

## GROWTH MANAGEMENT

205 North Marion Ave.  
Lake City, FL 32055  
Telephone: (386)719-5750  
E-Mail:  
growthmanagement@lcfra.com

## FOR PLANNING USE ONLY

Application # \_\_\_\_\_  
Application Fee \$200.00  
Receipt No. \_\_\_\_\_  
Filing Date \_\_\_\_\_  
Completeness Date \_\_\_\_\_

# Site Plan Application

## A. PROJECT INFORMATION

1. Project Name: CIRCLE K - LAKE CITY
2. Address of Subject Property: 4706 W US HWY 90, LAKE CITY, FLORIDA 32055
3. Parcel ID Number(s): 34-3S-16-02465-010
4. Future Land Use Map Designation: COMMERCIAL
5. Zoning Designation: COMMERICAL, INTENSIVE (CI)
6. Acreage: ±1.78
7. Existing Use of Property: AGRICULTURAL - OLIVE TREE FARM
8. Proposed use of Property: ±3,956 SF CONVENIENCE STORE & AUTOMOTIVE SELF-SERVICE STATION
9. Type of Development (Check All That Apply):  
☐ Increase of floor area to an existing structure: Total increase of square footage \_\_\_\_\_  
☒ New construction: Total square footage ±3,956  
☐ Relocation of an existing structure: Total square footage \_\_\_\_\_

## B. APPLICANT INFORMATION

1. Applicant Status ☐ Owner (title holder) ☒ Agent
2. Name of Applicant(s): MICHAEL D. MILES, P.E. Title: REGIONAL MANAGER/SENIOR PRINCIPAL  
Company name (if applicable): DYNAMIC ENGINEERING CONSULTANTS, PC  
Mailing Address: 100 NE 5TH AVE, SUITE B2  
City: DELRAY BEACH State: FLORIDA Zip: 33483  
Telephone: (561) 921-8570 Fax: (N/A) Email: MMILES@DYNAMICCEC.COM

**PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.**

3. If the applicant is agent for the property owner\*.  
Property Owner Name (title holder): HOWARD E. VAN ARSDALL, JR., TRUSTEE OF THE LITTLE POND FARM LAND TRUST DATED DECEMBER 1, 1999  
Mailing Address: 4411 SW VAN ARSDALL GLN  
City: LAKE CITY State: FLORIDA Zip: 32055  
Telephone: 386-288-8989 Fax: ( ) Email: jvanarsdall@gmail.com
4. Mortgage or Lender Information: ☐ Yes ☒ No  
Name of Mortgage or Lender: \_\_\_\_\_  
Contact Name: \_\_\_\_\_ Telephone Number: \_\_\_\_\_  
E-Mail Address: \_\_\_\_\_

*If property has a mortgage or lender, the mortgage or lender shall be required to provide a release for this application to proceed.*

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**\*Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**

### C. ADDITIONAL INFORMATION

1. Is there any additional contract for the sale of, or options to purchase, the subject property?  
If yes, list the names of all parties involved: \_\_\_\_\_  
If yes, is the contract/option contingent or absolute: ☐ Contingent ☐ Absolute
2. Has a previous application been made on all or part of the subject property? ☐ Yes ☒ No
3. Future Land Use Map Amendment: ☐ Yes \_\_\_\_\_ ☒ No \_\_\_\_\_  
Future Land Use Map Amendment Application No. \_\_\_\_\_  
Site Specific Amendment to the Official Zoning Atlas (Rezoning): ☐ Yes \_\_\_\_\_ ☒ No \_\_\_\_\_  
Site-Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. \_\_\_\_\_  
Variance: ☐ Yes \_\_\_\_\_ ☒ No \_\_\_\_\_  
Variance Application No. N/A  
Special Exception: ☐ Yes \_\_\_\_\_ ☒ No \_\_\_\_\_  
Special Exception Application No. N/A

### D. ATTACHMENT/SUBMITTAL REQUIREMENTS

1. **Vicinity Map** – Indicating general location of the site, abutting streets, existing utilities, complete legal description of the property in question, and adjacent land use.
2. **Site Plan** – Including, but not limited to the following:
  - a. Name, location, owner, and designer of the proposed development.
  - b. Present zoning for subject site.
  - c. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties and any screening or buffers on such properties.
  - d. Date, north arrow, and graphic scale not less than one inch equal to 50 feet.
  - e. Area and dimensions of site (Survey).
  - f. Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.
  - g. Access to utilities and points of utility hook-up.
  - h. Location and dimensions of all existing and proposed parking areas and loading areas.
  - i. Location, size, and design of proposed landscaped areas (including existing trees and required landscaped buffer areas).
  - j. Location and size of any lakes, ponds, canals, or other waters and waterways.
  - k. Structures and major features fully dimensioned including setbacks, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and percent of property covered by structures.
  - l. Location of trash receptacles.
  - m. For multiple-family, hotel, motel, and mobile home park site plans:
    - i. Tabulation of gross acreage.
    - ii. Tabulation of density.
    - iii. Number of dwelling units proposed.
    - iv. Location and percent of total open space and recreation areas.
    - v. Percent of lot covered by buildings.



- vi. Floor area of dwelling units.
- vii. Number of proposed parking spaces.
- viii. Street layout.
- ix. Layout of mobile home stands (for mobile home parks only).

3. **Stormwater Management Plan**—Including the following:
  - a. Existing contours at one-foot intervals based on U.S. Coast and Geodetic Datum.
  - b. Proposed finished elevation of each building site and first floor level.
  - c. Existing and proposed stormwater management facilities with size and grades.
  - d. Proposed orderly disposal of surface water runoff.
  - e. Centerline elevations along adjacent streets.
  - f. Water management district surface water management permit.
4. **Fire Department Access and Water Supply Plan:** The Fire Department Access and Water Supply Plan must demonstrate compliance with Chapter 18 of the Florida Fire Prevention Code, be located on a separate signed and sealed plan sheet, and must be prepared by a professional fire engineer licensed in the State of Florida. The Fire Department Access and Water Supply Plan must contain fire flow calculations in accordance with the Guide for Determination of Required Fire Flow, latest edition, as published by the Insurance Service Office ("ISO") and/or Chapter 18, Section 18.4 of the Florida Fire Prevention Code, whichever is greater.
5. **Mobility Plan:** Mobility plan shall include accessibility plan for ADA compliance, safe and convenient onsite traffic flow, and accessibility plan for bicycle and pedestrian safety. The City shall require additional right of way width for bicycle and pedestrian ways to be provided for all proposed collector and arterial roadways, as integrated or parallel transportation facilities per Policy II.1.4 of the Comprehensive Plan.
6. **Concurrency Impact Analysis:** Concurrency Impact Analysis of impacts to public facilities. For commercial and industrial developments, an analysis of the impacts to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts are required.
7. **Comprehensive Plan Consistency Analysis:** An analysis of the application's consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies).
8. **Legal Description with Tax Parcel Number** (In Word Format).
9. **Proof of Ownership** (i.e. deed).
10. **Agent Authorization Form** (signed and notarized).
11. **Proof of Payment of Taxes** (can be obtained online via the Columbia County Tax Collector's

## NOTICE TO APPLICANT

All eleven (13) attachments listed above are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

A total of eight (2) copies of proposed site plan application and all support materials must be submitted along with a PDF copy on a CD. See City of Lake City submittal guidelines for additional submittal requirements.

**THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES, OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.**

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

MICHAEL D. MILES, P.E.

Applicant/Agent Name (Type or Print)



Applicant/Agent Signature

9/15/25

Date

Applicant/Agent Name (Type or Print)

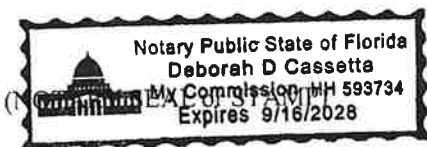
\_\_\_\_\_

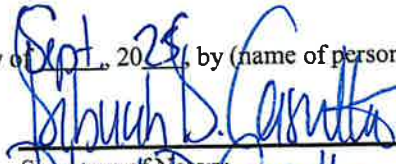
Applicant/Agent Signature

Date

STATE OF FLORIDA  
COUNTY OF \_\_\_\_\_

The foregoing instrument was acknowledged before me this 15<sup>th</sup> day of Sept., 2025, by (name of person acknowledging).



  
Signature of Notary

Deborah D. Cassetta  
Printed Name of Notary

Personally, Known \_\_\_\_\_ OR Produced Identification \_\_\_\_\_ OR verified on-line virtually \_\_\_\_\_  
Type of Identification Produced



Office).

12. **Fee:** The application fee for a Site and Development Plan Application is \$200.00. No application shall be accepted or processed until the required application fee has been paid
13. **Notices:** All property owners within three hundred (300) feet must be notified by certified mail by the proponent and proof of the receipt of these notices must be submitted as part of the application package submittal.  
The Growth Management Department shall supply the name and addresses of the property owners, The notification letters, and the envelopes to the proponent.

**ACKNOWLEDGEMENT, SIGNATURES, AND NOTORY ON FOLLOWING PAGE**



REFERENCED TITLE COMMITMENT:

AS TO COMMITMENT FOR TITLE INSURANCE ISSUED BY CHICAGO TITLE INSURANCE COMPANY FILE NO.: 40250034RE, COMMITMENT NO. 12221525, DATED 01/27/2025AT 07:30 AM, REVISION NO.: 1

LEGAL DESCRIPTION:

A PARCEL OF LAND IN SECTION 34, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 34 AND RUN S.89°44'18"E. ALONG THE NORTH LINE OF SAID SOUTHWEST 1/4 A DISTANCE OF 52.25 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF SW PINEMOUNT ROAD AND THE POINT OF BEGINNING; THENCE N.06°27'13"E. ALONG SAID EASTERLY RIGHT-OF-WAY LINE 87.46 FEET; THENCE N.36°26'27"E. STILL ALONG SAID EASTERLY RIGHT-OF-WAY LINE 78.65 FEET TO ITS INTERSECTION WITH THE SOUTHERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 90; THENCE S.64°10'35"E. ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE 388.48 FEET; THENCE S.25°52'08"W. 236.38 FEET; THENCE N.64°10'35"W. PARALLEL TO THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID U.S. HIGHWAY NO. 90 A DISTANCE OF 346.85 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF SW PINEMOUNT ROAD; THENCE N.06°27'13"E. ALONG SAID EASTERLY RIGHT-OF-WAY LINE 81.17 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT LANDS CONVEYED IN SPECIAL WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK1490, PAGE 1035.

TOGETHER WITH THOSE APPURTENANT EASEMENTS AS SET FORTH IN THE AGREEMENT REGARDING EASEMENTS, COVENANTS AND RESTRICTIONS RECORDED IN OFFICIAL RECORDS BOOK 1149, PAGE 2226, AND AS AMENDED BY FIRST AMENDMENT TO AGREEMENT REGARDING EASEMENTS, COVENANTS AND RESTRICTIONS RECORDED IN OFFICIAL RECORDS BOOK 1490, PAGE 1023, OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

SURVEYOR'S NOTES:

- BEARINGS SHOWN ARE REFERENCED TO NORTH AMERICAN DATUM OF 1983, WITH THE EAST RIGHT-OF-WAY LINE OF SW PINEMOUNT ROAD HAVING AN OBSERVED BEARING OF N05°18'59"E (N06°27'13"E PER DEEDED LEGAL DESCRIPTION). ALL OTHER BEARINGS ARE RELATIVE THEREUNTO.
- ELEVATIONS SHOWN ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK USED: FDOT BENCHMARK "2901016 BM1", ELEV.=158.61'
- ALL COORDINATES AND DIMENSIONS ARE CALCULATED, WITH UNITS IN U.S. SURVEY FEET (12 METERS = 39.37 FEET), UNLESS SHOWN OTHERWISE.
- ONLY PERMANENT ABOVE GROUND IMPROVEMENTS LOCATED BY THIS FIRM. ANY UNDERGROUND UTILITIES SHOWN HEREON ARE PAINTED MARKINGS VISIBLE IN THE FIELD AT THE TIME OF SURVEY. THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED WITHOUT PHYSICAL EXCAVATION, NO GUARANTEE IS MADE AS TO THE CORRECTNESS OR COMPLETENESS OF UNDERGROUND FEATURES SHOWN. ALWAYS CALL 811 BEFORE DIGGING.
- NO PHYSICAL EVIDENCE OF LAND USE INDICATING A CEMETERY, WASTE DUMP, LANDFILL, RECENT EARTHWORK CONSTRUCTION OR BUILDING ADDITIONS WERE OBSERVED ON PREMISES AT THE TIME OF FIELDWORK OTHER THAN SHOWN HEREON.
- NO EVIDENCE OF PROPOSED CHANGES IN STREET RIGHT OF WAY LINES WAS MADE AVAILABLE TO THIS FIRM, AND NO EVIDENCE OF RECENT STREET CONSTRUCTION WERE OBSERVED AT THE TIME OF FIELDWORK.
- NO TITLE SEARCH WAS PERFORMED BY THIS FIRM. NO GUARANTEE IS MADE AS TO COMPLETENESS OF TITLE SEARCH PROVIDED BY OTHERS. PROPERTY MAY BE SUBJECT TO EASEMENTS RESTRICTIONS, RESERVATIONS AND RIGHT OF WAY RECORDS IF AN INCOMPLETE SEARCH WAS PROVIDED.
- SUBJECT PROPERTY SHOWN ON THIS SURVEY IS ONE AND THE SAME AS THAT DESCRIBED IN THE REFERENCED TITLE COMMITMENT AND LEGAL DESCRIPTION SHOWN HEREON.
- SUBJECT PROPERTY IS CONTIGUOUS, WITH NO GAPS OR GORES DISCOVERED DURING THE COURSE OF THIS SURVEY.
- ALL RECORDING INFORMATION SHOWN HEREON IS IN REFERENCE TO THE PUBLIC RECORDS OF THE COUNTY IN WHICH THE SUBJECT PROPERTY IS LOCATED, UNLESS NOTED OTHERWISE.
- PROPERTY IS ACCESSED DIRECTLY BY WAY OF THE PUBLIC RIGHT OF WAY OF SW PINEMOUNT ROAD AND US HWY 90 AS SHOWN, AND INDIRECTLY BY WAY OF ACCESS EASEMENTS DEPICTED GRAPHICALLY IN OR 1149, PG 2226, OR 1490, PG 1023, AND OR 1534, PG 393
- ACCURACY OF SURVEY CONTROL VERIFIED BY REDUNDANT MEASUREMENTS EXCEEDS THAT OF COMMERCIAL/HIGH RISK LINEAR (1 FOOT IN 10,000 FEET), AS PER FLORIDA RULE 5J-17.051.
- THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1:240 OR SMALLER
- NO ZONING REPORT LETTER WAS SUPPLIED TO THIS FIRM. ZONING INFORMATION MAY BE ADDED TO SURVEY ONCE IT IS RECEIVED.
- TREE IDENTIFICATIONS SHOWN HEREON ARE TO BEST OF FIELD SURVEYOR'S ABILITY, AND SHOULD BE FIELD VERIFIED BY AN APPROPRIATELY LICENSED PROFESSIONAL WHERE NECESSARY.
- UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON A PRIVATE UTILITY LOCATE MAPPED AND PROVIDED BY OTHERS, ADDED TO SURVEY AT REQUEST OF CLIENT. THIS FIRM MAKES NO GUARANTEES AS TO COMPLETENESS OF CORRECTNESS OR MARKINGS.
- THE SUBJECT PROPERTY, AS SURVEYED, IS ONE AND THE SAME AS THE PROPERTY DESCRIBED IN THE VESTING DEED (OR BOOK 1422, PG 2582), LESS AND EXCEPT THE PROPERTY PREVIOUSLY CONVEYED IN OR BOOK 1490, PG 1035.

