



**GROWTH MANAGEMENT**  
205 North Marion Ave.  
Lake City, FL 32055  
Telephone: (386)719-5750  
E-Mail:  
growthmanagement@lcfla.com

**FOR PLANNING USE ONLY**

Application # \_\_\_\_\_

Application Fee \$200.00

Receipt No. \_\_\_\_\_

Filing Date \_\_\_\_\_

Completeness Date \_\_\_\_\_

# Site Plan Application

## A. PROJECT INFORMATION

1. Project Name: CIRCLE K - LAKE CITY
2. Address of Subject Property: 4706 W US HWY 90, LAKE CITY, FLORIDA 32055
3. Parcel ID Number(s): 34-3S-16-02465-010
4. Future Land Use Map Designation: COMMERCIAL
5. Zoning Designation: COMMERCIAL, INTENSIVE (CI)
6. Acreage: ±1.78
7. Existing Use of Property: AGRICULTURAL - OLIVE TREE FARM
8. Proposed use of Property: ±3,956 SF CONVENIENCE STORE & AUTOMOTIVE SELF-SERVICE STATION
9. Type of Development (Check All That Apply):  
 Increase of floor area to an existing structure: Total increase of square footage \_\_\_\_\_  
 New construction: Total square footage ±3,956 \_\_\_\_\_  
 Relocation of an existing structure: Total square footage \_\_\_\_\_

## B. APPLICANT INFORMATION

1. Applicant Status  Owner (title holder)  Agent
2. Name of Applicant(s): MICHAEL D. MILES, P.E. Title: REGIONAL MANAGER/SENIOR PRINCIPAL  
Company name (if applicable): DYNAMIC ENGINEERING CONSULTANTS, PC  
Mailing Address: 100 NE 5TH AVE. SUITE B2  
City: DELRAY BEACH State: FLORIDA Zip: 33483  
Telephone: (561) 921-8570 Fax: (N/A) Email: MMILES@DYNAMICEC.COM

**PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.**

3. If the applicant is agent for the property owner\*.

Property Owner Name (title holder): HOWARD E. VAN ARSDALL, JR., TRUSTEE OF THE LITTLE POND FARM LAND TRUST DATED DECEMBER 1, 1999  
Mailing Address: 4411 SW VAN ARSDALL GLN  
City: LAKE CITY State: FLORIDA Zip: 32055  
Telephone: (386) 288-8989 Fax: ( ) Email: *jvanarsdall@gmail.com*

4. Mortgage or Lender Information:  Yes  No

Name of Mortgage or Lender: \_\_\_\_\_

Contact Name: \_\_\_\_\_ Telephone Number: \_\_\_\_\_

E-Mail Address: \_\_\_\_\_

*If property has a mortgage or lender, the mortgage or lender shall be required to provide a release for this application to proceed.*

**PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.**

**\*Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**

### C. ADDITIONAL INFORMATION

1. Is there any additional contract for the sale of, or options to purchase, the subject property?  
If yes, list the names of all parties involved: \_\_\_\_\_  
If yes, is the contract/option contingent or absolute:  Contingent  Absolute
2. Has a previous application been made on all or part of the subject property?  Yes  No
3. Future Land Use Map Amendment:  Yes \_\_\_\_\_  No \_\_\_\_\_  
Future Land Use Map Amendment Application No. \_\_\_\_\_  
Site Specific Amendment to the Official Zoning Atlas (Rezoning):  Yes \_\_\_\_\_  No \_\_\_\_\_  
Site-Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. \_\_\_\_\_  
Variance:  Yes \_\_\_\_\_  No \_\_\_\_\_  
Variance Application No. N/A \_\_\_\_\_  
Special Exception:  Yes \_\_\_\_\_  No \_\_\_\_\_  
Special Exception Application No. N/A \_\_\_\_\_

### D. ATTACHMENT/SUBMITTAL REQUIREMENTS

1. **Vicinity Map** – Indicating general location of the site, abutting streets, existing utilities, complete legal description of the property in question, and adjacent land use.
2. **Site Plan** – Including, but not limited to the following:
  - a. Name, location, owner, and designer of the proposed development.
  - b. Present zoning for subject site.
  - c. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties and any screening or buffers on such properties.
  - d. Date, north arrow, and graphic scale not less than one inch equal to 50 feet.
  - e. Area and dimensions of site (Survey).
  - f. Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.
  - g. Access to utilities and points of utility hook-up.
  - h. Location and dimensions of all existing and proposed parking areas and loading areas.
  - i. Location, size, and design of proposed landscaped areas (including existing trees and required landscaped buffer areas).
  - j. Location and size of any lakes, ponds, canals, or other waters and waterways.
  - k. Structures and major features fully dimensioned including setbacks, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and percent of property covered by structures.
  - l. Location of trash receptacles.
  - m. For multiple-family, hotel, motel, and mobile home park site plans:
    - i. Tabulation of gross acreage.
    - ii. Tabulation of density.
    - iii. Number of dwelling units proposed.
    - iv. Location and percent of total open space and recreation areas.
    - v. Percent of lot covered by buildings.

- vi. Floor area of dwelling units.
- vii. Number of proposed parking spaces.
- viii. Street layout.
- ix. Layout of mobile home stands (for mobile home parks only).

3. **Stormwater Management Plan**—Including the following:

- a. Existing contours at one-foot intervals based on U.S. Coast and Geodetic Datum.
- b. Proposed finished elevation of each building site and first floor level.
- c. Existing and proposed stormwater management facilities with size and grades.
- d. Proposed orderly disposal of surface water runoff.
- e. Centerline elevations along adjacent streets.
- f. Water management district surface water management permit.

4. **Fire Department Access and Water Supply Plan:** The Fire Department Access and Water Supply Plan must demonstrate compliance with Chapter 18 of the Florida Fire Prevention Code, be located on a separate signed and sealed plan sheet, and must be prepared by a professional fire engineer licensed in the State of Florida. The Fire Department Access and Water Supply Plan must contain fire flow calculations in accordance with the Guide for Determination of Required Fire Flow, latest edition, as published by the Insurance Service Office ("ISO") and/or Chapter 18, Section 18.4 of the Florida Fire Prevention Code, whichever is greater.

5. **Mobility Plan:** Mobility plan shall include accessibility plan for ADA compliance, safe and convenient onsite traffic flow, and accessibility plan for bicycle and pedestrian safety. The City shall require additional right of way width for bicycle and pedestrian ways to be provided for all proposed collector and arterial roadways, as integrated or parallel transportation facilities per Policy II.1.4 of the Comprehensive Plan.

6. **Concurrency Impact Analysis:** Concurrency Impact Analysis of impacts to public facilities. For commercial and industrial developments, an analysis of the impacts to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts are required.

7. **Comprehensive Plan Consistency Analysis:** An analysis of the application's consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies).

8. **Legal Description with Tax Parcel Number** (In Word Format).

9. **Proof of Ownership** (i.e. deed).

10. **Agent Authorization Form** (signed and notarized).

11. **Proof of Payment of Taxes** (can be obtained online via the Columbia County Tax Collector's  
City of Lake City – Growth Management Department  
205 North Marion Ave, Lake City, FL 32055 ♦ (386) 719-5750

## NOTICE TO APPLICANT

All eleven (13) attachments listed above are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

A total of eight (2) copies of proposed site plan application and all support materials must be submitted along with a PDF copy on a CD. See City of Lake City submittal guidelines for additional submittal requirements.

**THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES, OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.**

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

MICHAEL D. MILES, P.E.

Applicant/Agent Name (Type or Print)



9/15/25

Applicant/Agent Signature

Date

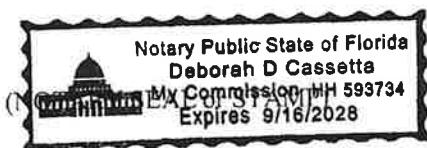
Applicant/Agent Name (Type or Print)

Applicant/Agent Signature

Date

STATE OF FLORIDA  
COUNTY OF \_\_\_\_\_

The foregoing instrument was acknowledged before me this 15<sup>th</sup> day of Sept, 2025, by (name of person acknowledging).



Signature of Notary

Printed Name of Notary

Personally, Known \_\_\_\_\_ OR Produced Identification \_\_\_\_\_ OR verified on-line virtually \_\_\_\_\_  
Type of Identification Produced

Office).

12. **Fee:** The application fee for a Site and Development Plan Application is \$200.00. No application shall be accepted or processed until the required application fee has been paid
13. **Notices:** All property owners within three hundred (300) feet must be notified by certified mail by the proponent and proof of the receipt of these notices must be submitted as part of the application package submittal.  
The Growth Management Department shall supply the name and addresses of the property owners, The notification letters, and the envelopes to the proponent.

**ACKNOWLEDGEMENT, SIGNATURES, AND NOTORY ON FOLLOWING PAGE**

### REFERENCED TITLE COMMITMENT:

AS TO COMMITMENT FOR TITLE INSURANCE ISSUED BY CHICAGO TITLE INSURANCE COMPANY FILE NO.: 40250034RE, COMMITMENT NO. 12221525, DATED 01/27/2025 AT 07:30 AM, REVISION NO.: 1

### LEGAL DESCRIPTION:

A PARCEL OF LAND IN SECTION 34, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 34 AND RUN S.89°44'18"E. ALONG THE NORTH LINE OF SAID SOUTHWEST 1/4 A DISTANCE OF 52.25 FEET TO A POINT ON THE EASTERN RIGHT-OF-WAY LINE OF SW PINEMOUNT ROAD, AND THE POINT OF BEGINNING. THENCE N.06°27'13"E. ALONG SAID EASTERN RIGHT-OF-WAY LINE 87.46 FEET; THENCE N.36°26'27"E. STILL ALONG SAID EASTERN RIGHT-OF-WAY LINE 78.65 FEET TO ITS INTERSECTION WITH THE SOUTHERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 90; THENCE S.64°10'35"W. ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE 388.48 FEET; THENCE S.25°52'08"W. 236.38 FEET; THENCE N.64°10'35"W. PARALLEL TO THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID U.S. HIGHWAY NO. 90 A DISTANCE OF 287.50 FEET TO A POINT ON THE EASTERN RIGHT-OF-WAY LINE OF SW PINEMOUNT ROAD; THENCE N.05°18'49"E. ALONG SAID EASTERN RIGHT-OF-WAY LINE 81.17 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT LANDS CONVEYED IN SPECIAL WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 1490, PAGE 1035.

TOGETHER WITH THOSE APPURTENANT EASEMENTS AS SET FORTH IN THE AGREEMENT REGARDING EASEMENTS, COVENANTS AND RESTRICTIONS RECORDED IN OFFICIAL RECORDS BOOK 1149, PAGE 2226, AND AS AMENDED BY FIRST AMENDMENT TO AGREEMENT REGARDING EASEMENTS, COVENANTS AND RESTRICTIONS RECORDED IN OFFICIAL RECORDS BOOK 1490, PAGE 1023, OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

### SURVEYOR'S NOTES:

- BEARINGS SHOWN ARE REFERENCED TO NORTH AMERICAN DATUM OF 1983, WITH THE EAST RIGHT-OF-WAY LINE OF SW PINEMOUNT ROAD HAVING AN OBSERVED BEARING OF N0518'59"E (N06°27'13"E PER DEEDED LEGAL DESCRIPTION). ALL OTHER BEARINGS ARE RELATIVE THEREUNTO.
- ELEVATIONS SHOWN ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK USED: FDOT BENCHMARK #2901016 BM1, ELEV.=158.61
- ALL COORDINATES AND DIMENSIONS ARE CALCULATED, WITH UNITS IN U.S. SURVEY FEET (12 METERS = 39.37 FEET), UNLESS SHOWN OTHERWISE.
- ONLY PERMANENT ABOVE GROUND IMPROVEMENTS LOCATED BY THIS FIRM. ANY UNDERGROUND UTILITIES SHOWN HEREON ARE PAINTED MARKINGS VISIBLE IN THE FIELD AT THE TIME OF SURVEY. THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED WITHOUT PHYSICAL EXCAVATION. NO GUARANTEE IS MADE AS TO THE CORRECTNESS OR COMPLETENESS OF UNDERGROUND FEATURES SHOWN. ALWAYS CALL 811 BEFORE DIGGING.
- NO PHYSICAL EVIDENCE OF LAND USE INDICATING A CEMETERY, WASTE DUMP, LANDFILL, RECENT EARTHWORK CONSTRUCTION OR BUILDING ADDITIONS WERE OBSERVED ON PREMISES AT THE TIME OF FIELDWORK OTHER THAN SHOWN HEREON.
- NO EVIDENCE OF PROPOSED CHANGES IN STREET RIGHT OF WAY LINES WAS MADE AVAILABLE TO THIS FIRM, AND NO EVIDENCE OF RECENT STREET CONSTRUCTION WERE OBSERVED AT THE TIME OF FIELDWORK.
- NO TITLE SEARCH WAS PERFORMED BY THIS FIRM. NO GUARANTEE IS MADE AS TO COMPLETENESS OF TITLE SEARCH PROVIDED BY OTHERS. PROPERTY MAY BE SUBJECT TO EASEMENTS RESTRICTIONS, RESERVATIONS AND RIGHT OF WAY RECORDS IF AN INCOMPLETE SEARCH WAS PROVIDED.
- SUBJECT PROPERTY SHOWN ON THIS SURVEY IS ONE AND THE SAME AS THAT DESCRIBED IN THE REFERENCED TITLE COMMITMENT AND LEGAL DESCRIPTION SHOWN HEREON.
- SUBJECT PROPERTY IS CONTIGUOUS, WITH NO GAPS OR GORES DISCOVERED DURING THE COURSE OF THIS SURVEY.
- ALL RECORDING INFORMATION SHOWN HEREON IS IN REFERENCE TO THE PUBLIC RECORDS OF THE COUNTY IN WHICH THE SUBJECT PROPERTY IS LOCATED, UNLESS NOTED OTHERWISE.
- PROPERTY IS ACCESSED DIRECTLY BY WAY OF THE PUBLIC RIGHT OF WAY OF SW PINEMOUNT ROAD AND US HWY 90 AS SHOWN, AND INDIRECTLY BY WAY OF ACCESS EASEMENTS DEPICTED GRAPHICALLY IN OR 1149, PG 2226, OR 1490, PG 1023, AND OR 1534, PG 393.
- ACCURACY OF SURVEY CONTROL VERIFIED BY REDUNDANT MEASUREMENTS EXCEEDS THAT OF COMMERCIAL/HIGH RISK LINEAR (1 FOOT IN 10,000 FEET), AS PER FLORIDA RULE 5J-17.051.
- THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1:240 OR SMALLER.
- NO ZONING REPORT LETTER WAS SUPPLIED TO THIS FIRM. ZONING INFORMATION MAY BE ADDED TO SURVEY ONCE IT IS RECEIVED.
- TREE IDENTIFICATIONS SHOWN HEREON ARE TO BEST OF FIELD SURVEYOR'S ABILITY, AND SHOULD BE FIELD VERIFIED BY AN APPROPRIATELY LICENSED PROFESSIONAL WHERE NECESSARY.
- UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON A PRIVATE UTILITY LOCATE MAPPED AND PROVIDED BY OTHERS, ADDED TO SURVEY AT REQUEST OF CLIENT. THIS FIRM MAKES NO GUARANTEES AS TO COMPLETENESS OF CORRECTNESS OF MARKINGS.
- THE SUBJECT PROPERTY, AS SURVEYED, IS ONE AND THE SAME AS THE PROPERTY DESCRIBED IN THE VESTING DEED (OR BOOK 1422, PG 2582), LESS AND EXCEPT THE PROPERTY PREVIOUSLY CONVEYED IN OR BOOK 1490, PG 1035.

### SCHEDULE B-II ITEMS

AS TO REFERENCED TITLE COMMITMENT

#	DESCRIPTION	NOTES
1	DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY, CREATED, FIRST APPEARING IN THE PUBLIC RECORDS OR ATTACHING SUBSEQUENT TO THE EFFECTIVE DATE HEREOF BUT PRIOR TO THE DATE THE PROPOSED INSURED ACQUIRES FOR VALUE OF RECORD THE ESTATE OR INTEREST OR MORTGAGE THEREON COVERED BY THIS FORM.	NSR; NP
2	TAXES AND ASSESSMENTS FOR THE YEAR 2025 AND SUBSEQUENT YEARS, WHICH ARE NOT YET DUE AND PAYABLE.	NSR; NP
3	STANDARD EXCEPTIONS:	
a	ANY ENROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION, OR ADVERSE CIRCUMSTANCE AFFECTING THE TITLE THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND.	NOTSH
b	RIGHTS OR CLAIMS OF PARTIES IN POSSESSION NOT SHOWN BY THE PUBLIC RECORDS.	NOTSH
c	ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR, OR MATERIALS HERETOFORE OR HEREAFTER FURNISHED, IMPOSED BY LAW AND NOT SHOWN BY THE PUBLIC RECORDS.	NSR; NP
d	TAXES OR ASSESSMENTS WHICH ARE NOT SHOWN AS EXISTING LIENS IN THE PUBLIC RECORDS.	NSR; NP
4	ANY CLAIM THAT ANY PORTION OF THE INSURED LAND IS SOVEREIGN LANDS OF THE STATE OF FLORIDA, INCLUDING SUBMERGED, FILLED OR ARTIFICIALLY EXPOSED LANDS ACCREDITED TO SUCH LAND.	NOTSH
5	ANY LIEN PROVIDED BY COUNTY ORDINANCE OR BY CHAPTER 159, FLORIDA STATUTES, IN FAVOR OF ANY CITY, TOWN, VILLAGE OR PORT AUTHORITY FOR UNPAID SERVICE CHARGES FOR SERVICE BY ANY WATER, SEWER OR GAS SYSTEM SUPPLYING THE INSURED LAND.	NSR; NP
6	UTILITY EASEMENT IN FAVOR OF LAKE CITY RECORDED IN OFFICIAL RECORDS BOOK 1065, PAGE 67.	APAS
7	TERMS, CONDITIONS, EASEMENT(S), COVENANTS, RESTRICTIONS AND RESERVATIONS AS CONTAINED IN THE DECLARATION OF EASEMENTS, RESTRICTIONS AND MAINTENANCE RESPONSIBILITIES RECORDED IN OFFICIAL RECORDS BOOK 1149, PAGE 2196.	DNA; NP
8	TERMS AND CONDITIONS AS SET FORTH IN THE AGREEMENT REGARDING EASEMENTS, COVENANTS AND RESTRICTIONS RECORDED IN OFFICIAL RECORDS BOOK 1149, PAGE 2226, TOGETHER WITH FIRST AMENDMENT AGREEMENT REGARDING EASEMENTS, COVENANTS AND RESTRICTIONS RECORDED IN OFFICIAL RECORDS BOOK 1490, PAGE 1023, AND SECOND AMENDMENT AGREEMENT REGARDING EASEMENTS, COVENANTS AND RESTRICTIONS RECORDED IN OFFICIAL RECORDS BOOK 1534, PAGE 393.	AIG; NP
9	RIGHTS OF TENANT(S) IN POSSESSION, IF ANY, UNDER LEASE(S) NOT RECORDED IN THE PUBLIC RECORDS.	NSR; NP
	ABBREVIATIONS LEGEND	
NSR	NON SURVEY RELATED ITEM	
APAS	AFFECTS PROPERTY AS SHOWN	
AIG	AFFECTS PROPERTY IN GENERAL	
NP	NO PLOTABLE DATA, OR NOT DRAWN PLOTTED	
DNA	DOES NOT AFFECT SUBJECT PROPERTY	
NOTSH	NONE, OTHER THAN SHOWN HEREON	

### LEGAL DESCRIPTION (AS SURVEYED):

A PARCEL OF LAND IN SECTION 34, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 34 AND RUN S.89°07'28"E. ALONG THE NORTH LINE OF SAID SOUTHWEST 1/4 A DISTANCE OF 52.25 FEET TO A POINT ON THE EASTERN RIGHT-OF-WAY LINE OF SW PINEMOUNT ROAD, BEING THE BASIS OF BEARINGS FOR THIS LEGAL DESCRIPTION, AS OBSERVED IN THE FIELD, AND THE POINT OF BEGINNING: THENCE N.05°18'59"E. ALONG SAID EASTERN RIGHT-OF-WAY LINE 87.46 FEET; THENCE N.35°18'13"E. STILL ALONG SAID EASTERN RIGHT-OF-WAY LINE 78.65 FEET TO ITS INTERSECTION WITH THE SOUTHERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 90; THENCE S.27°46'32"W. 236.72 FEET; THENCE N.65°18'49"W. PARALLEL TO THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID U.S. HIGHWAY NO. 90 A DISTANCE OF 287.50 FEET TO A POINT ON THE EASTERN RIGHT-OF-WAY LINE OF SW PINEMOUNT ROAD; THENCE N.05°18'49"E. ALONG SAID EASTERN RIGHT-OF-WAY LINE 81.17 FEET TO THE POINT OF BEGINNING.

