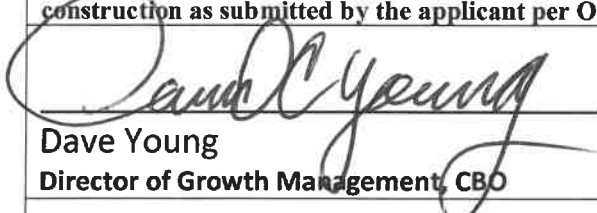




CERTIFICATE OF APPROPRIATENESS

MINOR OR MAINTENANCE ONLY

Date: 02/04/2025	COA 25-05
Address: 263 SE Vickers Terr, Lake City, FL	
Parcel Number: 13312-000	
Owner: Ronald and Constance Rossee	
Address of Owner: 263 SE Vickers Terr, Lake City, FL	
Description of Structure: Single Family Home	
The described structure or portion of the structure has been reviewed for compliance with the requirements of the City Historic Preservation Land Development Regulations for the exterior construction as submitted by the applicant per Ordinance Number 2020-2176	
 Dave Young Director of Growth Management, CBO	
Code Edition: 2023 (8th) Edition of the Florida Building Codes, 2023 (8th) Edition of the Florida Fire Prevention Code and the 2017 U.S. Secretary of the Interior's Standards for Rehabilitation	
Description of Approved Construction:	
Replace 5 windows with new windows. New windows are consistent with Windows from the 1930's in style.	
Special Conditions:	

The City of Lake City's Growth Management Department and the City Historic Preservation Committee

205 N Marion Avenue

Lake City, Florida 32055

(386) 719-5750



DEPARTMENT OF GROWTH MANAGEMENT
205 North Marion Avenue
Lake City, Florida 32055
Telephone: (386) 752-2031
growthmanagement@lcfla.com

COA__-__

HISTORIC PRESERVATION AGENCY (HPA)

Certificate of Appropriateness (COA) Application

USE THIS FORM TO

Apply for approval for projects located within historic districts. Projects may require either a Agency- level review or a Staff-level review.

Once application is submitted it will be reviewed for completeness. Once verified complete the applicant will be notified.

Type of Review	Reviewed By	Date
Certificate of Appropriateness (COA): Staff Review		
Certificate of Appropriateness (COA): HPA Review – Single Family Structure or its Accessory Structure		
Certificate of Appropriateness (COA): HPA Review – All Other Structures		
After-the-Fact Certificate of Appropriateness (COA): if work begun prior to issuance of a COA		

BASIS FOR REVIEW

All applications, whether Staff or HPA review, are reviewed for consistency with the City of Lake City Comprehensive Plan, Land Development Code, and applicable guidelines such as the Guidelines for the Historic Districts are based on the U.S. Secretary of the Interior's Standards for Rehabilitation.

Replacement

PROJECT TYPE

☐ New Construction ☐ Addition ☐ Demolition ☐ Fence ☐ Paint
☐ Repair ☐ Relocation ☐ Re-Roof/Roof-Over ☐ SignShed ☐ Garage

Classification of Work (see LDR 10.11.3)

☐ Routine Maintenance ☒ Minor Work ☐ Major Work

APPROVAL TYPE:

See [Certificate of Appropriateness Matrix](#)

☐ Staff Approval

☐ Board Approval: ☐ Conceptual or ☐ Final

PROPERTY INFORMATION: *Property information can be found at the Columbia County Property Appraiser's Website*

Historic District: ☐ Lake Isabella Historical Residential District
☐ Downtown Historical District

Site Address: 263 SE Vickers Terr

Parcel ID #(s) 00-00-00-13312-000 (41825)

OWNER OF RECORD

As recorded with the Columbia County Property Appraiser

APPLICANT OR AGENT

If other than owner. If an agent will be representing the owner, an Owner's Authorization for Agent Representation form must be included

Owner(s) Name ROSSEE RONALD D and ROSSEE CONSTANCE W	Applicant Name Jonte Hawkins
Company (if applicable)	Company (if applicable) West Shore Home LLC
Street Address 263 SE Vickers Terr	Street Address 1720 NW 4th Ave # 100
City State Zip Lake City, FL 32025	City State Zip Ocala, FL 34475
Telephone Number 386 758 8631	Telephone Number 727 232 4941
E-Mail Address	E-Mail Address jhpermitting@westshorehome.com

Historic Preservation Agency Meetings are held the 1st Tuesday of the month at 5:30PM in the City Council Chambers (205 N Marion Ave.)

Application Deadline (12:30PM)	Dec 01 2022	Jan 03 2023	Feb 01 2023	Mar 01 2023	Apr 01 2023	May 01 2023	Jun 01 2023	Jul 01 2023	Aug 01 2023	Sep 01 2023	Oct 01 2023	Nov 01 2023
Meeting Date	Jan 04 2023	Feb 07 2023	Mar 07 2023	Apr 04 2023	May 02 2023	Jun 06 2023	Jul 05 2023	Aug 01 2023	Sep 06 2023	Oct 03 2023	Nov 07 2023	Dec 05 2023

IMPORTANT NOTES

PRE-APPLICATION MEETING

To guide you through the process and to ensure that your application is properly processed, you'll need to meet with the Planner prior to submitting your application. This should be done prior to your anticipated submittal date to allow time for review.

Staff approval applications are accepted on a rolling basis and are generally completed within 10 business days. Please note that projects can only begin after receiving a Certificate of Appropriateness (COA) and a building permit (if required).

CONCEPTUAL APPROVALS

Conceptual approvals are provided by the HPA as a courtesy to the applicant in an effort to allow comment from the Historic Preservation Agency during the conceptual design process. The HPA will provide the applicant with feedback and guidance relating to the proposal. In all cases, the applicant must return to the HPA to seek final approval of their projects.

