



GROWTH MANAGEMENT
 205 North Marion Ave.
 Lake City, FL 32055
 Telephone: (386)719-5750
 E-Mail:
 growthmanagement@lcfla.com

FOR PLANNING USE ONLY

Application # SPR24-01
 Application Fee: \$200.00
 Receipt No. _____
 Filing Date 12/05/23
 Completeness Date _____

Site Plan Application

A. PROJECT INFORMATION

1. Project Name: ClearSky
2. Address of Subject Property: SW Real Terrace
3. Parcel ID Number(s): 02579-002, 02579-006, 02579-008, 02579-010, 02579-012, & 02579-013
4. Future Land Use Map Designation: Commercial
5. Zoning Designation: Commercial, Intensive ("CI")
6. Acreage: +/- 7.33 Acres
7. Existing Use of Property: Vacant Commercial
8. Proposed use of Property: Medical Facility - In-patient Rehabilitation - No Out-Patient Care
9. Type of Development (Check All That Apply):
 - Increase of floor area to an existing structure: Total increase of square footage _____
 - New construction: Total square footage 42,745
 - Relocation of an existing structure: Total square footage _____

B. APPLICANT INFORMATION

1. Applicant Status Owner (title holder) Agent
2. Name of Applicant(s): Brandon M. Stubbs Title: Senior Planner
 Company name (if applicable): North Florida Professional Services
 Mailing Address: P.O. Box 3823
 City: Lake City State: FL Zip: 32056
 Telephone: (386) 752-4675 Fax: () Email: bstubbs@NFPS.net

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

3. If the applicant is agent for the property owner*.
 Property Owner Name (title holder): Real Terrace, LLC., Will Summers Properties, Inc., Summers & Summers, & Nadejda Summers
 Mailing Address: _____
 City: _____ State: _____ Zip: _____
 Telephone: () _____ Fax: () _____ Email: bstubbs@NFPS.net

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

***Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**

C. ADDITIONAL INFORMATION

1. Is there any additional contract for the sale of, or options to purchase, the subject property?
If yes, list the names of all parties involved: _____
If yes, is the contract/option contingent or absolute: Contingent Absolute
2. Has a previous application been made on all or part of the subject property? Yes No
Future Land Use Map Amendment: Yes ^{ORD 2023-2259} _____ No _____
Future Land Use Map Amendment Application No. _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning): Yes ^{ORD 2023-2262} _____ No _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. _____
Variance: Yes _____ No _____
Variance Application No. _____
Special Exception: Yes _____ No _____
Special Exception Application No. _____

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

1. Vicinity Map – Indicating general location of the site, abutting streets, existing utilities, complete legal description of the property in question, and adjacent land use.
2. Site Plan – Including, but not limited to the following:
 - a. Name, location, owner, and designer of the proposed development.
 - b. Present zoning for subject site.
 - c. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties and any screening or buffers on such properties.
 - d. Date, north arrow, and graphic scale not less than one inch equal to 50 feet.
 - e. Area and dimensions of site (Survey).
 - f. Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.
 - g. Access to utilities and points of utility hook-up.
 - h. Location and dimensions of all existing and proposed parking areas and loading areas.
 - i. Location, size, and design of proposed landscaped areas (including existing trees and required landscaped buffer areas).
 - j. Location and size of any lakes, ponds, canals, or other waters and waterways.
 - k. Structures and major features fully dimensioned including setbacks, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and percent of property covered by structures.
 - l. Location of trash receptacles.
 - m. For multiple-family, hotel, motel, and mobile home park site plans:
 - i. Tabulation of gross acreage.
 - ii. Tabulation of density.
 - iii. Number of dwelling units proposed.
 - iv. Location and percent of total open space and recreation areas.
 - v. Percent of lot covered by buildings.

- vi. Floor area of dwelling units.
 - vii. Number of proposed parking spaces.
 - viii. Street layout.
 - ix. Layout of mobile home stands (for mobile home parks only).
3. Stormwater Management Plan—Including the following:
- a. Existing contours at one foot intervals based on U.S. Coast and Geodetic Datum.
 - b. Proposed finished elevation of each building site and first floor level.
 - c. Existing and proposed stormwater management facilities with size and grades.
 - d. Proposed orderly disposal of surface water runoff.
 - e. Centerline elevations along adjacent streets.
 - f. Water management district surface water management permit.
4. Fire Department Access and Water Supply Plan: The Fire Department Access and Water Supply Plan must demonstrate compliance with Chapter 18 of the Florida Fire Prevention Code, be located on a separate signed and sealed plan sheet, and must be prepared by a professional fire engineer licensed in the State of Florida. The Fire Department Access and Water Supply Plan must contain fire flow calculations in accordance with the Guide for Determination of Required Fire Flow, latest edition, as published by the Insurance Service Office ("ISO") and/or Chapter 18, Section 18.4 of the Florida Fire Prevention Code, whichever is greater.
5. Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities. For commercial and industrial developments, an analysis of the impacts to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts are required.
6. Comprehensive Plan Consistency Analysis: An analysis of the application's consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies).
7. Legal Description with Tax Parcel Number (In Word Format).
8. Proof of Ownership (i.e. deed).
9. Agent Authorization Form (signed and notarized).
10. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector's Office).
11. Fee. The application fee for a Site and Development Plan Application is \$200.00. No application shall be accepted or processed until the required application fee has been paid.

NOTICE TO APPLICANT

All eleven (11) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

A total of ten (10) copies of proposed site plan application and all support materials must be submitted along with a PDF copy on a CD. See City of Lake City submittal guidelines for additional submittal requirements.

THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES, OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

Brandon M. Stubbs

Applicant/Agent Name (Type or Print)

[Handwritten Signature]

Applicant/Agent Signature

11/29/23

Date

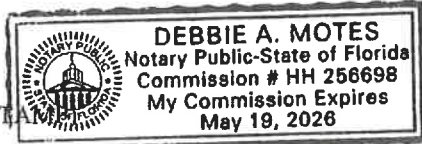
Applicant/Agent Name (Type or Print)

Applicant/Agent Signature

Date

STATE OF FLORIDA
COUNTY OF Columbia

The foregoing instrument was acknowledged before me this 29th day of Nov., 2023, by (name of person acknowledging) BRANDON



(NOTARY SEAL or STAMP)

[Handwritten Signature]

Signature of Notary

Debbie A. Motes

Printed Name of Notary

Personally Known OR Produced Identification _____
Type of Identification Produced



Columbia County Property Appraiser Jeff Hampton | Lake City, Florida | 386-758-1083

PARCEL: | |

Owner:
Site:
Sales Info
NONE

Mkt Lnd
Ag Lnd
Bldg
XFOB
Just

2024 Working Values
Appraised
Assessed
Exempt
Total
Taxable

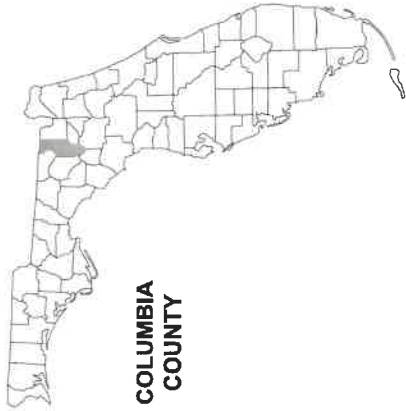
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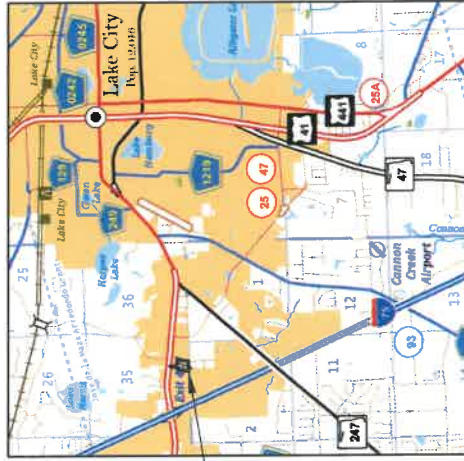
Columbia County, FL

This information, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. GrizzlyLoglc.com

CLEARSKY - LAKE CITY LAKE CITY, FL



**COLUMBIA
COUNTY**



PROJECT LOCATION

SHEET INDEX

1	SITE COVER
2	SIGNATURE SHEET
3	NOTES
4	DEMOLITION PLAN
5	OVERALL SITE PLAN
6	KEY SHEET
7	BUILDING PLAN
8-10	SITE PLANS
11	ROADWAY ACCESS PLAN SHEET
12-15	GRADING PLANS
16-17	DRAINAGE PLANS
18-19	SWMF PLANS
20-21	SWMF DETAILS
22	SANITARY SEWER PLAN
23-24	UTILITY CONNECTION PLANS
25	WATER & SEWER NOTES
26-29	WATER DETAILS
30	SANITARY DETAILS
31-37	MISC DETAILS
38	EROSION CONTROL PLAN
39	EROSION NOTES
40	EROSION DETAILS
41-42	LANDSCAPE PLANS
43	LANDSCAPE NOTES
44	FIRE ACCESS PLAN AND WATER SUPPLY
45	PRE-EXISTING BASINS
46	POST-CONDITION BASINS

PLANS PREPARED FOR:

**THE SANDERS TRUST
1000 URBAN CENTER DR. SUITE 675
BIRMINGHAM, AL 35242**

**12/2023
SUBMITTAL PLANS
NOT FOR CONSTRUCTION**

DATE	REVISIONS DESCRIPTION

NORTH FLORIDA PROFESSIONAL SERVICES, INC.
P.O. BOX 3823
LAKE CITY, FL 32856
PH. 386-752-4875
LIC NO. LB68356



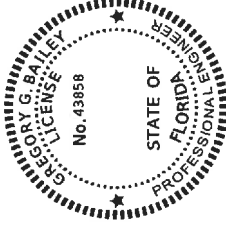
JOB NUMBER:
2306218AN
ENGINEER:
GREGORY G. BAILEY
P.E. NO.:
43885

COVER SHEET

**SHEET
NO.**
1

SHEET INDEX

- 1 SITE COVER
- 2 SIGNATURE SHEET
- 3 NOTES
- 4 DEMOLITION PLAN
- 5 OVERALL SITE PLAN
- 6 KEY SHEET
- 7 BUILDING PLAN
- 8-10 SITE PLANS
- 11 ROADWAY ACCESS PLAN SHEET
- 12-15 GRADING PLANS
- 16-17 DRAINAGE PLANS
- 18-19 SWMF PLANS
- 20-21 SWMF DETAILS
- 22 SANITARY SEWER PLAN
- 23-24 UTILITY CONNECTION PLANS
- 25 WATER & SEWER NOTES
- 26-29 WATER DETAILS
- 30 SANITARY DETAILS
- 31-37 MISC DETAILS
- 38 EROSION CONTROL PLAN
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- 43 LANDSCAPE NOTES
- 44 FIRE ACCESS PLAN AND WATER SUPPLY
- 45 PRE-EXISTING BASINS
- 46 POST-CONDITION BASINS



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GREGORY G. BAILEY ON THE DATE ADJACENT TO THE SEAL.
 PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

NORTH FLORIDA PROFESSIONAL SERVICES, INC.
 P.O. BOX 3823
 LAKE CITY, FL 32056
 CORPORATION (ON-3801)
 GREGORY G. BAILEY, P.E. NO. 43858

THE ABOVE NAMED PROFESSIONAL ENGINEER SHALL BE RESPONSIBLE FOR THE FOLLOWING SHEETS IN ACCORDANCE WITH RULE 61G15-23.004, F.A.C.

SITE DATA TABLE

CLEARSKY

PARCEL ID NUMBER	35-3S-16-02579-002	SO. FT.	ACRES	% OF SITE	% OF LOC
ZONING	COMMERCIAL INTENSIVE	319086	7.33	100.00%	95.50%
LAND USE	COMMERCIAL	334106	7.67	81.04%	100.00%
CITY COUNCIL DISTRICT NUMBER	DISTRICT 5	334106	7.67	81.04%	100.00%
PHYSICAL ADDRESS	SW REAL TERRACE, LAKE CITY, FL				
PROJECT PROPERTY BOUNDARY					
TOTAL PROPERTY BOUNDARY AREA		0	0.00	0.00%	0.00%
PROJECT AREA / LIMITS OF CONSTRUCTION (LOC)		20979	0.48	6.57%	6.28%
BOTH ON-SITE & OFF-SITE		0	0.00	0.00%	0.00%
EXISTING IMPERVIOUS AREA ON-SITE		46492	1.07	14.57%	13.92%
EXISTING ASPHALT PAVEMENT		67472	1.55	21.15%	20.19%
EXISTING CONCRETE		0	0.00	0.00%	0.00%
EXISTING BUILDING		0	0.00	0.00%	0.00%
EXISTING STORMWATER MANAGEMENT FACILITY		0	0.00	0.00%	0.00%
TOTAL EXISTING IMPERVIOUS AREA ON-SITE		0	0.00	0.00%	0.00%
PROPOSED IMPERVIOUS AREA ON-SITE		67273	1.54	21.08%	20.14%
EXISTING ASPHALT PAVEMENT TO REMAIN		27748	0.64	8.70%	8.31%
EXISTING CONCRETE TO REMAIN		43575	1.00	13.66%	13.04%
EXISTING BUILDING TO REMAIN		64062	1.49	20.36%	19.44%
EXISTING STORMWATER MANAGEMENT FACILITY TO REMAIN		203558	4.67	63.79%	60.93%
PROPOSED ASPHALT PAVEMENT		11528	2.65	36.21%	34.58%
PROPOSED CONCRETE		4501	0.10	1.41%	1.35%
PROPOSED BUILDING		45013	1.03	14.11%	13.47%
PROPOSED STORMWATER MANAGEMENT FACILITY		93 SPACES + 8 H.C. SPACES			
TOTAL PROPOSED IMPERVIOUS AREA ON-SITE		93 SPACES + 8 H.C. SPACES			
TOTAL PROPOSED PERVIOUS AREA ON-SITE					
REQUIRED PARKING AREA ON-SITE					
REQUIRED PARKING					
PROVIDED PARKING					

<p>DATE</p> <p>REVISIONS DESCRIPTION</p>	<p>SIGNATURE SHEET CLEARSKY - LAKE CITY LAKE CITY, FL</p>	<p>SHEET NO. 2</p>
<p>NORTH FLORIDA PROFESSIONAL SERVICES, INC. 2551 BLAIRSTONE PINES DR. TALLAHASSEE, FL 32301 WWW.NFPS.NET CAM 28011</p>		
<p>JOB NUMBER: L208218AN EOR: GREGORY G. BAILEY P.E. NO.: 43858</p>		

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE TO ENSURE THAT ALL NEW WORK WILL FIT IN THE MANNER INTENDED ON THE PLANS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE CITY OF LAKE CITY, FLORIDA (DEPARTMENT OF GROWTH MANAGEMENT) OF SUCH DIFFERENCES IMMEDIATELY AND PRIOR TO PROCEEDING WITH THE WORK.
2. THE CONTRACTOR SHALL COMPLY WITH ALL CONDITIONS AS SET FORTH BY THE ISSUED SUWANNEE RIVER WATER MANAGEMENT DISTRICT ENVIRONMENTAL RESOURCE PERMIT.

3. THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION SITE IN A SECURE MANNER. ALL OPEN TRENCHES AND EXCAVATED AREAS SHALL BE PROTECTED FROM ACCESS BY THE GENERAL PUBLIC.
4. BOUNDARY INFORMATION SHOWN, WAS OBTAINED FROM A BOUNDARY SURVEY PREPARED BY NFPS, INC.
5. ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHOULD NOTIFY THE ENGINEER.
6. THE SITE IS LOCATED IN SECTION 35, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA.

7. THE CONTRACTOR SHALL IMPLEMENT ALL COMPONENTS OF THE EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO ANY EARTH DISTURBING ACTIVITIES. ALL COMPONENTS SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL ALL VEGETATION IS ESTABLISHED. THE ENTIRE PROJECT AREA IS STABILIZED AND THE OWNER HAS ACCEPTED OPERATION AND MAINTENANCE.

8. THE STORMWATER BASIN IS DESIGNED IN ACCORDANCE WITH SRWMD APPLICANT HANDBOOK VOLUME 11 AND 62-330 F.A.C.

9. ALL SLOPES OF THE STORMWATER BASIN SHALL BE GRASSED. ALL SLOPES STEEPER THAN 3:1 SHALL BE STAPLED SOD.
10. ALL DISTURBED AREAS NOT SODDED SHALL BE SEEDDED WITH A MIXTURE OF LONG-TERM VEGETATION AND QUICK GROWING SHORT-TERM VEGETATION FOR THE FOLLOWING CONDITIONS. FOR THE MONTHS FROM SEPTEMBER THROUGH MARCH, THE MIX SHALL CONSIST OF 70 POUNDS PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF WINTER RYE. FOR THE MONTHS OF APRIL THROUGH AUGUST, THE MIX SHALL CONSIST OF 70 PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF MILLET.

11. EXISTING DRAINAGE STRUCTURES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED.
12. THE LOCATION OF THE UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR DURING CONSTRUCTION. CONTRACTOR SHALL PROTECT ALL UTILITIES WITHIN THE PROJECT AREAS.

13. ALL UTILITY CONSTRUCTION SHALL MEET THE CITY OF LAKE CITY WATER AND WASTEWATER UTILITY STANDARDS, AVAILABLE FROM CITY HALL OR PUBLIC WORKS.
14. ALL SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF LAKE CITY LAND DEVELOPMENT REGULATIONS.

15. CONTRACTOR SHALL REVIEW AND BECOME FAMILIAR WITH ALL REQUIRED UTILITY CONNECTIONS PRIOR TO BIDDING. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS REQUIRED TO COMPLETE CONNECTION TO THE EXISTING UTILITIES. THIS INCLUDES BUT IS NOT LIMITED TO MANHOLE CORING, WET TAPS, PAVEMENT REPAIRS AND DIRECTIONAL BORING.

16. CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS WITHIN PROJECT AREA.

17. CONTRACTOR SHALL PROVIDE ACTUAL INVERT ELEVATIONS ON ALL DRAINAGE STRUCTURES, INCLUDING CULVERTS, PRIOR TO PLACING ANY BASE MATERIAL. DEVIATIONS FROM THE PLANS SHALL BE APPROVED BY THE ENGINEER BEFORE CONTINUING WORK.



DATE	REVISIONS DESCRIPTION

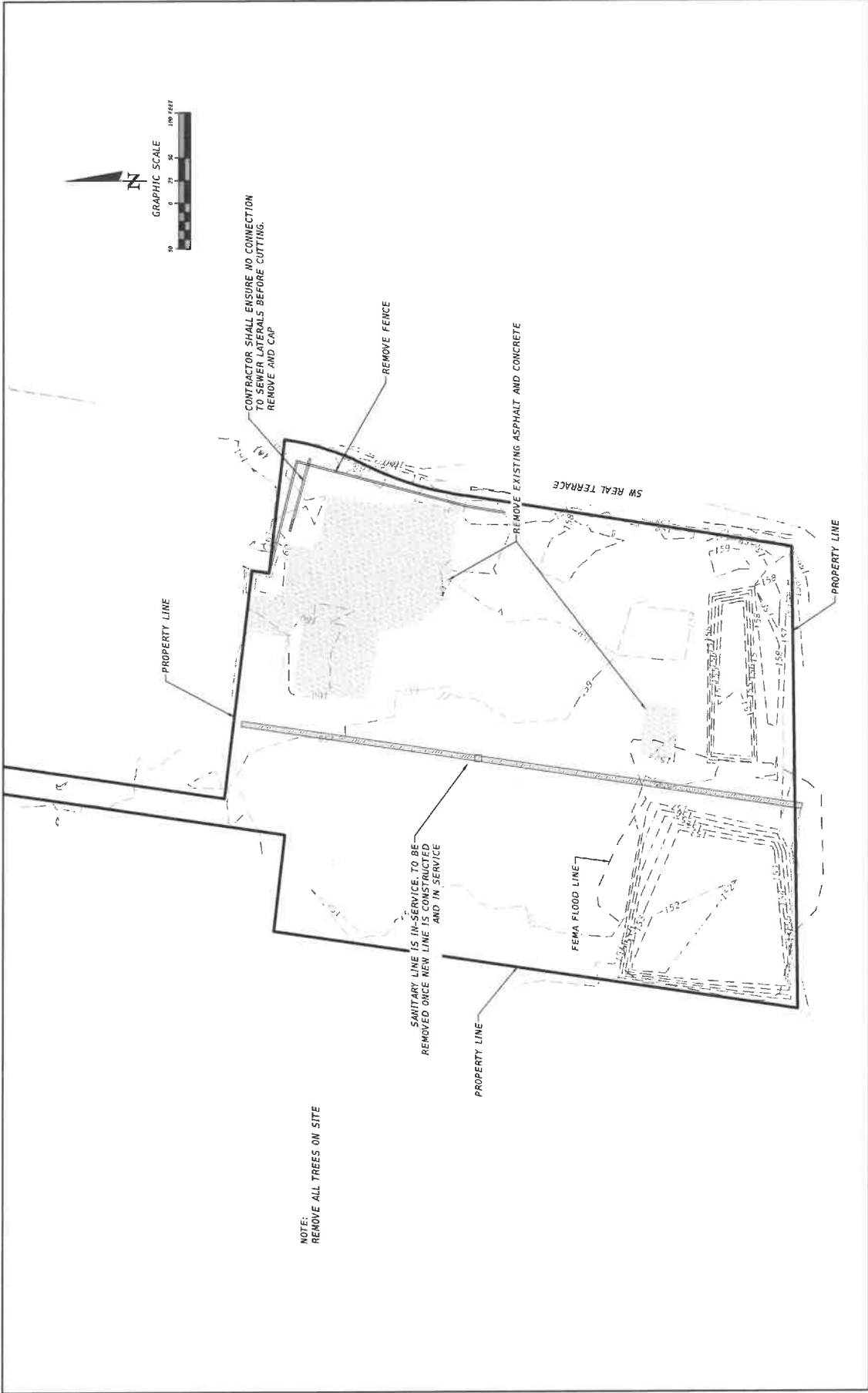
NORTH FLORIDA PROFESSIONAL SERVICES, INC.
 2351 BLAIRSTONE PINES DR.
 TALLAHASSEE, FL 32301
 WWW.NFPS.NET
 CWF 26011

JOB NUMBER:
 L230621SAN
FOR:
 GREGORY G. BAILEY
P.E. NO.:
 43856

NOTES
CLEARSKY - LAKE CITY
LAKE CITY, FL

SHEET NO.
3

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GREGORY G. BAILEY, ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



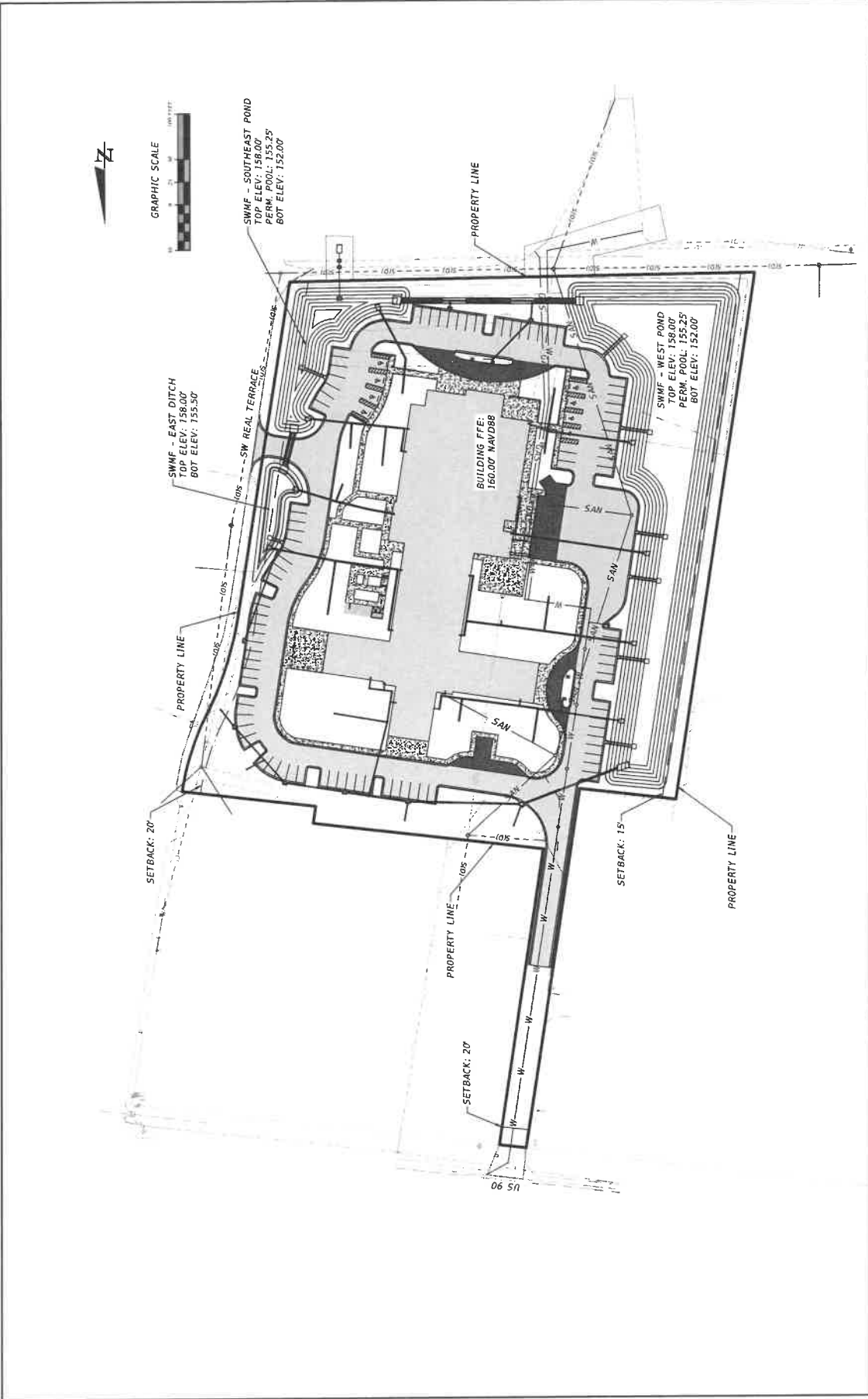
NOTE:
REMOVE ALL TREES ON SITE

DATE	REVISIONS DESCRIPTION

<p>DEMOLITION PLAN CLEARSKY - LAKE CITY LAKE CITY, FL</p>		<p>SHEET NO. 4</p>
<p>NORTH FLORIDA PROFESSIONAL SERVICES, INC. P.O. BOX 3823 LAKE CITY, FL 32056 PH. 386-792-4675 WWW.NFPS.NET LIC NO. LBS556</p>		<p>JOB NUMBER: L320821SAN EOR: GREGORY G. BAILEY P.E. NO.: 49888</p>
<p>12/7/2023 3:57:08 PM Darrin Kellon X:\2023\230821SAN\1\CAD\CAD\CLEARSKY\NORTHFLORIDA\PLAN02_Clearsky_01.dwg - 4 DEMOLITION PLAN</p>		



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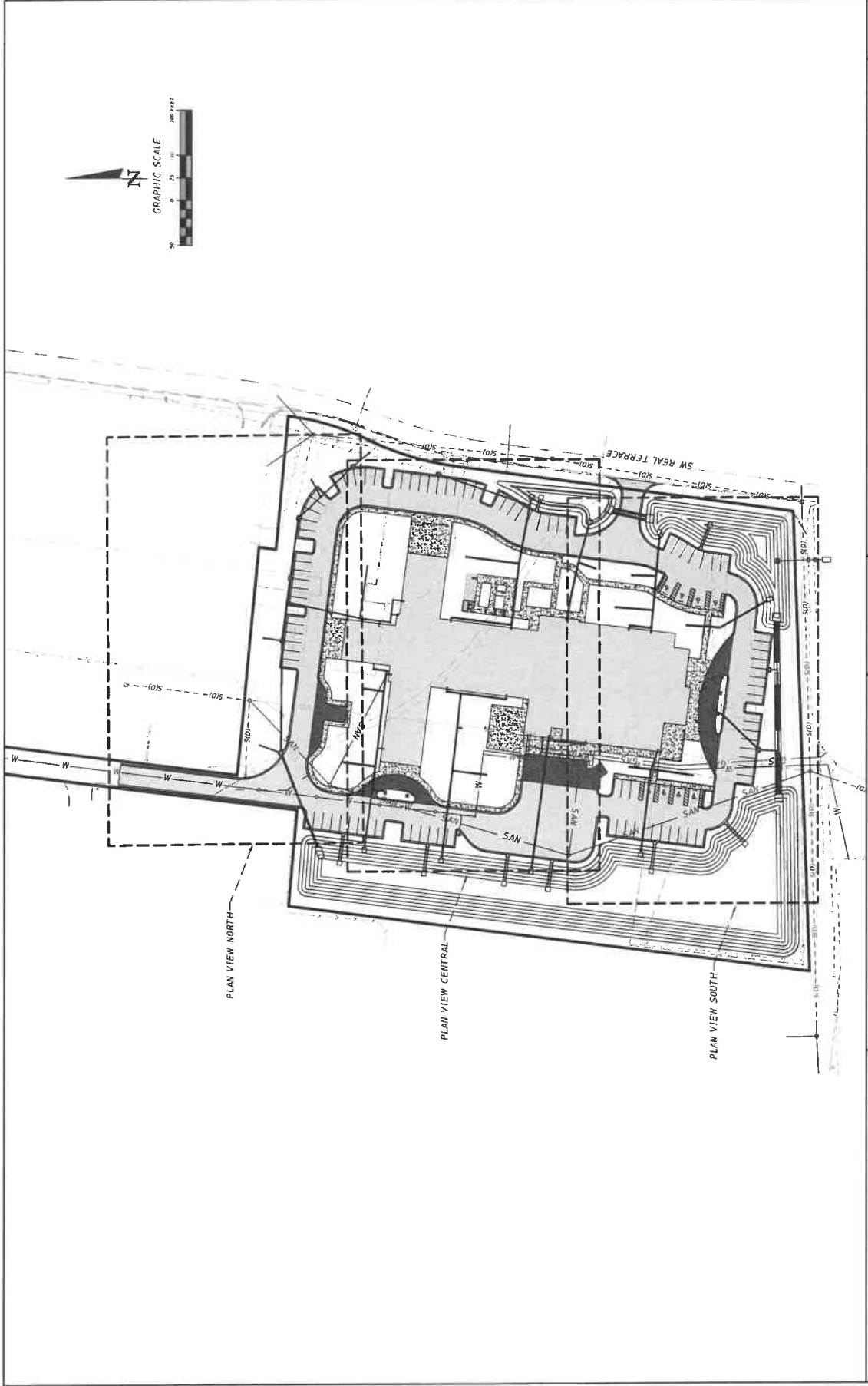
DATE	REVISIONS DESCRIPTION

<p>NORTH FLORIDA PROFESSIONAL SERVICES, INC. P.O. BOX 3823 LAKE CITY, FL 32856 PH: 386-52-4675 LIC NO. LB6556</p>	<p>JOB NUMBER: L230821SAN EOR: GREGORY G. BAILEY P.E. NO.: 43888</p>	<p>OVERALL SITE PLAN CLEARSKY - LAKE CITY LAKE CITY, FL</p>	<p>SHEET NO. 5</p>
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12/17/2023 3:57:19 PM
 Daria Kileva
 T:\2023\230821SAN\CFD\CADD\Clearsky\Mainway\PLAND Clearsky_01.dwg 3 OVERALL SITE PLAN

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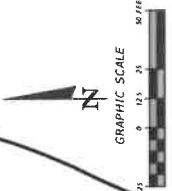
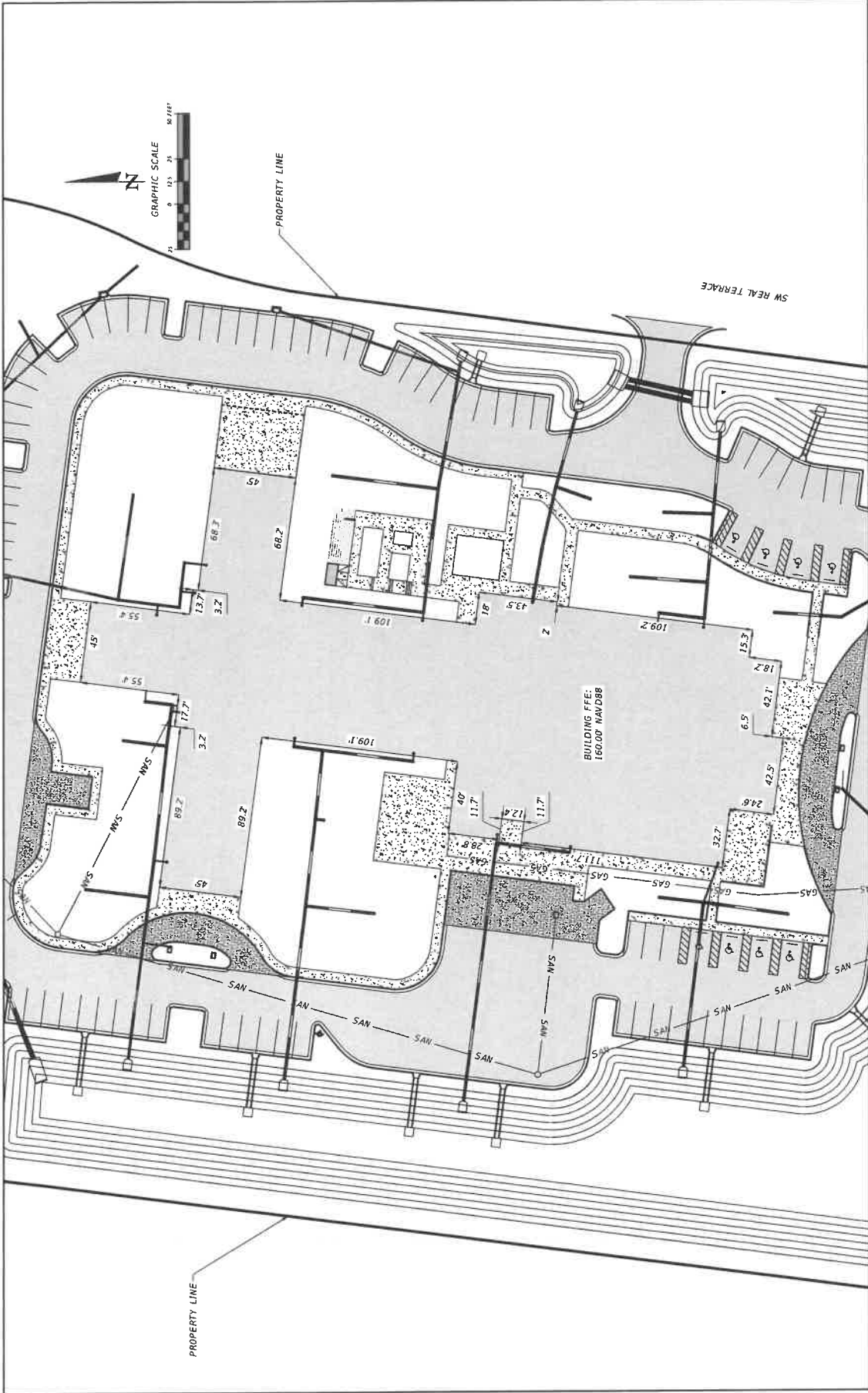


REVISIONS		DESCRIPTION	
DATE			

<p>KEY SHEET CLEARSKY - LAKE CITY LAKE CITY, FL</p>		<p>SHEET NO. 6</p>
<p>NORTH FLORIDA PROFESSIONAL SERVICES, INC. P.O. BOX 3823 LAKE CITY, FL 32056 PH. 386-752-4675 LIC NO. LB8556</p>		<p>JOB NUMBER: 230227SAN EOR: GREGORY G. BAILEY P.E. NO.: 43358</p>
<p>12/17/2023 3:57:12 PM Danna Killest</p>		<p>12/17/2023 3:57:12 PM Danna Killest</p>



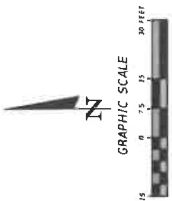
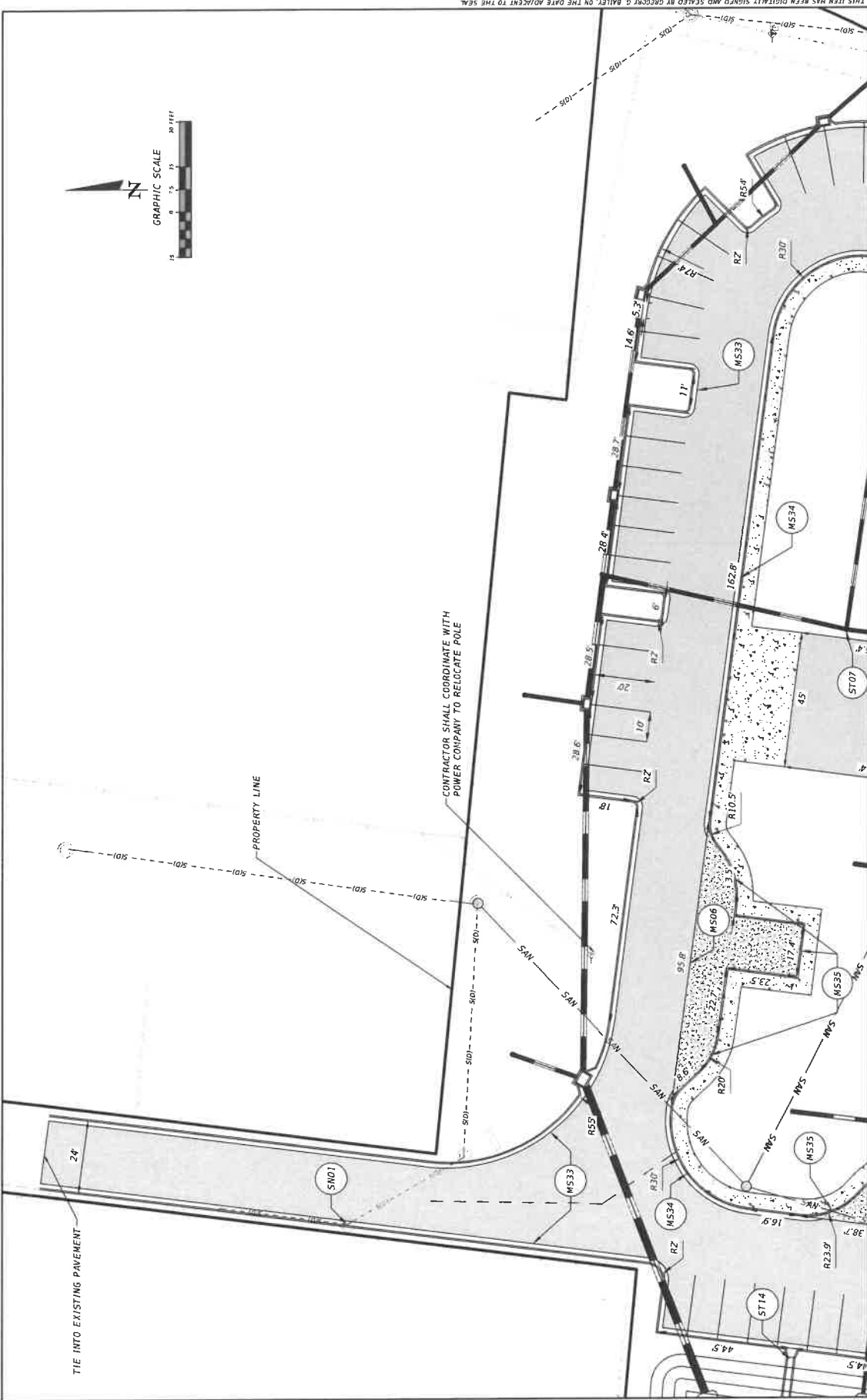
THIS PLAN HAS BEEN DIGITALLY SIGNED AND SEALED BY GREGORY G. BAILEY, ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON AN ELECTRONIC COPY.