SCHEDULE B-II ITEMS

AS TO REFERENCED TITLE COMMITMENT

#	DESCRIPTION	NOTES
1	DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY, CREATED, FIRST APPEARING IN THE PUBLIC RECORDS OR ATTACHING SUBSEQUENT TO THE EFFECTIVE DATE HEREOF BUT PRIOR TO THE DATE THE PROPOSED INSURED ACQUIRES FOR VALUE OF RECORD THE ESTATE OR INTEREST OR MORTGAGE THEREON COVERED BY THIS FORM.	NSR; NP
2	TAXES AND ASSESSMENTS FOR THE YEAR 2025 AND SUBSEQUENT YEARS, WHICH ARE NOT YET DUE AND PAYABLE.	NSR; NP
3	STANDARD EXCEPTIONS:	
a.	ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION, OR ADVERSE CIRCUMSTANCE AFFECTING THE TITLE THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND.	NOTSH
b.	RIGHTS OR CLAIMS OF PARTIES IN POSSESSION NOT SHOWN BY THE PUBLIC RECORDS.	NOTSH
c.	ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR, OR MATERIALS HERETOFORE OR HEREAFTER FURNISHED, IMPOSED BY LAW AND NOT SHOWN BY THE PUBLIC RECORDS.	NSR; NP
d.	TAXES OR ASSESSMENTS WHICH ARE NOT SHOWN AS EXISTING LIENS IN THE PUBLIC RECORDS.	NSR; NP
4	ANY CLAIM THAT ANY PORTION OF THE INSURED LAND IS SOVEREIGN LANDS OF THE STATE OF FLORIDA, INCLUDING SUBMERGED, FILLED OR ARTIFICIALLY EXPOSED LANDS ACCRETED TO SUCH LAND.	NOTSH
5	ANY LIEN PROVIDED BY COUNTY ORDINANCE OR BY CHAPTER 159, FLORIDA STATUTES, IN FAVOR OF ANY CITY, TOWN, VILLAGE OR PORT AUTHORITY FOR UNPAID SERVICE CHARGES FOR SERVICE BY ANY WATER, SEWER OR GAS SYSTEM SUPPLYING THE INSURED LAND.	NSR; NP
6	UTILITY EASEMENT IN FAVOR OF LAKE CITY RECORDED IN OFFICIAL RECORDS BOOK 1065, PAGE 67.	APAS
7	TERMS, CONDITIONS, EASEMENT(S), COVENANTS, RESTRICTIONS AND RESERVATIONS AS CONTAINED IN THE DECLARATION OF EASEMENTS, RESTRICTIONS AND MAINTENANCE RESPONSIBILITIES RECORDED IN OFFICIAL RECORDS BOOK 1149, PAGE 2196.	DNA; NP
8	TERMS AND CONDITIONS AS SET FORTH IN THE AGREEMENT REGARDING EASEMENTS, COVENANTS AND RESTRICTIONS RECORDED IN OFFICIAL RECORDS BOOK 1149, PAGE 2226, TOGETHER WITH FIRST AMENDMENT AGREEMENT REGARDING EASEMENTS, COVENANTS AND RESTRICTIONS RECORDED IN OFFICIAL RECORDS BOOK 1490, PAGE 1023, AND SECOND AMENDMENT AGREEMENT REGARDING EASEMENTS, COVENANTS AND RESTRICTIONS RECORDED IN OFFICIAL RECORDS BOOK 1534, PAGE 393.	AIG; NP
9	RIGHTS OF TENANT(S) IN POSSESSION, IF ANY, UNDER LEASE(S) NOT RECORDED IN THE PUBLIC RECORDS.	NSR; NP
	ABBREVIATIONS LEGEND	
NSR	NON SURVEY RELATED ITEM	
APAS	AFFECTS PROPERTY AS SHOWN	
AIG	AFFECTS PROPERTY IN GENERAL	
NP	NO PLOTTABLE DATA, OR NOTHING PLOTTED	
DNA	DOES NOT AFFECT SUBJECT PROPERTY	
NOTSH	NONE, OTHER THAN SHOWN HEREON	

LEGAL DESCRIPTION (AS SURVEYED):

A PARCEL OF LAND IN SECTION 34, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 34 AND RUN S.89°07'28"E. ALONG THE NORTH LINE OF SAID SOUTHWEST 1/4 A DISTANCE OF 52.25 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF SW PINEMOUNT ROAD, BEING THE BASIS OF BEARINGS FOR THIS LEGAL DESCRIPTION, AS OBSERVED IN THE FIELD, AND THE POINT OF BEGINNING; THENCE N.05°18'59"E. ALONG SAID EASTERLY RIGHT-OF-WAY LINE 87.46 FEET; THENCE N.35°18'13"E. STILL ALONG SAID EASTERLY RIGHT-OF-WAY LINE 78.65 FEET TO ITS INTERSECTION WITH THE SOUTHERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 90; THENCE S.65°18'49"E. ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE 341.69 FEET; THENCE S.27°46'32"W. 236.72 FEET; THENCE N.65°18'49"W. PARALLEL TO THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID U.S. HIGHWAY NO. 90 A DISTANCE OF 287.50 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF SW PINEMOUNT ROAD; THENCE N.05°18'49"E. ALONG SAID EASTERLY RIGHT-OF-WAY LINE 81.17 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH THOSE APPURTENANT EASEMENTS AS SET FORTH IN THE AGREEMENT REGARDING EASEMENTS, COVENANTS AND RESTRICTIONS RECORDED IN OFFICIAL RECORDS BOOK 1149, PAGE 2226, AND AS AMENDED BY FIRST AMENDMENT TO AGREEMENT REGARDING EASEMENTS, COVENANTS AND RESTRICTIONS RECORDED IN OFFICIAL RECORDS BOOK 1490, PAGE 1023, OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

LAND TABULATIONS:

PROPERTY AREA: 1.783 ACRES±

FEMA FLOOD ZONE DETERMINATION

FLOOD ZONE "X"  
PANEL # 12023C 0290D  
EFFECTIVE 11/02/2018  
COMMUNITY # 120406- CITY OF LAKE CITY

ADDITIONAL INFORMATION

STREET ADDRESS  
4706 W U.S. HIGHWAY 90  
LAKE CITY, FL 32055  
PARCEL NUMBER  
34-3S-16-02465-010

ABBREVIATIONS LEGEND

POC = POINT OF COMMENCEMENT  
POB = POINT OF BEGINNING  
IP = IRON PIPE  
IR4 = 1/2" IRON ROD (#4 REBAR)  
IR5 = 5/8" IRON ROD (#5 REBAR)  
OM = CONCRETE MONUMENT  
PK = PARKER-KALON NAIL  
MAG = MAGNETIC NAIL  
FND = FOUND  
O/S = OFFSET  
TYP = TYPICAL  
PRM = PERMANENT REFERENCE MONUMENT  
PCP = PERMANENT CONTROL POINT  
BM = BENCHMARK  
EL OR ELEV = ELEVATION  
FFE = FINISHED FLOOR ELEVATION  
SF = SQUARE FEET  
AC = ACRES  
FNC = FENCE  
CLF = CHAIN LINK FENCE  
EOW = EDGE OF WATER  
UE = UTILITY EASEMENT  
CATV OR TV= CABLE TELEVISION  
ATT = AMERICAN TELEPHONE AND TELEGRAPH  
FP&L = FLORIDA POWER AND LIGHT COMPANY  
FDOT = FLORIDA DEPARTMENT OF TRANSPORTATION  
CBS = CONCRETE BLOCK CONSTRUCTION  
S/T = SEPTIC TANK  
D/F = DRAINFIELD  
PP = POWERPOLE  
WUP = WOOD UTILITY POLE  
O/H = OVERHEAD WIRE(S)  
MH = MANHOLE  
CB = CATCH BASIN  
F/H OR HYD= FIRE HYDRANT  
WM = WATER METER  
EOP = EDGE OF PAVEMENT  
BOC = BACK OF CURB  
R/W = RIGHT OF WAY  
R/R = RAILROAD  
C/L OR CL = CENTERLINE  
P/L OR PL = PROPERTY LINE  
(P) = PLAT DATA  
(L) = LEGAL DESCRIPTION DATA  
(M) = MEASURED DATA  
(C) = CALCULATED DATA  
(FDOT) = F.D.O.T. R/W MAP DATA  
SEC = SECTION  
TWP = TOWNSHIP  
RGE = RANGE  
R = RADIUS  
L = LENGTH  
Δ = CENTRAL ANGLE  
CHD = CHORD  
CBG = CHORD BEARING  
NR = NON-RADIAL  
PT = POINT OF TANGENCY  
PC = POINT OF CURVATURE  
PRC = POINT OF REVERSE CURVATURE  
PCC = POINT OF COMPOUND CURVATURE  
STA = STATION  
FB = FIELDBOOK  
PLB = PLAT BOOK  
OR = OFFICIAL RECORDS BOOK  
PG = PAGE  
PSM = PROFESSIONAL SURVEYOR AND MAPPER  
LB = PROFESSIONAL SURVEYING AND MAPPING BUSINESS  
ADA = AMERICANS WITH DISABILITIES ACT  
F.I.N.D. = FLORIDA INLAND NAVIGATIONAL DISTRICT  
GIS = GEOGRAPHIC INFORMATION SYSTEM

SYMBOLS LEGEND

⊞ = METAL UTILITY POLE  
⊞ = WOOD UTILITY POLE  
⊞ = CONC UTILITY POLE  
⊞ = LIGHT POLE  
⊞ = GUY WIRE ANCHOR  
⊞ = FIRE DEPARTMENT CONNECTION  
⊞ = FIRE HYDRANT  
⊞ = WATER VALVE  
⊞ = WATER METER  
⊞ = RECLAIMED WATER VALVE  
⊞ = BACKFLOW PREVENTER VALVE  
⊞ = DOUBLE DETECTOR CHECK VALVE  
⊞ = WIRE PULL BOX  
⊞ = SEWER VALVE  
⊞ = SEWER MANHOLE  
⊞ = DRAINAGE MANHOLE  
⊞ = DISABLED PARKING  
⊞ = TRAFFIC DIRECTION  
⊞ = SPOT ELEVATION  
⊞ = TRAFFIC SIGNAL BOX  
⊞ = FIBER OPTIC POST  
⊞ = OVERHEAD WIRES  
⊞ = BURIED ELECTRIC  
⊞ = TELEPHONE  
⊞ = FIBER OPTIC  
⊞ = GAS  
⊞ = SANITARY SEWER  
⊞ = STORM SEWER  
⊞ = WATER  
⊞ = UNKNOWN

TREE ABBREVIATIONS

⊞ = DIAMETER AT BREAST HEIGHT(INCHES)  
CP = CABBAGE PALM  
OAK = OAK TREE  
FIG = STRANGLER FIG  
FIC = FICUS  
GL = GUMBO LIMBO  
MAGN = MAGNOLIA  
CYP = CYPRRESS  
UNK = UNKNOWN TREE  
⊞ = COMMON TREE TYPES  
⊞ = SPECIMEN TREE  
⊞ = PINE TREE  
⊞ = CABBAGE PALM  
⊞ = OTHER PALM  
⊞ = TREE CLUSTER

SURVEYOR'S CERTIFICATION:

- TO:  
1. HIX SNEDEKER COMPANIES, LLC, AN ALABAMA LIMITED LIABILITY COMPANY  
2. CIRCLE K STORES INC.  
3. FLORIDA COMMERCIAL TITLE SERVICES  
4. CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6A, 6B, 7A, 7B, 8, 9, 13, 14, 16, 17, 18, 19 OF TABLE A THEREOF.  
THE FIELDWORK WAS COMPLETED ON 06/17/2025.  
DATE OF PLAT OR MAP: 07/18/2025.

WILLIAM J WRIGHT, PhD, PSM  
LICENSE NO. 6868, STATE OF FLORIDA  
ELECTRONIC VERSION SIGNED AND SEALED BY WILLIAM J WRIGHT, P.S.M.,  
ON DATE SHOWN, USING AN SHA-1 AUTHENTICATION CODE.  
THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.  
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PREPARED FOR:  
HIX SNEDEKER COMPANIES, LLC.  
AUGUST 2025

SCALE: 1" = 500'  
SECTION 34, TOWNSHIP 3S, RANGE 16E

**GEOTECHNICAL ENGINEER:**  
DYNAMIC EARTH, LLP  
100 NE 5TH AVE, SUITE A1  
DELRAY BEACH, FL 33483  
(561) 921-8570  
CONTACT: PATRICK GRANITZKI, P.E.

**LAKE CITY UTILITIES:**  
692 SW ST. MARGARETS STREET  
LAKE CITY, FL 32025  
(386) 719-5786  
CONTACT: SHASTA PELHAM, UTILITY SERVICE  
COORDINATOR

<b>DRAWING INDEX</b>	
C1.00	COVER SHEET
C1.01 - C1.02	GENERAL NOTES
C1.00	SITE PLAN
C1.01	SITE DETAILS
C1.02	VEHICLE CIRCULATION PLAN (PAGE)
C1.03	VEHICLE CIRCULATION PLAN (DET)
C1.00	DEMOLITION & EROSION CONTROL, PHASE I
C2.01	EROSION CONTROL PHASE II
C2.00 - C2.03	EROSION CONTROL
C3.00	PAVING, GRADING, & DRAINAGE PLAN
C3.01 - C3.02	PAVING, GRADING, & DRAINAGE DETAILS
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<b>NOTES BY OTHERS</b>	
10-1	NOT DISPOSITION PLAN
10-2	NOT DISPOSITION NOTES & DETAILS
10-3	LANDSCAPE PLAN
10-4	LANDSCAPE NOTES & DETAILS

[illegible]

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Model	Model 200	Model 200	Model 200
Model 200	Model 200	Model 200	Model 200

[illegible]

PROJECT: HIX SNEDEKER COMPANIES, LLC  
BROOKS BLVD STATION AND CONVENIENCE STORE

PROPOSED FULL SERVICE AND CONVENIENCE STORE  
PARCEL ID: 34-35-16-02465-010  
4706 WEST US HIGHWAY 90  
LAKE CITY, COLUMBIA COUNTY, FLORIDA 32066

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 Miles, P.E. on the  
 date adjacent to the  
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 ENGINEER  
 2025 08 15  
 17:57:52-04'00"

ÁNGEL PIÑERO

PROFESSIONAL ENGINEER  
FLORIDA LICENSE No. 88047  
DATE:

TITLE:  
COVER SHEET

SCALE: (H) AS (M) NOTED	DATE: 08/05/25
PROJECT No: 2451-24-03094	

SHEET No. **C0.00**

Tel: 09/15/25 = 5:32 PM, By: minnerman, Product Var: 25.0  
File: P:\DECPC PROJ\CTS\2451 Hix Seedstar\24-03094 CR Lake City = 4708 W Hwy 90'Dwg\Plan Sheets\024512403094SKO.dwg, ----> COVER SHEET

Product Ver: 25.0  
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004 CK

man, 24-03

szimmer  
vedekar

By: H&K

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PROJECT09/15/  
DECPCPlotted:   
File: P:\

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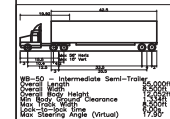
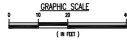








**EMOUI**  
(COUNTY ROAD 252)  
VARIABLE WIDTH PUBLIC R/W  
(7607 R/W MAP SECTION 28010)  
PAVED ROAD  
SPEED LIMIT 40



CHASSIS ENVELOPE

VEHICLE BODY ENVELOPE

[illegible]

100




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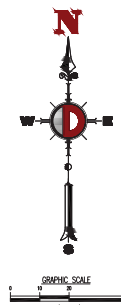
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[illegible]


