER MARKER.</div><div>2. EACH SERVICE CONNECTION SHALL BE PLUGGED WATER TIGHT WITH AN APPROVED CAP OR PLUG.</div><div>3. CUT OFF BELL END WHEN USING FERNOCO COUPLING FOR VCP (FOR EXISTING SERVICES ONLY)</div><div>4. FOR PVC INSTALLATIONS, CONNECT TO EXISTING "BELL END" AND CONNECT OPPOSITE END WITH PVC TO PVC KNOCK ON SLEEVE.</div><div>5. SQUIDLY TAMP BACKFILL AT LEAST ONE FOOT ABOVE TOP OF PIPE. SERVICES UNDER PAVED AREAS SHALL BE BACKFILLED TO THE SAME SPECIFICATIONS AS SHOWN ON "PAVEMENT REPLACEMENT" DETAIL.</div><div>6. CONTRACTOR SHALL MARK ON A CLEAN SET OF PLANS THE FINAL STATIONING OR DISTANCE OR DIRECTION FROM MANHOLE TO EACH SERVICE LATERAL AND GIVE TO ENGINEER FOR RECORD DRAWING PURPOSES.</div><div>7. ANY DEVIATION FROM THESE METHODS MUST BE APPROVED BY SUA.</div><div>8. THE USE OF UNNECESSARY FITTINGS ON THE CUSTOMERS LINE TO REDUCE EXCAVATION EFFORTS WILL BE CAUSE FOR REJECTION.</div><div>9. THE USE OF 90° SWEEPS ON THE CUSTOMERS LINE IN LIEU OF 45° BENDS WILL REQUIRE AN ADDITIONAL CLEAN OUT AS SHOWN ON "SANITARY SERVICE CLEAN OUT DETAIL". THE CLEAN OUT SHALL BE ON THE HOUSE SIDE OF THE TOP SWEEP WITHIN 2' OF THE SWEEP.</div></div></div></div></div></div>		<div><div><div><div><div>8" x 24" x 24" CONCRETE COLLAR</div><div>8" x 24" x 24" CONCRETE COLLAR WITH 4" x 4" WIRE MESH REINFORCEMENT</div><div>FINISH GRADE</div><div>30" MIN</div><div>48" MAX</div><div>6" MIN</div><div>PVC WITH 2" x 1/4" SQUARE RECESSED NUT</div><div>USSI LOL CLEAN OUT PLUG W/ INNER SEAT RING</div><div>PAVEMENT</div><div>ROCK BASE</div><div>6" MIN</div><div>SECTION "A-A"</div><div>CLEAN OUT IN VEHICULAR OR PEDESTRIAN TRAFFIC AREA</div><div>SECTION "A-A"</div><div>CLEAN OUT IN GREEN AREA</div></div></div><div><div>NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)</div><div><div>1. U.S. FOUNDORY NO. 7621 REVERSIBLE HANDHOLE RING AND COVER OR APPROVED EQUAL SHALL BE USED, COVER TO BE CAST WITH "S" IN THE CENTER.</div><div>2. CLEAN OUT REQUIRED ON ALL SERVICES AT PROPERTY LINE OR EASEMENT LINE WHERE APPLICABLE.</div><div>3. STANDARD WYE SHALL BE USED AT CLEAN OUT.</div><div>4. USSI LOL GREEN CLEAN OUT PLUG TO BE INSTALLED IMMEDIATELY AFTER CONSTRUCTION.</div></div></div></div></div>		<div>Sewer Service Connection (Wye Branch)</div> <div><div>SEACOAST UTILITY AUTHORITY</div><div>CONSTRUCTION STANDARDS AND DETAILS</div><div>Revision C-24</div></div> <div><div>DATE APPROVED:</div><div>OCT 23, 2024</div><div>DRAWING No.</div><div>57</div></div>		<div>Sanitary Service Clean Out</div> <div><div>SEACOAST UTILITY AUTHORITY</div><div>CONSTRUCTION STANDARDS AND DETAILS</div><div>Revision D-24</div></div> <div><div>DATE APPROVED:</div><div>OCT 23, 2024</div><div>DRAWING No.</div><div>59</div></div>			

NOTE: THESE PLANS ARE STILL UNDER REGULATORY PERMIT REVIEW. OWNER IS ADVISED NOT TO ENTER INTO CONTRACT FOR THE CONSTRUCTION OF THIS PROJECT UNTIL ALL PERMITS ARE ISSUED. BIDDING/CONTRACTING PRIOR TO COMPLETION OF PERMITTING WILL RESULT IN INCREASED COSTS & CHANGE ORDERS.

DATUM NOTE: ALL ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). TO CONVERT TO NGVD 1929, ADD 1.50' TO NAVD ELEVATIONS.



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www.mcleodmccarthy.com



FIELD:
DRAWN: P. Saffold
DESIGNED: TMM
APPROVED: TMM
PROJECT #24-004

NO. DATE REVISIONS

WATER & SEWER DETAILS
1220 10th STREET
STORAGE BUILDING ADDITION
LAKE PARK, FLORIDA

SITE PLAN RESUBMITTAL
DATE: 7/1/2025

SHEET
C2.2
OF 5

DATUM NOTE: ALL ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
TO CONVERT TO NGVD 1929, ADD 1.50' TO NAVD ELEVATIONS.

Landscape Development Plan
1220 10th Street
Town of Lake Park, Florida

Designed: _____ GGG
 Drawn: _____ PSS
 Approved: _____ GGG/EOM/MTM
 Date: _____ 5-22-23
 Job no. _____ 22-0414
 Revisions: _____ 6-14-23
 _____ 8-23-23
 _____ 11-18-24
 _____ 12-12-24
 _____ 5-22-25
 _____ 6-27-25

LC 0000117

Sheet Title:

Landscape
Development
Plan

Scale: 1" = 30'

Sheet No.

LP-1

22-0414

LANDSCAPE DATA:

GROSS SITE AREA : _____ 2.74 AC. (119,270.67 s.f.)
TOTAL LANDSCAPE AREA REQUIRED: _____ 17,890.60 s.f. (15%)
TOTAL LANDSCAPE AREA PROVIDED: _____ 44,575.39 s.f. (37%)

LANDSCAPE TREE REQUIREMENTS:

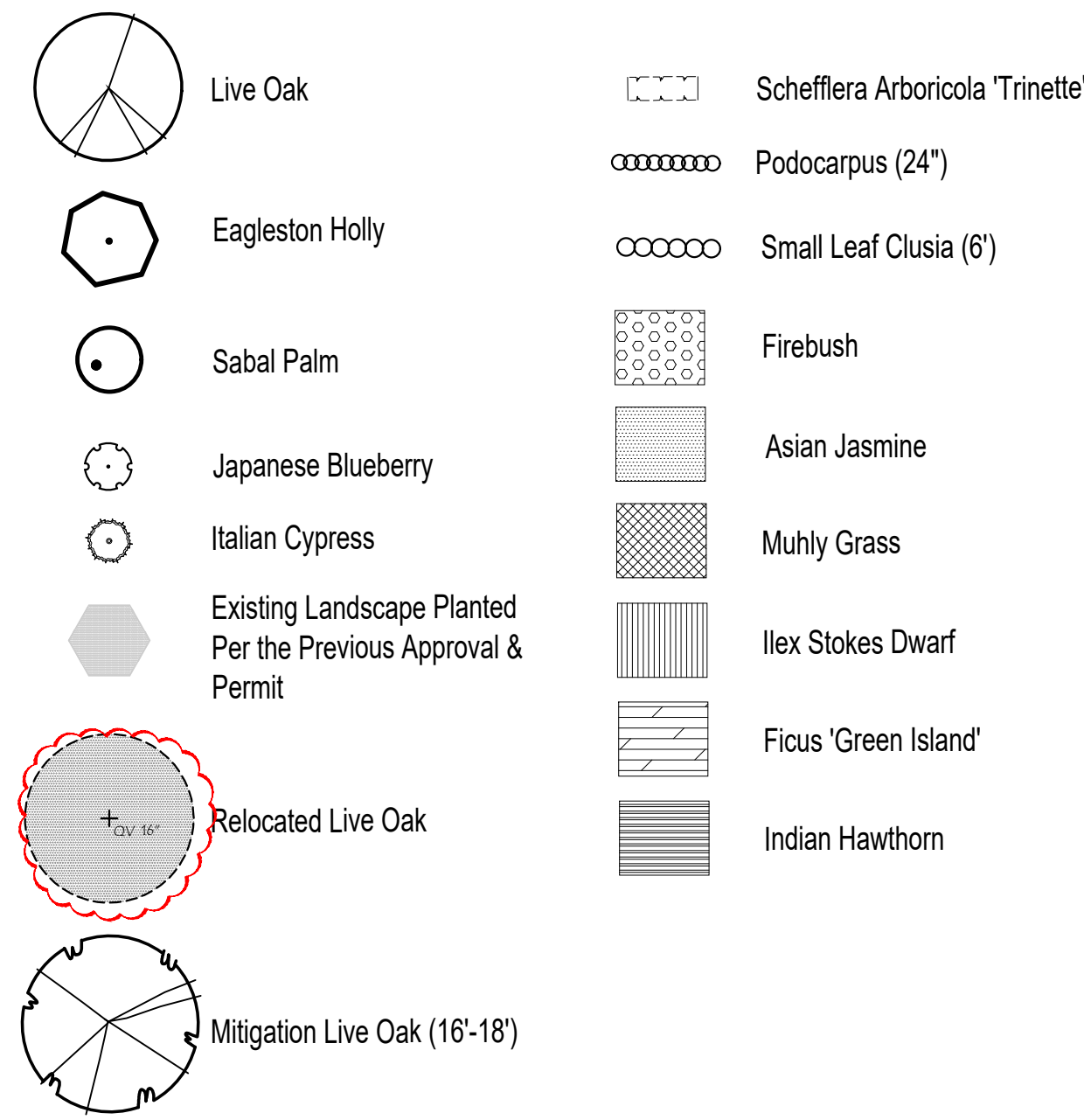
LANDSCAPE TREE REQUIREMENTS:		REQUIRED	PROVIDED
NORTHERN PERIMETER (331.90 L.F.)	8 TREES	8 TREES (1:40 L.F.)	
SOUTHERN PERIMETER (309.12 L.F.)	8 TREES	8 TREES (1:40 L.F.)	
WESTERN PERIMETER (431.48 L.F.)	11 TREES	11 TREES (1:40 L.F.)	
EASTERN PERIMETER (348.98 L.F.)	17 TREES	17 TREES (1:20 L.F.) (EX. PALMS = 3:1)	
PARKING ISLAND TREES	19 TREES	19 TREES (1 PER ISLAND)	
TOTAL TREES		63 TREES	64 TREES (PALMS = 3 TO 1 CANOPY TREE)

PALM SUBSTITUTION (50% MAX) ————— 30 TRIPLE ——— 14 SETS; 23%
SETS MAX

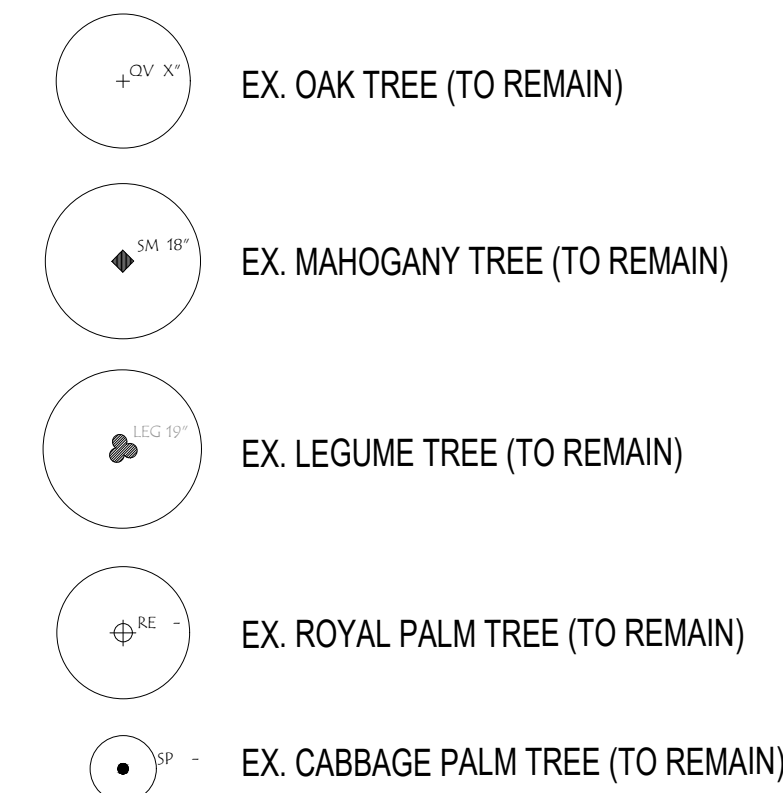
OTHER LANDSCAPE REQUIREMENTS

- MINIMUM 30" HIGH SHRUBS, PLANTED 18" O.C. AROUND MONUMENT SIGNAGE.
MINIMUM 30" HIGH HEDGE INSTALLED ALONG PERIMETER BUFFERS.
MINIMUM 36" HIGH HEDGE INSTALLED AROUND DUMPSTER ENCLOSURE(S).