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### LAND TABULATIONS:

PROPERTY AREA: 1.783 ACRES±

### FEMA FLOOD ZONE DETERMINATION

FLOOD ZONE "X"  
PANEL # 12023C 0290D  
EFFECTIVE 11/02/2018  
COMMUNITY # 120406 CITY OF LAKE CITY

### ADDITIONAL INFORMATION

STREET ADDRESS  
4706 W. U.S. HIGHWAY 90  
LAKE CITY, FL 32055  
PARCEL NUMBER  
34-3S-16-02465-010

### ABBREVIATIONS LEGEND

POC	POINT OF COMMENCEMENT
POB	POINT OF BEGINNING
IP	IRON PIPE
IR4	1/2" IRON ROD (#4 REBAR)
IR5	5/8" IRON ROD (#5 REBAR)
CM	CONCRETE MONUMENT
PK	PARKER-KALON NAIL
MAG	MAGNETIC NAIL
FND	FOUND
O/S	OFFSET
TYP	TYPICAL
PRM	PERMANENT REFERENCE MONUMENT
PCP	PERMANENT CONTROL POINT
BM	BENCHMARK
EL OR ELEV	ELEVATION
FFE	FINISHED FLOOR ELEVATION
SF	SQUARE FEET
AC	ACRES
FNC	FENCE
CLF	CHAIN LINK FENCE
EOW	EDGE OF WATER
UE	UTILITY EASEMENT
CATV OR TV=	CABLE TELEVISION
ATT	AMERICAN TELEPHONE AND TELEGRAPH
FP&L	FLORIDA POWER AND LIGHT COMPANY
FDOT	FLORIDA DEPARTMENT OF TRANSPORTATION
CBS	CONCRETE BLOCK CONSTRUCTION
S/T	SEPTIC TANK
D/F	DRAINFIELD
PP	POWERPOLE
WUP	WOOD UTILITY POLE
O/H	OVERHEAD WIRE(S)
MH	MANHOLE
CB	CATCH BASIN
F/H OR HYD=	FIRE HYDRANT
WM	WATER METER
EOP	EDGE OF PAVEMENT
BOC	BACK OF CURB
R/W	RIGHT OF WAY
R/R	RAILROAD
C/L OR C=	CENTERLINE
P/L OR P=	PROPERTY LINE
(P)	PLAT DATA
(L)	LEGAL DESCRIPTION DATA
(M)	MEASURED DATA
(C)	CALCULATED DATA
(FDOT)	F.D.O.T. R/W MAP DATA
SEC	SECTION
TWP	TOWNSHIP
RGE	RANGE
R	RADIUS
L	LENGTH
Δ	CENTRAL ANGLE
CHD	CHORD
CBG	CHORD BEARING
NR	NON-RADIAL
PT	POINT OF TANGENCY
PC	POINT OF CURVATURE
PRC	POINT OF REVERSE CURVATURE
PCC	POINT OF COMPOUND CURVATURE
STA	STATION
FB	FIELDBOOK
PB	PLAT BOOK
OR	OFFICIAL RECORDS BOOK
PG	PAGE
PSM	PROFESSIONAL SURVEYOR AND MAPPER
LB	PROFESSIONAL SURVEYING AND MAPPING BUSINESS
ADA	AMERICANS WITH DISABILITIES ACT
F.I.N.D.	FLORIDA INLAND NAVIGATIONAL DISTRICT
GIS	GEOGRAPHIC INFORMATION SYSTEM

### TREE ABBREVIATIONS

ODIN	DIAMETER AT BREAST HEIGHT(INCHES)
CP	CABBAGE PALM
OAK	OAK TREE
FIG	STRANGLER FIG
FIC	FICUS
GL	GUMBO LIMBO
MAGN	MAGNOLIA
CYP	CYPRESS
UNK	UNKNOWN TREE
○	COMMON TREE TYPES
○ Specimen	SPECIMEN TREE
○ Pine	PINE TREE
○ Cabbage	CABBAGE PALM
○ Other	OTHER PALM
○ Cluster	TREE CLUSTER

### SURVEYOR'S CERTIFICATION:

TO:  
1. HIX SNEDEKER COMPANIES, LLC, AN ALABAMA LIMITED LIABILITY COMPANY  
2. CIRCLE K STORES INC.  
3. FLORIDA COMMERCIAL TITLE SERVICES  
4. CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED BY THE NATIONAL LAND TITLE SURVEYERS AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6A, 6B, 7A, 7B, 8, 9, 13, 14, 16, 17, AND 19 OF TABLE OF THESE REQUIREMENTS.

THE FIELDWORK WAS COMPLETED ON 06/17/2025.

DATE OF PLAT OR MAP: 07/18/2025.

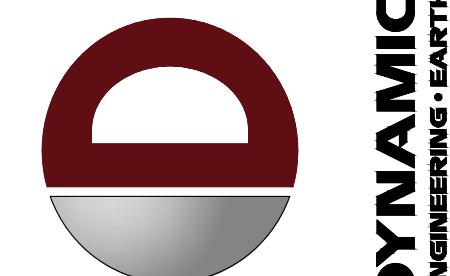
WRIGHTPSM JOB No. 25-0115

SCALE: (H) AS SHOWN (V) AS SHOWN AS SHOWN

DATE: PROJECT #: XXXXX

SHEET No: 1 Rev. #: 1

OF 2



DYNAMIC  
• SURVEY & TRAFFIC

• SURVEY & MAPPING

• LAND DEVELOPMENT CONSULTING • PERMITTING

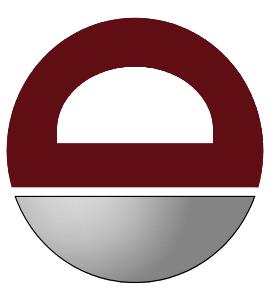
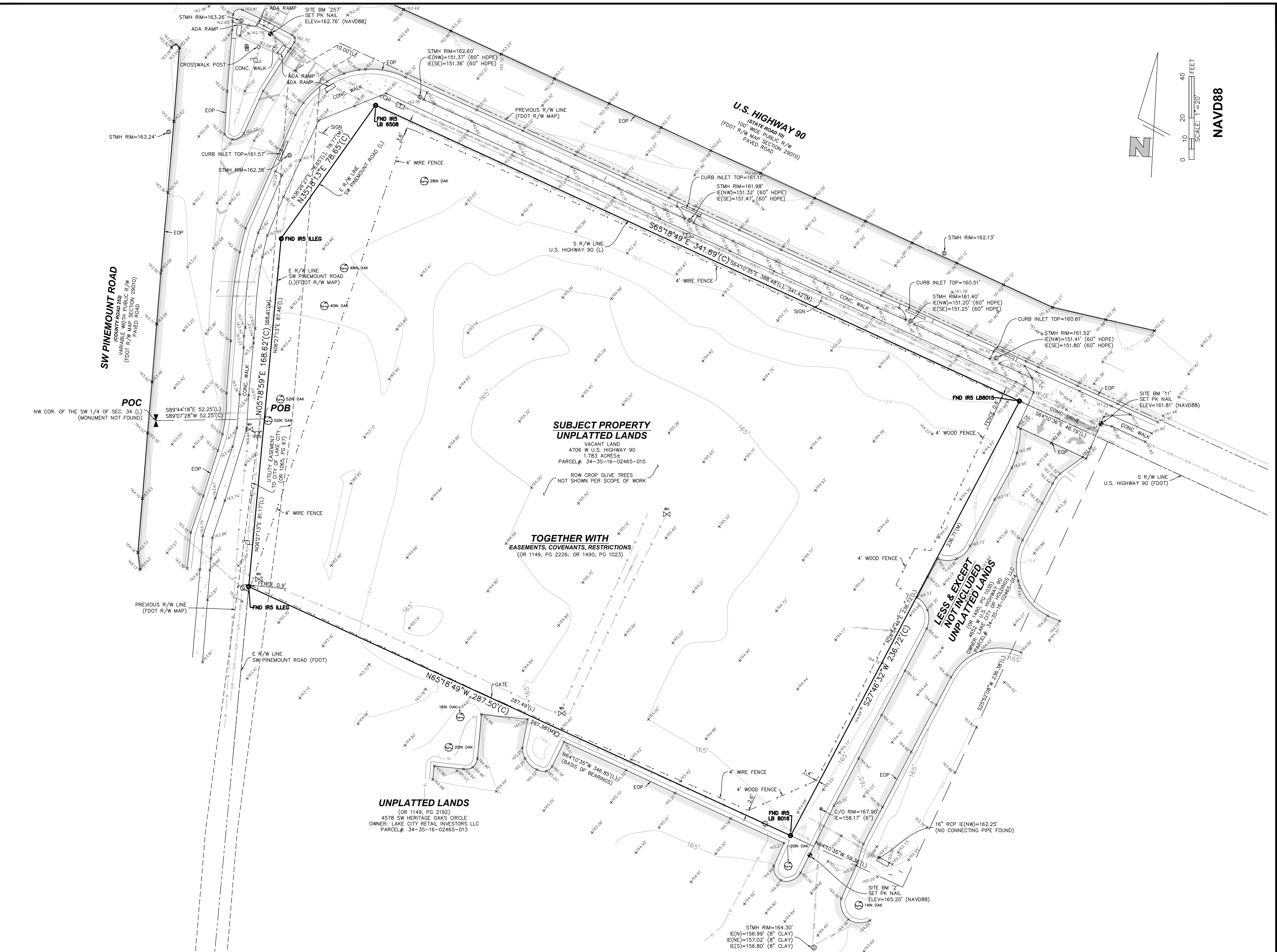
• GEOTECHNICAL • ENVIRONMENTAL

• TRAFFIC & SURVEY • PLANNING & ZONING

100 NE 5th Avenue, Suite B2  
Delray Beach, FL 33483

T: 561.921.8570

Offices conveniently located at:</p



# DYNAMIC • ENGINEERING • EARTH • SURVEY • TRAFFIC

DRAWN BY:		DESIGNED BY:	CHECKED BY:	CHECKED BY:
CAN		—	WJW	—
<p>PROJECT: <b>HIX SNEDEKER COMPANIES, LLC</b></p> <p>COLUMBIA COUNTY, FLORIDA</p>				



**PROTECT YOURSELF**  
ALL STATES REQUIRE NOTIFICATION OF  
EXCAVATORS, DESIGNERS, OR ANY PERSON  
PREPARING TO DISTURB THE EARTH'S  
SURFACE ANYWHERE IN ANY STATE

---

**C DIRECT PHONE NUMBERS VISIT:  
W.CALL811.COM**

**DYNAMIC  
ENGINEERING**

DEVELOPMENT CONSULTING • PERMITTING  
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TRAFFIC • SURVEY • PLANNING & ZONING

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GHTPSM JOB No. **25-0115**

) AS SHOWN	DATE:
) AS SHOWN	AS SHOWN
No: XXX	

No:	2	OF 2	Rev. #:
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#### **CENTRAL CONSTRUCTION NOTE**

1. THE CONTRACTOR AND SUBCONTRACTOR SHALL COPY A COPY OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, (LATEST EDITION) AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AFFIRMING ALL WATER, AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FAD) SPECIFICATIONS AND REQUIREMENTS.
3. IF THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN OF THE PROJECT, THE CONTRACTOR SHALL PROVIDE A SET OF DRAWINGS WITHIN 30 DAYS OF COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE A SET OF WORKING DRAWINGS WITHIN 10 DAYS OF COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR MAY MAKE CONTACT WITH THE UTILITY COMPANIES PRIOR TO COMMENCING WORK.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO COMMENCING CONSTRUCTION.
5. THE CONTRACTOR AT ALL TIMES SHALL HAVE ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS PREPARED AT THE SITE.
6. ANY DISCREPANCIES OR ERRORS ON THE CONTRACT DOCUMENTS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER AND DESIGNER BEFORE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING THE COST OF DRAWING UP A CORRECTED SET OF DRAWINGS AND FOR PAYING THE COST OF HAVING THE DRAWINGS APPROVED BY THE OWNER AND NOTIFICATION TO THE ENGINEER OF RECORD SHALL BE MADE.
7. ALL COPIES OF CONTRACTOR, CONCRETE, AND OTHER REQUIRED TEST RESULTS SHALL BE SENT TO THE OWNER AND ENGINEER OF RECORD DIRECTLY FROM THE CONTRACTOR.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING A CERTIFIED REVERSE SURVEY SHEET AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA DEPICTING THE ACTUAL FELD LOCATION OF ALL CONTRACTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS TO THE ENGINEER OF RECORD. ALL OTHER SURVEY SHEET SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING THE COST OF AN INDEPENDENT COPIED PLATE TO PROCESSING WITH INSTALLATION RELEASES OWNERS OF ANY CONFLICTS TO PAY FOR A RELEASE OF CONFLICTS.
10. CONTRACTOR SHALL SOLELY RESPONSIBLE FOR VERIFYING ALL QUANTITIES, TAKE-OFFS, MEASUREMENTS, MATERIALS, ETC. DURING THE BID PROCESS. WHEN DISCREPANCIES OCCUR, THE PHYSICAL, BID AND CONTRACT PLANS TAKE PRECEDENCE, THE ENGINEERING, LANDSCAPE, COUNTY, CITY OR OTHER CONTRACTOR'S RESPONSIBILITY IS NOT TO BE HELD RESPONSIBLE FOR DISCREPANCIES IN THE SPECIFICATIONS OR PLANS. ANY QUANTITIES PROVIDED ARE FOR REFERENCE ONLY.
11. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY DAMAGE OUTSIDE THE LINES OF CONSTRUCTION.

GENERAL CONSTRUCTION NOTES-CONT.

#### MISSION CONTROL: MATTE

1. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPOSED OF THIS DESIGN CONTROL, PLAN, THE STANDARD DETAILS, AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS PROVIDED BY THE CONTRACTOR.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH SWEEP WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF FLORIDA, NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT (NPDES) AND BECOME FAMILIAR WITH THE REQUIREMENTS OF THE PLAN AND PERMIT.
3. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DIRECTED BY CONDITIONS AT ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
4. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUFACTURER OF PRACTICE, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER.
5. DESIGN CONTROL PLAN MUST CLEARLY IDENTIFY ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
6. THE CONTRACTOR SHALL MAINTAIN CLEANING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
7. CONTRACTOR SHALL IDENTIFY ON TEMPORARY PARKING AND STOREAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA. EQUIPMENT PARKING AREA AND AREA FOR LOADING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
8. ALL WASH WATER (CISTERNS, TRUCKS, VEHICLE CLEANING EQUIPMENT, ETC.) SHALL BE DETAILED AND PROPERLY TREATED OR DISPOSED.
9. SEPFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOATATION BOOKS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP OIL OR CHEMICAL SPILLS AND LEAKS.

#### **DEMOLITION NOTIFICATION**

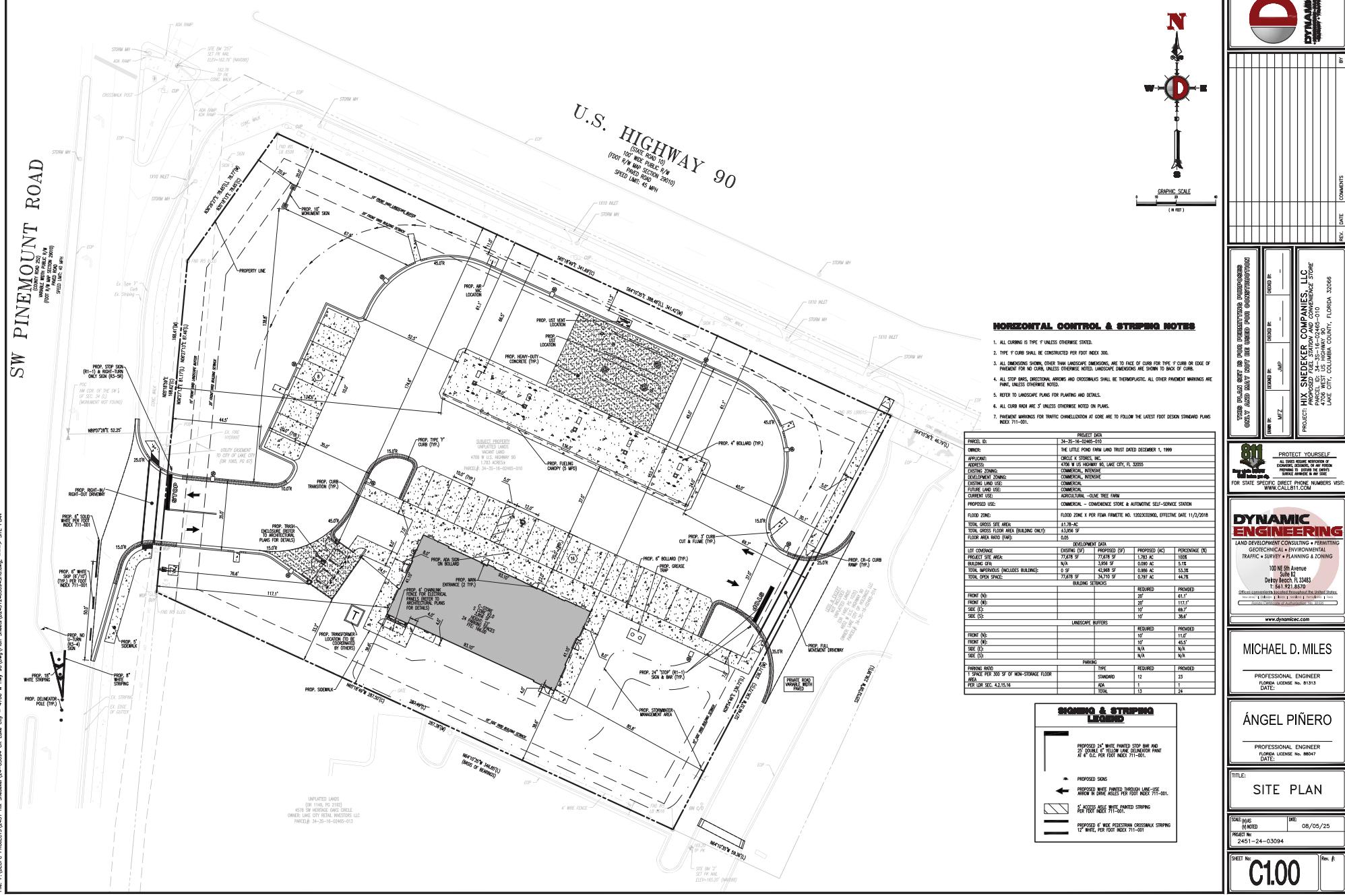
					
<b>PROJECT: DIX SNEIDER COMPANIES, LLC</b> <b>PROPOSED FUEL STATION AND CONVENIENCE STORE</b> <b>4500 14TH STREET WEST</b> <b>LAKELAND, FLORIDA 33801</b> <b>LAKE CITY, FLORIDA 32056</b>					
ITEM #:	BOARD #:	CROSS #:	CROSS #:	REV. #:	DATE:
REF ID: <b>MFZ</b>	_____	_____	_____	_____	_____
<b>THIS FORM IS FOR USE IN DETERMINING THE POSITION OF THE SIGN AND SIGN SUPPORTS FOR THE SIGN DESCRIBED ON THE SIGN SUPPORT FORM.</b>					