1. SEDIMENT BINS, STOCK PILES, FIRST FILLER BINS, SEDIMENT BARRIERS AND OTHER MEASURES REQUIRED TO PREVENT SEDIMENT FROM BEING CONVEYED TO A FRESH WATER BODY OR LAND DESTROYING ACTIVITY SHALL BE MAINTAINED THROUGHOUT THE PROJECT.
2. ALL SEDIMENT CONTROL MEASURES MUST BE ADJUSTED TO MAINTAIN FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSIDERED THROUGHOUT TO ANY CHANGES OR DISBURSING OF EXISTING SURFACE WATER, ON-BLADE OF SITE, OR OFF-BLADE OF SITE. SEDIMENT CONTROL MEASURES ARE TO BE UP-DATED THROUGHOUT THE PROJECT TO MAINTAIN THE SAME.
3. FURNISHING OF TEMPORARY SLOPE PROTECTION SHALL BE REQUIRED TO REMAIN AS LONG AS WITHIN SEVEN (7) DAYS AFTER EACH FILL OR EXCAVATION OPERATION. TEMPORARY SLOPE PROTECTION SHALL BE MAINTAINED THROUGHOUT THE PROJECT UNTIL PERMANENT SLOPE PROTECTION IS IN PLACE. TEMPORARY SLOPE PROTECTION SHALL BE DESIGNED TO PREVENT EROSION OF THE EXPOSED SLOPE.
4. DURING CONSTRUCTION OF THE PROJECT, STOCK PILES SHALL BE STABILIZED, COVERED OR CONFINED WITH SEDIMENT TRAPPING MEASURES. THE APPROVAL OF A REGISTERED PROFESSIONAL ENGINEER SHALL BE REQUIRED FOR TEMPORARY STABILIZATION OF STOCK PILES.
5. A PERMANENT VEGETATION COVER SHALL BE ESTABLISHED ON EXCAVED AREAS NOT OTHERWISE PERMANENTLY STABILIZED.
6. AT ANY TIME CONSTRUCTION, SEDIMENT CONTROL STRUCTURES MUST BE INSPECTED FOR INTEGRITY. ANY DAMAGED STRUCTURES SHALL BE CORRECTED IMMEDIATELY.
7. CONCENTRATED RAINFALL MUST NOT FLOW DOWN OR OFF FILL AREAS CONTAINED WITHIN AN EXCAVATION OR FURNISHING OF TEMPORARY PROTECTION. FLUME, LAKE, POND OR CONFINEMENT OF APPROVED CONSTRUCTION.
8. ALL EXCAVATION AND FILL AREAS SHALL BE PROTECTED FROM EROSION. SEDIMENT BARRIERS, ALL EXISTING WATER BARRIERS THAT ARE NOT DEPENDABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LOADED WATER CANNOT OVER THE CONTRACTING SURFACE WITHOUT FIRST BEING RELEASED OR OTHERWISE RELEASED TO A FRESH WATER BODY.
9. BARRIERS WITH A LIFE EXPECTANCY OF FIVE MONTHS, INCLUDING REPAIRS, SHALL BE MAINTAINED THROUGHOUT THE PROJECT. SEDIMENT BARRIERS AND CHANNELS SHALL BE MAINTAINED THROUGHOUT THE PROJECT.
10. PERSONNEL RESPONSIBILITY AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE REMEDIATION PROGRESS IS ACCOMPLISHED. THE ACCESSORIES OWNED AND ALL CONSTRUCTION SHALL BE CONSIDERED FOR PROTECTION OF THE SEDIMENT CONTROL STRUCTURES. SEDIMENT CONTROL SHALL BE A MAJOR CONSTRUCTION OF THE USE OF EACH WORKING DAY.
11. WHERE CONSTRUCTION ACTIVITIES EXCEEDS INTEREST PUBLIC PLACE, ROADS, PROXIMITY SHALL BE MAINTAINED THE TRANSPORT OF SEDIMENT BY THROUGHOUT THE PROJECT. WHERE SEDIMENT IS TRANSPORTED INTO A FRESH WATER BODY OR LAND DESTROYING ACTIVITY, THE TRANSPORT OF SEDIMENT SHALL BE STOPPED. THE USE OF FILL OR EXCAVATION SHALL BE STOPPED. SEDIMENT SHALL BE REMOVED FROM THE SHOULDER OF HIGHWAYS AND TRAILWAYS AND TRANSPORTED TO A PERMANENT CONFINEMENT OR FURNISHING OF TEMPORARY PROTECTION SHALL BE REQUIRED TO REMAIN AS LONG AS WITHIN SEVEN (7) DAYS AFTER EACH FILL OR EXCAVATION OPERATION. TEMPORARY SLOPE PROTECTION SHALL BE MAINTAINED THROUGHOUT THE PROJECT UNTIL PERMANENT SLOPE PROTECTION IS IN PLACE.
12. ALL TEMPORARY DRAINAGE AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FILL, FILL OR EXCAVATION OPERATION IS COMPLETED. TEMPORARY SLOPE PROTECTION SHALL BE MAINTAINED THROUGHOUT THE PROJECT.
13. PROPERTIES AND INTERESTS CONFINED FROM CONSTRUCTION SITES SHALL BE PROTECTED FROM SEDIMENT TRANSPORT AND EROSION AT ALL TIMES DURING CONSTRUCTION.
14. CONSTRUCTION IS REQUIRED TO MAINTAIN SURFACE WATER DISCHARGES, RUNOFF DRAIN OR EXISTING ACTIVITIES.
15. CONSTRUCTION MUST BE RESPONSIBLE FOR ALL DISCHARGES TO EXISTING FRESH WATER QUALITY AND DISCHARGE.
16. THE POLLUTION PREVENTION PLAN OF A MAJOR DISCHARGE, SUCH AS DISCHARGES, MUST BE MAINTAINED AT CONSTRUCTION SITES.
17. NO FILL SHALL BE POURED ON SITE.
18. SEDIMENTATION ACTIVITIES:
  - a. EXCAVATION MUST NOT EXCEED EXISTING WATER QUALITY STANDARDS.
  - b. EXCAVATION MUST NOT EXCEED EXISTING WATER QUALITY STANDARDS.
  - c. EXCAVATION MUST NOT EXCEED EXISTING WATER QUALITY STANDARDS.
  - d. EXCAVATION MUST NOT EXCEED EXISTING WATER QUALITY STANDARDS.

**CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS WITHIN LIMITS OF DISTURBANCE IN ACCORDANCE WITH LAKE CITY REQUIREMENTS AND APPROVED TREE DISPOSITION PLAN.**

### **LEGEND**

— LOD —	- PROP. LIMIT OF DISTURBANCE
— SF — SF —	- PROP. SILT FENCE
— SO —	- PROP. SILT DWE
	- PROP. STABILIZED CONSTRUCTION ENTRANCE
	- PROP. CONCRETE WASHOUT
	- EXISTING IMPROVEMENTS TO BE REMOVED UNLESS OTHERWISE NOTED
	- PROP. INLET PROTECTION FILTER


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		BY _____	
		REV. _____	
		DATE _____	
		COMMENTS _____	

THESE PLANS SET BY YOUR REPRESENTATIVE SUBJECT TO THE FOLLOWING CONDITIONS: 1. OWNER SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.			
DRAWN BY: _____ CHECKED BY: _____ DATE: _____	DESIGNED BY: _____ DATE: _____	PROJECT: <b>UXY SNEDEKER COMPANIES, LLC</b> PROJECTED USE: <b>STATIONARY AND COMBUSTION STOVE</b> PARCEL ID: <b>15-35-16-02465-010</b> COUNTY: <b>CLAY</b> CITY: <b>LAKE CITY, COLUMBIA COUNTY, FLORIDA 32066</b>	

		PROTECT YOURSELF <small>CALL 811 BEFORE YOU DIG. IT'S THE EASY WAY TO FIND OUT WHERE UTILITIES ARE LOCATED. IT'S THE EASY WAY TO AVOID COSTLY DAMAGES AND INJURY.</small>	
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<b>MICHAEL D. MILES</b>	
_____ PROFESSIONAL ENGINEER FLORIDA LICENSE NO. 91313 DATE: _____	

<b>ÁNGEL PIÑERO</b>	
_____ PROFESSIONAL ENGINEER FLORIDA LICENSE NO. 86047 DATE: _____	

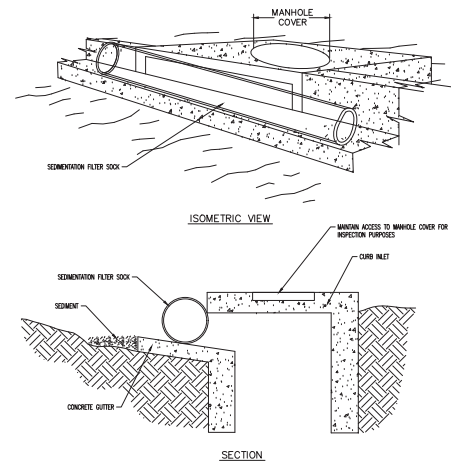
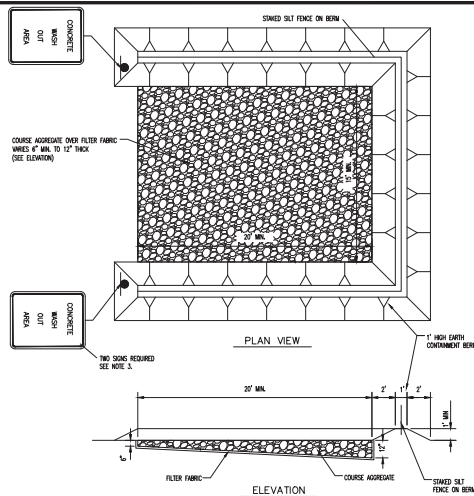
  

<b>TITLE</b> <b>DEMOLITION &amp; EROSION CONTROL PHASE I</b>	
SCALE: NIS UNITS: _____ PROJECT NO.: 2451-24-03094	DATE: 08/05/25
SHEET NO. <b>C200</b> OF <b>2</b>	





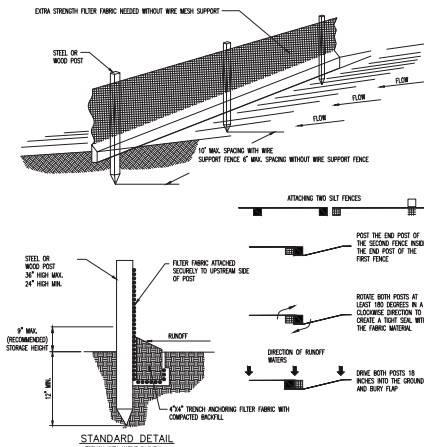
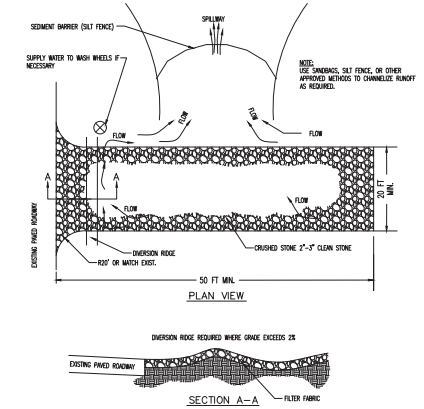
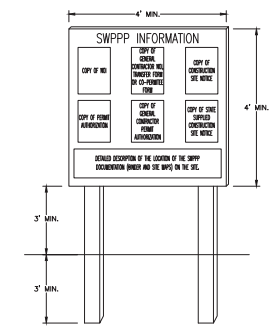


[illegible]

**FILTER SACK INLET PROTECTION**

**CONCRETE TRUCK WASH OUT AREA**

**CURB INLET SEDIMENT FILTER DETAIL**  
NOT TO SCALE



**SWPPP INFORMATION SIGN**  
NOT TO SCALE

**TEMPORARY GRAVEL CONSTRUCTION ENTRANCE**

**STAKED SALT FENCE**  
NOT TO SCALE

[illegible]

**THIS PLAN SET IS FOR PERMITTING PURPOSES  
ONLY AND MAY NOT BE USED FOR CONSTRUCTION**

DRAWN BY:  M/FZ _____	DESIGNED BY:  JMP _____	CHECKED BY:  _____	DATE:  ____/____/____
-----------------------------	-------------------------------	--------------------------	-----------------------------

**PROJECT: HIX SNEDEKER COMPANIES, LLC**  
**WILSON COUNTY INDUSTRIAL PARK ADMINISTRATION STORE**  
PARCEL ID: 34-35-16-02465-010  
90 WEST US HIGHWAY 90  
LAKE CITY, COLUMBIA COUNTY, FLORIDA 32066



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**MICHAEL D. MILES**

---

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FLORIDA LICENSE No. 81313  
DATE:

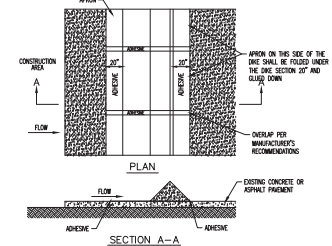
ÁNGEL PIÑERO

PROFESSIONAL ENGINEER  
FLORIDA LICENSE No. 88047  
DATE:

TITLE: EROSION CONTROL  
DETAILS

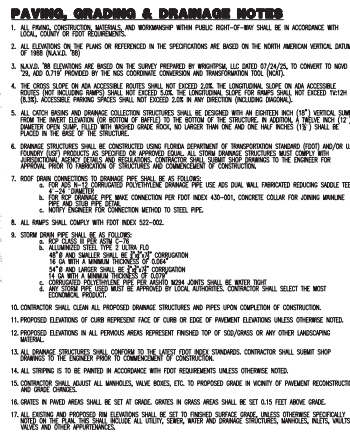
SCALE: (H) AS (V) NOTED	DATE: 08/05/25
PROJECT No: 2451-24-03094	

SHEET No: **C2.02** Rev. #:








**SILT DIKE ON EXISTING PAVEMENT**  
NOT TO SCALE

[illegible]

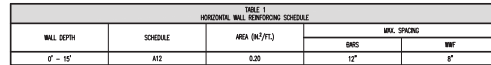


### PAVEMENT LEGEND

	= CONTRACTOR TO MATCH EXISTING PAVEMENT SECTION
	= HEAVY DUTY ASPHALTIC CONCRETE PAVEMENT
	= STANDARD DUTY CONCRETE PAVEMENT
	= HEAVY DUTY CONCRETE PAVEMENT
	= PROPOSED PITCHED GUTTER

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**TYPE 'C' INLET DETAIL**  
NOT TO SCALE

1. EYEBOARDS AND CHAINS ARE OPTIONAL. CONTRACTOR SHALL COORDINATE WITH OWNER PRIOR TO PROCUREMENT AND INSTALLATION.
2. IN THE EVENT THAT THIS DETAIL DIFFERS FROM THE CURRENT FOOT STANDARD PLANS, THE CURRENT FOOT STANDARDS SHALL GOVERN.
3. IN AREAS WITH HIGH WATER TABLES THE 12" HOLE WITH #57 STONE SHALL NOT BE USED.
4. REINFORCEMENT STEEL SHALL CONFORM TO CURRENT FOOT STANDARD INDEX.



**HEAVY DUTY CONCRETE PAVEMENT  
SECTION**  
NOT TO SCALE

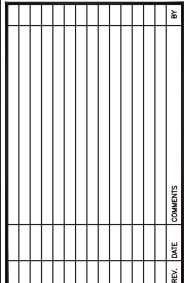


**STANDARD DUTY CONCRETE  
PAVEMENT SECTION**  
NOT TO SCALE



1. PROVIDE EXPANSION JOINTS BETWEEN SIDEWALK AND CURB OR AT ANY OTHER ROAD STRUCTURE.
2. EXPANSION JOINTS SHALL BE PROVIDED AT 120 FT. MAXIMUM SPACING.
3. ULTIMATE COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 3,000 P.S.I. @ 28 DAYS FOR SIDEWALKS.
4. MINIMUM THICKNESS OF SIDEWALK SHALL BE 4" THICK CONCRETE, 6" THICK WHEN SUBJECT TO VEHICULAR TRAFFIC.
5. FOR SIDEWALKS OR DRIVEWAYS WITH R.O.M., COMPACT SUBGRADE TO 98% OF MAXIMUM DENSITY AS DETERMINED BY ASTM557. COMPACTION OUTSIDE R.O.M. MAY BE 95% OF MAXIMUM DENSITY.

### CONCRETE SIDEWALK DETAIL



NAME IS	MFL	SOURCE IS	JMP	DESTROY IS	
THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION					
PROJECT: HIX SNEDEKER COMPANIES, LLC					
PROPOSED FUEL STORAGE AND CONFINEMENT STORAGE					
PARCEL ID: 34-35-16-024469-010					
4708 WEST US HIGHWAY 90					
LAKE CITY, COLUMBIA COUNTY, FLORIDA 32066					



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**MICHAEL D. MILES**  
PROFESSIONAL ENGINEER  
FLORIDA LICENSE No. 81313  
DATE:

ÁNGEL PIÑERO  
PROFESSIONAL ENGINEER  
FLORIDA LICENSE No. 88047  
DATE:

**TITLE:**  
**PAVING, GRADING, &  
DRAINAGE DETAILS**

SCALE: (H) AS (M) NOTED	DATE: 08/05/25
PROJECT No: 2451-24-03094	

SHEET No. **C3.01**

- 1. Unless otherwise designated in the plans, concrete pipe mixed sections may be used with any type of cross drain pipe. Concrete pipe mixed sections may be used with any type of cross drain pipe except alternate pipe, and corrugated aluminum mixed sections may be used with any type of cross drain pipe except steel pipe. When aluminum cased metal pipe is specified for cross drain pipe, the cross drain pipe may be made of any material. When 18" or 24" diam. cross drain pipe is specified, it is assumed to be the cross drain pipe, construct a concrete jacket in accordance with Items 450-001.
- 2. Use either corrugated metal or concrete interior and sections for corrugated polyethylene pipe (HDPE). The cross drain pipe may be made of any material. When 18" or 24" diam. cross drain pipe is specified, it is assumed to be the cross drain pipe, construct a concrete jacket in accordance with Items 450-001.
- 3. In cases 85 ACSS cast-in-place reinforced slabs are required for all sizes of cross drain pipes. Construct slabs at 50g thick, unless it thickness is called for in the Plans.
- 4. Select lowest cost concrete pipe that will exceed conditions in the assembly of the material and section.
- 5. Repair corrugated metal pipe galvanizing that is damaged during bending and perforating.
- 6. When existing multiple cross drain pipes are spaced other than the dimensions shown in this Item, leave openings in the concrete slabs to accommodate the existing pipes. The openings are to be as small as possible or collectively as multiple pipe and sections as directed by the Engineer.