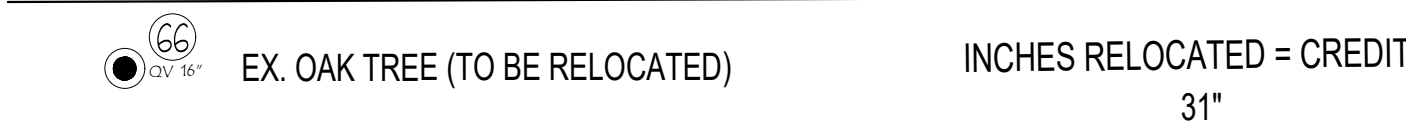
PROPOSED LANDSCAPE LEGEND



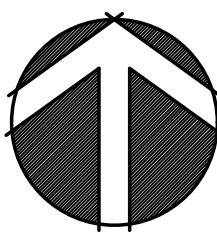
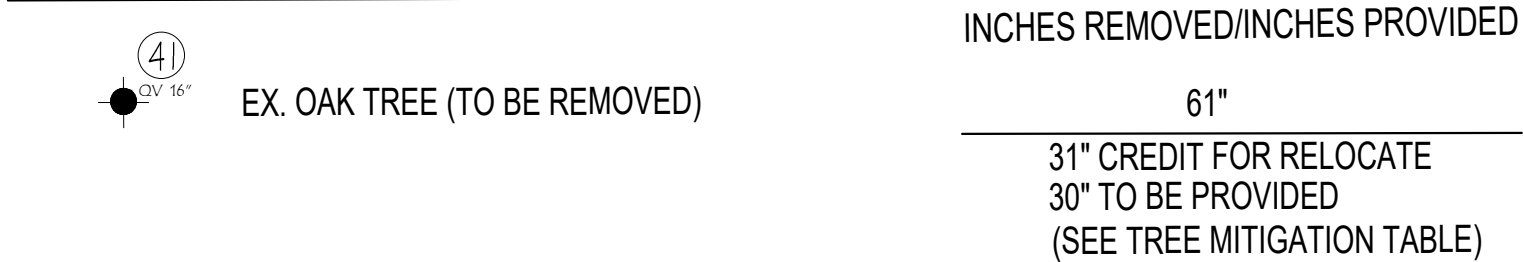
EXISTING TREE LEGEND (REMAIN)



EXISTING TREE LEGEND (RELOCATE)



EXISTING TREE LEGEND (REMOVE)



LANDSCAPE NOTES:

- THE LANDSCAPE ARCHITECT OF RECORD SHALL VERIFY THAT THE INSTALLATION COMPLIES WITH THE APPROVED PLAN OF RECORD. THIS VERIFICATION INCLUDES THE SPECIES (TYPE, QUANTITY, AND OTHER ORIGINAL PLANTING, SPECIFICATIONS) DESIGN OR LOCATION, IRRIGATION, AND ALL OTHER LANDSCAPE STRUCTURES AND MATERIAL USED IN ACCORDANCE WITH THE SITE PLAN.
- ALL PLANTING AREAS (INCLUDING SOOD) SHALL RECEIVE 100% COVERAGE FROM A FULLY AUTOMATIC IRRIGATION SYSTEM, EQUIPPED WITH A RAIN SENSOR.
- EXISTING IRRIGATION SYSTEM TO BE MODIFIED TO ACCOMMODATE PROPOSED SITE AND LANDSCAPE REDEVELOPMENT.
- IRRIGATION SOURCE SHALL BE POTABLE OR WELL WATER SOURCE.
- ALL PLANTING BEDS/ISLANDS SHALL BE FREE OF SHELLROCK THREE (3) AND CONSTRUCTION DEBRIS, EXCAVATED TO A DEPTH OF 30" OR TO CLEAN NATIVE SOILS AND BACKFILLED WITH THE SPECIFIED BACKFILL MIXTURE
- ALL TREES UNDER FPL POWER LINES ARE REQUIRED TO COMPLY WITH THE FPL PLANT THE RIGHT TREE IN THE RIGHT PLACE" GUIDELINES.
- ALL LANDSCAPE ISLANDS SHALL INCORPORATE THE INSTALLATION OF MOUNDING OF NATIVE SOILS A MIN. OF 6" ABOVE THE TOP OF CURB.
- ALL PLANT MATERIAL SHALL MEET THE FLORIDA GRADES AND STANDARDS OF FL. #1 QUALITY OR BETTER.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DONE TO UTILITIES AS A RESULT OF THIS WORK.
- ANY WATER AND/OR SEWER CONNECTIONS MUST BE COORDINATED AND SUPERVISED BY UTILITY DISTRICT PERSONNEL. PLEASE GIVE 72 HOURS' NOTICE FOR CONNECTIONS.

EXISTING NATIVE TREE MITIGATION TABLE:

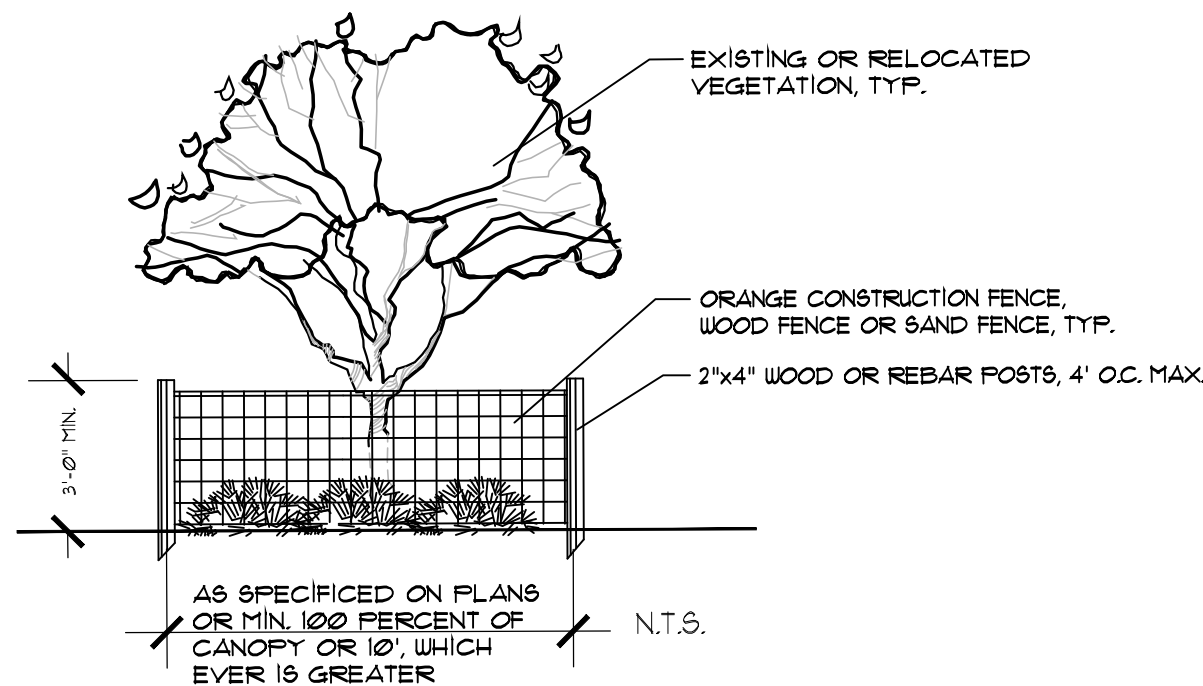
Tree Legend						
QV=	LIVE OAK					
D.B.H.=	DIAMETER BREAST HEIGHT					
Tree No.	Tree	Height (Ft.)	Tree Count	Action	Mitigation Credits Required (Removed From Site)	Tree Credits Counted Towards Mitigation (Relocated On Site)
OAKS		D.B.H.				
QV-41	LIVE OAK	14.5	1	Remove	14.5	0
QV-42	LIVE OAK	11.5	1	Remove	11.5	0
QV-43	LIVE OAK	14.5	1	Remove	14.5	0
QV-47	LIVE OAK	9.5	1	Remove	9.5	0
QV-48	LIVE OAK	11.0	1	Remove	11	0
QV-66	LIVE OAK	13.5	1	Relocate	N/A	13.5
QV-76	LIVE OAK	17.5	1	Relocate	N/A	17.5
TOTALS: OAK			7		61	31
Total Credits Based on Sec. 34-9(7)(c)					61	31

TOTAL NUMBER OF TREES TO BE REMOVED :	5
TOTAL NUMBER OF TREES TO BE RELOCATED:	2
TOTAL MITIGATION REPLACEMENT CREDITS REQUIRED:	61
TOTAL RELOCATED MITIGATION CREDITS PROVIDED:	31
TOTAL MITIGATION CREDITS REMAINING:	30
TOTAL MITIGATION REPLACED ON SITE	30

NOTES:

- ALL TREE MITIGATION CREDITS FOLLOW THE TOWN OF LAKE PARK LDR'S SECTION 34.9(7)(c)- SPECIMEN OR PROTECTED TREES
- ALL EXISTING NATIVE TREES ON SITE ARE GIVEN CREDITS FOLLOWING TREE CREDITS PER THE TOWN OF LAKE PARKS MITIGATION REQUIREMENTS
- REFER TO TREE SURVEY PLANS FOR EXISTING LOCATIONS
- N/A = NOT APPLICABLE TOWARDS COUNTS
- ALL TREES ARE MEASURED WITH D.B.H.
- NON- NATIVE TREES & PALMS ARE NOT COUNTED OR CREDITED TOWARDS MITIGATION REQUIREMENTS OR COUNTS

TREE PROTECTION DETAIL



FENCING OF UNDISTURBED AREAS

PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL ENCLOSE THE ENTIRE UNDISTURBED AREA, OR TREE, WITHIN A FENCE OR SIMILAR BARRIER AS SHOWN. WOODEN (OR EQUIVALENT) POSTS STEEL REBAR OR WOOD AT LEAST 2 x 4 INCHES SHALL BE IMPLANTED IN THE GROUND DEEP ENOUGH TO BE STABLE AND WITH AT LEAST 3 FEET VISIBLE ABOVE THE GROUND. THE PROTECTIVE POSTS SHALL BE PLACED NOT MORE THAN 4 FEET APART, AND SHALL BE LINKED TOGETHER BY ORANGE NET FENCE FABRIC, OR OTHER, NO HEAVY EQUIPMENT, VEHICLES, STORAGE OF MATERIALS, ETC., SHALL OCCUR WITHIN THE VEG. PROTECTION ZONE. EXTREME CARE SHALL BE TAKEN WHEN WORKING NEAR THE BASE OF TREES. NO FINISH GRADE FILL SHALL BE PLACED WITHIN A ZONE OF 2/3 THE DIAMETER OF THE TREE CANOPY.

FLATWORK CONSTRUCTION WITHIN CANOPY & TREE BARRICADE SHALL BE BE DONE WITH EXTREME CARE TO MINIMIZE DISTURBANCE TO THE ROOTS BY EXCAVATING, COMPACTING OR ADDING FILL.

UTILITY WORK (TRENCHING) WITHIN THE CANOPY & TREE BARRICADE SHALL BE DONE WITH EXTREME CARE TO MINIMIZE DISTURBANCE TO THE ROOTS BY EXCAVATING, COMPACTING OR ADDING FILL. THE TREE BARRICADE WILL BE MODIFIED TEMPORARILY TO ALLOW ONLY THE MINIMUM WORK ZONE TRESPASS INTO THE CANOPY AREA, CONTINUING TO PROTECT THE REST OF THE CANOPY AREA WITH BARRICADE. NO FILL, EVEN TEMPORARY, SHALL BE PLACED IN ANY PROTECTED ZONE. AT THE CONCLUSION OF SAID ACTIVITY, THE WORKZONE SHALL BE CLEANED UP & TREE BARRICADES REPLACED TO THEIR ORIGINAL CONFIGURATION.

FILE: P:\STL\PRJ\PROJECTS\1200 10TH STREET 22-0519\DRAWINGS\CURRENT\1200 10TH STREET ACCESSORY BLDGS PLAN 2013_REV1.DWG
PLOT: 6/7/15 AT 3:00PM BY: DSEVEN
XREFS: X222019_A-11.DWG X222019_EXTR-11.DWG

Plant List

TREES										
KEY	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	CALIPER	SPACING	D.T.	NATIVE	REMARKS
CS0	2	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	10'-12'	3'		A.S.	M	N	FULL TO BASE MATCHING SPECIMEN
ED	8	ELAEOCARPUS DECIPENS	JAPANESE BLUEBERRY	8'	3'		A.S.	M	N	FULL TO BASE MATCHING SPECIMEN
IA	22	ILEX ATTENUATA 'EAGLESTON'	EAGLESTON HOLLY	12'	6'-8'	2"	A.S.	V	Y	2" CLEAR TRUNK - SINGLES STRAIGHT TRUNK
QV	5	QUERCUS VIRGINIANA	LIVE OAK	14'-16'	6 FT.	2.5 IN.	A.S.			FULL & DENSE CANOPY, FL#1 5' C.T.
QV-M	2	QUERCUS VIRGINIANA	LIVE OAK	16'-18'	12'	13"-14"	A.S.	V	Y	MITIGATION TREES FIELD GROWN AND HARDONED OFF PRIOR TO PLANTING 13" MIN
M-QV1	1	QUERCUS VIRGINIANA	LIVE OAK	14'-16'	8'-10'	10"	A.S.	M	Y	MITIGATION TREE FIELD GROWN AND HARDONED OFF PRIOR TO PLANTING 10" MIN.

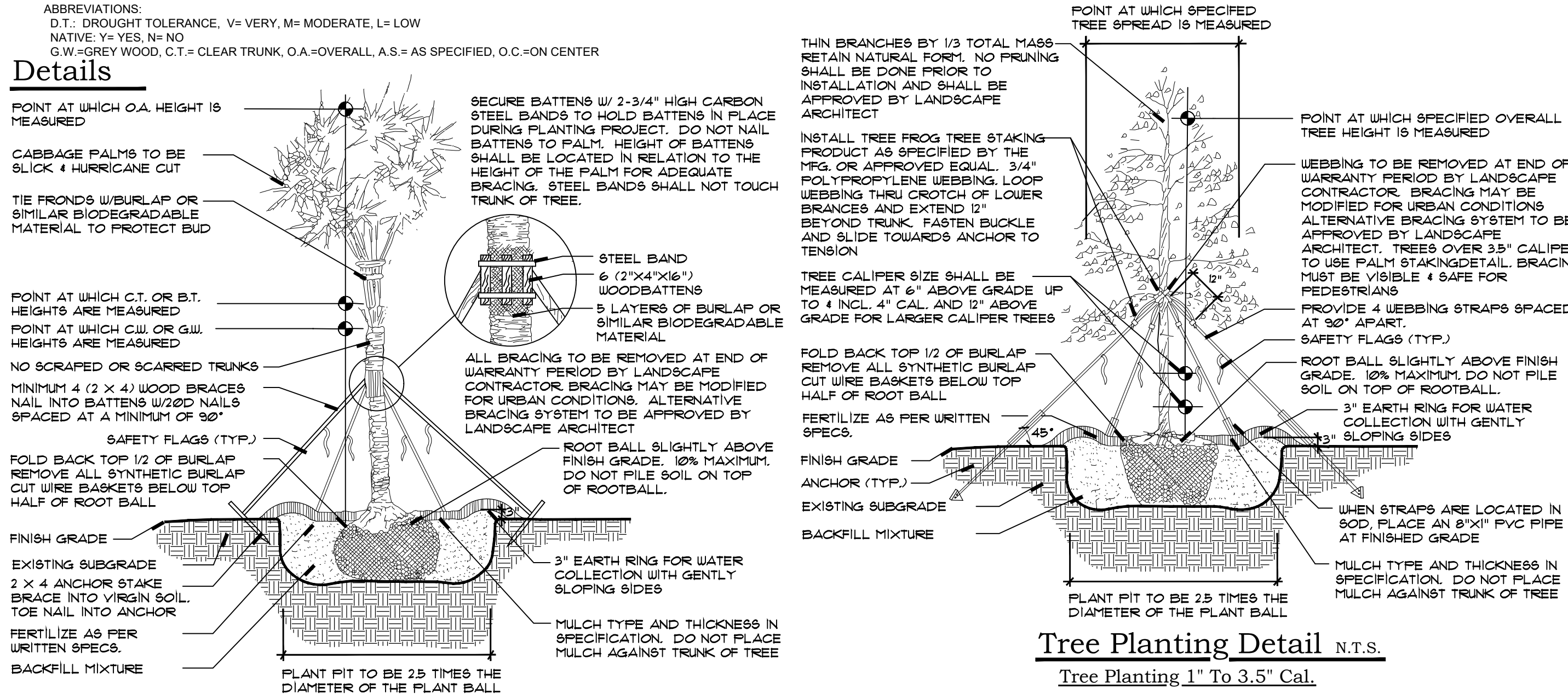
PALMS										
KEY	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT		CALIPER	SPACING	D.T.	NATIVE	REMARKS
SP	4	SABAL PALMETTO	SABAL PALM	14-32'	C.T.		A.S.	V	Y	STAGGER HEIGHTS IN GROUPS, HURRICANE CUT