# ÁNGEL PIÑERO

DATE: \_\_\_\_\_

SCALE: 1/16	DATE: 08/05/25
IN (MM)	
PROJECT No: 2451-24-03094	
SHEET No: C0.01	
Rev. #: _____	







TYPED OR PRINTED INFORMATION, INCLUDING NAME AND MAIL ADDRESS, FOR USE IN EMERGENCIES			
NAME:	STREET:	PHONE NUMBER:	COMMENTS:
NAME:	STREET:	PHONE NUMBER:	REV. DATE



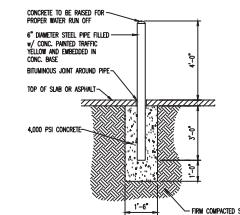
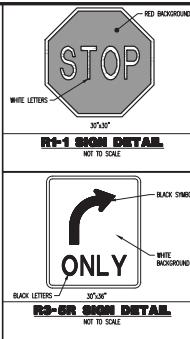
**MICHAEL D. MILES**

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ÁNGEL PIÑERO  
PROFESSIONAL ENGINEER  
FLORIDA LICENSE No. 88047  
DATE:  
TITLE:

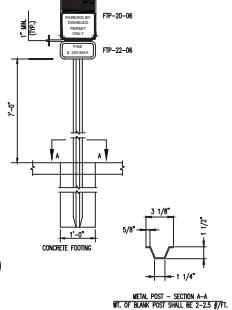
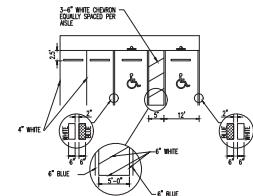
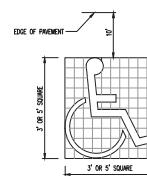
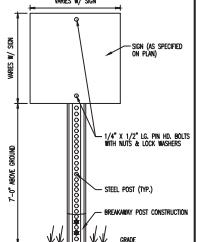
**SITE DETAILS**

PROJECT NO:  
2451-24-03094



**NOTES:**

1. BOLLARD MUST RESIST A FORCE OF 12,000 POUNDS APPLIED 36" ABOVE THE DRIVING SURFACE.
2. BOLLARDS REQUIRED AS DEPICTED ON SITE PLAN DRAWINGS, TYPICALLY LOCATED AT BUILDING CORNERS, TRANSFORMERS, FIRE HYDRANTS, EXTERIOR WATER METER, GAS METER, FIRE DEPARTMENT CONNECTIONS, AND TRASH ENCLOSURES.



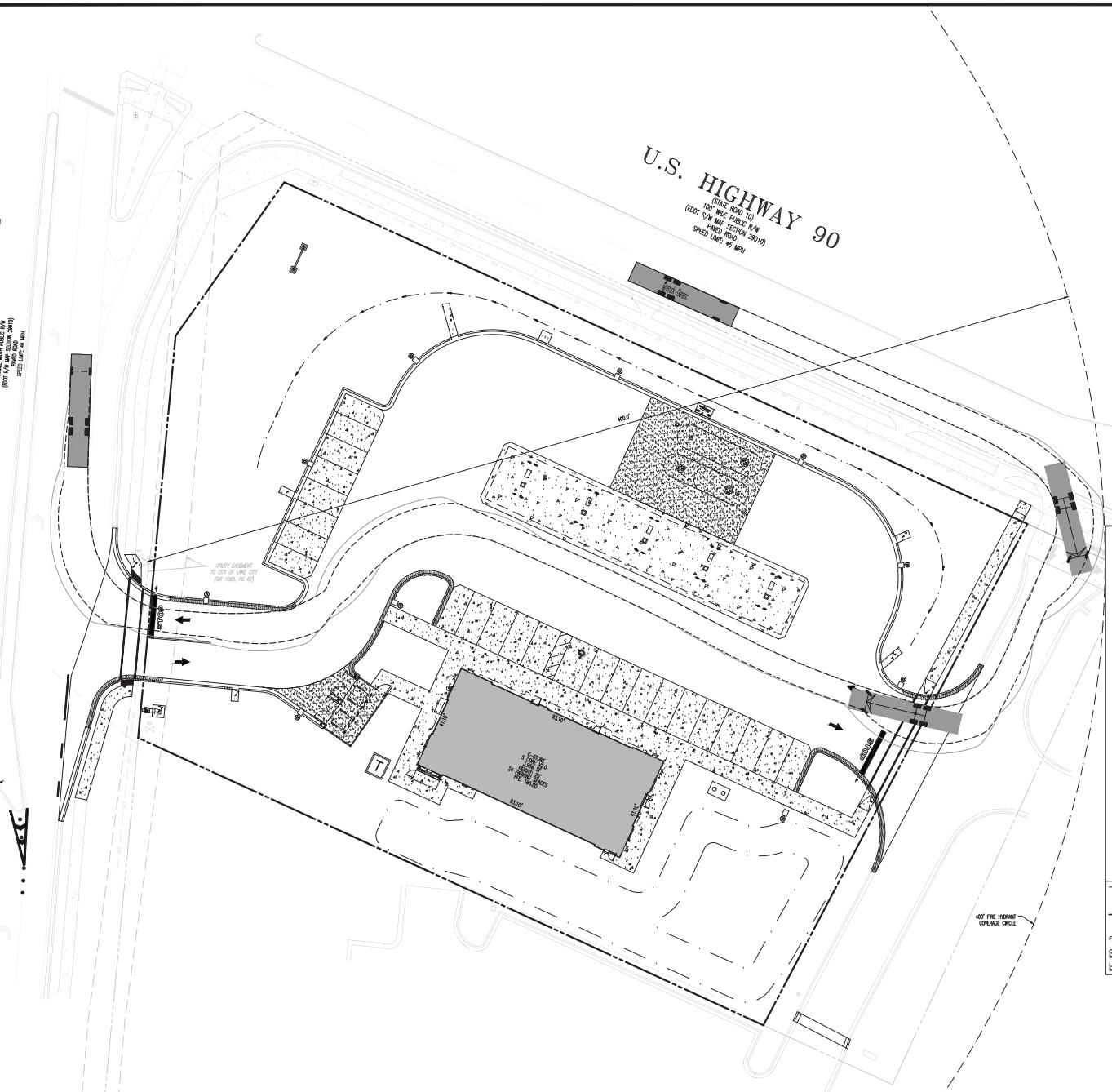
**NOTES:**

1. SIGNING IS TO BE PLANE, CONFORMING WITH LATEST FLORIDA ACCESSIBILITY CODE.
2. DIMENSIONS SHOWN ARE TO THE CENTERLINE OF THE STRIPS.
3. SIGN SHEET SHALL MEASURE 48" X 24" AND FIFTEEN (15) FEET 8" AS SIGNAL, FACED WITH REFLECTIVE COATING IN THE SYMBOL, MESSAGE, AND BORDER, APPLIED TO A SHEET ALUMINUM BACKING BOARD IN THICKNESS, MESSAGE LETTERING SHALL BE PER THE UWAN ON UNIV. TRAFFIC CONTROL DEVICES, LATEST EDITION.
4. CONCRETE FORTIFY CONCRETE AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,000 PSI IN 28 DAYS.
5. METAL POST SHALL BE CHANNELLED AND ALL BOLTS, NUTS, WASHERS, AND SCREWS SHALL BE RUSTPROOF. POST SHALL BE PLACED A MINIMUM OF 2'-4" CLEAR FROM FACE OF CURB OR CHANNEL, POST SHALL SWIVEL 360° X 180° UNLESS CENTER FULL LENGTH, MOUNT SIGNS WITH 5/16"X1/4" SCREWS, TOP AND BOTTOM OF SIGN.

**ADA SIGNAGE AND STRIPING DETAIL**

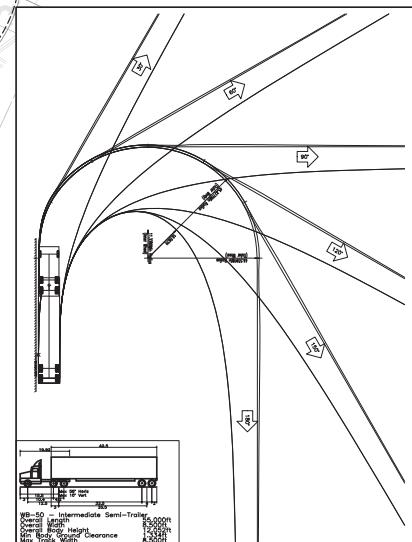
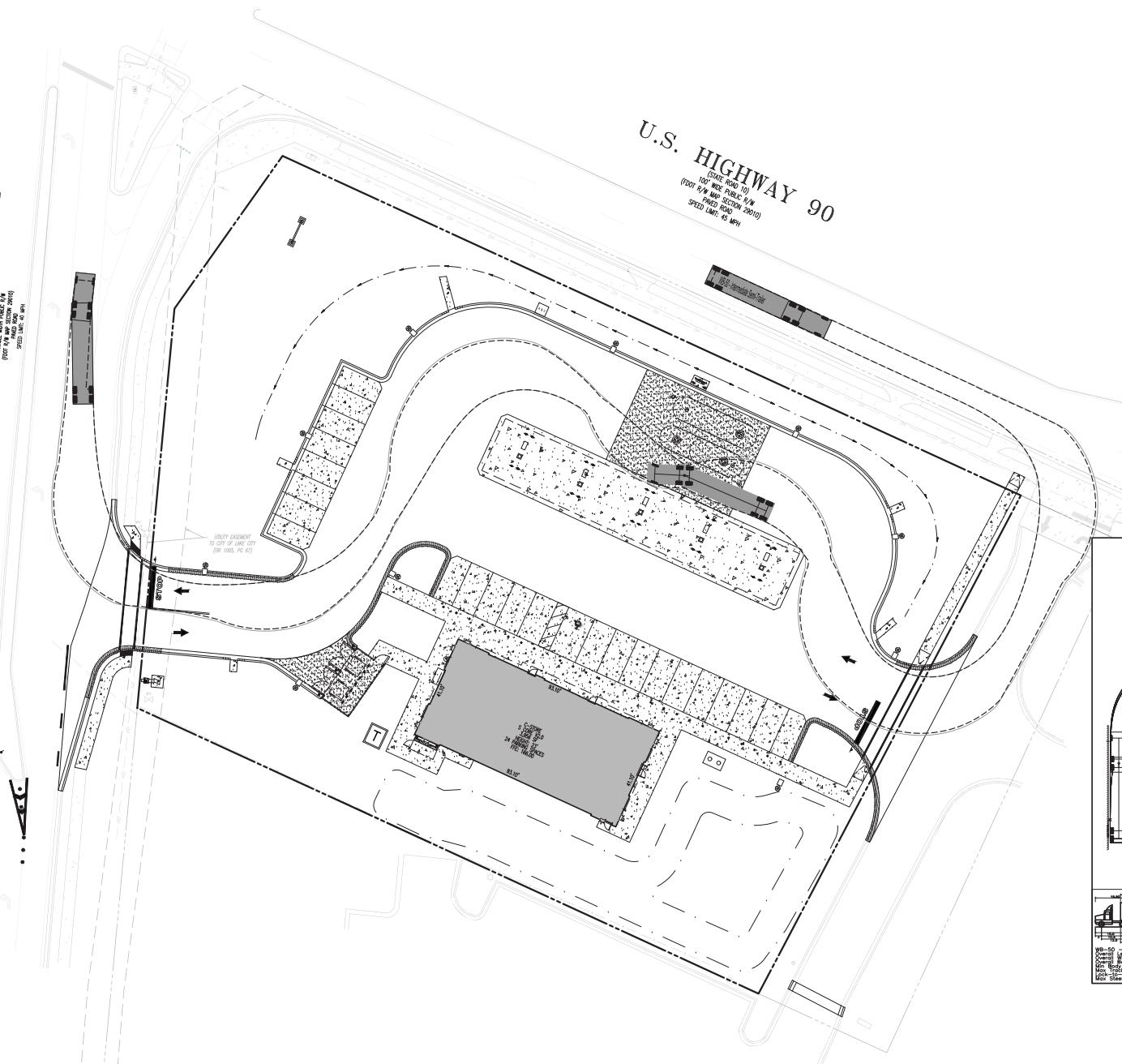
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# SW PINEMOUNT ROAD



		REVISION:	08/05/25
REVISION:	08/05/25	DATE:	08/05/25
REVISION:	08/05/25	COMMENTS:	
REVISION:	08/05/25	REVISION:	08/05/25
REVISION:	08/05/25	REVISION:	08/05/25
PROJECT: <b>RIX SNEIDER COMPANIES, LLC</b> GARDEN AND GARDENING PURPOSES 4708 WEST U.S. HIGHWAY 90 LAKE CITY, FLORIDA 32056		REVISION:	08/05/25
ITEM NO.	ITEM NO.	ITEM NO.	ITEM NO.
MEP:	AMP:	DESIGN:	DESIGN:
MEZ:			
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<b>MICHAEL D. MILES</b> PROFESSIONAL ENGINEER FLORIDA LICENSE No. 81313 DATE:			
<b>ÁNGEL PIÑERO</b> PROFESSIONAL ENGINEER FLORIDA LICENSE No. 86047 DATE:			
<b>VEHICLE CIRCULATION PLAN (FIRE)</b> SHEET NO. 1/2451-24-03094 DATE: 08/05/25 PROJECT NO: 2451-24-03094 SHEET NO. C1.02 Rev. B			

## SW PINEMOUNT ROAD

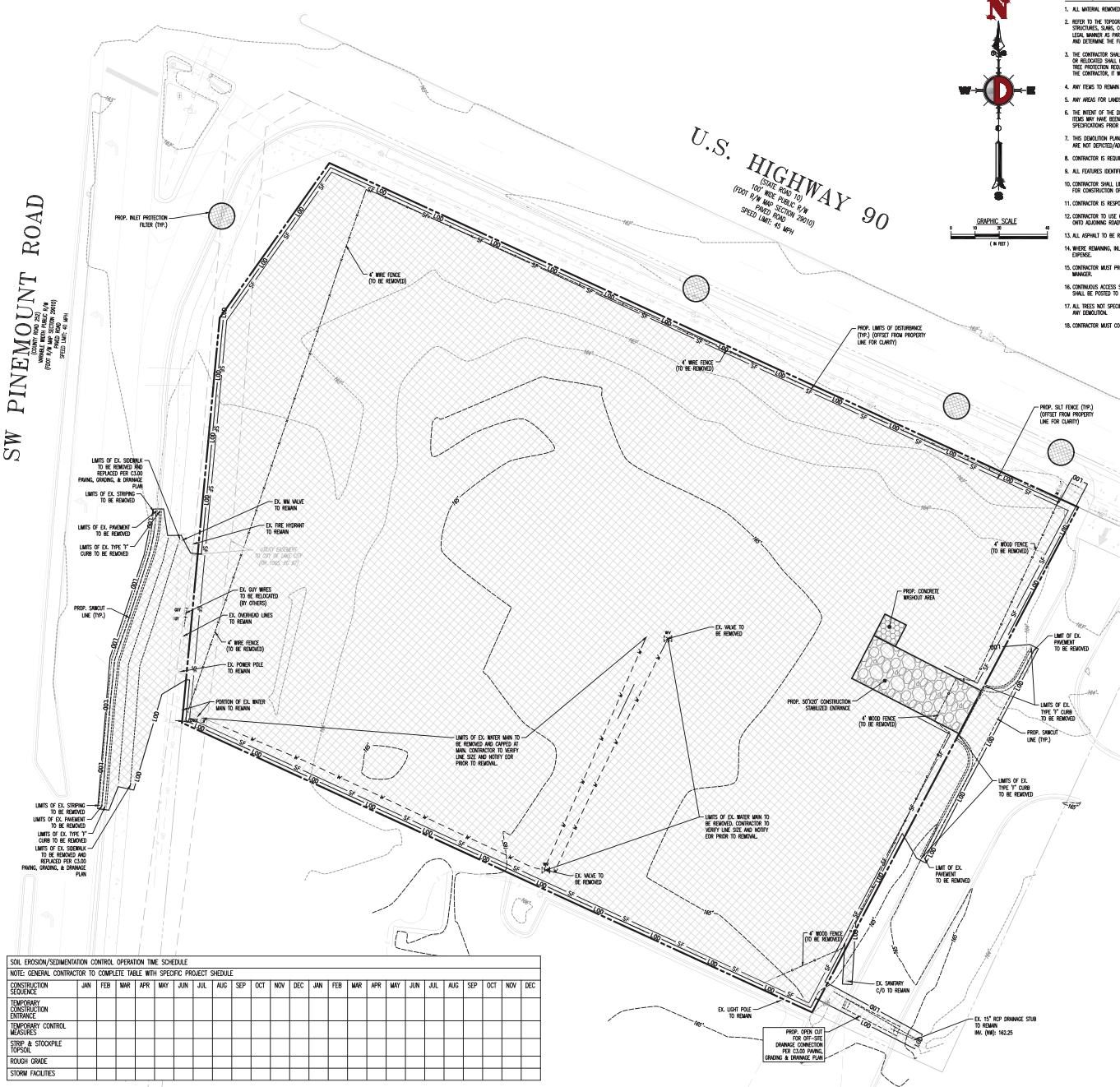


		<b>PROJECT: BIX SNEIDER COMPANIES, LLC</b> GARDEN AND GARDEN CENTER 4708 WEST US HIGHWAY 90 LAKE CITY, FLORIDA 32056		DRAWN BY: [REDACTED] DATE: [REDACTED]	
NAME:	DESIGNER:	DESIGNER:	DESIGNER:	REV:	DATE:
MFZ:	AMP:	—	—	—	—
<b>PROTECT YOURSELF</b> STATE REQUIRE INSURANCE OF CONTRACTOR'S WORKERS COMPENSATION AND AUTOMOBILE SERVICE INDUSTRY FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: <a href="http://WWW.CALLB11.COM">WWW.CALLB11.COM</a>					
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<b>MICHAEL D. MILES</b> PROFESSIONAL ENGINEER FLORIDA LICENSE No. 81313 DATE: [REDACTED]					
<b>ÁNGEL PIÑERO</b> PROFESSIONAL ENGINEER FLORIDA LICENSE No. 86047 DATE: [REDACTED]					
<b>VEHICLE CIRCULATION PLAN (WB-50)</b> SHEET NO. <b>001</b> IN <b>001</b> PROJECT NO. <b>2451-24-03094</b> SHEET NO. <b>C1.03</b> Rev. <b>B</b>					

# SW PINEMOUNT ROAD

(COUNTY ROAD 252)

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## DEMOLITION NOTES

1. ALL WORK, REMOVED FROM THIS SITE, BY THE CONTRACTOR SHALL BE LOCATED IN A LEGAL LANDFILL.

2. REFER TO THE DOWNTROPOWN PLAN FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC., LOCATED WITHIN THE PROJECT SITE. UNLESS OTHERWISE NOTED, ALL EXISTING BUILDINGS, STRUCTURES, SCAFF, CONCRETE, ASPHALT, DEBRIS, PILES, SIGNS, AND ALL APPURTENANCES TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN ACCORDANCE WITH THE STATE AND LOCAL REGULATIONS. THE CONTRACTOR SHALL NOT REMOVE ANY EXISTING STRUCTURE, SCAFFOLDING, CONCRETE, OR OTHER MATERIALS FROM THE SITE AND DETERMINE THE EXACT LOCATION OF THE SAME, UNLESS ADVISED TO DO SO BY THE OWNER. IF ANY ITEM IN QUESTION, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.