APPLICATION REQUIREMENTS

- ☐ A complete/ signed application. (If all requirements are not submitted it could delay your approval);
- ☐ Proof of Ownership (copy of deed or tax statement);
- ☐ A current survey of the property, for new construction and any change to existing footprint. (no older than two years);
- ☐ 1 digital set of elevations & plans (to scale);
- ☐ Photographs;
- ☐ Any additional backup materials, as necessary;
- ☐ If applying as an agent, *Owner's Authorization for Agent Representation* form must be signed/ notarized and submitted as part of the application;
- ☐ For window replacement, a *Window Survey* must be completed.

PROJECT DESCRIPTION

DESCRIBE THE PROPOSED PROJECT AND MATERIALS.

Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

List proposed materials:

Project Scope	Manufacturer	Product Description	Color (Name/Number)
Exterior Fabric			
Doors			
Windows	MI	1620	21637.4
Roofing			
Fascia/Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing			
Driveways/Sidewalks			
Signage			
Other			

PLEASE SUBMIT ALL PRODUCT BROCHURES, PAINT COLOR SAMPLES, AND MATERIAL SAMPLES WITH YOUR APPLICATION.

DID YOU REMEMBER

Review the Historic District Application Checklist (Article 10 LDR) to ensure you are including all required materials. If all requirements are not submitted, it will delay your approval.

Review the applicable Guidelines (Article 10 LDR)

A pre-application meeting is required before a final application for HPA Review. (Please call 386-752-2031 to schedule an appointment)

Please see the City of Lake City Land Development Regulations for detailed information.

Historic Preservation Districts maps are located on the city web site (www.lcfla.org)

Historic Preservation Agency can be found in the LDR Article 10.

Variances can be found in the LDR Article 11

The Land Development Regulations can be located on the city web site (www.lcfla.org)

APPEALS

Agency Decisions – Persons with standing, as listed in LDR Article 10, Section 10.11.6, may appeal a decision of the HPA, as outlined in Article 11, Section 11.1.4

Administrative Decisions – Persons with standing, as listed in LDR Article 10, Section 10.11.6, may appeal a decision of the Administrator, as outlined in Article 10, Section 10.11.5.

DEMOLITIONS (if applicable)

Please identify any unique qualities of historic and/or architectural significance, the prevalence of these features within the region, city, or neighborhood, and feasibility of reproducing such a building, structure, or object.

Discuss measures taken to save the building/structure/object from collapse. Also, address whether it is capable of earning a reasonable economic return on its value.

RELOCATIONS (if applicable)

For relocations, address the context of the proposed future site and proposed measures to protect the physical integrity of the building.

Additional criteria for relocations and demolitions: Please describe the future planned use of the subject property once vacated and its effect on the historical context.

MODIFICATION OF EXISTING ZONING REQUIREMENTS (If Applicable)

Any change shall be based on competent demonstration by the petitioner of Article 4 of the Land Development Code.

Modification of dimensional requirements. To facilitate new construction, redevelopment, rehabilitation, or relocation of buildings or structures in historic districts or individually listed on the local register, the Administrator or the appropriate board within the development review process may determine dimensional requirements such as front, side, and rear setbacks, building height, separation between buildings, floor area ratios, and maximum lot coverage for buildings and structures based on historic development patterns. Any change shall be based on competent demonstration by the petitioner of the following:

- a. *The proposed development will not affect the public safety, health, or welfare of abutting property owners or the district;*
- b. *The proposed change is consistent with historic development, design patterns or themes in the historic district. Such patterns may include reduced front, rear, and side yard setbacks, maximum lot coverage and large floor area ratios;*
- c. *The proposal reflects a particular theme or design pattern that will advance the development pattern of the historic district; and*
- d. *The proposed complies with utility, stormwater, access requirements, and other requirements related to site design in the Land Development Code.*

Where the proposed modification would encroach into a side or rear yard setback that adjoins an existing lot, notice shall be provided to the adjacent property owner. Staff or the appropriate reviewing board will document the basis for its decision. If staff makes the decision, it will provide a written determination on the complete modification request within 21 calendar days of receiving the request. If the adjacent property owner objects to the encroachment in writing within 16 calendar days of the date from which the notice was mailed, the request shall be referred to the Board of Adjustment, which shall review the request using the same standards in this section used by staff. If the decision is to be made by a board, the board shall hear the objection of the adjacent property owner as part of its public hearing. The remainder of the requirements, regulations and procedures set forth in this chapter shall remain applicable.

Modification of building code requirements. Structures and buildings listed individually on the local register or deemed contributing to the character of a district listed on the local register shall be deemed historic and entitled to modified enforcement of the standard codes where appropriate.

Please describe the requested zoning modification, addressing a through d above:

The requested modification will change the following zoning or building requirement in this manner:

(select only those that apply)	Required	Existing	Proposed
Front, Side, or Rear building Setback Lines			
Building Height			
Building Separation			
Floor Area Ratio (FAR)			
Maximum Lot Coverage			

CERTIFICATION

By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s) and legal description(s) is (are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the Department of Growth Management to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Agency review cases, an agenda and staff report will be available on the City's website approximately one week before the Historic Preservation Agency meeting.
5. I/We understand that the Historic Preservation Agency meetings are conducted in a quasi-judicial hearing and as such, ex parte communications are prohibited (Communication about your project with a Historic Preservation Agency member).
6. I/We understand that the approval of this application by the Historic Preservation Agency or staff in no way constitutes approval of a Building Permit for construction from the City of Lake City Growth Management.
7. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the HPA before work commences on those changes. There will be no charge for a revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project.
8. I/We understand that any decision of the HPA may be appealed to the City Council. A person with standing, as described in LDR Article 10, Section 10.11.6, may file a petition to appeal and shall be presented within thirty (30) days after the decision of the HPA; otherwise the decision of the HPA will be final.
9. I/We understand that Certificates of Appropriateness are only valid for one (1) year from issuance.