SHRUBS										
KEY	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	GAL.	SPACING	D.T.	NATIVE	REMARKS
CLU	369	CLUSIA GUTTIFERA	SMALL LEAF CLUSIA	6'	3'		3' O.C.	V	Y	FULL TO BASE
HAP	23	HAMELIA PATENS	FIREBUSH	30"	24"		1.5' O.C.	V	Y	FULL & THICK TO BASE
ILV	389	ILEX VOMITORIA 'STOKES DWARF'	STOKES DWARF	12 IN.	12 IN.	#3	2' O.C.	V	Y	FULL & THICK TO BASE
MUC1	187	MUHLENBERGIA CAPILLARIS	MUHL GRASS	24 IN.	18 IN.		2.5' O.C.	M	Y	FULL CLUMP
PMA	13	PODOCARPUS MACROPHYLLUS 'MAKI'	JAPANESE YEW	24"	16"	#3 MIN	2' O.C.	V	Y	FULL TO BASE
RHI	330	RHAPHIOLEPIS INDICA	INDIAN HAWTHORN	12 IN.	12"		2' O.C.	M	N	FULL TO BASE
SCT	109	SCHEFFLERA ARBORICOLA 'TRINETTE'	VARIGATED ARBORICOLA	18"	12"		2' O.C.	M	N	FULL TO BASE

GROUND COVER										
KEY	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	GAL.	SPACING	D.T.	NATIVE	REMARKS
FIM	149	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	12 IN.	12 IN.	#3	2' O.C.	M	N	FULL & THICK TO BASE
TRA	612	TRAECHELOSPERMUM ASIATICUM	ASIAN JASMINE	6"	12"	#1 FULL POT	1' O.C.	M	N	FULL CLUMP

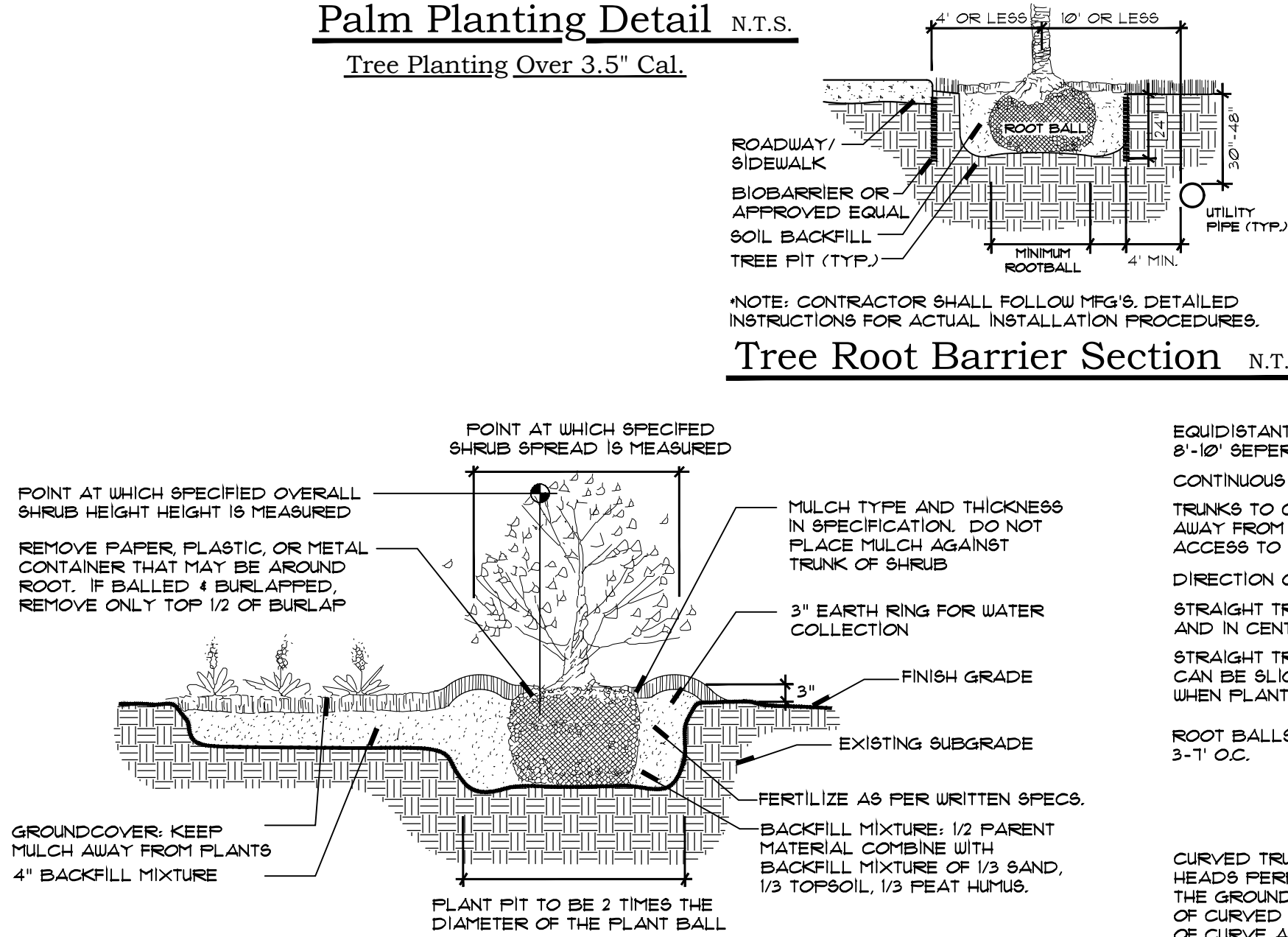
ABBREVIATIONS:
D.T.: DROUGHT TOLERANCE, V= VERY, M= MODERATE, L= LOW
NATIVE: Y= YES, N= NO
G.W.= GREY WOOD, C.T.= CLEAR TRUNK, O.A.= OVERALL, A.S.= AS SPECIFIED, O.C.= ON CENTER

Details

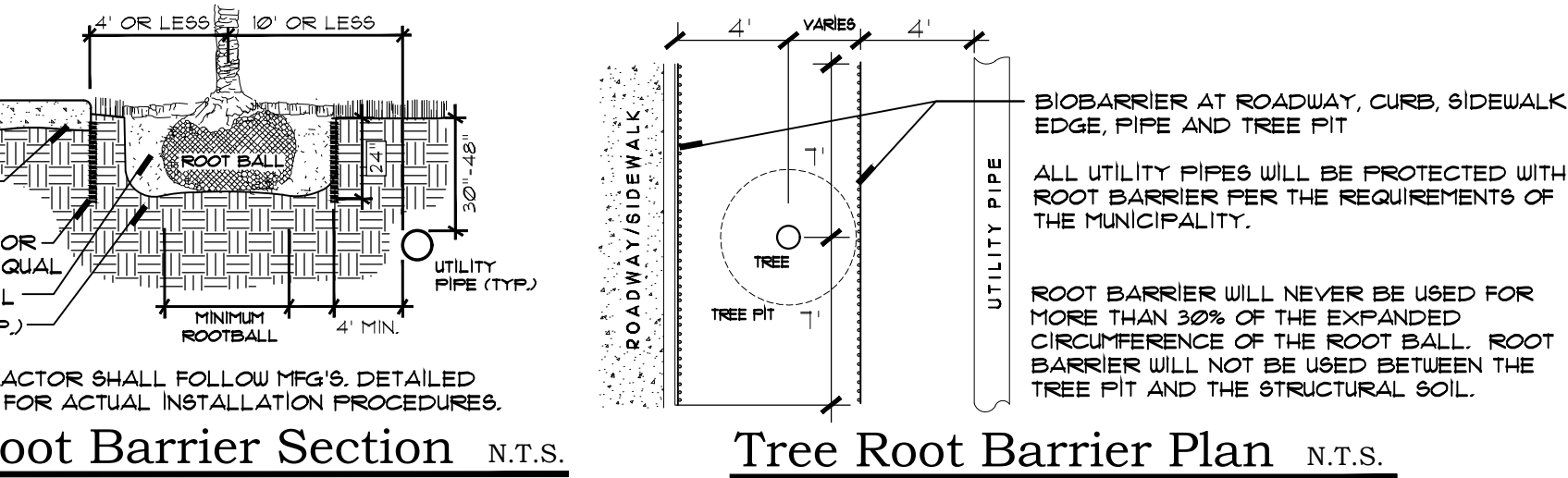


Palm Planting Detail

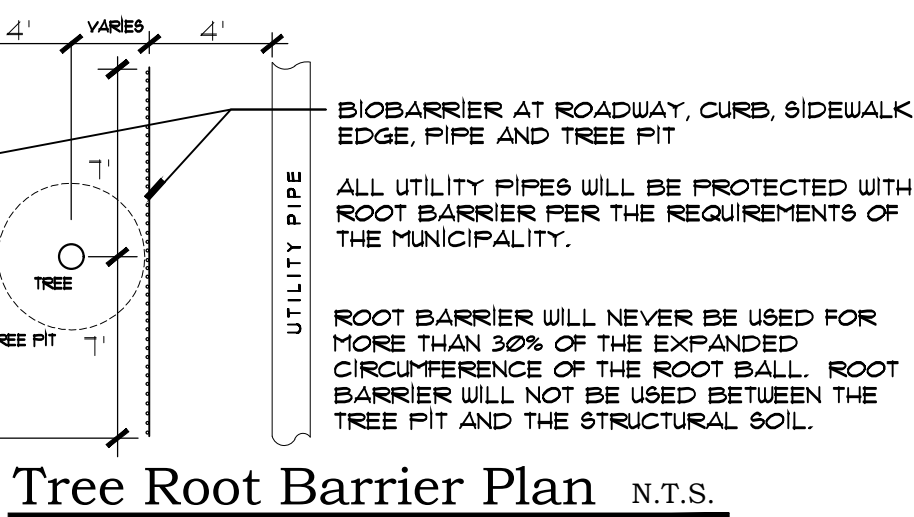
Tree Planting Over 3.5" Cal.



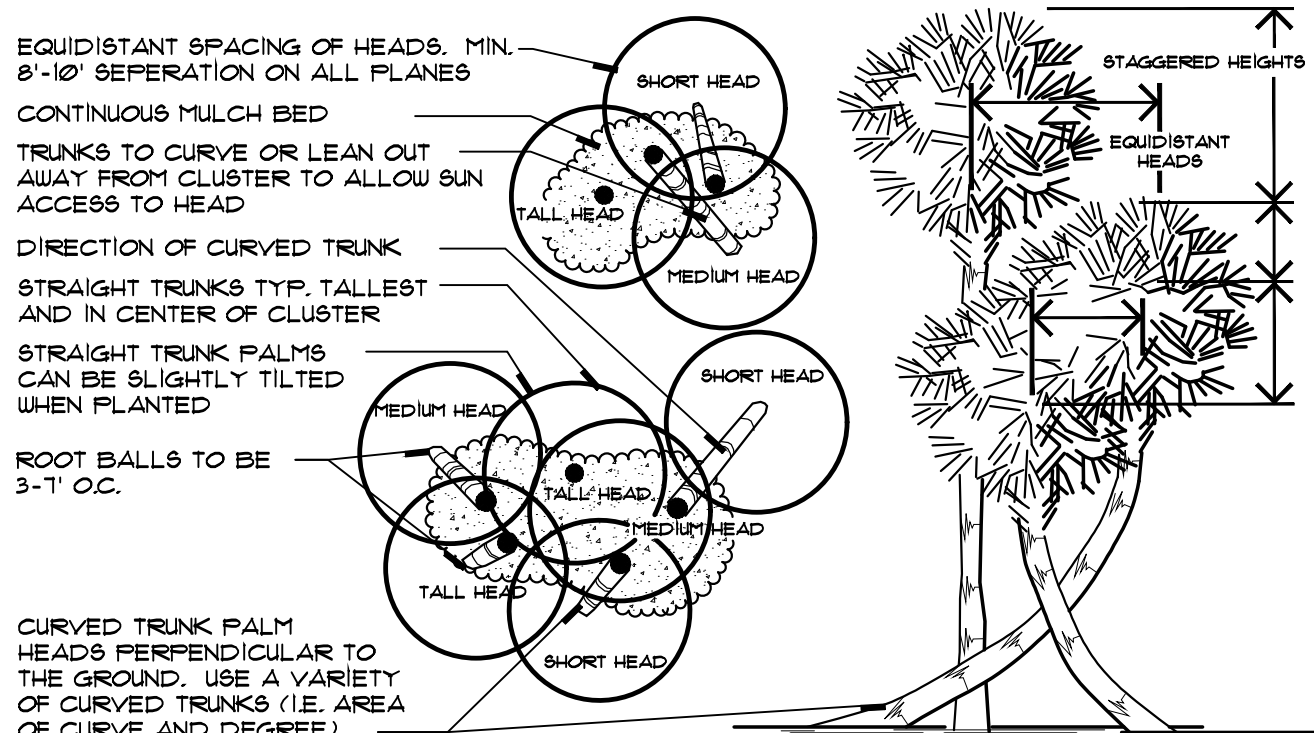
Shrub & Ground Cover Planting Detail



Tree Root Barrier Section



Tree Root Barrier Plan



Typical Cabbage Palm Layout

Specifications - Exterior Plants

1.4. QUALITY ASSURANCE:

SOIL ANALYSIS SHALL BE CONDUCTED BY THE LANDSCAPE CONTRACTOR PRIOR TO APPLICATION OF ANY SOIL AMENDMENTS, FERTILIZERS AND BACKFILL MIXTURES. THE LANDSCAPE CONTACTOR SHALL USE A QUALIFIED SOIL TESTING LABORATORY

THE RESULT OF THE SOIL TESTS SHALL BE SUBMITTED TO THE OWNER AND LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO THE APPLICATION OF SAID MATERIALS. ADJUSTMENTS TO THE SOIL AMENDMENTS MAY BE MADE UPON CONSULTATION WITH THE OWNER AND THE LANDSCAPE ARCHITECT.