DATE	REVISIONS DESCRIPTION

BUILDING PLAN CLEARSKY - LAKE CITY LAKE CITY, FL	
JOB NUMBER: L2308218AN EDR: GREGORY G. BAILEY P.E. NO.: 45888	NORTH FLORIDA PROFESSIONAL SERVICES, INC. 2551 BLAIRSTONE PINES DR. TALLAHASSEE, FL 32304 WWW.NFPS.NET CA# 29041 LC NO. LBR556
12/11/2023 3:57:16 PM Dawn Kitepat	





DATE	REVISION	DESCRIPTION
	8	
SITE PLAN NORTH CLEARSKY - LAKE CITY LAKE CITY, FL		
NORTH FLORIDA PROFESSIONAL SERVICES, INC. P.O. BOX 3823 LAKE CITY, FL 32066 PH. 386-752-4675 WWW.NFPS.NET LIC NO. LB9556		JOB NUMBER: L3204318AN EOR: GREGORY G. BAILEY P.E. NO.: 43858
CONTRACTOR SHALL COORDINATE WITH POWER COMPANY TO RELOCATE POLE		PROPERTY LINE
TIE INTO EXISTING PAVEMENT		CONTRACTOR SHALL COORDINATE WITH POWER COMPANY TO RELOCATE POLE

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12/7/2023 3:57:19 PM
 Darrin Killeen

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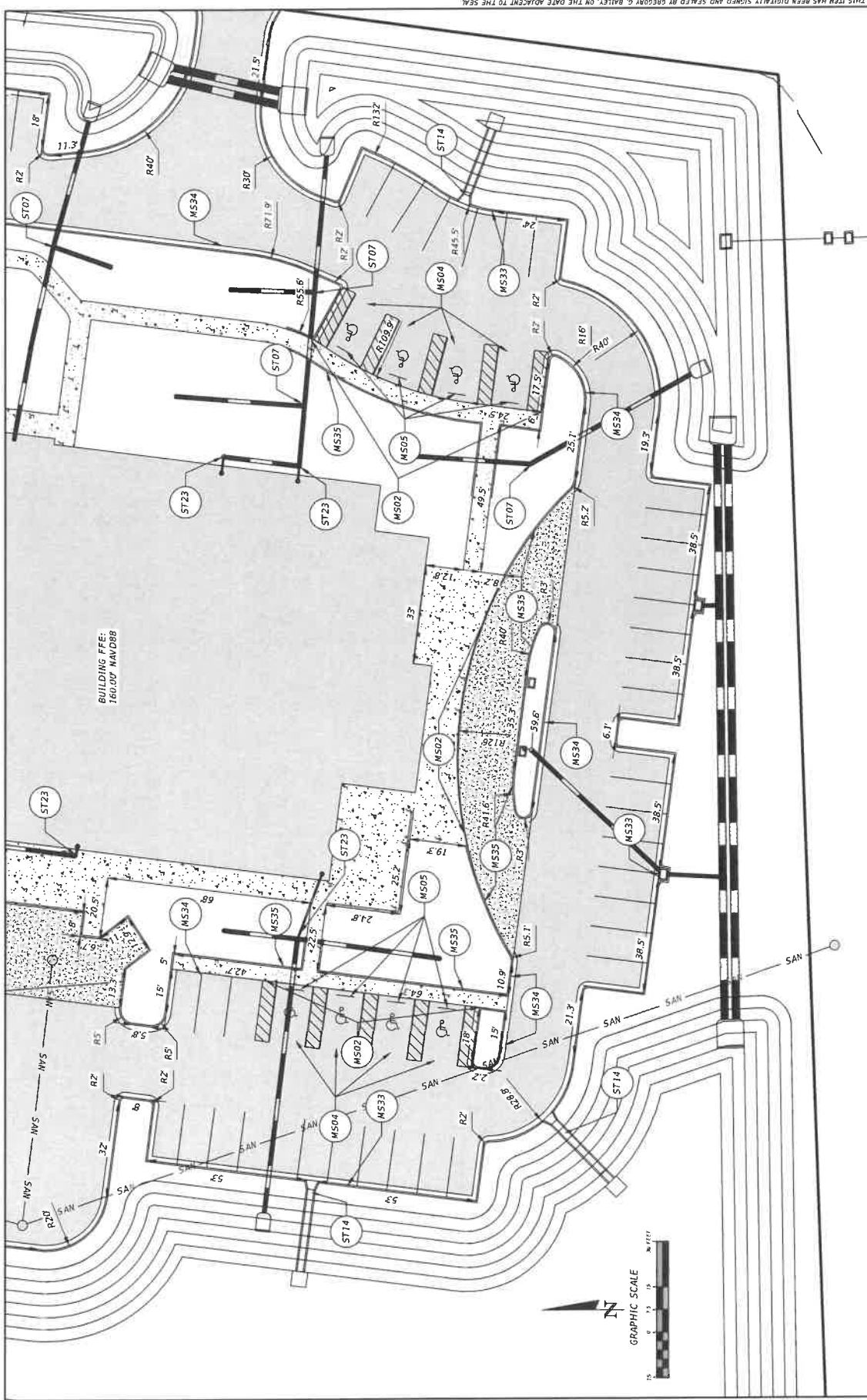
NORTH FLORIDA PROFESSIONAL SERVICES, INC.
 P.O. BOX 3823
 LAKE CITY, FL 32056
 PH. 386-792-4675
 WWW.NFPS.NET
 LIC. NO. LB8656

JOB NUMBER:
 L320821SAN
EOR:
 GREGORY G. BAILEY
P.E. NO.:
 49558

**SITE PLAN CENTRAL
 CLEARSKY - LAKE CITY
 LAKE CITY, FL**

**SHEET
 NO.**
 9

12/17/2023 2:57:23 PM
 D:\R\K\Rev
 C:\2023\120821SAN\VT\CAD\2023\Clearsky\Plan\Map\PLAN09_Site Plan Central



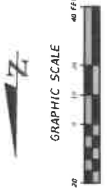
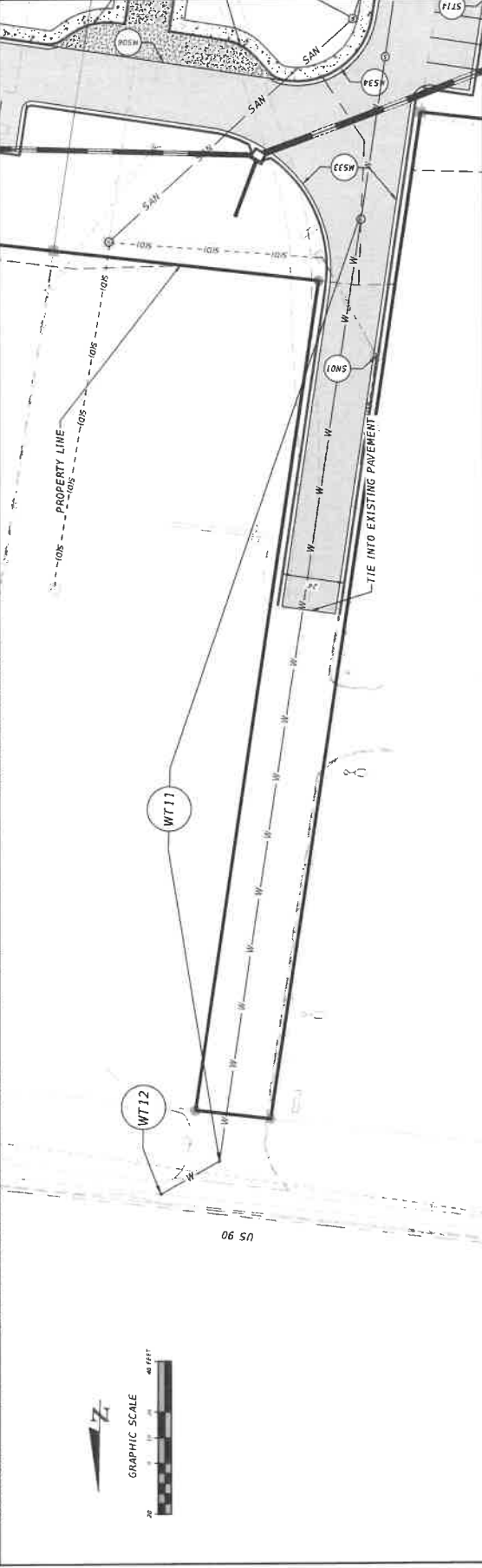
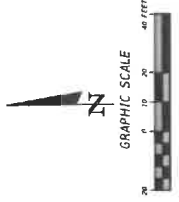
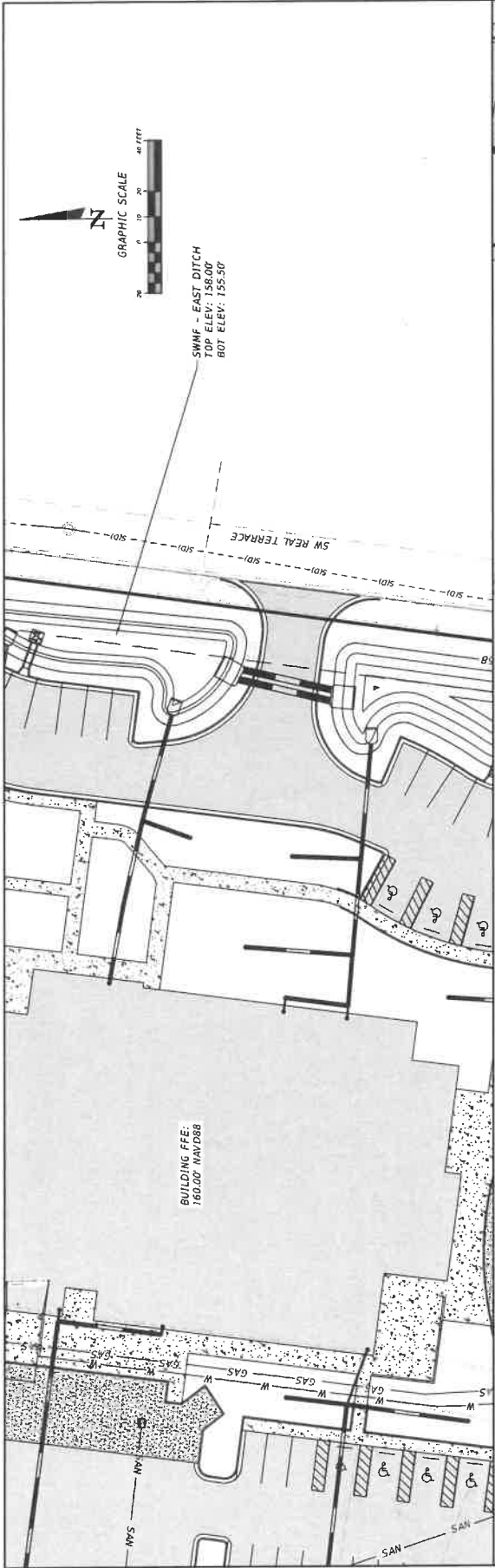
BUILDING FEES
TABLE 107 NAVD88

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DATE	REVISION B	NORTH FLORIDA PROFESSIONAL SERVICES, INC. P.O. BOX 3823 LAKE CITY, FL 32056 PH. 386-752-4675 WWW.NFPS.NET LIC NO. LBR556		JOB NUMBER: EOR: 2023SAN GREGORY G. BAILEY P.E. NO.: 43958	SHEET NO. 10
	DESCRIPTION	2551 BLARSTONE PINES DR. TALLAHASSEE, FL 32301 WWW.NFPS.NET CAN# 29011		DATE: 12/17/2023 3:57:27 PM DRAWN: Kellert	10 SITE PLAN SOUTH



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DATE	REVISIONS	DESCRIPTION



NORTH FLORIDA PROFESSIONAL SERVICES, INC.
 2551 BLAIRSTONE PINES DR.
 LAKE CITY, FL 32858
 PH: 386-752-4675
 WWW.NFPS.NET
 CAP 20011
 LIC NO. LB8358

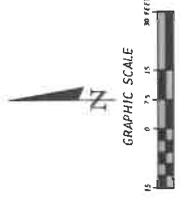
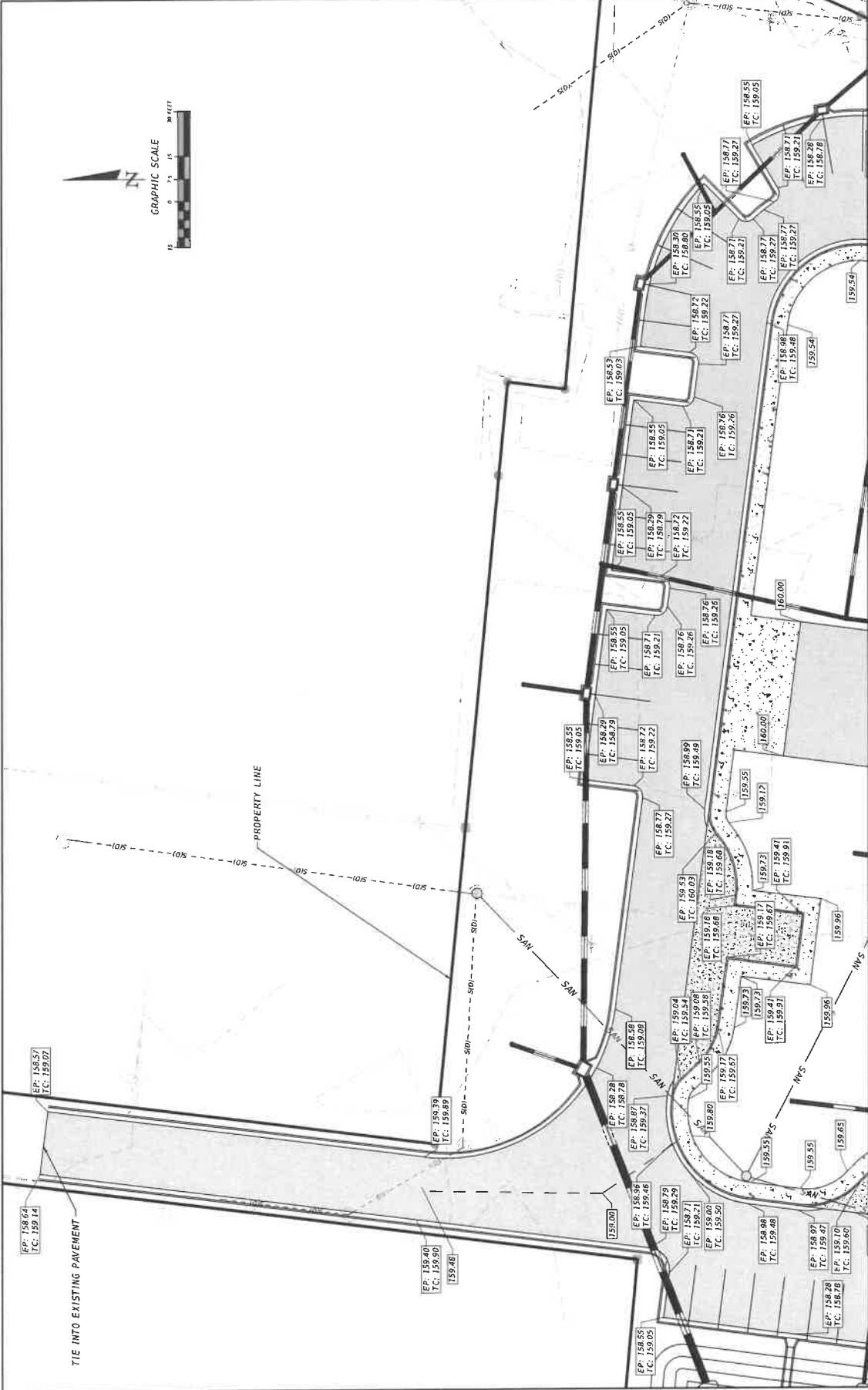
JOB NUMBER:
 L33021SAN
 EOR:
 GREGORY G. BAILEY
 P.E. NO.:
 43858

ROADWAY ACCESS PLAN SHEET

CLEARSKY - LAKE CITY LAKE CITY, FL

SHEET NO.
11

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DATE	REVISIONS	DESCRIPTION

NORTH FLORIDA PROFESSIONAL SERVICES, INC. P.O. BOX 3823 LAKE CITY, FL 32956 PH. 386-732-4873 WWW.NFPS.NET LIC NO. LBR556	JOB NUMBER: L2008218AN EOR: GREGORY G. BAILEY P.E. NO.: 43888	SHEET NO.: 12 12 GRADING PLAN NORTH CLEARSKY - LAKE CITY LAKE CITY, FL
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DATE: 12/11/2013 3:57:24 PM
 C:\2008\218\218AN\12 GRADING PLAN NORTH.dwg



DATE	REVISIONS	DESCRIPTION

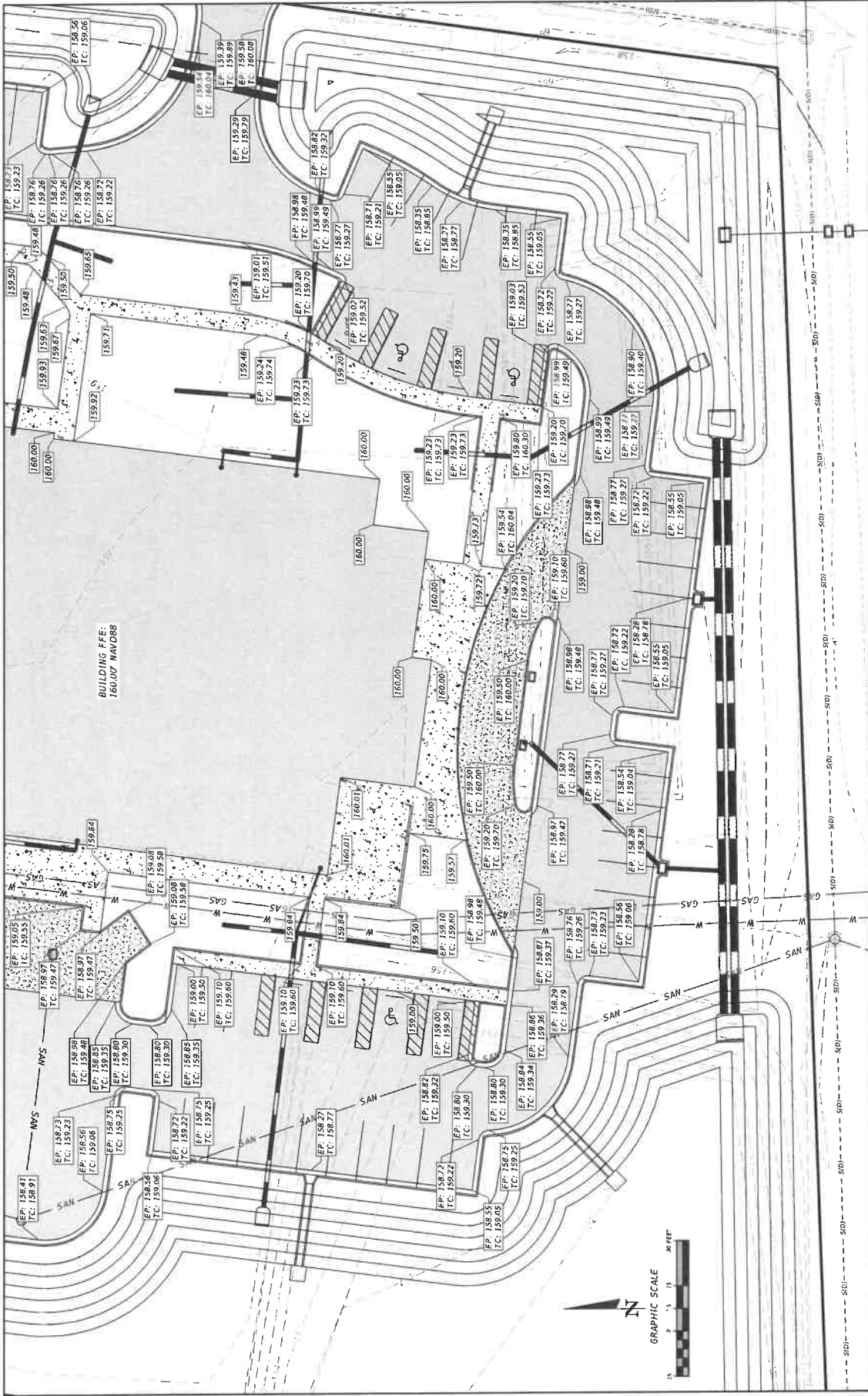
<p>NORTH FLORIDA PROFESSIONAL SERVICES, INC. P.O. BOX 3823 LAKE CITY, FL 32056 PH. 386-752-4675 WWW.NFPS.NET LIC NO. LB8356</p>		<p>JOB NUMBER: L-202210AN EOR: GREGORY G. BAILEY P.E. NO.: 43885</p>
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<p>GRADING PLAN CENTRAL CLEARSKY - LAKE CITY LAKE CITY, FL</p>		<p>SHEET NO. 13 GRADING PLAN CENTRAL</p>
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12/1/2023 3:57:39 PM

Darwin Kellner





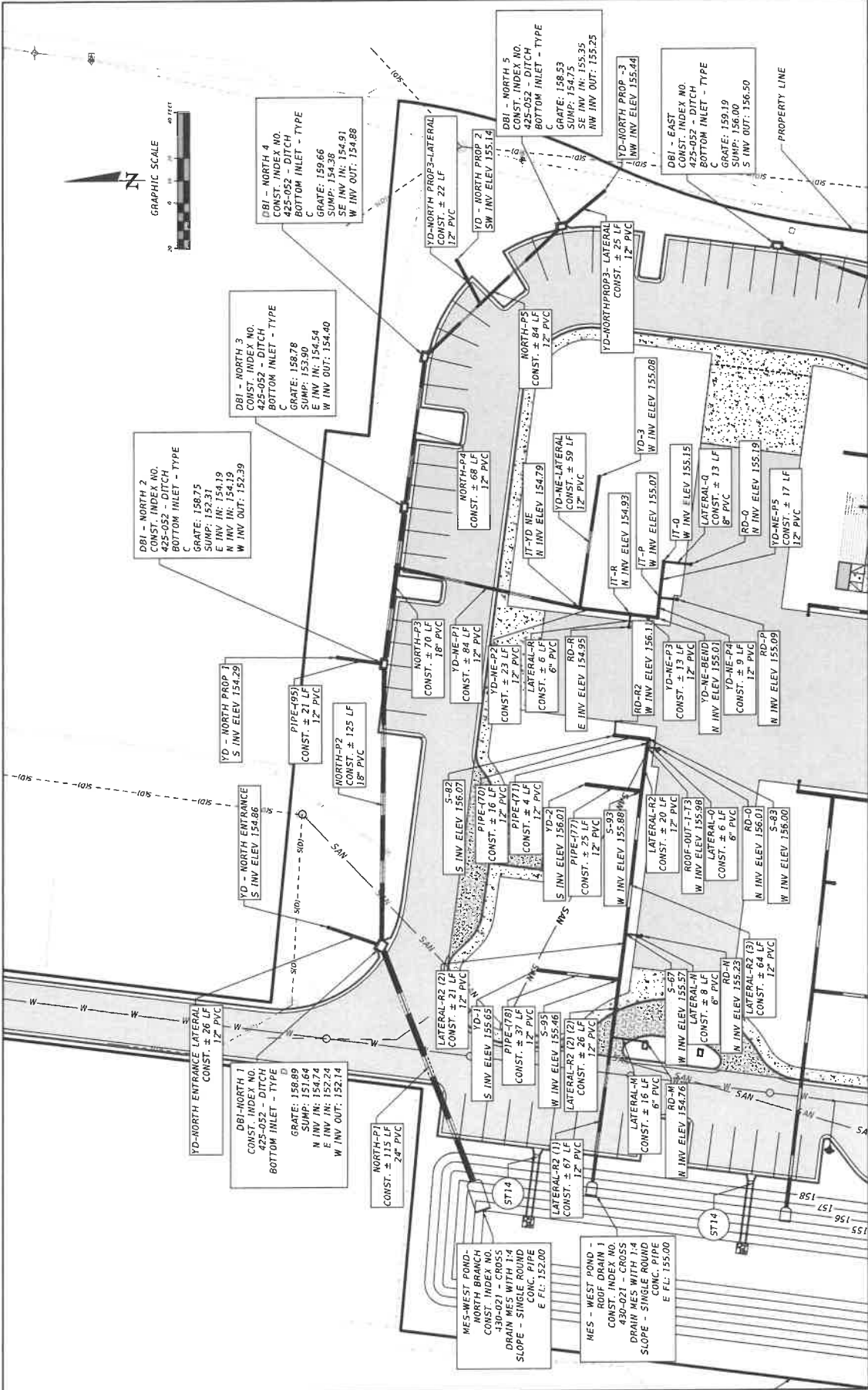
REVISIONS		JOB NUMBER:		SHEET NO.
DATE	DESCRIPTION	L23021SAN	14	
		NORTH FLORIDA PROFESSIONAL SERVICES, INC. 2511 BLAIRSTONE PINES DR. LAKE CITY, FL 32301 WWW.NFPAENGINEERING.COM LIC NO. 168336		GRADING PLAN SOUTH CLEARSKY - LAKE CITY LAKE CITY, FL
		EDR: GREGORY G. BAILEY P.E. NO.: 43888 <i>Darin Klotz</i> 12/12/2023 3:54:43 PM C:\2023\23021SAN\F\2401\Clearsky\Grading\PLAN_SOUTH.dwg 14 GRADING PLAN SOUTH		



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GRADING PLAN COURTYARD CLEARSKY - LAKE CITY LAKE CITY, FL		SHEET NO. 15
NORTH FLORIDA PROFESSIONAL SERVICES, INC. P.O. BOX 3823 LAKE CITY, FL 32055 PH. 386-752-4675 WWW.NFPS.NET LIC. NO. 188156		JOB NUMBER: L230821SAN EOR: GREGORY G. BAILEY P.E. NO.: 43888
REVISIONS DATE DESCRIPTION		12/17/2023 3:37:48 PM Darrin A. Kelly

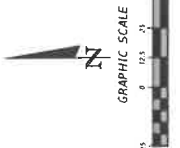




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	DRAINAGE PLAN NORTH CLEARSKY - LAKE CITY LAKE CITY, FL	SHEET NO. 16
		
JOB NUMBER: L200218AN DATE: 02/20/2023 BY: GREGORY G. BAILEY P.E. NO.: 43859		
NORTH FLORIDA PROFESSIONAL SERVICES, INC. 2551 BLAIRSTONE PINES DR. TALLAHASSEE, FL 32301 WWW.NFPS.NET CAP 20011 LIC NO. LBB358		
12/17/2023 3:52:28 PM Denis Kiffin		

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DATE	REVISIONS	DESCRIPTION

**DRAINAGE PLAN SOUTH
CLEARSKY - LAKE CITY
LAKE CITY, FL**

JOB NUMBER: 130821SAN
ENGINEER: GREGORY G. BAILEY
P.E. NO.: 43888

NORTH FLORIDA PROFESSIONAL SERVICES, INC.
2551 BLARSTONE PINES DR.
LAKE CITY, FL 32858
PH. 386-752-4675
WWW.NFPS.NET
LIC NO. 1B8556

FLORIDA PROFESSIONAL SEAL

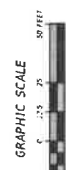
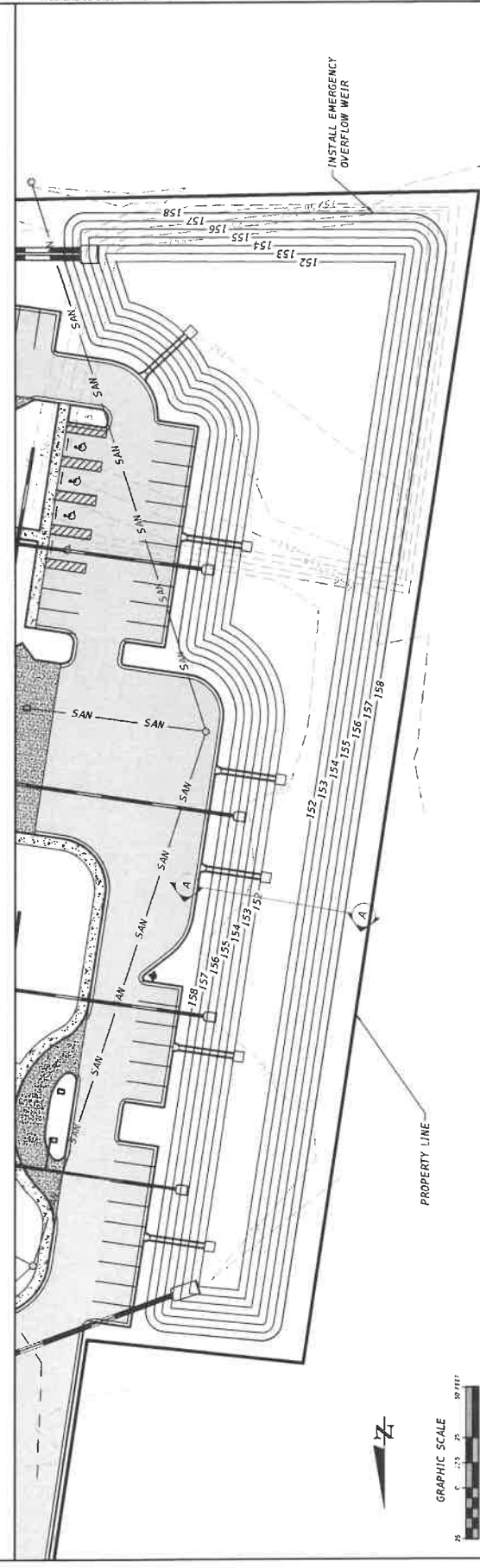
SHEET NO. 17

X:\2023\130821SAN\130821SAN\CDR\Clearsky\DRAINAGE_PLAN_SOUTH.dwg 12/17/2023 3:57:36 PM Drain Utility

CRITICAL EVENT: 100 YR - 1 HR
MAX STAGE: 156.97



A-A STORMWATER MANAGEMENT FACILITY WEST POND DETAIL
SCALE: N.T.S



DATE	REVISIONS	DESCRIPTION

NORTH FLORIDA PROFESSIONAL SERVICES, INC.
 P.O. BOX 9823
 LAKE CITY, FL 32066
 PH: 386-152-4675
 WWW.NFPS.NET
 CDP 28011
 LIC NO. LB8369