Applicant (Signature)

1/28/25

Date

Jonte Hawkins

Applicant (Print)

Please submit this application
And all required supporting
Materials via email to:

growthmanagement@lcfia.com

Once the application is received
and deemed complete, the
applicant will be notified as to
whether this will be a staff
review or HPA review.

TO BE COMPLETED BY CITY
ADMINISTRATOR

Date Received

Received By:

COA ____ - ____

Zoning:

Contributing

☐ Yes ☐ No

Pre-Conference

☐ Yes ☐ No

Application
Complete

☐ Yes ☐ No

Request for
Modification
of Setbacks

☐ Yes ☐ No

☐ Staff Approval

☐ Single Family Structure or its Accessory Structure

☐ Multi-Family requiring HPA approval

☐ After-The-Fact Certificate of Appropriateness



DEPARTMENT OF GROWTH MANAGEMENT
205 North Marion Avenue
Lake City, Florida 32055
Telephone: (386) 752-2031
growthmanagement@lcfla.com

OWNER'S AUTHORIZATION FOR AGENT REPRESENTATION

USE THIS FORM TO: Grant an agent authorization to represent you in applying for applications to the City of Lake City Department of Growth Management.

I /WE _____
(print name of property owner(s))

hereby authorize: _____
(print name of agent)

to represent me/us in processing an application for: _____
(print type of application)

on our behalf. In authorizing the agent to represent me/us, I/we, as owner/owners, attest that the application is made in good faith and that any information contained in the application is accurate and complete.

(Signature of owner)

(Signature of owner)

(Print name of owner)

(Print name of owner)

STATE OF FLORIDA

COUNTY OF



Sworn to (or affirmed) and subscribed before me by means of ☐ physical presence or ☐ online notarization,
this _____ day of _____, 20_____, by

_____.

Notary Public

Printed Name

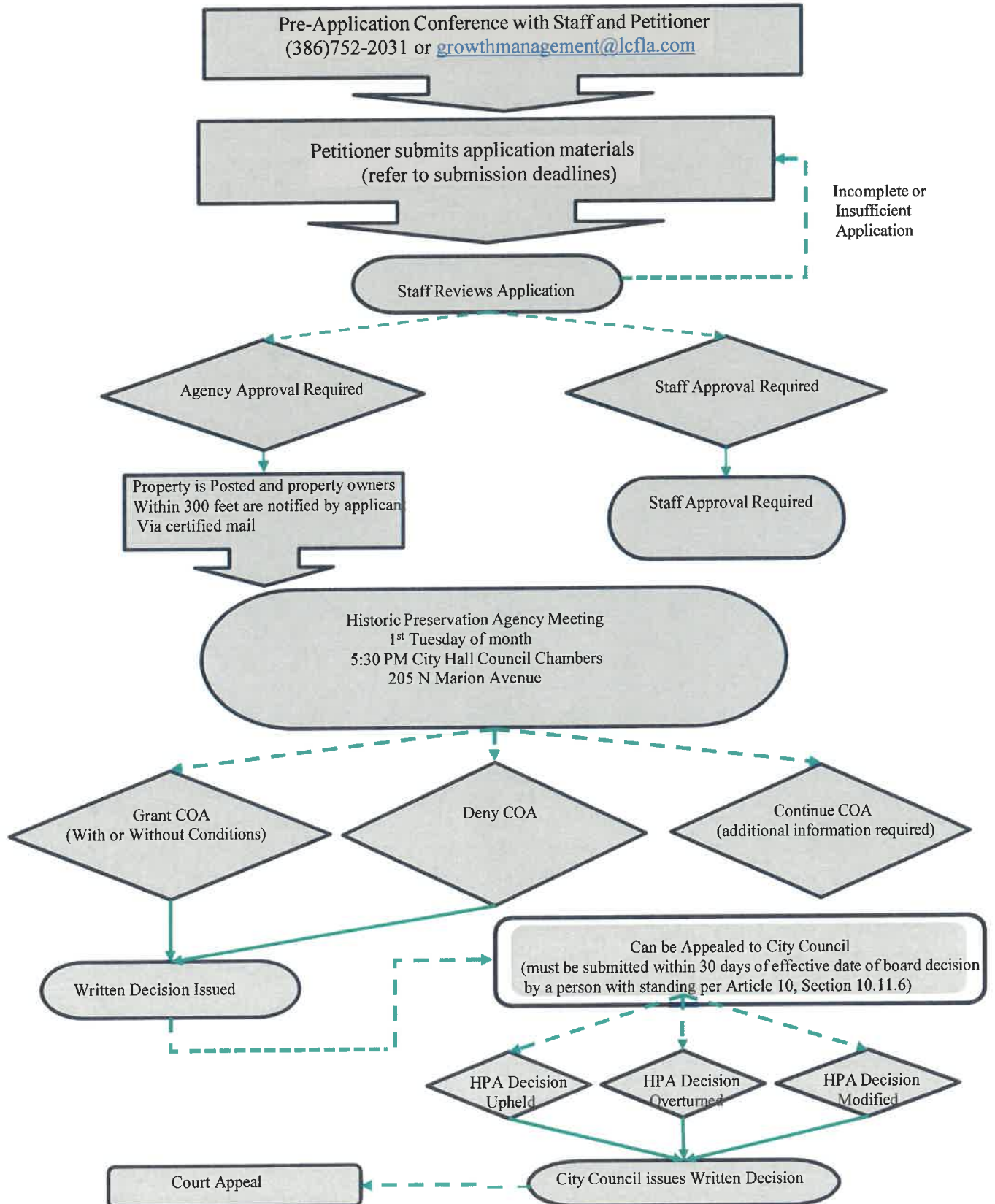
My Commission Expires

☐ Personally
Known OR

☐ Produced Identification

ID Produced: _____

CERTIFICATE OF APPROPRIATENESS PROCESS FLOWCHART











1620 Vinyl Single-Hung Window

Our 1620 single-hung window features **superior styling, handcrafted quality, and long-term performance.** Suitable for both new-construction and replacement applications, the stylish and efficient window features beveled sash, insulated dual-pane glass, heavy-duty weatherstripping, and is the first window in our 1600 Series to offer operating archtop configurations. The 1620 is DP-50 rated and available with the StormArmor™ impact-resistant package, making it the ideal single-hung window for new construction and replacement projects in any location.