3. THE CONTRACTOR SHALL REFER TO THE DEMOLITION PLAN AND LANDSCAPE PLAN FOR DEMOLITION/PRESERVATION OF EXISTING TREES. ALL TREES NOT SPECIFICALLY SHOWN TO BE REMOVED OR RELOCATED SHALL BE PRESERVED AS A PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION. CONTRACTOR TO SET LANDSCAPE PLAN FOR PRESERVATION OF EXISTING TREES. ALL TREES EXCEPT THOSE IDENTIFIED AS NEEDING REMOVAL, SHALL BE REMOVED PRIOR TO DEMOLITION. ALL TREES TO BE REMOVED SHALL BE OWNED BY THE CONTRACTOR, OR IT WILL REQUIRE RELOCATION IN PAYMENT.

4. ANY TREES TO REMAIN THAT ARE DAMAGED BY THE CONTRACTOR SHALL BE RELOCATED TO THE EXISTING CONDITION OR REBUILT AT THE CONTRACTOR'S EXPENSE.

5. ANY TREES FOR LANDSCAPE SHALL BE PLANTED AS ALL BASE AND SURFACE MATERIALS, REMOVED TO A DEPTH OF 3 FEET.

6. THE CONTENT OF THE DEMOLITION PLAN TO DEMOLISH EXISTING FEATURES THAT ENCOMPASS THE PROPOSED CONSTRUCTION AREA AND ARE SCHEDULED FOR REMOVAL, SOME INCIDENTAL ITEMS MAY BE INACCURATELY OMITTED FROM THE PLAN. THE CONTRACTOR IS ENCOURAGED TO THROUGHLY INSPECT THE SITE AS WELL AS REVIEW THE PLAN AND SPECIFICATIONS PRIOR TO SUBMITTING PAYMENT. CONTRACTOR WILL NOT RECEIVE ADDITIONAL COMPENSATION FOR INCORRECT ITEMS NOT SHOWN ON THE PLANS.

7. THIS DEMOLITION PLAN IS BASED ON AVAILABLE UTILITY INFORMATION AND MAY OR MAY NOT BE ALL INCLUSIVE FOR THIS SITE. ANY UTILITIES ENCOUNTERED DURING DEMOLITION THAT ARE NOT IDENTIFIED OR LOCATED ON THIS PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER IMMEDIATELY.

8. CONTRACTOR IS REQUIRED TO OBTAIN ALL EVIDENCE OF IDENTIFYING FEATURES, IF APPLICABLE.

9. ALL FAUVURES IDENTIFIED ON THIS PLAN WHICH ARE USED TO BE DEMOLISHED MUST BE REMOVED FROM THE SITE.

10. CONTRACTOR SHALL LIMIT ALL DEMOLITION ACTIVITIES TO THOSE AREAS DEMOLISHED ON THE CONSTRUCTION DRAWINGS UNLESS OTHERWISE DIRECTED BY THE DEVELOPER OR AS REQUIRED FOR CONSTRUCTION OF IMPROVEMENTS.

11. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING ARSENIC DUST AND POLLUTANTS BY USING WATER SPRINKLING OR OTHER SUITABLE MEANS OF CONTROL.

12. CONTRACTOR IS TO USE CARE AND PRECAUTIONS TO ENSURE SITE TO ENSURE THE SAFETY OF THE PUBLIC. HAZARD ROUTE TO BE COLORED MONITOR FOR DURERS OR BARRIERS TRACKED AND MONITORED FOR DURERS AND BARRIERS TO BE CELEARED DAY OR AS NECESSARY TO MAINTAIN PUBLIC SAFETY.

13. ALL DEBRIS TO BE REMOVED SHALL BE SW CUT AGAINST TO FURNISH IMPROVEMENTS.

14. DUST REMOVAL, HAZAR, MANHOLE COVERS, AND VAULT COVERS TO BE PROTECTED IN PAVEMENT REMOVAL AREAS. CONTRACTOR SHALL PROTECT DAMAGED STRUCTURES AT THEIR EXPENSE.

15. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRIERS, ENCLOSURES, ETC AS APPROVED BY THE AGENCY HAVING JURISDICTION AND THE CONSTRUCTION MANAGER.

16. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR SURVIVING PROPERTIES DURING ALL TIMES DURING DEMOLITION OF EXISTING FACILITIES AND CONSTRUCTION OF NEW FACILITIES. SIGNAGE SHALL BE POSTED TO DIRECT THE PUBLIC TO THE PATH OF TRAVEL.

17. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE REMOVED AS A PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION.

18. CONTRACTOR MUST COORDINATE THE LIMITS OF UTILITY DEMOLITION WITH PROPOSED PLANS.

## **INJECTION CONTROL NOTE**

1. SEMI-CONCRETE TRENCHES SHALL BE DUG AS A STEP FLOOR IN ANY ENTERTAINMENT AREA, RESTAURANT, KITCHEN, BATH, OR OTHER AREAS SUBJECT TO OVER-SUPERFLOOR DURABILITY TESTS PAGE.
2. ALL SEMI-CONCRETE CONTRACT MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS. THE LENGTH OF THE CONSTRUCTION AND DEMONSTRATION PERIODS ARE TO BE DETERMINED BY THE CONTRACTOR. THE LENGTH OF THE DEMONSTRATION PERIOD FOR SEMI-CONCRETE BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEEPAGE OR FLOWING OR FLOWING ON TO ADJACENT PROPERTY.
3. FLOWERS OR PLANTS IN SEMI-CONCRETE DRAINAGE SHALE SHALL BE PLANTED TO ERODE DRAINS AFTER 7 DAYS AFTER FLOW, GROW, AND SPREAD ON ANY PORTION OF THE SITE. TURNBURY SOL. CERAMICHE SHALL BE PLANTED WITHIN 7 DAYS. DRAINS TO DENSED AREAS MAY NOT BE AT THE GRAVE, BUT IN GRASS UNDISTURBED FOR LONGER THAN 30 DAYS. PLANTING SHALL BE CONDUCTED BY THE CONTRACTOR AND NOT BY THE DEMONSTRATOR. PLANTING SHALL NOT BE LEFT UNDISTURBED FOR MORE THAN 30 DAYS.
4. THE DEMONSTRATION OF THE PROJECT, SEMI-CONCRETE TRENCHES SHALL BE CONSTRUCTED AND DEMONSTRATED IN ACCORDANCE WITH THE APPLICABLE PLANTING MEASURES. THE APPLICABLE IS RESPONSIBLE FOR THE PLANTING PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKS. ONCE PLANTED, SOIL SHALL BE SOIL INDEPENDENTLY TRANSFORMED FROM THE PROJECT SITE.
5. A PERMANENT WEATHER DRAIN SHALL BE ESTABLISHED ON DEMONSTRATION AREA UNLESS OTHERWISE PERMANENTLY STABILIZED.
6. AFTER ANY SEMI-CONCRETE TRENCHES, STRUCTURES, OR CIRCLES, STRUCTURES, WILL BE INSPECTED FOR INTEGRITY, ANY DAMAGED DRAINS, AND ANY PLANTING THAT HAS BEEN PLANTED.
7. NO DEMONSTRATION BARRIER SHALL BE PLANTED DOWN OR UP TO FLAT, DRAINS UNDULATED CONFINED WITH AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, TUBE, SLERP, DRAIN STRUCTURE, OR APPROVED CONTROL.
8. SEMI-MUD IS PRESENTED FROM DURING ANY SEMI-CONCRETE TRENCHES, DRILLS OR CHANNEL, ALL SEMI-WATER INAILS THAT ARE MADE UNPREDICTABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEMI-LEACH WATER CANISTER DRAIN THE SEMI-CONCRETE TRENCHES, DRILLS OR CHANNEL, AND NOT THE SEMI-MUD.
9. WHEN WORK IN A LINE INSTRUCTIVE IS PERFORMED, PRECAUTIONS SHALL BE TAKEN TO ENSURE DEMONSTRATION, CONTROL SEMI-MUD AND SEMI-WEATHER TRENCHES THE WORK AREA TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION.
10. FINGER INSPECTION AND MAINTENANCE OF ALL SEMI-CONCRETE STRUCTURE MEASURES WILL BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE OWNERSHIP OWNER, DEMONSTRATOR, AND SEMI-CONCRETE SHALL BE COOPERATE FULLY FOR ALL DEMONSTRATION, CONTROL, AND MAINTENANCE OF THE SEMI-CONCRETE TRENCHES, DRILLS OR CHANNEL, AND SEMI-MUD.
11. WHERE CONSTRUCTION VEHICLE ACCESS ROADS INFERRED FROM PUBLIC ROAD, PROMISES SHALL DO NOT TO INJURE THE SEMI-CONSTRUCTION OF SEMI-WEATHER BY DROPPING THE PAVED SURFACE, WHERE SEMI-WEATHER IS TRANSFERRED ONTO THE PUBLIC ROAD, THE SEMI-CONCRETE TRENCHES, DRILLS OR CHANNEL, AND SEMI-MUD, THE SEMI-CONCRETE TRENCHES, DRILLS OR CHANNEL, AND SEMI-MUD SHALL BE RELOCATED FROM THE ROAD BY SCRAPPING OR SMELTING AND TRANSFERRED TO A SEMI-CONCRETE TRENCHES, DRILLS OR CHANNEL, AND SEMI-MUD, THE SEMI-CONCRETE TRENCHES, DRILLS OR CHANNEL, AND SEMI-MUD SHALL BE RELOCATED IN A MANNER, THIS PROMISE APPLIES TO VEHICLES OWNED AS WELL AS TO LENDERS AND CONTRACTORS.
12. ALL TEMPORARY EROSION AND CONTROL MEASURE SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
13. PROPERTIES AND WATERSHEDS DISTANT FROM CONSTRUCTION SITES SHALL BE PROTECTED FROM SEMI-CONCRETE DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
14. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEMINERALS ACTIVITIES.
15. CONTRACTOR MUST INCORPORATE ALL MEASURES TO MEET THE EXISTED WATER QUALITY AND CARRY CAPACITY OF THE PROJECT SITE.
16. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL EMPS MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.
17. NO SEMI-WEATHER SHALL BE PLANTED ON SITE.
18. OPERATING ACTIVITIES

**ALL UNDERGROUND UTILITIES ARE TO  
REMAIN UNLESS OTHERWISE NOTED**

**CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS WITHIN LIMITS OF DISTURBANCE IN ACCORDANCE WITH LAKE CITY REQUIREMENTS AND APPROVED TREE DISPOSITION PLAN.**

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LEADER

MICHAEL D. MILES

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PROFESSIONAL ENGINEER  
FLORIDA LICENSE No. 88047  
DATE:

**TITLE:** DEMOLITION & EROSION

#### CONTROL PHASE I

10 of 10

SCALE: (M) AS (M) NOTED	DATE: 08/05/25
PROJECT No: 2451-24-03004	

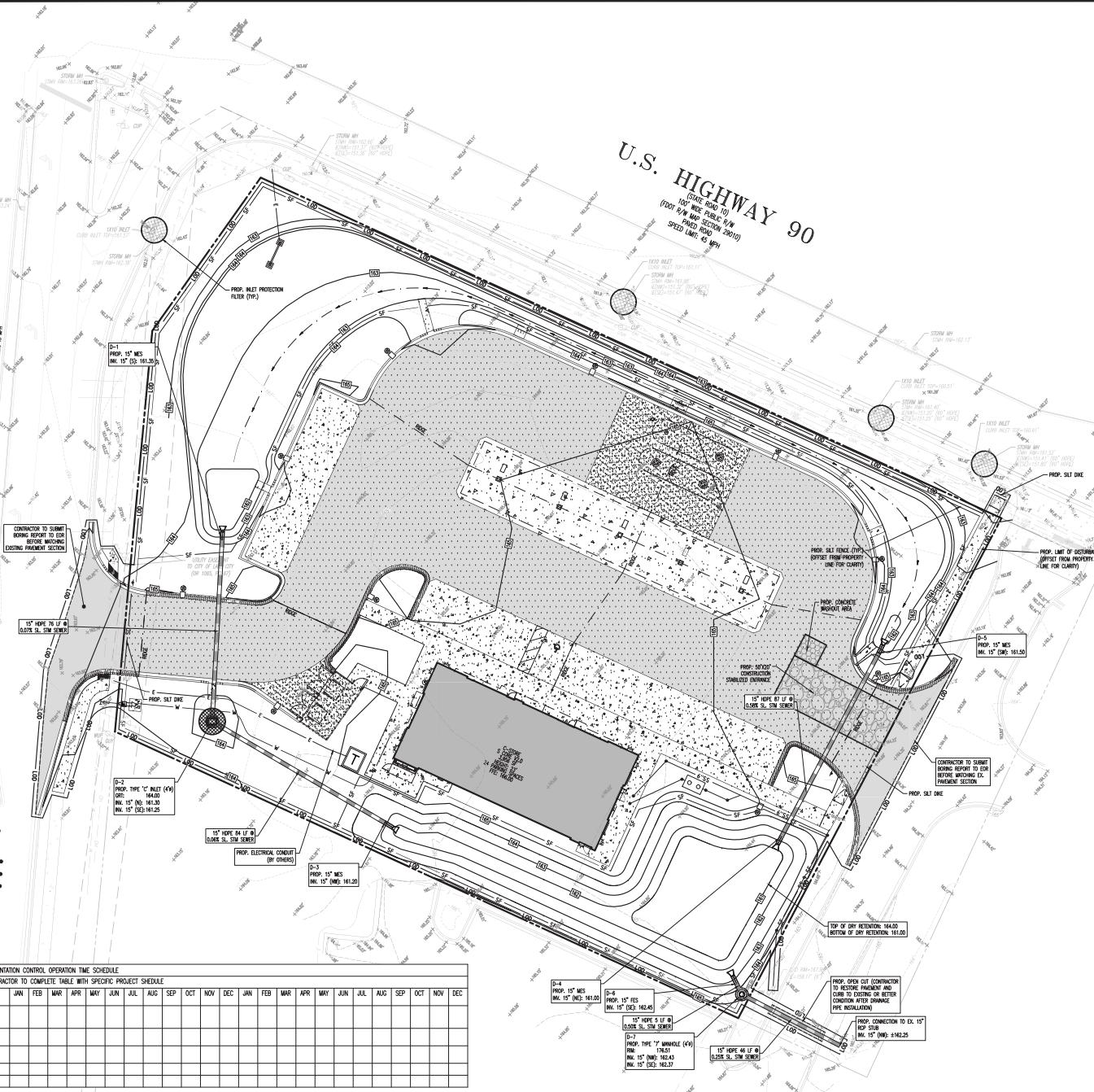
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|| C200 ||

**62.00**

**SW PINEMOUNT ROAD**  
(COUNTY ROAD 252)

Plotted: 09/15/25 - 5:33 PM, By: mZimmerman, - Product Ver: 25.0



THIS FORM IS FOR PROMOTION PURPOSES ONLY AND MAY NOT BE USED FOR CONTRACTS.					
ITEM #: <u>MF7</u>	ITEMS #: <u>JHP</u>	ITEM #: <u> </u>			
PROJECT: <b>HIGH SNEDEKER COMPANIES, LLC</b>					
ADDRESS: <b>1440 WEST 116TH STREET, SUITE 100 LAKE CITY, FLORIDA 32056</b>					



**MICHAEL D. MILES**

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ÁNGEL PIÑERO  
PROFESSIONAL ENGINEER  
FLORIDA LICENSE No. 0042

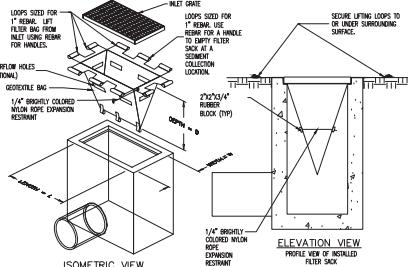
**TITLE:**  
**EROSION CONTROL**  
**PHASE II**

SCALE: <input checked="" type="checkbox"/> AS <input type="checkbox"/> NOTED	DATE: 08/05/25
PROJECT No: 2451-24-03094	
SHEET No: <b>C2.01</b>	
Rev. <input type="checkbox"/>	

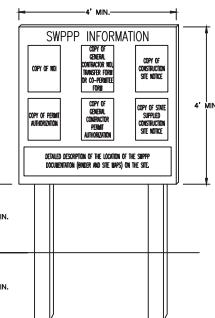
**SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE**

NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH SPECIFIC PROJECT SCHEDULE

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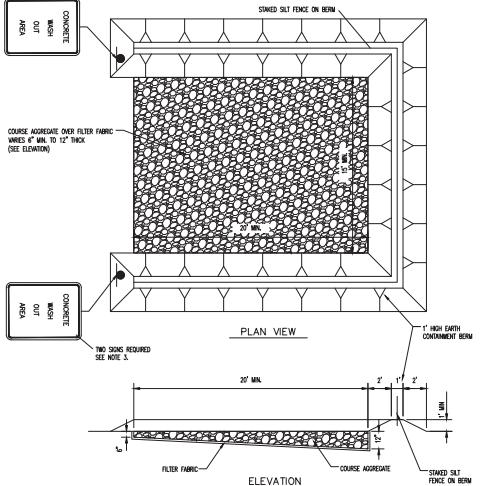
#### **FILTER SACK INLET PROTECTION**



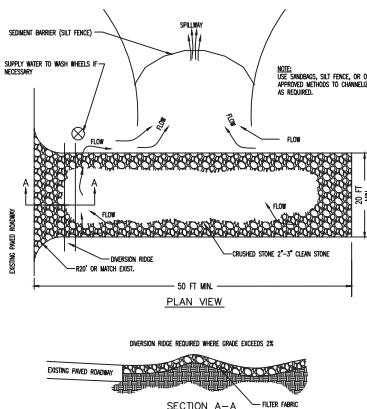
NOTES:

- 1. "SWPPP INFORMATION" MUST BE DISPLAYED PROMINENTLY ACROSS THE TOP OF THE SIGN, AS SHOWN IN THE DETAIL DRAWING.
- 2. IT MUST BE CONSTRUCTED OF A RIGID MATERIAL, SUCH AS PLASTIC OR OUTDOOR SIGN BOARD. SIGN MUST BE RECONSTRUCTED IN A MANNER TO PROTECT DOCUMENTS FROM DAMAGE DUE TO WEATHER (WIND, SUN, MOISTURE, ETC.).
- 3. THE SWPPP INFORMATION SIGN MUST NOT LOCATE MORE THAN THE EXTRACHEL 20' OUT OF THE SITE, SUCH THAT IT IS EASILY VISIBLE FROM THE GENERAL PUBLIC, BUT NOT OBSTRUCTING ANYONE AS TO CAUSE A SAFETY HAZARD.
- 4. ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEAN, REASONABLE CONDITION AT ALL TIMES DURING CONSTRUCTION AND THE 10-DAY POST-CONSTRUCTION PERIOD AS PLED FOR IN THE PERMIT.
- 5. CONTRACTOR SHALL POST OTHER SWEEP WATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE LOCAL AGENCY.
- 6. CONTRACTOR SHALL NOT POST OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EMBANKMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
- 7. CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY OF THIS SWEEP INFORMATION SIGN.