JOB NUMBER:
 L230821SAN
EOC:
 GREGORY G. BAILEY
P.E. NO.:
 48386

SWMF PLAN - WEST POND
CLEARSKY - LAKE CITY
LAKE CITY, FL

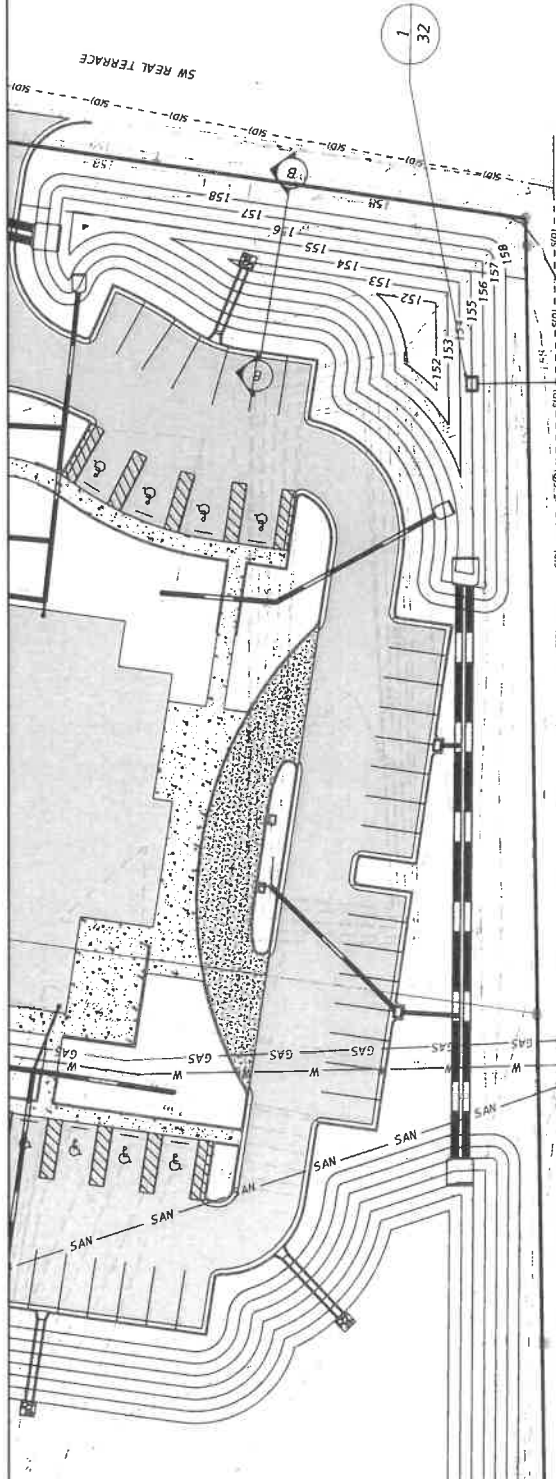
SHEET
NO.
18

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CRITICAL EVENT: 100YR-1HR&2HR
MAX STAGE: 156.95'



B-B STORMWATER MANAGEMENT FACILITY SOUTH EAST POND DETAIL
SCALE: N.T.S



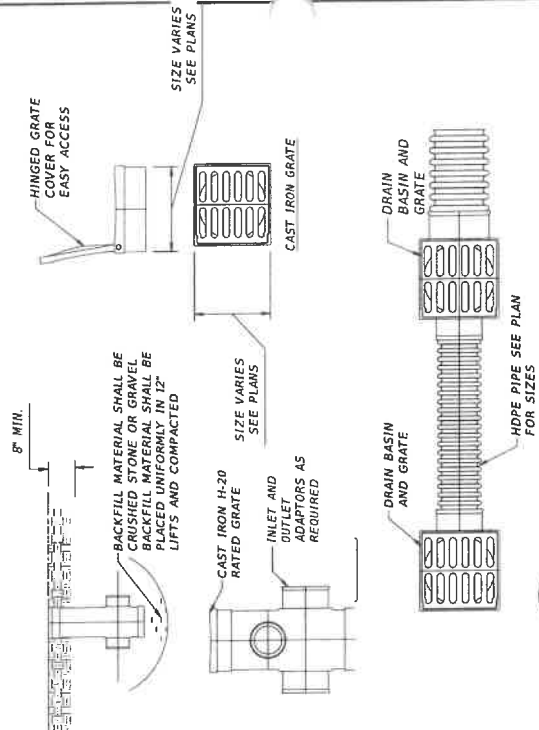
DATE	REVISION #	DESCRIPTION

NORTH FLORIDA PROFESSIONAL SERVICES, INC. 2851 BLARSTONE PINES DR. TALLAHASSEE, FL 32301 WWW.NFPS.NET CAP# 28011 LIC. NO. LB8386	JOB NUMBER: L236821SAN EOR: GREGORY G. BAILEY P.E. NO.: 43886	DATE: 12/11/2023 3:58:03 PM DRWN BY: Daria Kriyer
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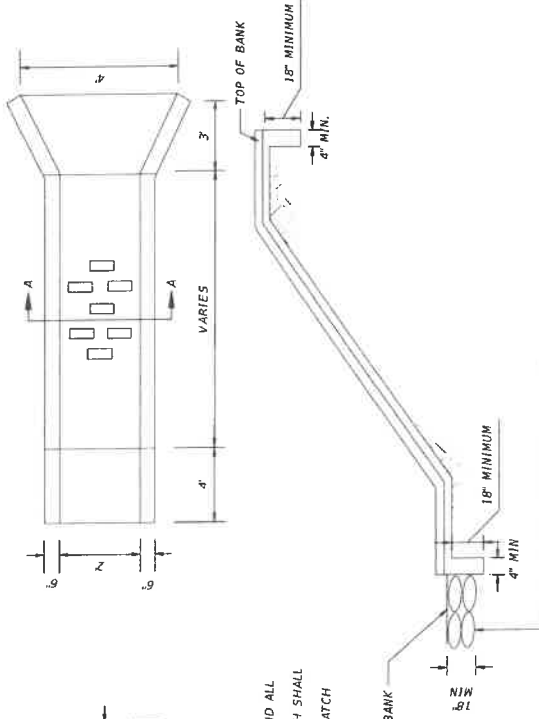
SWMF PLAN - SOUTH EAST POND CLEARSKY - LAKE CITY LAKE CITY, FL	SHEET NO.: 19
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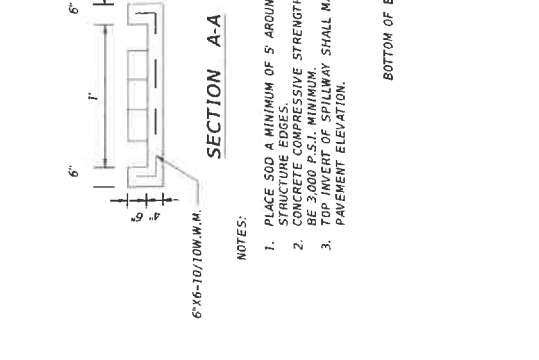
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ST07 NYOPLAST® DRAIN BASIN DETAILS
SCALE: N.T.S.



ST14 CONCRETE SPILLWAY DETAIL
SCALE: N.T.S.



ST23 ADS ROOF DRAIN APPLICATION
SCALE: N.T.S.

- NOTES:
1. PLACE SOD A MINIMUM OF 5' AROUND ALL STRUCTURE EDGES.
 2. CONCRETE COMPRESSIVE STRENGTH SHALL BE 3,000 P.S.I. MINIMUM.
 3. TOP INVERT OF SPILLWAY SHALL MATCH PAVEMENT ELEVATION.

DATE	REVISIONS	DESCRIPTION	JOB NUMBER:	FOR:	PROJECT:	DATE:	BY:
			L230421SAN	GREGORY G. BAILEY	ST07 NYOPLAST® DRAIN BASIN DETAILS	12/17/2023	DENN KILPATRICK

NORTH FLORIDA PROFESSIONAL SERVICES, INC.
2551 BLARSTONE PINES DR.
TALLAHASSEE, FL 32301
P.O. BOX 3923
LAKE CITY, FL 32066
LIC. NO. LB03396
C.A.# 29611

SWMF DETAILS
CLEARSKY - LAKE CITY
LAKE CITY, FL

SHEET NO. 20

X:\2023\230421SAN\1\CAD\CADFILES\03\Subway\NET\ST07_Clearsky_01.dwg 20 SWMF DETAILS

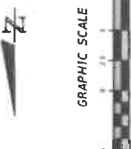


DATE	REVISIONS	DESCRIPTION

NORTH FLORIDA PROFESSIONAL SERVICES, INC. 2851 BLAIRSTONE PINES DR. LAKE CITY, FL 32056 WWW.NFPS.NET LIC NO. LB3386		JOB NUMBER: L230621SAN EOR: GREGORY G. BAILEY P.E. NO.: 43886	SHEET NO. 22
SANITARY SEWER PLAN CLEARSKY - LAKE CITY LAKE CITY, FL		12/1/2023 3:58:37 PM Dana Kilroy	

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DATE	REVISIONS DESCRIPTION

NORTH FLORIDA PROFESSIONAL SERVICES, INC. P.O. BOX 3923 2551 BLARSTONE PINES DR LAKE CITY, FL 32056 PH: 386-752-4876 WWW.NFPS.NET LIC NO. LB8386	JOB NUMBER: L2304218AN EOR: GREGORY G. BAILEY P.E. #4386	UTILITY CONNECTION PLAN CLEARSKY - LAKE CITY LAKE CITY, FL	SHEET NO. 24
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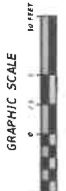
Clearsky Utility

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12/17/2023 3:38:44 PM

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DATE		DESCRIPTION	UTILITY CONNECTION PLAN CLEARSKY - LAKE CITY LAKE CITY, FL		SHEET NO. 24
REVISIONS			JOB NUMBER: LZ30621SAN EOR: GREGORY G. BAILEY P.E. NO.: 43838	NORTH FLORIDA PROFESSIONAL SERVICES, INC. 2557 BLAIRSTONE PINES DR. TALLAHASSEE, FL 32301 WWW.NFPS.NET CMA# 28911	
INSTALL FIRE LINE BACKFLOW PREVENTER SEE DETAIL ... INSTALL 4" SIAMESE FIRE DEPARTMENT CONNECTION SEE DETAIL ... INSTALL WATER SERVICE BACKFLOW PREVENTER SEE DETAIL ... REFER TO ARCHITECTURAL DRAWINGS			12/11/2013 3:58:44 PM 3/28/2013 3/28/2013		



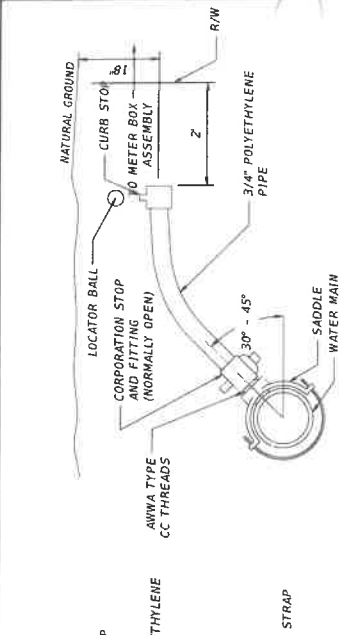
WATER AND SEWER NOTES

1. ALL UTILITY CONSTRUCTION SHALL MEET THE TOWN OF FORT WHITE WATER AND WASTEWATER UTILITY STANDARDS.
2. THE CONTRACTOR SHALL MAINTAIN EXISTING WATER MAINS IN SERVICE DURING CONSTRUCTION. IN THE EVENT INTERRUPTIONS TO SERVICE ARE REQUIRED DURING CONSTRUCTION, SUCH INSTANCES SHALL BE MINIMIZED.
3. ALL NEW OR RELOCATED WATER MAINS THAT SERVE FIRE HYDRANTS AND ALL FIRE HYDRANTS SHALL BE INSTALLED UNDER THIS PROJECT SHALL CONTAIN NO MORE THAN 0.2% LEAD.
4. SUFFICIENT VALVES SHALL BE PROVIDED IN NEW AND RELOCATED WATER MAINS SO THAT INCONVENIENCE AND SANITARY HAZARDS WILL BE MINIMIZED DURING REPAIRS. VALVES SHALL BE PLACED IN NO MORE THAN 500-FOOT INTERVALS IN COMMERCIAL DISTRICTS AND IN NO MORE THAN ONE-BLOCK OR 800-FOOT INTERVALS IN OTHER DISTRICTS.)
5. IF THERE ARE ANY NEW OR RELOCATED WATER MAINS THAT CROSS UNDER ANY SURFACE WATER, A MINIMUM COVER OF TWO FEET SHALL BE PROVIDED OVER THE WATER MAIN PIPE AT EACH SURFACE WATER CROSSING, AND IF THE SURFACE WATER IS GREATER THAN 15 FEET IN WIDTH, THE FOLLOWING FEATURES SHALL BE PROVIDED: (A) FLEXIBLE WATER TIGHT JOINTS FOR THE WATER MAIN PIPE AT THE CROSSING, (B) EASILY ACCESSIBLE VALVES LOCATED IN A MANHOLE, AND (C) PERMANENT TAPS ON EACH SIDE OF THE WATER MAIN PIPE TO ALLOW FOR SAMPLING AND INSERTION OF A SMALL HOLE TO DETERMINE LEAKAGE.
6. PROPER BACKFLOW-PREVENTION ASSEMBLIES/DEVICES SHALL BE PROVIDED IN ACCORDANCE WITH RULE 62-555.360, F.A.C., AND THE ANWA'S MANUAL #14. RECOMMENDED PRACTICE FOR BACKFLOW PREVENTION AND CROSS-CONNECTION CONTROL.
7. THIS PROJECT SHALL NOT INCLUDE ANY INTERCONNECTION BETWEEN PREVIOUSLY SEPARATE PUBLIC WATER SYSTEMS THAT HAVE SEPARATE WATER SUPPLY SOURCES. (A SPECIFIC CONSTRUCTION PERMIT IS REQUIRED FOR SUCH AN INTERCONNECTION.)
8. ALL NEW RELOCATED WATER LATERALS THAT CROSS ANY SANITARY SEWERS, STORM SEWERS, FORCE MAINS, OR RECLAIMED WATER LINES SHALL CROSS ABOVE SUCH PIPELINES.
9. COPPER TRACER WIRE SHALL BE PLACED ON ALL POTABLE WATER LINES AND WATER LATERALS. TRACER WIRE SHALL BE CONTINUOUS WITH NO INTERRUPTIONS.
10. LOCATOR BALLS SHALL BE PROVIDED AT END OF ALL WATER AND SANITARY SEWER LATERALS. THE LOCATOR BALLS SHALL BE SECURED TO THE LATERALS WITH A PLASTIC TIE STRAP
11. WATER AND SANITARY SEWER LATERALS SHALL BE LEFT UNCOVERED UNTIL INSPECTED BY THE ENGINEER OR THE ENGINEER'S INSPECTOR
12. CONTRACTOR SHALL PROVIDE TEMPORARY STAKES (2" BY 2" WOODEN STAKES) AT THE END OF EACH LATERAL. EACH STAKE SHALL INDICATE EITHER WATER OR SANITARY SEWER LATERAL. CONTRACTOR SHALL MAINTAIN THE STAKES UNTIL AN AS-BUILT SURVEY OF WATER AND SANITARY SEWER MAINS AND LATERALS ARE COMPLETE AND APPROVED BY THE ENGINEER.
13. METALLIC MECHANICAL JOINT RESTRAINTS OR SERIES 1300 UNIFLANGE BLOCK BUSTER RESTRAINT DEVICES SHALL BE USED WITH MANUFACTURER'S RECOMMENDATIONS. ALL RESTRAINT JOINTING MUST BE LEFT OPEN UNTIL VIEWED BY THE CITY INSPECTOR.
14. FOR SANITARY SEWER PERFORM HYDROSTATIC TEST. ALLOWABLE LEAKAGE IS A MAXIMUM OF 50 GAL PER INCH OF NOMINAL PIPE SIZE PER MILE OF PIPE, DURING A 24-HOUR PERIOD. OPTION: TEST DUCTILE-IRON PIPING ACCORDING TO ANWA C600. SECTION 05110-1.0. TEST SHALL BE PERFORMED AT A MINIMUM OF ONE (1) TEST POINT PER SANITARY SEWERAGE. PERFORM AIR TEST ACCORDING TO UNI-B-6.
15. FOR SANITARY SEWERAGE ALIGNMENT. EACH SECTION OF THE COMPLETED SEWER SYSTEM SHALL BE INSPECTED FOR PROPER ALIGNMENT. INSPECTION SHALL CONSIST OF "LAMPING" FROM MANHOLE TO MANHOLE. ANY SECTION OF THE SEWER SYSTEM, WHICH DOES NOT DISPLAY TRUE, CONCENTRIC ALIGNMENT, SHALL BE INSTALLED AT NO ADDITIONAL EXPENSE TO THE OWNER.
16. CLEAN AND DISINFECT WATER DISTRIBUTION PIPING SYSTEMS AND PARTS OF EXISTING SYSTEMS THAT HAVE BEEN ALTERED, EXTENDED OR REPAIRED BEFORE USE. USE PURGING AND DISINFECTING PROCEDURE PRESCRIBED BY AUTHORITIES HAVING JURISDICTION OR USE PROCEDURE PRESCRIBED BY AUTHORITIES HAVING JURISDICTION OR USE PROCEDURE DESCRIBED IN ANWA C651.

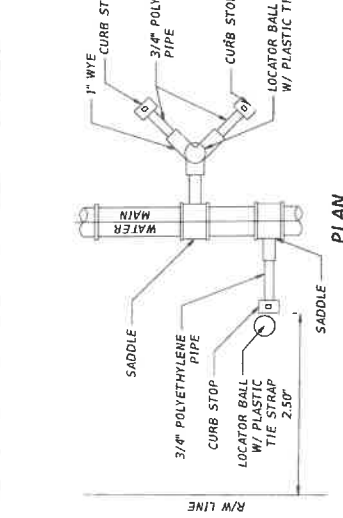
17. PVC GRAVITY FLOW SEWER PIPE AND FITTINGS IS 12 INCH AND SMALLER IN DIAMETER SHALL BE SDR35 PIPE WITH BELL AND SPIGOT GASKET JOINT THAT COMPLIES WITH THE REQUIREMENTS OF ASTM D3034.
18. ALL PIPE, PIPE FITTINGS, PIPE JOINT PACKING AND JOINTING MATERIALS, VALVES, FIRE HYDRANTS, AND REBERS INSTALLED UNDER THIS PROJECT SHALL CONFORM TO APPLICABLE AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS.
19. ALL PUBLIC WATER SYSTEM COMPONENTS, EXCLUDING FIRE HYDRANTS, THAT WILL BE INSTALLED UNDER THIS PROJECT AND THAT WILL COME INTO CONTACT WITH DRINKING WATER SHALL CONFORM TO NSF INTERNATIONAL STANDARD 61 AS ADOPTED IN RULE 62-555.335, F.A.C., OR OTHER APPLICABLE REGULATIONS, OR REQUIREMENTS REFERENCED IN PARAGRAPH 62- 555.320(3)(B), F.A.C.
20. ALL PIPE AND PIPE FITTINGS INSTALLED UNDER THIS PROJECT SHALL CONTAIN NO MORE THAN 0.2% LEAD, AND ANY SOLDER OR FLUX USED IN THIS PROJECT WILL CONTAIN NO MORE THAN 0.2% LEAD.
21. ALL WATER PIPE AND PIPE FITTINGS UNDER THIS PROJECT SHALL BE COLOR CODED OR MARKED IN ACCORDANCE WITH SUBPARAGRAPH 62-555.320(2)(B) 3. F.A.C., USING BLUE AS A PREDOMINANT COLOR. (UNDERGROUND PLASTIC PIPE SHALL BE SOLID-WALL BLUE PIPE WITH HAVING COLOR-CODED BLUE EXTERNAL STRIPES AT 12 INCHES OR GREATER, AND UNDERGROUND METAL OR CONCRETE PIPE SHALL HAVE BLUE STRIPES APPLIED TO THE PIPE WALL. PIPE STRIPES DURING MANUFACTURING OF THE PIPE SHALL HAVE CONTINUOUS STRIPES THAT RUN PARALLEL TO THE AXIS OF THE PIPE, THAT ARE LOCATED AT NO GREATER THAN 90-DEGREE INTERVALS AROUND THE PIPE, AND THAT WILL REMAIN INTACT DURING AND AFTER INSTALLATION OF THE PIPE. IF TAPE OR PAINT IS USED TO STRIPE PIPE DURING INSTALLATION OF THE PIPE, THE TAPE OR PAINT SHALL BE APPLIED TO A PORTION OF THE PIPE. THE STRIPES SHALL BE APPLIED AT AN INTERVAL OF 24 INCHES OR GREATER, TAPE OR PAINT WILL BE APPLIED IN CONTINUOUS LINES ALONG EACH SIDE OF THE PIPE AS WELL AS ALONG THE TOP OF THE PIPE. ABOVEGROUND PIPE SHALL BE PAINTED BLUE OR WILL BE COLOR-CODED OR MARKED LIKE UNDERGROUND PIPE.
22. ALL FIRE HYDRANTS THAT WILL BE INSTALLED UNDER THIS PROJECT AND THAT WILL HAVE LOGGED, UNDERGROUND MAINS SHALL BE LOCATED AT LEAST TEN FEET FROM EXISTING RECLAIMED WATER REGULATION UNDER PART III OF CHAPTER 62-10, F.A.C. OR VACUUM-TYPE SANITARY SEWER, CONVEYING RECLAIMED WATER REGULATION UNDER PART III OF CHAPTER 62-10, F.A.C., OR VACUUM-TYPE SANITARY SEWER, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-10, F.A.C., AND AT LEAST TEN FEET FROM ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM".
23. NEW OR ALTERED CHAMBERS, PITS, OR MANHOLES THAT CONTAIN VALVES, BLOW-OFFS, METERS, OR OTHER SUCH WATER DISTRIBUTION SYSTEM APPURTENANCES AND THAT ARE INCLUDED IN THIS PROJECT WILL NOT BE CONNECTED DIRECTLY TO ANY SANITARY OR STORM SEWER, AND BLOW-OFFS OR AIR RELIEF VALVES INSTALLED UNDER THIS PROJECT SHALL NOT BE CONNECTED DIRECTLY TO ANY SANITARY OR STORM SEWER.
24. NEW OR ALTERED WATER MAINS INCLUDED IN THIS PROJECT SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE ANWA STANDARDS OR IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDED PROCEDURES.
25. A CONTINUOUS AND UNIFORM BEDDING SHALL BE PROVIDED IN TRENCHES FOR UNDERGROUND PIPE INSTALLED UNDER THIS PROJECT. BACKFILL MATERIAL WILL BE TAMPED IN LAYERS AROUND UNDERGROUND PIPE INSTALLED UNDER THIS PROJECT AND TO A SUFFICIENT HEIGHT ABOVE THE PIPE TO ADEQUATELY SUPPORT AND PROTECT THE PIPE AND UNSUITABLY SIZED STONES (AS DESCRIBED IN APPLICABLE ANWA STANDARDS OR BE REMOVED) FOR A DEPTH OF AT LEAST SIX INCHES BELOW THE BOTTOM OF UNDERGROUND PIPE INSTALLED UNDER THIS PROJECT.
26. ALL WATER MAIN TEES, BENDS, PLUGS, AND HYDRANTS INSTALLED UNDER THIS PROJECT SHALL BE PROVIDED WITH RESTRAINED JOINTS TO PREVENT MOVEMENT.
27. NEW OR ALTERED WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL BE CONSTRUCTED OF ASBESTOS-CEMENT OR POLYVINYL CHLORIDE PIPE SHALL BE PRESSURE AND LEAKAGE TESTED IN ACCORDANCE WITH ANWA STANDARD C603 OR C605, RESPECTIVELY, AS INCORPORATED INTO RULE 62-555.330, F.A.C., AND ALL OTHER NEW OR ALTERED WATER MAINS INCLUDED IN THIS PROJECT SHALL BE PRESSURE AND LEAKAGE TESTED IN ACCORDANCE WITH ANWA STANDARD C600 AS INCORPORATED INTO RULE 62-555.330.
28. NEW OR ALTERED WATER MAINS, INCLUDING FIRE HYDRANT LEADS AND INCLUDING SERVICE LINES THAT WILL BE UNDER THE CONTROL OF A PUBLIC WATER SYSTEM AND THAT HAVE AN INSIDE DIAMETER OF THREE INCHES OR GREATER, SHALL BE DISINFECTED AND

29. NEW OR ALTERED WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL BE INSTALLED IN AREAS WHERE THERE ARE KNOWN AGGRESSIVE SOIL CONDITIONS SHALL BE PROTECTED THROUGH USE OF CORROSION-RESISTANT WATER MAIN MATERIALS, THROUGH CASEWORK, THROUGH COATING WATER MAINS IN POLYETHYLENE, OR THROUGH PROVISION OF CATHODIC PROTECTION.
30. NEW OR RELOCATED, UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER, STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-10, F.A.C.
31. NEW OR RELOCATED, UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT SHALL HAVE A HORIZONTAL DISTANCE OF AT LEAST SIX AND TEN FEET IS PREFERRED BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER, EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-10, F.A.C.
32. THE HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS MAY BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST TWELVE INCHES ABOVE THE TOP OF THE SEWER
33. A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF AN EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM"
34. NEW OR RELOCATED, UNDERGROUND WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE THE OTHER PIPELINE. NEW OR RELOCATED, UNDERGROUND WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE THE OTHER PIPELINE.
35. AT THE UTILITY CROSSINGS DESCRIBED ABOVE, SEPARATION DISTANCE SHALL NOT APPLY WHERE A WATER SERVICE PIPE CROSSES A SEWER PIPE, PROVIDED THE WATER SERVICE PIPE IS SLEEVED TO AT LEAST FIVE FEET HORIZONTALLY FROM THE SEWER PIPE CENTERLINE ON BOTH SIDES OF SUCH CROSSINGS WITH PIPE MATERIAL LISTED IN FLORIDA BUILDING CODE SECTION 603.2.
36. NEW OR ALTERED WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL CROSS ABOVE SURFACE WATER SHALL BE ADEQUATELY SUPPORTED AND ANCHORED, PROTECTED FROM DAMAGE AND FREEZING, AND ACCESSIBLE FOR REPAIR OR REPLACEMENT
37. NEW OR ALTERED WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL CROSS UNDER SURFACE WATER COURSES GREATER THAN 15 FEET IN WIDTH SHALL HAVE FLEXIBLE OR RESTRAINED, WATER TIGHT PIPE JOINTS AND WILL INCLUDE VALVES AT BOTH ENDS OF THE WATER CROSSING AND UNDER VALVES WILL BE EASILY ACCESSIBLE AND WILL NOT BE SUBJECT TO FLOODING; THE ISOLATION VALVE CLOSEST TO THE WATER SUPPLY SOURCE WILL BE IN A MANHOLE, AND PERMANENT TAPS WILL BE PROVIDED ON EACH SIDE OF THE ISOLATION VALVE WITHIN THE MANHOLE TO ALLOW FOR INSERTION OF A SMALL METER TO DETERMINE LEAKAGE FROM THE UNDERWATER MAIN AND TO ALLOW FOR SAMPLING OF WATER FROM THE UNDERWATER MAIN.
38. CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY MEETING THE REQUIREMENTS OF CHAPTER 61G17 F.A.C. FOR THE POTABLE WATER MAIN EXTENSION AND THE SANITARY SEWER MAIN EXTENSIONS, INCLUDE HORIZONTAL AND VERTICAL DIMENSIONAL DATA SO THAT IMPROVEMENTS ARE LOCATED AND DELINEATED RELATIVE TO THE BOUNDARY. PROVIDE SUFFICIENT DETAILED DATA TO DETERMINE WHETHER THE IMPROVEMENTS WERE CONSTRUCTED IN ACCORDANCE WITH THE PLANS. A COPY OF THE AS-BUILT SURVEY (IN PAPER AND DIGITAL AUTOCAD FORMAT) MUST BE SUBMITTED TO THE CITY OF LAKE CITY, FLORIDA (DEPARTMENT OF GROWTH MANAGEMENT) AND THE ENGINEER.
39. CONTRACTOR SHALL PROVIDE POTABLE WATER TEST REPORTS IN ACCORDANCE WITH FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION REQUIREMENTS AFTER DISINFECTATION OF THE SYSTEM.

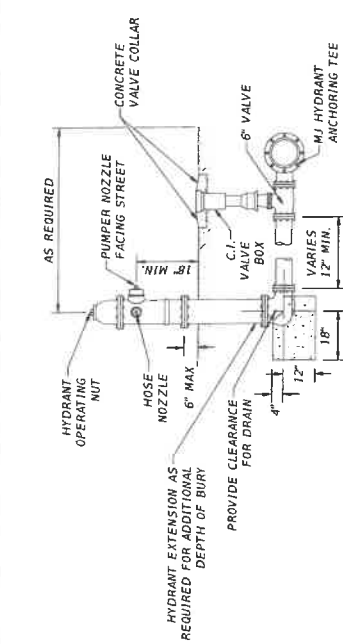
REVISIONS		JOB NUMBER:	
DATE	DESCRIPTION	L2048218AN	
		NORTH FLORIDA PROFESSIONAL SERVICES, INC. 2551 BLAIRSTONE PHASE DR. TALLAHASSEE, FL 32301 WWW.NFPS.NET CWP 23071	
		JOB NUMBER: L2048218AN EOR: GREGORY G. BAILEY P.E. NO.: 43858	
		WATER & SEWER NOTES CLEARSKY - LAKE CITY LAKE CITY, FL	
		SHEET NO.: 25	



SINGLE SERVICE PROFILE



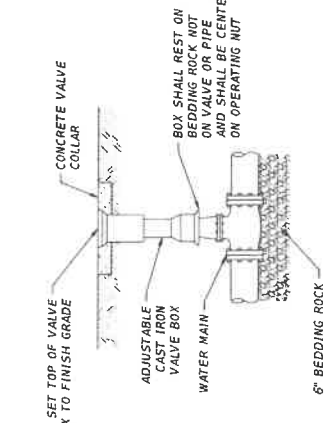
PLAN



WT04 FIRE HYDRANT ASSEMBLY

SCALE: N.T.S.

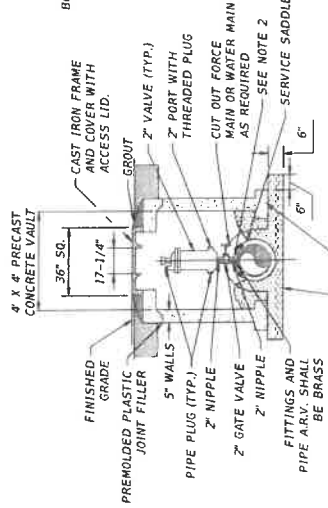
- NOTES:
1. ALL FITTINGS SHALL BE BRASS WITH COMPRESSION/ PACK JOINT TYPE CONNECTIONS.
 2. NO SERVICE LINE SHALL TERMINATE UNDER A DRIVEWAY.
 3. EACH SERVICE LINE SHALL TERMINATE AT A CURB STOP WHICH SHALL BE BURIED APPROXIMATELY 3" BELOW FINAL GRADE AND SHALL BE CLEARLY MARKED WITH A 2" x 2" x 18" STAKE WITH THE TOP PAINTED BLUE AND MARKED WITH THE WORDS "WATER SERVICE".
 4. CONTRACTOR SHALL PROVIDE LOCATOR BALLS W/ PLASTIC TIE STRAPS. LOCATOR BALLS SHOULD BE SECURED TO LATERAL W/ TIE STRAP.



WT03 VALVE AND BOX DETAIL

- NOTES:
1. PVC EXTENSIONS SHALL NOT BE USED ON VALVE BOX INSTALLATION.
 2. THE OPERATING NUTS AND VALVES SHALL BE EXTENDED TO COME UP TO 4 FOOT DEPTH BELOW FINISHED GRADE.

SCALE: N.T.S.



WT01 AIR AND/OR VACUUM RELEASE VALVE

- NOTES:
1. ABOVE DETAIL IS BASED ON 2" COMBINATION AIR/VACUUM RELEASE VALVE. CHANGE PIPE AND FITTINGS ACCORDINGLY FOR OTHER VALVE SIZES AND TYPES.
 2. THE MINIMUM DIMENSION FROM TOP OF PIPE TO FINISHED GRADE SHALL BE 3.0 FEET.

SCALE: N.T.S.

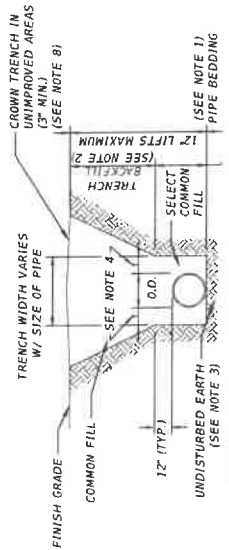
WT07 WATER SERVICE CONNECTION DETAILS

SCALE: N.T.S.

DATE	REVISION #	DESCRIPTION	JOB NUMBER:	SHEET NO.
			L230621SAN	26
			EOR: GREGORY G. BAILEY	
			P.E. NO.: 43858	
			Dennis K. Day	
			12/17/2023 3:58:47 PM	
			NORTH FLORIDA PROFESSIONAL SERVICES, INC.	
			2551 BLAIRSTONE PINES DR.	
			TALLAHASSEE, FL 32301	
			WWW.NFPS.NET	
			LIC NO. LB8358	
			CAP 26011	
			LA 2023-1230621 SAN - N. CADORCA RHYTHM - NETSRO, CHARTER, 01.dwg - 26 WATER DETAILS	

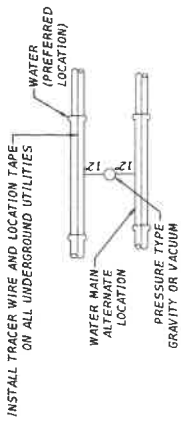
WATER DETAILS
CLEARSKY - LAKE CITY
LAKE CITY, FL

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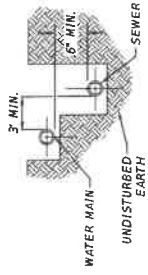


- NOTES:
1. PIPE BEDDING, SELECT COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY PER AASHTO T-99.
 2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 3. PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK WILL BE REQUIRED IF OVER-EXCAVATION OCCURS.
 4. (1'); 15" MAX. FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. FOR PIPE DIAMETER 24" AND LARGER.
 5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
 6. WATER SHALL BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF FLOW.
 7. PROVIDE TRENCH SLOPING AND BRACING AS REQUIRED FOR SAFETY.
 8. ALL APPLICABLE REGULATIONS IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH RESTORATION WITHIN PAVED AREAS SHALL COMPLY WITH THE REQUIREMENTS OF THE ROAD CONSTRUCTION SPECIFICATIONS.

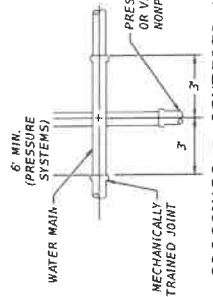
WT11 TRENCH AND BACKFILL DETAILS
SCALE: N.T.S



VERTICAL SEPERATION INCLUDING ALT. WATER MAIN



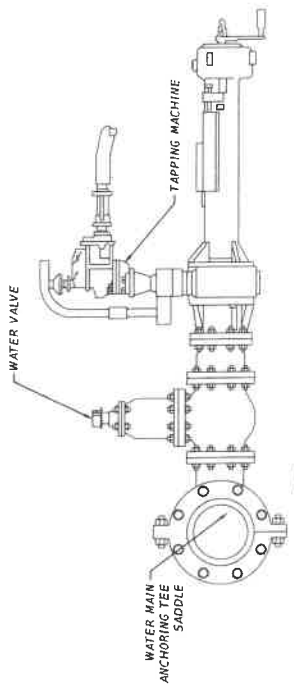
VERTICAL SEPERATION



CROSSINGS @ CENTERED JOINTS

- NOTES:
1. THE MINIMUM HORIZONTAL DISTANCE BETWEEN THE OUTSIDE OF A WATER MAIN AND SEWER MAIN SHALL BE 6" WITH PREFERRED OF SEPARATION.
 2. WHERE A 10 FOOT PARALLEL SEPERATION CANNOT BE MAINTAINED BETWEEN A WATERMAIN AND A SEWER MAIN OR NON-POTABLE WATER MAIN, THEN THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF AT LEAST 6 INCHES ABOVE THE TOP OF THE SEWER MAIN OR NON-POTABLE WATER MAIN. THE HORIZONTAL SEPERATION SHALL BE NO LESS THAN 3" WHEN A SEWER MAIN AND A WATER MAIN CROSS. THE WATERMAIN SHOULD BE A MINIMUM OF 3" ABOVE OR BELOW THE SEWER.
 3. FOR ALL PIPE CROSSINGS, THE PIPE JOINTS SHALL BE ARRANGED SO THAT ALL PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING.
 4. IF THE HORIZONTAL OR VERTICAL CLEARANCE LISTED HEREIN CANNOT BE ACHIEVED THE WATERMAIN CAN BE ENCASED IN 4" OF CONCRETE.