1620
SINGLE-HUNG

PERFORMANCE FEATURES

- Metal-reinforced meeting rail delivers superior strength and durability
- True sloping sill optimizes water drainage and eliminates unsightly weep holes
- Warm-edge spacer system maximizes energy efficiency and improves seal performance of insulated glass units
- Inverted-coil balances provide smoother operation and lower operating force

Available with

STORMARMOR™
impact-resistant package

Welded multi-chamber
mainframe design



3 1/4" frame depth

Dual-point
weatherstripping

Dual-pane
insulated glass

True-sloping sill



WARM-EDGE
SPACER SYSTEM

HIGH
PERFORMANCE



■ Standard
■ Optional

Designed smarter, from the inside out

ENGINEERED TO PERFORM

- Multi-chamber mainframe design
- 3 1/4" frame depth
- 3/4" dual-pane insulated glass
- Three frame types
 - Fin, flange, finless
- StormArmor package includes impact-resistant glass with HP low-E, argon, and preserve film to protect the glass until installation is complete

CONVENIENCE & STYLE

The 1620 features the following design details on every window:

- Beveled exterior profile
- Mortised recessed locks
- Integral lift rail
- Tilt-in sash

ENERGY-EFFICIENT FEATURES

- Our **dual-pane** insulated glass package options help save on heating and cooling costs while enhancing home comfort
- In **cool weather**, it provides outstanding thermal performance to keep interior glass surfaces closer to room temperature, eliminating cold spots near windows
- In **warm weather**, insulated glass reduces solar heat gain and minimizes interior glare
- Able to meet **ENERGY STAR®** requirements in North-Central, South-Central, and Southern climate zones

GLAZING TYPE	U-VALUE	SHGC
Argon and Low-E glass	0.29	0.30
Argon and Low-E glass with grids	0.29	0.27
Argon and HP Low-E glass	0.29	0.22
Argon and HP Low-E glass with grids	0.29	0.20
Impact-resistant laminated glass with Argon and LoE ³ -366	0.29	0.22
Impact-resistant laminated glass with Argon and LoE ³ -366 with grids	0.30	0.20
Impact-resistant laminated glass with Argon and LoE ³ -340	0.29	0.14
Impact-resistant laminated glass with Argon and LoE ³ -340 with grids	0.30	0.13

Note: all values based on standard 3/4" dual-pane IGU unless noted otherwise. IGU is 3/4" with StormArmor impact-resistant glass.

SAFETY & SECURITY FEATURES

- Spring-loaded night latches keep the window secure even when partially opened, providing ventilation without sacrificing safety and security
- Dual-opposing locks create a stronger, safer seal
- DP-50 package enhances coastal performance
- Optional Window Operating Control Device (WOCD) restricts sash opening and reduces the risk of accidental falls

SIZING

MINIMUM & MAXIMUM (available in 1/4" increments)

- 15"-48" wide × 24 1/2"-96" high
- 48 1/8"-52 1/8" wide × 24 1/2"-74" high
- 23"-52 1/8" wide × 24 1/2"-75" high (w/ StormArmor)

CREATE A CUSTOMIZED LOOK

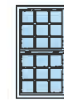
HARDWARE FINISH OPTIONS

- Color-matched

GRID TYPES & SIZES

- 5/8" flat grids-between-the-glass
- 1/4" sculptured grids-between-the-glass
- 1 1/8" simulated divided light

GRID PATTERNS



Colonial



9-Lite Perimeter



6-Lite Perimeter



Diamond

VINYL/EXTRUDED COLORS



White



Almond



Clay

EXTERIOR LAMINATE*



Bronze



Black

* Exterior laminates available with 5/8" flat, 1/4" sculptured, or 1" SDL grids; available with white interior only



OUR MISSION

Getting It Right Every Time

We build each of our products the same way we built our company: with integrity and precision. Every MI window and door is handcrafted in the United States using state-of-the-art manufacturing techniques, and is backed by vigorous in-house testing procedures. We are 100% committed to offering the styles, value, and performance you're after.

Discover everything we have to offer at miwindows.com, or by calling 1-717-365-3300.

Columbia County Property Appraiser

Jeff Hampton

2025 Working Values

updated: 1/23/2025

Parcel: 00-00-00-13312-000 (41825) >>

Owner & Property Info

Result: 3 of 4

Owner	ROSSEE RONALD D ROSSEE CONSTANCE W 263 SE VICKERS TERR LAKE CITY, FL 32025		
Site	263 SE VICKERS TER, LAKE CITY		
Description	E DIV: ALL BLOCK 285 & W 34 FT OF DODGE S/D & THE S 40 FT OF W 100 FT OF BLK 278. 520-55, 663-598-611, 668-594, 726-161, 746-1272, 1274, 865-599,		
Area	0.718 AC	S/T/R	32-3S-17
Use Code**	SFRES/SFRES (0101)	Tax District	1

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

**The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

Property & Assessment Values

2024 Certified Values		2025 Working Values	
Mkt Land	\$54,844	Mkt Land	\$54,844
Ag Land	\$0	Ag Land	\$0
Building	\$254,081	Building	\$254,081
XFOB	\$14,590	XFOB	\$14,590
Just	\$323,515	Just	\$323,515
Class	\$0	Class	\$0
Appraised	\$323,515	Appraised	\$323,515
SOH/10% Cap	\$125,494	SOH/10% Cap	\$117,105
Assessed	\$214,479	Assessed	\$219,141
Exempt	HX HB VX \$55,000	Exempt	HX HB VX \$55,722
Total Taxable	county:\$143,021 city:\$143,021 other:\$0 school:\$184,479	Total Taxable	county:\$150,688 city:\$150,688 other:\$0 school:\$189,141

NOTE: Property ownership changes can cause the Assessed value of the property to reset to full Market value, which could result in higher property taxes.