1.5. DELIVERY, STORAGE AND HANDLING:

PRUNING OF TREES SHALL BE DONE ON SITE AFTER PLANTING FOR DAMAGED LIMBS OR AS DIRECTED TO IMPROVE OVERALL PLANT APPEARANCE. DO NOT REMOVE MORE THAN 15% OF BRANCHES. PRUNING METHODS SHALL FOLLOW STANDARD HORTICULTURAL PRACTICES USING APPROPRIATE TOOLS. LOPPING, SHEARING OR TOPPING OF PLANT MATERIAL WILL BE GROUNDS FOR REJECTION. DAMAGED, SCARRED, FRAYED, SPLIT OR SKINNED BRANCHES, LIMBS OR ROOTS TO BE PRUNED BACK TO LIVE WOOD. THE CENTRAL LEADER OR BUD SHALL BE LEFT INTACT UNLESS SEVERELY DAMAGED.

PRUNE SHRUBS TO REMOVE DAMAGED BRANCHES, IMPROVE NATURAL SHAPE, THIN OUT STRUCTURE AND REMOVE NOT MORE THAN 15% OF BRANCHES.

1.6. WARRANTY:

WARRANT ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST DEATH AND UNHEALTHY CONDITION, EXCEPT AS MAY RESULT FROM NEGLIGENCE BY OWNER, DAMAGE BY OTHERS AND UNUSUAL PHENOMENA BEYOND CONTRACTOR'S CONTROL. REPLACEMENTS SHALL BE MADE WITH COMPATIBLE SIZE AND QUALITY OF MATERIAL AT A TIME REQUESTED OR ACCEPTABLE BY THE OWNER OR LANDSCAPE ARCHITECT. PLANT MATERIAL REJECTED DURING THE COURSE OF CONSTRUCTION SHALL BE REMOVED WITHIN FIVE (5) WORKING DAYS AND REPLACED BEFORE THE FINAL INSPECTION FOR COMPLETION WILL BE SCHEDULED. WARRANTY ON REPLACEMENT PLANTS SHALL BE 1 YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE REPLACEMENTS. ANY DAMAGE TO LANDSCAPE, SODDED OR SEEDED AREAS DURING REPLACEMENT OF PLANT MATERIAL SHALL BE CORRECTED BY THE LANDSCAPE CONTRACTOR.

1.7. MAINTENANCE SERVICE:

MAINTENANCE AND GENERAL CLEAN UP SHALL BE PERFORMED DAILY. MAINTENANCE SHALL INCLUDE BUT NOT BE LIMITED TO WATERING, WEEDING, CULTIVATING, RESTORATION OF GRADE, REMOVAL OF LITTER, MOVING, PRUNING, RESETTLING SETTLED PLANTS, REMOVING, REPAIRING OR REPLACING STAKES AND GUYS, PROTECTION FROM INSECTS AND DISEASES, FERTILIZATION AND SIMILAR OPERATIONS AS NEEDED TO ENSURE NORMAL GROWTH AND HEALTHY PLANT MATERIAL. MAINTENANCE SHALL BEGIN AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE FOR NINETY (90) DAYS FROM THE DATE OF FINAL ACCEPTANCE.

1.8. QUANTITIES, LOCATION AND SUBSTITUTIONS:

THE QUANTITIES OF PLANT MATERIALS SHOWN ON PLANS SHALL TAKE PRECEDENCE OVER THE PLANT QUANTITIES ON THE PLANT LIST. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST THE NUMBER AND LOCATIONS OF THE DESIGNATED TYPES AND SPECIES OF PLANTS TO BE USED AT ANY OF THE LOCATIONS SHOWN. THE OWNER SHALL RECEIVE A CREDIT OR DEBIT FOR THE UNIT PRICE OF THE PLANT MATERIAL. NO SUBSTITUTION OF PLANT MATERIAL TYPES, SPECIFICATIONS OR SIZES WILL BE PERMITTED WITHOUT WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT. THE OWNER AND/OR LANDSCAPE ARCHITECT RESERVES THE RIGHT TO NOT ACCEPT PLANT MATERIAL THAT DOES NOT, IN THE OPINION OF THE OWNER AND/OR LANDSCAPE ARCHITECT, MEET THE SPECIFICATIONS HEREIN.

2.1. PLANT MATERIAL:

PROVIDE SIZES AND SPECIFICATIONS OF PLANTS AS SHOWN ON PLANS OR LISTED ON PLANT LIST. ALL TREES, PALMS, SHRUBS, GROUND COVERS AND OTHER PLANTS SHALL CONFORM TO THE STANDARD OF FLORIDA NO. 1 OR BETTER AS GIVEN IN THE LATEST EDITION OF GRADES AND STANDARDS FOR NURSERY PLANTS BY FLORIDA DEPARTMENT OF AGRICULTURE, PART I AND II. PLANT MATERIAL SHALL ALSO CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. (ANSI) BULLETIN Z 60.1 - 1990 AND AS REVISED.

SPECIMEN PLANTS SHALL BE FLORIDA FANCY OR BETTER AND SHALL CONFORM TO THE LITERATURE STANDARDS LISTED ABOVE.

2.4. TOP SOIL:

TOPSOIL SHALL BE FRIABLE FERTILE SOIL WITH REPRESENTATIVE CHARACTERISTICS OF AREA SOILS. IT SHOULD BE FREE OF HEAVY CLAY, SILT, STONE, EXCESS LIME, SHELL ROCK, PLANT ROOTS, WEEDS, DEBRIS OR OTHER FOREIGN MATTER. IT SHALL NOT CONTAIN NOXIOUS PLANT GROWTH (SUCH AS BERMUDA, TORPEDO OR NUT GRASS). IT SHALL TEST BETWEEN THE PH RANGE OF 5.0 TO 7.0 UNLESS OTHERWISE SPECIFIED AND CONTAIN NO TOXIC RESIDUE OR SUBSTANCES THAT WOULD ENDANGER PLANT GROWTH. IF TOPSOIL IS NOT AVAILABLE ON SITE, IT SHALL BE IMPORTED FROM LOCAL SOURCES WITH SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT PROJECT SITE. OBTAIN TOPSOIL ONLY FROM NATURALLY, WELL-DRAINED SITES WHERE TOPSOIL OCCURS IN A DEPTH NOT LESS THAN 4".

2.5. INORGANIC SOIL AMENDMENTS:

SAND SHALL BE CLEAN, SALT-FREE AND CONTAINING NO EXTRANEEOUS MATTER.

MYCORRHIZAL AMENDMENT SHALL BE DIEHARD™ TRANSPLANT AS MANUFACTURED BY HORTICULTURAL ALLIANCE OR EQUAL TO WITH THE FOLLOWING INGREDIENTS:

ENDOMYCORRHIZAL FUNGI
ECTOMYCORRHIZAL FUNGI
BENEFICIAL BACTERIA
HUMIC ACID
SOLUBLE SEA KELP
AMINO ACIDS

HORTA-SORB WATER MANAGEMENT GEL
TRICHODERMA
YUCCA PLANT EXTRACTS
VITAMIN B COMPLEX

2.6. ORGANIC SOIL AMENDMENTS:

PEAT HUMUS SHALL BE DECOMPOSED PEAT WITH NO IDENTIFIABLE FIBERS OR IF AVAILABLE, MUCK MAY BE SUBSTITUTED AND SHALL BE FREE FROM STONES, EXCESSIVE PLANT ROOTS, DEBRIS OR OTHER FOREIGN MATTER. MUCK SHALL NOT BE OVERLY SATURATED WITH WATER.

2.7. FERTILIZATION:

PROVIDE FERTILIZER UNIFORM IN COMPOSITION, DRY, AND IN A FREE FLOWING CONDITION FOR APPLICATION BY SUITABLE EQUIPMENT, AND DELIVER IN UNOPENED BAGS OR CONTAINERS, EACH FULLY LABELED.

FERTILIZE TREES, SHRUBS AND GROUND COVERS WITH "MILORGANITE" OR AN APPROVED COMPLETE FERTILIZER. APPLY "MILORGANITE" IN A CIRCLE AROUND THE PLANT BEFORE MULCHING. DO NOT TOUCH THE PLANT WITH THE FERTILIZER. WATER IN FERTILIZER AFTER MULCHING. APPLY "MILORGANITE" FERTILIZER AT THE FOLLOWING RATE:

5.00 LBS. OR 14.5 CUPS / PALMS
3.00 LBS. OR 8.70 CUPS / 12-16" MATERIAL
2.00 LBS. OR 5.80 CUPS / 8-12" MATERIAL
0.80 LBS OR 2.00 CUPS / 6-8" MATERIAL
0.19 LBS OR 1/2 CUP / 3 GAL. MATERIAL
0.10 LBS. OR 1/4 CUP / 1 GAL. MATERIAL

2.8. MULCHES:

MULCH TO BE APPLIED TO ALL PLANTING BEDS, 3" THICK MIN. PINE STRAW MULCH SHALL BE APPLIED ONLY TO THOSE AREAS AS INDICATED ON THE PLAN. APPLY 6" FLUFFED, 2-3" THICK AFTER COMPACTION.

2.10. PLANTING SOIL MIX:

BACKFILL MIXTURE: 1/2 PARENT SOIL, 1/2 MIXTURE (1/3 SAND, 1/3 TOPSOIL, 1/3 PEAT HUMUS).

3.1. PLANTING BED ESTABLISHMENT:

PREPARATION: PRIOR TO THE INSTALLATION OF PLANTS, THE SITE SHALL BE FREE OF WEEDS, GRASS, SOD, DEBRIS, ROCKS OR OTHER MATERIAL MAKING THE SITE UNPLANTABLE. FOR FINAL ACCEPTANCE ALL PLANTED AREAS SHALL BE WEED FREE.

FINISH GRADING: THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE INSTALLATION AND GRADING OF TOPSOIL, IF NECESSARY, WITH THE GENERAL CONTRACTOR, TO INSURE THE SITE IS AT FINISH GRADE PRIOR TO INSTALLING PLANTS.

3.2. PLANTING TREES:

LAYOUT PLANTS ACCORDING TO LANDSCAPE PLANS. IF A CONFLICT ARISES AS TO THE LOCATION, SPACING OR OTHER CONFLICT, CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY.

EXCAVATE PIT TO TWO AND ONE-HALF (2 1/2) TIMES THE DIAMETER OF TREE BALL AND NOT LESS THAN 8" DEEPER. COMPACT A LAYER OF BACKFILL MIXTURE IN PIT TO LOCATE COLLAR OF PLANT PROPERLY IN A SLIGHTLY DISHED FINISH GRADE. BACKFILL AROUND BALL WITH BACKFILL MIXTURE. COMPACTED TO ELIMINATE VOIDS AND AIR POCKETS. WATERING THOROUGHLY AS LAYERS ARE PLACED. BUILD 3" HIGH BERM OF SOIL BEYOND EDGE OF EXCAVATION. APPLY FERTILIZER AS SPECIFIED AND THEN MULCH WITH THE TYPE AND THICKNESS SPECIFIED ON PLANT LIST.

GUY AND STAKE TREES, LESS THAN 3.5" IN CALIPER, IN FOUR DIRECTIONS WITH "ARBORBRACE" NYLON TREE GUYING KIT WITH HARDENED NYLON ANCHOR AND 3/4" 800 LB. POLYPROP UV WEBBING, MODEL (ATG-R) OR APPROVED EQUAL. STAKE TREES IMMEDIATELY AFTER PLANTING. FOR MULTI-TRUNK PLANT MATERIAL, ATTACH GUYS TO FOUR (4) LARGEST LIMBS. CARE MUST BE TAKEN NOT TO MAKE GUYS TOO TIGHT. FOR TREES 3.5" IN CALIPER AND OVER, TREES MUST BE STAKED WITH WOOD 2X4 METHOD. FOLLOW PALM STAKING DETAIL FOR REQUIREMENTS. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ELIMINATE GUYING OR STAKING. THE OWNER SHALL RECEIVE A CREDIT OR DEBIT FOR THE UNIT PRICE OF THE GUYING OR STAKING. THE LANDSCAPE CONTRACTOR SHALL REMOVE BRACING IN ONE YEAR.

3.2. PLANTING SHRUBS:

EXCAVATE PITS OR TRENCH TWO (2) TIMES DIAMETER OF BALLS OR CONTAINERS, AND 3" DEEPER THAN REQUIRED FOR POSITIONING AT PROPER HEIGHT. COMPACT A LAYER OF BACKFILL MIXTURE IN BOTTOM BEFORE PLACING PLANTS. CONTAINER GROWN MATERIALS SHALL BE PLANTED WITH 48 HOURS AFTER DELIVERY TO SITE. PLACE PLANT IN PIT AND BACKFILL AROUND PLANTS WITH BACKFILL MIXTURE. COMPACTED TO ELIMINATE VOIDS AND AIR POCKETS. WATER THOROUGHLY AS LAYERS ARE PLACED. FORM A 3" HIGH BERM OF SOIL BEYOND THE EDGES OF EXCAVATION. APPLY FERTILIZER AS SPECIFIED AND THEN MULCH WITH THE TYPE AND THICKNESS SPECIFIED ON PLANT LIST.

3.4. PLANTING GROUNDCOVERS:

LOOSEN SUBGRADE TO DEPTH OF 4" IN AREAS WHERE TOPSOIL HAS BEEN STRIPPED, AND SPREAD BACKFILL MIXTURE.

SPACE PLANTS AS OTHERWISE INDICATED. DIG HOLES LARGE ENOUGH TO ALLOW FOR SPREADING OF ROOTS. COMPACT BACKFILL TO ELIMINATE VOIDS, AND LEAVE GRADE SLIGHTLY DISHED AT EACH PLANT. WATER THOROUGHLY. APPLY FERTILIZER AS SPECIFIED AND THEN MULCH WITH THE TYPE AND THICKNESS SPECIFIED ON PLANT LIST. LIFTING PLANT FOLIAGE ABOVE MULCH. MULCH SHALL BE SPREAD BEFORE PLANTING PLANTS IN POTS LESS THAN 1 GALLON SIZE (4", LINERS, ETC.).