WT08 WATER/SEWER SEPARATION DETAILS
SCALE: N.T.S



WT12 WET TAP AND SADDLE ASSEMBLY
SCALE: N.T.S

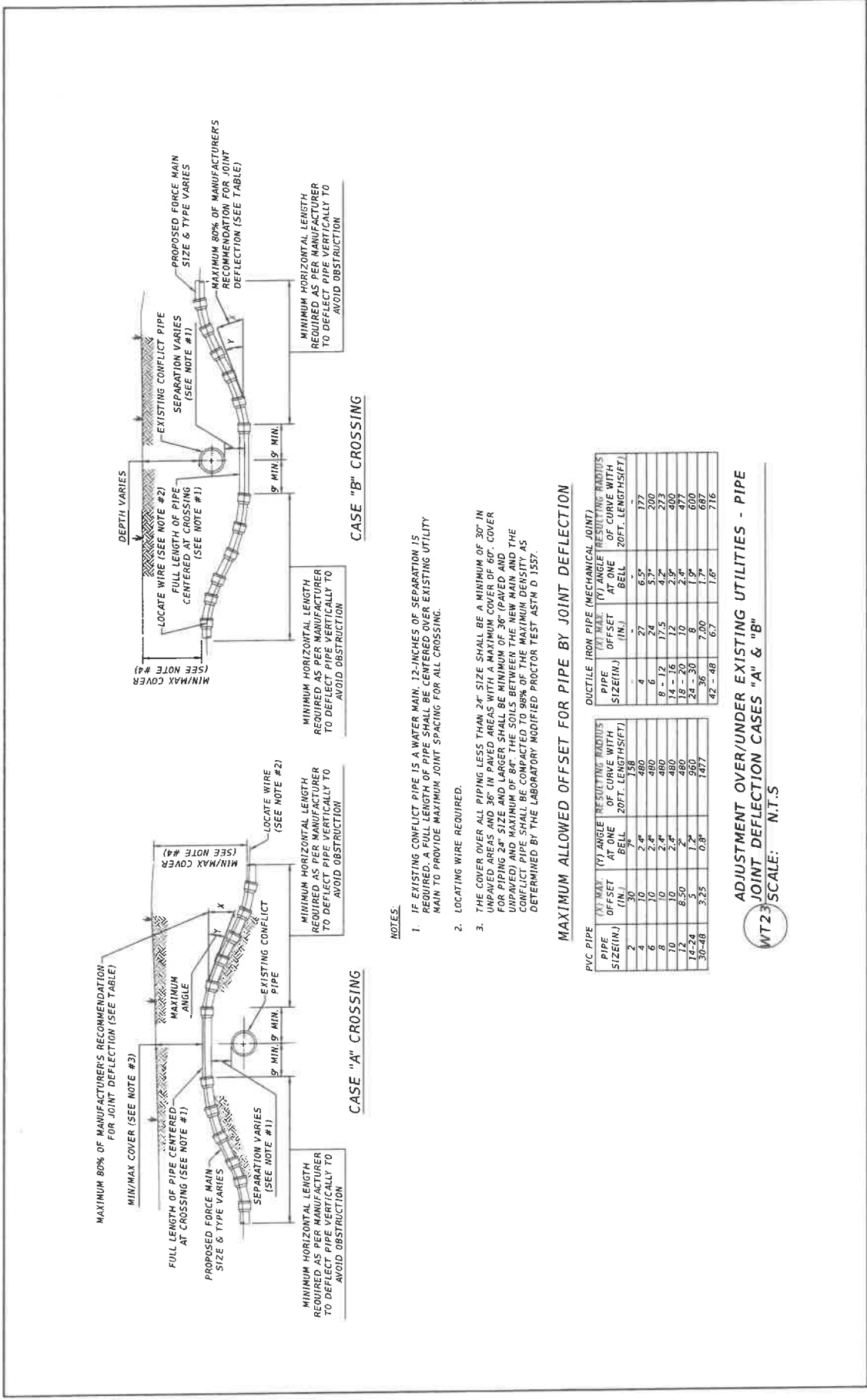
DATE	REVISIONS DESCRIPTION

NORTH FLORIDA PROFESSIONAL SERVICES, INC.
2551 BLAIRSTONE PINES DR.
TALLAHASSEE, FL 32301
WWW.NFP8.NET
LIC NO. LB8386

JOB NUMBER: 23-066113AN
EOR: GREGORY G. BAILEY
P.E. NO.: 43858

WATER DETAILS
CLEARSKY - LAKE CITY
LAKE CITY, FL

SHEET NO. 27



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CASE "A" CROSSING

CASE "B" CROSSING

NOTES:

1. IF EXISTING CONFLICT PIPE IS A WATER MAIN, 12-INCHES OF SEPARATION IS REQUIRED. A FULL LENGTH OF PIPE SHALL BE CENTERED OVER EXISTING UTILITY MAIN TO PROVIDE MAXIMUM JOINT SPACING FOR ALL CROSSING.
2. LOCATING WIRE REQUIRED.
3. THE COVER OVER ALL PIPING LESS THAN 24" SIZE SHALL BE A MINIMUM OF 30" IN UNPAVED AREAS AND 36" IN PAVED AREAS WITH A MAXIMUM COVER OF 60". COVER FOR PIPING 24" SIZE AND LARGER SHALL BE MINIMUM OF 36" (PAVED AND UNPAVED) AND MAXIMUM OF 84". THE SOILS BETWEEN THE NEW MAIN AND THE CONFLICT PIPE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY THE LABORATORY MODIFIED PROCTOR TEST ASTM D 1557.

MAXIMUM ALLOWED OFFSET FOR PIPE BY JOINT DEFLECTION

PVC PIPE SIZE (IN.)	PVC PIPE		DUCTILE IRON PIPE (MECHANICAL JOINT)	
	(A) MAX. OFFSET (IN.)	(Y) ANGLE AT ONE BELL (DEG.)	PIPE SIZE (IN.)	(Y) ANGLE AT ONE BELL (DEG.)
2	3.0	2.4°	4	27
4	10	2.4°	6	24
6	10	2.4°	8 - 12	17.5
8	10	2.4°	14 - 16	12
10	10	2.4°	18 - 20	8
14 - 24	8.0	1.2°	24 - 30	6
30 - 48	3.25	0.8°	36	3.6
			42 - 48	6.7
			72	1.6°

ADJUSTMENT OVER/UNDER EXISTING UTILITIES - PIPE JOINT DEFLECTION CASES "A" & "B"
SCALE: N.T.S.

DATE	REVISIONS	DESCRIPTION	JOB NUMBER: L2308218AN	SHEET NO. 28
			FOR: GREGORY G. BAILEY	
			P.E. NO.: 4358	
			WATER DETAILS CLEARSKY - LAKE CITY LAKE CITY, FL	
NORTH FLORIDA PROFESSIONAL SERVICES, INC. P.O. BOX 3823 LAKE CITY, FL 32056 PH. 386-752-4675 LIC. NO. LB6356			12/17/2023 3:58:49 PM Date: 12/17/2023 3:58:49 PM 1:\2023\2308218AN\PROJECT\CAD\COPY\DRAWING\WATER\WATER_28_WATER_DETAILS	

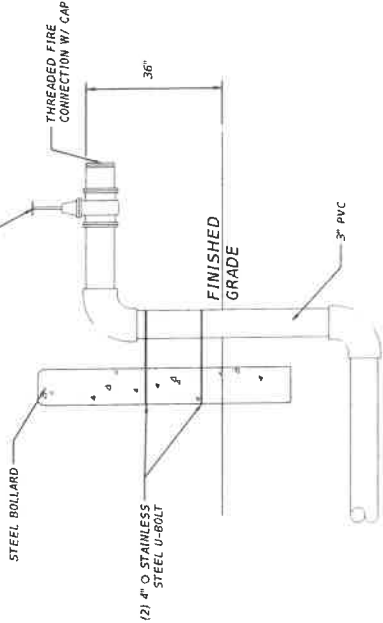
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GREGORY G. BAILEY, ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON AN ELECTRONIC COPIES

OTHER PIPE	HORIZONTAL SEPARATION	CROSSING (1)	JOINT SPACING AT CROSSINGS (FOUL JOINT CENTERED)
STORM SEWER, STORMWATER FORCE MAIN	WATER MAIN 3' MINIMUM	WATER MAIN 12" IS THE MINIMUM, EXCEPT FOR STORM SEWER, THEN 6" IS THE MINIMUM AND 12" IS PREFERRED	ALTERNATE 3' MINIMUM WATER MAIN
GRAVITY OR PRESSURE SANITARY SEWER, FORCE MAIN	WATER MAIN 10' PREFERRED 6' MINIMUM (2)	WATER MAIN 12" IS THE MINIMUM, EXCEPT FOR GRAVITY SANITARY SEWER, THEN 6" IS THE MINIMUM AND 12" IS PREFERRED	ALTERNATE 6' MINIMUM WATER MAIN

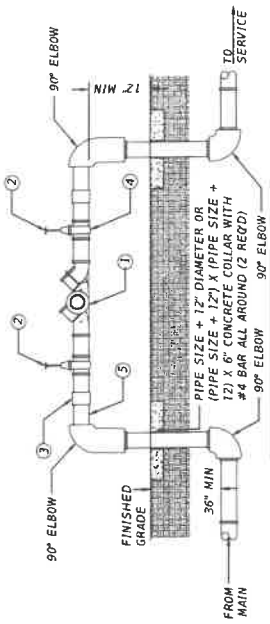
NOTES:

1. WATER MAIN SHOULD CROSS ABOVE OTHER PIPE. WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12".
2. 3' FOR GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6" ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.
3. REFER TO WATER AND SEWER NOTES (SHEET ##4) AND SPECIFICATIONS FOR ADDITIONAL CONSTRUCTION REQUIREMENTS.
4. THE LOCATION OF ALL WATER MAINS SHALL COMPLY WITH CHAPTER 62-555 314, F.A.C.
5. THE LOCATION AND TYPE OF PIPE FOR ALL PIPES CROSSING A WATERMAIN OR LAID WITHIN THREE FEET HORIZONTALLY OF A WATERMAIN SHALL COMPLY WITH RULE 62-555 314(5)(b), F.A.C. (REFER TO WATER AND SEWER NOTE # ##4 ON SHEET ##4).

WT 27 TYPICAL PIPE SEPARATION DETAIL
SCALE: N.T.S.



WT 28 (3") 1/4 TURN VALVE
SCALE: N.T.S.



MATERIALS

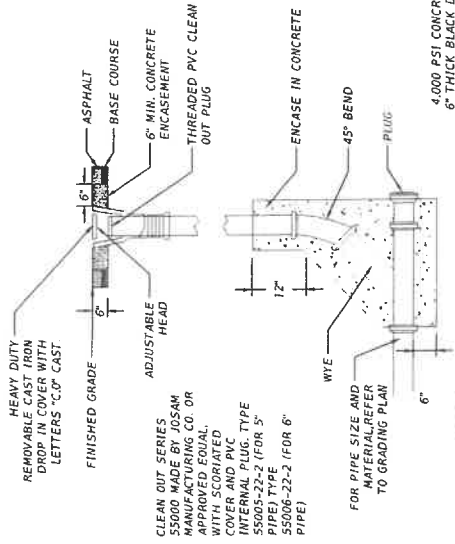
ITEM	DESCRIPTION
1	BACKFLOW PREVENTER
2	GATE VALVE
3	UNION
4	TEST COCKS
5	THREADED NIPPLE

NOTES:

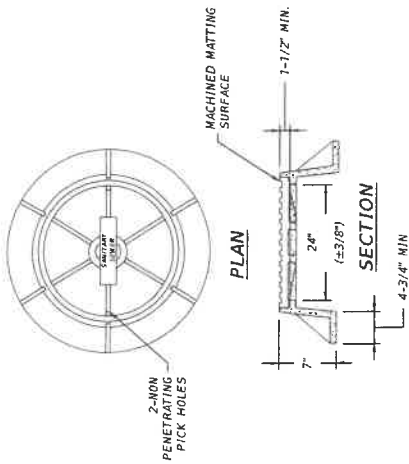
1. UNDER NO CONDITION WILL ANY CONNECTION BE ALLOWED BETWEEN THE SERVICE METER AND A BACKFLOW PREVENTER USED FOR SYSTEM CONTAINMENT. BACKFLOW PREVENTER SHALL ALWAYS BE INSTALLED DOWNSTREAM OF METER.
2. THE SERVICE METER IS TO BE INSTALLED, ADD A TEE VALVE FITTINGS, AND MOUNT ON SUPPLY SIDE PRIOR TO BACKFLOW PREVENTER DEVICE. UNDER NO CIRCUMSTANCE, SHALL TEST PORTS BE MODIFIED OR UTILIZED FOR THIS OR OTHER APPLICATION OTHER THAN BACKFLOW DEVICE TESTING.
3. A CONBRACO SERIES 40-000 FREEZE PROTECTION VALVE SHALL BE INCLUDED.
4. PROVIDE AND INSTALL COVER OVER BACKFLOW PREVENTER AS REQD BY LOCAL AUTHORITIES.

WT 05 REDUCED PRESSURE BACKFLOW PREVENTER
SCALE: N.T.S.

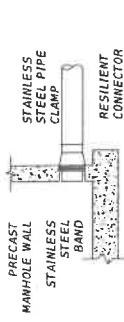
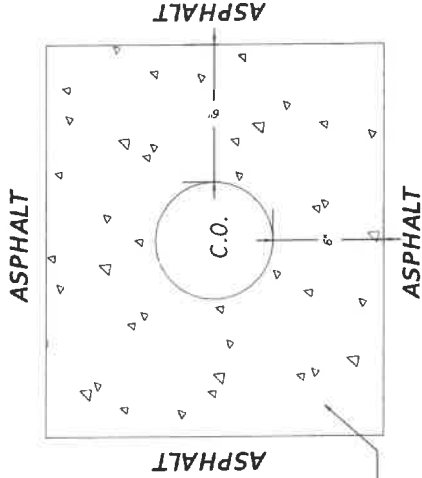
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					29



SN01 CLEANOUT DETAIL
SCALE: N.T.S.

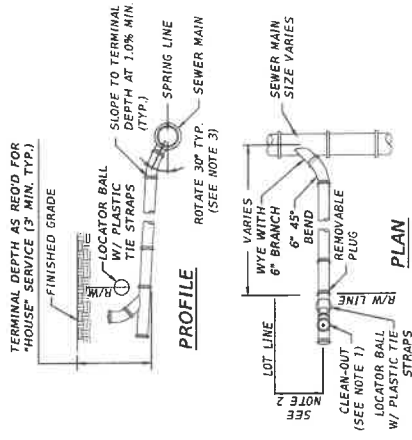


SN04 STANDARD MANHOLE COVER DETAIL
SCALE: N.T.S.



- NOTES:
1. MANHOLE SHOWN IS FOR SEWER SIZE 8" THRU 24".
 2. APPROVED CONCENTRIC CONE DESIGN MAY BE USED AS AN ALTERNATIVE.
 3. BOTH THE INTERIOR AND EXTERIOR SURFACES OF THE MANHOLE SHALL BE FINISHED WITH A POLYURETHANE JOINT OR PIPE OPENING SURFACE.
 4. DROP CONNECTIONS ARE REQUIRED WHENEVER INVERT OF INFLUENT SEWER IS 24" OR MORE ABOVE THE INVERT OF THE MANHOLE. SEE DETAIL.
 5. DROP PIPE AND FITTINGS SHALL BE OF SEWER SIZE AND MATERIAL AS THE INFLUENT SEWER.

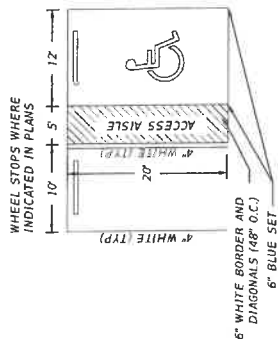
SN07 STANDARD MANHOLE CONNECTION DETAIL
SCALE: N.T.S.



- NOTES:
1. CLEAN-OUT (SHOWN LIGHTER) SHALL BE INSTALLED BY THE BUILDER IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS.
 2. LOCATE SINGLE LATERAL AS CLOSE TO LOT LINE AS POSSIBLE. 25' MAXIMUM.
 3. INVERT OF SERVICE LATERAL SHALL NOT ENTER SEWER MAIN BELOW SPRING LINE.
 4. CONTRACTOR SHALL PROVIDE LOCATOR BALLS W/ PLASTIC TIE STRAPS. LOCATOR BALLS SHALL BE SECURED TO LATERAL W/ PLASTIC TIE STRAPS.

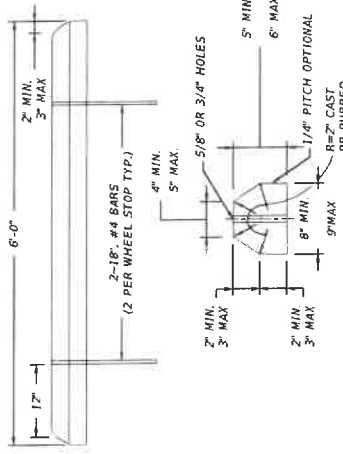
SN02 SANITARY SEWER SERVICE LATERALS
SCALE: N.T.S.

REVISIONS		JOB NUMBER: L230621SAN		SHEET NO.	
DATE	DESCRIPTION	FOR: GREGORY G. BAILEY	P.E. NO.: 43858	30	
		NORTH FLORIDA PROFESSIONAL SERVICES, INC. 2551 BLAIRSTONE PINES DR. LAKE CITY, FL 32058 WWW.NFPS.NET LIC. NO. LB8358		SANITARY DETAILS CLEARSKY - LAKE CITY LAKE CITY, FL	
		DRAWN: JEFFREY		3.109.23.230621SAN-01 CAD/CHECKER: JLY/BAILEY/PJ/VEE/FJD_C/checked_01.dwg 30 SANITARY DETAILS	

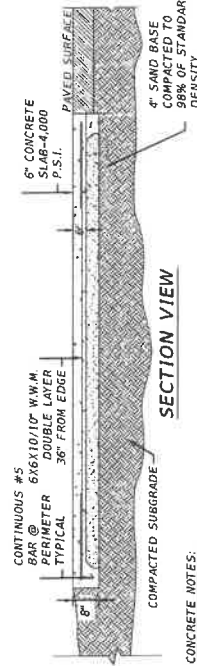


- WHEEL STOPS WHERE INDICATED IN PLANS
- 6" WHITE BORDER AND DIAGONALS (48" O.C.)
 2" INSIDE WHITE
- NOTES:
1. SIGN SHALL BE PLACED IN FRONT OF ALL DESIGNATED HANDICAPPED SPACES. SIGN HEIGHT SHALL BE 7' FROM PAVEMENT TO BOTTOM OF SIGN.
 2. 5' HANDICAPPED AISLE MAY BE PLACED ON THE LEFT SIDE OF PARKING STALL.
 3. HANDICAPPED PARKING SYMBOL SHALL BE 3 OR 5 FT. HIGH.
 4. BLUE PAVEMENT MARKINGS SHALL BE TINTED TO MATCH SHADE 15180 OF FEDERAL STANDARDS 595A.

MS04 HANDICAP PARKING STALL DETAIL
 SCALE: N.T.S.

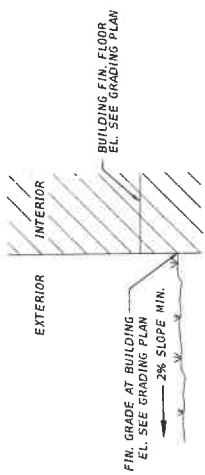


MS05 WHEEL STOP DETAIL
 SCALE: N.T.S.



- CONCRETE NOTES:
1. THE DESIGN OF FOUNDATIONS AND SLAB-ON-GRADE IS BASED ON AN ASSUMED MINIMUM BEARING CAPACITY OF 2,000 PSF.
 2. THE AREA UNDER FOOTINGS, FOUNDATIONS, AND CONCRETE SLABS-ON-GRADE SHALL HAVE ALL VEGETATION, STUMPS, ROOTS, AND FOREIGN MATERIALS REMOVED PRIOR TO THEIR CONSTRUCTION. FILL MATERIAL AND BACKFILL MATERIAL SHALL BE FREE OF ORGANIC MATERIAL, CONSTRUCTION DEBRIS, LARGE ROCKS, AND ANY OTHER FOREIGN MATERIAL.
 3. THE CONTRACTOR SHALL INVESTIGATE ACTUAL LOCATIONS OF UNDERGROUND LINES AND UTILITIES BEFORE EXCAVATING. ALL EXCAVATIONS NEAR THESE LINES SHALL BE CARRIED OUT WITH EXTREME CAUTION.
 4. REINFORCING STEEL/REINFORCING STEEL BARS.....ASTM A-615 GRADE 40 WELDED WIRE FABRIC.....ASTM A-185

MS06 CONCRETE PAD DETAIL
 SCALE: N.T.S.

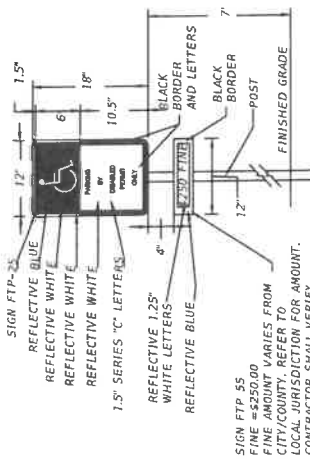


MS14 GRADE AT BUILDING DETAIL
 SCALE: N.T.S.

REVISIONS	DESCRIPTION	DATE

NORTH FLORIDA PROFESSIONAL SERVICES, INC. P.O. BOX 3823 LAKE CITY, FL 32056 PH. 386-755-4475 WWW.NFPS.NET LIC NO. LB8336		JOB NUMBER: 2306781AN EOR: GREGORY G. BAILEY P.E. NO.: 43858	SHEET NO. 31
---	--	---	-----------------

MISC DETAILS
 CLEARSKY - LAKE CITY
 LAKE CITY, FL



- SIGN NOTES:**
1. SIGN CONSTRUCTION, DESIGN AND PLACEMENT SHALL COMPLY WITH STATE AND LOCAL STATUTES.

- NOTE:**
BOLLARDS ON SITE THE FOLLOWING:
- 1) PAINT AT PARKING SPACES AROUND BUILDING - ACROLOG 2-PART SYSTEM, COLOR: PPG "LITTLE BEAR"
 - 2) GARAGE CONTAINER & TRASH ENCLOSURE - ACROLOG 2-PART SYSTEM COLOR: "INLAND YELLOW"
 - 3) GAS CANOPTIES - ACROLOG 2-PART SYSTEM, COLOR: "INLAND LIGHT GREY" & "INLAND YELLOW"

BROOM FINISH - MATCH DIRECTION OF CONC SLAB FINISH
EXTEND JNT CONTINUOUS THRU ALL BOLLARD FTGS ON PARKING SIDE - REFER TO "BOLLARD PLACEMENT DET" ON SITE PLAN

NOTE:
THIS IS A TYPICAL BOLLARD WITH FOOTING DETAIL. WHEN WITHIN A SLOPING CONC SLAB THE TOP OF THE CONC FOOTING SHALL SLOPE ONE DIRECTION IN LINE WITH THE SLOPE OF ADJACENT FINISH MATERIAL - REFER TO CIVIL DOCUMENTS FOR SLOPE REQ.

- SIGN NOTES:**
1. SIGN CONSTRUCTION, DESIGN AND PLACEMENT SHALL COMPLY WITH STATE AND LOCAL STATUTES.

- NOTE:**
BOLLARDS ON SITE THE FOLLOWING:
- 1) LOW RADIUS CONC CAP W/ SMOOTH FINISH - SEE PAINT SPEC NOTATIONS FOR VARIOUS BOLLARDS ON SITE
 - 2) 6" STEEL TUBE WITH PEA AGGREGATE CONC FILL
 - 3) PROTECT ALL EMBEDDED STL IN CONCRETE WITH PAINT OR BITUMINOUS MASTIC (T/P)
 - 4) SEALANT (COLOR TO MATCH CONC) PAVEMENT OR COLORED CONC PAD - SEE SITE PLAN

#4 REINF HORIZ AT 12" DC
(4) #4 REINF VERT (1EA SIDE)
24" CONC FOOTING AT 4" DIA. BOLLARD
FINI 3" X 9" X 1 1/4"
PL 3" X 9" X 1 1/4"
STEEL CAP

MS29 BOLLARD/HANDICAP PARKING SIGN DETAIL
SCALE: N.T.S

DATE	REVISION	DESCRIPTION



NORTH FLORIDA PROFESSIONAL SERVICES, INC.
2551 BLAIRSTONE PINES DR.
TALLAHASSEE, FL 32301
PH: 904/842-6075
WWW:NFPSS.NET
LIC NO: 1288536

JOB NUMBER:
LZ000219AN
EDR:
GREGORY G. BAILEY
P.E. NO.:
43858

DATE:
12/1/2023 3:58:49 PM

MISC DETAILS
CLEARSKY - LAKE CITY
LAKE CITY, FL

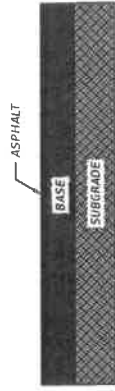
SHEET NO.
32



MS31 CONCRETE PAVEMENT DESIGN
SCALE: N.T.S

8" 4K PSI CONCRETE PAVEMENT REINFORCED WITH 6X6-W2.9xW2.9 WWF ON 2" CHAIRS
8" COMPACTED SUB-GRADE COMPACTED TO 100% AASHTO T-180

- NOTES:**
1. PROVIDE 1/8"-1/4" CONTRACTION JOINTS AT 10' CENTERS MAX
 2. CONCRETE SHALL BE DYED BLACK TO MATCH ASPHALT



MS32 STANDARD ASPHALT PAVEMENT DESIGN
SCALE: N.T.S

1.5' FC 12.5 ASPHALT SURFACE COURSE PG76-22
6" LIMEROCK BASE COURSE
12" COMPACTED SUB-GRADE MIN LBR 40

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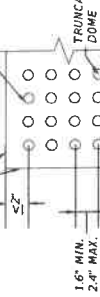
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NOTES:
 PROVIDE 1/8"-1/4"
 CONTRACTION JOINTS AT 10'
 CENTERS MAXIMUM.

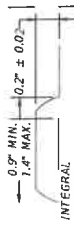
MS01 SIDEWALK DETAIL "A"
 SCALE: N.T.S.

EDGE OF
 DETECTABLE
 WARNING



BASE-TO-BASE SPACING
 SHALL BE 1.6" MINIMUM
 BETWEEN DOMES.

PLAN VIEW

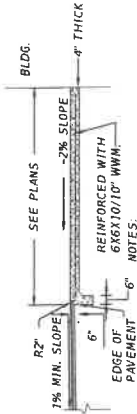


INTEGRAL
 DOME
 THE TOP WIDTH OF THE DOME SHALL
 BE MINIMUM OF 50% AND MAXIMUM
 OF 65% OF THE BASE
 DIAMETERS

TRUNCATED DOME

ALL SIDEWALK CURB RAMPS SHALL HAVE DETECTABLE
 WARNING SURFACES THAT EXTEND THE FULL WIDTH OF THE
 RAMP AND IN THE DIRECTION OF TRAVEL 24" (610mm) FROM
 THE BACK OF CURB.

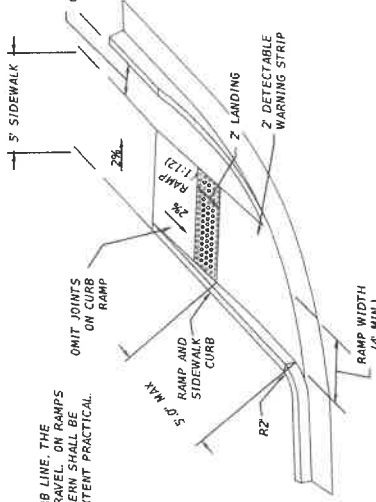
MS03 CURB RAMP DETECTABLE WARNING DETAIL
 SCALE: N.T.S.



NOTES:
 PROVIDE 1/8"-1/4"
 CONTRACTION JOINTS AT 10'
 CENTERS MAXIMUM.

MS02 SIDEWALK DETAIL "B"
 SCALE: N.T.S.

ON RAMPS THAT ARE PERPENDICULAR WITH THE CURB LINE, THE
 DOME SHALL BE IN-LINE WITH THE DIRECTION OF TRAVEL.
 INTERSECTING CURBS ON A RADIUS, THE DOME PATTERN SHALL BE
 IN-LINE WITH THE DIRECTION OF TRAVEL TO THE EXTENT PRACTICAL.



REVISIONS

DESCRIPTION



NORTH FLORIDA PROFESSIONAL SERVICES, INC.
 P.O. BOX 3823
 LAKE CITY, FL 32056
 PH. 386-752-4675
 WWW.NFPS.NET
 LIC NO. LB8356

JOB NUMBER:
 L2300215AN
 EOR:
 GREGORY G. BAILEY
 P.E. NO.:
 43858

MISC DETAILS
CLEARSKY - LAKE CITY
LAKE CITY, FL

SHEET
 NO.

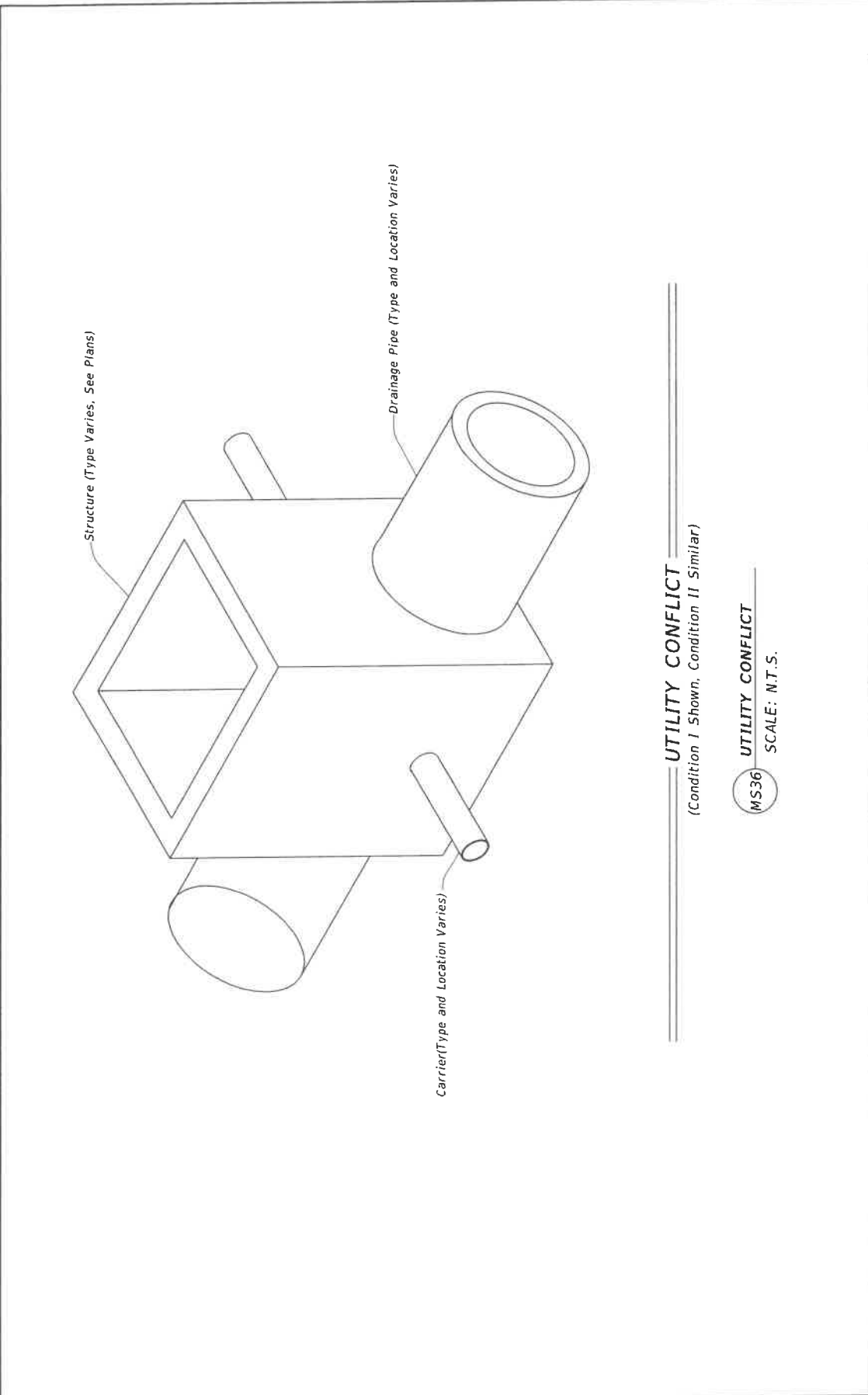
33

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Dawn Kuller

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 2551 BLARSTONE PINES DR.
 WINTER FL 32091
 P: 407-745-4675
 WWW.NFPS.NET
 CAM 20011
 LIC NO. LB8356

JOB NUMBER:
 L2106215AN
 EOR: GREGORY G. BAILEY
 P: 407-745-4675

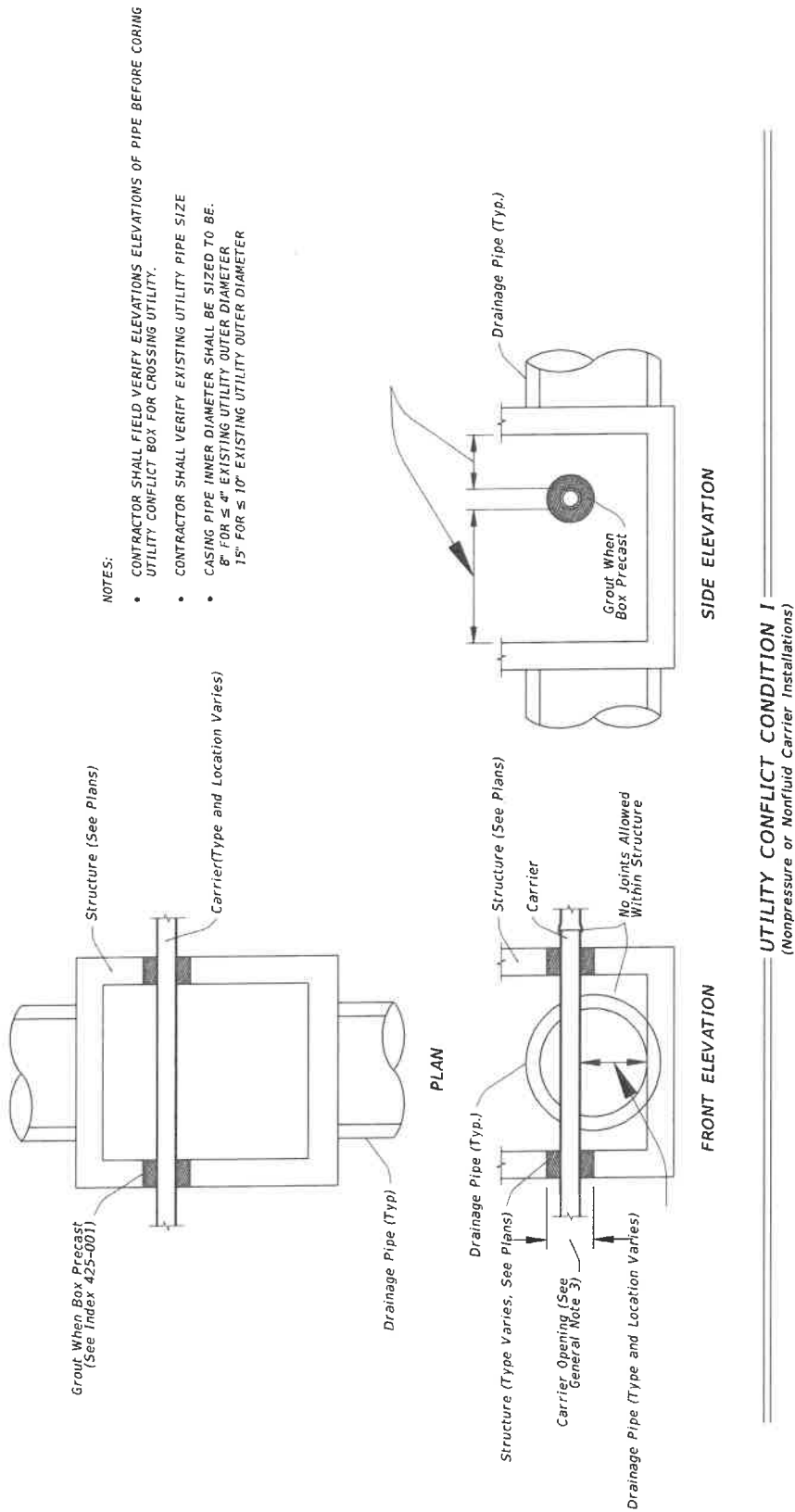
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MISC DETAILS
CLEARSKY - LAKE CITY
LAKE CITY, FL

SHEET NO.
34

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NOTES:

- CONTRACTOR SHALL FIELD VERIFY ELEVATIONS OF PIPE BEFORE CORING UTILITY CONFLICT BOX FOR CROSSING UTILITY.
- CONTRACTOR SHALL VERIFY EXISTING UTILITY PIPE SIZE
- CASING PIPE INNER DIAMETER SHALL BE SIZED TO BE 8" FOR \leq 4" EXISTING UTILITY OUTER DIAMETER 15" FOR \leq 10" EXISTING UTILITY OUTER DIAMETER

FRONT ELEVATION

PLAN

SIDE ELEVATION

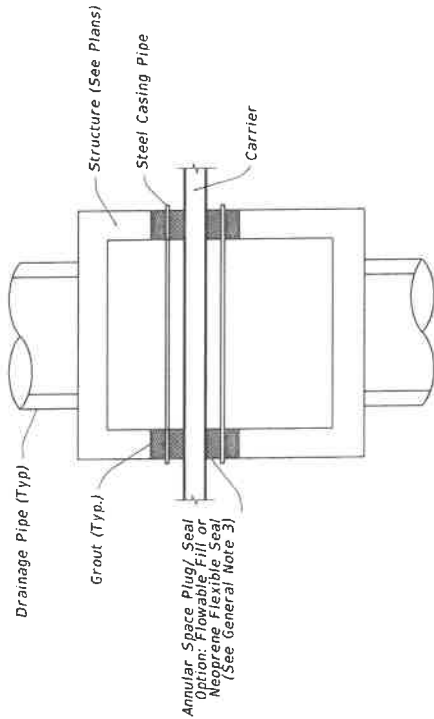
UTILITY CONFLICT CONDITION I
(Nonpressure or Nonfluid Carrier Installations)

MS36 **UTILITY CONFLICT (CONDITION I)**
SCALE: N.T.S.