Sales History

Sale Date	Sale Price	Book/Page	Deed	V/I	Qualification (Cotas)	RCode
8/28/1998	\$131,500	865 / 599	WD	I	Q	
5/15/1991	\$90,000	746 / 1272	WD	I	Q	

Building Characteristics

Bldg Sketch	Description*	Year Blt	Base SF	Actual SF	Bldg Value
Sketch	SINGLE FAM (0100)	1937	2472	2906	\$202,456
Sketch	SINGLE FAM (0100)	1938	600	1200	\$51,625

*Bldg Desc determinations are used by the Property Appraisers office solely for the purpose of determining a property's Just Value for ad valorem tax purposes and should not be used for any other purpose.

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims
0260	PAVEMENT-ASPHALT	0	\$50.00	1.00	0 x 0
0280	POOL R/CON	1999	\$13,440.00	480.00	16 x 30
0166	CONC,PAVMT	1999	\$900.00	600.00	10 x 60
0070	CARPORT UF	2016	\$200.00	1.00	0 x 0

Land Breakdown

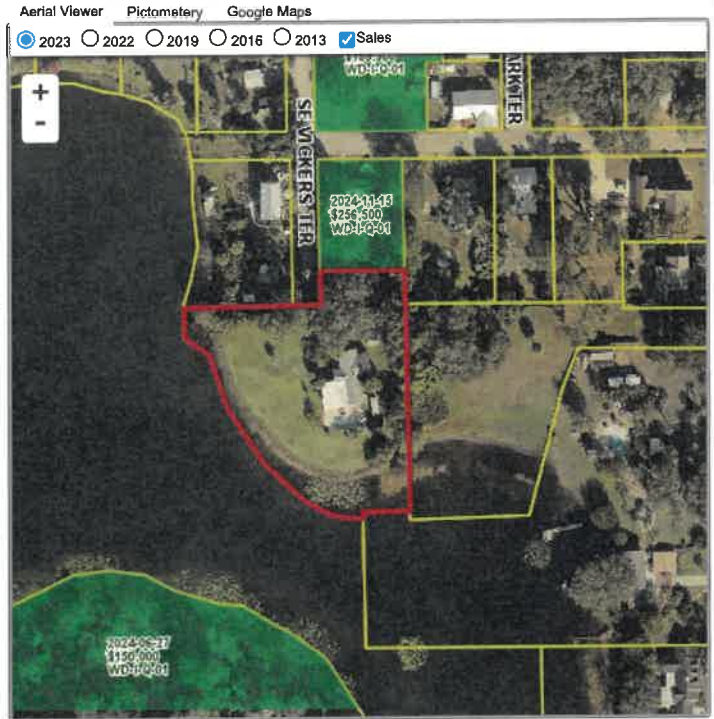
Code	Desc	Units	Adjustments	Eff Rate	Land Value
0133	SFR LAKE (MKT)	30,125.000 SF (0.691 AC)	1.0000/1.0000 1.0000/ /	\$2 /SF	\$52,719
9520	LAKE (MKT)	1.000 LT (0.000 AC)	1.0000/1.0000 1.0000/ /	\$25 /LT	\$25
0133	SFR LAKE (MKT)	1,200.000 SF (0.027 AC)	1.0000/1.0000 1.0000/ /	\$2 /SF	\$2,100

Search Result: 3 of 4

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by: GritzyLogic.com

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FLORIDA DEPARTMENT OF
Business & Professional Regulation



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Product Approval
USER: Public User

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#) > **Application Detail**

21637.4

OFFICE OF THE
SECRETARY

FL #	FL21637-R14								
Application Type	Revision								
Code Version	2023								
Application Status	Approved								
	*Approved by DBPR. Approvals by DBPR shall be reviewed and ratified by the POC and/or the Commission if necessary.								
Comments									
Archived	☐								
Product Manufacturer	MI Windows and Doors								
Address/Phone/Email	650 West Market Street Gratz, PA 17030 (717) 365-3300 Ext 2560 bsitlinger@miwd.com								
Authorized Signature	Brent Sitlinger bsitlinger@miwd.com								
Technical Representative									
Address/Phone/Email									
Quality Assurance Representative									
Address/Phone/Email									
Category	Windows								
Subcategory	Single Hung								
Compliance Method	Certification Mark or Listing								
Certification Agency	Fenestration and Glazing Industry Alliance (formerly AAMA)								
Validated By	Steven M. Ulrich, PE								
	☒ Validation Checklist - Hardcopy Received								
Referenced Standard and Year (of Standard)	<table> <thead> <tr> <th>Standard</th><th>Year</th></tr> </thead> <tbody> <tr> <td>AAMA 506</td><td>2016</td></tr> <tr> <td>AAMA/WDMA/CSA 101/I.S.2/A440</td><td>2011</td></tr> <tr> <td>AAMA/WDMA/CSA 101/I.S.2/A440</td><td>2017</td></tr> </tbody> </table>	Standard	Year	AAMA 506	2016	AAMA/WDMA/CSA 101/I.S.2/A440	2011	AAMA/WDMA/CSA 101/I.S.2/A440	2017
Standard	Year								
AAMA 506	2016								
AAMA/WDMA/CSA 101/I.S.2/A440	2011								
AAMA/WDMA/CSA 101/I.S.2/A440	2017								
Equivalence of Product Standards									
Certified By									
Product Approval Method	Method 1 Option A								
Date Submitted	12/19/2023								
Date Validated	12/20/2023								