Specifications - Lawns and Grasses

2.1. PRODUCTS:

SOD SHALL MEET AMERICAN SOD PRODUCES ASSOCIATION STANDARDS FOR NURSERY GROWN SOD FOR THICKNESS OF CUT, PAD SIZE, STRENGTH OF SECTIONS, MOISTURE CONTENT AND THATCH. SOD SHALL BE GUARANTEED TO BE UNIFORM IN COLOR, LEAF TEXTURE, AND SHOOT DENSITY AND FREE OF WEEDS, DISEASE, FUNGUS, INSECTS OR OTHER IMPERFECTIONS AND SUFFICIENTLY KNITTED TO SUSTAIN GROWTH. SOD SHALL BE MOWED FOR FINAL ACCEPTANCE.

2.3. FERTILIZER:

FERTILIZE TURF AREAS WITH TYPE 1 FERTILIZER, COMPLYING WITH THE STATE FERTILIZER LAWS. THE FERTILIZER SHALL BE CHEMICALLY DESIGNATED WITH 12-8-8. PROVIDE AT LEAST 50% OF THE PHOSPHORIC ACID FROM NORMAL SUPER PHOSPHATE OR AN EQUIVALENT SOURCE PROVIDING A MINIMUM OF TWO UNITS OF SULFUR. THE AMOUNTS OF SULFUR AND ALL OTHER CHEMICAL SHALL BE INDICATED ON THE QUANTITATIVE ANALYSIS CARD ATTACHED TO THE UNOPENED BAG.

3.1. LAWN PREPARATION:

LOOSEN SUBGRADE TO DEPTH OF 4" AND GRADE WITH TOPSOIL PROVIDED ON SITE OR IMPORTED TO FINISH DESIGN ELEVATIONS. ROLL PREPARED LAWN SURFACE. WATER THOROUGHLY, BUT DO NOT CREATE MUDDY SOIL CONDITION.

FERTILIZE SOIL AT THE RATE OF APPROXIMATELY 10 LBS. PER 1000 S.F. SPREAD FERTILIZER OVER THE AREA TO RECEIVE GRASS BY USING AN APPROVED DISTRIBUTION DEVICE CALIBRATED TO DISTRIBUTE THE APPROPRIATE QUANTITY. DO NOT FERTILIZE WHEN WIND VELOCITY EXCEEDS 15 M.P.H. THOROUGHLY MIX FERTILIZER INTO THE TOP 2" OF TOPSOIL.

3.2. SODDING:

SOD TYPE SPECIFIED ON PLANT LIST SHALL BE MACHINE STRIPPED NOT MORE THAN 24 HOURS PRIOR TO LAYING.

LAY SOD STRIPS WITH TIGHT JOINTS, DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES. WORK SIFTED SOIL MIX INTO MINOR CRACKS BETWEEN PIECES OF SOD AND REMOVE EXCESS SOIL DEPOSITS FROM SODDED AREAS. SOD ON SLOPES GREATER THAN 3:1 SHALL BE STAKED IN PLACE. ROLL OR TAMP LIGHTLY AND WATER THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING.

Landscape Certification

LANDSCAPE CERTIFICATION: THE LANDSCAPE ARCHITECT SHALL PROVIDE FINAL CERTIFICATION TO THE OWNER AND MUNICIPALITY THAT PLANTS ARE INSTALLED PER THE DESIGN PLAN, DETAILS AND SPECIFICATIONS. ANY CHANGES TO THE PLAN WILL NEED TO HAVE THE LANDSCAPE ARCHITECT APPROVAL PRIOR TO INSTALLATION. CONFORMITY TO FLORIDA GRADE #1 IN THE ROOT BALL REQUIRES THE LANDSCAPE ARCHITECT TO INSPECT TREES PRIOR TO INSTALLATION AT THE SITE. IT IS THE RESPONSIBILITY OF THE OWNER/GENERAL CONTRACTOR/LANDSCAPE CONTRACTOR FOR ORGANIZING INSPECTIONS OF PLANT MATERIAL PRIOR TO INSTALLATION.

General Notes:

SOD, TO BE ST. AUGUSTINE UNLESS OTHERWISE NOTED ON PLANS

ALL PLANTING AREAS SHALL RECEIVE 100% COVERAGE FROM A FULLY AUTOMATIC IRRIGATION SYSTEM EQUIPPED WITH A RAIN SENSOR.

EXISTING IRRIGATION SYSTEM SHALL BE MODIFIED/RETROFITTED TO ACCOMMODATE THE PROPOSED LANDSCAPE MODIFICATIONS SHOWN ON THESE PLANS.

ALL CONSTRUCTION DEBRIS & HARDPAN TO BE REMOVED FROM PLANTING BEDS TO A DEPTH OF 30"

EXOTIC & INVASIVE PLANT REMOVAL/MAINTENANCE

OWNER IS RESPONSIBLE FOR ERADICATION AND/OR REMOVAL OF ANY PLANT SPECIES IDENTIFIED IN THE LATEST FLORIDA INVASIVE SPECIES COUNCIL (FISC). PROPERTY SHALL BE MAINTAINED FREE OF THESE SPECIES IN PERPETUITY. CONTRACTORS SHALL ADHERE TO ALL APPLICABLE FEDERAL, STATE & LOCAL GUIDELINES FOR HERBICIDE USE.

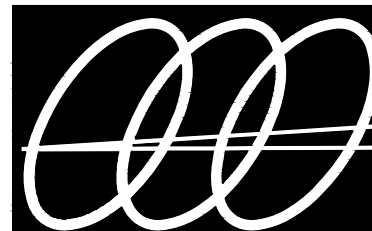
UTILITIES:

ABOVE AND BELOW GROUND UTILITIES SHALL BE VERIFIED AND LOCATED BY THE LANDSCAPE CONTRACTOR PRIOR TO COMMENCING WORK IN THE PROJECT AREA. IF UTILITY PLANS ARE AVAILABLE, THE CONTRACTOR SHALL EXAMINE THEM AND BRING ANY AND ALL CONFLICTS TO THE ATTENTION OF THE OWNER AND/OR LANDSCAPE ARCHITECT. WHEN WORKING IN AN AREA WHERE KNOWN UTILITIES EXIST, UTILITY LOCATIONS MAY NEED TO BE STAKED BY A SURVEYOR OR THE UTILITY COMPANIES. THE CONTRACTOR HAS THE OPTION TO CONTACT 811 TO SCHEDULE LOCATION OF THE UTILITIES WHICH SUBSCRIBE TO THEIR SERVICE.



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Drawn: PSS
Approved: GGG/EOM/MTB
Date: 5-22-25
Job no: 22-0414
Revisions: 8-25-25
11-18-24
12-12-24
5-22-25
6-27-25

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LC 0000117

Sheet Title:

Landscape
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Plan

Scale: N.T.S.

Sheet No.

LP-2

22-0414



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Board of County
Commissioners**

Maria Sachs, Mayor
Maria G. Marino, Vice Mayor
Gregg K. Weiss
Michael A. Barnett
Marci Woodward
Sara Baxter
Mack Bernard

County Administrator

Verdenia C. Baker

"An Equal Opportunity
Affirmative Action Employer"

July 15, 2024

Rebecca J. Mulcahy, P.E.
Pinder Troutman Consulting, Inc.,
601 Heritage Dr, Suite 493
Jupiter, FL 33458

**RE: 1220 10th Street
Project #: 240603
Traffic Performance Standards (TPS) Review**

Dear Ms. Mulcahy:

The Palm Beach County Traffic Division has reviewed the above referenced project Traffic Impact Statement, dated March 6, 2024, pursuant to the Traffic Performance Standards in Article 12 of the Palm Beach County (PBC) Unified Land Development Code (ULDC). The project is summarized as follows:

Municipality:	Lake Park
Location:	1500 feet S of Northlake Blvd, W of 10 th St
PCN:	36-43-42-20-01-123-0030
Access:	1 Full access on 10 th Street across Magnolia Dr, and Right-in/Right-out on 10 th Street (both existing) <u>(As used in the study and is NOT necessarily an approval by the County through this TPS letter)</u>
Existing Uses:	Warehouse=13,420 SF, Automobile Sales (New)=6,632 SF
Proposed Uses:	Add 8,800 SF Warehouse to existing site
New Daily Trips:	10
New Peak Hour Trips:	2(1/1) AM; 2 (0/2) PM
Proj Daily Trips:	185
Proj Peak Hour Trips:	14(11/3) AM; 18 (6/12) PM
Build-out:	December 31, 2027

The project will generate less than 21 peak hour trips and a detailed traffic study is not required. The project is expected to have insignificant impacts and meets Traffic Performance Standards.

Please note the receipt of a TPS approval letter does not constitute the review and issuance of a Palm Beach County Right-of-Way (R/W) Construction Permit nor does it eliminate any requirements that may be deemed as site related. For work within Palm Beach County R/W, a detailed review of the project will be provided upon submittal for a R/W permit application. The project is required to comply with all Palm Beach County standards and may include R/W dedication. The County traffic concurrency approval is subject to the Project Aggregation Rules set forth in the Traffic Performance Standards Ordinance.

The approval letter shall be valid no longer than one year from date of issuance, unless an application for a Site Specific Development Order has been approved, an application for a Site Specific Development Order has been submitted, or the



Rebecca J. Mulcahy, P.E.
July 15, 2024
Page 2

approval letter has been superseded by another approval letter for the same property.

If you have any questions regarding this determination, please contact me at 561-684-4030 or email QBari@pbcgov.org.

Sincerely,

A handwritten signature in blue ink that reads "Quazi Bari".

Quazi Bari, P.E., PTOE
Manager – Growth Mangement
Traffic Division

QB:jyb

cc: Addressee

Nadia Di Tommaso, Director of Community Development, Town of Lake Park
Andrea Troutman, P.E. - PTC
Alberto Lopez, Technical Assistant III, Traffic Division

File: General - TPS - Mun - Traffic Study Review
F:\TRAFFIC\HA\MUNICIPALITIES\APPROVALS\2024\240603 - 1220 10TH STREET.DOCX;

CFN 20220261805
OR BK 33644 PG 1964
RECORDED 06/17/2022 15:47:39
Palm Beach County, Florida
AMT 4,500,000.00
DEED DOC 31,500.00
Joseph Abruzzo
Clerk
Pgs 1964-1967; (4Pgs)

THIS INSTRUMENT PREPARED BY AND RETURN TO:
Peter R. Ray, Esquire
Cohen Norris Wolmer Ray Telepman Berkowitz & Cohen
712 US Highway One, Suite 400
North Palm Beach, FL 33408

Property Appraisers Parcel Identification (Folio)
Number: 36-43-42-20-01-123-0030

The actual purchase price or other valuable consideration paid for the real property or interest conveyed by this instrument is \$4,500,000.00. Florida Documentary Stamps in the amount of \$31,500.00 have been paid hereon.

Space Above This Line For Recording Data

WARRANTY DEED

THIS WARRANTY DEED, made the 6th day of June, 2022 by 1220 Lake Park Partners, LLC, a Florida limited liability company, as to fifty percent (50%) interest and Marie G. Bruno, a single woman, as to fifty percent (50%) interest, whose post office address is 2247 Palm Beach Lakes Boulevard, West Palm Beach, FL 33409, collectively herein called the Grantor, to JS 1220 10th Street, LLC, a Florida limited liability company, whose post office address is 701 US Highway One, Suite 402, North Palm Beach, FL 33408, hereinafter called the Grantee:

(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

W I T N E S S E T H: That the Grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee all that certain land situate in PALM BEACH County, State of Florida, viz.:

SEE LEGAL DESCRIPTION ATTACHED HERETO AND MADE A PART HEREOF.

Subject to covenants, restrictions and public utilities easements of record and taxes for the year 2022 and thereafter.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, the Grantor warrants the title to said land, subject to all matters above and will defend the same against the lawful claims of all persons whomsoever.

In Witness Whereof, the Grantor has hereunto set his hands and sealed the day and year first above written.

Signed, sealed and delivered in our presence:

**1220 Lake Park Partners, LLC, a Florida
limited liability company**

Harold Needle
Witness #1 Signature
HAROLD Needle
Witness #1 Printed Name

By: Robert Needle
Robert Needle, Manager

Kim O'Dea
Witness #1 Signature
Kim O'Dea
Witness #1 Printed Name

STATE OF FLORIDA

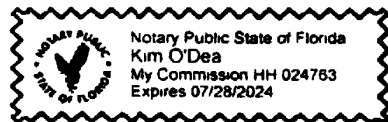
COUNTY OF PALM BEACH

The foregoing instrument was physically acknowledged before me this 6 day of June, 2022, by Robert Needle, as Manager of 1220 Lake Park Partners, LLC, a Florida limited liability company, on behalf of company. He is personally known to me or who has produced as identification.

SEAL

[Signature]
Notary Signature
Kim O'Dea
Printed Notary Signature

My Commission Expires:



Signed, sealed and delivered in the presence of:

Chantelle L Sims

Witness #1 Signature

Chantelle L Sims

Witness #1 Printed Name

Olga Butrovich

Witness #2 Signature

Olga Butrovich

Witness #2 Printed Name

STATE OF Missouri

COUNTY OF Platte

The foregoing instrument was acknowledged before me by means of ☐ physical presence or ☒ online notarization, this
5 day of June, 2022 by Marie G. Bruno, who is personally known to me or has produced
GA, DL as identification.

SEAL

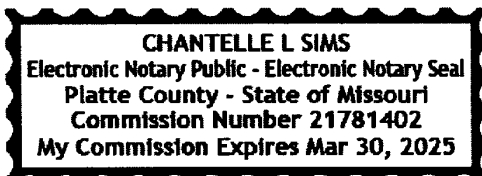
Chantelle L Sims

Notary Public

Chantelle L Sims

Printed Notary Name

My Commission Expires: 3/30/2025



Completed via Remote Online Notarization using 2 way Audio/Video technology.

File Number: 92903687

EXHIBIT "A"

LEGAL DESCRIPTION

PARCEL 1:

A part of Block 4-A, of Re-Plat of Block 4-A Kelsey City (now Lake Park), Florida, according to the Plat thereof recorded in Plat Book 11, Page 24, Public Records of Palm Beach County, Florida, said parcels being more particularly described as follows:

Beginning at the intersection of the Easterly line of said Block 4-A with a line parallel to and 1200 feet Northerly from measured at right angles to the South line of said Block 4-A, said parallel line being the North line of land conveyed by George Kinsman and wife, to Florida Power and Light Company by Deed dated October 15, 1958 and recorded in O.R. Book 254, Page 527, Public Records of Palm Beach County, Florida; thence Northerly along the Eastern line of said Block 4-A, a distance of 348.45 feet; thence Westerly parallel to the South line of said Block 4-A, a distance of 331.57 feet, more or less, to a point in the Westerly line of said Block 4-A; thence Southerly along the Western line of said Block 4-A, a distance of 348.53 feet, more or less, to a point in the North line of said Florida Power & Light Company land; thence Easterly along said North line of said Florida Power & Light Company Land, a distance of 331.39 feet, more or less, to the Point of Beginning.