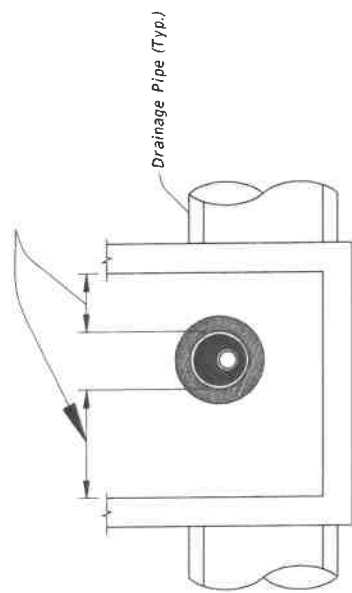
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			L200215AN	GREGORY G. BAILEY	43858	35
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			CLEARSKY - LAKE CITY			
			LAKE CITY, FL			
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NORTH FLORIDA PROFESSIONAL SERVICES, INC.
P.O. BOX 3823
LAKE CITY, FL 32056
PH: 386-752-4675
WWW.NFPS.NET
LIC NO. LB8356

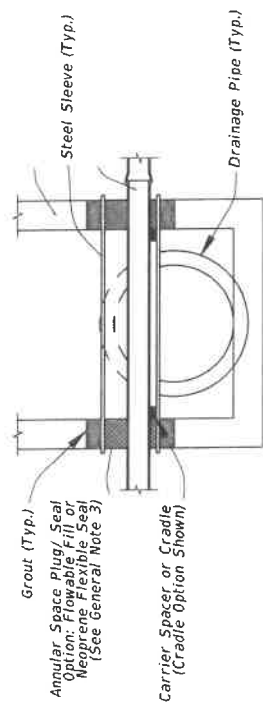
2571 BLAIRSTONE PINES DR.
TALLAHASSEE, FL 32301
WWW.NFPS.NET
CMP 23011



PLAN



SIDE ELEVATION



FRONT ELEVATION

- NOTES:
- CONTRACTOR SHALL FIELD VERIFY ELEVATIONS OF PIPE BEFORE CORING UTILITY CONFLICT BOX FOR CROSSING UTILITY.
 - CONTRACTOR SHALL VERIFY EXISTING UTILITY PIPE SIZE
 - CASING PIPE INNER DIAMETER SHALL BE SIZED TO BE:
 - 8" FOR \leq 4" EXISTING UTILITY OUTER DIAMETER
 - 15" FOR \leq 10" EXISTING UTILITY OUTER DIAMETER

UTILITY CONFLICT CONDITION 11
(Pressure or Fluid Carrier Installations)

MS37 UTILITY CONFLICT (CONDITION 2)
SCALE: N.T.S.

DATE	REVISIONS & DESCRIPTION

NORTH FLORIDA PROFESSIONAL SERVICES, INC.
 P.O. BOX 3423
 LAKE CITY, FL 32056
 PH. 386-752-4675
 LIC NO. LB88356

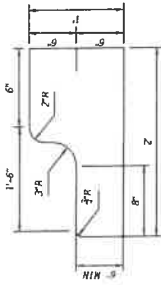
2551 BLAIRSTONE PINES DR.
 TALLAHASSEE, FL 32301
 WWW.NFPS.NET
 CAM 20011

JOB NUMBER:
 L3306215AN
 FOR: GREGORY G. BAILEY
 P.E. NO.: 43856

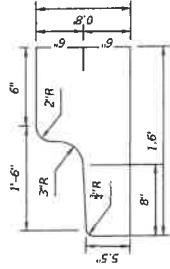
MISC DETAILS
CLEARSKY - LAKE CITY
LAKE CITY, FL

SHEET NO.
36

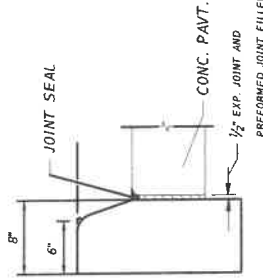
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MS33 TYPE F CURB (6") DETAILS
SCALE: N.T.S



MS34 TYPE F CURB (5.5") DETAILS
SCALE: N.T.S



TYPE D

NOTE: FOR USE ADJACENT TO CONCRETE OR FLEXIBLE PAVEMENT. CONCRETE SHOWN.
EXPANSION JOINT, PREFORMED JOINT FILLER AND JOINT SEAL ARE REQUIRED
BETWEEN CURBS AND CONCRETE PAVEMENT ONLY.

MS35 TYPE D CURB DETAILS
SCALE:

DATE	REVISION #	DESCRIPTION



NORTH FLORIDA PROFESSIONAL SERVICES, INC.
P.O. BOX 3823
LAKE CITY, FL 32056
PH. 386-752-4875
LIC. NO. LB9356

JOB NUMBER:
14307100N
FOR: GREGORY G. BAILEY
P.E. NO.: 43858
Drawn: KUTW

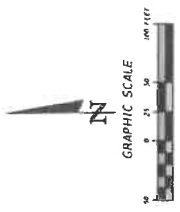
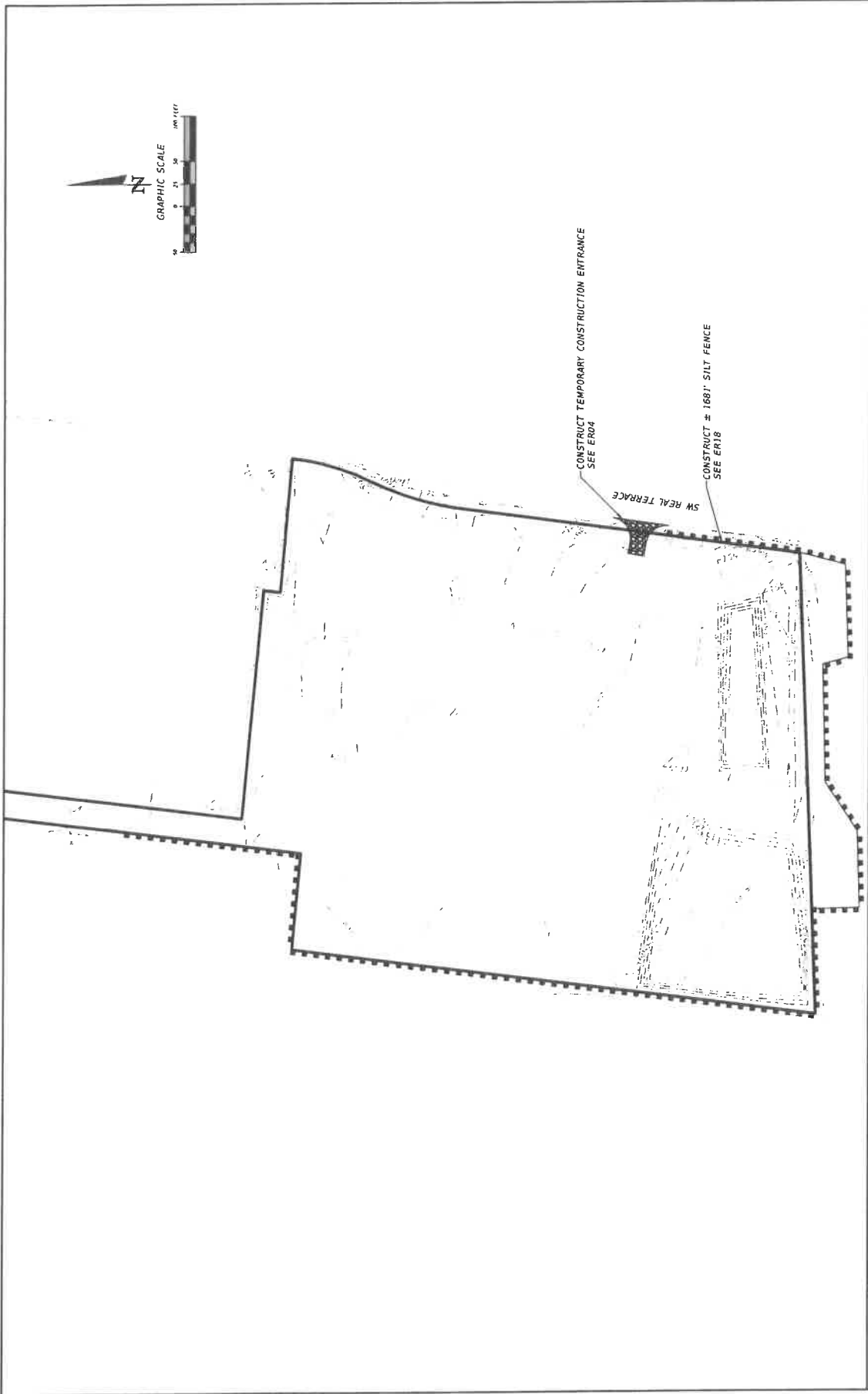
MISC DETAILS
CLEARSKY - LAKE CITY
LAKE CITY, FL

SHEET NO.
37

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EROSION CONTROL PLAN CLEARSKY - LAKE CITY LAKE CITY, FL		SHEET NO. 38
JOB NUMBER: L2300218AN EOR: GREGORY G. BAILEY P.E. NO.: 43858		DATE 12/1/2023 3:59:07 PM Drawn by: ggb
NORTH FLORIDA PROFESSIONAL SERVICES, INC. P.O. BOX 3823 LAKE CITY, FL 32056 PH: 386-752-4675 LIC. NO. LB8356		NORTH FLORIDA PROFESSIONAL SERVICES, INC. 2851 BLAIRSTONE PINES DR. TALLAHASSEE, FL 32301 WWW.NFPS.NET CAMP 23011
REVISIONS DATE DESCRIPTION		

L:\2023\12300218AN\VT\CAD\COPY\PLAN\EROSION CONTROL PLAN.dwg 23 EROSION CONTROL PLAN

EROSION CONTROL NOTES

1. THIS EROSION AND SEDIMENTATION CONTROL PLAN COMPLIES WITH THE REQUIREMENTS OF THE "FLORIDA EROSION AND SEDIMENT CONTROL INSPECTORS MANUAL".
2. THE CONTRACTOR SHALL ADHERE TO COLUMBIA COUNTY, SRWMD, AND OTHER GOVERNING AUTHORITIES FOR EROSION AND SEDIMENT CONTROL REGULATIONS. IF THE CONTRACTOR NEEDS TO CHANGE THIS PLAN TO MORE EFFECTIVELY CONTROL EROSION AND SEDIMENTATION, THE CONTRACTOR SHALL USE BMP'S FROM THE "FLORIDA EROSION AND SEDIMENT CONTROL INSPECTORS MANUAL". (Modify this note as required.)
3. THE CONTRACTOR SHALL ADJUST AND REVISE THIS PLAN TO MEET ACTUAL FIELD CONDITIONS. ANY REVISIONS SHALL BE APPROVED BY THE REVIEWING AGENCIES.
4. SEDIMENT AND EROSION CONTROL FACILITIES, STORM DRAINAGE FACILITIES AND DEFENTION BASINS SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
5. EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL OF 0.5 INCHES OR GREATER, AND REPAIRED OR REPLACED AS NECESSARY.
6. SEDIMENT AND EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL CONSTRUCTION IS COMPLETE AND UNTIL A PERMANENT GROUND COVER HAS BEEN ESTABLISHED.
7. ALL OPEN DRAINAGE SWALES SHALL BE GRASSED AND RIPRAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION.
8. SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT AND EROSION FROM LEAVING PROJECT LIMITS.
9. CONTRACTOR SHALL PLACE A DOUBLE ROW OF SILT FENCE IN AREAS WHERE RUNOFF FROM DISTURBED AREAS MAY ENTER WETLANDS.
10. DURING CONSTRUCTION AND AFTER CONSTRUCTION IS COMPLETE, ALL STRUCTURES SHALL BE CLEANED OF ALL DEBRIS AND EXCESS SEDIMENT.
11. ALL GRADED AREAS SHALL BE STABILIZED IMMEDIATELY WITH A TEMPORARY FAST-GROWING COVER AND/OR MULCH.
12. A PAD OF RUBBLE RIP RAP SHALL BE PLACED AT THE BOTTOM OF ALL COLLECTION FLOWES TO PREVENT CHIPS, GRANITE OR LIMESTONE RIPRAP IS REQUIRED, NO BROKEN CONCRETE WILL BE ACCEPTED.
13. ALL SIDE SLOPES STEEPER THAN 3:1 SHALL BE ADEQUATELY PROTECTED FROM EROSION THROUGH THE USE OF SYNTHETIC BALES OR SODDING.
14. ALL STABILIZATION PRACTICES SHALL BE INITIATED AS SOON AS PRACTICABLE IN JOB AREAS. CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY STOPPED. THE DISTURBED AREA SHALL BE LEFT UNPROTECTED FOR MORE THAN SEVEN DAYS.
15. ALL WASTE GENERATED ON THE PROJECT SHALL BE DISPOSED OF BY THE CONTRACTOR IN AREAS PROVIDED BY CONTRACTOR.
16. LOADED HAUL TRUCKS SHALL BE COVERED WITH TARPS.
17. EXCESS DIRT SHALL BE REMOVED DAILY.
18. THIS PROJECT SHALL COMPLY WITH ALL WATER QUALITY STANDARDS. PERMIT REQUIRED FROM SRWMD HAS BEEN OBTAINED.
19. QUALIFIED PERSONNEL SHALL INSPECT THE AREA USED FOR STORAGE OF STOCKPILES. THE SITES MUST BE INSPECTED WEEKLY AND AFTER EACH RAINFALL OF 0.5 INCHES OR GREATER. THE DISTURBED AREAS THAT HAVE NOT BEEN FINALLY STABILIZED MUST BE REINSPECTED EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM OF 0.5 INCHES OR GREATER.
20. SITES THAT HAVE BEEN FINALLY STABILIZED WITH SOD OR GRASSING SHALL BE INSPECTED AT LEAST ONCE EVERY WEEK.

REVISIONS	
DATE	DESCRIPTION



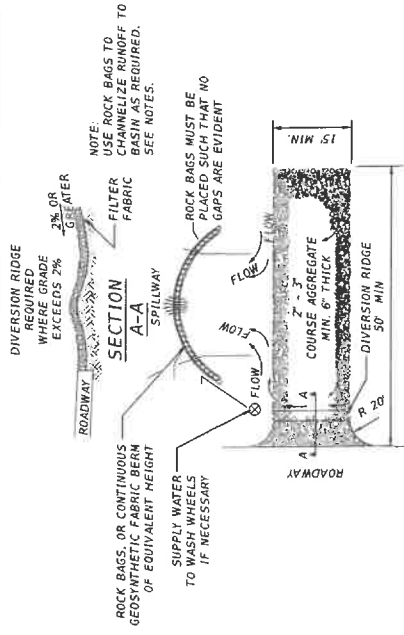
NORTH FLORIDA PROFESSIONAL SERVICES, INC.
 P.O. BOX 3823
 LAKE CITY, FL 32056
 PH. 386-782-4675
 WWW.NFPS.NET
 LIC NO. LB8356
 CAM 29611

JOB NUMBER:
 E-206735AN
ENR:
 GREGORY G. BAILEY
P.E. NO.:
 43888

EROSION NOTES CLEARSKY - LAKE CITY LAKE CITY, FL

SHEET NO.
 39

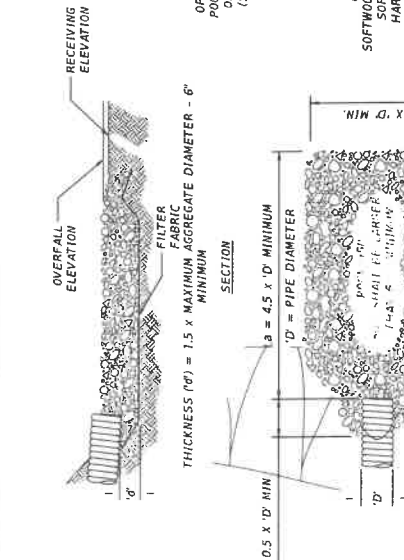
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NOTES:

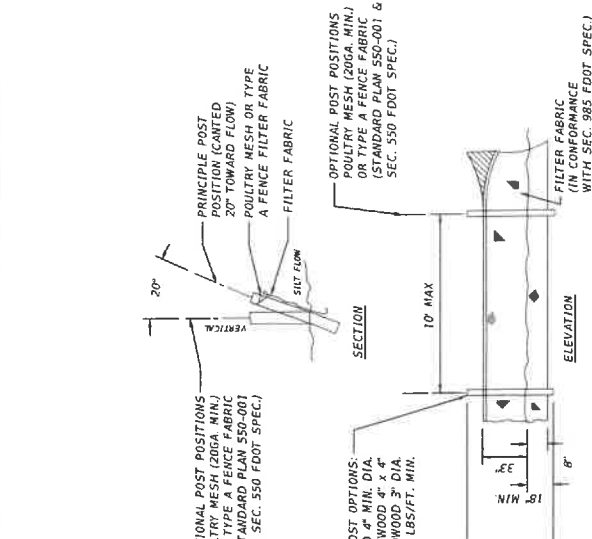
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
4. ROCK BAGS OR SANDBAGS SHALL BE PLACED SUCH THAT NO GAPS ARE EVIDENT.

PLAN



NOTES:

1. $1.5 \times$ = LENGTH OF APRON. DISTANCE $1.5 \times$ SHALL BE OF SUFFICIENT LENGTH TO DISSIPATE ENERGY.
2. APRON SHALL BE AT A ZERO GRADE AND ALIGNED STRAIGHT.
3. FILTER FABRIC SHALL EXTEND 6" PAST AGGREGATE LIMITS.



TYPE IV SILT FENCE
SCALE: N.T.S.

ENERGY DISSIPATOR DETAIL
SCALE: N.T.S.

TEMPORARY CONSTRUCTION ENTRANCE
SCALE: N.T.S.

NOTES:

THE FOLLOWING SHALL BE PERFORMED IN THE EVENT ANY KARST FEATURES FORM DURING CONSTRUCTION - E.G. SOLUTION CAVITIES, CHIMNEYS, SINKHOLES:

1. NOTIFY THE WATER MANAGEMENT DISTRICT AND THE APPLICABLE MUNICIPAL OR COUNTY PUBLIC WORKS IMMEDIATELY WHEN THE FEATURES ARE ENCOUNTERED. THE METHOD OF REPAIR SHALL BE SUBMITTED FOR REVIEW, COMMENT AND APPROVAL PRIOR TO ATTEMPTING ANY REPAIR.
2. SHALLOW KARST FEATURES ARE TYPICALLY LESS THAN 5' DEEP AND ONLY HAVE SMALL VOIDS IN THE LIMESTONE. THE FEATURE CAN BE REPAIRED BY BACKFILLING WITH A LOWER PERMEABILITY MATERIAL SUCH AS SAND OR GRAVEL TO THE SURFACE.
3. DEEP KARST FEATURES SHALL BE REPAIRED MORE PERMANENTLY. EXCAVATE THE FEATURE TO THE LIMESTONE BEDROCK. PLUG VOIDS IN THE BEDROCK WITH CLEAN GROUT. BACKFILL OVER THE PLUG WITH A LOWER-PERMEABILITY MATERIAL SUCH AS CLAYEY-SAND OR CLAY. COMPACT THE BACKFILL TO GRADE.



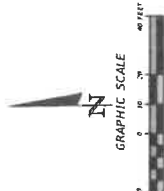
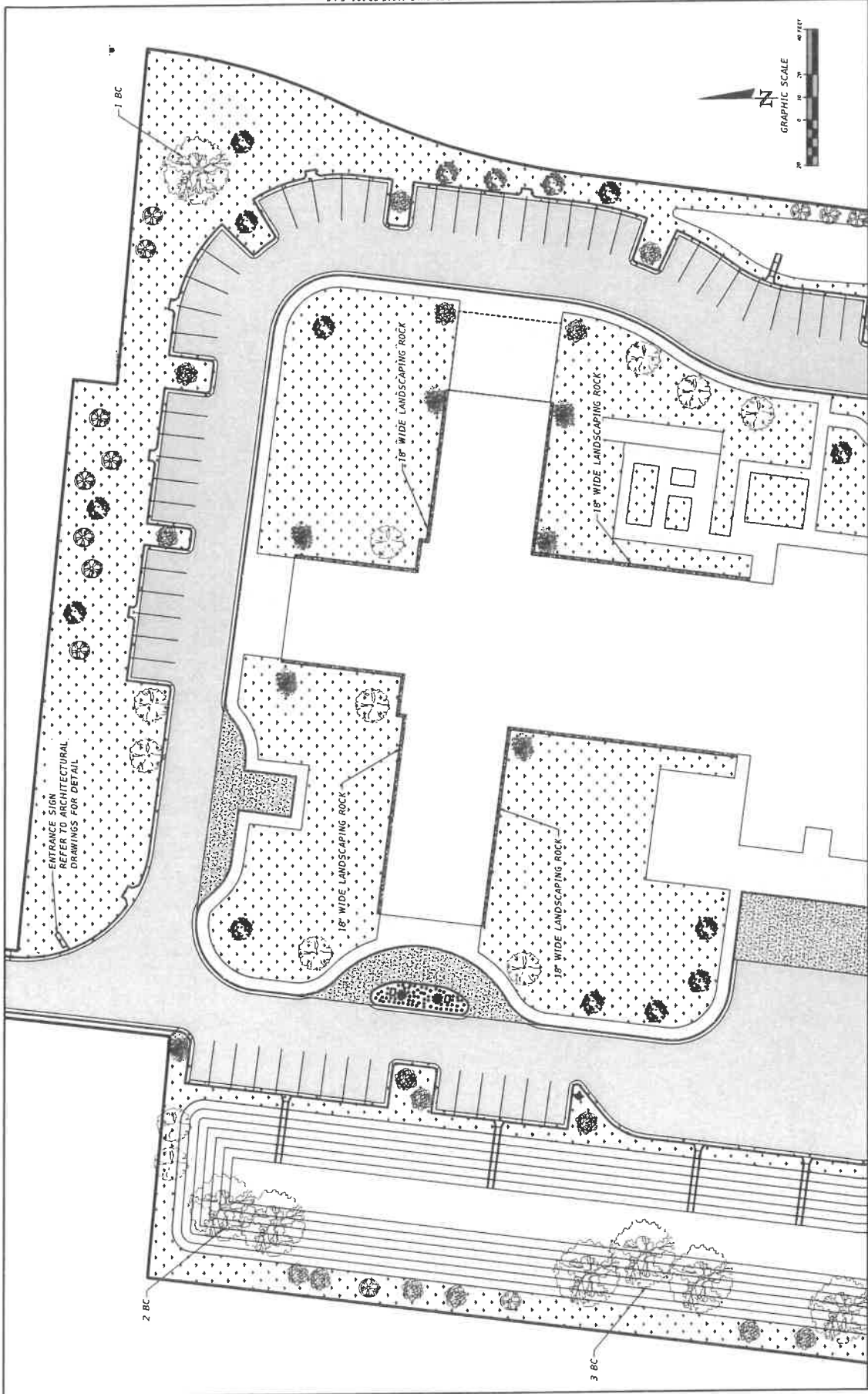
KARST FEATURE REPAIR DETAIL
SCALE: N.T.S.

ENERGY DISSIPATOR DETAIL
SCALE: N.T.S.

TEMPORARY CONSTRUCTION ENTRANCE
SCALE: N.T.S.

REVISIONS		JOB NUMBER:		SHEET NO.	
DATE	DESCRIPTION	123061515AN	43858	40	
		NORTH FLORIDA PROFESSIONAL SERVICES, INC.		EROSION DETAILS	
		2551 BLAIRSTONE PINES DR.		CLEARSKY - LAKE CITY	
		LAKE CITY, FL 32056		LAKE CITY, FL	
		PH. 386-752-4875			
		WWW.NFPS.NET			
		LIC NO. LB8358			
		GREGORY G. BAILEY			
		P.E. NO. 43858			
		Date: 11/17/2023 3:58:17 PM			
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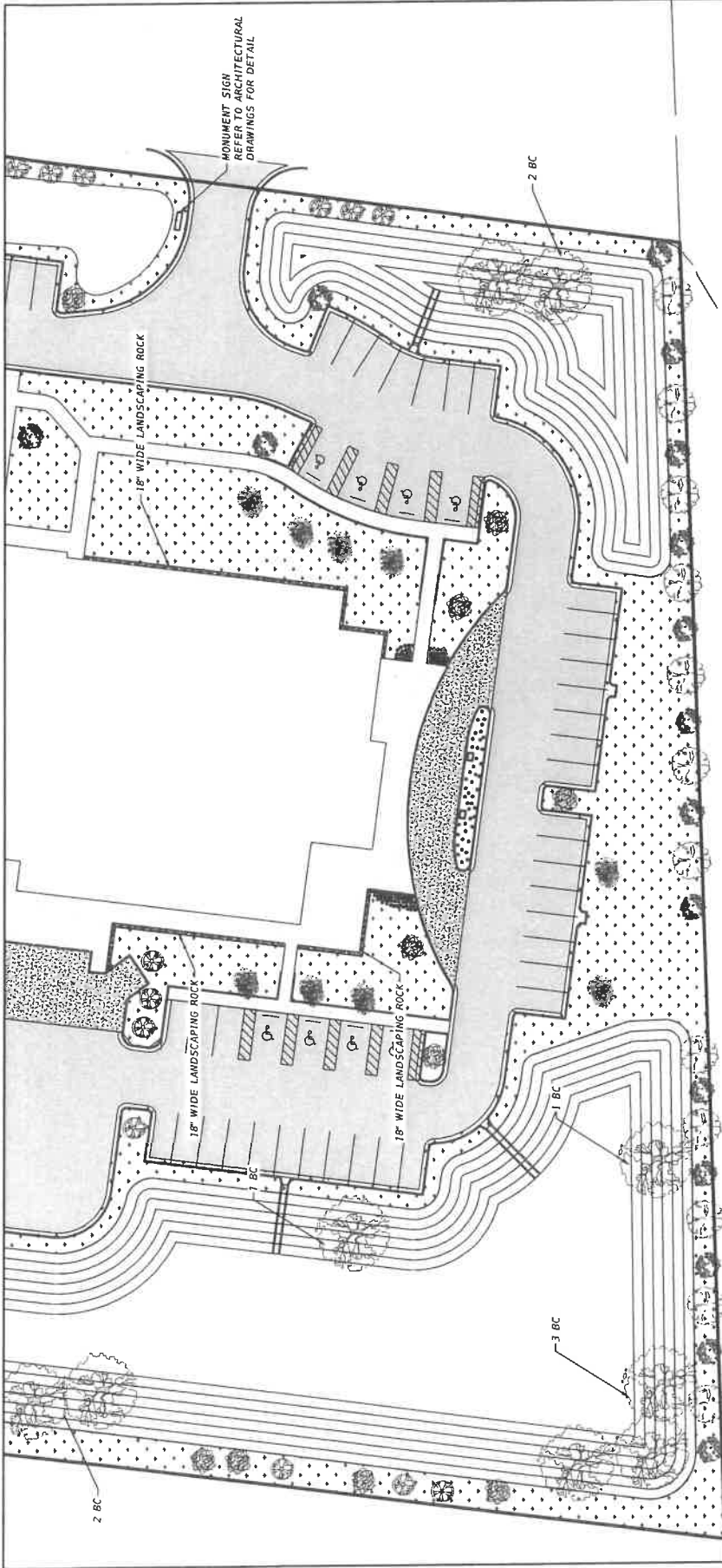
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DATE	REVISIONS	DESCRIPTION

NORTH FLORIDA PROFESSIONAL SERVICES, INC. P.O. BOX 3823 LAKE CITY, FL 32056 PH. 386-752-4675 LIC. NO. LB8336		JOB NUMBER: L2306218AN EOR: GREGORY G. BAILEY P.E. NO.: 43859	SHEET NO. 41
251 BLAIRSTONE PINES DR. TALLAHASSEE, FL 32301 WWW.NFPS.NET CAP 28071		LANDSCAPE PLAN CLEARSKY - LAKE CITY LAKE CITY, FL	

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 3_0323\2306218AN\11 CAD\DCOMP\ENT\LANDSCAPE\USING_D\ERPARY_01.dwg 41 LANDSCAPE PLAN



SHEET NO. 42

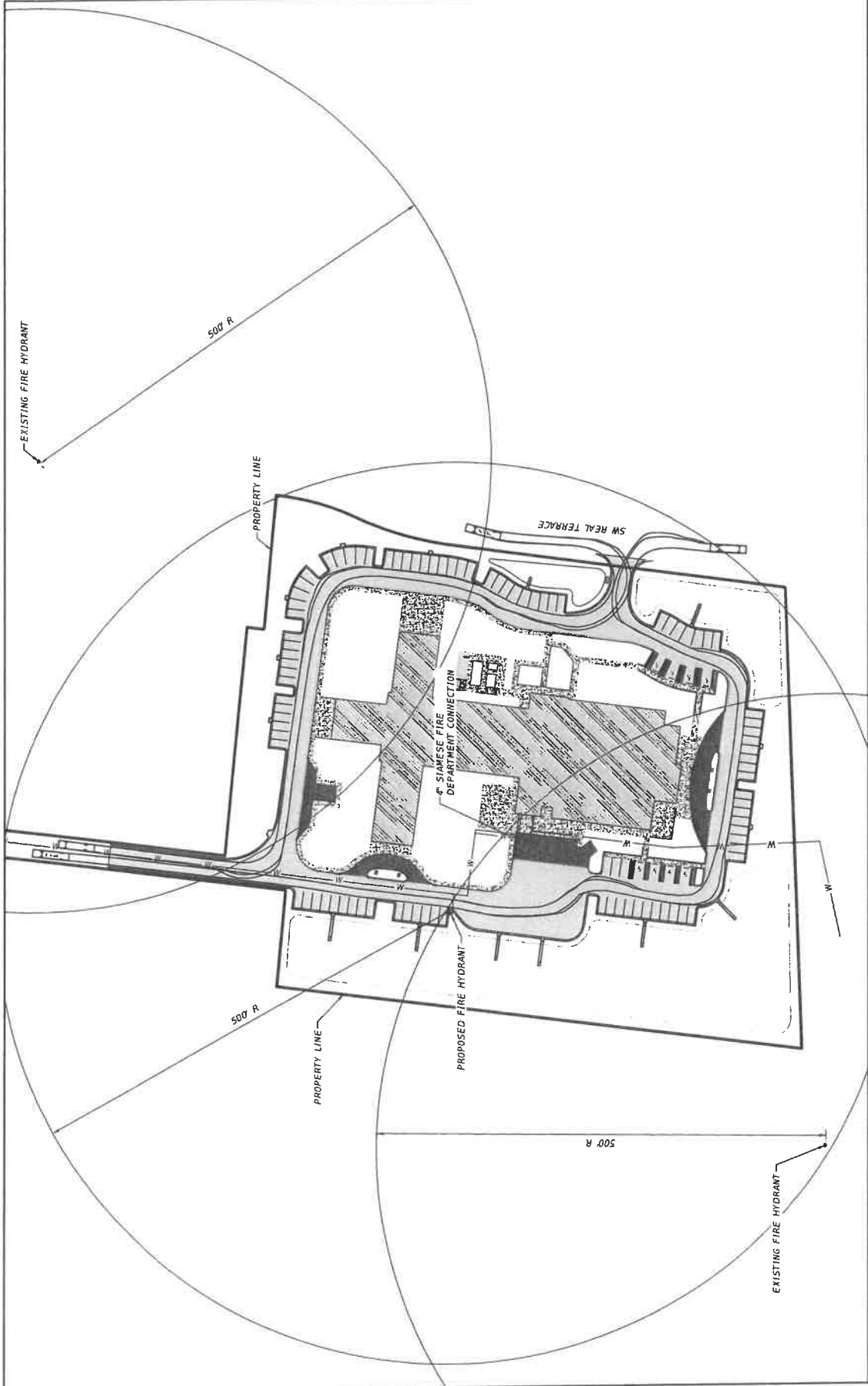
LANDSCAPE PLAN
CLEARSKY - LAKE CITY
LAKE CITY, FL