Date Pending FBC Approval

Date Approved

12/26/2023

Summary of Products

FL #	Model, Number or Name	Description
21637.1	1620 SH	37 x 72 Insulated Glass
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: +50/-67 Other: LC-PG50		Certification Agency Certificate FL21637 R14 C CAC APC (16572) 1620 SH (032427).pdf Quality Assurance Contract Expiration Date 03/24/2027 Installation Instructions FL21637 R14 II 08-03159B.pdf Verified By: Luis Roberto Lomas 62514 Created by Independent Third Party: Yes Evaluation Reports FL21637 R14 AE 514078B.pdf Created by Independent Third Party: Yes
21637.2	1620 SH	48 x 96 Insulated Glass
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: +35/-45 Other: LC-PG35		Certification Agency Certificate FL21637 R14 C CAC APC (16574) 1620 SH (032427).pdf Quality Assurance Contract Expiration Date 03/24/2027 Installation Instructions FL21637 R14 II 08-03160A.pdf Verified By: Luis Roberto Lomas 62514 Created by Independent Third Party: Yes Evaluation Reports FL21637 R14 AE 514079A.pdf Created by Independent Third Party: Yes
21637.3	1620 SH	48 x 84 Fin Frame Insulated Glass
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: +45/-45 Other: LC-PG50 Fin, LC-PG45 Finless/Flange		Certification Agency Certificate FL21637 R14 C CAC APC(16015)G1516.03-109-47-R0 1620 SH.(101426).pdf FL21637 R14 C CAC APC(16054)G1519.03-109-47-R0 1620 SH.(101426).pdf Quality Assurance Contract Expiration Date 10/14/2026 Installation Instructions FL21637 R14 II 08-02998C.pdf Verified By: Luis Roberto Lomas 62514 Created by Independent Third Party: Yes Evaluation Reports FL21637 R14 AE 513861C.pdf Created by Independent Third Party: Yes
21637.4	1620 SH	52 x 75 Insulated Glass
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: +50/-50 Other: LC-PG50		Certification Agency Certificate FL21637 R14 C CAC APC(16016 and 16055).pdf Quality Assurance Contract Expiration Date 10/14/2026 Installation Instructions FL21637 R14 II 08-02999C.pdf Verified By: Luis Roberto Lomas 62514 Created by Independent Third Party: Yes Evaluation Reports FL21637 R14 AE 513862C.pdf Created by Independent Third Party: Yes
21637.5	1620 SH	48x84 Fin, Flange, Finless Frame
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: +50/-50 Other: LC-PG50		Certification Agency Certificate FL21637 R14 C CAC APC(18875)K7840.01-109-47 1620SH(030625).pdf Quality Assurance Contract Expiration Date 03/06/2025 Installation Instructions FL21637 R14 II 08-03734x2.pdf Verified By: Luis R. Lomas, PE PE-62514 Created by Independent Third Party: Yes Evaluation Reports FL21637 R14 AE 514882.pdf Created by Independent Third Party: Yes
21637.6	1620 SH	52x63 Fin, Flange, Finless Frame

Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: +50/-63 Other: LC-PG50		Certification Agency Certificate FL21637_R14_C_CAC_APC(18894)1919.02-106-12-R0_1620_SH(031925).pdf Quality Assurance Contract Expiration Date 03/19/2025 Installation Instructions FL21637_R14_II_08-03751.pdf Verified By: Luis R. Lomas, PE PE-62514 Created by Independent Third Party: Yes Evaluation Reports FL21637_R14_AE_514904.pdf Created by Independent Third Party: Yes
21637.7	1620 SH Impact	52x63 Fin, Flange, Finless Frame
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: +55/-63 Other: LC-PG50, Missile Level D, Wind Zone 3. Glass to be bedded in Pecora 896 sealant.		Certification Agency Certificate FL21637_R14_C_CAC_APC(18896)1919.02-106-12-R0_1620_SH(031925).pdf Quality Assurance Contract Expiration Date 03/19/2025 Installation Instructions FL21637_R14_II_08-03703A.pdf Verified By: Luis R. Lomas, PE PE-62514 Created by Independent Third Party: Yes Evaluation Reports FL21637_R14_AE_514845A.pdf Created by Independent Third Party: Yes
21637.8	1620 SH Impact	52 x 75 Insulated Laminated Glass
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: +50/-50 Other: LC-PG50, Missile Level D, Wind Zone 3. Glass consisted of 1/8" annealed exterior - spacer - 3/32" annealed / 0.090 PVB / 3/32" annealed. Glass was bedded in Pecora 896 silicone.		Certification Agency Certificate FL21637_R14_C_CAC_APC(16230)1620_SH(122726).pdf Quality Assurance Contract Expiration Date 12/27/2026 Installation Instructions FL21637_R14_II_08-03042C.pdf Verified By: Luis Roberto Lomas 62514 Created by Independent Third Party: Yes Evaluation Reports FL21637_R14_AE_513921C.pdf Created by Independent Third Party: Yes
21637.9	1620 SH Impact	38 x 75 Fin and Finless Frame, Insulated, Laminated Glass.
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: +50/-70 Other: LC-PG50, Missile Level D, Wind Zone 3, glass was bedded in Pecora 896 silicone.		Certification Agency Certificate FL21637_R14_C_CAC_MI_Windows - 1620_SH (Fin Finless) (9a) Impact Feb. 2023 (ext.5) 18143.pdf Quality Assurance Contract Expiration Date 05/15/2028 Installation Instructions FL21637_R14_II_08-03454B.pdf Verified By: Luis R. Lomas, PE PE-62514 Created by Independent Third Party: Yes Evaluation Reports FL21637_R14_AE_514467B.pdf Created by Independent Third Party: Yes
21637.10	1620 SH Impact	48x84 Fin, Flange, Finless Frame
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: +50/-50 Other: LC-PG50. Glazing bedded in Pecora 896 silicone		Certification Agency Certificate FL21637_R14_C_CAC_APC(19135),L1782.02-109-47-R0,1620_SH,(071025).pdf Quality Assurance Contract Expiration Date 07/10/2025 Installation Instructions FL21637_R14_II_08-03668B.pdf Verified By: Luis R. Lomas, PE PE-62514 Created by Independent Third Party: Yes Evaluation Reports FL21637_R14_AE_514785B.pdf Created by Independent Third Party: Yes