PARCEL 2:

Beginning at the Northeasterly corner of the North 525.00 feet of the South 1200 feet of Block 4-A, according to the Re-Plat of Block 4-A, Kelsey City (now Lake Park), Florida, as recorded in Plat Book 11, Page 24, in and for the Public Records of Palm Beach County, Florida; thence Westerly along the North line of the North 525.00 feet of the South 1200.00 feet of said Block 4-A, a distance of 331.39 feet to a point on the Westerly line of said Block 4-A; thence Southerly, along said Westerly line, a distance of 82.94 feet to a point; thence Easterly, a distance of 308.91 feet to the Point of Beginning.

March 6, 2024

Mr. Quazi Bari, P.E.
Palm Beach County Traffic Division
2300 North Jog Road, 3rd Floor
West Palm Beach, Florida 33411-3745

**Re: 1220 10th Street - #PTC24-012
Concurrency Traffic Statement**

Dear Mr. Bari:

The purpose of this letter is to provide a traffic statement for the above referenced project to determine if the proposed expansion meets the requirements of Article 12, Traffic Performance Standards, of the Palm Beach County (PBC) Unified Land Development Code (ULDC). The site is located on the west side of 10th Street, south of Northlake Boulevard in the Town of Lake Park as shown on **Attachment 1**. Existing on site is a 13,420 SF warehouse and a 6,632 SF vehicle sales office. It is proposed to add 8,800 SF of warehouse. The buildout of this project is projected to be 2027. The Parcel Control Number (PCN) is 36-43-42-20-01-123-0030.

Attachments 2A and 2B provide the Daily and Peak Hour trip generation for the existing and proposed uses. **Attachment 2C** provides the comparison of trips. As shown, the maximum net new peak hour trip generation is 2 trips. Per Article 12.D.1.C.2, of the Palm Beach ULDC, because the project generates fewer than 21 peak hour trips, a traffic study is not required. The project traffic has an insignificant impact on area roadways and is, therefore, in compliance with the Palm Beach County Traffic Performance Standards.

Please contact me by phone or at rmulcahy@pindertroutman.com if you need any additional information or have any questions.

Sincerely,



Digitally signed by
Rebecca Mulcahy
Date: 2024.03.06
14:02:48 -05'00'

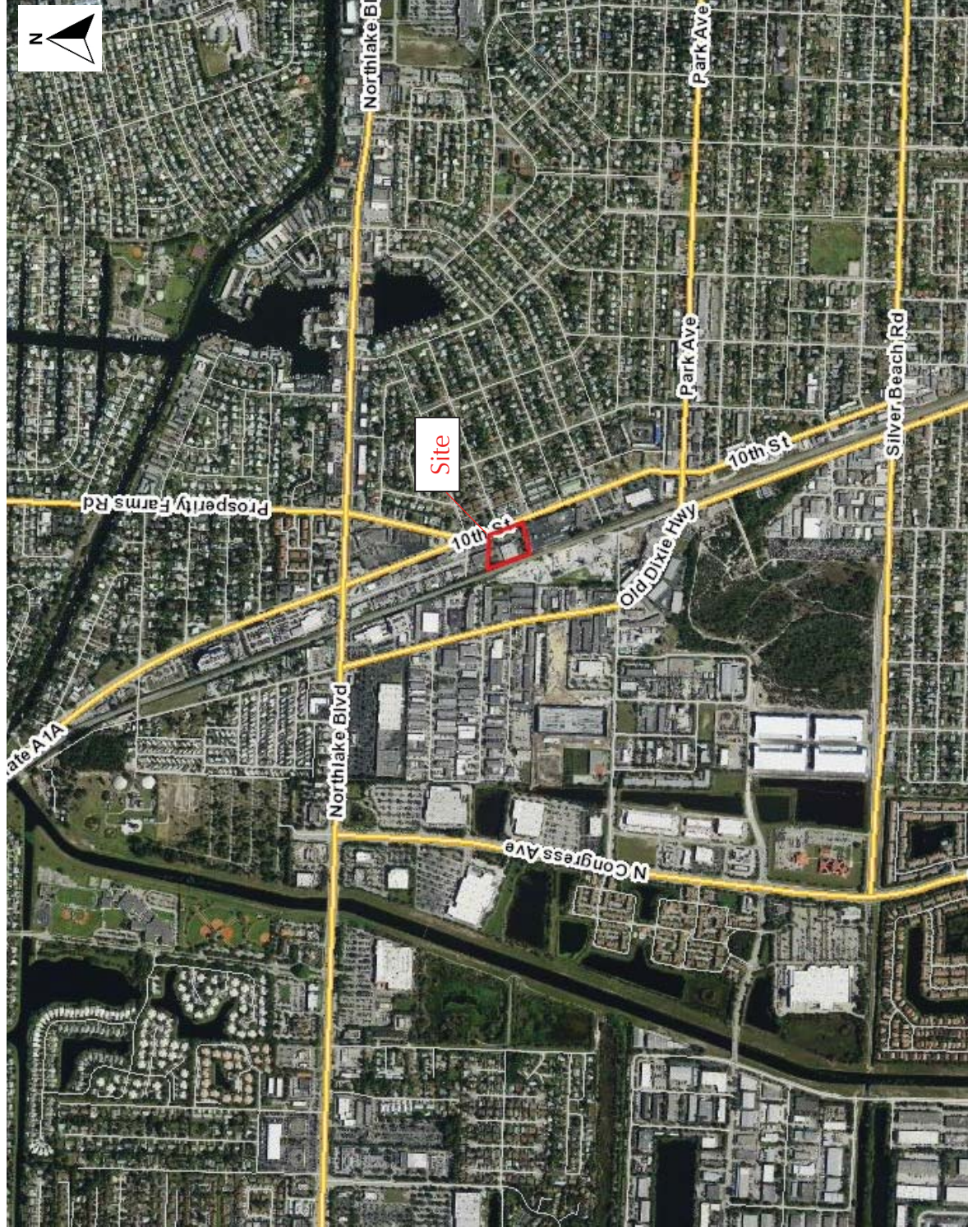
Rebecca J. Mulcahy, P.E.
Vice President

Attachments

Rebecca J. Mulcahy, State of Florida, Professional Engineer, License No. 42570

This item has been electronically signed and sealed by Rebecca J. Mulcahy, P.E. on 3/6/24 using a Digital Signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Attachment 1 Project Location
1220 10th Street



Attachment 2A
1220 10th Street
Trip Generation - Existing Uses

DAILY

Land Use	ITE Code	Intensity	Trip Generation Rate (1)	% In	Total Trips		Internal Trips		External Trips		Pass-by Trips (1)	New Trips	
					In	Out	Trips	%	In	Out		In	Out
Warehouse	150	13,420 SF	1.71 / 1000 SF	50%	23		2	10.0%	21		2	10%	19
Automobile Sales (New)	840	6,632 SF	27.84 / 1000 SF	50%	185		2	1%	183		27	15%	156
TOTAL		20,052			208		4	1.9%	204		29		175

AM PEAK HOUR

Land Use	ITE Code	Intensity	Trip Generation Rate (1)	% In	Total Trips		Internal Trips		External Trips		Pass-by Trips (1)	New Trips	
					In	Out	Trips	%	In	Out		In	Out
Warehouse	150	13,420 SF	0.17 / 1000 SF	77%	2	-	2	- 10%	2	-	-	10%	2
Automobile Sales (New)	840	6,632 SF	1.86 / 1000 SF	73%	9	3	12	- 0%	9	3	2	15%	8
TOTAL					11	3	14	- 0.0%	11	3	2	10	2

PM PEAK HOUR

Land Use	ITE Code	Intensity	Trip Generation Rate (1)	% In	Total Trips		Internal Trips		External Trips		Pass-by Trips (1)	New Trips	
					In	Out	Trips	%	In	Out		In	Out
Warehouse	150	13,420 SF	0.18 / 1000 SF	28%	1	1	2	- 10.0%	1	1	-	10%	1
Automobile Sales (New)	840	6,632 SF	2.42 / 1000 SF	40%	6	10	16	- 0%	6	10	2	15%	9
TOTAL					7	11	18	- 0.0%	7	11	2	6	10

(1) Source: Palm Beach County Traffic Division and ITE Trip Generation, 11th Edition.

Attachment 2B
1220 10th Street
Trip Generation - Proposed Uses

DAILY

Land Use	ITE Code	Intensity	Trip Generation Rate (1)	% In	Total Trips		Internal Trips		External Trips	Pass-by Trips (1)	New Trips
					In	Out	Trips	%			
Warehouse	150	22,220 SF	1.71 / 1000 SF	50%	38		4	10.0%	34	3	31
Automobile Sales (New)	840	6,632 SF	27.84 / 1000 SF	50%	185		4	2%	181	27	154
TOTAL		28,852			223		8	3.6%	215	30	185

AM PEAK HOUR

Land Use	ITE Code	Intensity	Trip Generation Rate (1)	% In	Total Trips		Internal Trips		External Trips		Pass-by Trips (1)		New Trips	
					In	Out	Trips	%	In	Out	Trips (1)	In	Out	Trips
Warehouse	150	22,220 SF	0.17 / 1000 SF	77%	3	1	4	-	3	1	4	-	3	1
Automobile Sales (New)	840	6,632 SF	1.86 / 1000 SF	73%	9	3	12	-	9	3	12	2	8	2
TOTAL					12	4	16	-	12	4	16	2	11	3

PM PEAK HOUR

Land Use	ITE Code	Intensity	Trip Generation Rate (1)	% In	Total Trips		Internal Trips		External Trips		Pass-by Trips (1)		New Trips	
					In	Out	Trips	%	In	Out	Trips	In	Out	Trips
Warehouse	150	22,220 SF	0.18 / 1000 SF	28%	1	3	4	-	1	3	4	-	1	3
Automobile Sales (New)	840	6,632 SF	2.42 / 1000 SF	40%	6	10	16	-	6	10	16	2	5	9
TOTAL					7	13	20	-	7	13	20	2	6	12

(1) Source: Palm Beach County Traffic Division and ITE Trip Generation, 11th Edition.

Attachment 2C
1220 10th Street
Trip Generation Comparison

	<u>Daily</u>	<u>AM Peak Hour</u>			<u>PM Peak Hour</u>		
		<u>In</u>	<u>Out</u>	<u>Total</u>	<u>In</u>	<u>Out</u>	<u>Total</u>
Existing Uses	175	10	2	12	6	10	16
Proposed Uses	185	11	3	14	6	12	18
Net New Trips:	10	1	1	2	-	2	2

PRELIMINARY STORM WATER MANAGEMENT CALCULATIONS
FOR
1220 10th STREET

Lake Park, Florida
MMA #24-004

May 22, 2024
Revised:
N/A

McLeod • McCarthy & Associates

1655 Palm Beach Lakes Blvd, Suite 810
West Palm Beach, FL 33401
p 561.689.9500 | f 561.689.8080
www.mcleodmccarthy.com

CA No. 30535



McLEOD • McCARTHY
& Associates, P.A.
CIVIL ENGINEERS

TODD N. MCLEOD, P.E.

Florida License No. 69188

5/22/2024

Date

PRELIMINARY STORM WATER MANAGEMENT CALCULATIONS

Project Name: 1220 10th STREET
Project #: MMA #24-004

Engineer: TNM

Date: 05/22/24

Revised: N/A

LAND USE BREAKDOWN

EXISTING

Site Area = 2.74 ac

Basin Area = 2.74 ac

	Acres	%	Grading	
			From	To
Impervious Area				
Existing Building	0.46 ac	(17%)	13.18	
Pavement & Concrete	1.20 ac	(44%)	10.70	13.00
Pervious Area				
Green Space	1.08 ac	(39%)	10.50	14.00
Subtotal Impervious Areas	1.66 ac	(61%)		
Subtotal Pervious Areas	1.08 ac	(39%)		

Find Curve Number:

Avg. Pervious Ground El. = 12.25

Control Elevation = 7.00

Depth to Water Table = 5.25

Soil Type = Coastal

Soil Storage Table

(SFWMD's Vol. IV, Basis of Review, page E-2)

Depth to W.T. (ft)	Coastal Storage (in)	Flatwoods Storage (in)	Depression Storage (in)
1.0	0.6	0.6	0.6
2.0	2.5	2.5	2.1
3.0	6.6	5.4	4.4
4.0	10.9	9.0	6.8

Pervious Area = 1.08 ac

Storage from Table = 8.18 in (w/ 25% compaction)

Available Soil Storage = 0.74 af

Soil Moisture Storage (S) = 3.22 in

Curve Number = 76

PRELIMINARY STORM WATER MANAGEMENT CALCULATIONS

Project Name: 1220 10th STREET
Project #: MMA #24-004

Engineer: TNM

Date: 05/22/24

Revised: N/A

LAND USE BREAKDOWN

PROPOSED

Site Area = 2.74 ac

Basin Area = 2.74 ac

	Acres	%	Grading	
			From	To
Impervious Area				
Building	0.66 ac	(24%)	13.20	
Pavement	1.10 ac	(40%)	10.70	13.00
Pervious Area				
Green Space	0.92 ac	(34%)	10.50	14.00
Dry Retention Bottom	0.02 ac	(1%)	8.50	
Retention Banks	0.04 ac	(1%)	8.50	11.50
Subtotal Impervious Areas	1.76 ac	(64%)		
Subtotal Pervious Areas	0.98 ac	(36%)		

Find Curve Number:

Avg. Pervious Ground El. = 12.08
Control EL. = 7.00
Depth to Water Table = 5.08
Soil Type = Coastal

Soil Storage Table

(SFWMMD's Vol. IV, Basis of Review, page E-2)

Depth to W.T. (ft)	Coastal Storage (in)	Flatwoods Storage (in)	Depression Storage (in)
1.0	0.6	0.6	0.6
2.0	2.5	2.5	2.1
3.0	6.6	5.4	4.4
4.0	10.9	9.0	6.8

Pervious Area = 0.98 ac
Storage from Table = 8.18 in (w/ 25% compaction)
Avail Soil Storage = 0.67 af
Soil Moisture Storage (S) = 2.92 in
Curve Number = 77