**7. Saddle Slope:**

- 1.4 Meter - Slope 10 g for all round pipes less than or equal to 18" diameter and 1.2 for all round pipes greater than or equal to 24" diameter.
- 2.4 Meter - Slope 12 g for all round pipes 24"X36" or smaller and 1.2 for all round pipes 36"X36" or larger.
- 3.6 Meter - Slope 12 g for all round pipes less than or equal to 18" diameter and 1.2 for round pipes greater than or equal to 24" diameter.
- 4.8 Meter - Slope 12 g for all round pipes 24"X36" or smaller and 1.2 for all round pipes 36"X36" or larger.
- Slope 1.1 for all pipe arch sections.

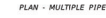
**8. Quantities shown are for estimating purposes only.**



Sheet	Description
1	General Notes and Contents
2	Single and Multiple Concrete Pipe
3	Concrete Pipe Dimensions and Quantities
4	Single and Multiple Corrugated Metal Pipe
5	Corrugated Metal Pipe Dimensions and Quantities
6	Concrete Pipe Connections and Corrugated Metal Pipe (CMP) Anchor Detail



== ROUND CONCRETE PIPE



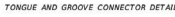
SINGLE AND MULTIPLE CONCRETE PIPE

LAST REVISION 11/01/19	DESCRIPTION:	FY 2025-26 STANDARD PLANS	INDEX 430-021	SHEET 1 of 6
------------------------------	--------------	--	------------------	-----------------

[illegible]

$\theta$	$E$	
$\triangle 6.42$	$\triangle 6.25$	Dimensions permitted to allow use of 8" standard pipe lengths.
$\diamond 10.40$	$\diamond 10.10$	Dimensions permitted to allow use of 12" standard pipe lengths.

LAST REVISION 11/01/19	DESCRIPTION:	FY 2025-26 STANDARD PLANS	CROSS DRAIN MITERED END SECTION INDEX 430-021	SHEET 3 of 6
------------------------------	--------------	--	---	-----------------




1. Use galvanized steel for all bars, bolts, nuts, and washers.
2. Two connectors required per joint, located 60° right and left of bottom center of pipe.
3. Bolt holes in pipe shell are to be drilled.

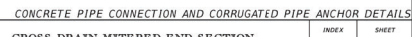
Bolt Dia.	Pipe Dia.
1/2"	15" to 36"
3/4"	42" to 72"

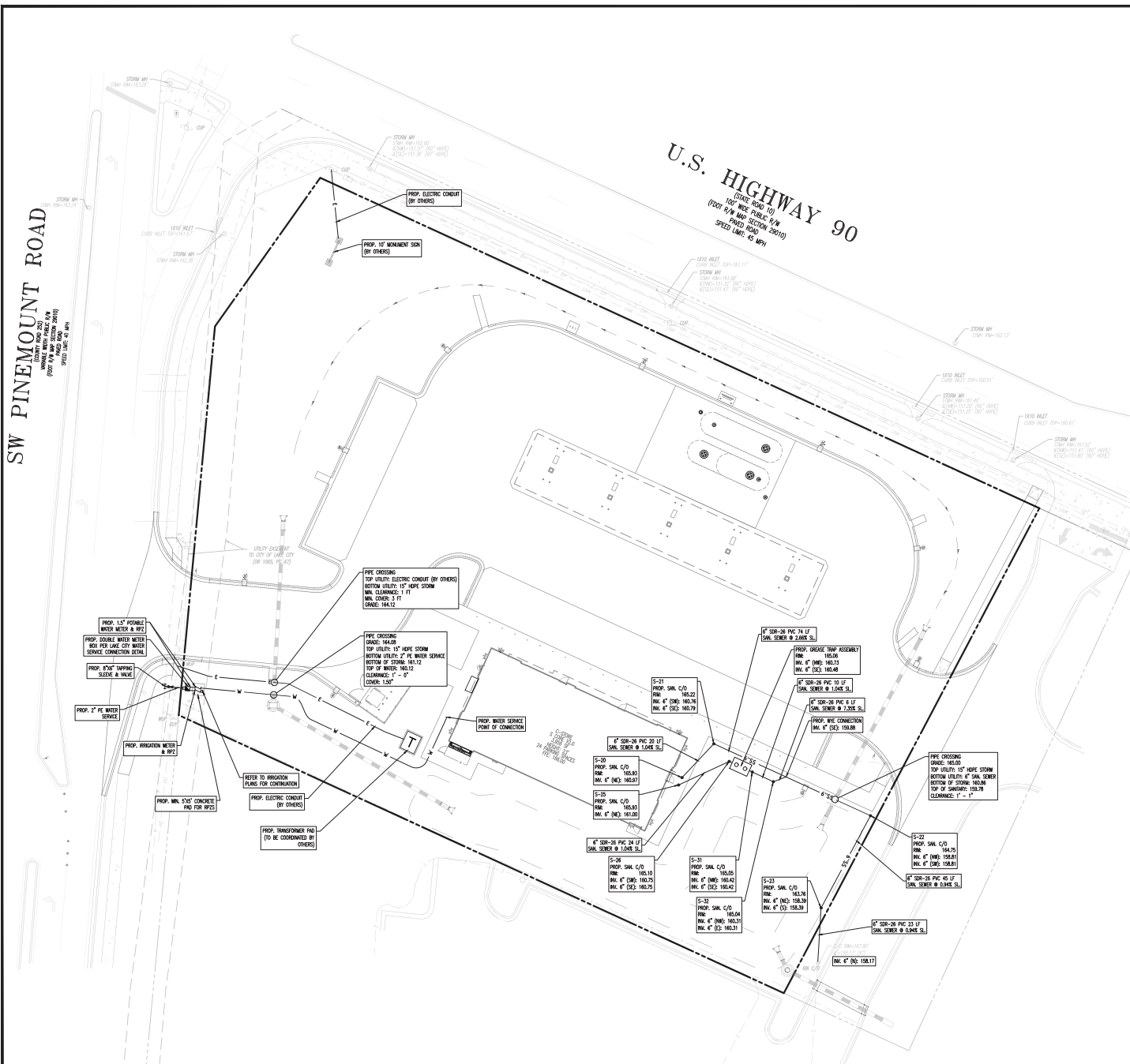


1. Anchors required for CMP only.
2. Use galvanized steel for all anchors nuts, and washers.
3. Bend anchor where required to center in concrete slab.
4. Repair damaged surfaces after bending.
5. Space anchors a distance equal to four (4) corrugations.
6. Place the anchors in the outside crest of corrugation.
7. Place flat washers on inside wall of pipe.
8. Drill or punch holes in the mitered and pipe; burning not permitted.
9. A 6" x 1/2" bolt substitution is permitted.

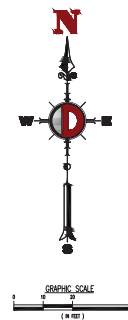
LAST REVISION 11/01/19	DESCRIPTION:	FY 2025-26 STANDARD PLANS	CROSS DRAIN MITERED END SECTION INDEX 430-021	SHEET 3 of 6
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LAST REVISION 11/01/19	DESCRIPTION:	 FY 2025-26 STANDARD PLANS	CONCRETE PIPE CONNECTION AND CORRUGATED PIPE ANCHOR DETAILS	
			CROSS DRAIN MITERED END SECTION	INDEX 430-021
				SHEET 6 of 6

[illegible]




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### UTILITY NOTES

- [illegible]



**DYNAMIC**  
Engineering & Planning

BY \_\_\_\_\_

DATE \_\_\_\_\_

REV. \_\_\_\_\_

COMMENTS \_\_\_\_\_

THIS PLAN SET IS FOR PRELIMINARY CONSIDERATION ONLY. ANY CHANGES MUST BE MADE PRIOR TO CONSTRUCTION.

PROJECT: **HIX SNEDEKER COMPANIES, LLC**  
 PROPOSED FUEL STATION AND CONVENIENCE STORE  
 4400 WEST 10TH AVENUE  
 AUSTIN, TEXAS 78746

FOUNDER IN \_\_\_\_\_

FOUNDER IN \_\_\_\_\_


FOUNDER IN \_\_\_\_\_

FOUNDER IN \_\_\_\_\_

REV. \_\_\_\_\_

DATE \_\_\_\_\_

COMMENTS \_\_\_\_\_



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 Suite 102  
 Delray Beach, FL 33483  
 561.992.8270

Other companies listed throughout the project plans  
 indicate a third party is being contacted for their services.

[www.dynamicinc.com](http://www.dynamicinc.com)

**MICHAEL D. MILES**

PROFESSIONAL ENGINEER  
 FLORIDA LICENSE NO. 8133  
 DATE: \_\_\_\_\_

**ÁNGEL PIÑERO**

PROFESSIONAL ENGINEER  
 FLORIDA LICENSE NO. 88047  
 DATE: \_\_\_\_\_

**UTILITY PLAN**

DATE: 04/05/2015

DATE: 08/05/2015

PROJECT: 245-24-03094

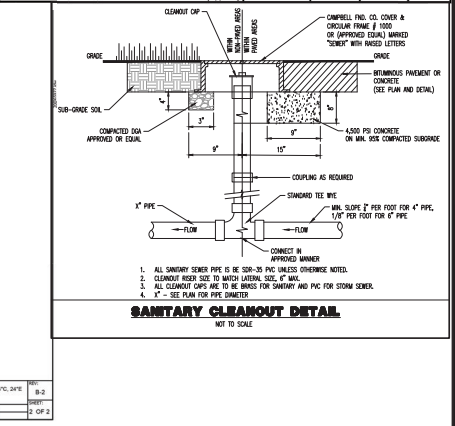
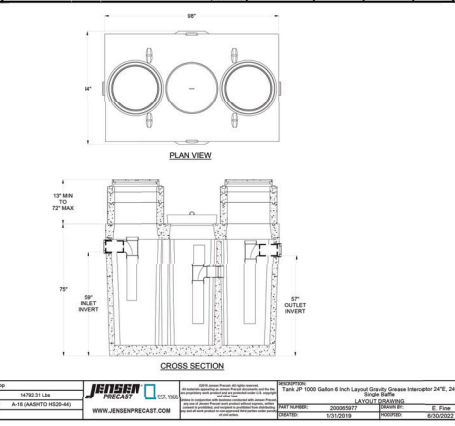
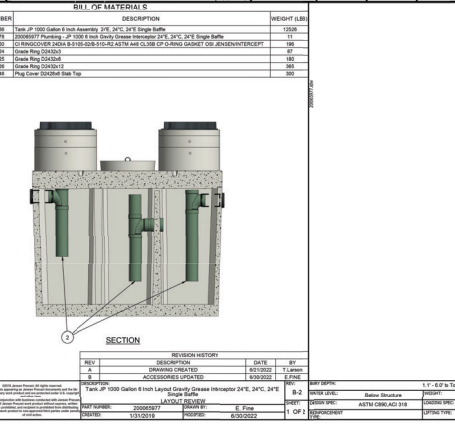
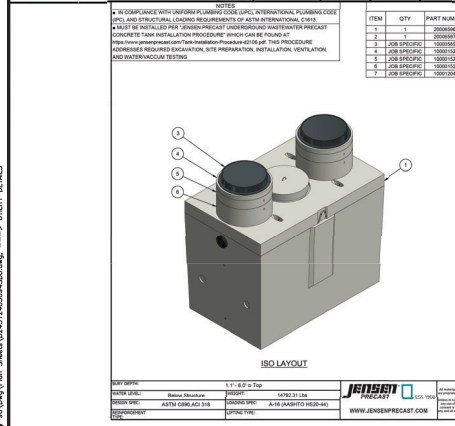
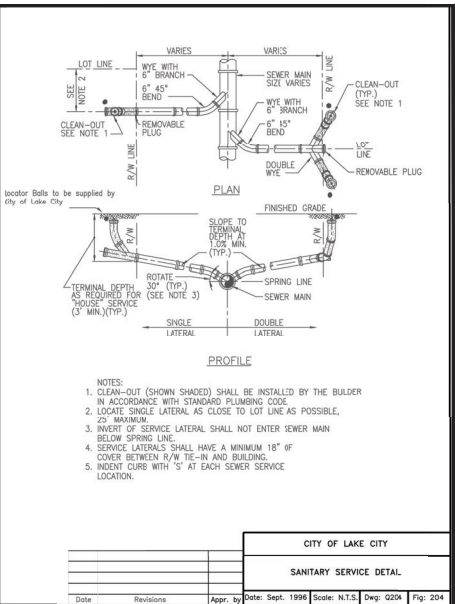
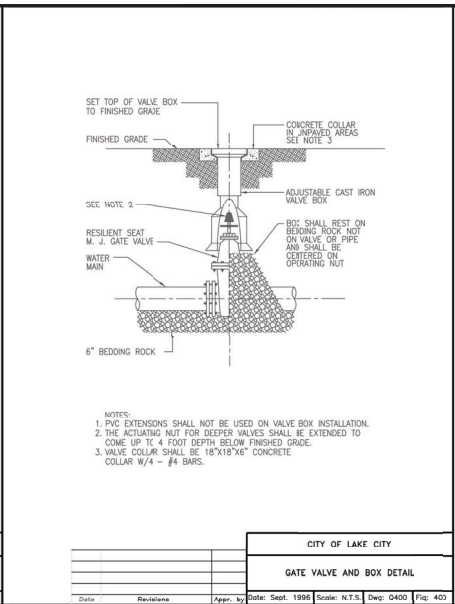
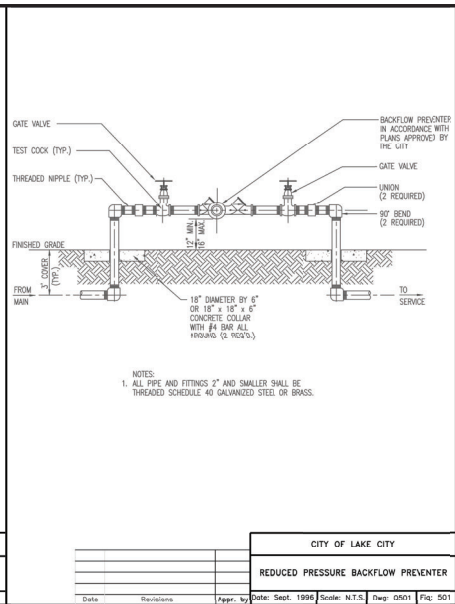
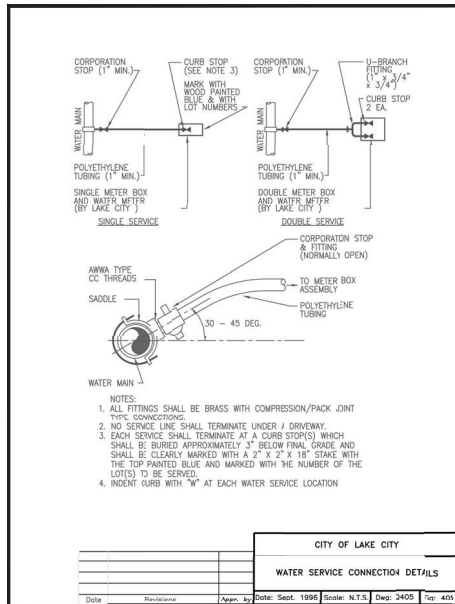
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SHEET NO. **C4.00**

OF: 4



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10	09/15/20	REVISED PER COMMENTS	MM	MM

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Tel: 321.251.6570

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**MICHAEL D. MILES**

PROFESSIONAL ENGINEER  
FLORIDA LICENSE NO. 81313  
(DATE)