JOB NUMBER: L230021SAN
 EOR: GREGORY G. BAILEY
 P.E. NO.: 43858

NORTH FLORIDA PROFESSIONAL SERVICES, INC.
 2551 BLAIRSTONE PINES DR.
 TALLAHASSEE, FL 32301
 WWW.NFPS.NET
 CAMP 230011



DATE	REVISION	DESCRIPTION



DATE	REVISIONS	DESCRIPTION



NORTH FLORIDA PROFESSIONAL SERVICES, INC.
 P.O. BOX 3823
 LAKE CITY, FL 32056
 PH: 386-732-4675
 LIC. NO. LB8596

JOB NUMBER: L200421SAN
EOR: GREGORY G. BAILEY
P.E. NO.: 43858

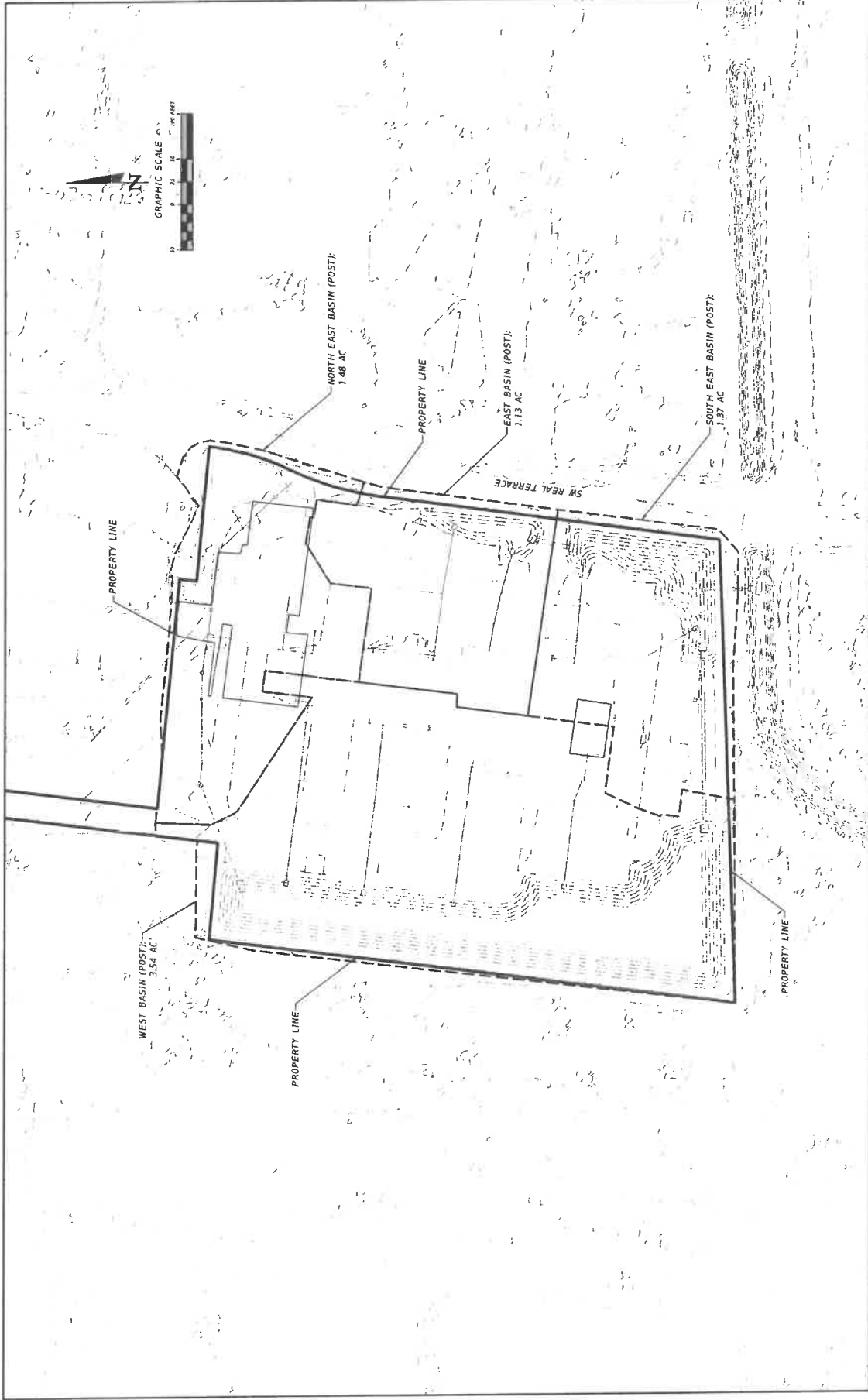
FIRE ACCESS PLAN AND WATER SUPPLY
CLEARSKY - LAKE CITY
LAKE CITY, FL

SHEET NO. 44

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



DATE		REVISIONS	
DESCRIPTION		DESCRIPTION	
JOB NUMBER: 230870104		JOB NUMBER: 230870104	
FOR: GREGORY G. BAILEY		FOR: GREGORY G. BAILEY	
P.E. NO.: 43858		P.E. NO.: 43858	
NORTH FLORIDA PROFESSIONAL SERVICES, INC.		NORTH FLORIDA PROFESSIONAL SERVICES, INC.	
P.O. BOX 3823		2551 BLAIRSTONE PINES DR.	
LAKE CITY, FL 32056		TALLAHASSEE, FL 32301	
PH. 386-752-4875		WWW.NFPS.NET	
LIC NO. LB8356		CAP 29011	
PRE-EXISTING BASINS		PRE-EXISTING BASINS	
CLEARSKY - LAKE CITY		CLEARSKY - LAKE CITY	
LAKE CITY, FL		LAKE CITY, FL	
SHEET NO. 45		SHEET NO. 45	



DATE	REVISIONS DESCRIPTION

 **NORTH FLORIDA PROFESSIONAL SERVICES, INC.**
 P.O. BOX 8923
 LAKE CITY, FL 32056
 TALLAHASSEE, FL 32301
 WWW.NFPS.NET
 LIC NO. LB8356

JOB NUMBER: L230621SAN
EOR: GREGORY G. BAILEY
P. E. NO.: 48358
Dennis Kiffner

POST-CONDITION BASINS
CLEARSKY - LAKE CITY
LAKE CITY, FL

SHEET NO.: 46

FIRE & RESCUE

ISO Fire Flow Worksheet

Needed Fire Flow Work Sheet (ISO formulas)

$NFF = (Ci)(Oi)(Xi+Pi)$
 $C=18F(Ai)^{0.5}$

Address:	SW Real Terrace	Occupancy Type:	I2
Project Name:	ClearSky	Number of Stories:	1
Construction Type:	Ordinary		

STEP 1 Take the area, which is 100% sq. ft. of the first floor plus the following percentage of the total area of the other floors.

First Floor Area in Sq. Ft 42,745 Sq. Ft. @ 100%

Additional Floors

Enter total area in sq. ft for all other floors 0

Total Area Entire Building 42,745

STEP 2

F = Coefficient related to the class of construction as determined by using the construction type found in SBCCI

Construction Type	Class	F Value
Frame	1	1.5
Joist Masonry	2	1
Non-combustible	3	0.8
Heavy Timber	4	0.8
Modified fire resistance	5	0.6
Fire resistive	6	0.6

Construction Class 3

Square Root of the Area x F x 18 3,000 = C Value

ISO Fire Flow Worksheet

Needed Fire Flow Work Sheet (ISO formulas)

STEP 3	Multiply result of rounded off GPM by the Occupancy Factor (Oi)	Occupancy Factor
	<p>Noncombustible (C-1) = No active fuel loads such as storage of asbestos, clay, glass, marble, stone, or metal products.</p>	0.75
	<p>Limited - Combustible (C-2) = Limited fuel loads such as airports, apartments, art studios, auto repair, auto showroom, aviaries, banks, barber shops, beauty shops, churches, clubs, cold storage warehouses, day care center, educational occupancies, gas stations, green houses, health clubs, hospitals, jails, libraries, medical labs, motels, museums, nursing homes, offices, radio stations, recreation centers, and rooming houses.</p>	0.85
	<p>Combustible (C-3) = Moderate fuel loads such as auto part stores, auto repair training center, bakery, bookstores, bowling centers, casinos, commercial laundries, contractor equipment storage, dry cleaners with no flammable fluids, leather processing, municipal storage buildings, nursery sales stores, pavilions, pet shops, photographic supplies, printers, restaurants, shoe repair, supermarkets, theaters, vacant buildings, and most wholesale & retail sales occupancies.</p>	1.0
	<p>Free-Burning (C-4) = Active fuel loads such as aircraft hangers, cabinet making, combustible metals, dry cleaners using flammable fluids, feed stores, furniture stores, kennels, lumber, packaging and crating, paper products manufacturing, petroleum bulk distribution centers, tire manufacturers, tire recapping or retreading, wax products, and wood working shops.</p>	1.15
	<p>Rapid-Burning (C-5) = Contents that burn with great intensity, spontaneously ignite, have flammable or explosive vapors, or large quantities of dust such as ammunition, feed mills, fireworks, flammable compressed gases, flammable liquids, flour mills, highly flammable solids, matches, mattress factories, nitrocellulose-based products, rag storage, upholstery shops, & waste paper storage.</p>	1.25
	<p>Occupancy Class Selected (1 thru 5)</p>	1
	<p>GPM x Oi</p>	2,250.00

ISO Fire Flow Worksheet

Needed Fire Flow Work Sheet (ISO formulas)

STEP 4 Now consider the exposure factor (Xi) - (Separation between buildings)

Distance (feet to the exposed building)	Xi	>3 stories
0-10	0.22	0.47
11-30	0.18	0.43
31-60	0.13	0.38
61-100	0.09	0.34

Distance, in feet, to the exposed building

Xi (from table)

Multiply GPM from step 4 by (1+Xi)

Total From Step 4

STEP 5 Approved Fire Sprinkler System? (Y or N)

Take fire flow from step 4 and multiply by sprinkler credit of 0.25

Sprinkler credit

Now subtract sprinkler credit from fire flow in step 4

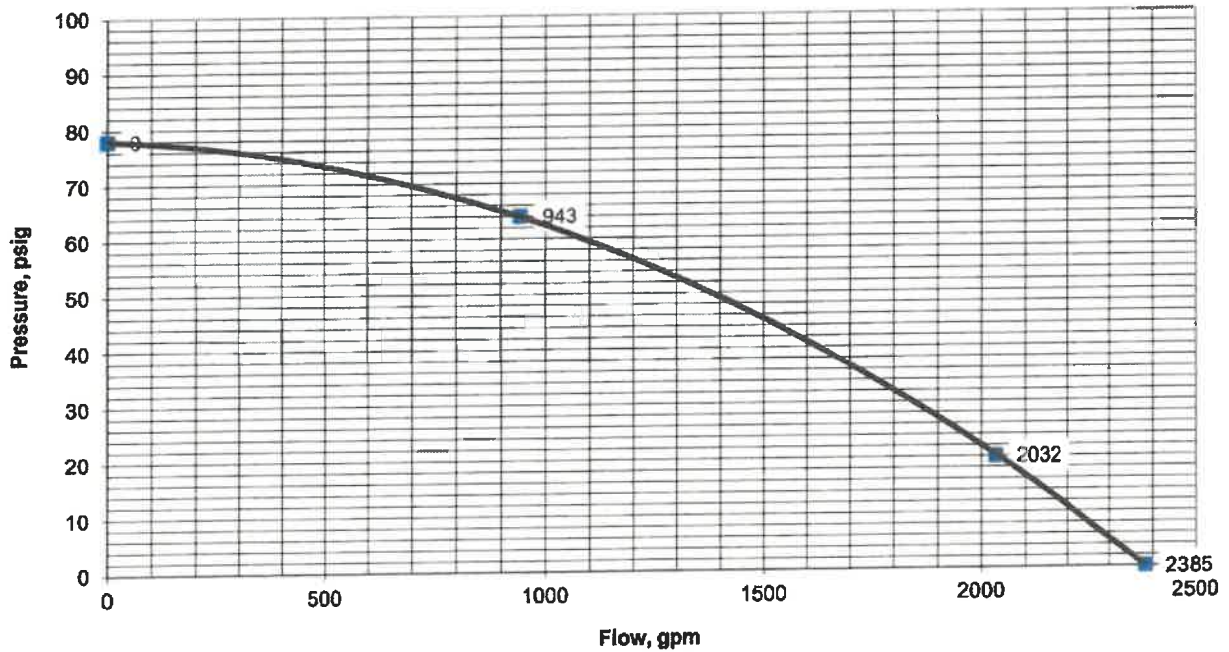
NEEDED FIRE FLOW

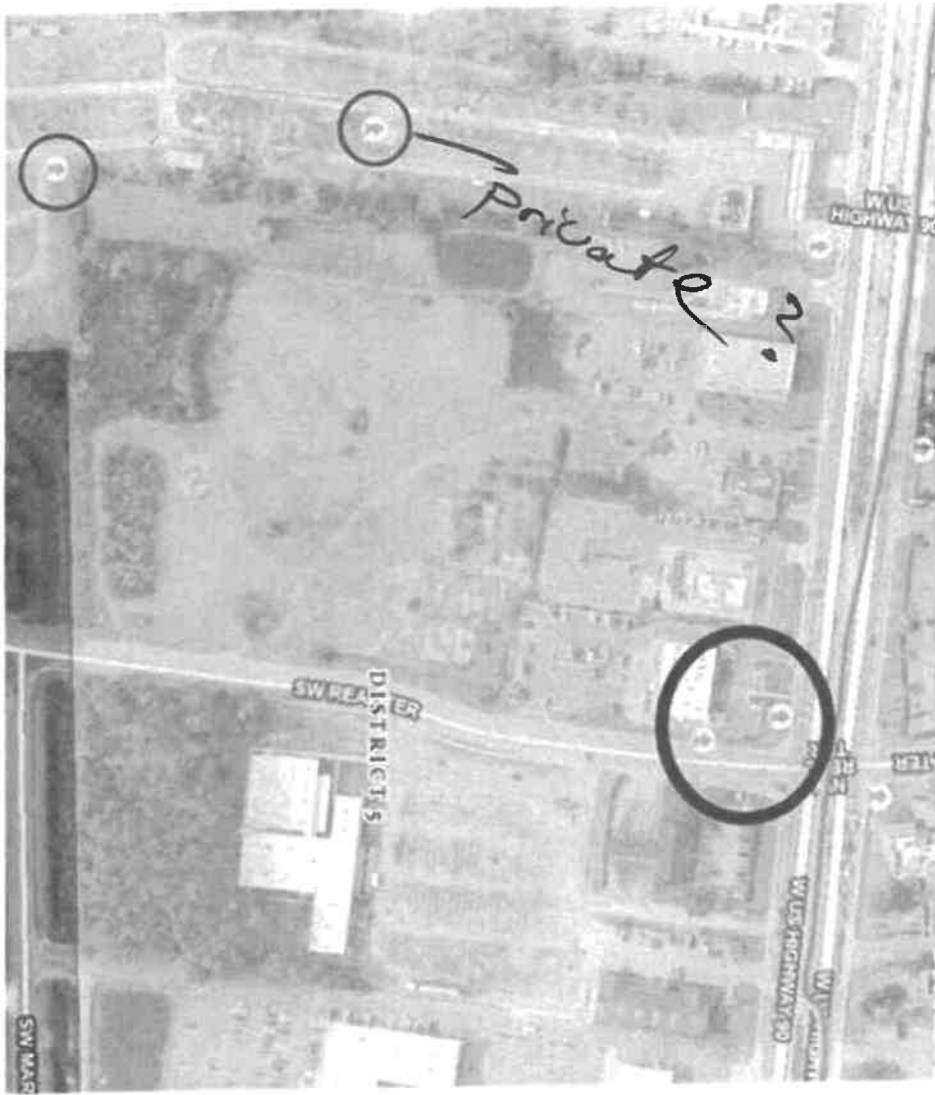
City of Lake City Water flow report

HYDRANT # & LOCATION: **SW Real Terrace and SW Mary Ethel Lane** DATE: **6/26/2023**
 TEST BY: **AI/Brandon/Guage** Day: **Thursday** Time: **9:00** Minutes: **2**
 WATER SUPPLIED BY: **Municipal**
 PURPOSE OF TEST: **request**

DATA

FLOW HYDRANT(S)	A1	A2	A3
SIZE OPENING:	2.5	2.5	2.5
COEFFICIENT:	0.8		
PITOT READING:	40		
GPM:	943	0	0
TOTAL FLOW DURING TEST:	943 GPM		
STATIC READING:	78 PSI		RESIDUAL: 64 PSI
RESULTS: AT 20 PSI RESIDUAL	2032 GPM		AT 0 PSI 2385 GPM
ESTIMATED CONSUMPTION:	1887 GAL.		
REMARKS:			



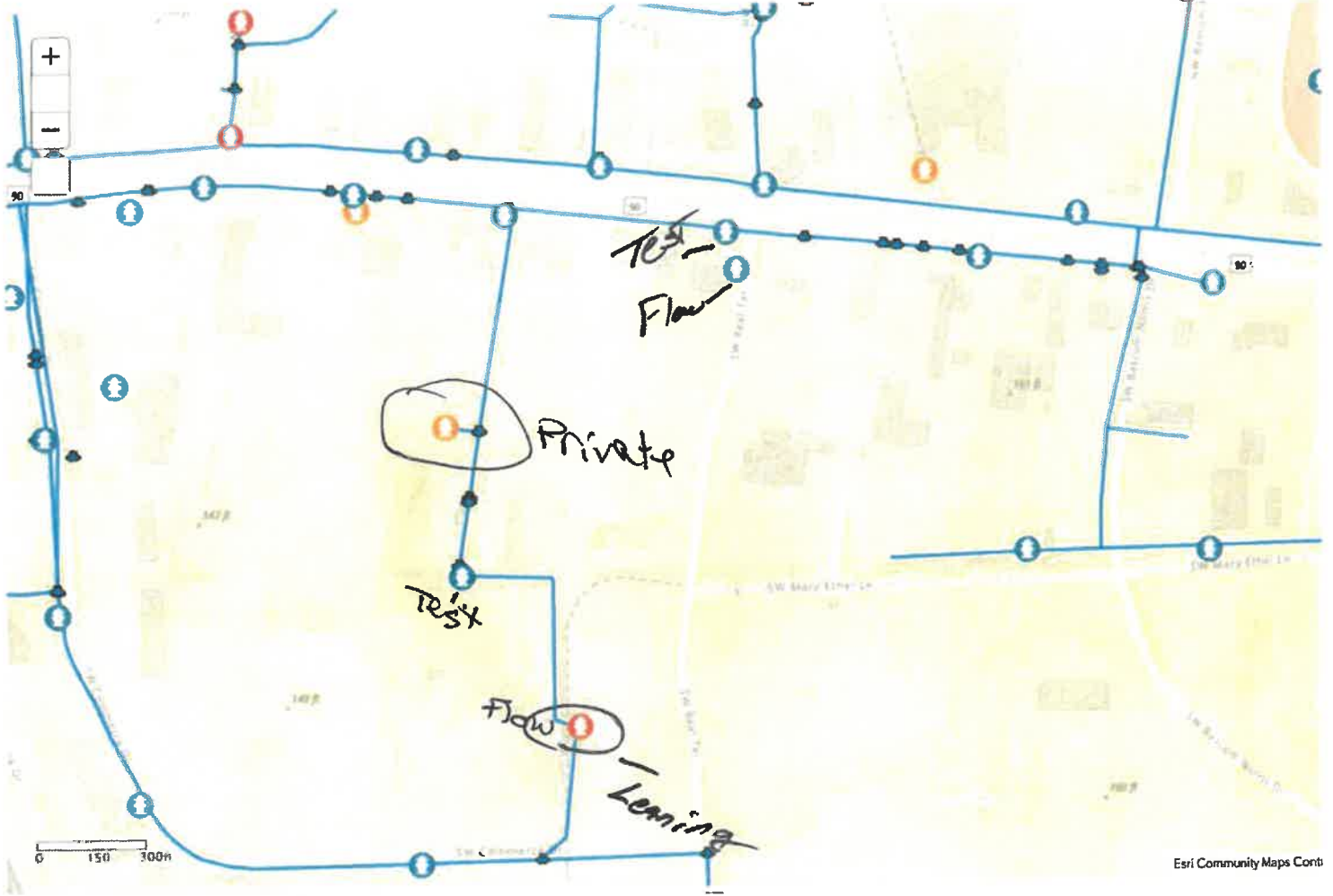


Updates are being made weekly. if you have any issues please email gis@lcfla.com

Home ▾ Hydrant Flushing

Details | Add | Edit | Basemap

Save | Share



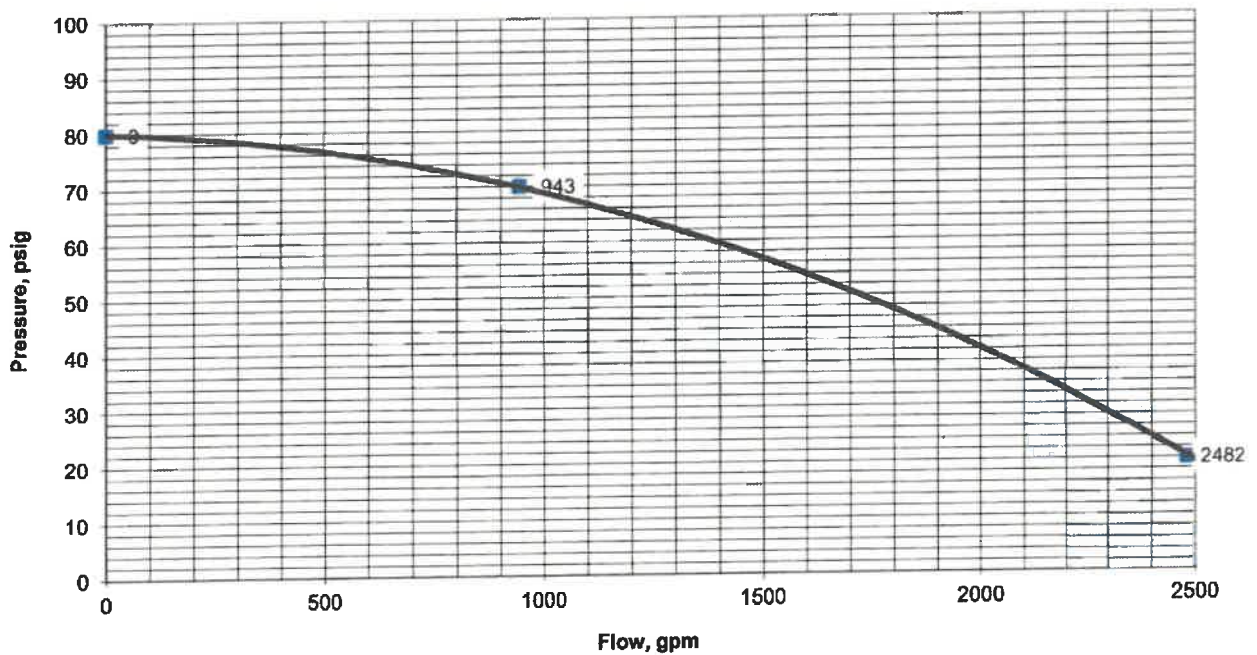
Updates are being made weekly. If you have any issues please email gis@lcfla.com

City of Lake City Water flow report

HYDRANT # & LOCATION: **Real Terrace and US 90** DATE: **6/22/2023**
 TEST BY: **Al/Dainel** Day: **Thursday** Time: **13:25** Minutes: **2**
 WATER SUPPLIED BY: **Municipal**
 PURPOSE OF TEST: **request**

DATA

FLOW HYDRANT(S)	A1	A2	A3
SIZE OPENING:	2.5	2.5	2.5
COEFFICIENT:	0.8		
PITOT READING:	40		
GPM:	943	0	0
TOTAL FLOW DURING TEST:	943 GPM		
STATIC READING:	80 PSI		RESIDUAL: 70 PSI
RESULTS:	AT 20 PSI RESIDUAL 2482 GPM	AT 0 PSI 2899 GPM	
ESTIMATED CONSUMPTION:	1887 GAL.		
REMARKS:			





NFPS



PO BOX 3823
LAKE CITY, FL 32056



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FAX (386) 752-4674



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DATA ANALYSIS AND CONCURRENCY REPORT

Application for Site &
Development Plan Approval

Prepared for:

THE SANDERS TRUST
Strategic Healthcare Properties NationwideSM

Prepared by:



Brandon M. Stubbs, Senior Planner
North Florida Professional Services, Inc.



General Project Information

SUBJECT:	A request for a Site & Development Plan Approval for a +/-42,745 square foot medical facility use, as permitted in Section 4.13.2 of the Land Development Regulations, along with parking, stormwater management system, landscaping, and other amenities on an approximate 7.33-acre subject property.
APPLICANT/AGENT:	Brandon M. Stubbs, Senior Planner for North Florida Professional Services, Inc.
PROPERTY OWNER(S):	Will Summers Properties, Inc., Summers & Summers, LLC., Nadejda Summers, and Real Terrace, LLC.
LOCATION:	North of SW Mary Ethel Lane; South of U.S. Highway 90, Five Guys, Panda Express, and Dairy Queen; East of Vacant Commercial Lands; and West of SW Real Terrace, Regal UA Cinema 90, TD Bank, and Planet Fitness; Columbia County, Florida.
PARCEL ID NUMBER(S):	02579-002, 02579-006, 02579-008, 02579-010, 02579-012, & 02579-013
ACREAGE:	±7.33-Acres
FLUM	Commercial
ZONING	Commercial, Intensive ("CI")



SUMMARY

The proposal is to construct a ±42,745 square foot building for a medical facility use within a Commercial, Intensive (“CI”) Zone District on a ±7.33 acres subject property with associated parking, landscaping, stormwater management, and other amenities. The subject property is currently vacant.

FUTURE LAND USE MAP DESIGNATION of Subject Property

The City of Lake City Commercial FLUM Designation is described as follows in Policy I.1.2 of the Future Land Use Element of the Comprehensive Plan:

“Lands classified as commercial use consist of areas used for the sale, rental, and distribution of products or performance of services, as well as public, charter and private elementary, middle and high schools. In addition, off-site signs, churches and other houses of worship, private clubs and lodges, residential dwelling units, which existed within this category on the date of adoption of this objective, and other similar uses compatible with commercial uses may be approved as special exceptions and be subject to an intensity of less than or equal to 0.25 floor area ratio except within the (CG) Commercial, General, (CI) Commercial, Intensive, (C-CBD) Commercial-Central Business District and (CHI) Commercial, Highway Interchange districts being subject to an intensity of less than or equal to 1.0 floor area ratio.

(CN) Commercial, Neighborhood uses shall be limited to an intensity of less than or equal to 0.25 floor area ratio. (CG) Commercial, General, (CI) Commercial, Intensive, (C-CBD) Commercial-Central Business District and (CHI) Commercial, Highway Interchange districts shall be limited to an intensity of less than or equal to 1.0 floor area ratio.”

OFFICIAL ZONING ATLAS DESIGNATION of Subject Property

The City of Lake City Commercial, Intensive (“CI”) Designation is described as follows in Section 4.13.1 of the Land Development Regulations:

“The “CI” Commercial, Intensive category includes one (1) zone district: CI. This district is intended for intensive, highly automotive-oriented uses that require a conspicuous and accessible location convenient to streets carrying large volumes of traffic. Such activities generally require large land areas, do not cater directly in appreciable degree to pedestrians, and require ample offstreet parking and offstreet loading space. This district permits certain uses not of a neighborhood or general commercial type and serves the entire City.”

SURROUNDING USES

The existing uses, Future Land Use Map ("FLUM") Designations, and zone districts of the surrounding area are identified in Table 1. Map 1 provides an overview of the vicinity of the subject property.

Table 1. Surrounding Land Uses

Direction	Existing Use(s)	FLUM Designation(s)	Zoning District(s)
North	U.S. Highway 90/Dunkin Donuts/ Panda Express/Ruby Tuesday	Commercial	Commercial, Intensive ("CI")
South	SW Mary Ethel Lane/Florida Gateway Arena	Columbia County Residential, Low Density	Columbia County Residential, Single Family-2 ("Co RSF-2")
East	Regal UA Cinema 90/Planet Fitness	Commercial	Commercial, Intensive ("CI")
West	Vacant Commercial Lands	Commercial	Commercial, Intensive ("CI")

Map 1. Vicinity Map



Vicinity Map

NORTH FLORIDA PROFESSIONAL SERVICE

PO BOX 3823
LAKE CITY, FL 32056

PHONE: (386) 752-4675
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CONSISTENCY WITH THE COMPREHENSIVE PLAN

Below is a chart of the existing FLUM Designation and the corresponding Official Zoning Atlas designation consistent with said proposed FLUM Designation.

Table 2. Zoning Consistency with Underlying Future Land Use Map Designation

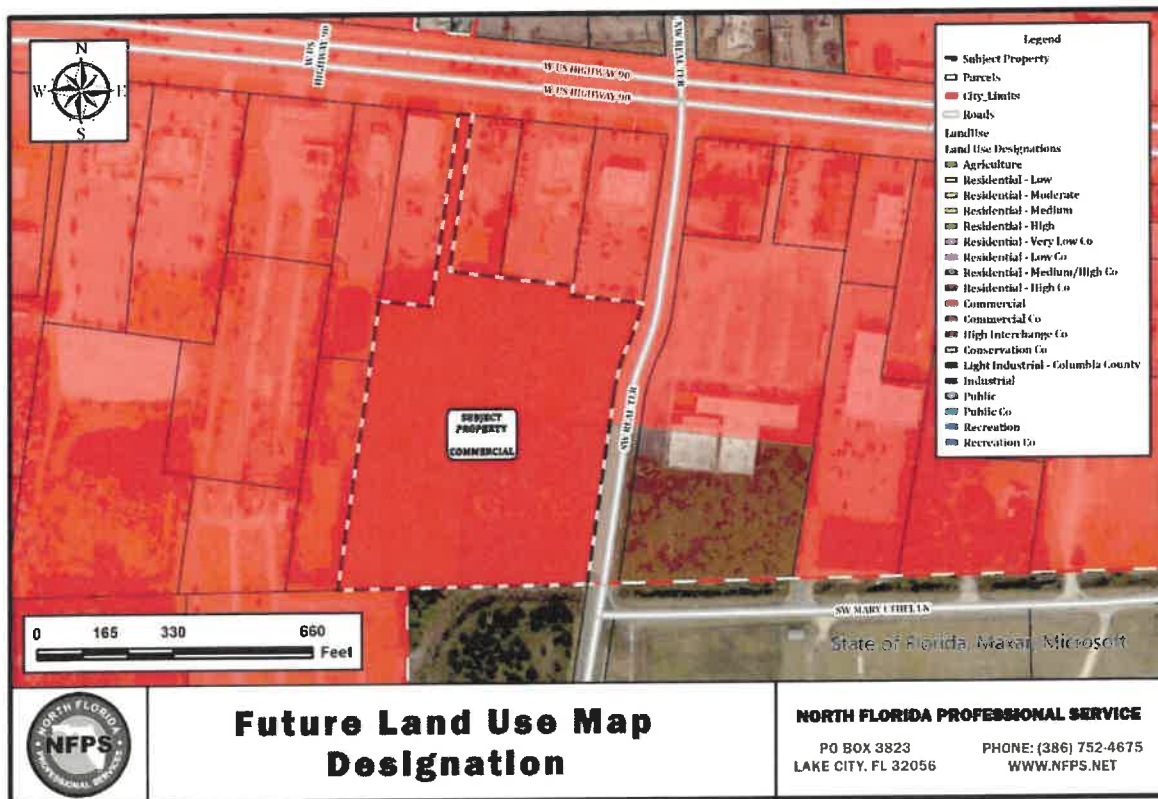
FLUM Designation	Official Zoning Atlas Designation	Consistent
Commercial	Commercial, Intensive ("CI")	✓

The following Comprehensive Plan Elements have Goals, Objectives, and Policies (GOPs) that support the proposed Future Land Use Map Amendment to the Comprehensive Plan:

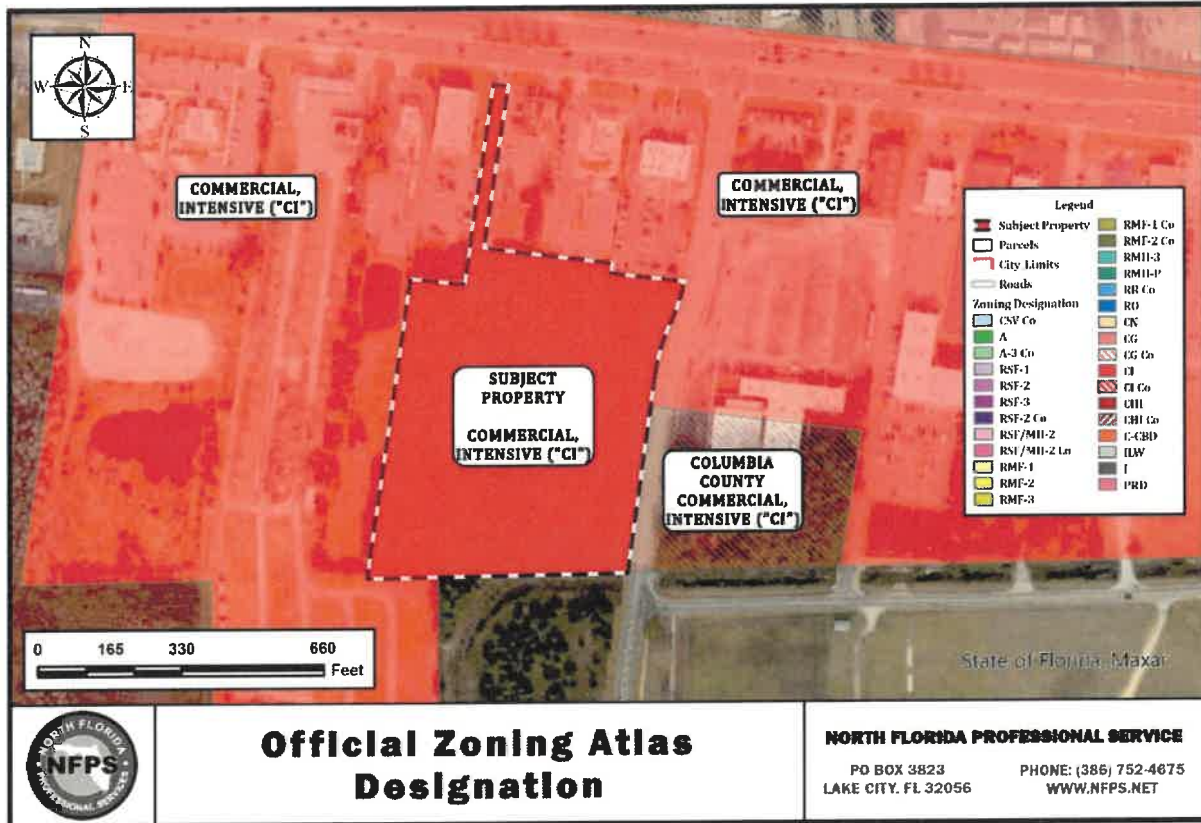
- Future Land Use Element
- Transportation Element
- Sanitary Sewer, Solid Waste, Drainage, Potable Water, & Natural Groundwater Aquifer Recharge Element
- Capital Improvements Element

An analysis of Section 15.2.2 of the Land Development Regulations along with a Comprehensive Plan Consistency Analysis have been submitted as an accessory document to this report. According to the analysis, this application is consistent with the Comprehensive Plan and the Goals, Objectives, and Policies (GOPs) therein.