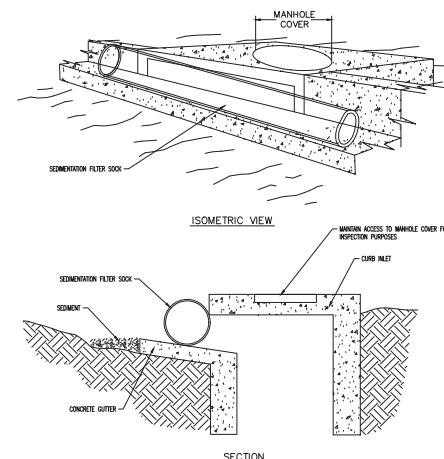
**SWPPP INFORMATION SIGN**



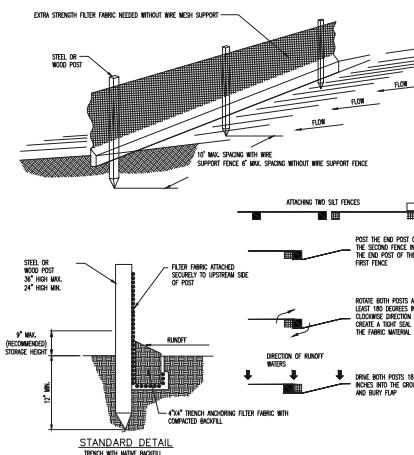
**CONCRETE TRUCK WASH OUT AREA**



**TEMPORARY GRAVEL CONSTRUCTION ENTRANCE**

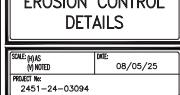
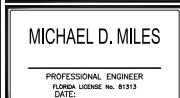
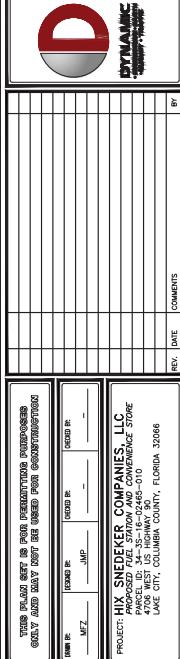


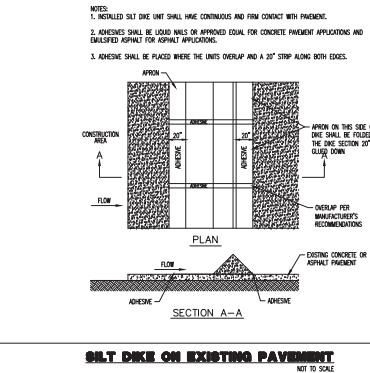
CURB INLET SEDIMENT FILTER DETAIL



**NOTE:**

1. INSPECT AND REPAIR FENCE EVERY 7 DAYS AND AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
3. SALT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PUMPING EFFICIENCY.
4. DOUBLE ROW SALT FENCE SHALL BE INSTALLED WITH 3' HORIZONTAL SPACING.

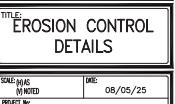


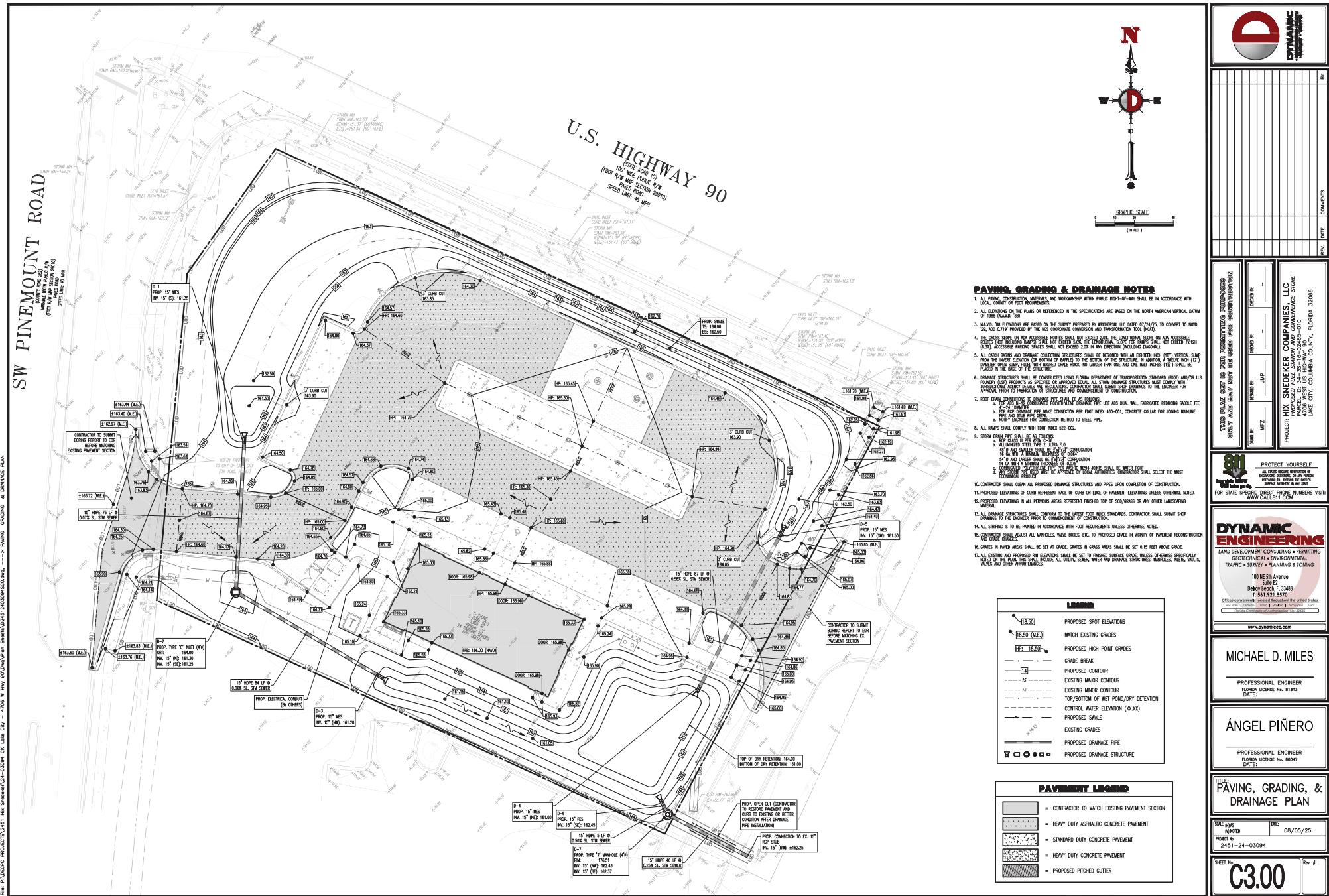


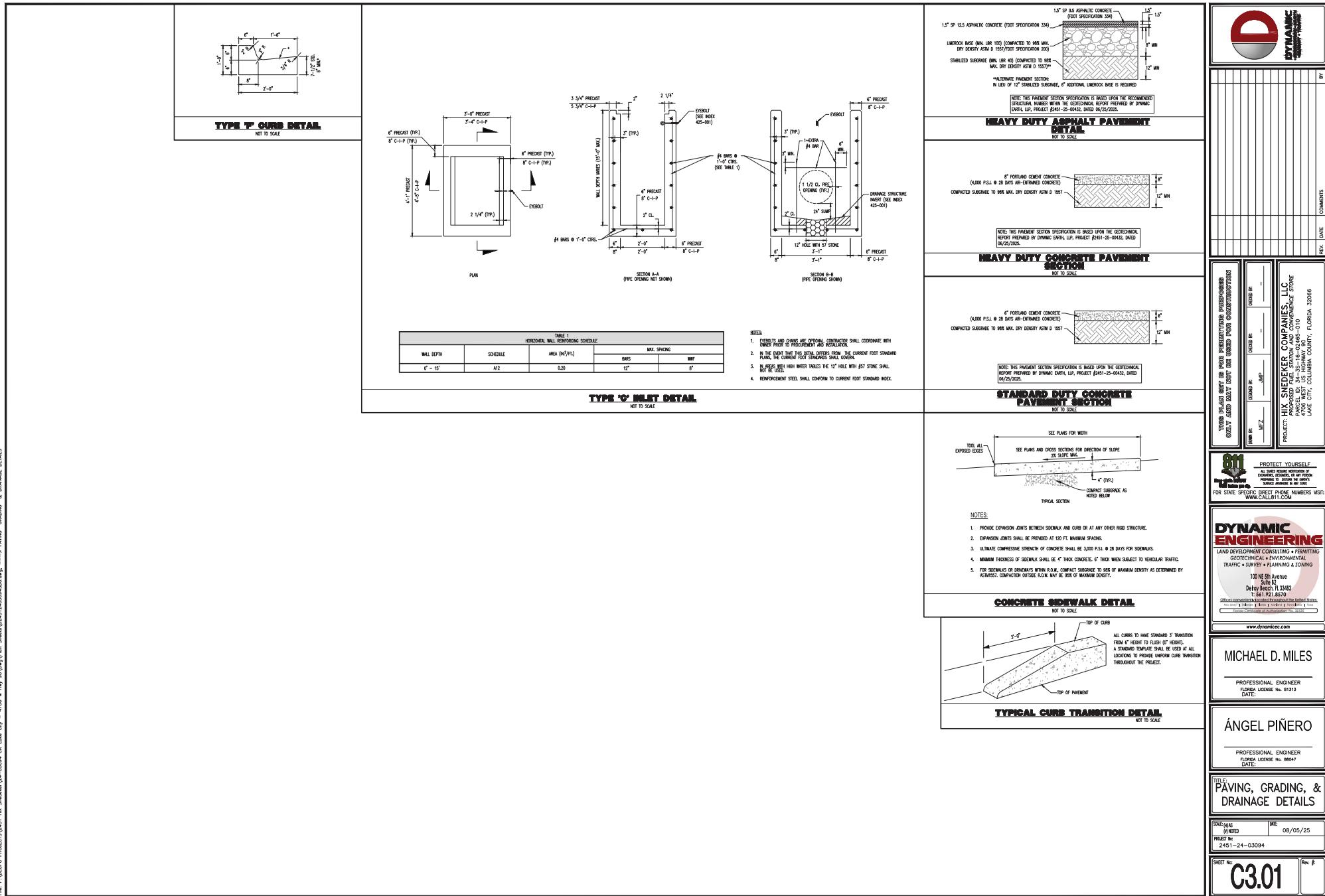
## **SILT DIKE ON EXISTING PAVEMENT**

NOT TO SCALE

PROJECT: **HIX SNEIDER COMPANIES, LLC**  
 4108 WEST 90th, Suite 200  
 Ft. Lauderdale, FL 33309  
 954-467-0010







**DYNAMIC**  
ENGINEERING

PROJECT: **RIX SNEIDER COMPANIES, LLC**  
GARDEN AVENUE ROADWAY IMPROVEMENTS  
ITEM #: 2451-25-0412-000000 PER: 2020-05-25-0412.dwg  
LAKE CITY, FLORIDA 32056



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PROFESSIONAL ENGINEER  
FLORIDA LICENSE No. 813313  
DATE:

PROFESSIONAL ENGINEER  
FLORIDA LICENSE No. 86047  
DATE:

08/05/25

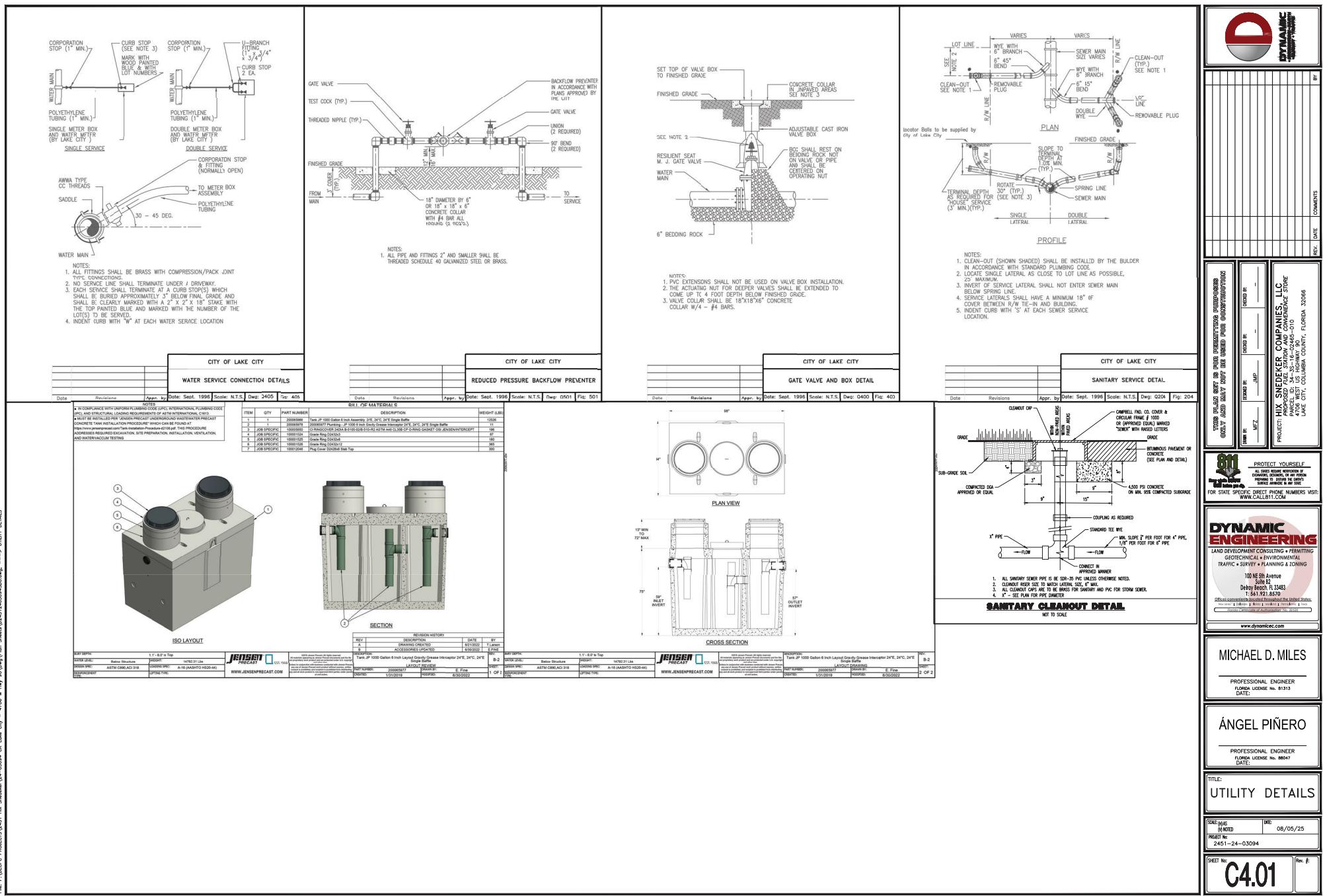
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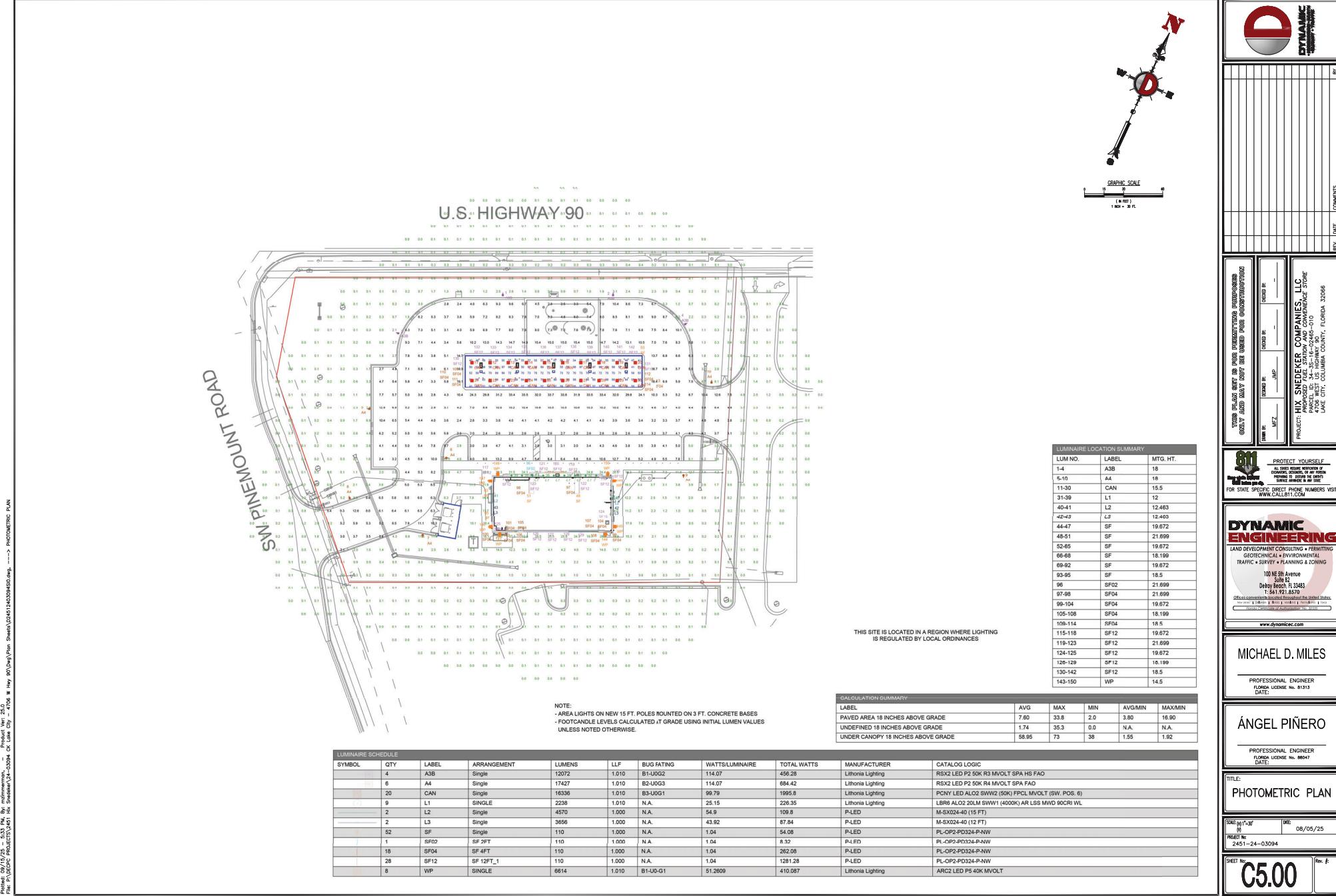
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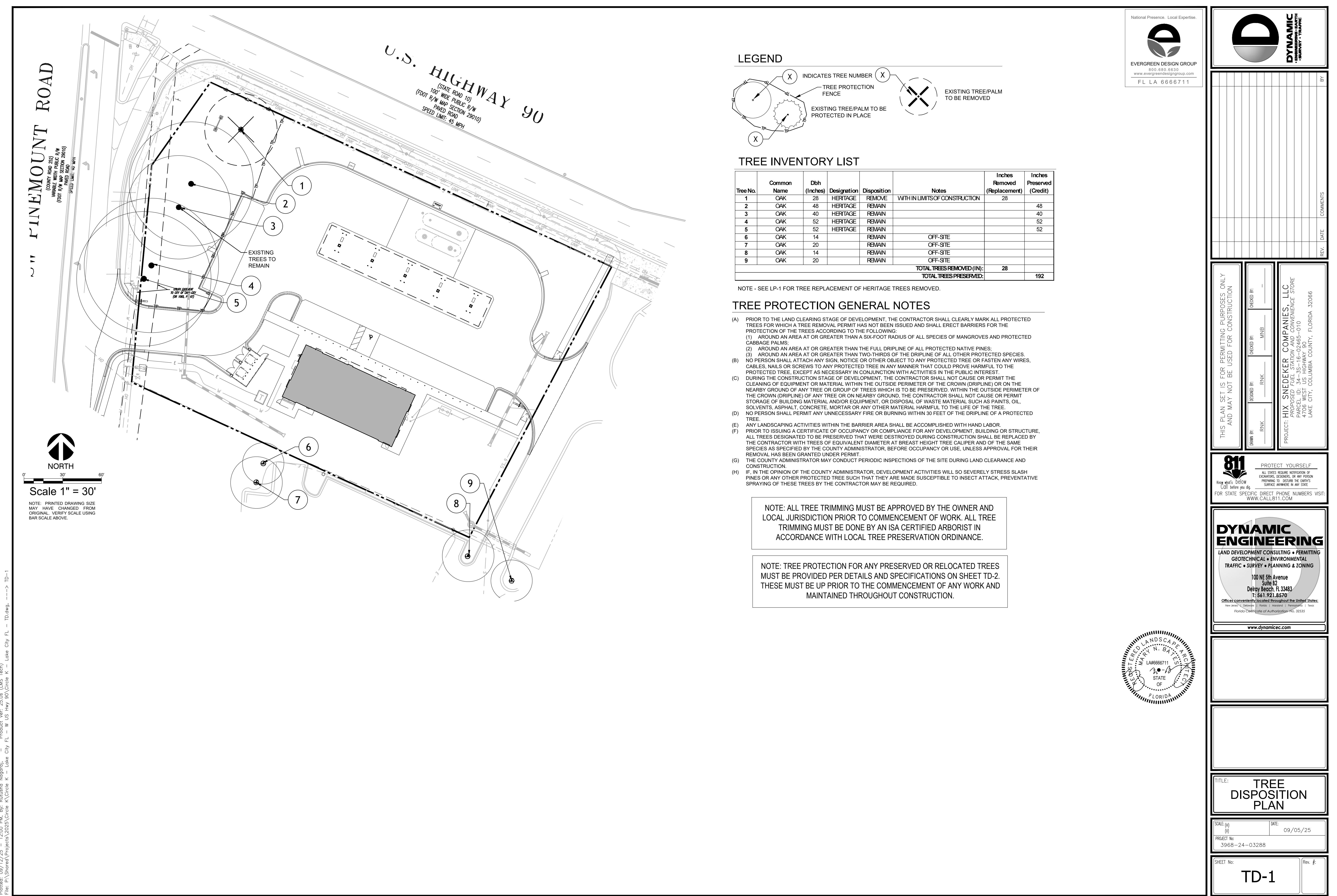












**TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.**

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.

**12" MIN & 48" MAX DEPTH**

**TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.**

**OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.**

**C BORING THROUGH ROOT PROTECTION ZONE**  
SCALE: NOT TO SCALE

**NOTES**

1. RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRE-CONSTRUCTION MEETING.
2. BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION MEETING AND FLAGGED PRIOR TO ROOT PRUNING.
3. EXACT LOCATION OF ROOT PRUNING SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FORESTRY INSPECTOR.
4. TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL AS SPECIFIED PER PLAN OR BY THE FORESTRY INSPECTOR.
5. ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT. ROOT PRUNING METHODS AND MEANS MUST BE IN ACCORDANCE WITH ANSI STANDARD A3000.
6. ALL PRUNING MUST BE EXECUTED AT LOO SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FORESTRY INSPECTOR.
7. SUPPLEMENTAL WATERING MAY BE REQUIRED FOR ROOT PRUNED TREES THROUGHOUT THE GROWING SEASON DURING CONSTRUCTION AND SUBSEQUENT WARRANTY AND MAINTENANCE PERIOD.

**EXISTING GRADE**

**ROOT PRUNE VIA AIRSPACE OR TRENCH (6" WIDE MAX) 24" MIN DEPTH OR AS DETERMINED AT PRE-CONSTRUCTION MEETING.**

**D ROOT PRUNING DETAIL**  
SCALE: NOT TO SCALE

**A TREE PROTECTION FENCE**  
SCALE: NOT TO SCALE

**NOTES:**

1. THE FENCING LOCATION SHOWN ABOVE IS DIAGRAMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND BE LIMITED TO PROJECT BOUNDARY. WHERE MULTIPLE ADJACENT TREES WILL BE ENCLOSED BY FENCING, THE FENCING SHALL BE CONTINUOUS AROUND ALL TREES.
2. FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

**B TREE PROTECTION FENCE - TIGHT CONSTRUCTION**  
SCALE: NOT TO SCALE

**NOTES:**

1. OPTION USED FOR TIGHT CONSTRUCTION AREAS OR WHEN CONSTRUCTION OCCURS IN ROOT PROTECTION ZONE.
2. FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

**C TREE PROTECTION SPECIFICATIONS**

**MATERIALS**

1. FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
2. POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL 'T' SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
3. TIE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
4. USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

**CONSTRUCTION METHODS**

1. ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
2. EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
3. PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ, EQUAL TO 1' FROM THE TRUNK FOR EVERY 1" OF DBH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
4. PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
5. THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.
6. THE INSTALLATION POSTS SHALL BE PLACED EVERY 8 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.
7. WITHIN THE CRZ:
  - a. DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
  - b. DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
  - c. DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY.
  - d. DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).
  - e. DO NOT NAIL OR ATTACH TEMPORARY SIGNS, METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
  - f. DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
8. ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.
9. WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
10. THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES.
11. REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
12. TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
13. ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
14. COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
15. IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
16. WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
17. WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
18. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION-RELATED ACTIVITIES HAVE BEEN REMOVED.

**TREE RELOCATION GUIDELINES**

1. TREES SHALL NOT BE UNNECESSARILY DAMAGED DURING REMOVAL, TRANSPORT OR REPLANTING OF THE TREE.
2. IF THE TREE HAS A DORMANT PERIOD, THEY SHOULD BE TRANPLANTED DURING THAT TIME. TREES SHOULD NOT BE TRANPLANTED DURING PERIODS OF STRONG WINDS, DRY WINTER WINDS OR DURING DROUGHT.
3. ADEQUATE SPACES FOR ROOT AND CROWN DEVELOPMENT SHALL BE PROVIDED.
4. TREES SHALL BE ROOT AND CANOPY PRUNED IN ACCORDANCE WITH SOUND ARBORICULTURAL STANDARDS PRIOR TO TRANSPANTING.
5. DURING AND FOLLOWING TRANSPANTING, THE ROOT BALL AND TRUNK SHALL BE PROTECTED. THE ROOT BALL MUST BE KEPT MOIST AT ALL TIMES.
6. TRANSPANTED TREES SHALL BE BRACED FOR A MINIMUM OF ONE (1) YEAR.
7. TRANSPANTED TREES SHALL NOT BE FERTILIZED AT PLANTING TIME, BUT SHALL BE WATERED SUFFICIENTLY UNTIL THE TREE GROWTH IS REESTABLISHED.
8. ALL CROWN PRUNING SHALL BE DONE IN ACCORDANCE WITH "THE AMERICAN NATIONAL STANDARDS INSTITUTE A-300, TREE, SHRUB AND OTHER WOOD PLANT MAINTENANCE STANDARD PRACTICES" AND "Z-133.1 PRUNING, REPAIRING, MAINTAINING AND REMOVING TREES, AND CUTTING BRUSH-SAFETY REQUIREMENTS" OR PALM PRUNING IN ACCORDANCE WITH THE STANDARDS IN, RICHARD HARRIS, "ARBORICULTURE INTEGRATED MANAGEMENT OF LANDSCAPE TREES, SHRUBS AND VINES", AS AMENDED.
9. CONTRACTOR IS RESPONSIBLE FOR REGULAR WATERING AND MAINTENANCE OF TRANSPANTED TREES DURING STORAGE PERIOD.

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4706 WEST US HIGHWAY 90  
LAKE CITY, FLORIDA 32056

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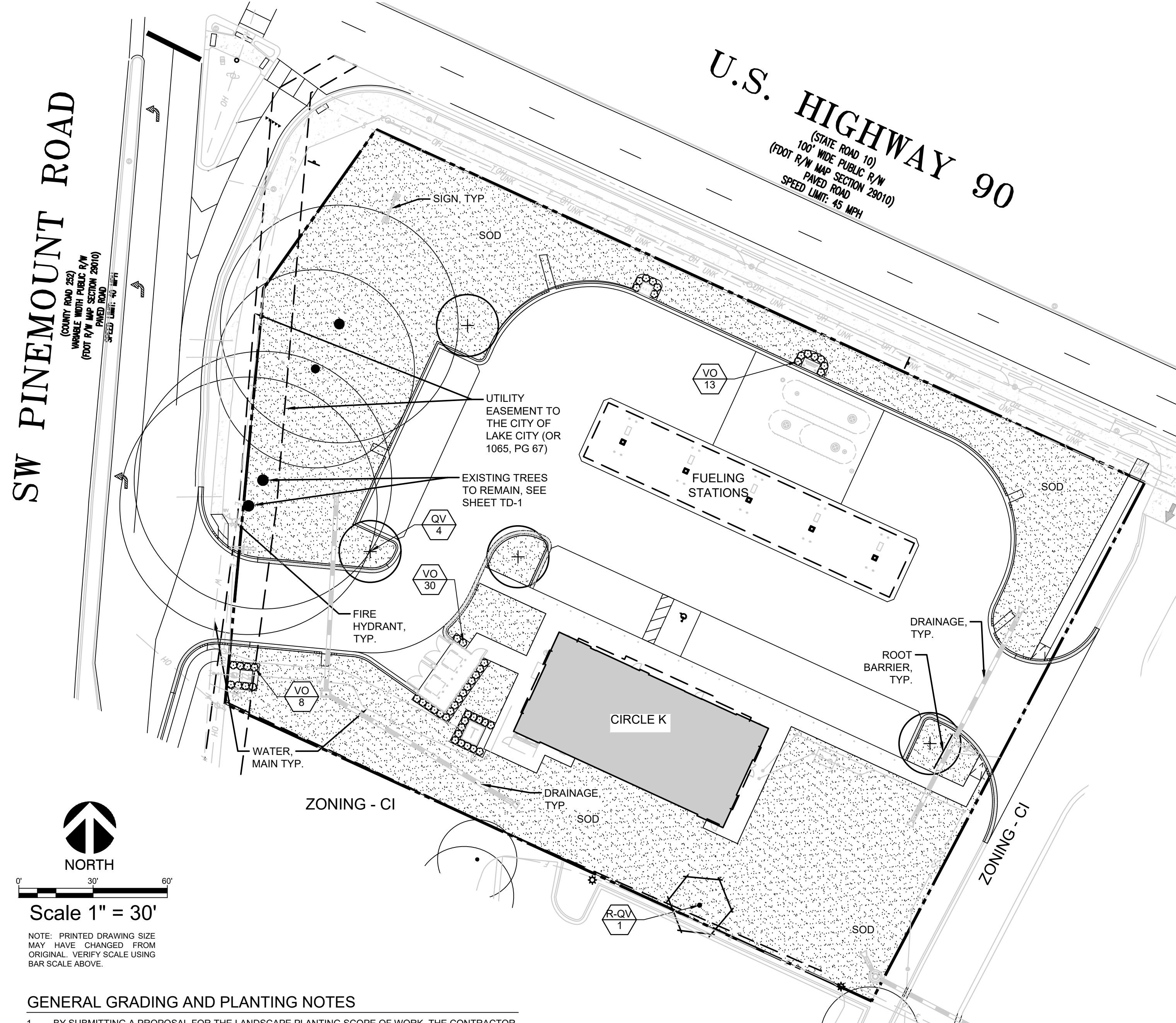
**TITLE: TREE DISPOSITION NOTES & DETAILS**

SCALE: (ft)  
(in)  
DATE: 09/05/25

PROJECT #: 3968-24-03288

SHEET No: TD-2  
Rev. #:

# SW PINEMOUNT ROAD



## LEGEND

EX - EXISTING  
TYP - TYPICAL

## WEED BARRIER

THE CONTRACTOR SHALL INSTALL WEED BLOCKING BARRIER (LANDSCAPE FABRIC) UNDER ALL PROPOSED LANDSCAPE AREAS.

## ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENIRCLE THE ROOTBALL.

## MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

## LANDSCAPE CALCULATIONS

### CITY OF LAKE CITY, FL - LANDSCAPE CODE COMPLIANCE CHART CHAPTER 104 - VEGETATION

GROSS SITE AREA: 77,670 SF  
ZONING DISTRICT: C-1

SITE AREA	SF	AC	%
VEHICULAR USE AREA	34,575.62	0.79	45%
BUILDING FOOTPRINT	5,200.00	0.12	7%
SIDEWALKS AND HARDCAPES	3,814.60	0.09	5%
GREEN SPACE	34,079.79	0.78	44%
<b>TOTAL</b>	<b>77,670.00</b>	<b>1.78</b>	<b>100%</b>
		REQ	PROV

#### VEHICULAR USE AREA LANDSCAPING

1 CANOPY TREE PER PARKING ISLAND

#### LANDSCAPE BUFFERS

NORTH - US HIGHWAY 90 - 330 LF

NA - SIMILAR ADJACENT USE

WEST - SW PINEMOUNT RD - 213 LF

NA - SIMILAR ADJACENT USE

SOUTH - SIMILAR ADJACENT ZONING

EAST - SIMILAR ADJACENT ZONING

## LANDSCAPE CALCULATIONS

PER SEC 104.50(D) REMOVAL OF (1) HERITAGE REQUIRES REPLACEMENT OF (1) 6" INCHES OF DBH OF REPLACEMENT TREE AT A MINIMUM. THIS NUMBER MAY INCREASE IF ALL TREES DESCRIBED ON SHEET TD-1 ARE NOTABLE TO BE SAVED.

#### REPLACEMENT PLAN:

REPLACEMENT DBH (IN):	CREDIT INCHES	QUANTITY
LIVEOAK, 6" DBH	6	1

TOTAL PROPOSED REPLACEMENT DBH (IN): 6  
TOTAL PROPOSED TREES: 1

## PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL/DBH	HEIGHT	SPREAD	NATIVE	XERIC
TREES									
QV	4	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	CONT. OR F.G.	2.5" CAL MIN 6" DBH	10' MIN.	FULL	YES	HIGH
R-QV	1	REPLACEMENT QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	CONT. OR F.G.		10' MIN.	FULL	YES	HIGH
CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	HEIGHT	SPREAD	NATIVE	XERIC
SHRUBS									
VO	51	VIBURNUM OBOVATUM	WALTER'S VIBURNUM	3 GAL. MIN.	36" OC	24" HT MIN	FULL	YES	HIGH
SOD/SEED									
SOD	34,089 SF	PASPALUM NOTATUM 'ARGENTINE'	ARGENTINE BAHIAGRASS	SOLID SOD				NO	HIGH

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.

2. THE IRRIGATION SYSTEM WILL OPERATE ON THE LOWEST QUALITY WATER SOURCE AVAILABLE (RECLAIMED OR SHALLOW WELL), AND THE SYSTEM WILL HAVE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE WATER SOURCE WHERE REQUIRED BY THE JURISDICTIONAL AUTHORITY. POTABLE WATER SHALL NOT BE USED FOR LANDSCAPE IRRIGATION (PWU UTILITY STANDARDS MANUAL 1.1.3.B.)

3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.

4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.

5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING FEATURES AND SYSTEMS: MATCHED PUMP/PROPORTIONAL RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

6. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

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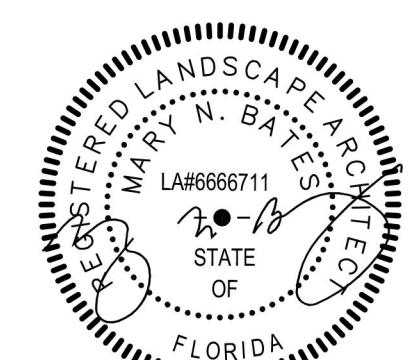
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TITLE:  
**LANDSCAPE PLAN**

SCALE: (H)  
(V)  
DATE: 09/05/25  
PROJECT #: 3968-24-03288

SHEET NO:

Rev. #:

LP-1

## PLANTING SPECIFICATIONS

## GENERAL

A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR  
1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING  
2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.  
3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID CONTRACTOR'S LICENSE ISSUED BY THE APPROPRIATE LOCAL JURISDICTION.

B. SCOPE OF WORK  
1. WORK COVERED BY THESE SPECIFICATIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, TESTS, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.  
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS RELATED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSURANCE, PERMITTING, INSPECTION, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

## PRODUCTS

A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.  
B. CONTAINER AND BALLED-AND-BURAPPED PLANTS:  
1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS TREE OF DESIRED SIZE, AGE, LARVAE, AND DEFECTS SUCH AS NOTCHED, BURR-HOLE, BARK-ROCK, AND BURR-ROCK. ALL PLANTS OF THE SAME SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.  
2. ROOT BALLS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCRULING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).  
3. TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURAPPED (B&B), UNLESS SPECIFIED ON THE PLANS. B&B PLANTS SHALL NOT BE PLANTED IN THE FROZEN GROUND.  
4. ANY PLANTS DEEMED UNPLANTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, UNPREDICTABLE, OR WHICH CAUSE CONCERN TO THE LANDSCAPE ARCHITECT AND OWNER SHALL BE REMOVED AND NOT BE PLANTED. THE ACCEPTABILITY OF PLANT MATERIALS SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT AND OWNER.  
5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS SHALL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED; PRUNE ALL DAMAGED TWIGS AFTER PLANTING.  
6. CALIBER REQUIREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.  
7. MULTITRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE GROUND TO THE HIGHEST CALIPER. THE OVERALL HEIGHT OF THE TREE SHALL BE CALCULATED AS ONE-THIRD OF THE SUM OF THE CIRCUMFERENCE OF THE THREE LARGEST TREES.  
8. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.

C. SOD: PROVIDED WILL BE SOFT, FRESH, AND FREE OF WEEDS, GRASS, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 6, MOISTURE CONTENT 35 TO 65 PERCENT BY WEIGHT, 100 PERCENT PASSING THROUGH 3/4 INCH SIEVE, SOLUBLE SALT CONTENT 5 TO 10 DECISEMS/CM, NOT EXCEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES DANGEROUS TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.

F. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).

G. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING FOR PLANTING AREAS AND SHRUBS.