**ÁNGEL PIÑERO**

PROFESSIONAL ENGINEER  
FLORIDA LICENSE NO. 88047  
(DATE)

**UTILITY DETAILS**

DATE: 08/05/25  
PROJECT: 2451-24-03094

SHEET: C4.01



CALCULATION SUMMARY					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PAVED AREA 18 INCHES ABOVE GRADE	7.60	33.8	2.0	3.80	16.90
UNDEFINED 18 INCHES ABOVE GRADE	1.74	35.3	0.0	N.A.	N.A.
UNDER CANOPY 18 INCHES ABOVE GRADE	58.95	73	38	1.55	1.92

LUMINAIRE SCHEDULE												
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG FATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	CATALOG LOGIC		
	4	A3B	Single	12072	1.010	B1-UJ02	114.07	456.28	Lithonia Lighting	RSX2 LED P2 50K R3 MVOLT SPA HS FAO		
	6	A4	Single	17427	1.010	B2-UJ03	114.07	684.42	Lithonia Lighting	RSX2 LED P2 50K R4 MVOLT SPA FAO		
	20	CAN	Single	16336	1.010	B3-UJ01	99.79	1995.8	Lithonia Lighting	PCNY LED AL02 SHW22 (50K) FCPL MVOLT (SW. POS. 6)		
	9	L1	SINGLE	2238	1.010	N.A.	25.15	226.35	Lithonia Lighting	LB86 AL02 20LM SHW1 (4000K) AR L83 MWD 90CRI WL		
	2	L2	Single	4570	1.000	N.A.	54.9	109.8	P-LED	M-SX024-40 (15 FT)		
	2	L3	Single	3656	1.000	N.A.	43.92	87.84	P-LED	M-SX024-40 (12 FT)		
	52	SF	Single	110	1.000	N.A.	54.08	2812.16	P-LED	PL-QP2-PD034-P-W		
	1	SF02	SF 2FT	110	1.000	N.A.	1.04	8.32	P-LED	PL-QP2-PD034-P-W		
	18	SF04	SF 4FT	110	1.000	N.A.	1.04	262.08	P-LED	PL-QP2-PD034-P-W		
	28	SF12	SF 12FT_1	110	1.000	N.A.	1.04	1281.28	P-LED	PL-QP2-PD034-P-W		
	8	WP	SINGLE	6614	1.010	B1-U0-G1	51.2609	410.087	Lithonia Lighting	ARC2 LED P5 40K MVOLT		

THIS SITE IS LOCATED IN A REGION WHERE LIGHTING  
IS REGULATED BY LOCAL ORDINANCES

NOTE:  
- AREA LIGHTS ON NEW 15 FT. POLES MOUNTED ON 3 FT. CONCRETE BASES  
- FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES  
UNLESS NOTED OTHERWISE.

[illegible]

THIS PLAN SET IS FOR PERMITTING PURPOSES  
ONLY AND MAY NOT BE USED FOR CONSTRUCTION

IN BC	FORMED BC	ORDERED BC	ORDERED BC
MFZ	JMP	-	-

**PROJECT: HIX SNEDEKER COMPANIES, LLC**  
PROPOSED FUEL STATION AND CONVENIENCE STORE  
PARCEL ID: 34-3S-16-02465-010  
4706 WEST US HIGHWAY 90  
LAKE CITY, COLUMBIA COUNTY, FLORIDA 32066



MICHAEL D. MILES

PROFESSIONAL ENGINEER  
FLORIDA LICENSE No. 81313  
DATE:

ÁNGEL PIÑERO

PROFESSIONAL ENGINEER  
FLORIDA LICENSE No. 88047  
DATE:

TITLE: PHOTOMETRIC PL

SCALE: (H) 1"=30' (V)	DATE: 08/05/25
PROJECT NO: 2451-24-03094	

SHEET No. **C5.00** Rev.

POD	QTY	LABEL	DESCRIPTION
	52	SF	PL-OP2-PO324-P-NW
	1	SF02	PL-OP2-PO324-P-NW
	18	SF04	PL-OP2-PO324-P-NW
	28	SF12	PL-OP2-PO324-P-NW



# POD 3-24V™

## M-SFPT3-XX-24

**POD 3 OPTIONS**

COOL / WARM/HEAT / SEU

MODE

**Efficacy** 179%    **Intensity**

100-1000 W / 100-1000 W

100-1000 W / 100-1000 W

**U.S. Patent Number**

PL-001-001-001-001

PL-001-001-001-001



**SPECIFICATIONS**

Beam Angle	30° x 10°	88 W/m² (12,440.1)
Certifications	UL & CE, RoHS/REACH (SAR Manual), CE, RoHS	98 W/m² (12,440.1)
Dimensions	240P x 137P x 64P/3P	98 W/m² (12,440.1)
Mounting Options	Wall & Stick, Mechanical/Screw Hole	98 W/m² (12,440.1)
Input	24V	Max Watts per Power Supply 98W
Operating Temp	+20° to +40°C	Power Supply
Wire Color	• White Strip • White/Black Strip	Power per Foot
max power in 100W	max 100W	max power on latest generation











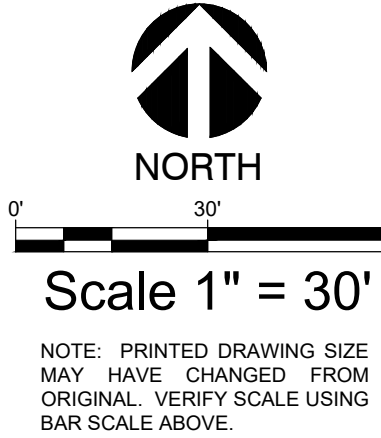




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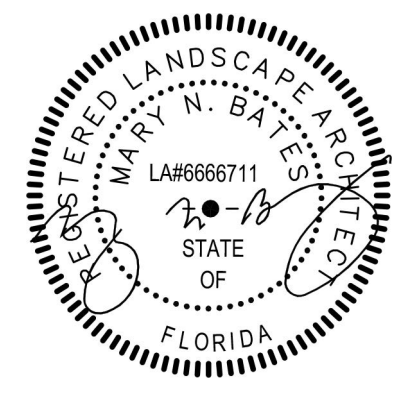


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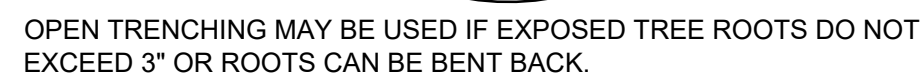
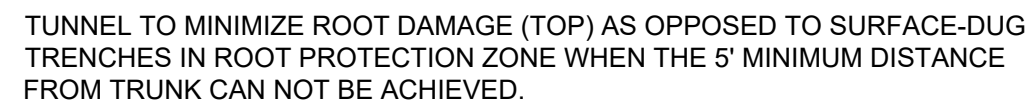


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NOTE: TREE PROTECTION FOR ANY PRESERVED OR RELOCATED TREES MUST BE PROVIDED PER DETAILS AND SPECIFICATIONS ON SHEET TD-2. THESE MUST BE UP PRIOR TO THE COMMENCEMENT OF ANY WORK AND MAINTAINED THROUGHOUT CONSTRUCTION.



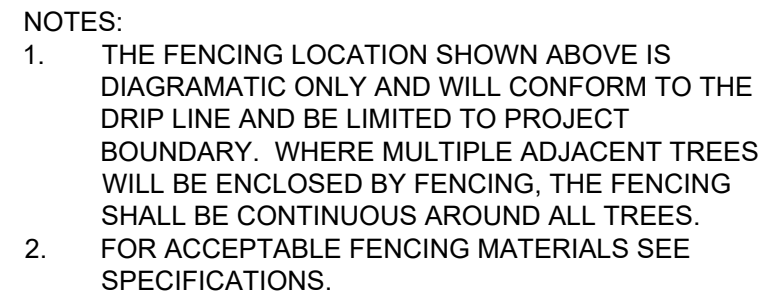
TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



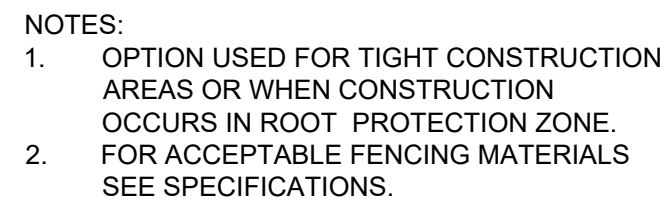
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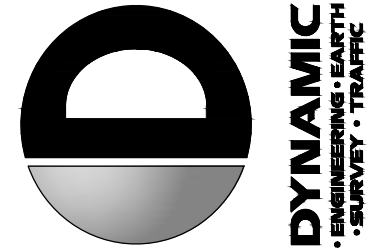
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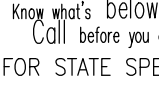
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DRAWN BY:	DESIGNED BY:	CHECKED BY:	CHECKED BY:
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RNK	RNK	MNB	-

PROJECT: HIX SNEDEKER COMPANIES, LLC  
PROPOSED FUEL STATION AND CONVENIENCE STORE  
PARCEL ID: 34-3S-16-02465-010  
4706 WEST US HIGHWAY 90,  
LAKE CITY COLUMBIA COUNTY, FLORIDA 32066



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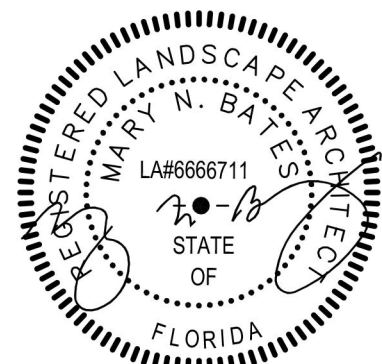
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# TITLE: TREE DISPOSITION NOTES & DETAILS

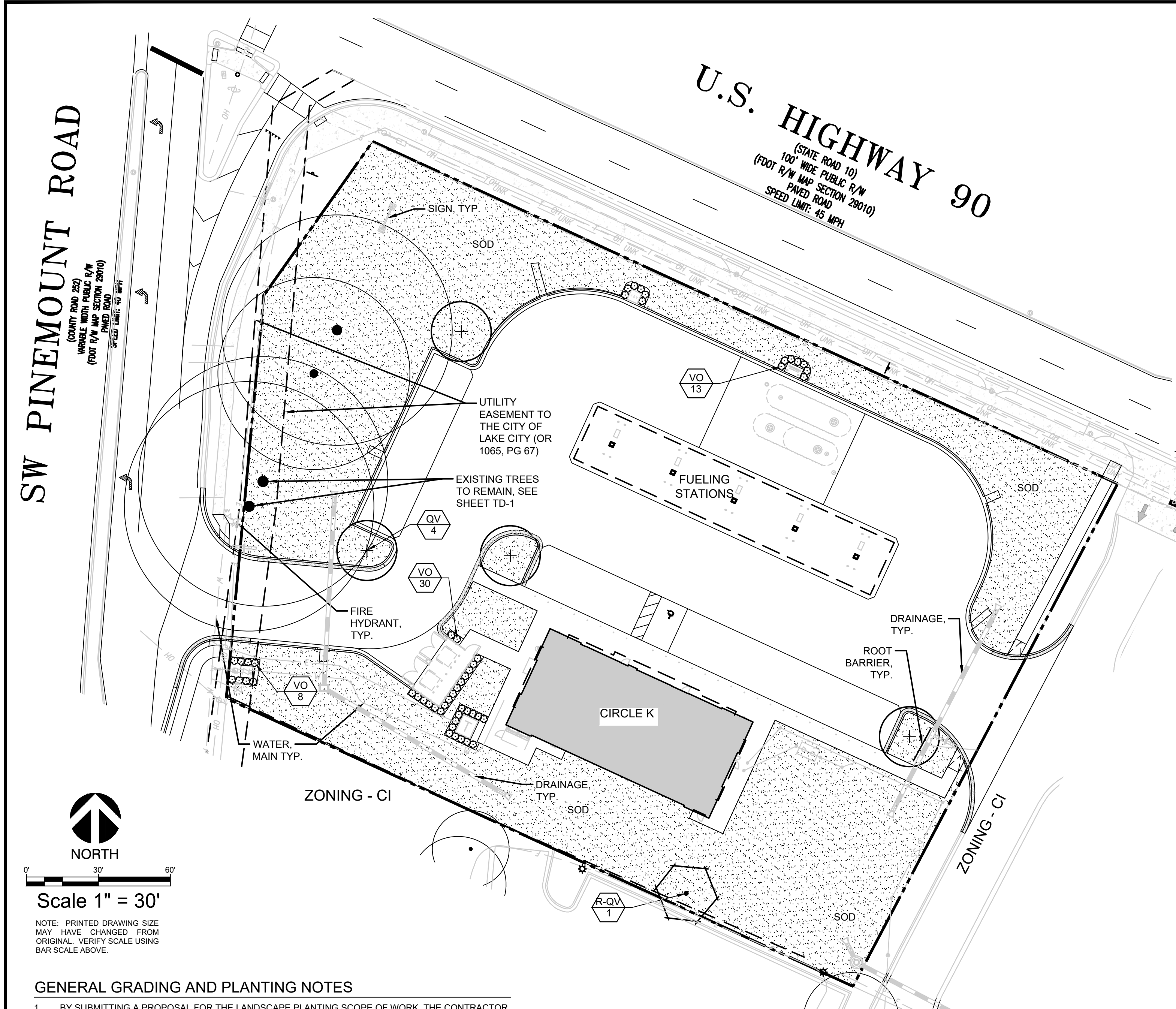
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PROJECT No: 3968-24-03288	

SHEET No: \_\_\_\_\_ Rev \_\_\_\_\_

# TD-2



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### GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
  - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
  - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
  - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (**BASED ON A SOIL TEST**, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
  - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
  - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES: PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
  - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
  - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATION FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

### STANDARDS FOR PLANT MATERIALS

- ALL PLANTS REQUIRED TO BE PLANTED SHALL CONFORM TO THE STANDARDS FOR FLORIDA GRADE NO. 1, OR BETTER, AS PROVIDED IN THE LATEST EDITION OF GRADES AND STANDARDS FOR NURSERY PLANTS, DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- TREES PLANTED TO FULFILL THE MINIMUM LANDSCAPE REQUIREMENTS SHALL NOTWITHSTANDING ATTAIN A MATURE HEIGHT OF AT LEAST 20 FEET AND HAVE A MINIMUM CALIPER OF TWO AND ONE-HALF INCHES OR GREATER MEASURED AT FOUR INCHES ABOVE ROOT BALL AT PLANTING.
- ALL LANDSCAPING SHALL UTILIZE NATIVE PLANT SPECIES OR THOSE SPECIES LISTED IN THE FLORIDA-FRIENDLY LANDSCAPING "G" GUIDE TO PLANT SELECTION AND LANDSCAPE DESIGN.
- SHRUBS AND GROUNDCOVERS HEDGES/SCREENS: MIN. 3 GAL. OR EQUAL B & B ALL OTHER SHRUBS/GROUNDCOVERS: SIZE AND SPACING TO PROVIDE 85% COVERAGE WITHIN 2 YEARS

### IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON THE LOWEST QUALITY WATER SOURCE AVAILABLE (RECLAIMED OR SHALLOW WELL), AND THE SYSTEM WILL HAVE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE WATER SOURCE WHERE REQUIRED BY THE JURISDICTIONAL AUTHORITY. POTABLE WATER SHALL NOT BE USED FOR LANDSCAPE IRRIGATION (PW UTILITY STANDARDS MANUAL 1.13.B).
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

### LEGEND

EX - EXISTING  
TYP - TYPICAL

### WEED BARRIER

THE CONTRACTOR SHALL INSTALL WEED BLOCKING BARRIER (LANDSCAPE FABRIC) UNDER ALL PROPOSED LANDSCAPE AREAS.

### ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

### MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

### LANDSCAPE CALCULATIONS

#### CITY OF LAKE CITY, FL - LANDSCAPE CODE COMPLIANCE CHART CHAPTER 104 - VEGETATION

GROSS SITE AREA: 77,670 SF 1.78 AC  
ZONING DISTRICT: C-1

SITE AREA	SF	AC	%
VEHICULAR USE AREA	34,575.62	0.79	45%
BUILDING FOOTPRINT	5,200.00	0.12	7%
SIDEWALKS AND HARDSCAPES	3,814.60	0.09	5%
GREEN SPACE	34,079.79	0.78	44%
TOTAL	77,670.00	1.78	100%

REQ	PROV
4	4

VEHICULAR USE AREA LANDSCAPING		
1 CANOPY TREE PER PARKING ISLAND		
	4	4

LANDSCAPE BUFFERS		
NORTH - US HIGHWAY 90 - 330 LF		
NA - SIMILAR ADJACENT USE	NA	NA
WEST - SW PINEMOUNT RD - 213 LF		
NA - SIMILAR ADJACENT USE	NA	NA
SOUTH - SIMILAR ADJACNET ZONING	NA	NA
EAST - SIMILAR ADJACNET ZONING	NA	NA

### LANDSCAPE CALCULATIONS

PER SEC. 104-50 (D) REMOVAL OF (1) HERITAGE REQUIRES REPLACEMENT OF (1) 6" INCHES OF DBH OF REPLACEMENT TREE AT A MINIMUM. THIS NUMBER MAY INCREASE IF ALL TREES DESCRIBED ON SHEET TD-1 ARE NOT ABLE TO BE SAVED.

REPLACEMENT PLAN:	CREDIT INCHES	QUANTITY
LIVE OAK 6" DBH	6	1
TOTAL PROPOSED REPLACEMENT DBH (IN):	6	
TOTAL PROPOSED TREES:		1

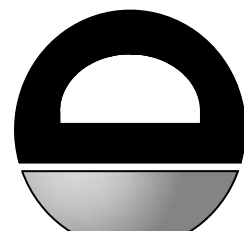
### PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL/DBH	HEIGHT	SPREAD	NATIVE	XERIC
<b>TREES</b>									
QV	4	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	CONT. OR F.G.	2.5" CAL MIN	10' MIN.	FULL	YES	HIGH
R-QV	1	REPLACEMENT QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	CONT. OR F.G.	6" DBH	10' MIN.	FULL	YES	HIGH
CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	HEIGHT	SPREAD	NATIVE	XERIC
<b>SHRUBS</b>									
VO	51	VIBURNUM OBOVATUM	WALTER'S VIBURNUM	3 GAL. MIN.	36" OC	24" HT MIN	FULL	YES	HIGH
<b>SOD/SEED</b>									
SOD	34,089 SF	PASPALLUM NOTATUM 'ARGENTINE'	ARGENTINE BAHIA GRASS	SOLID SOD				NO	HIGH

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PROJECT: HIX SNEDEKER COMPANIES, LLC  
PROPOSED FUEL STATION AND CONVENIENCE STORE  
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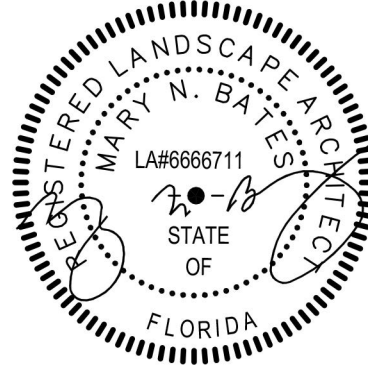
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### LANDSCAPE PLAN

SCALE: (H)  
(V)  
DATE: 09/05/25  
PROJECT No: 3968-24-03288

SHEET No: LP-1  
Rev. #:



PLANTING SPECIFICATIONS

GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
  2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
  3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID CONTRACTOR'S LICENSE ISSUED BY THE APPROPRIATE LOCAL JURISDICTION.
- B. SCOPE OF WORK
1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND /OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
  2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
  3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:
1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
  2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
  3. TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
  4. ANY PLANT DETERMINED BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
  5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
  6. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
  7. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL, WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
  8. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
  9. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALL OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
  10. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2 INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
  11. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, PH RANGE OF 5.5 TO 8. MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISIMEN/CM; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
  12. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL TESTING AGENCY (SEE BELOW).
  13. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
  14. TREE STAKING AND GUYING:
    1. STAKES: 6' LONG GREEN METAL T-POSTS.
    2. GUY AND THE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
    3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
  15. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

- A. SOIL PREPARATION
1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. IF THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
  2. SOIL TESTING:
    - a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH, IF THE SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
    - b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
    - c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
    - d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XEROPLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
  3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
  4. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
    - a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPERING:
      - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
      - ii. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
    - b. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
    - c. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPERING:
      - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
      - ii. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
      - iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
      - iv. IRON SULPHATE - 2 LBS. PER CU. YD.
  5. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
    - a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
    - b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE ADEQUATE DRAINAGE AREAS AT THE MINIMUM SLOPE OF 1% TOWARD THE WALKS. SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
    - c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
    - d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
    - e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
    - f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
  6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 8" OF SOIL.

SUBMITTALS

1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
2. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREES/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING SUBMITTED.

GENERAL PLANTING

1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
2. BACKFILL THE TREE HOLE WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
3. TRENCING NEAR EXISTING TREES:
  - a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1' FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
  - b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
  - c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
  - d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.

TREE PLANTING

1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES.
2. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
3. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL, AND ALL TIES MUST JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
4. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
5. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
6. TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
  - a. 1-2" TREES: TWO STAKES PER TREE
  - b. 2-12" TREES: THREE STAKES PER TREE
  - c. TREES OVER 4" CALIPER: GUY AS NEEDED
  - d. MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM. QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE.
7. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH MULCH (TYPE AND DEPTH PER PLANS).

SHRUB, PERENNIAL, AND TURF PLANTING

1. DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
2. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.

SODDING

1. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
2. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
3. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
4. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
5. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.

MULCH

1. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
2. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.

CLEAN UP

1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.

INSPECTION AND ACCEPTANCE

1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

LANDSCAPE MAINTENANCE

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTling OF PLANTS THAT HAVE SETTLED, MOVING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKSMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
2. SHOULD SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
3. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
  - a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
  - b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
  - c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.

WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS

1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
3. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.

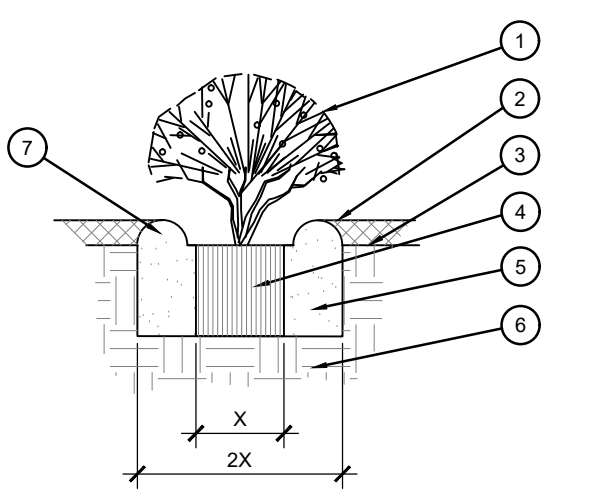
OTHER

1. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
2. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
3. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
4. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.

ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 8" OF SOIL.

SHRUB AND PERENNIAL PLANTING

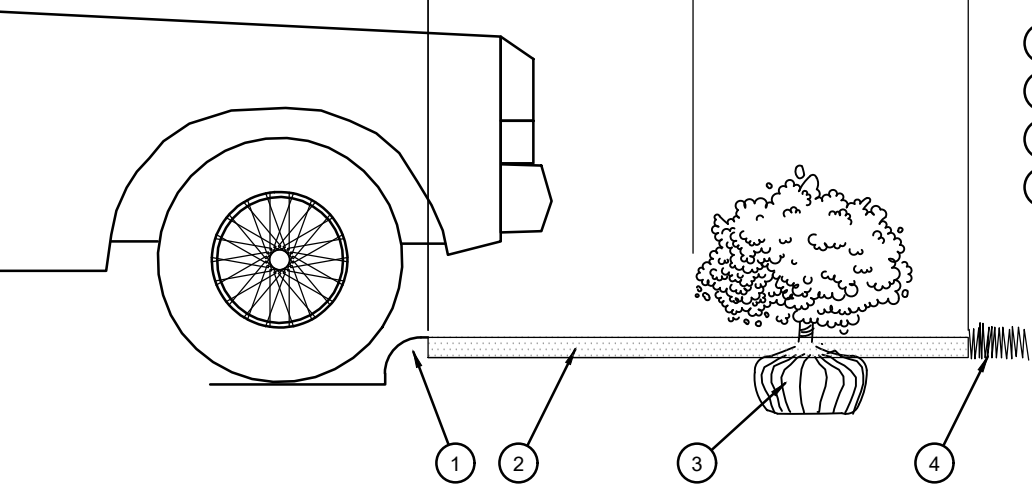
SCALE: NTS



1. SHRUB, PERENNIAL, OR ORNAMENTAL GRASS.
2. MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER.
3. FINISH GRADE.
4. ROOT BALL.
5. BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
6. UNDISTURBED NATIVE SOIL.
7. 3" HIGH EARTHEN WATERING BASIN.

PLANTING AT PARKING AREA

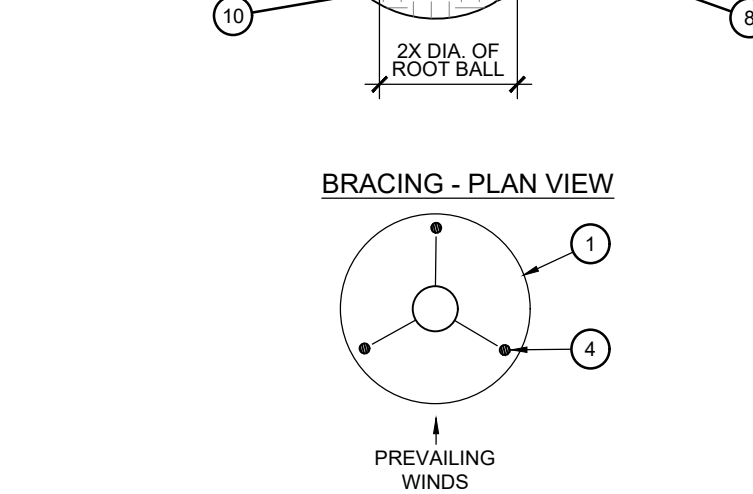
SCALE: NOT TO SCALE



1. CURB.
2. MULCH LAYER.
3. PLANT.
4. TURF (WHERE SHOWN ON PLAN).

PALM PLANTING

SCALE: NOT TO SCALE

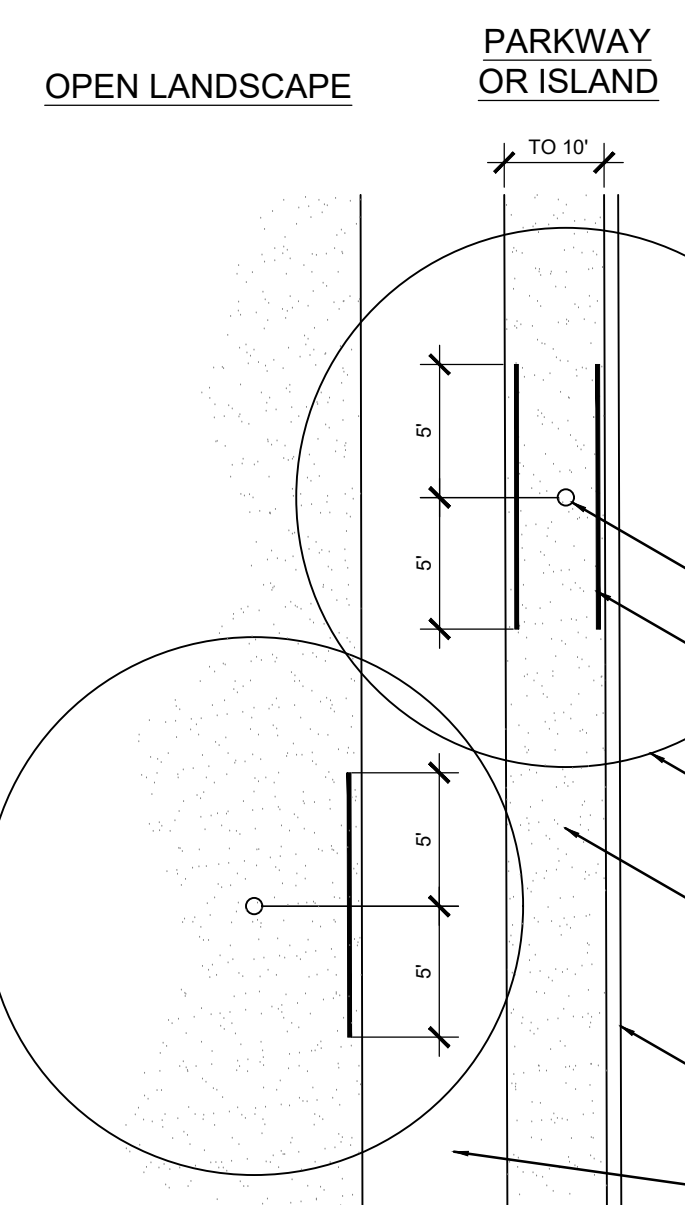


1. BIODEGRADABLE TWINE.
2. PALM BRACE SYSTEM.
3. 2" X 4" SUPPORT, TIE-ONED TO BRACE SYSTEM (3) - DO NOT NAIL TO PALM.
4. ROOT BALL.
5. 4" HIGH TEMPORARY WATERING BASIN.
6. MULCH PER PLANS. DO NOT ALLOW MORE THAN 1" OF MULCH WITHIN 12" OF TRUNK.
7. 2" X 4" X 12" DEADMAN, BURIED 12" MIN. BELOW GRADE.
8. BACKFILL MIX PER SPECIFICATIONS AND SOIL TEST RECOMMENDATIONS.
9. 4" PERFORATED PVC WATER MONITORING TUBE WRAPPED IN FILTER FABRIC (ANY APPROVED) - TWO PLACES AROUND PALM.
10. UNDISTURBED SUBGRADE.

- NOTES:
1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING PALM.
  2. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ZONE OF ROOT INITIATION IS 3"-5" BELOW FINISH GRADE.
  3. DO NOT REMOVE ANY LIVE FRONDS PRIOR TO DIGGING AT THE NURSERY.
  4. AFTER PLANTING, LOOSEN THE TWINE SO THAT THE FRONDS MAY MOVE, BUT THE TERMINAL BUD IS PROTECTED.