Map 2. FLUM Map



Map 3. Official Zoning Atlas Map



ENVIRONMENTAL CONDITIONS ANALYSIS

Wetlands

According to Illustration A-VI of the Comprehensive Plan, entitled Wetlands, which is based upon the National Wetlands Inventory, dated 1987, and the National Wetlands Reconnaissance Survey, dated 1981, there are wetlands located on the subject property.

Evaluation: While the NWI and environmental assessment report indicate wetlands are located on-site, the two ponds and wetland areas were created in the 1970's as stormwater management facilities that were not properly maintained. Further, a formal wetland determination was conducted by the Suwannee River Water Management District, and it was determined that the wetland quality and size does not require mitigation. Lastly, the proposed stormwater management system will be designed as a wetland pond with wetland vegetation planted within the stormwater management facility, there are no issues related to wetland protection.

Map 6. NWI Wetlands Map



Soil Survey

Each soil type found on the subject property is identified below. The hydrologic soil group is an indicator of potential soil limitations. The hydrologic soil group, as defined for each specific soil, refers to a group of soils which have been categorized according to their runoff-producing characteristics. These hydrologic groups are defined by the Soil Survey of Columbia County, Florida, dated 2002. The chief consideration with respect to runoff potential is the capacity of each soil to permit infiltration (the slope and kind of plant cover are not considered but are separate factors in predicting runoff). There are four hydrologic groups: A, B, C, and D. "Group A" soils have a higher infiltration rate when thoroughly wet and therefore have a lower runoff potential. "Group D" soils have very lower infiltration rates and therefore a higher runoff potential.

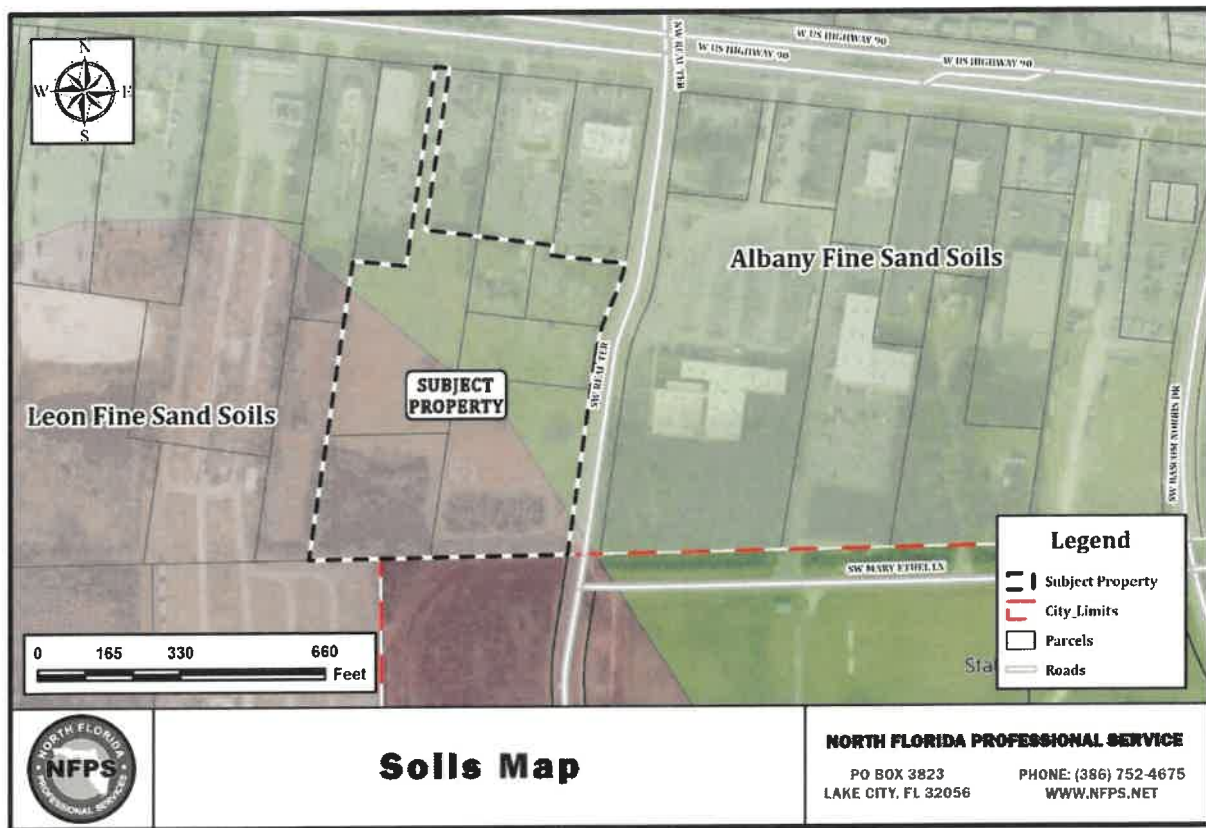
There are two (2) soil types found on the subject property:

- 1) Albany Fine Sand soils (0 to 5 percent slopes) are somewhat poorly drained, nearly sloping soils on short hillsides in the uplands. The surface and subsurface layers are comprised of fine sand to a depth of 9 to 25 inches. The subsoil layer is comprised of dark loam sand to a depth of 80 inches or more. Albany fine sand soils (0 to 5 percent slope) have severe limitations for building site development and for septic tank absorption fields.
- 2) Leon Fine Sand soils are poorly drained, nearly level soils in broad flatwoods and in areas adjacent to wet depressions and drainageways in the uplands. The surface and subsurface layers are comprised of fine sand to a depth of 19 inches. The subsoil layer is comprised of

fine sand to a depth of 80 inches or more. Leon fine sand soils have severe limitations for building site development and for septic tank absorption fields.

Evaluation: The soil types found on the subject property are Albany Fine Sand and Leon Fine Sand Soils (0 to 5 percent slopes). Both soil types pose severe limitations for building development and severe limitations for septic tank absorption field. During the site and development plan process, the applicant will have to accommodate for the soil types and stormwater. Further, any development shall be required to connect to the Community Potable and Sanitary Sewer Water Systems. At this time, there are no issues related to soil suitability.

Map 7. Soils Map

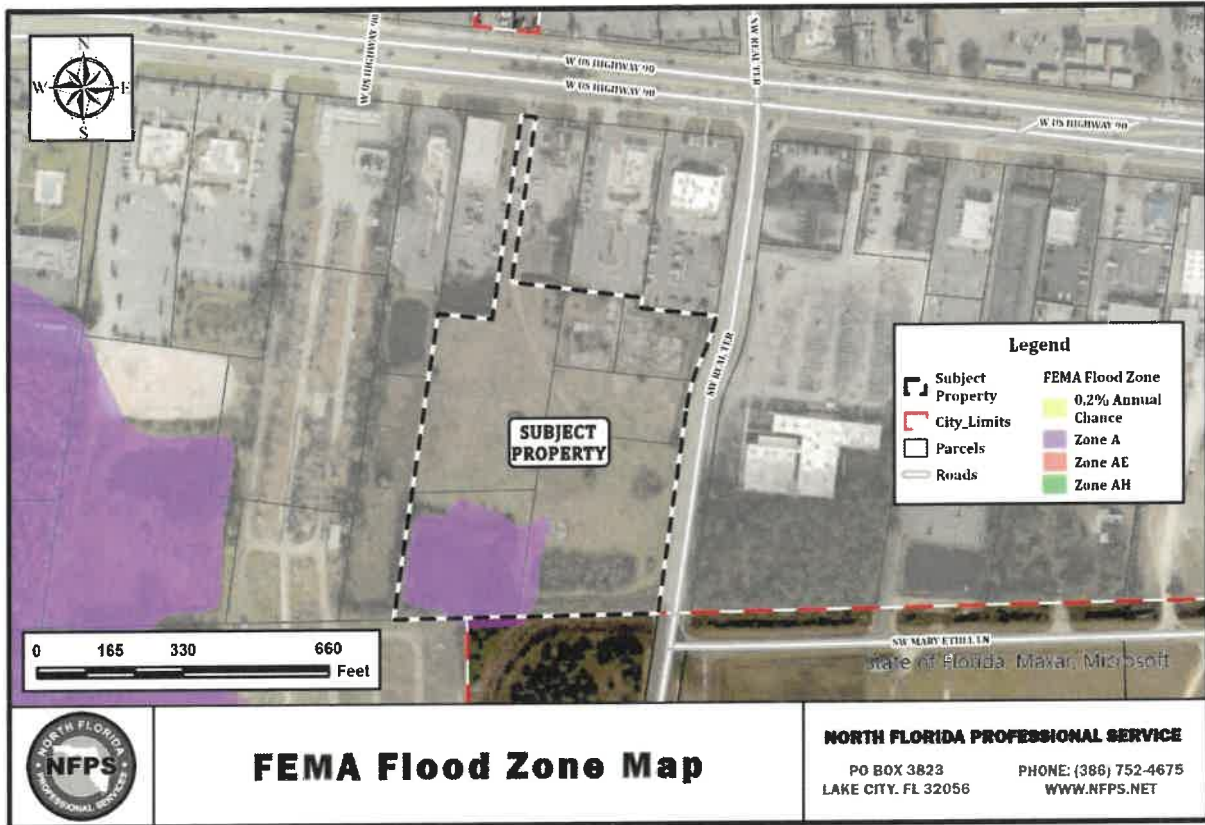


Flood Potential

Panel 0291D of the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Series, dated November 2, 2018, indicates that the subject property is in Flood Zone "A" (area inundated by the annual one-percent chance of flood) and Flood Zone "X" (areas determined to be outside of the 500-year floodplain).

Evaluation: While the FEMA Firm Map indicates a very small portion in the southwest corner of the subject property in a Flood Zone "A", the actual flood zone is located over the existing pond on the adjacent property. The small portion of FEMA flood zone shown on the subject property is due to a discrepancy in spatial data. Therefore, there is no concern of flooding on the subject property.

Map 8. FEMA FIRM Map



Stream to Sink

According to the Stream to Sink Watersheds, prepared by the Suwannee River Water Management District, the subject property is not located within a stream to sink area.

Evaluation: Section 4.2.38 of the County's LDRs regulates Stream to Sink watershed areas. At this time, there is no concern related to Stream to Sink Watersheds.

Minerals

According to Illustration A-VII of the Comprehensive Plan, entitled Minerals, which is based upon Natural Resources, prepared by the Florida Department of Environmental Protection, 2012, the subject property is within an area known to contain any minerals.

Evaluation: There are no issues related to minerals.



Historic Resources

According to Illustration A-II of the Comprehensive Plan, entitled Historic Resources, which is based upon the Florida Division of Historical Resources, Master Site File, dated 1998, there are no known historic resources located on the subject property.

Evaluation: There are no issues related to historic Resources.

Aquifer Vulnerability

According to the Prime Natural Groundwater Aquifer Recharge Areas Map 2019, prepared by the Suwannee River Water Management District, dated 2000, the subject property is not located in a high Groundwater Aquifer Recharge area.

Evaluation: Given the subject property is not located in a High Groundwater Aquifer Recharge Area, there is no issue related to aquifer vulnerability at this time. During the engineering and site planning phase, special consideration will be given to the design of the site to accommodate the aquifer vulnerability.

Vegetative Communities/Wildlife

The subject property is located within an area not known as a vegetative community.

Evaluation: There are no known wildlife habitats associated with a non-vegetative community; therefore, there is no issue related to vegetative communities or wildlife. However, the subject property should be subject to an environmental impact assessment at the time of development.

PUBLIC FACILITIES IMPACT

Traffic Impact

Table 3. Affected Comprehensive Plan Roadway Segments¹

Segment Number ²	Segment Description	Lanes	Functional Classification	Area Type	LOS
4	U.S. 90 (from I-75 to SW Bascom Norris Rd)	6-D	Arterial I	Transition	D

1 Source: City of Trenton Comprehensive Plan, Capital Improvements Element.
2 FDOT roadway segment number shown in parenthesis (when applicable.) For the purposes of concurrency management, City of Trenton Comprehensive Plan segments that make up a portion of a larger FDOT roadway segment will be evaluated together when determining post development roadway capacity.

Table 4. Proposed Trip Generation¹

Land Use	AADT ²	PM Peak Hour ³
Hospital ¹ (ITE Code 610)	458	41
Total	458	41

1 Source: ITE Trip Generation, 10th Edition.
2 Formula: AADT - ITE, 10th Edition - 10.72 trips per thousand SQ FT x 42,745 SQ FT = 458 AADT
3 Formulas: PM Peak - ITE, 10th Edition - 0.97 trips per SQ FT x 42,745 SQ FT = 41 PM Peak Trips



Table 5. Projected Impact on Affected Comprehensive Plan Roadway Segments

Traffic System Category		US 90 Segment #4 ¹
Maximum Service Volume ²		56,800
Existing Traffic ³		35,500
Reserved Trips ⁴		0
Available Capacity		21,300
Projected Daily Trips		458
Residual Capacity		20,842
PM Peak Hour Traffic Analysis		US 90 Segment #4 ¹
Maximum Service Volume ²		5,110
Existing Traffic ³		3,372
Reserved Trips ⁴		0
Available Capacity		1,738
Projected PM Peak Hour Trips		41
Residual Capacity		1,697

1 FDOT roadway segment number shown in parenthesis (when applicable.) For the purposes of concurrency management, City of Trenton Comprehensive Plan segments that make up a portion of a larger FDOT roadway segment will be evaluated together when determining post development roadway capacity.
2 Source: FDOT 2023 Multimodal Quality/Level of Service Handbook, Generalized Annual Average Daily Volumes and Generalized Peak Hour Two-Way Volumes for Urbanized Areas.
3 Florida Department of Transportation, District II, Annual Average Daily Traffic Report.

Evaluation: The impacts generated by the development will not adversely affect the Level of Service (LOS) of the roadway segment identified above; therefore, the demand generated by the development is acceptable.

Potable Water Impacts

The subject property is located within a community potable water system service area. The subject property will be served potable water via City of Lake City Potable Water System. The City of Lake City Potable Water System is anticipated to meet or exceed the adopted level of service standard for potable water established within the Comprehensive Plan. Note: Calculations are based upon Chapter 62-6.008,F.S.

The proposed use as a ±42,745 sq ft medical facility use. A proposed medical facility with beds created 200 GPD per bed plus 5 GPD per day per meal prepared. The proposed medical facility proposed 36 beds with three meals per day per bed. Therefore, each bed will generate 215 GPD. 36 Beds x 215 GPD = 7,740 GPD Total

Evaluation: The impacts generated by the development will not adversely affect the Level of Service (LOS) for potable water facilities; therefore, the demand generated by the development is acceptable.

Sanitary Sewer Impacts

The subject property is located within a community centralized sanitary sewer system service area. The subject property will be served sanitary sewer via City of Lake City Sanitary Sewer System. The City of Lake City Sanitary Sewer System is anticipated to meet or exceed the adopted level of service standard for sanitary sewer established within the Comprehensive Plan. Note: Calculations are based upon Chapter 62-6.008,F.S.



The proposed use as a ±42,745 sq ft medical facility use. A proposed medical facility with beds created 200 GPD per bed plus 5 GPD per day per meal prepared. The proposed medical facility proposed 36 beds with three meals per day per bed. Therefore, each bed will generate 215 GPD. $36 \text{ Beds} \times 215 \text{ GPD} = 7,740 \text{ GPD Total}$

Evaluation: The impacts generated by the development will not adversely affect the Level of Service (LOS) for sanitary sewer facilities; therefore, the demand generated by the development is acceptable.

Solid Waste Impacts

Solid waste facilities for uses to be located on the site are provided at the sanitary landfill. The level of service standard established within the Comprehensive Plan for the provision of solid waste disposal is currently being met or exceeded.

The proposed use as a ±42,745 sq ft medical facility use. A proposed medical facility. An average medical facility generates approximately 2.5 lbs of solid waste per 100 square foot per day. $(2.5 \text{ LBS} \times 427.45 \text{ SQ FT}) = 1,068$ pounds of solid waste per day.

Evaluation: The impacts generated by the development will not adversely affect the Level of Service (LOS) of solid waste facilities; therefore, the demand generated by the development is acceptable.

Recreation Facilities

The proposed development is commercial in nature; therefore, there is no impact to recreation facilities. The development will have no negative impact to the Level of Service (LOS) of recreation facilities.

Public School Facilities

The proposed development is commercial in nature; therefore, there is no impact to public school facilities. The development will have no negative impact to the Level of Service (LOS) of public school facilities.



Comprehensive Plan Analysis

Comprehensive Plan Compliance Narrative: The subject property is surrounded by urban uses, including commercial uses to the north, east, and west. To the south, there is a rodeo arena and fairgrounds. The proposed land use of Commercial is comparable and compatible with the existing surrounding land use. The Commercial, Intensive (“CI”) Zoning Designation is consistent with the underlying Future Land Use Map Designation. Further, both the Commercial FLUM Designation and CI Zoning Designation permit medical facilities as a by-right use.

Below is a list of Goals, Objectives, and Policies the proposed amendment is consistent with:

OBJECTIVE I.1 The City Concurrency Management System shall make available or schedule for availability the public facilities for future growth and urban development as development occurs in order to provide for urban densities and intensities within the City.

Policy I.1.1 The location of higher density residential, high intensity commercial and heavy industrial uses shall be directed to areas adjacent to arterial or collector roads, identified on the Future Traffic Circulation Map, where public facilities are available to support such higher density or intensity.

Policy I.1.2 The land development regulations of the City shall be based on and be consistent with the following land use classifications and corresponding standards for densities and intensities and shall establish the following floor area ratio(s) to be applied to each classification of land use:

COMMERCIAL

Lands classified as commercial use consist of areas used for the sale, rental, and distribution of products or performance of services, as well as public, charter and private elementary, middle and high schools. In addition, off-site signs, churches and other houses of worship, private clubs and lodges, residential dwelling units, which existed within this category on the date of adoption of this objective, and other similar uses compatible with commercial uses may be approved as special exceptions and be subject to an intensity of less than or equal to 0.25 floor area ratio except within the (CG) Commercial, General, (CI) Commercial, Intensive, (C-CBD) Commercial-Central Business District and (CHI) Commercial, Highway Interchange districts being subject to an intensity of less than or equal to 1.0 floor area ratio. (CN) Commercial, Neighborhood uses shall be limited to an intensity of less than or equal to 0.25 floor area ratio. (CG) Commercial, General, (CI) Commercial, Intensive, (C-CBD) Commercial-Central Business District and (CHI) Commercial, Highway Interchange districts shall be limited to an intensity of less than or equal to 1.0 floor area ratio.

- Policy I.1.3 The City shall continue to allocate amounts and types of land uses for residential, commercial, industrial, public, and recreation to meet the needs of the existing and projected future populations and to locate urban land uses in a manner where public facilities may be provided to serve such urban land uses. (Urban land uses shall be herein defined as residential, commercial and industrial land use categories).
- Policy I.1.3 The City shall continue to allocate amounts and types of land uses for residential, commercial, industrial, public, and recreation to meet the needs of the existing and projected future populations and to locate urban land uses in a manner where public facilities may be provided to serve such urban land uses. (Urban land uses shall be herein defined as residential, commercial and industrial land use categories).
- Policy I.1.4 The City shall continue to limit the designation of residential, commercial and industrial lands depicted on the Future Land Use Plan map to acreage which can be reasonably expected to develop by the year 2025.
- OBJECTIVE I.3 The City shall require that all proposed development be approved only where the public facilities meet or exceed the adopted level of service standard.
- Policy I.3.1 The City shall limit the issuance of development orders and permits to areas where the adopted level of service standards for the provision of public facilities found within the Comprehensive Plan are maintained. This provision also includes areas where development orders were issued prior to the adoption of the Comprehensive Plan.
- Policy II.1.2. The City shall control the number and frequency of connections and access points of driveways and roads to arterials and collectors by requiring access points for state roads to be in conformance with Chapter 14-96 and 14-97, Florida Administrative Code, and the following requirements for non-state roads: 1. Permitting 1 access point for ingress and egress purposes to a single property or development; 2. Permitting 2 access points if the minimum distance between the two access points exceeds 20 feet; 3. Permitting 3 access points if the minimum distance between each access point is at least 100 feet; or 4. Permitting more than 3 access points where a minimum distance of 1,000 feet is maintained between each access point.
- Policy II.1.3. The City shall continue to require development to provide safe and convenient on-site traffic flow, which includes the provision for vehicle parking.
- OBJECTIVE II.2 The City shall require that all traffic circulation system improvements be consistent with the land uses shown on the future land use plan map, limiting higher density and higher intensity land use locations to be adjacent to collector or arterial roads, as identified on the Future Traffic Circulation Map.
- Policy II.4.7 The City shall encourage cross-access connections easements and joint driveways, where available and economically feasible.

DESCRIPTION

Monday, November 6, 2023

FOR: Clearsky – 7.33 acres

COMMENCE at the Southeast corner of Section 35, Township 3 South, Range 16 East, Columbia County, Florida and run South $87^{\circ}44'00''$ West, along the South line of said Section 35, a distance of 930.35 feet to a point on the West right-of-way line of SW Real Terrace, said point being the Southwest corner of a parcel of land recorded in Official Records Book 847, Page 920, of the public records of Columbia County, Florida, and being the POINT OF BEGINNING; thence South $87^{\circ}56'11''$ West, along said South line of Section 35, a distance of 511.59 feet; thence North $07^{\circ}19'25''$ East, a distance of 586.05 feet; thence South $84^{\circ}52'12''$ East, a distance of 107.43 feet; thence North $07^{\circ}15'35''$ East, along the East line of Lot 7, Lake Harris Farms, a subdivision recorded in Plat Book 1, page 22, of the public records of Columbia County, Florida, as monumented, a distance of 400.04 feet to a point on the South right-of-way line of U.S. Highway 90; thence South $84^{\circ}41'38''$ East, along said South right-of-way line of U.S. Highway 90, a distance of 30.04 feet; thence South $07^{\circ}15'14''$ West, along the East line of a 30 foot strip described in Official Records Book 958, Page 1392, of the public records of Columbia County, Florida, as monumented, a distance of 329.84 feet; thence South $84^{\circ}32'55''$ East, along the South line of Official Records Book 787, Page 2073, of the public records of Columbia County, Florida, a distance of 254.03 feet; thence South $07^{\circ}27'14''$ West, a distance of 19.14 feet; thence South $84^{\circ}44'58''$ East, a distance of 148.79 feet to a point on the West right-of-way line of SW Real Terrace, said point being a point on a curve concave to the West having a radius of 278.00 feet; a central angle of $18^{\circ}25'45''$, a chord bearing of North $16^{\circ}10'34''$ East, and a chord distance of 89.03 feet; thence Southwesterly along the arc of said curve, being said West right-of-way line of SW Real Terrace, a distance of 89.42 feet to the point of reverse curve concave to the East having a radius of 342.00 feet; a central angle of $18^{\circ}29'40''$, a chord bearing of South $17^{\circ}01'36''$ West, and a chord distance of 109.91 feet; thence Southwesterly along the arc of said curve, being said West right-of-way line of SW Real Terrace, a distance of 110.39 feet to the end of said curve; thence South $07^{\circ}45'59''$ West, still along said West right-of-way line of SW Real Terrace, a distance of 376.21 feet to the POINT OF BEGINNING.

Containing 7.33 acres, more or less.

Tax Parcel Numbers 02579-002, 02579-006, 02579-008, 02579-010, 02579-012, & 02579-013

Prepared by and return to:

Rob Stewart
Sky Title, LLC dba Lake City Title
426 SW Commerce Drive #145
Lake City, FL 32025
(386) 758-1880
File No 2023-6944VB

Parcel Identification No 35-3S-16-02579-002

[Space Above This Line For Recording Data]

WARRANTY DEED

(STATUTORY FORM - SECTION 689.02, F.S.)

This indenture made the 24th day of July, 2023 between **Deborah S. Owens and Guy N.**

Williams, Successor Co-Trustees of Edna C. Summers Living Trust Dated September 26, 2003, whose post office address is **1165 NW Blackberry Court, Lake City, FL 32055**, of the County of Columbia, State of Florida, Grantor, to **Real Terrace LLC, a Florida Limited Liability Company**, whose post office address is **1096 SW Main Boulevard, Lake City, FL 32025**, of the County of Columbia, State of Florida, Grantee:

Witnesseth, that said Grantor, for and in consideration of the sum of TEN DOLLARS (U.S.\$10.00) and other good and valuable considerations to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said Grantee, and Grantee's heirs and assigns forever, the following described land, situate, lying and being in Columbia, Florida, to-wit:

SEE ATTACHED EXHIBIT "A"

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

Subject to taxes for 2023 and subsequent years, not yet due and payable; covenants, restrictions, easements, reservations and limitations of record, if any.

TO HAVE AND TO HOLD the same in fee simple forever.

And Grantor hereby covenant with the Grantee that the Grantor is lawfully seized of said land in fee simple, that Grantor have good right and lawful authority to sell and convey said land and that the Grantor hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever.

In Witness Whereof, Grantor have hereunto set Grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Valarie Benz
WITNESS
PRINT NAME: Valarie Benz

Melissa Stokes
WITNESS
PRINT NAME: Melissa Stokes

Edna C. Summers Living Trust Dated September 26, 2003

By: Deborah S. Owens
Deborah S. Owens, Successor Co-Trustee

By: Guy N. Williams
Guy N. Williams, Successor Co-Trustee

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me by means of physical presence or () online notarization this 24th day of July, 2023, Deborah S. Owens and Guy N. Williams, Successor Co-Trustees of Edna C. Summers Living Trust Dated September 26, 2003, who is/are personally known to me or has/have produced FL Drivers License as identification.

Valarie Benz
Signature of Notary Public



Exhibit "A"

DESCRIPTION:
COMMENCE AT THE SE CORNER OF LOT 5 OF LAKE HARRIS FRMS ACCORDING TO THE PLAT THEREOF
RECORDED IN PLAT BOOK 1 PAGE 22, PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA, AND RUN
THENCE S.86°28'21"W., 32.52 FEET TO THE POINT OF BEGINNING SAID POINT BEING ON THE WEST
RIGHT-OF-WAY OF SW REAL TERRACE; THENCE CONTINUE S.86°28'21"W., 265.76 FEET; THENCE
N.05°53'00"E., 348.40 FEET; THENCE S.85°44'26"E., 264.60 FEET TO SAID WEST RIGHT-OF-WAY OF SW
REAL TERRACE; THENCE S.06°19'00"W., ALONG SAID WEST RIGHT-OF-WAY, 312.46 FEET TO THE POINT
OF BEGINNING.

This Instrument Prepared By:
RALPH R. DEAS, ESQUIRE
227 SE Hernando Avenue
Lake City, Florida 32025
Telephone: (386) 754-0771

Inst: 201912017660 Date: 07/30/2019 Time: 11:44AM
Page 1 of 3 B: 1390 P: 316, P. DeWitt Cason, Clerk of Court Colum
County, By: BD
Deputy Clerk Doc Stamp-Deed: 0.70

CORRECTIVE WARRANTY DEED

THIS WARRANTY DEED, made and executed this 26 day of July, 2019, by and between JAY PATRICK SUMMERALL as Successor Trustee of the KATHARINE J. SUMMERALL TRUST AGREEMENT dated March 30, 1995, as residual beneficiary under the Last Will and Testament of KATHARINE J. SUMMERALL, Deceased, 230 Lurgan Road, New Hope, Pennsylvania 18938, Grantor(s), and WILL SUMMERS PROPERTIES, INC., a Florida corporation, Post Office Box 387, Lake City, Florida 32056-0387, Grantee,

WITNESSETH:

That, for and in consideration of the sum of Ten and no/100 Dollars (\$10.00) and other valuable considerations in hand paid by the Grantee to the Grantor(s), the receipt and sufficiency whereof are hereby acknowledged, the Grantor(s) has granted, bargained and sold to the Grantee, and the Grantee's assigns forever, the following-described real property, situate, lying and being in Columbia County, Florida:

The E ½ of Lot 7 of Lake Harris Farms according to a plat thereof recorded in Plat Book 1, page 22, public records of Columbia County, Florida, lying South of the existing right-of-way of U.S. Highway 90,

LESS AND EXCEPT the South 250 feet (END OF LESSOUT);

Also the West 134 feet of Lot 6, Lake Harris Farms, lying South of right-of-way of U.S. #90, according to plat thereof recorded in Plat Book 1, page 22, public records of Columbia County, Florida, LESS AND EXCEPT that portion of the West 134 feet of said Lot 6 heretofore conveyed by deed recorded in Official Records Book 760, beginning at page 928, public records of Columbia County, Florida, and which is more particularly described as follows: The East 105.50 feet of the West 134.00 feet of the North 330.00 feet of Lot 6 of Lake Harris Farms as per plat thereof recorded in Plat Book 1, page 22, of the public records of Columbia County, Florida, lying South of the South right-of-way line of U.S. 90, Columbia County, Florida, containing 0.80 acres, more or less; and LESS AND EXCEPT the South 250 feet of the West 134 feet of Lot 6 of Lake Harris Farms lying South of the existing right-of-way of U. S. Highway 90, all according to the plat thereof recorded in Plat Book 1, page 22, public records of Columbia County, Florida (END OF LESSOUTS).

TOGETHER WITH a permanent, non-exclusive right-of-way easement for ingress and egress from U. S. Highway 90 for all vehicular and pedestrian traffic over and across the following-described lands:

A parcel 30.00 feet in width and 330.00 feet in length more particularly described as follows:

The West 28.50 feet of the North 330.00 feet of Lot 6, and the East 1.50 feet of the North 330.00 feet of Lot 7 of Lake Harris Farms, a subdivision according to plat thereof, recorded in Plat Book 1, page 22, public records of Columbia County, Florida, lying South of the existing South right-of-way line of U. S. Highway No. 90 (herein described as the "Common Easement"). (PIN: 35-3S-16-02579-006.)

SUBJECT TO restrictions, easements and outstanding mineral rights of record, if any, and taxes after December 31, 2001.

The purpose of this Instrument is to correct an error in the description in that certain warranty deed from KATHARINE J. SUMMERALL, an unmarried woman, to WILL SUMMERS PROPERTIES, INC., recorded at Official Records Book 958, pages 1391-1394, public records of Columbia County, Florida, by replacing "and" with "or" in said deed, in the last lessout of the paragraph describing the West 134 feet of Lot 6 aforesaid as part of the conveyance in said deed.

TOGETHER with all the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining.

TO HAVE AND TO HOLD the same in fee simple forever.


And the Grantor(s) does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all parties whomsoever.

IN WITNESS WHEREOF, the Grantor(s) has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered
In Presence of:


Signature of Witness

Joseph Darby
Printed/Typed Name of Witness



(SEAL)
JAY PATRICK SUMMERALL as Successor
Trustee of the KATHARINE J. SUMMERALL
TRUST AGREEMENT dated March 30, 1995


Signature of Witness

Robert Mittel Carey
Printed/Typed Name of Witness

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF Bucks

The foregoing Corrective Warranty Deed was acknowledged before me by JAY PATRICK SUMMERALL, to me _____ personally known OR known after production of

Florida Drivers License identification, and who DID NOT take an oath, this 20th day of July, 2019.

(Seal if any)

Commonwealth of Pennsylvania - Notary Seal
MELANIE BITTAR, Notary Public
Bucks County
My Commission Expires November 29, 2022
Commission Number 1338335

M Bittar
Signature of Notary

Melanie Bittar
Printed/Typed Name of Notary

Notary Public, Commonwealth of Pennsylvania at Large
OR County of Bucks

Serial No. if any: 1338335

Commission Expires: 11/29/2022

2.18.50
292,420.00

THIS INSTRUMENT WAS PREPARED BY:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

Inst:2005000648 Date:01/11/2005 Time:10:30
Doc Stamp-Deed : 420.00
MK DC, P. Dewitt Cason, Columbia County B:1035 P:615

RETURN TO:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL [REDACTED]

File No. 04-184

Property Appraiser's
Parcel Identification No.
36-38- [REDACTED]

WARRANTY DEED

THIS INDENTURE, made this 10th day of January 2005, BETWEEN PR SALES, INC., a Florida corporation, whose name was formerly HORIZON INDUSTRIAL SUPPLIES, INC., whose post office address is Post Office Box 2122, Lake City, Florida 32056, of the County of Columbia, State of Florida, party of the first part, and SUMMERS & SUMMERS, L.L.C., a Florida Limited Liability Company, whose post office address is Post Office Box 387, Lake City, Florida 32056, of the County of Columbia, State of Florida, party of the second part.

WITNESSETH: that the said party of the first part, for and in consideration of the sum of Ten Dollars (\$10.00), to it in hand paid, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, remised, released, conveyed and confirmed, and by these presents doth grant, bargain, sell, alien, remise, release, convey and confirm unto the said party of the second part, and its successors and assigns forever, all that certain parcel of land lying and being in the County of Columbia and State of Florida, more particularly described as follows:

The South 151.05 feet of the North 481.05 feet of the East 83.00 feet of Lot 6, and the South 151.05 feet of the North 481.05 feet of the West 34.58 feet of Lot 5, of Lake Harris Farms, Unit A, as recorded in Plat Book 1, Page 22 of the public records of Columbia County, Florida.

TOGETHER WITH a non-exclusive, perpetual easement over and across the following parcels:

PARCEL 1: The East 24 feet of the North 330 feet of the West 67 feet of Lot 5 of Lake Harris Farms.

PARCEL 2: The North 24 feet of the South 354 feet of the East 32.42 feet of the West 67 feet of Lot 5 of Lake Harris Farms.

SUBJECT TO: Restrictions, easements and outstanding mineral rights of record, if any, and taxes for the current year.

TOGETHER WITH all the tenements, hereditaments and appurtenances, with every privilege, right, title, interest and estate, reversion, remainder and easement thereto belonging or in anywise appertaining.


TO HAVE AND TO HOLD the same in fee simple forever.


And the said party of the first part doth covenant with said party of the second part that it is lawfully seized of said premises; that they are free of all encumbrances, and that it has good right and lawful authority to sell the same; and the said party of the first part does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.


IN WITNESS WHEREOF, the party of the first part has caused these presents to be signed in its name by its President, and its corporate seal to be affixed, attested by its Secretary the day and year above written.

Signed, sealed and delivered in our presence:


PR SALES, INC.


(First Witness)
Terry McDavid
Printed Name

By: 
James Gregory Pittman
President


(Second Witness)
Myrtle Ann McElroy
Printed Name

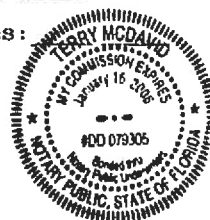
ATTEST: 
Roger Ratliff
Secretary-Treasurer

Inst:  Date: 01/11/2005 Time: 10:30
Doc Stamp-Deed : 420.00
DC, P. Dewitt Cason, Columbia County B: 1035 P: 616

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 10th day of January 2005, by JAMES GREGORY PITTMAN and ROGER RATLIFF, President and Secretary-Treasurer, respectively, of PR SALES, INC., a Florida corporation, on behalf of said corporation. They are personally known to me and did not take an oath.