H. TREE STAKING AND GUINGY:  
1. STAKES: 6' LONG GREEN METAL POSTS.  
2. GUINGY: TIE AND WIRE: ASTM A 61, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAWD, TWISTED, 0.106 INCH DIAMETER.  
3. STRAP CHAPING GUINGY: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.

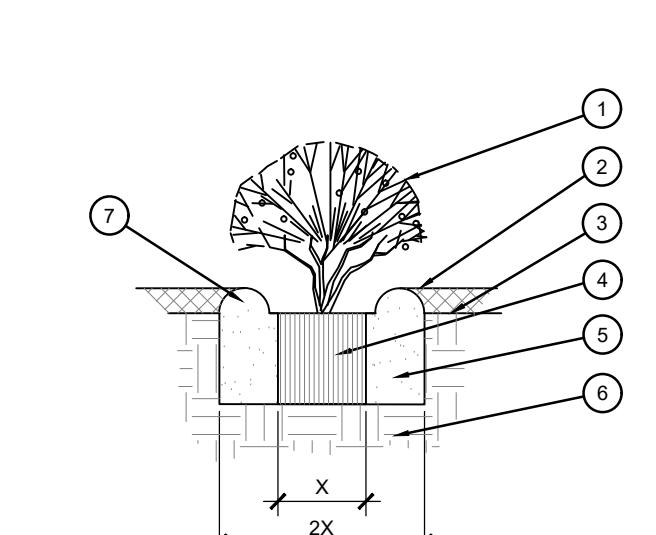
I. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

## METHODS

A. SOIL PREPARATION  
1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/- 1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES EXIST.  
2. SOIL TESTING:  
a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTER. THE SAMPLE SUBMISSIONS SHALL NOT EXCEED ONE QUART OF SOIL TAKEN FROM THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.  
b. THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM THE SOIL SURFACE AND 6" DEPTH. THE SAMPLES SHALL NOT EXCEED ONE QUART OF SOIL TAKEN FROM THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.  
c. THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM THE SOIL SURFACE AND 6" DEPTH. THE SAMPLES SHALL NOT EXCEED ONE QUART OF SOIL TAKEN FROM THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.  
d. THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM THE SOIL SURFACE AND 6" DEPTH. THE SAMPLES SHALL NOT EXCEED ONE QUART OF SOIL TAKEN FROM THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.

B. SOIL AMENDMENTS AND FERTILIZERS:  
1. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS FOR THE SOIL REPORT RECOMMENDATIONS, AND CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE BILLED TO THE OWNER.  
2. FOR THE ESTABLISHMENT PERIOD, THE SOIL PREPARATION SHALL COMPLY WITH THE FOLLOWING:  
a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING.  
i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU YDS. PER 1,000 S.F.  
ii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE.  
b. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING.  
i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU YDS. PER 1,000 S.F.  
ii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE.  
3. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.  
a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADE OF ALL LANDSCAPE AREAS IS WITHIN +/- 1' OF FINISH GRADE. THE CONTRACTOR SHALL NOT AMEND THE SOIL SURFACE ON THE PLANS, AND SHALL NOT PLANTING BED PREPARATION.  
b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE RECOMMENDED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.  
c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL AMENDMENTS IS REQUIRED, AND SHALL TAKE INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.  
d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" LOW THE PAVED SURFACE AND 1" HIGH THE PAVED SURFACE. THIS IS TO ENSURE THAT THE SOIL SURFACE TO MEET FINISH GRADE AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18' AWAY FROM THE WALKS.  
e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" LOW THE FINISH SURFACE OF THE WALKS, TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18' AWAY FROM THE WALKS.  
f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, NOTES, AND DETAILS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.

C. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.



E SHRUB AND PERENNIAL PLANTING

SCALE: NTS

B. SUBMITTALS  
1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT AND OWNER APPROVING THE PLANT MATERIALS FOR EACH MATERIAL FOR EACH SPECIES.  
2. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A MARKER OR STAKE FOR SCALE, PHOTOS OR SAMPLES OF THE REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE REQUIRED LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).  
3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).  
4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.

C. GENERAL PLANTING  
1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.  
2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.  
3. TRENCHING AND PLANTING  
a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCLE AREA EXTENDING OUTWARD FROM THE TREE TRUNK (WITH A RADIUS EQUAL TO 1/4 TO 1/2 THE DIAMETER AT BREAST HEIGHT (4.3' ABOVE THE AVERAGE GRADE AT THE TRUNK)).  
b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR POWER TOOLS SHALL BE USED IN THE CRZ.  
c. ALTER THE PLANT PIPE TO AVOID ROOTS 1-1/2" AND LARGER IN DIAMETER IN THE TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST.  
d. ALL REVERSED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR ROUND PAIL.

D. TREE PLANTING  
1. TREE PLANTING HOLES SHALL BE EXCAVATED TO A MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOT BALL, AND TO A DEPTH OF ONE-THIRD THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES.  
2. SCRATCH THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.  
3. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE PLANTING HOLE JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT TEASE ROOTS OUT FROM THE ROOTBALL.  
4. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO THREE INCHES ABOVE THE SURROUNDING GRADE.  
5. BACKFILL THE PLANTING HOLE WITH THE REMAINING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE TESTED FOR CONSTITUENTS AND PH. NO SOILS SHALL BE USED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR AT DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STABILIZE THE TREES AND RE-REFACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:  
a. 1"-2" TREES: TWO STAKES PER TREE  
b. 2-1/2"-4" TREES: THREE STAKES PER TREE  
c. TREES 5" CALIPER OR GREATER: ONE AS NEEDED  
d. MULTITRUNK TREES: THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE.  
7. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. USE SOIL, SOD, AND MULCH (TYPE AND DEPTH PER PLANS).

E. SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING  
1. DIG THE PLANTING HOLES TWICE AS WIDE AND 2' DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.  
2. WHERE PLANTS ARE COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.

F. SODDING  
1. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.  
2. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.  
3. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT FINDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.  
4. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL.  
5. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.

G. MULCHING  
1. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND PAVING.  
2. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.

H. CLEAN UP  
1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.  
2. DUMP EXCAVATED MATERIALS OFF THE PROJECT SITE.

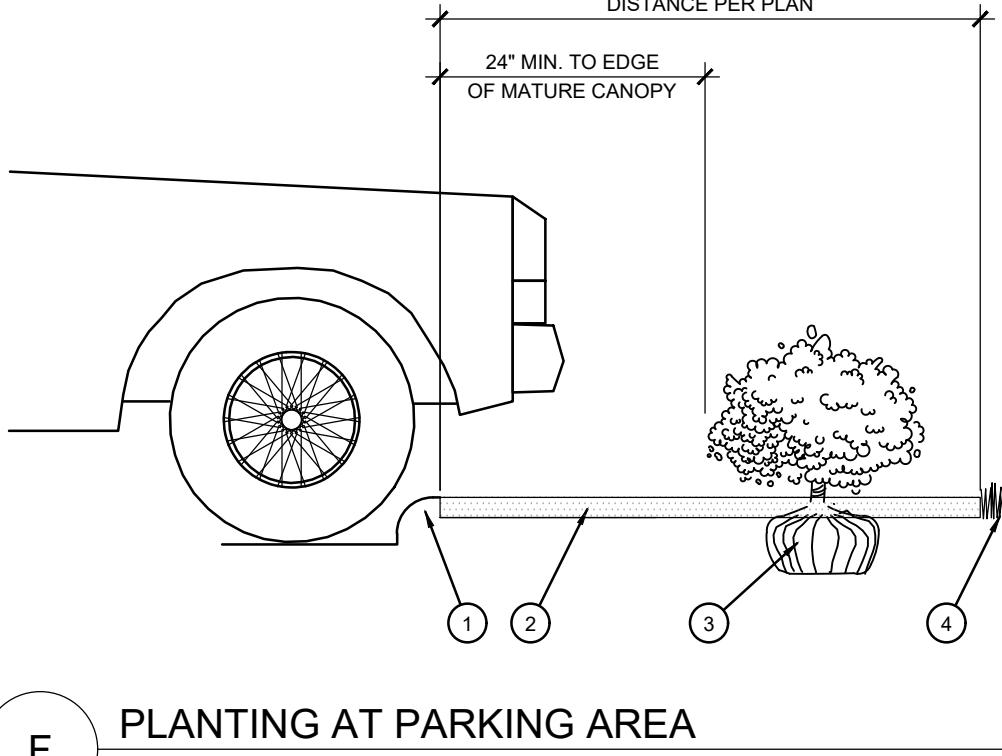
I. INSPECTION AND ACCEPTANCE  
1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL NOT BE REQUIRED TO MAKE ANY REPAIRS TO THE SITE DUE TO INADEQUATE PLACEMENT OF SOIL, MULCH, OR PLANTS.  
2. WHERE THE PLANTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.  
3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIOD WILL COMMENCE.

J. LANDSCAPE MAINTENANCE  
1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESTETING OF PLANTS THAT HAVE BEEN DISPLACED, REPAIRS TO PLANTING BEDS, REPAIRS TO PLANTING AREAS, REPAIRS TO DISEASES/REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER AND IN SCHEMATIC ADJUSTMENT TO MAXIMIZE WATER CONSERVATION.  
2. SHOULD SOILDEAD AREAS BE RECOGNIZED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRS TO THESE AREAS AND OBTAINING A FULL, HEALTHY STATE OF PLANTS AT ADDITIONAL COST TO THE OWNER.  
3. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS SHALL BE MET:  
a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.  
b. ALL PLANTS SHALL BE PLANTED AND MAINTAINED IN A MANNER THAT IS APPROPRIATE FOR THE PLANTING AREA.  
c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1/2 INCHES BEFORE FIRST MOVING. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOVED.

K. WARRANTY AND PLANT GUARANTEE  
1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY FAULTS IN THE IRRIGATION SYSTEM.  
2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.  
L. PROVIDE A MINIMUM OF (2) COPIES OF CONSTRUCTION DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORDING FEE AND RECORDING CHARGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.

M. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.  
a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADE OF ALL LANDSCAPE AREAS IS WITHIN +/- 1' OF FINISH GRADE. THE CONTRACTOR SHALL NOT AMEND THE SOIL SURFACE ON THE PLANS, AND SHALL NOT PLANTING BED PREPARATION.  
b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE RECOMMENDED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.  
c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL AMENDMENTS IS REQUIRED, AND SHALL TAKE INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.  
d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" LOW THE PAVED SURFACE AND 1" HIGH THE PAVED SURFACE. THIS IS TO ENSURE THAT THE SOIL SURFACE TO MEET FINISH GRADE AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18' AWAY FROM THE WALKS.  
e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" LOW THE FINISH SURFACE OF THE WALKS, TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18' AWAY FROM THE WALKS.  
f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, NOTES, AND DETAILS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.

6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.



SCALE: NTS

E SHRUB AND PERENNIAL PLANTING

Rev. #:

LP-2

Date:

09/05/25

Project No:

3968-24-03288

Sheet No:

1

Scale:

(i)

(v)

Date:

09/05/25

September 15, 2025

City of Lake City-Growth Management Department  
205 North Marion Ave  
Lake City, FL 32055

**RE: Proposed Circle K  
4706 W US Hwy 90  
Lake City, FL 332055  
Parcel No: 34-3S-16-02465-010  
DECPC No.: 2451-24-03094**

### **Comprehensive Plan Concurrency Analysis**

#### **I. FUTURE LAND USE ELEMENT:**

**GOAL I - IN RECOGNITION OF THE IMPORTANCE OF ENHANCING THE QUALITY OF LIFE IN THE CITY, DISCOURAGING URBAN SPRAWL, DIRECT DEVELOPMENT TO THOSE AREAS WHICH HAVE IN PLACE, OR HAVE AGREEMENTS TO PROVIDE, SERVICE CAPACITY TO ACCOMMODATE GROWTH IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.**

**OBJECTIVE I.1** The City Concurrency Management System shall make available or schedule for availability the public facilities for future growth and urban development as development occurs in order to provide for urban densities and intensities within the City and discourage the proliferation of urban sprawl.

**Policy I.1.1** The location of higher density residential, high intensity commercial and heavy industrial uses shall be directed to areas adjacent to arterial or collector roads, identified on the Future Traffic Circulation Map, where public facilities are available to support such higher density or intensity.

**Justification:** *The proposed self-service automotive fueling station is located at the southeast corner of Pinemount Road and W US Highway 90. The adjacent collector and arterial roadway, respectively, have sufficient capacity to serve the development and adequate utilities are available within the vicinity to serve the subject property.*

**Policy I.1.2.** The land development regulations of the City shall be based on and be consistent with the following land use classifications and corresponding standards for densities and intensities and shall establish the following floor area ratio(s) to be applied to the Commercial Future Land Use. (CG) Commercial, General, (CI) Commercial, Intensive, (C-CBD) Commercial-Central Business District and (CHI) Commercial, Highway Interchange districts shall be limited to an intensity of less than or equal to 1.0 floor area ratio.

**Justification:** *The property has a Future Land Use designation of Commercial, Intensive (CI) and the proposed use has a floor area ratio of 0.05.*

**Policy I.1.3** The City shall continue to allocate amounts and types of land uses for residential, commercial, industrial, public, and recreation to meet the needs of the existing and projected future

populations and to locate urban land uses in a manner where public facilities may be provided to serve such urban land uses. (Urban land uses shall be herein defined as residential, commercial and industrial land use categories).

***Justification: Adequate public facilities are within the vicinity of the property to support the proposed development.***

**Policy I.1.4** The City shall continue to limit the designation of residential, commercial and industrial lands depicted on the Future Land Use Plan map to acreage which can be reasonably expected to develop.

***Justification: The proposed development is consistent with the intent of the Future Land Use designation of Commercial Intensive, CI. This development does not require an amendment to the Future Land Use Plan map.***

**Policy I.2.1** The City shall restrict development within unsuitable areas due to flooding, improper drainage, steep slopes, rock formations and adverse earth formations by the following design standards for arrangement of development:

1. Streets shall be related appropriately to the topography. All streets shall be arranged so as to obtain as many as possible building sites at or above the grades of the streets. Grades of streets shall conform as closely as possible to the original topography. A combination of steep grades and curves shall be avoided.
2. Local streets shall be laid out to discourage use by through traffic, to permit efficient drainage and utility systems and to require the minimum number of streets necessary to provide convenient and safe access to property.
3. The rigid rectangular gridiron street pattern need not necessarily be adhered to, and the use of curvilinear streets, cul-de-sacs, or U-shaped streets shall be encouraged where such use will result in a more desirable layout.
4. Proposed streets shall be extended to the boundary lines of the tract to be subdivided, unless prevented by topography or other physical conditions, or unless, in the opinion of the City Council, such extension is not necessary or desirable for the coordination of the layout or the most advantageous future development of adjacent tracts.

***Justification: The project features a proposed on-site drainage system to collect and attenuate the stormwater runoff generated by the development, does not propose steep slopes, nor contains rock formations. Convenient and safe access to the property is provided by the existing right-in/right-out driveway located on US Highway 90 and the proposed right-in/right-out driveway on Pinemount Road. As a corner lot, the proposed development is bounded by the adjacent rights-of-way, therefore, a street extension is not necessary.***

**Policy I.1.5** The City shall continue to provide for a neighborhood commercial district to provide small scale retail and service establishments which will serve the convenience needs of adjacent areas.

***Justification: Not applicable. The subject property is within the Commercial, Intensive (CI) zoning district.***

**OBJECTIVE I.3** The City shall require that all proposed development be approved only where the public facilities meet or exceed the adopted level of service standard.

**Policy I.3.1** The City shall limit the issuance of development orders and permits to areas where the adopted level of service standards for the provision of public facilities found within the Comprehensive Plan are maintained. This provision also includes areas where development orders were issued prior to the adoption of the Comprehensive Plan.

**Justification:** *The proposed development is consistent with the level of service standards for the provision of public facilities. Refer to the attached Concurrency Impact Analysis.*

**OBJECTIVE I.4** The City shall continue to include provisions for Planned Residential Development regulations.

**Justification:** *Not applicable as the site is not within a Planned Residential Development.*

**OBJECTIVE I.5** The City shall continue to limit the extension of public facility geographic service areas to the adjacent urban development area, except that water line extensions may be made outside such designated urban development area to address public health and safety concerns associated with groundwater contamination and water and sewer line extensions may be made to public land uses located outside such designated urban development area. The boundary of this designated urban development area is depicted within the Future Land Use Map Series of this Comprehensive Plan.

The City shall adopt as part of its utility policies and programs a provision whereby any extension of public facility geographic service areas into surrounding unincorporated areas shall be limited to the adjacent designated urban development areas as identified within the Future Land Use Map Series of this Comprehensive Plan except that water line extensions may be made outside such boundary to address public health and safety concerns associated with groundwater contamination and water and sewer line extensions may be made to public land uses located outside of such designated urban development area.

**Justification:** *The subject property is located within the limits of the urban development area identified within the Future Land Use Map. Adequate public facilities are located within the vicinity of the property.*

**Policy I.5.2** The City shall allow electrical substations as a permitted use by right within all land use classifications, except Conservation future land use category and any Historic Preservation Overlay district as depicted on the Future Land Use Plan Map.

**Justification:** *Not applicable. The development does not propose electric substations.*

**OBJECTIVE I.6** The City shall continue to include within the portion regarding the report and recommendation of the Planning and Zoning Board on amendments to such regulations, that such report shall address whether the proposed amendment will be a deterrent to the improvement or development of adjacent land uses and it shall be concluded by the local governing body, based upon such report and prior to approval of the amendment, that the granting of the amendment will not adversely impact adjacent land uses.

**Policy I.6.1** The City shall continue to permit mining activity as a special exception within areas designated on the Future Land Use Plan map as industrial.

**Justification:** *Not applicable.*

**Policy I.6.2** The City shall continue to include provisions for drainage, stormwater management, open space and safe and convenient on-site traffic flow including the provisions of needed vehicle parking for all development.

**Justification:** *The development proposes an on-site stormwater management system containing interconnected pipes and structures to collect and attenuate stormwater runoff generated by the site to comply with the drainage provisions. The proposed development provides adequate parking, signage, and striping to promote safe on-site vehicular movement.*

**Policy I.6.3** The City shall continue to limit the intensity of development by requiring that the length of lots does not exceed three times the width of lots for the location of dwelling units.

**Justification:** *Not applicable.*

**Policy I.6.4** The City shall participate in the National Flood Insurance Program and regulate development and the installation of utilities in flood hazard areas in conformance with the programs requirements.

**Justification:** *Not applicable. The subject property has flood zone designation 'X'.*

**Policy I.6.5** The City shall continue to require that where a commercial or industrial use is erected or expanded on land abutting a residential district, then the proposed use shall provide a landscaped buffer. A masonry or wood opaque structure may be substituted for the planted buffer.

**Justification:** *Not applicable. The site is not adjacent to a residential district.*

**OBJECTIVE I.8** The City shall reduce inconsistencies in land uses with the provisions of this Comprehensive Plan through the establishment of such inconsistencies as nonconforming land uses.

**Justification:** *The proposed development is consistent with the requirements for lots, structures, and uses of land outlined in the land development regulations of the City.*

**OBJECTIVE I.9** The City shall continue to use a Historic Preservation Agency appointed by the City Council to assist the City Council with the designation of historic landmarks and landmark sites or historic districts within the City based upon criteria utilized for the National Register of Historic Places and the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings. The Historic Preservation Agency shall review applications for historic designation and after conducting a duly noticed public hearing shall make a recommendation to the City Council based upon the criteria stated in the maintenance and reuses of historical structures policy contained within the Future Land Use Element of the Comprehensive Plan.