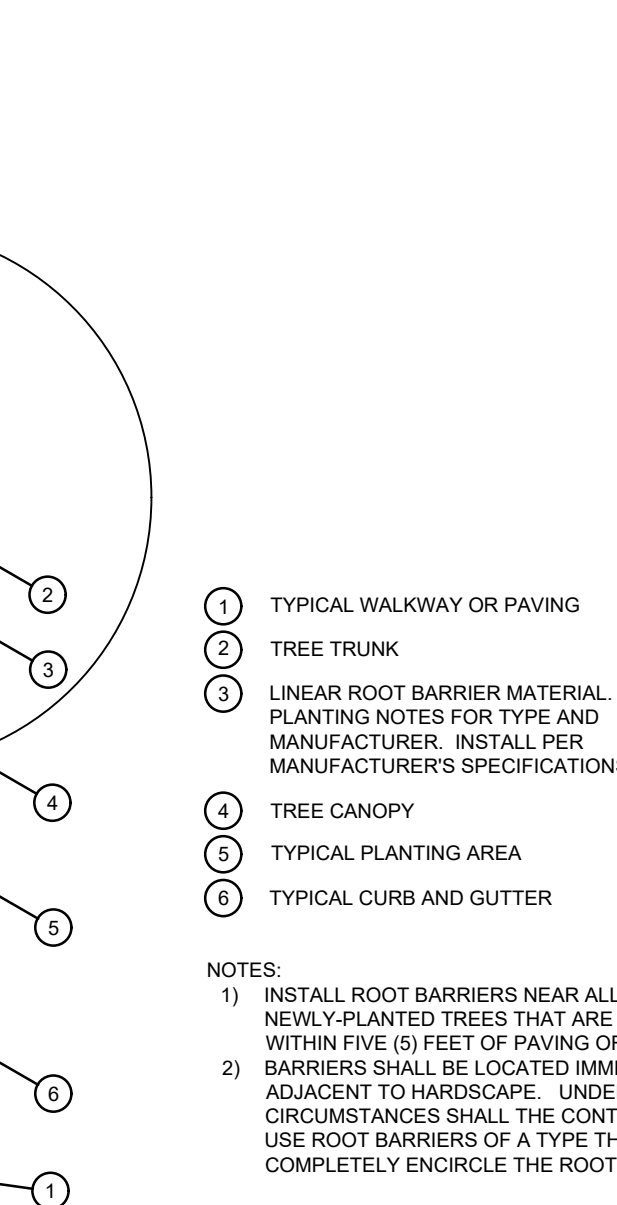
EARTH/SPADE EDGE

SCALE: NOT TO SCALE



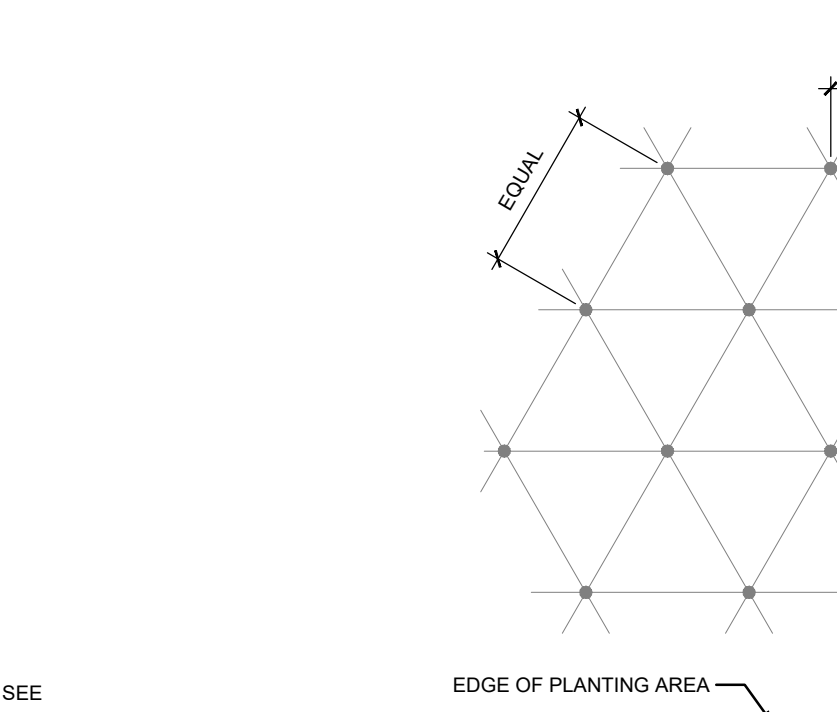
TREE PLANTING

SCALE: NOT TO SCALE



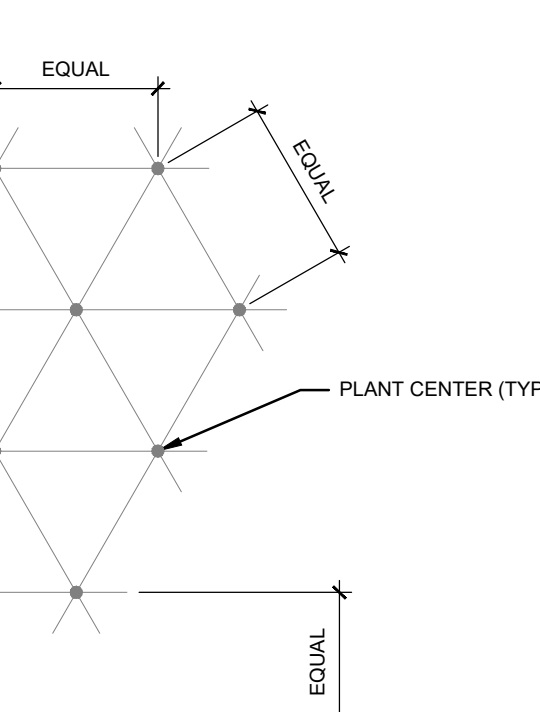
PLANT SPACING

SCALE: NTS



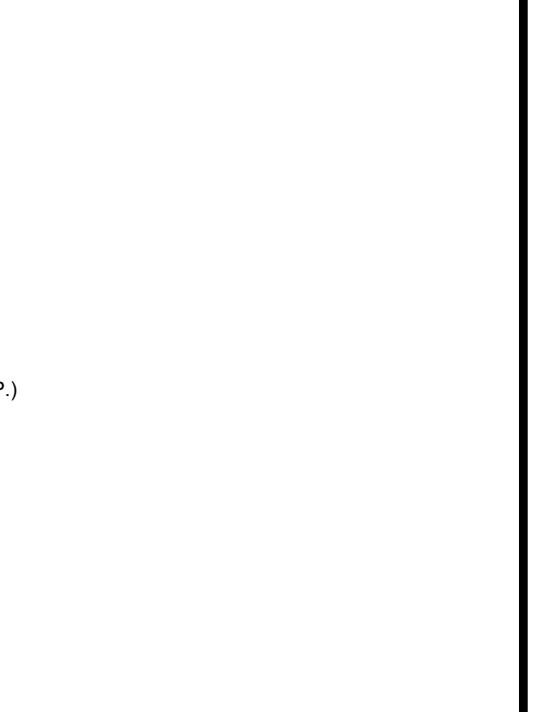
BRACING - PLAN VIEW

SCALE: NTS



BRACING - PLAN VIEW

SCALE: NTS



September 15, 2025

City of Lake City-Growth Management Department  
205 North Marion Ave  
Lake City, FL 32055

RE: **Proposed Circle K  
4706 W US Hwy 90  
Lake City, FL 32055  
Parcel No: 34-3S-16-02465-010  
DECPC No.: 2451-24-03094**

### **Comprehensive Plan Concurrency Analysis**

#### **I. FUTURE LAND USE ELEMENT:**

**GOAL I** - IN RECOGNITION OF THE IMPORTANCE OF ENHANCING THE QUALITY OF LIFE IN THE CITY, DISCOURAGING URBAN SPRAWL, DIRECT DEVELOPMENT TO THOSE AREAS WHICH HAVE IN PLACE, OR HAVE AGREEMENTS TO PROVIDE, SERVICE CAPACITY TO ACCOMMODATE GROWTH IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.

**OBJECTIVE I.1** The City Concurrency Management System shall make available or schedule for availability the public facilities for future growth and urban development as development occurs in order to provide for urban densities and intensities within the City and discourage the proliferation of urban sprawl.

**Policy I.1.1** The location of higher density residential, high intensity commercial and heavy industrial uses shall be directed to areas adjacent to arterial or collector roads, identified on the Future Traffic Circulation Map, where public facilities are available to support such higher density or intensity.

***Justification: The proposed self-service automotive fueling station is located at the southeast corner of Pinemount Road and W US Highway 90. The adjacent collector and arterial roadway, respectively, have sufficient capacity to serve the development and adequate utilities are available within the vicinity to serve the subject property.***

**Policy I.1.2.** The land development regulations of the City shall be based on and be consistent with the following land use classifications and corresponding standards for densities and intensities and shall establish the following floor area ratio(s) to be applied to the Commercial Future Land Use. (CG) Commercial, General, (CI) Commercial, Intensive, (C-CBD) Commercial-Central Business District and (CHI) Commercial, Highway Interchange districts shall be limited to an intensity of less than or equal to 1.0 floor area ratio.

***Justification: The property has a Future Land Use designation of Commercial, Intensive (CI) and the proposed use has a floor area ratio of 0.05.***

**Policy I.1.3** The City shall continue to allocate amounts and types of land uses for residential, commercial, industrial, public, and recreation to meet the needs of the existing and projected future



populations and to locate urban land uses in a manner where public facilities may be provided to serve such urban land uses. (Urban land uses shall be herein defined as residential, commercial and industrial land use categories).

***Justification: Adequate public facilities are within the vicinity of the property to support the proposed development.***

**Policy I.1.4** The City shall continue to limit the designation of residential, commercial and industrial lands depicted on the Future Land Use Plan map to acreage which can be reasonably expected to develop.

***Justification: The proposed development is consistent with the intent of the Future Land Use designation of Commercial Intensive, CI. This development does not require an amendment to the Future Land Use Plan map.***

**Policy I.2.1** The City shall restrict development within unsuitable areas due to flooding, improper drainage, steep slopes, rock formations and adverse earth formations by the following design standards for arrangement of development:

1. Streets shall be related appropriately to the topography. All streets shall be arranged so as to obtain as many as possible building sites at or above the grades of the streets. Grades of streets shall conform as closely as possible to the original topography. A combination of steep grades and curves shall be avoided.
2. Local streets shall be laid out to discourage use by through traffic, to permit efficient drainage and utility systems and to require the minimum number of streets necessary to provide convenient and safe access to property.
3. The rigid rectangular gridiron street pattern need not necessarily be adhered to, and the use of curvilinear streets, cul-de-sacs, or U-shaped streets shall be encouraged where such use will result in a more desirable layout.
4. Proposed streets shall be extended to the boundary lines of the tract to be subdivided, unless prevented by topography or other physical conditions, or unless, in the opinion of the City Council, such extension is not necessary or desirable for the coordination of the layout or the most advantageous future development of adjacent tracts.

***Justification: The project features a proposed on-site drainage system to collect and attenuate the stormwater runoff generated by the development, does not propose steep slopes, nor contains rock formations. Convenient and safe access to the property is provided by the existing right-in/right-out driveway located on US Highway 90 and the proposed right-in/right-out driveway on Pinemount Road. As a corner lot, the proposed development is bounded by the adjacent rights-of-way, therefore, a street extension is not necessary.***

**Policy I.1.5** The City shall continue to provide for a neighborhood commercial district to provide small scale retail and service establishments which will serve the convenience needs of adjacent areas.

***Justification: Not applicable. The subject property is within the Commercial, Intensive (CI) zoning district.***

**OBJECTIVE I.3** The City shall require that all proposed development be approved only where the public facilities meet or exceed the adopted level of service standard.

**Policy I.3.1** The City shall limit the issuance of development orders and permits to areas where the adopted level of service standards for the provision of public facilities found within the Comprehensive Plan are maintained. This provision also includes areas where development orders were issued prior to the adoption of the Comprehensive Plan.

***Justification: The proposed development is consistent with the level of service standards for the provision of public facilities. Refer to the attached Concurrency Impact Analysis.***

**OBJECTIVE I.4** The City shall continue to include provisions for Planned Residential Development regulations.

***Justification: Not applicable as the site is not within a Planned Residential Development.***

**OBJECTIVE I.5** The City shall continue to limit the extension of public facility geographic service areas to the adjacent urban development area, except that water line extensions may be made outside such designated urban development area to address public health and safety concerns associated with groundwater contamination and water and sewer line extensions may be made to public land uses located outside such designated urban development area. The boundary of this designated urban development area is depicted within the Future Land Use Map Series of this Comprehensive Plan.

The City shall adopt as part of its utility policies and programs a provision whereby any extension of public facility geographic service areas into surrounding unincorporated areas shall be limited to the adjacent designated urban development areas as identified within the Future Land Use Map Series of this Comprehensive Plan except that water line extensions may be made outside such boundary to address public health and safety concerns associated with groundwater contamination and water and sewer line extensions may be made to public land uses located outside of such designated urban development area.

***Justification: The subject property is located within the limits of the urban development area identified within the Future Land Use Map. Adequate public facilities are located within the vicinity of the property.***

**Policy I.5.2** The City shall allow electrical substations as a permitted use by right within all land use classifications, except Conservation future land use category and any Historic Preservation Overlay district as depicted on the Future Land Use Plan Map.

***Justification: Not applicable. The development does not propose electric substations.***

**OBJECTIVE I.6** The City shall continue to include within the portion regarding the report and recommendation of the Planning and Zoning Board on amendments to such regulations, that such report shall address whether the proposed amendment will be a deterrent to the improvement or development of adjacent land uses and it shall be concluded by the local governing body, based upon such report and prior to approval of the amendment, that the granting of the amendment will not adversely impact adjacent land uses.

**Policy I.6.1** The City shall continue to permit mining activity as a special exception within areas designated on the Future Land Use Plan map as industrial.

***Justification: Not applicable.***

**Policy I.6.2** The City shall continue to include provisions for drainage, stormwater management, open space and safe and convenient on-site traffic flow including the provisions of needed vehicle parking for all development.

***Justification: The development proposes an on-site stormwater management system containing interconnected pipes and structures to collect and attenuate stormwater runoff generated by the site to comply with the drainage provisions. The proposed development provides adequate parking, signage, and striping to promote safe on-site vehicular movement.***

**Policy I.6.3** The City shall continue to limit the intensity of development by requiring that the length of lots does not exceed three times the width of lots for the location of dwelling units.

***Justification: Not applicable.***

**Policy I.6.4** The City shall participate in the National Flood Insurance Program and regulate development and the installation of utilities in flood hazard areas in conformance with the programs requirements.

***Justification: Not applicable. The subject property has flood zone designation 'X'.***

**Policy I.6.5** The City shall continue to require that where a commercial or industrial use is erected or expanded on land abutting a residential district, then the proposed use shall provide a landscaped buffer. A masonry or wood opaque structure may be substituted for the planted buffer.

***Justification: Not applicable. The site is not adjacent to a residential district.***

**OBJECTIVE I.8** The City shall reduce inconsistencies in land uses with the provisions of this Comprehensive Plan through the establishment of such inconsistencies as nonconforming land uses.

***Justification: The proposed development is consistent with the requirements for lots, structures, and uses of land outlined in the land development regulations of the City.***

**OBJECTIVE I.9** The City shall continue to use a Historic Preservation Agency appointed by the City Council to assist the City Council with the designation of historic landmarks and landmark sites or historic districts within the City based upon criteria utilized for the National Register of Historic Places and the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings. The Historic Preservation Agency shall review applications for historic designation and after conducting a duly noticed public hearing shall make a recommendation to the City Council based upon the criteria stated in the maintenance and reuses of historical structures policy contained within the Future Land Use Element of the Comprehensive Plan.

***Justification: Not applicable. The property is not designated as a Historic District.***

**OBJECTIVE I.10** The City shall protect natural resources and environmentally sensitive lands (including but not limited to wetlands and floodplains).

***Justification: The site does not contain or impact wetlands.***



**Policy I.10.1** The City shall protect public potable water supply wells by prohibiting:

1. Land uses which require or involve storage, use of manufacture of regulated materials as defined by Chapter 38F-41, Florida Administrative Code, in effect upon adoption of this Objective; Code of Federal Regulations, Title 40, Part 302 and 355 and Title 49, Part 172, in effect upon adoption of this Comprehensive Plan; 2. Landfills; 3. Facilities of bulk storage, agricultural chemicals; 4. Petroleum products; 5. Hazardous toxic and medical waste; 6. Feedlots or other animal facilities; 7. Wastewater treatment plants and percolation ponds; and Mines, and excavation of waterways or drainage facilities which intersect the water table, within a 300-foot radius around the water well designated by this Comprehensive Plan as a wellfield protection area.

**Justification:** *The proposed development is not within or adjacent to the wellfield protection area outlined by the Comprehensive Plan.*

Policy I.10.2 The City shall prohibit the location of any structure within a wetland, other than permitted docks, piers, or walkways, except as permitted within the wetland policy contained within the Conservation Element of this Comprehensive Plan.

**Justification:** *The proposed development does not contain or impact wetlands.*

**OBJECTIVE I.11** The City shall establish a process for coordination with agencies responsible for the implementation of any regional resource planning and management plan prepared pursuant to Chapter 380, Florida Statutes, as amended.

**Justification:** *This is being achieved via the Site Plan Application process.*

**OBJECTIVE I.12** The City shall coordinate review of all proposed subdivision plats with the Water Management District for subdivisions proposed within the drainage basin of any designated priority water body to provide the Water Management District an opportunity to review such subdivision to determine if the plat is consistent with any approved management plans within that basin.

**Justification:** *The proposed development is anticipated to undergo review by the Suwannee River Water Management District (SRWMD) and a copy of the permit will be provided to the City of Lake City upon issuance.*

## **II. TRANSPORTATION ELEMENT:**

**GOAL II** - PROVIDE FOR A TRANSPORTATION SYSTEM WHICH SERVES EXISTING AND FUTURE LAND USES.

**OBJECTIVE II.1** The City shall establish a safe, convenient and efficient level of service standard which shall be maintained for all roadways.

**Policy II.1.1** Establish the Service Standards as noted below at peak hour for the following roadway segments within the City as defined within the most recent version of the Florida Department of Transportation Quality/Level of Service Handbook.