Notary Public
My Commission Expires:



THIS INSTRUMENT WAS PREPARED BY:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

Recording Fee \$ 150
Documentary Stamp \$ 630.00

RETURN TO:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

Inst:2005010143 Date:05/03/2005 Time:10:31
Doc Stamp-Deed : 630.00
TK DC, P. Dewitt Cason, Columbia County B:1044 P:2503

Property Appraiser's
Parcel Identification No.
02579-010

WARRANTY DEED

THIS INDENTURE, made this 27th day of April, 2005,
BETWEEN W.L. SUMMERS and his wife, EDNA C. SUMMERS, whose post
office address is P.O. Box 2817, Lake City, Florida 32056, of the
County of Columbia, State of Florida, grantor*, and WILL SUMMERS
PROPERTIES, INC., a Florida corporation, whose post office address
is P.O. Box 387, Lake City, Florida 32056, of the County of
Columbia, State of Florida, grantee*.

WITNESSETH: that said grantor, for and in consideration of
the sum of Ten Dollars (\$10.00), and other good and valuable
considerations to said grantor in hand paid by said grantee, the
receipt whereof is hereby acknowledged, has granted, bargained and
sold to the said grantee, and grantee's heirs and assigns forever,
the following described land, situate, lying and being in Columbia
County, Florida, to-wit:

The South 250.00 feet of the East 1/2 of Lot 7 of LAKE
HARRIS FARMS lying South of the existing right-of-way of
US Highway #90 and the South 250.00 feet of the West
134.00 feet of Lot 6 of LAKE HARRIS FARMS lying South of
the existing right-of-way of US Highway #90, all
according to the plat thereof recorded in Plat Book 1,
Page 22, Public Records of Columbia County, Florida.

SUBJECT TO: Restrictions, easements and outstanding
mineral rights of record, if any, and taxes for the
current year.

and said grantor does hereby fully warrant the title to said land,
and will defend the same against the lawful claims of all persons
whomsoever.

*"Grantor" and "grantee" are used for singular or plural, as
context requires.

IN WITNESS WHEREOF, grantor has hereunto set grantor's hand
and seal the day and year first above written.

Signed, sealed and delivered
in our presence:

DeEtte F. Brown
(First Witness)
DeEtte F. Brown

Printed Name

Myrtle Ann McElroy
(Second Witness)
Myrtle Ann McElroy

Printed Name

W.L. Summers (SEAL)
W.L. SUMMERS

Edna C. Summers (SEAL)
EDNA C. SUMMERS

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 27th
day of April, 2005, by W.L. SUMMERS and his wife, EDNA C.
SUMMERS, who are personally known to me and who did not take an
oath.

My Commission Expires:

DeEtte F. Brown
Notary Public



Inst: 2005010143 Date: 05/03/2005 Time: 10:31
Doc Stamp-Deed : 630.00
DC, P. Dewitt Cason, Columbia County B: 1044 P: 2584

THIS INSTRUMENT WAS PREPARED BY:

Recording Fee \$ 15.00
Documentary Stamp \$ 420.00

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

RETURN TO:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

Inst:2004009954 Date:04/30/2004 Time:12:40
Doc Stamp-Deed : 420.00
200 DC, P. DeWitt Cason, Columbia County B:1013 P:2075

Property Appraiser's
Parcel Identification No.
02579-002

WARRANTY DEED

THIS INDENTURE, made this 27 day of April, 2004, BETWEEN W.L. SUMMERS and EDNA C. SUMMERS, Husband and Wife, whose post office address is Post Office Box 2817, Lake City, Florida 32056, of the County of Columbia, State of Florida, grantor*, and WILL SUMMERS PROPERTIES, INC., a Florida corporation, whose post office address is Post Office Box 2817, Lake City, Florida 32056, of the County of Columbia, State of Florida, grantee*.

WITNESSETH: that said grantor, for and in consideration of the sum of Ten Dollars (\$10.00), and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Columbia County, Florida, to-wit:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF.

SUBJECT TO: Restrictions, easements and outstanding mineral rights of record, if any, and taxes for the current year.

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whatsoever.

*"Grantor" and "grantee" are used for singular or plural, as context requires.

IN WITNESS WHEREOF, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered
in our presence:

Pearl H. McElroy
(First Witness)
Pearl H. McElroy
Printed Name

W.L. Summers
W.L. SUMMERS

Jerry T. Wood
(Second Witness)
Jerry T. Wood
Printed Name

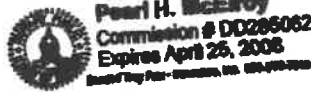
Edna C. Summers
EDNA C. SUMMERS

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 23
day of April, 2004, by W.L. SUMMERS and EDNA C. SUMMERS, who are
personally known to me and who did not take an oath.

My Commission Expires:

Pearl H. McElroy
Notary Public
Printed, typed, or stamped name:



Inst: 2004069054 Date: 04/30/2004 Time: 12:40
Doc Stamp-Deed: 420.00
DC, P. DeWitt Case, Columbia County D:1013 P:2076

PART OF LOT 5 OF LAKE HARRIS FARMS, UNIT A, AS RECORDED IN PLAT BOOK 1, PAGE 22, OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE SE CORNER OF SECTION 35, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, AND THENCE S.87°44'00"W., ALONG THE SOUTH LINE OF SAID SECTION 35 A DISTANCE OF 930.35 FEET TO THE SW CORNER OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK (ORB) 847 PAGE 920 OF THE OFFICIAL RECORDS OF COLUMBIA COUNTY, FLORIDA; THENCE N.07°34'29"E., ALONG THE WEST LINE OF SAID LANDS, 376.22 FEET TO THE POINT OF CURVE OF A CURVE CONCAVE TO THE EAST AND HAVING A RADIUS OF 342.00 FEET AND A CENTRAL ANGLE OF 10°38'10" AND BEING SUBTENDED BY A CHORD HAVING A BEARING OF N.12°53'38"E., AND A CHORD DISTANCE OF 63.40 FEET; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE AN ARC DISTANCE OF 63.49 FEET TO THE POINT OF BEGINNING; THENCE N.84°39'01"W., 153.95 FEET TO THE SE CORNER OF LANDS DESCRIBED IN ORB 803 PAGE 2645 OF SAID OFFICIAL RECORDS; THENCE N.07°08'01"E., ALONG THE EAST LINE OF SAID LANDS, 151.05 FEET TO THE MONUMENTED SOUTH LINE OF LANDS DESCRIBED IN ORB 787 PAGE 2073 OF SAID OFFICIAL RECORDS; THENCE S.84°39'01"E., ALONG SAID SOUTH LINE, 31.17 FEET TO THE WEST LINE OF LANDS DESCRIBED IN ORB 740 PAGE 320 OF SAID OFFICIAL RECORDS; THENCE S.07°13'34"W., ALONG SAID WEST LINE, 19.36 FEET TO THE SW CORNER OF SAID LANDS; THENCE S.84°56'11"E., ALONG THE SOUTH LINE OF SAID LANDS, 150.00 FEET TO A POINT ON THE AFOREMENTIONED WEST LINE OF SAID ORB 847 PAGE 920, SAID POINT BEING THE POINT OF CURVE OF A CURVE CONCAVE TO THE WEST AND HAVING A RADIUS OF 278.00 FEET AND A CENTRAL ANGLE OF 18°29'18" AND BEING SUBTENDED BY A CHORD HAVING A BEARING OF S.16°49'08"W., AND A CHORD DISTANCE OF 89.32 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE AN ARC DISTANCE OF 89.71 FEET TO THE POINT OF REVERSE CURVE WITH A CURVE CONCAVE TO THE EAST AND HAVING A RADIUS OF 342.00 FEET AND A CENTRAL ANGLE OF 07°51'10" AND BEING SUBTENDED BY A CHORD HAVING A BEARING OF S.22°08'17"W., AND A CHORD LENGTH OF 46.84 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE AN ARC DISTANCE OF 46.87 FEET TO THE POINT OF BEGINNING.

Inst:2004009854 Date:04/30/2004 Time:12:40

Doc Stamp-Beed : 420.00

DC, P. DeWitt Cason, Columbia County B: 1013 P: 2077

EXHIBIT "A"

Prepared by and return to:

Peter C. Focks, Esq.
McCarty Focks, PLLC
2630-A NW 41st Street
Gainesville, FL 32606
Tel. 352-654-1001

[Space Above This Line For Recording Data]

Personal Representative's Deed

This Personal Representative's Deed made this 7th day of March 2023 between Nadejda Summers, the duly qualified and acting personal representative of the Estate of William P. Summers, deceased, in that certain Columbia Circuit Court Probate file no. 2019 CP 0259 whose post office address is P.O. Box 387, Lake City, FL 32056, grantor, and Nadejda Summers as Guardian for William V. Summers, a minor, whose address is P.O. Box 387, Lake City, FL 32056, grantee:

(Whenever used herein the terms grantor and grantee include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantees heirs and assigns forever, the following described land, situate, lying and being in Columbia County, Florida, to-wit:

Commence at the SE corner of Lot 5 of Lake Harris Farms according to the plat thereof recorded in plat book 1, page 22, public records of Columbia County, Florida, and run thence S. 86°28'21" W., 32.52 feet a point being on the west right-of-way of SW Real Terrace; thence N. 06°19'00" E., along said west right-of-way, 312.40 feet to the point of beginning; thence N. 85°44'26"W., 264.65 feet; thence N. 05°52'59" E, 125.92 feet; thence S. 85°53'32" E., 271.57 feet a point on a curve of a curve to the left having a radius of 338.00 feet, an included angle of 10°45'18" and subtended by a chord bearing and distance of S. 11°41 '28" W., 63.35 feet; thence southerly along the arc of said curve being on said west right-of-way, for an arc distance of 63.45 feet; thence S. 06°19'00" W., still along said west right-of-way, 63.81 feet to the point of beginning. Containing 0.77 acres, more or less.

Parcel Identification Number: 35-3S-16-02579-013

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor has good right and lawful authority to sell and convey said land; that the grantor warrants the title to said land for any acts of Grantor and will defend the title against the lawful claims of all persons claiming by, through, or under Grantor.

In Witness Whereof, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

Signed, sealed and delivered as to all grantors in the presence of:

Sign: Amanda Wilson 4/7/2023

Nadejda Summers 4/7/2023
Nadejda Summers as Personal Representative of the Estate of William P. Summers, deceased

Print: Amanda Wilson

Sign: Jennifer Little 4/7/23

Print: Jennifer Little

STATE OF FLORIDA
COUNTY OF Pinellas

The foregoing instrument was acknowledged before me by means of physical presence this ___ day of March 2023, by Nadejda Summers, as Personal Representative of the estate of William P. Summers, deceased, who has produced a FWL as identification.

SEAL

AMANDA LOEFFLER
Notary Public, State of Florida
My Comm. Expires Dec. 19, 2025
No. HH 209436

Amanda Loeffler 4/7/2023
NOTARY PUBLIC - State of Florida
*in person notarization

No title search was performed on the subject property by the preparer, and no opinion expressly or impliedly is made by Peter C. Focks, Esq. or the firm of McCarty Focks, PLLC with respect to the title. The preparer of this deed makes neither representation as to the status of the title nor property use or any zoning regulations concerning described property herein conveyed nor any matter except the validity of the form of this instrument. Information herein was provided to preparer by the Grantor and/or their agents; no boundary survey was made at the time of this conveyance. No documentary stamp taxes are due on this document.



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Detail by Entity Name

Florida Limited Liability Company
 REAL TERRACE, LLC

Filing Information

Document Number L23000236967
FEI/EIN Number NONE
Date Filed 05/15/2023
Effective Date 05/15/2023
State FL
Status ACTIVE

Principal Address

1096 SW MAIN BLVD
 LAKE CITY, FL 32025

Mailing Address

1096 SW MAIN BLVD
 LAKE CITY, FL 32025

Registered Agent Name & Address

EAGLE, THOMAS H
 1096 SW MAIN BLVD
 LAKE CITY, FL 32025

Authorized Person(s) Detail

Name & Address

Title MGR

EAGLE, THOMAS H
 258 NW BERT AVE
 LAKE CITY, FL 32055

Annual Reports

No Annual Reports Filed

Document Images

[05/15/2023 -- Florida Limited Liability](#) [View image in PDF format](#)



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Limited Liability Company
SUMMERS & SUMMERS, L.L.C.

Filing Information

Document Number	L04000014768
FEI/EIN Number	20-0771831
Date Filed	02/13/2004
State	FL
Status	ACTIVE
Last Event	REINSTATEMENT
Event Date Filed	08/23/2023

Principal Address

10901 Brighton Bay Blvd NE
Apt 4302
Saint Petersburg, FL 33716

Changed: 08/23/2023

Mailing Address

P.O. BOX 387
LAKE CITY, FL 32056

Changed: 01/04/2012

Registered Agent Name & Address

Nadejda Summers
10901 Brighton Bay Blvd NE
Apt 4302
Saint Petersburg, FL 33716

Name Changed: 08/23/2023

Address Changed: 08/23/2023

Authorized Person(s) Detail

Name & Address

Title MGRM

SUMMERS, Nadejda
P.O. BOX 387
LAKE CITY, FL 32056

Annual Reports

Report Year	Filed Date
2021	08/23/2023
2022	08/23/2023
2023	08/23/2023

Document Images

08/23/2023 -- REINSTATEMENT	View image in PDF format
01/29/2019 -- ANNUAL REPORT	View image in PDF format
01/19/2018 -- ANNUAL REPORT	View image in PDF format
01/09/2017 -- ANNUAL REPORT	View image in PDF format
01/23/2016 -- ANNUAL REPORT	View image in PDF format
01/06/2015 -- ANNUAL REPORT	View image in PDF format
01/08/2014 -- ANNUAL REPORT	View image in PDF format
01/24/2013 -- ANNUAL REPORT	View image in PDF format
01/04/2012 -- ANNUAL REPORT	View image in PDF format
01/04/2011 -- ANNUAL REPORT	View image in PDF format
01/24/2010 -- ANNUAL REPORT	View image in PDF format
04/24/2009 -- ANNUAL REPORT	View image in PDF format
01/26/2008 -- ANNUAL REPORT	View image in PDF format
07/02/2007 -- ANNUAL REPORT	View image in PDF format
02/15/2006 -- ANNUAL REPORT	View image in PDF format
06/21/2005 -- ANNUAL REPORT	View image in PDF format
02/13/2004 -- Florida Limited Liabilites	View image in PDF format



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Detail by Entity Name

Florida Profit Corporation
WILL SUMMERS PROPERTIES, INC.

Filing Information

Document Number	P01000096606
FEI/EIN Number	59-3749608
Date Filed	10/02/2001
State	FL
Status	ACTIVE
Last Event	REINSTATEMENT
Event Date Filed	08/23/2023

Principal Address

10901 Brighton Bay Blvd NE
4302
Saint Petersburg, FL 33716

Changed: 08/23/2023

Mailing Address

P.O. BOX 387
LAKE CITY, FL 32056

Changed: 01/04/2012

Registered Agent Name & Address

William Summers Estate
10901 Brighton Bay Blvd NE
4302
Saint Petersburg, FL 33716

Name Changed: 08/23/2023

Address Changed: 08/23/2023

Officer/Director Detail

Name & Address

Title DP

William Summers Estate
PO BOX 387
LAKE CITY, FL 32056

Annual Reports

Report Year	Filed Date
2021	08/23/2023
2022	08/23/2023
2023	08/23/2023

Document Images

08/23/2023 -- REINSTATEMENT	View image in PDF format
01/29/2019 -- ANNUAL REPORT	View image in PDF format
01/19/2018 -- ANNUAL REPORT	View image in PDF format
01/09/2017 -- ANNUAL REPORT	View image in PDF format
01/23/2016 -- ANNUAL REPORT	View image in PDF format
01/06/2015 -- ANNUAL REPORT	View image in PDF format
01/08/2014 -- ANNUAL REPORT	View image in PDF format
01/24/2013 -- ANNUAL REPORT	View image in PDF format
01/04/2012 -- ANNUAL REPORT	View image in PDF format
01/04/2011 -- ANNUAL REPORT	View image in PDF format
01/24/2010 -- ANNUAL REPORT	View image in PDF format
04/24/2009 -- ANNUAL REPORT	View image in PDF format
01/26/2008 -- ANNUAL REPORT	View image in PDF format
07/02/2007 -- ANNUAL REPORT	View image in PDF format
07/24/2006 -- ANNUAL REPORT	View image in PDF format
05/31/2005 -- ANNUAL REPORT	View image in PDF format
05/05/2004 -- ANNUAL REPORT	View image in PDF format
04/17/2003 -- ANNUAL REPORT	View image in PDF format
08/01/2002 -- ANNUAL REPORT	View image in PDF format
10/02/2001 -- Domestic Profit	View image in PDF format



GROWTH MANAGEMENT DEPARTMENT
 205 North Marion Ave, Lake City, FL 32055
 Phone: 386-719-5750
 E-mail: growthmanagement@lcfla.com

AGENT AUTHORIZATION FORM

I, Nadejda Summers (owner name), owner of property parcel

number 02579-006, 02579-008, 02579-010, 02579-012 (parcel number), do certify that

the below referenced person(s) listed on this form is/are contracted/hired by me, the owner, or, is an officer of the corporation; or, partner as defined in Florida Statutes Chapter 468, and the said person(s) is/are authorized to sign, speak and represent me as the owner in all matters relating to this parcel.

Printed Name of Person Authorized	Signature of Authorized Person
1. Brandon M. Stubbs, NFPS	1.
2. Darin Kilfoyl, NFPS	2.
3. Greg Bailey, P.E., NFPS	3.
4. Megan Carter, NFPS	4.
5.	5.

I, the owner, realize that I am responsible for all agreements my duly authorized agent agrees with, and I am fully responsible for compliance with all Florida Statutes, City Codes, and Land Development Regulations pertaining to this parcel.

If at any time the person(s) you have authorized is/are no longer agents, employee(s), or officer(s), you must notify this department in writing of the changes and submit a new letter of authorization form, which will supersede all previous lists. Failure to do so may allow unauthorized persons to use your name and/or license number to obtain permits.

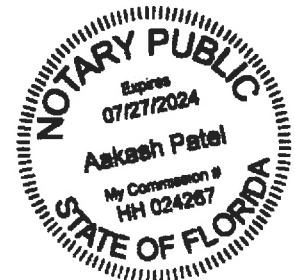
[Signature] Owner Signature (Notarized) 11/07/2023 Date

NOTARY INFORMATION:
 STATE OF: FLORIDA COUNTY OF: MANATEE

The above person, whose name is NADEJDA Summers, personally appeared before me and is known by me or has produced identification (type of I.D.) FL DL# S56263571552A on this 7th day of NOVEMBER, 2023.

[Signature]
 NOTARY'S SIGNATURE

(Seal/Stamp)





GROWTH MANAGEMENT DEPARTMENT
 205 North Marion Ave, Lake City, FL 32055
 Phone: 386-719-5750
 E-mail: growthmanagement@lcfla.com

AGENT AUTHORIZATION FORM

I, Thomas Eagle, Registered Agent for Real Terrace, LLC. (owner name), owner of property parcel

number 2579-002 (parcel number), do certify that

the below referenced person(s) listed on this form is/are contracted/hired by me, the owner, or, is an officer of the corporation; or, partner as defined in Florida Statutes Chapter 468, and the said person(s) is/are authorized to sign, speak and represent me as the owner in all matters relating to this parcel.

Printed Name of Person Authorized	Signature of Authorized Person
1. Brandon M. Stubbs, NFPS	1.
2. Darin Kilfoyl, NFPS	2.
3. Greg Bailey, P.E., NFPS	3.
4. Megan Carter, NFPS	4.
5.	5.

I, the owner, realize that I am responsible for all agreements my duly authorized agent agrees with, and I am fully responsible for compliance with all Florida Statutes, City Codes, and Land Development Regulations pertaining to this parcel.

If at any time the person(s) you have authorized is/are no longer agents, employee(s), or officer(s), you must notify this department in writing of the changes and submit a new letter of authorization form, which will supersede all previous lists. Failure to do so may allow unauthorized persons to use your name and/or license number to obtain permits.

Thomas Eagle 8-8-23
 Owner Signature (Notarized) Date

NOTARY INFORMATION:

STATE OF: Florida COUNTY OF: Columbia

The above person, whose name is Thomas Eagle, personally appeared before me and is known by me or has produced identification (type of I.D.) _____ on this 8 day of Aug, 2023.

Vera Lisa Hicks
 NOTARY'S SIGNATURE

(Seal/Stamp)



Columbia County Tax Collector

generated on 11/8/2023 5:09:12 PM EST

Tax Record

Last Update: 11/8/2023 5:09:01 PM EST

Register for eBill

Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year			
R02579-002	REAL ESTATE	2023			
Mailing Address		Property Address			
SUMMERS EDNA C LIVING TRUST P O BOX 2817 LAKE CITY FL 32056		GEO Number 353S16-02579-002			
Exempt Amount	Taxable Value				
See Below	See Below				
Exemption Detail	Millage Code	Escrow Code			
NO EXEMPTIONS	001				
Legal Description (click for full description)					
35-3S-16 1000/10002.19 Acres LOT 5 EX THE N 350 FT OF THE E 150 FT, ALSO THE N 330 FT OF THE W 67 FT & THE E 83 FT OF LOT 6 EX THE N 330 FT, EX 0.41 AC DESC IN ORB 603-048 & EX A 0.35 AC PARCEL DESC ORB 847-920. (PART OF LOTS 5 & 6 LAKE HARRIS FARMS S/D UNIT A). See Tax Roll For Extra Legal					
Ad Valorem Taxes					
Taxing Authority	Rate	Assessed Value	Exemption Amount	Taxable Value	Taxes Levied
CITY OF LAKE CITY	4.9000	286,758	0	\$286,758	\$1,405.11
BOARD OF COUNTY COMMISSIONERS	7.8150	286,758	0	\$286,758	\$2,241.01
COLUMBIA COUNTY SCHOOL BOARD					
DISCRETIONARY	0.7480	286,758	0	\$286,758	\$214.49
LOCAL	3.2170	286,758	0	\$286,758	\$922.50
CAPITAL OUTLAY	1.5000	286,758	0	\$286,758	\$430.14
SUWANNEE RIVER WATER MGT DIST	0.3113	286,758	0	\$286,758	\$89.27
LAKE SHORE HOSPITAL AUTHORITY	0.0001	286,758	0	\$286,758	\$0.03
Total Millage		18.4914	Total Taxes		\$5,302.55
Non-Ad Valorem Assessments					
Code	Levying Authority				Amount
XLCF	CITY FIRE ASSESSMENT				\$61.26
Total Assessments					\$61.26
Taxes & Assessments					\$5,363.81
If Paid By				Amount Due	
11/30/2023				\$5,149.26	
12/31/2023				\$5,202.90	

Columbia County Tax Collector

1/31/2024	\$5,256.53
2/29/2024	\$5,310.17
3/31/2024	\$5,363.81

Prior Years Payment History

Prior Year Taxes Due
NO DELINQUENT TAXES

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Columbia County Tax Collector

generated on 11/8/2023 5:03:04 PM EST

Tax Record

Last Update: 11/8/2023 5:02:52 PM EST

Register for eBill

Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year			
R02579-006	REAL ESTATE	2023			
Mailing Address		Property Address			
WILL SUMMERS PROPERTIES INC P O BX 387 LAKE CITY FL 32056-2817		2976 US HIGHWAY 90 LAKE CITY			
		GEO Number			
		353S16-02579-006			
Exempt Amount	Taxable Value				
See Below	See Below				
Exemption Detail	Millage Code	Escrow Code			
NO EXEMPTIONS	001				
Legal Description (click for full description)					
35-3S-16 1000/10002.20 Acres THE E1/2 OF LOT 7 LAKE HARRIS FARMS S/D, EX THE S 250 FT & THE W 134 FT OF LOT 6, EX THAT PORTION DESC ORB 760-928 & EX THE S 250 FT OF THE W 134 FT OF LOT 6 & EX 0.98 AC DESC IN ORB 988-661. (BEING PART OF LOTS 6 & 7 LAKE HARRIS FARMS UNIT A). See Tax Roll For Extra Legal					
Ad Valorem Taxes					
Taxing Authority	Rate	Assessed Value	Exemption Amount	Taxable Value	Taxes Levied
CITY OF LAKE CITY	4.9000	287,496	0	\$287,496	\$1,408.73
BOARD OF COUNTY COMMISSIONERS	7.8150	287,496	0	\$287,496	\$2,246.78
COLUMBIA COUNTY SCHOOL BOARD					
DISCRETIONARY	0.7480	287,496	0	\$287,496	\$215.05
LOCAL	3.2170	287,496	0	\$287,496	\$924.87
CAPITAL OUTLAY	1.5000	287,496	0	\$287,496	\$431.24
SUWANNEE RIVER WATER MGT DIST	0.3113	287,496	0	\$287,496	\$89.50
LAKE SHORE HOSPITAL AUTHORITY	0.0001	287,496	0	\$287,496	\$0.03
Total Millage		18.4914	Total Taxes		\$5,316.20
Non-Ad Valorem Assessments					
Code	Levying Authority				Amount
XLCF	CITY FIRE ASSESSMENT				\$61.26
Total Assessments					\$61.26
Taxes & Assessments					\$5,377.46
If Paid By				Amount Due	
11/30/2023				\$5,162.36	
12/31/2023				\$5,216.14	

Columbia County Tax Collector

1/31/2024	\$5,269.91
2/29/2024	\$5,323.69
3/31/2024	\$5,377.46

Prior Years Payment History

Prior Year Taxes Due
NO DELINQUENT TAXES

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Columbia County Tax Collector

generated on 11/8/2023 5:06:31 PM EST

Tax Record

Last Update: 11/8/2023 5:06:20 PM EST

Register for eBill

Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year			
R02579-008	REAL ESTATE	2023			
Mailing Address		Property Address			
SUMMERS & SUMMERS LLC PO BOX 387 LAKE CITY FL 32056		GEO Number 353S16-02579-008			
Exempt Amount	Taxable Value				
See Below	See Below				
Exemption Detail	Millage Code	Escrow Code			
NO EXEMPTIONS	001				
Legal Description (click for full description)					
35-3S-16 1000/1000.40 Acres THE S 151.05 FT OF THE N 481.05 FT OF THE E 83 FT OF LOT 6 & THE S 151.05 FT OF THE N 481.05 FT OF THE W 34.58 FT OF LOT 5, LAKE HARRIS FARMS S/D UNIT A. BEING PART OF LOTS 5 & 6 LAKE HARRIS FARMS UNIT A. 603-048, 803-2645, WD 1035-615,					
Ad Valorem Taxes					
Taxing Authority	Rate	Assessed Value	Exemption Amount	Taxable Value	Taxes Levied
CITY OF LAKE CITY	4.9000	57,272	0	\$57,272	\$280.63
BOARD OF COUNTY COMMISSIONERS	7.8150	57,272	0	\$57,272	\$447.58
COLUMBIA COUNTY SCHOOL BOARD					
DISCRETIONARY	0.7480	57,272	0	\$57,272	\$42.84
LOCAL	3.2170	57,272	0	\$57,272	\$184.24
CAPITAL OUTLAY	1.5000	57,272	0	\$57,272	\$85.91
SUWANNEE RIVER WATER MGT DIST	0.3113	57,272	0	\$57,272	\$17.83
LAKE SHORE HOSPITAL AUTHORITY	0.0001	57,272	0	\$57,272	\$0.01
Total Millage		18.4914	Total Taxes		\$1,059.04
Non-Ad Valorem Assessments					
Code	Levying Authority				Amount
XLCF	CITY FIRE ASSESSMENT				\$61.26
Total Assessments					\$61.26
Taxes & Assessments					\$1,120.30

If Paid By	Amount Due
11/30/2023	\$1,075.49
12/31/2023	\$1,086.69
1/31/2024	\$1,097.89

2/29/2024	\$1,109.10
3/31/2024	\$1,120.30

Prior Years Payment History

Prior Year Taxes Due
NO DELINQUENT TAXES

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generated on 11/8/2023 5:04:24 PM EST

Tax Record

Last Update: 11/8/2023 5:04:13 PM EST

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Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year			
R02579-010	REAL ESTATE	2023			
Mailing Address		Property Address			
WILL SUMMERS PROPERTIES INC P O BOX 387 LAKE CITY FL 32056		GEO Number 353S16-02579-010			
Exempt Amount	Taxable Value				
See Below	See Below				
Exemption Detail	Millage Code	Escrow Code			
NO EXEMPTIONS	001				
Legal Description (click for full description)					
35-3S-16 1000/10001.50 Acres THE S 250 FT OF THE EAST 1/2 LOT 7, LAKE HARRIS FARMS S/D, AND SOUTH 250 FT OF THE WEST 134 FT OF LOT 6. ORB 527-290, 946-2485, 958-1388. BEING PART OF LOTS 6 & 7 LAKE HARRIS FARMS UNIT A. WD 1044-2583.					
Ad Valorem Taxes					
Taxing Authority	Rate	Assessed Value	Exemption Amount	Taxable Value	Taxes Levied
CITY OF LAKE CITY	4.9000	40,677	0	\$40,677	\$199.32
BOARD OF COUNTY COMMISSIONERS	7.8150	40,677	0	\$40,677	\$317.89
COLUMBIA COUNTY SCHOOL BOARD					
DISCRETIONARY	0.7480	40,677	0	\$40,677	\$30.42
LOCAL	3.2170	40,677	0	\$40,677	\$130.86
CAPITAL OUTLAY	1.5000	40,677	0	\$40,677	\$61.02
SUWANNEE RIVER WATER MGT DIST	0.3113	40,677	0	\$40,677	\$12.66
LAKE SHORE HOSPITAL AUTHORITY	0.0001	40,677	0	\$40,677	\$0.00
Total Millage		18.4914	Total Taxes		\$752.17
Non-Ad Valorem Assessments					
Code	Levying Authority				Amount
XLCF	CITY FIRE ASSESSMENT				\$61.26
Total Assessments					\$61.26
Taxes & Assessments					\$813.43

If Paid By	Amount Due
11/30/2023	\$780.89
12/31/2023	\$789.03
1/31/2024	\$797.16

2/29/2024	\$805.30
3/31/2024	\$813.43

Prior Years Payment History

Prior Year Taxes Due
NO DELINQUENT TAXES

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Columbia County Tax Collector

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Tax Record

Last Update: 11/8/2023 5:07:10 PM EST

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Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year			
R02579-012	REAL ESTATE	2023			
Mailing Address		Property Address			
WILL SUMMERS PROPERTIES INC P O BOX 387 LAKE CITY FL 32056		2902 US HIGHWAY 90 LAKE CITY			
		GEO Number			
		353S16-02579-012			
Exempt Amount	Taxable Value				
See Below	See Below				
Exemption Detail	Millage Code	Escrow Code			
NO EXEMPTIONS	001				
Legal Description (click for full description)					
35-3S-16 1000/1000.54 Acres (AKA PART OF LOT 5 LAKE HARRIS FARMS S/D UNIT A DESC AS): COMM AT SE COR OF SEC, RUN W 930.35 FT TO W R/W OF SW REAL TER, N ALONG R/W 439.71 FT FOR POB, RUN WEST 153.95 FT, N 151.05 FT, E 31.17 FT, S 19.36 FT, E 150 FT TO W R/W OF SW REAL TER, See Tax Roll For Extra Legal					
Ad Valorem Taxes					
Taxing Authority	Rate	Assessed Value	Exemption Amount	Taxable Value	Taxes Levied
CITY OF LAKE CITY	4.9000	70,560	0	\$70,560	\$345.74
BOARD OF COUNTY COMMISSIONERS	7.8150	70,560	0	\$70,560	\$551.43
COLUMBIA COUNTY SCHOOL BOARD DISCRETIONARY	0.7480	70,560	0	\$70,560	\$52.78
LOCAL	3.2170	70,560	0	\$70,560	\$226.99
CAPITAL OUTLAY	1.5000	70,560	0	\$70,560	\$105.84
SUWANNEE RIVER WATER MGT DIST	0.3113	70,560	0	\$70,560	\$21.97
LAKE SHORE HOSPITAL AUTHORITY	0.0001	70,560	0	\$70,560	\$0.01
Total Millage		18.4914	Total Taxes		\$1,304.76
Non-Ad Valorem Assessments					
Code	Levying Authority				Amount
XLCF	CITY FIRE ASSESSMENT				\$61.26
Total Assessments					\$61.26
Taxes & Assessments					\$1,366.02
If Paid By				Amount Due	
11/30/2023				\$1,311.38	
12/31/2023				\$1,325.04	

1/31/2024	\$1,338.70
2/29/2024	\$1,352.36
3/31/2024	\$1,366.02

Prior Years Payment History

Prior Year Taxes Due
NO DELINQUENT TAXES

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Columbia County Tax Collector

generated on 11/8/2023 5:08:17 PM EST

Tax Record

Last Update: 11/8/2023 5:08:06 PM EST

Register for eBill

Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year			
R02579-013	REAL ESTATE	2023			
Mailing Address SUMMERS NADEJDA P O BOX 387 LAKE CITY FL 32056		Property Address 226 REAL LAKE CITY GEO Number 353S16-02579-013			
Exempt Amount	Taxable Value				
See Below	See Below				
Exemption Detail	Millage Code	Escrow Code			
NO EXEMPTIONS	001				
Legal Description (click for full description)					
35-3S-16 1000/1000.77 Acres (AKA PART OF LOT 5 & PART OF LOT 6 LAKE HARRIS FARMS S/D UNIT A DESC AS FOLLOWS): COMM AT SE COR OF LOT 5 LAKE HARRIS FARMS, RUN W 32.52 FT TO W R/W SW REAL TERRACE, RUN N 6 DG E ALONG W R/W, 312.40 FT FOR POB, RUN W 264.65 FT, N 5 DG E 125.92 FT, See Tax Roll For Extra Legal					
Ad Valorem Taxes					
Taxing Authority	Rate	Assessed Value	Exemption Amount	Taxable Value	Taxes Levied
CITY OF LAKE CITY	4.9000	100,624	0	\$100,624	\$493.06
BOARD OF COUNTY COMMISSIONERS	7.8150	100,624	0	\$100,624	\$786.38
COLUMBIA COUNTY SCHOOL BOARD DISCRETIONARY	0.7480	100,624	0	\$100,624	\$75.26
LOCAL	3.2170	100,624	0	\$100,624	\$323.71
CAPITAL OUTLAY	1.5000	100,624	0	\$100,624	\$150.94
SUWANNEE RIVER WATER MGT DIST	0.3113	100,624	0	\$100,624	\$31.32
LAKE SHORE HOSPITAL AUTHORITY	0.0001	100,624	0	\$100,624	\$0.01
Total Millage		18.4914	Total Taxes		\$1,860.68
Non-Ad Valorem Assessments					
Code	Levying Authority				Amount
XLCF	CITY FIRE ASSESSMENT				\$61.26
Total Assessments					\$61.26
Taxes & Assessments					\$1,921.94
If Paid By				Amount Due	
11/30/2023				\$1,845.06	
12/31/2023				\$1,864.28	

1/31/2024	\$1,883.50
2/29/2024	\$1,902.72
3/31/2024	\$1,921.94

Prior Years Payment History

Prior Year Taxes Due
NO DELINQUENT TAXES

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