**Justification:** *Not applicable. The property is not designated as a Historic District.*

**OBJECTIVE I.10** The City shall protect natural resources and environmentally sensitive lands (including but not limited to wetlands and floodplains).

**Justification:** *The site does not contain or impact wetlands.*

**Policy I.10.1** The City shall protect public potable water supply wells by prohibiting:

1. Land uses which require or involve storage, use of manufacture of regulated materials as defined by Chapter 38F-41, Florida Administrative Code, in effect upon adoption of this Objective; Code of Federal Regulations, Title 40, Part 302 and 355 and Title 49, Part 172, in effect upon adoption of this Comprehensive Plan; 2. Landfills; 3. Facilities of bulk storage, agricultural chemicals; 4. Petroleum products; 5. Hazardous toxic and medical waste; 6. Feedlots or other animal facilities; 7. Wastewater treatment plants and percolation ponds; and Mines, and excavation of waterways or drainage facilities which intersect the water table, within a 300-foot radius around the water well designated by this Comprehensive Plan as a wellfield protection area.

**Justification:** *The proposed development is not within or adjacent to the wellfield protection area outlined by the Comprehensive Plan.*

Policy I.10.2 The City shall prohibit the location of any structure within a wetland, other than permitted docks, piers, or walkways, except as permitted within the wetland policy contained within the Conservation Element of this Comprehensive Plan.

**Justification:** *The proposed development does not contain or impact wetlands.*

**OBJECTIVE I.11** The City shall establish a process for coordination with agencies responsible for the implementation of any regional resource planning and management plan prepared pursuant to Chapter 380, Florida Statutes, as amended.

**Justification:** *This is being achieved via the Site Plan Application process.*

**OBJECTIVE I.12** The City shall coordinate review of all proposed subdivision plats with the Water Management District for subdivisions proposed within the drainage basin of any designated priority water body to provide the Water Management District an opportunity to review such subdivision to determine if the plat is consistent with any approved management plans within that basin.

**Justification:** *The proposed development is anticipated to undergo review by the Suwanee River Water Management District (SRWMD) and a copy of the permit will be provided to the City of Lake City upon issuance.*

## **II. TRANSPORTATION ELEMENT:**

**GOAL II - PROVIDE FOR A TRANSPORTATION SYSTEM WHICH SERVES EXISTING AND FUTURE LAND USES.**

**OBJECTIVE II.1** The City shall establish a safe, convenient and efficient level of service standard which shall be maintained for all roadways.

**Policy II.1.1** Establish the Service Standards as noted below at peak hour for the following roadway segments within the City as defined within the most recent version of the Florida Department of Transportation Quality/Level of Service Handbook.

***Justification: The proposed development complies with the Level of Service standards for the US Highway 90 segment as demonstrated within the Traffic Impact Analysis prepared by Dynamic Traffic, LLC dated June 2, 2025.***

Policy II.1.2. The City shall control the number and frequency of connections and access points of driveways and roads to arterials and collectors by requiring access points for state roads to be in conformance with Chapter 14-96 and 14-97, Florida Administrative Code, and the following requirements for non-state roads: 1. Permitting 1 access point for ingress and egress purposes to a single property or development; 2. Permitting 2 access points if the minimum distance between the two access points exceeds 20 feet; 3. Permitting 3 access points if the minimum distance between each access point is at least 100 feet; or 4. Permitting more than 3 access points where a minimum distance of 1,000 feet is maintained between each access point.

***Justification: The site is indirectly served by the existing right-in/right-out driveway on US Highway 90, which connects to the overall shopping center, the Shoppes at Heritage Oaks. The Applicant proposes a right-in/right-out driveway on Pinemount Road to provide direct access to the site from the collector roadway. Accompanying roadway improvements consist of a turn-lane prior to the proposed driveway on Pinemount Road as well as striping and delineator poles south of the existing median to promote safe traffic movements.***

Policy II.1.3. The City shall continue to require development to provide safe and convenient on-site traffic flow, which includes the provision for vehicle parking.

***Justification: The proposed development provides adequate parking per the standards outlined in the Land Development Regulations for the proposed use of self-service automotive fueling station. The proposed signage and striping promote safe on-site vehicular movements.***

Policy II.1.4. The City shall continue to require any development which is required to provide a site plan or any development requiring platting, include requirements for additional right-of-way width for bicycle and pedestrian ways to be provided for all proposed collector and arterial roadways, as integrated or parallel transportation facilities.

***Justification: The site is bound by pedestrian walkways within the northern and western rights-of-way. The proposed development provides concrete sidewalk pedestrian connections to both US Highway 90 and Pinemount Road.***

Policy II.1.5 In accordance with Section 163.3180(5)(h)1.c. and 163.3180(5)(h)2. Florida Statutes, as amended, the City shall provide a means by which the landowner will be assessed a proportionate share of the cost of providing the transportation facilities necessary to serve the proposed development. However, the landowner shall not be held responsible for contributing to deficient transportation facilities.

***Justification: Acknowledged.***

**OBJECTIVE II.2** The City shall require that all traffic circulation system improvements be consistent with the land uses shown on the future land use plan map, limiting higher density and higher intensity land use locations to be adjacent to collector or arterial roads, as identified on the Future Transportation Map.

**Justification:** *The proposed development features a proposed turn-lane prior to the proposed right-in/right-out driveway. Refer to sheet C1.00 Site Plan.*

**OBJECTIVE II.4** The City shall provide for the protection of existing and future right-of-ways from building encroachment by establishing right-of-way setback requirements for all structures along new or realigned collector and arterial roadways to be provided for by the developer or purchased as right-of-way.

**Policy II.4.1** The City shall maintain provisions which require all structures along new or realigned collector or arterial roadways to provide additional setbacks for the future need of additional right-of-way. Such right-of-way shall be provided by the developer of the land as part of the development review process or shall be purchased by the agency improving the road.

**Justification:** *The proposed structures comply with the setback requirements outlined by the Land Development Regulations.*

**Policy II.4.2** Properties under the same ownership or those consolidated for development shall be treated as one property for the purposes of access management and shall not receive the maximum potential number of access points for that frontage indicated under minimum access spacing standards.

**Justification:** *Not applicable.*

**Policy II.4.3** Large commercial developments shall be required to provide and/or extend nearby local and collector streets and provide street connections with surrounding residential areas so residents may access the development without traveling on arterial streets.

**Justification:** *Not applicable. The proposed development has adequate frontage on both US Highway 90 and Pinemount Road.*

**Policy II.4.4** Shopping centers shall be required to provide a unified access and circulation plan and require any out parcels to obtain access from the unified access and circulation system.

**Justification:** *The proposed development is not a new shopping center. The subject property is an outparcel of an existing shopping center, which is served by an existing right-in/right-out driveway on US Highway 90.*

**Policy II.4.5** Existing lots unable to meet the access spacing standards for arterials shall obtain access from platted side streets, parallel streets, service roads, joint and cross access or the provision of easements.

**Justification:** *The proposed development does not propose modifications to the existing right-in/right-out driveway from the FDOT arterial, US Highway 90. The development proposes a right-in/right-out access on Pinemount Road with associated turn lane, signage, and striping improvements.*

**Policy II.4.6** Adequate corner clearance shall be maintained at crossroad intersections with arterials.

**Justification:** *This is provided. Refer to sheet C1.00 Site Plan.*

**Policy II.4.7** The City shall encourage cross-access connections easements and join driveways, where available and economically feasible.

**Justification:** *This is provided as the development does not propose modifications to the existing right-in/right-out driveway from US Highway 90, which is a shared access between the subject property and the existing shopping center.*

**III. HOUSING ELEMENT**

**Justification:** *The proposed land use of self-service automotive fueling station does not qualify as a Residential-based development; therefore, this element is not applicable.*

**IV. SANITARY SEWER, SOLID WASTE, DRAINAGE, POTABLE WATER AND NATURAL GROUNDWATER AQUIFER RECHARGE ELEMENT:**

**GOAL IV.1** - ENSURE THE PROVISION OF PUBLIC FACILITIES IN A TIMELY, ORDERLY EFFICIENT AND ENVIRONMENTALLY SOUND MANNER AT AN ACCEPTABLE LEVEL OF SERVICE FOR THE CITY'S POPULATION.

**OBJECTIVE IV.1** The City shall correct existing deficiencies by undertaking capital improvement projects in accordance with the schedule contained in the Capital Improvements Element of this Comprehensive Plan. Further, said existing deficiencies shall be prioritized on the schedule in conformance with the criteria established in the Capital Improvements Element of this Comprehensive Plan.

**Policy IV.1** The City shall provide that within the schedule contained in the Capital Improvements Element, that capital improvement projects needed for replacement or correction of existing deficiencies in public facilities be given priority over providing for future facilities needs; 1. If they are imminently needed to protect the public health and safety, which shall be given the highest priority; and 2. If existing facilities are not meeting maintenance or operation level of service standards adopted herein, which shall be given the second order of priority.

**Justification:** *Acknowledged. The existing public facilities in the vicinity of the property are anticipated to have adequate capacity to serve the proposed development.*

**OBJECTIVE IV.2** The City shall coordinate the extension of, or increase in the capacity of facilities by scheduling the completion of public facility improvements and require that they are concurrent with projected demand

**Justification:** *Acknowledged. The development proposes to tap the existing water main within Pinemount Boulevard to provide a 2" PE water service to the building.*

### **SANITARY SEWER FACILITY SUB ELEMENT**

**GOAL IV-2- ENSURE THE PROVISION OF PUBLIC SANITARY SEWER FACILITIES IN A TIMELY, ORDERLY EFFICIENT AND ENVIRONMENTALLY SOUND MANNER AT AN ACCEPTABLE LEVEL OF SERVICE FOR THE CITY'S POPULATION.**

**OBJECTIVE IV.3** The City shall coordinate the extension of or increase in the capacity of facilities by scheduling the completion of public sanitary sewer facility improvements concurrent with projected demand.

*Justification: Refer to the attached Capacity Concurrency Analysis demonstrating the proposed wastewater demand is within the limits of the level of service standards outlined in the Comprehensive Plan.*

### **SOLID WASTE FACILITY SUB ELEMENT**

**GOAL IV-3 - ENSURE THE PROVISION OF PUBLIC SOLID WASTE FACILITIES IN A TIMELY, ORDERLY EFFICIENT AND ENVIRONMENTALLY SOUND MANNER AT AN ACCEPTABLE LEVEL OF SERVICE FOR THE CITY'S POPULATION.**

**OBJECTIVE IV.4** The City shall continue to coordinate the extension of, or increase in the capacity of solid waste facilities by scheduling the completion of public facility improvements and requiring that they are concurrent with projected demand.

*Justification: The proposed development is anticipated to comply with the level of service standards outlined in the Comprehensive Plan.*

### **DRAINAGE FACILITY SUB ELEMENT**

**GOAL IV-4 - ENSURE THE PROVISION OF PUBLIC DRAINAGE FACILITIES IN A TIMELY, ORDERLY EFFICIENT AND ENVIRONMENTALLY SOUND MANNER AT AN ACCEPTABLE LEVEL OF SERVICE FOR THE CITY'S POPULATION.**

**OBJECTIVE IV.5** The City shall continue to coordinate the extension of, or increase in the capacity of drainage facilities by scheduling the completion of public facility improvements and requiring that they are concurrent with projected demand.

*Justification: Acknowledged. The proposed development is not anticipated to negatively impact existing public drainage facilities. An on-site stormwater management system is proposed to collect and attenuate stormwater runoff generated by the site.*

**Policy IV.5.2** The City shall prohibit the construction of structures or landscape alterations which would interrupt natural drainage flows, including sheet flow and flow to isolated wetland systems.

*Justification: The proposed development does not hinder natural drainage flows. The proposed on-site stormwater management system provides water quality treatment and attenuation prior to discharge into the shopping center's master drainage system. The proposed development does not impact or contain wetlands.*

**Policy IV.5.3** The City shall require a certification, by the preparer of the permit plans, that all construction activity undertaken shall incorporate erosion and sediment controls during construction.

**Justification: Acknowledged.**

### **POTABLE WATER FACILITY SUB ELEMENT**

**GOAL IV-5 - ENSURE THE PROVISION OF PUBLIC POTABLE WATER FACILITIES IN A TIMELY, ORDERLY EFFICIENT AND ENVIRONMENTALLY SOUND MANNER AT AN ACCEPTABLE LEVEL OF SERVICE IN ORDER TO PROVIDE A SAFE RELIABLE POTABLE WATER SYSTEM WITH THE ABILITY TO MEET PROJECT DEMANDS THROUGH THE YEAR 2032.**

**OBJECTIVE IV.6** The City shall continue to coordinate the extension of or increase in the capacity of potable water facilities by scheduling the completion of public facility improvements and requiring that they are concurrent with projected demand.

**Justification:** *Refer to the attached Capacity Concurrency Analysis demonstrating the proposed potable water demand is within the limits of the level of service standards outlined in the Comprehensive Plan.*

### **V. CONSERVATION ELEMENT**

**OBJECTIVE V.2** The City in order to protect the quality and quantity of current and projected water sources, hereby establishes a 500 foot wellfield protection area around community water system wells. In addition, the City in order to protect high ground water recharge areas shall limit development in these areas as specified in the high groundwater aquifer recharge protection policy of the Sanitary Sewer, Solid Waste, Drainage, Potable Water and Natural Groundwater Aquifer Recharge Element of this Comprehensive Plan.

**Justification:** *The subject property is not within the wellfield protection area, high ground water aquifer recharge area, and does not contain wetlands or other surface waters.*

**OBJECTIVE V.4** The City shall continue to include within the site and development plan approval process, provisions for the location and use of screens and buffers to preserve wildlife and wildlife habitats, the identification and protection of native wildlife and their habitats, including state and federally protected plant and animal species (endangered, threatened and species of special concern), within proposed development sites these natural resources from impacts of development by the use of the Florida Fish and Wildlife Conservation Commission Critical Wildlife Conservation Areas, Florida Natural Areas Inventory, and North Central Florida Strategic Regional Policy Plan Regionally Significant Natural Resources map series to identify habitats which potentially contain endangered, threatened or species of special concern, and rare or unique vegetative communities prior to granting development approval.

**Justification:** *Acknowledged. The site is not anticipated to contain state and federally protected plant and animal species.*

## **VI. RECREATION AND OPEN SPACE ELEMENT:**

***Justification: The proposed land use of self-service automotive fueling station does not qualify as a Recreation based facility; therefore, this element is not applicable.***

## **VII. INTERGOVERNMENTAL COORDINATION ELEMENT**

**GOAL VII** - ESTABLISH PROCESSES AMONG THE VARIOUS GOVERNMENTAL ENTITIES TO ACHIEVE COORDINATION OF COMPREHENSIVE PLANNING, ENSURE COMPATIBLE DEVELOPMENT, PROVIDE ADEQUATE PUBLIC SERVICES AND PROMOTE THE EFFICIENT USE OF AVAILABLE RESOURCES AMONG GOVERNMENTAL ENTITIES

***Justification: The proposed development is consistent with the assigned zoning designation of Commercial, Intensive (CI) and Future Land Use designation of Commercial.***

## **VIII. CAPITAL IMPROVEMENTS ELEMENT**

**GOAL VIII** - THE CITY SHALL ANNUALLY ADOPT AND IMPLEMENT A CAPITAL IMPROVEMENTS PROGRAM WHICH COORDINATES THE TIMING AND PRIORITIZES THE DELIVERY OF THE NEEDS ADDRESSED WITHIN THE OTHER ELEMENTS OF THIS COMPREHENSIVE PLAN.

**OBJECTIVE VIII.1** The City shall provide capital improvements to correct the existing and projected deficiencies as identified within the schedule of improvements and funding of this plan element, by adopting an annual capital improvements budget which is consistent with the schedule of improvements and funding.

**OBJECTIVE VIII.2** The City shall require that all decisions regarding the issuance of development orders and permits shall be consistent with the established level of service standards adopted for public facilities within the Comprehensive Plan.

**OBJECTIVE VIII.3** The City shall include subdivision improvement standards within the land development regulations which require that, the subdivider, at his or her expense, shall provide paved streets, install sidewalks, street name signs, street lights, curbs and gutters, install water mains and stormwater facilities and, where centralized sanitary sewer and potable water service is available, install sanitary sewer, water mains and fire hydrants connected to the mains.

***Justification: The property is an outparcel of an existing shopping center. Adequate public facilities are within the vicinity of the property to support the proposed development.***

## **IX. PUBLIC SCHOOL FACILITIES ELEMENT**

**GOAL IX.1** - IT IS THE GOAL OF THE CITY TO PROVIDE FOR THE FUTURE AVAILABILITY OF PUBLIC SCHOOL FACILITIES IN A MANNER CONSISTENT WITH ADOPTED LEVEL OF SERVICE STANDARDS. THIS GOAL SHALL BE ACCOMPLISHED IN ORDER TO PROVIDE ADEQUATE SCHOOL FACILITY CAPACITY, AS DETERMINED BY THE LEVEL OF SERVICE, ON A COUNTY-WIDE BASIS.

**GOAL IX.2** - IT IS THE GOAL OF THE CITY TO ESTABLISH A PROCESS FOR THE IMPLEMENTATION OF SCHOOL CONCURRENCY BY PROVIDING FOR CAPACITY DETERMINATION STANDARDS, AVAILABILITY STANDARDS, APPLICABILITY STANDARDS AND PROPORTIONATE SHARE MITIGATION.

***Justification: The proposed development does not have an impact on the capacity of public-school facilities as outlined in the Comprehensive Plan.***

We look forward to a favorable review by the City of Lake City Growth Management Department of this proposed Project.

Sincerely,

Dynamic Engineering Consultants, P.C.

Michael D. Miles, P.E.  
Regional Manager/ Senior Principal

September 15, 2025

City of Lake City-Growth Management Department  
 205 North Marion Ave  
 Lake City, FL 32055

**RE: Proposed Circle K  
 4706 W US Hwy 90  
 Lake City, FL 332055  
 Parcel No: 34-3S-16-02465-010  
 DECPG No.: 2451-24-03094**

### Concurrency Analysis

FACILITY TYPE	LEVEL OF SERVICE STANDARD PER THE LAKE CITY COMPREHENSIVE PLAN	BUILD CONDITIONS
<b>Traffic Circulation</b>	Refer to the Traffic Impact Analysis for Proposed Circle K Prepared by Dynamic Traffic dated June 2, 2025.	
<b>Potable Water</b>	50 pounds per square inch of volume	<p>650 GPD for a Service Station with 2 bathrooms          Peak demand = 4.06 GPM</p> <p>Note: Estimated demand per establishment is from section 64E-6.008 System Size Determinations Table I effective 7/16/2013. Peak Demand (PD) is calculated using:  <math display="block">PD = (GPD/T) \times 0.1 + IF</math>, from the section 64E-8.002 (4) Limited Use Public Water System Construction, where T= 16 hours and IF = 0</p>
<b>Sanitary Sewer</b>	135 gallons per capita per day	<p>650 GPD for a Service Station with 2 bathrooms          Peak demand = 4.06 GPM</p> <p>Note: Estimated demand per establishment is from section 64E-6.008 System Size Determinations Table I effective 7/16/2013. Peak Demand (PD) is calculated using:  <math display="block">PD = (GPD/T) \times 0.1 + IF</math>, from the section 64E-8.002 (4) Limited Use Public Water System Construction, where T= 16 hours and IF = 0</p>