PRELIMINARY STORM WATER MANAGEMENT CALCULATIONS

Project Name: 1220 10th STREET

Project #: MMA #24-004

Engineer: TNM

Date: 05/22/24

Revised: N/A

STAGE -STORAGE CALCULATIONS

PROPOSED

Starting Stage	7.00
Ending Stage	13.50
Stage Increment	0.50

Name	Pavement	Green Space	Dry Retention Bottom	Retention Banks	Trench	
Area	1.10	0.92	0.02	0.04	0.21 (AF)	
Start Elev	10.70	10.50	8.50	8.50	7.00	
End Elev	13.00	14.00	0.00	11.50	10.50	
Stage Feet	Linear Storage	Linear Storage	Vert Storage	Linear Storage	Linear Storage	Total Storage
NAVD	Ac-ft	Ac-ft	Ac-ft	Ac-ft	Ac-ft	Ac-ft
7.00	0.00	0.00	0.00	0.00	0.00	0.00
7.50	0.00	0.00	0.00	0.00	0.03	0.03
8.00	0.00	0.00	0.00	0.00	0.06	0.06
8.50	0.00	0.00	0.00	0.00	0.09	0.09
9.00	0.00	0.00	0.01	0.00	0.12	0.13
9.50	0.00	0.00	0.02	0.01	0.15	0.18
10.00	0.00	0.00	0.03	0.02	0.18	0.23
10.50	0.00	0.00	0.04	0.03	0.21	0.28
11.00	0.02	0.03	0.05	0.04	0.21	0.36
11.50	0.15	0.13	0.06	0.06	0.21	0.61
12.00	0.40	0.30	0.07	0.08	0.21	1.06
12.50	0.77	0.53	0.08	0.10	0.21	1.69
13.00	1.27	0.82	0.09	0.12	0.21	2.51
13.50	1.82	1.18	0.10	0.14	0.21	3.45

PRELIMINARY STORM WATER MANAGEMENT CALCULATIONS

Project Name: 1220 10th STREET
Project #: MMA #24-004

Engineer: TNM

Date: 05/22/24

Revised: N/A

RUNOFF (ZERO DISCHARGE) CALCULATIONS

Soil Moisture Storage (S_{exist})	3.22 in
Soil Moisture Storage (S_{prop})	2.92 in

25 Year, 3 Day Rainfall Amount (P):	13.0 in	Figure C-8
100 Year, 3 Day Rainfall Amount (P):	15.5 in	Figure C-9

PRE/POST RUNOFF: 25-YEAR, 3-DAY RUNOFF CALCULATIONS:

Existing:

$$Q = (P - (0.2XS))^2 / (P + (0.8 \cdot S))$$

$$= 9.8 \text{ in}$$

$$\text{Volume} = Q \times \text{Site Area} \times 1\frac{1}{12}''$$

$$= 9.8 \text{ in} \times 2.74 \times 1\frac{1}{12}'' = 2.24 \text{ AF}$$

Proposed:

$$Q = (P - (0.2XS))^2 / (P + (0.8 \cdot S))$$

$$= 10.0 \text{ in}$$

$$\text{Volume} = Q \times \text{Site Area} \times 1\frac{1}{12}''$$

$$= 10.0 \text{ in} \times 2.74 \times 1\frac{1}{12}'' = 2.29 \text{ AF}$$

Pre- vs. Post- = **0.06 AF** of storage required
0.33 AF Provided at Elev. **11.5** Ft NAVD

FINISHED FLOORS: 100-YEAR, 3-DAY RUNOFF CALCULATIONS:

Proposed:

$$Q = (P - (0.2XS))^2 / (P + (0.8 \cdot S))$$

$$= 12.5 \text{ in}$$

$$\text{Volume} = Q \times \text{Site Area} \times 1\frac{1}{12}''$$

$$= 12.5 \text{ in} \times 2.74 \times 1\frac{1}{12}'' = 2.85 \text{ AF}$$

2.90 AF Provided at Elev. **13.20** Ft NAVD

Storm Event	Rainfall (in)	Peak Stage (ft-NAVD)	Peak Discharge (cfs)	Design Criteria	Prop Stage (ft-NAVD)
25-yr, 3-day =	13.0	12.85	N/A	Allowable Discharge / Pre vs. Post	N/A
100-yr, 3-day =	15.5	13.15	n/a	Finished Floors	13.20

PRELIMINARY STORM WATER MANAGEMENT CALCULATIONS

Project Name: 1220 10th STREET

Project #: MMA #24-004

Engineer: TNM

Date: 05/22/24

Revised: N/A

WATER QUALITY CALCULATIONS

1-inch Over the Project Area

$$\begin{array}{ccccccc} \text{(Treated Volume)} & 1\text{-inch} & * & 1\text{-ft/12-in} & * & \frac{2.74}{\text{PROJECT AREA (AC)}} & = \frac{0.23}{\text{TREATED VOLUME}} \text{ ac-ft} \end{array}$$

2.5-inches Times the Percent Impervious

$$\begin{array}{l} \text{(Site Area)} \quad \frac{2.74}{\text{PROJECT AREA (AC)}} - \left(\frac{0.00}{\text{LAKES (AC)}} + \frac{0.66}{\text{ROOFS (AC)}} \right) = \frac{2.08}{\text{SITE AREA}} \text{ ac} \\ \\ \text{(Impervious Area)} \quad \frac{2.08}{\text{SITE AREA (AC)}} - \frac{0.98}{\text{PERVIOUS AREA (AC)}} = \frac{1.10}{\text{IMPERVIOUS AREA}} \text{ ac} \\ \\ \text{(\% Impervious)} \quad \frac{\text{IMPERVIOUS AREA} * 100\%}{\text{SITE AREA (AC)}} = \frac{52.88\%}{\text{SITE AREA (AC)}} \\ \\ \text{(2.5-in * \% Imp.)} \quad 2.5\text{-inches} * \frac{52.88\%}{\text{PERCENT IMPERVIOUS}} = \frac{1.32}{\text{INCHES TO BE TREATED}} \text{ in} \\ \\ \text{(Treated Volume)} \quad \frac{1.32}{\text{TREATED (IN)}} * 1\text{-ft/12-in} * \frac{2.74}{\text{PROJECT AREA - LAKES (AC)}} = \frac{0.31}{\text{TREATED VOLUME}} \text{ ac-ft} \end{array}$$

THEREFORE 2.5-INCHES X %IMP GOVERNS

$$\text{Required WQ Treatment} = \frac{0.31}{\text{ac-ft}}$$

$$\text{Provided WQ Treatment (Via Exfil Trench \& Retention @ EL. 11.5)} = \frac{0.33}{\text{ac-ft}}$$

PRELIMINARY STORM WATER MANAGEMENT CALCULATIONS

Project Name: 1220 10th STREET

Project #: MMA #24-004

Engineer: TNM

Date: 05/22/24

Revised: N/A

EXFILTRATION TRENCH DESIGN: ONSITE

(All elevations shown in NAVD 1988 datum)

Minimum Ground Elevation = 12.00

Weir Elevation = 11.50

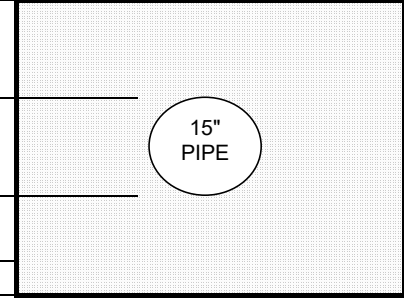
Trench Top Elevation = 10.50

Pipe Overt Elevation = 9.25

Pipe Invert Elevation = 8.00

CWE (Per Soils Report) = 7.00 ▽

Trench Bottom Elevation = 7.00



Standard Formula

$$V = L \cdot (K(H_2 \cdot W + 2 \cdot H_2 \cdot Du - Du^2 + 2 \cdot H_2 \cdot Ds) + (1.39 \cdot 10^{-4}) \cdot W \cdot Du)$$

<=== INPUT ONLY IN GRAY CELLS

L _{WQ}	Length of Trench Provided for Water Quality	190
W	Trench Width (feet)	6
K	Hydraulic Conductivity (cfs/ft ² -ft.head)	2.24E-04
H ₂	Depth to Water Table (feet)	4.5
Du	Non Saturated Trench Depth (feet)	3.5
Ds	Saturated Trench Depth (feet)	0

V_{WQ} Volume Treated (acre-in) 2.52

V_{WQ} Volume Treated (acre-ft) 0.21



Town of Lake Park Community Development Department

Tree Removal Building Permit Application Attachment

A tree removal building permit is required for all protected trees, and specimen trees with a trunk caliper larger than 12 inches.

Please attach to a completed Building Permit Application - \$100.

Should the Town require a consultant to assist, an additional escrow fee will be required

Building Permit Number Assigned _____

Location Address 1220 10th Street, Lake Park, FL 33403

Owner's name and e-mail

JS 1220 10th Street LLC, dan@2gho.com (agent)

Common Name of Tree Quercus virginiana

Tree size and Caliper (14.5"), (11.5"), (14.5"), (9.5"), (11") TOTAL: 61" - 31" FOR RELOCATES = 30" REQUIRED TO MITIGATE.

Reason for Request to Remove Tree – Please be detailed and use additional page if needed. (Arborist letter may be required to support the removal of protected trees or specimen trees)

Refer to attached Arborist Tree Report

Include with application:

- Two (2) copies of your property survey illustrating the location of the tree to be removed. All existing structures and easements shall be identified on the survey
- Two (2) color photos of the tree(s).

<p>If a letter from a certified arborist is required, at a minimum, it must contain the following information regarding tree (s): caliper, health/condition, aesthetic quality. In arborist's opinion, does the tree pose a threat to persons or property? Can the tree be removed and relocated? (on-site or elsewhere) Replacement value of tree.</p>
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Failure to submit all of the above requirements will result in the denial of a tree removal building permit application.

If a determination is made that the trees are either *Specimen trees* or *Protected trees*, one of the following will be required, per section 34-9 (7) of the Code

- Applicant shall provide alternate site plan that preserves tree
- Applicant shall adjustment of lot lines, if more than one lot
- Applicant shall provide for tree relocation elsewhere on site, or in town, in accordance with code section 34-9 (7) (c)
- If determination is made that tree cannot be saved, Community Development Department shall designate an equivalent replacement tree or trees to be placed:
 - on-site, by applicant or
 - elsewhere in Town
- If determined that on-site replacement is not feasible, off-site replacement shall be required, or contribution made to Town Tree Trust Fund for full equivalent of replacement tree or trees.

Town Code, Sec. 34-2. - Definitions.

Protected tree. A tree with a minimum caliper of four inches in diameter, one foot above the ground of the species Live Oak, Laurel Oak, Gumbo Limbo, Royal Poinciana, Banyan, and Mahogany.

Specimen tree. A tree with any individual trunk, which has a caliper larger than 12 inches. All nuisance trees listed in subsection [34-9\(2\)\(e\)](#) are not considered to be specimen trees.

Tree Removal Standards from the Town of Lake Park Code of Ordinances are attached

7/20/20

Sec. 34-9. - Tree removal standards.

The following standards shall be applicable to the removal of trees within the town:

- (1) *[Permit required.]* It shall be unlawful for any person, business or entity, intentionally or unintentionally, knowingly or unknowingly, directly or by direction, to cut down, destroy, remove or move, or to effectively remove or destroy, through the infliction of damage, any tree within the town, without first obtaining a permit from the community development department.
- (2) *[Exemptions.]* The following tree removal activities are specifically exempted from the permit, relocation, replacement and mitigation requirements of this chapter:
 - (a) Removal of trees within the property boundaries of developed property which are not specimen or protected trees.
 - (b) Removal of any dead tree.
 - (c) Removal of trees in emergency situations.
 - (d) Removal of any of the following nuisance tree species:

	Species	Common Name
1.	Acacia auriculiformis	Earleaf Acacia
2.	Albizzia lebbbeck	Woman's Tongue
3.	Araucaria heterophylla	Norfolk Island Pine
4.	Bambusa Vulgaris	Tree Bamboo
5.	Bischofia javanica	Bischofia
6.	Brassaia actinophylla	Schefflera
7.	Casuarina spp	Australian Pine
8.	Cupaniopsis anacardiodes	Carrotwood
9.	Enterolobium cyclocarpum	Ear Tree
10.	Eucalyptus spp	Eucalyptus
11.	Ficus spp	Ficus
12.	Grevillea robusta	Silk Oak
13.	Hibiscus tiliaceus	Mahoe
14.	Melaleuca quinquenervia	Melaleuca
15.	Metopium toxiferum	Poison Wood
16.	Psidium quajava/littorale	Guava
17.	Ricinus communis	Castorbean
18.	Sapium sebiferum	Chinese Tallow Tree
19.	Schinus terebinthifolius	Brazilian Pepper
20.	Syzygium cumini	Java Plum
21.	Thespesia populnea	Portia Tree

- (e) Removal of any tree which has been destroyed or effectively destroyed by an act of God, or by acts outside the control of the legal, beneficial or equitable owner of the real property in which the tree is located, and which acts could not have been prevented by the exercise of reasonable care.
 - (f) Removal of any tree by the town in accordance with the authority and administrative discretion provided in section 34-14 of this chapter.
 - (g) Removal of noxious weeds, noxious plants, noxious aquatic plants, invasive plants, non-native plants, non-native aquatic plants, and plants infested with plant pests, as such terms are defined in F.S. ch. 581, as amended from time to time.
- (3) *[Dead or destroyed tree removal.]* All of the aforesaid trees listed in subsection (2) of this section which are dead or effectively destroyed, shall be removed by the property owner, without any permit, relocation, replacement or mitigation requirement, so as to protect adjacent properties from damage that may be caused by the dead or effectively destroyed trees.
- (4) ***Application for removal permits.*** Tree removal permits are required for the removal of any specimen or protected tree not specifically exempted under this section. The town shall provide permit application forms which shall be used by permit applicants. An owner, agent of the owner, or lessee of a property may apply for a tree removal permit. If the permit applicant is a lessee, or agent of the owner, a statement from the owner of the property, indicating that the owner has no objection to the proposed tree removal, shall be submitted with the application. The permit applicant shall submit to the town a completed application form which shall include the reasons for the requested removal, the tree size and tree caliper, and the common name of the tree to be removed. Permit application forms shall be accompanied by two diagrams showing the location of the tree to be removed which are subject to review and approval by the community development department. The diagrams shall include the locations of all existing tree resources and all proposed structures or utilities which may require removal or relocation of trees. If the submitted diagrams do not provide sufficient information to determine which trees will be affected by proposed development, the department may require that a tree survey of the site be prepared and submitted to the department for review.
- (5) ***Permit fees.*** The town shall, by resolution, establish a fee schedule for all matters relating to tree removal, relocation, replacement, monetary contribution, and all administrative reviews necessitated thereby.
- (6) ***Review and evaluations of removal permit applications.*** A review of each completed tree removal permit application shall be conducted by the community development department. This review and all actions taken by the department shall be conducted under a standard of reasonableness using the best available practices from biology, botany, forestry, landscape architecture and other relevant fields.
- (7) ***Specimen and protected trees standards.***
- (a) ***Specimen and protected trees application.*** Specimen and protected trees shall be preserved whenever reasonably possible. Upon receipt of an application to remove a specimen or protected tree, the department shall consider the following factors in evaluating said application:
 - 1. Size and configuration of the property.
 - 2. Size and configuration of any proposed development.
 - 3. Location of the tree relative to any proposed development.
 - 4. Whether or not the tree can be preserved under the proposed plan or any alternative plan.
 - 5. Health, condition and aesthetic qualities of the tree.
 - 6. Whether the tree poses a threat to persons or property.
 - (b) ***Alternate plans.*** If, upon review of the aforesaid factors, the department determines that a specimen tree cannot reasonably be preserved under the proposed plan, then the applicant shall provide an alternate plan which shall include preservation of the specimen tree and design alterations consistent with the scope and intent of the initially proposed plan.