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Product Approval Accepts:



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SECURITYMETRICS

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NOTES:

- THE PRODUCT SHOWN HEREIN IS DESIGNED AND MANUFACTURED TO COMPLY WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE.
- WOOD FRAMING AND MASONRY OPENING TO BE DESIGNED AND ANCHORED TO PROPERLY TRANSFER ALL LOADS TO STRUCTURE. FRAMING AND MASONRY OPENING IS THE RESPONSIBILITY OF THE ARCHITECT OR ENGINEER OF RECORD.
- 1X BUCK OVER MASONRY/CONCRETE IS OPTIONAL.
- WHERE SHIM OR BUCK THICKNESS IS LESS THAN 1-1/2" WINDOW UNITS MUST BE ANCHORED THROUGH THE FRAME IN ACCORDANCE WITH MANUFACTURER'S PUBLISHED INSTALLATION INSTRUCTIONS. ANCHORS SHALL BE SECURELY FASTENED DIRECTLY INTO MASONRY, CONCRETE OR OTHER STRUCTURAL SUBSTRATE MATERIAL.
- WHERE WOOD BUCK THICKNESS IS 1-1/2" OR GREATER, BUCK SHALL BE SECURELY FASTENED TO MASONRY, CONCRETE OR OTHER STRUCTURAL SUBSTRATE. WINDOW UNITS MAY BE ANCHORED THROUGH FRAME TO SECURED WOOD BUCK IN ACCORDANCE WITH MANUFACTURER'S PUBLISHED INSTALLATION INSTRUCTIONS.
- WHERE 1X BUCK IS NOT USED DISSIMILAR MATERIALS MUST BE SEPARATED WITH APPROVED COATING OR MEMBRANE. SELECTION OF COATING OR MEMBRANE IS THE RESPONSIBILITY OF THE ARCHITECT OR ENGINEER OF RECORD.
- BUCKS SHALL EXTEND BEYOND WINDOW INTERIOR FACE SO THAT FULL FRAME SUPPORT IS PROVIDED.
- FOR FIN INSTALLATION SHIM AS NEEDED. FOR FRAME INSTALLATION SHIM AS REQUIRED AT EACH ANCHOR LOCATION WITH LOAD BEARING SHIM. SHIM WHERE SPACE OF 1/16" OR GREATER OCCURS. MAXIMUM ALLOWABLE SHIM STACK TO BE 1/4".
- SHIMS SHALL BE LOCATED, APPLIED AND MADE FROM MATERIALS AND THICKNESS CAPABLE OF SUSTAINING APPLICABLE LOADS.
- WIND LOAD DURATION FACTOR Cd=1.6 WAS USED FOR WOOD ANCHOR CALCULATIONS.
- FRAME MATERIAL: EXTRUDED RIGID PVC.
- UNITS MUST BE GLAZED PER ASTM E1300.
- APPROVED IMPACT PROTECTIVE SYSTEM IS REQUIRED FOR THIS PRODUCT IN WIND BORNE DEBRIS REGIONS.
- FOR ANCHORING THROUGH FIN INTO WOOD FRAMING OR 2X BUCK USE #6 WOOD SCREWS WITH SUFFICIENT LENGTH TO ACHIEVE A 1 1/2" MINIMUM EMBEDMENT INTO SUBSTRATE. LOCATE ANCHORS AS SHOWN IN ELEVATIONS AND INSTALLATION DETAILS.

- FOR ANCHORING THROUGH FIN INTO METAL STRUCTURE USE #6 SMS OR SELF DRILLING SCREWS WITH SUFFICIENT LENGTH TO ACHIEVE 3 THREADS MINIMUM BEYOND STRUCTURE INTERIOR WALL. LOCATE ANCHORS AS SHOWN IN ELEVATIONS AND INSTALLATION DETAILS.
- FOR ANCHORING THROUGH FRAME INTO WOOD FRAMING OR 2X BUCK USE #8 WOOD SCREWS WITH SUFFICIENT LENGTH TO ACHIEVE A 1 1/4" MINIMUM EMBEDMENT INTO SUBSTRATE. LOCATE ANCHORS AS SHOWN IN ELEVATIONS AND INSTALLATION DETAILS.
- FOR ANCHORING THROUGH FRAME INTO MASONRY/CONCRETE USE 3/16" TAPCONS WITH SUFFICIENT LENGTH TO ACHIEVE A 1 1/4" MINIMUM EMBEDMENT INTO SUBSTRATE WITH 2" MINIMUM EDGE DISTANCE. LOCATE ANCHORS AS SHOWN IN ELEVATIONS AND INSTALLATION DETAILS.
- FOR ANCHORING THROUGH FRAME INTO METAL STRUCTURE USE #8 SMS OR SELF DRILLING SCREWS WITH SUFFICIENT LENGTH TO ACHIEVE 3 THREADS MINIMUM BEYOND STRUCTURE INTERIOR WALL. LOCATE ANCHORS AS SHOWN IN ELEVATIONS AND INSTALLATION DETAILS.
- ALL FASTENERS TO BE CORROSION RESISTANT.
- INSTALLATION ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH ANCHOR MANUFACTURER'S INSTALLATION INSTRUCTIONS AND ANCHORS SHALL NOT BE USED IN SUBSTRATES WITH STRENGTHS LESS THAN THE MINIMUM STRENGTH SPECIFIED BELOW:
 - WOOD: MINIMUM SPECIFIC GRAVITY OF G=0.42
 - CONCRETE: MINIMUM COMPRESSIVE STRENGTH OF 2,000 PSI
 - MASONRY: HOLLOW/FILLED BLOCK PER ASTM C90 WITH Fm=2,000PSI MINIMUM.
 - METAL STRUCTURE: STEEL 18GA (.048") FY=33KSI/FU=52KSI OR ALUMINUM 6063-T5 FU=30KSI 1/8" THICK MINIMUM
- GEOMETRIC SHAPES ARE ALSO APPROVED. APPROVED GEOMETRIC SHAPES DIMENSIONS SHALL NOT EXCEED INSCRIBED DIMENSIONS OF APPROVED RECTANGULAR ASSEMBLY SHOWN IN SHEET 2.