***Justification: The proposed development complies with the Level of Service standards for the US Highway 90 segment as demonstrated within the Traffic Impact Analysis prepared by Dynamic Traffic, LLC dated June 2, 2025.***

Policy II.1.2. The City shall control the number and frequency of connections and access points of driveways and roads to arterials and collectors by requiring access points for state roads to be in conformance with Chapter 14-96 and 14-97, Florida Administrative Code, and the following requirements for non-state roads: 1. Permitting 1 access point for ingress and egress purposes to a single property or development; 2. Permitting 2 access points if the minimum distance between the two access points exceeds 20 feet; 3. Permitting 3 access points if the minimum distance between each access point is at least 100 feet; or 4. Permitting more than 3 access points where a minimum distance of 1,000 feet is maintained between each access point.

***Justification: The site is indirectly served by the existing right-in/right-out driveway on US Highway 90, which connects to the overall shopping center, the Shoppes at Heritage Oaks. The Applicant proposes a right-in/right-out driveway on Pinemount Road to provide direct access to the site from the collector roadway. Accompanying roadway improvements consist of a turn-lane prior to the proposed driveway on Pinemount Road as well as striping and delineator poles south of the existing median to promote safe traffic movements.***

Policy II.1.3. The City shall continue to require development to provide safe and convenient on-site traffic flow, which includes the provision for vehicle parking.

***Justification: The proposed development provides adequate parking per the standards outlined in the Land Development Regulations for the proposed use of self-service automotive fueling station. The proposed signage and striping promote safe on-site vehicular movements.***

Policy II.1.4. The City shall continue to require any development which is required to provide a site plan or any development requiring platting, include requirements for additional right-of-way width for bicycle and pedestrian ways to be provided for all proposed collector and arterial roadways, as integrated or parallel transportation facilities.

***Justification: The site is bound by pedestrian walkways within the northern and western rights-of-way. The proposed development provides concrete sidewalk pedestrian connections to both US Highway 90 and Pinemount Road.***

Policy II.1.5 In accordance with Section 163.3180(5)(h)1.c. and 163.3180(5)(h)2. Florida Statutes, as amended, the City shall provide a means by which the landowner will be assessed a proportionate share of the cost of providing the transportation facilities necessary to serve the proposed development. However, the landowner shall not be held responsible for contributing to deficient transportation facilities.

***Justification: Acknowledged.***



**OBJECTIVE II.2** The City shall require that all traffic circulation system improvements be consistent with the land uses shown on the future land use plan map, limiting higher density and higher intensity land use locations to be adjacent to collector or arterial roads, as identified on the Future Transportation Map.

***Justification: The proposed development features a proposed turn-lane prior to the proposed right-in/right-out driveway. Refer to sheet C1.00 Site Plan.***

**OBJECTIVE II.4** The City shall provide for the protection of existing and future right-of-ways from building encroachment by establishing right-of-way setback requirements for all structures along new or realigned collector and arterial roadways to be provided for by the developer or purchased as right-of-way.

**Policy II.4.1** The City shall maintain provisions which require all structures along new or realigned collector or arterial roadways to provide additional setbacks for the future need of additional right-of-way. Such right-of-way shall be provided by the developer of the land as part of the development review process or shall be purchased by the agency improving the road.

***Justification: The proposed structures comply with the setback requirements outlined by the Land Development Regulations.***

**Policy II.4.2** Properties under the same ownership or those consolidated for development shall be treated as one property for the purposes of access management and shall not receive the maximum potential number of access points for that frontage indicated under minimum access spacing standards.

***Justification: Not applicable.***

**Policy II.4.3** Large commercial developments shall be required to provide and/or extend nearby local and collector streets and provide street connections with surrounding residential areas so residents may access the development without traveling on arterial streets.

***Justification: Not applicable. The proposed development has adequate frontage on both US Highway 90 and Pinemount Road.***

**Policy II.4.4** Shopping centers shall be required to provide a unified access and circulation plan and require any out parcels to obtain access from the unified access and circulation system.

***Justification: The proposed development is not a new shopping center. The subject property is an outparcel of an existing shopping center, which is served by an existing right-in/right-out driveway on US Highway 90.***

**Policy II.4.5** Existing lots unable to meet the access spacing standards for arterials shall obtain access from platted side streets, parallel streets, service roads, joint and cross access or the provision of easements.

***Justification: The proposed development does not propose modifications to the existing right-in/right-out driveway from the FDOT arterial, US Highway 90. The development proposes a right-in/right-out access on Pinemount Road with associated turn lane, signage, and striping improvements.***

**Policy II.4.6** Adequate corner clearance shall be maintained at crossroad intersections with arterials.

***Justification: This is provided. Refer to sheet C1.00 Site Plan.***

**Policy II.4.7** The City shall encourage cross-access connections easements and join driveways, where available and economically feasible.

***Justification: This is provided as the development does not propose modifications to the existing right-in/right-out driveway from US Highway 90, which is a shared access between the subject property and the existing shopping center.***

### **III. HOUSING ELEMENT**

***Justification: The proposed land use of self-service automotive fueling station does not qualify as a Residential-based development; therefore, this element is not applicable.***

### **IV. SANITARY SEWER, SOLID WASTE, DRAINAGE, POTABLE WATER AND NATURAL GROUNDWATER AQUIFER RECHARGE ELEMENT:**

**GOAL IV.1** - ENSURE THE PROVISION OF PUBLIC FACILITIES IN A TIMELY, ORDERLY EFFICIENT AND ENVIRONMENTALLY SOUND MANNER AT AN ACCEPTABLE LEVEL OF SERVICE FOR THE CITY'S POPULATION.

**OBJECTIVE IV.1** The City shall correct existing deficiencies by undertaking capital improvement projects in accordance with the schedule contained in the Capital Improvements Element of this Comprehensive Plan. Further, said existing deficiencies shall be prioritized on the schedule in conformance with the criteria established in the Capital Improvements Element of this Comprehensive Plan.

**Policy IV.1** The City shall provide that within the schedule contained in the Capital Improvements Element, that capital improvement projects needed for replacement or correction of existing deficiencies in public facilities be given priority over providing for future facilities needs; 1. If they are imminently needed to protect the public health and safety, which shall be given the highest priority; and 2. If existing facilities are not meeting maintenance or operation level of service standards adopted herein, which shall be given the second order of priority.

***Justification: Acknowledged. The existing public facilities in the vicinity of the property are anticipated to have adequate capacity to serve the proposed development.***

**OBJECTIVE IV.2** The City shall coordinate the extension of, or increase in the capacity of facilities by scheduling the completion of public facility improvements and require that they are concurrent with projected demand

***Justification: Acknowledged. The development proposes to tap the existing water main within Pinemount Boulevard to provide a 2" PE water service to the building.***

### **SANITARY SEWER FACILITY SUB ELEMENT**

**GOAL IV-2-** ENSURE THE PROVISION OF PUBLIC SANITARY SEWER FACILITIES IN A TIMELY, ORDERLY EFFICIENT AND ENVIRONMENTALLY SOUND MANNER AT AN ACCEPTABLE LEVEL OF SERVICE FOR THE CITY'S POPULATION.

**OBJECTIVE IV.3** The City shall coordinate the extension of or increase in the capacity of facilities by scheduling the completion of public sanitary sewer facility improvements concurrent with projected demand.

***Justification: Refer to the attached Capacity Concurrency Analysis demonstrating the proposed wastewater demand is within the limits of the level of service standards outlined in the Comprehensive Plan.***

### **SOLID WASTE FACILITY SUB ELEMENT**

**GOAL IV-3 -** ENSURE THE PROVISION OF PUBLIC SOLID WASTE FACILITIES IN A TIMELY, ORDERLY EFFICIENT AND ENVIRONMENTALLY SOUND MANNER AT AN ACCEPTABLE LEVEL OF SERVICE FOR THE CITY'S POPULATION.

**OBJECTIVE IV.4** The City shall continue to coordinate the extension of, or increase in the capacity of solid waste facilities by scheduling the completion of public facility improvements and requiring that they are concurrent with projected demand.

***Justification: The proposed development is anticipated to comply with the level of service standards outlined in the Comprehensive Plan.***

### **DRAINAGE FACILITY SUB ELEMENT**

**GOAL IV-4 -** ENSURE THE PROVISION OF PUBLIC DRAINAGE FACILITIES IN A TIMELY, ORDERLY EFFICIENT AND ENVIRONMENTALLY SOUND MANNER AT AN ACCEPTABLE LEVEL OF SERVICE FOR THE CITY'S POPULATION.

**OBJECTIVE IV.5** The City shall continue to coordinate the extension of, or increase in the capacity of drainage facilities by scheduling the completion of public facility improvements and requiring that they are concurrent with projected demand.

***Justification: Acknowledged. The proposed development is not anticipated to negatively impact existing public drainage facilities. An on-site stormwater management system is proposed to collect and attenuate stormwater runoff generated by the site.***

**Policy IV.5.2** The City shall prohibit the construction of structures or landscape alterations which would interrupt natural drainage flows, including sheet flow and flow to isolated wetland systems.

***Justification: The proposed development does not hinder natural drainage flows. The proposed on-site stormwater management system provides water quality treatment and attenuation prior to discharge into the shopping center's master drainage system. The proposed development does not impact or contain wetlands.***



**Policy IV.5.3** The City shall require a certification, by the preparer of the permit plans, that all construction activity undertaken shall incorporate erosion and sediment controls during construction.

**Justification: Acknowledged.**

#### **POTABLE WATER FACILITY SUB ELEMENT**

**GOAL IV-5 - ENSURE THE PROVISION OF PUBLIC POTABLE WATER FACILITIES IN A TIMELY, ORDERLY EFFICIENT AND ENVIRONMENTALLY SOUND MANNER AT AN ACCEPTABLE LEVEL OF SERVICE IN ORDER TO PROVIDE A SAFE RELIABLE POTABLE WATER SYSTEM WITH THE ABILITY TO MEET PROJECT DEMANDS THROUGH THE YEAR 2032.**

**OBJECTIVE IV.6** The City shall continue to coordinate the extension of or increase in the capacity of potable water facilities by scheduling the completion of public facility improvements and requiring that they are concurrent with projected demand.

**Justification: Refer to the attached Capacity Concurrency Analysis demonstrating the proposed potable water demand is within the limits of the level of service standards outlined in the Comprehensive Plan.**

#### **V. CONSERVATION ELEMENT**

**OBJECTIVE V.2** The City in order to protect the quality and quantity of current and projected water sources, hereby establishes a 500 foot wellfield protection area around community water system wells. In addition, the City in order to protect high ground water recharge areas shall limit development in these areas as specified in the high groundwater aquifer recharge protection policy of the Sanitary Sewer, Solid Waste, Drainage, Potable Water and Natural Groundwater Aquifer Recharge Element of this Comprehensive Plan.

**Justification: The subject property is not within the wellfield protection area, high ground water aquifer recharge area, and does not contain wetlands or other surface waters.**

**OBJECTIVE V.4** The City shall continue to include within the site and development plan approval process, provisions for the location and use of screens and buffers to preserve wildlife and wildlife habitats, the identification and protection of native wildlife and their habitats, including state and federally protected plant and animal species (endangered, threatened and species of special concern), within proposed development sites these natural resources from impacts of development by the use of the Florida Fish and Wildlife Conservation Commission Critical Wildlife Conservation Areas, Florida Natural Areas Inventory, and North Central Florida Strategic Regional Policy Plan Regionally Significant Natural Resources map series to identify habitats which potentially contain endangered, threatened or species of special concern, and rare or unique vegetative communities prior to granting development approval.

**Justification: Acknowledged. The site is not anticipated to contain state and federally protected plant and animal species.**

## **VI. RECREATION AND OPEN SPACE ELEMENT:**

***Justification: The proposed land use of self-service automotive fueling station does not qualify as a Recreation based facility; therefore, this element is not applicable.***

## **VII. INTERGOVERNMENTAL COORDINATION ELEMENT**

**GOAL VII** - ESTABLISH PROCESSES AMONG THE VARIOUS GOVERNMENTAL ENTITIES TO ACHIEVE COORDINATION OF COMPREHENSIVE PLANNING, ENSURE COMPATIBLE DEVELOPMENT, PROVIDE ADEQUATE PUBLIC SERVICES AND PROMOTE THE EFFICIENT USE OF AVAILABLE RESOURCES AMONG GOVERNMENTAL ENTITIES

***Justification: The proposed development is consistent with the assigned zoning designation of Commercial, Intensive (CI) and Future Land Use designation of Commercial.***

## **VIII. CAPITAL IMPROVEMENTS ELEMENT**

**GOAL VIII** - THE CITY SHALL ANNUALLY ADOPT AND IMPLEMENT A CAPITAL IMPROVEMENTS PROGRAM WHICH COORDINATES THE TIMING AND PRIORITIZES THE DELIVERY OF THE NEEDS ADDRESSED WITHIN THE OTHER ELEMENTS OF THIS COMPREHENSIVE PLAN.

**OBJECTIVE VIII.1** The City shall provide capital improvements to correct the existing and projected deficiencies as identified within the schedule of improvements and funding of this plan element, by adopting an annual capital improvements budget which is consistent with the schedule of improvements and funding.

**OBJECTIVE VIII.2** The City shall require that all decisions regarding the issuance of development orders and permits shall be consistent with the established level of service standards adopted for public facilities within the Comprehensive Plan.

**OBJECTIVE VIII.3** The City shall include subdivision improvement standards within the land development regulations which require that, the subdivider, at his or her expense, shall provide paved streets, install sidewalks, street name signs, street lights, curbs and gutters, install water mains and stormwater facilities and, where centralized sanitary sewer and potable water service is available, install sanitary sewer, water mains and fire hydrants connected to the mains.

***Justification: The property is an outparcel of an existing shopping center. Adequate public facilities are within the vicinity of the property to support the proposed development.***

## **IX. PUBLIC SCHOOL FACILITIES ELEMENT**

**GOAL IX.1** - IT IS THE GOAL OF THE CITY TO PROVIDE FOR THE FUTURE AVAILABILITY OF PUBLIC SCHOOL FACILITIES IN A MANNER CONSISTENT WITH ADOPTED LEVEL OF SERVICE STANDARDS. THIS GOAL SHALL BE ACCOMPLISHED IN ORDER TO PROVIDE ADEQUATE SCHOOL FACILITY CAPACITY, AS DETERMINED BY THE LEVEL OF SERVICE, ON A COUNTY-WIDE BASIS.

**GOAL IX.2** - IT IS THE GOAL OF THE CITY TO ESTABLISH A PROCESS FOR THE IMPLEMENTATION OF SCHOOL CONCURRENCY BY PROVIDING FOR CAPACITY DETERMINATION STANDARDS, AVAILABILITY STANDARDS, APPLICABILITY STANDARDS AND PROPORTIONATE SHARE MITIGATION.

***Justification: The proposed development does not have an impact on the capacity of public-school facilities as outlined in the Comprehensive Plan.***

We look forward to a favorable review by the City of Lake City Growth Management Department of this proposed Project.

Sincerely,

Dynamic Engineering Consultants, P.C.

Michael D. Miles, P.E.  
Regional Manager/ Senior Principal



September 15, 2025

City of Lake City-Growth Management Department  
205 North Marion Ave  
Lake City, FL 32055**RE: Proposed Circle K  
4706 W US Hwy 90  
Lake City, FL 332055  
Parcel No: 34-3S-16-02465-010  
DECPC No.: 2451-24-03094****Concurrency Analysis**

FACILITY TYPE	LEVEL OF SERVICE STANDARD PER THE LAKE CITY COMPREHENSIVE PLAN	BUILD CONDITIONS
Traffic Circulation	Refer to the Traffic Impact Analysis for Proposed Circle K Prepared by Dynamic Traffic dated June 2, 2025.	
Potable Water	50 pounds per square inch of volume	650 GPD for a Service Station with 2 bathrooms Peak demand = 4.06 GPM
		Note: Estimated demand per establishment is from section 64E-6.008 System Size Determinations Table I effective 7/16/2013. Peak Demand (PD) is calculated using: $PD = (GPD/T) \times 0.1 + IF$ , from the section 64E-8.002 (4) Limited Use Public Water System Construction, where $T = 16$ hours and $IF = 0$
Sanitary Sewer	135 gallons per capita per day	650 GPD for a Service Station with 2 bathrooms Peak demand = 4.06 GPM
		Note: Estimated demand per establishment is from section 64E-6.008 System Size Determinations Table I effective 7/16/2013. Peak Demand (PD) is calculated using: $PD = (GPD/T) \times 0.1 + IF$ , from the section 64E-8.002 (4) Limited Use Public Water System Construction, where $T = 16$ hours and $IF = 0$