Alterations consistent with the scope and intent of the initially proposed plan may include, but shall not be limited to:

1. An adjustment of building orientation on a site.
 2. An adjustment of lot lines within a site proposal for more than one lot when said adjustment will not cause an unreasonable loss of usable space. An applicant shall have the burden of proof in the determination of what constitutes an unreasonable loss of usable space.
- (c) ***Specimen and protected tree relocation.*** If preservation of the specimen and protected tree and any alternate design consistent with the scope and intent of the initial plan are mutually exclusive, then the department may issue a permit to relocate the specimen or protected tree. If the tree removal permit requires relocation, then the applicant shall be required to relocate the tree in a manner that will maintain the canopy within the general vicinity of the removal on the same property or to relocate the tree to a location within the town designated by the community development department.
- (d) ***Removal of specimen or protected trees.*** If relocation of the specimen or protected tree is not feasible, due to the size, health, location, species or any other factor, then a permit may be issued for removal, and tree replacement shall be required. The community development department shall designate an equivalent replacement tree or trees and a location within the town for its planting.
- (e) ***Replacement requirements for specimen or protected trees.*** In the event that replacement is not feasible on-site, then alternative off-site replacement shall be required, or, as a last alternative, there shall be a contribution made to the town tree trust fund for the full equivalent value of the replacement tree or trees.

(Ord. No. 04-2009, § 3, 2-18-2009; Ord. No. 02-2010, § 2, 2-17-2010)

Florida Statutes contain an exemption from obtaining a permit under the following circumstance:

163.045 Tree pruning, trimming, or removal on residential property.

(1) A local government may not require a notice, application, approval, permit, fee, or mitigation for the pruning, trimming, or removal of a tree on residential property if the property owner obtains **documentation from an arborist certified** by the International Society of Arboriculture or a Florida licensed landscape architect **that the tree presents a danger to persons or property**

1220 10th St.
Arborist Tree Report
Lake Park, Florida
December 12, 2024

The Site: The site is located on the west side of 10th Ave. located approx. 1/4-mile South of Northlake Blvd. This is a previously developed site which has been an established business since the 1970's. The site consists of an existing Commercial Building, parking lot and is current and operational business use with a small proposed expansion to accommodate current needs which is impacting multiple trees. within the site there are multiple native tree species such as Live Oaks and Cabbage Palms as well as other non-native landscape Trees and Palms from previously approved plans.

On Site Trees: A site visit was conducted on October 29th and November 19, 2024. The purpose of this visit was to determine the current conditions, health and vitality of the existing native trees and palms being impacted by the proposed site plan amendment. The Site contains multiple Native Tree and Palm species. All Native Trees with a 6" D.B.H. or greater have been located on site and have all been surveyed to identify their current existing locations on site to identify on the proposed landscape plans. Refer to provided survey plans (prepared by Landtech Surveying) for all surveyed locations along with Landscape plans (prepared by 2GHO, Inc.) for final tree dispositions & mitigation requirements.

Observations & Tree I.D.

Tree Relocation & Removal: Tree relocation is required for any impacted native trees with a 6" D.B.H. or greater. Refer to Landscape Plans (prepared by 2GHO, Inc.) for all proposed vegetation dispositions and mitigation requirements and Landscape plans (prepared by 2GHO, Inc.) for final locations of any native vegetation to be relocated on site. All Native vegetation shall remain on site in existing locations or relocated on site unless noted below for removal. The reason for removal is due to site improvements impacting the trees. Coordination occurred between Landscape Architect and Town's Landscape consultant for direction.

Tree & Palm Removal: All Native Trees & Palms shall follow the Town of Lake Park code section 34-9(7) for preservation of Vegetation and requirements for removal and mitigation. There are multiple Live Oaks proposed for Removal & Relocation due to the proposed site plan layout and proposed expansion on site. The layout impacts the existing tree locations and will not allow the trees to remain as is with the proposed plan layout. Multiple site design layouts were explored to create as minimal of an impact to the existing vegetation. The landscape plans will determine final vegetation relocation and mitigation locations. These

locations will be reviewed and approved during site planning approval process through the Village. The following trees listed below are to identify per the Disposition plans, the tree ID, disposition, health and mitigation required for each tree. All trees that fall within the category as noted above will be mitigated as necessary. **Only** trees being impacted are listed below.

Live Oaks:

Tree ID#: QV-76

Tree Species: Live Oak (Quercus Virginiana)

D.B.H. Size: 17.5" D.B.H.

Disposition: Relocate

Mitigation Required: Yes

Tree Mitigation Credit Required: None

Tree Mitigation Credit Provided: 17.5"

Description: This tree is in good health and condition with a canopy that is fairly uniform with strong lateral branching and no apparent trunk or pestilence identified currently to date. However, the tree falls within the limits of proposed addition/ construction which will not allow the tree in question to stay in its current location. The current site condition will allow this tree be relocated and meet the Town Of Lake Park code requirements, standards and meet all Ansi 300 & Z133.1 for relocated vegetation. The final location of the tree will be identified the Landscape Plans sheet (LP-1).

Tree ID#: QV-66

Tree Species: Live Oak (Quercus Virginiana)

D.B.H. Size: 13.5" D.B.H.

Disposition: Relocate

Mitigation Required: Yes

Tree Mitigation Credit Required: None

Tree Mitigation Credit Provided: 13.5"

Description: This tree is in good health and condition with a canopy that is fairly uniform with strong lateral branching and no apparent trunk or pestilence identified currently to date. However, the tree falls within the limits of proposed addition/ construction which will not allow the tree in question to stay in its current location. The current site condition will allow this tree be relocated and meet the Town Of Lake Park code requirements, standards and meet all Ansi 300 & Z133.1 for relocated vegetation. The final location of the tree will be identified the Landscape Plans sheet (LP-1).

Tree ID#: QV-41

Tree Species: Live Oak (Quercus Virginiana)

D.B.H. Size: 14.5" D.B.H.

Disposition: Remove

Mitigation Required: Yes

Tree Mitigation Credit Required: 14.5 Tree Credits

Tree Mitigation Credit Provided: 14.5" Mitigation Replacement Credits Min.

Description: This tree is in moderate health and condition with a canopy that is not uniform and fairly one sided with only about 70% canopy coverage along with some missing internal main structural branching as well as major root flare damage that has been affected by site operations. The tree is also located within a very small parking island with a minimal width which has contributed to improper growth to the tree. In addition, the years of heavy compaction, coverage by asphalt, roadway sub-base along with no irrigation. The conditions have created a non-ideal growing environment to thrive and has affected this tree's vitality, viability and appearance which has created a detriment to this tree. This tree also falls within the limits of proposed addition / construction which will not allow it to stay in its current location. Due to site constraints and existing conditions, it has been determined due to the site impacts and affects that the overall health has been reduced and the likelihood of tree relocation that the actual survival rate has been determined to be extremely low. Based off of the field observations this tree shall be removed per Town Of Lake Park code requirements and meet all mitigation replacement requirements. The original location of the proposed tree is reflected on the Landscape Plans sheet (LP-1).

Tree ID#: QV-42

Tree Species: Live Oak (Quercus Virginiana)

D.B.H. Size: 11.5" D.B.H.

Disposition: Remove

Mitigation Required: Yes

Tree Mitigation Credit Required: 11.5 Tree Credits

Tree Mitigation Credit Provided: 11.5" Mitigation Replacement Credits Min.

Description: This tree is in moderate health and condition with a canopy that is not uniform and fairly one sided with only about 50% canopy coverage. The tree is also located within a very small parking island with a minimal width which has contributed to improper growth to the tree. In addition, the years of heavy compaction, coverage by asphalt, roadway sub-base along with no irrigation. The conditions have created a non-ideal growing environment to thrive and has affected this tree's vitality, viability and appearance which has created a detriment to this tree. This tree also falls within the limits of proposed addition / construction which will not allow it to stay in its current location. Due to site constraints and existing conditions, it has been determined due to the site impacts and affects that the overall health has been reduced and the likelihood of tree relocation that the actual survival rate has been determined to be extremely low. Based off of the field observations this tree shall be removed per Town Of Lake Park code

requirements and meet all mitigation replacement requirements. The original location of the proposed tree is reflected on the Landscape Plans sheet (LP-1).

Tree ID#: QV-43

Tree Species: Live Oak (*Quercus Virginiana*)

D.B.H. Size: 14.5" D.B.H.

Disposition: Remove

Mitigation Required: Yes

Tree Mitigation Credit Required: 14.5 Tree Credits

Tree Mitigation Credit Provided: 14.5" Mitigation Replacement Credits Min.

Description: This tree is in moderate health and condition with a canopy that is not uniform and fairly one sided with only about 70% canopy coverage along with some missing internal main structural branching as well as major root flare damage that has been affected by site operations. The tree is also located within a very small parking island with a minimal width which has contributed to improper growth to the tree. In addition, the years of heavy compaction, coverage by asphalt, roadway sub-base along with no irrigation. The conditions have created a non-ideal growing environment to thrive and has affected this tree's vitality, viability and appearance which has created a detriment to this tree. This tree also falls within the limits of proposed addition / construction which will not allow it to stay in its current location. Due to site constraints and existing conditions, it has been determined due to the site impacts and affects that the overall health has been reduced and the likelihood of tree relocation that the actual survival rate has been determined to be extremely low. Based off of the field observations this tree shall be removed per Town Of Lake Park code requirements and meet all mitigation replacement requirements. The original location of the proposed tree is reflected on the Landscape Plans sheet (LP-1).

Tree ID#: QV-47

Tree Species: Live Oak (*Quercus Virginiana*)

D.B.H. Size: 9.5" D.B.H.

Disposition: Remove

Mitigation Required: Yes

Tree Mitigation Credit Required: 9.5 Tree Credits

Tree Mitigation Credit Provided: 9.5" Mitigation Replacement Credits Min.

Description: This tree is in moderate health and condition with a canopy that is not uniform and fairly one sided with only about 50% canopy coverage. The tree is also located within a very small parking island with a minimal width which has contributed to improper growth to the tree. In addition, the years of heavy compaction, coverage by asphalt, roadway sub-base along with no irrigation. The conditions have created a non-ideal growing environment to thrive and has affected this tree's vitality, viability and appearance which has created a detriment to this tree. This tree also falls within the limits of proposed addition / construction which will not allow it to stay in its current location. Due to site constraints and existing conditions, it has been determined due to the site impacts and affects that the overall health has been reduced and the

likelihood of tree relocation that the actual survival rate has been determined to be extremely low. Based off of the field observations this tree shall be removed per Town Of Lake Park code requirements and meet all mitigation replacement requirements. The original location of the proposed tree is reflected on the Landscape Plans sheet (LP-1).

Tree ID#: QV-48

Tree Species: Live Oak (Quercus Virginiana)

D.B.H. Size: 11" D.B.H.

Disposition: Remove

Mitigation Required: Yes

Tree Mitigation Credit Required: 11 Tree Credits

Tree Mitigation Credit Provided: 11" Mitigation Replacement Credits Min.

Description: This tree is in moderate health and condition with a canopy that is not fairly uniform with about 80% canopy coverage along with some structural branch loss and many improper pruning cuts. The tree is also located within a very small parking island with a minimal width which has contributed to improper growth to the tree. In addition, the years of heavy compaction, coverage by asphalt, roadway sub-base along with no irrigation has also added to the hardship of this tree. The conditions have created a non-ideal growing environment to thrive and has affected this tree's vitality, viability and appearance which has created a detriment to this tree. This tree also falls within the limits of proposed addition / construction which will not allow it to stay in its current location. Due to site constraints and existing conditions, it has been determined due to the site impacts and affects that the overall health has been reduced and the likelihood of tree relocation that the actual survival rate has been determined to be extremely low. Based off of the field observations this tree shall be removed per Town Of Lake Park code requirements and meet all mitigation replacement requirements. The original location of the proposed tree is reflected on the Landscape Plans sheet (LP-1).

Conclusion:

Per the filed observations and recommendations listed above are based off of field research to observe overall conditions of existing vegetation and determine the overall disposition of the tree for relocation or mitigation replacements for Oaks species within the proposed site development. All measures were taken into consideration to the site design to minimize impacting existing vegetation as minimal as possible but still allow the development to function and expand as needed to make a successful business within the Town.

1220 10th St.
December 12, 2024
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Please feel free to contact me with any questions or concerns at 561-575-9557 or email me at Ben@2gho.com.

Sincerely,

Benjamin Dolan

Benjamin R. Dolan
Sr. Landscape Designer / Planner Graphic Designer /
ISA Certified Arborist FL-9545A / Tree Risk Assessment Qualified
2GHO & Associates



Tree ID#: QV-42

Tree Species: Live Oak (*Quercus Virginiana*)

D.B.H. Size: 11.5" D.B.H.

(See Arborist Report for tree details)



Tree ID#: QV-43

Tree Species: Live Oak (*Quercus Virginiana*)

D.B.H. Size: 14.5" D.B.H.

(See Arborist Report for tree details)



Tree ID#: QV-47

Tree Species: Live Oak (*Quercus Virginiana*)

D.B.H. Size: 9.5" D.B.H.

(See Arborist Report for tree details)



Tree ID#: QV-48

Tree Species: Live Oak (*Quercus Virginiana*)

D.B.H. Size: 11" D.B.H.

(See Arborist Report for tree details)



Tree ID#: QV-41

Tree Species: Live Oak (*Quercus Virginiana*)

D.B.H. Size: 14.5" D.B.H.

(See Arborist Report for tree details)



Tree ID#: QV-76

Tree Species: Live Oak (*Quercus Virginiana*)

D.B.H. Size: 17.5" D.B.H.

(See Arborist Report for tree details)



Tree ID#: QV-66

Tree Species: Live Oak (*Quercus Virginiana*)

D.B.H. Size: 13.5" D.B.H.