TABLE OF CONTENTS			
SHEET NO.	DESCRIPTION		
1	NOTES		
2 - 3	ELEVATIONS		
4 - 13	INSTALLATION DETAILS		
14	COMPONENTS		

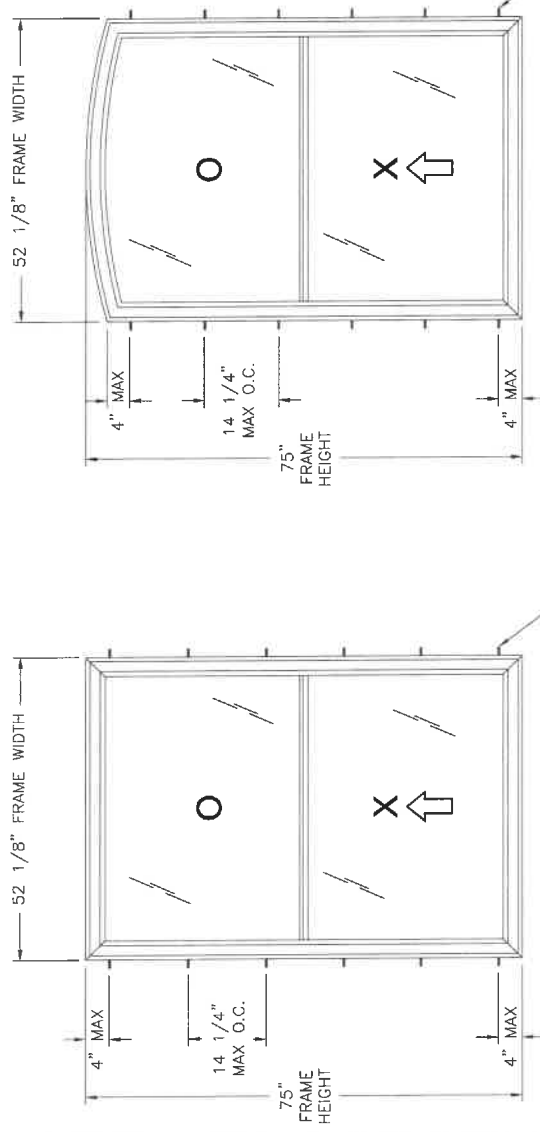
MI WINDOWS & DOORS, LLC. 650 WEST MARKET STREET GRATZ, PA 17030-0370			
SERIES 1620 SH REINFORCED NON-IMPACT 52 1/8" X 75"		NOTES	
DRAWN: R.L.	DWG NO. 08-02999	REV C	
SCALE NTS	DATE 11/30/16	SHEET 1	OF 14
L. ROBERTO LOMAS P.E. 1432 WOODFORD RD LEWISVILLE, NC 27023 434-688-0609 rlomas@rlomasppe.com			

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Luis R. Lomas P.E.
FL No.: 62514

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FOR NUMBER OF ANCHORS REQUIRED SEE CHART #1

FOR NUMBER OF ANCHORS REQUIRED SEE CHART #1

DESIGN PRESSURE RATING	IMPACT RATING
±50.0PSF	NONE

52 1/8" X 75" UNIT SHOWN. OTHER SIZES APPROVED AS LONG AS FRAME AREA DOES NOT EXCEED 27.14" FT²

NOTES:
1. SASH SIZE: 49 1/2" X 37 1/4"
2. D.L.O.: 47 1/2" X 33 3/4"

HARDWARE SCHEDULE	
A.	(2) CAM LOCK, 7" FROM EACH CORNER AT TOP RAIL OF SASH
B.	(2) TLT LATCH AT TOP RAIL OF SASH, AT EACH CORNER
C.	(2) COIL BALANCES AT SASH POCKET OF JAMBS
D.	ALUMINUM REINFORCEMENT (AE-000162) AT MEETING RAIL
E.	ALUMINUM REINFORCEMENT (M-2115) AT LOCK RAIL
F.	ALUMINUM REINFORCEMENT (M-2286) AT STILES

Chart #1									
Number of anchor locations required									
Frame Height (in)	Frame Width (in)								
	24.00	30.00	36.00	42.00	48.00	54.00	60.00	66.00	72.00
24.00	3	3	3	3	3	3	3	3	3
30.00	3	3	3	3	3	3	3	3	3
36.00	4	4	4	4	4	4	4	4	4
42.00	4	4	4	4	4	4	4	4	4
48.00	5	5	5	5	5	5	5	5	5
54.00	5	5	5	5	5	5	5	5	5
60.00	6	6	6	6	6	6	6	6	6
66.00	6	6	6	6	6	6	6	6	6
72.00	7	7	7	7	7	7	7	7	7

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650 WEST MARKET STREET
GRATZ, PA 17030-0370

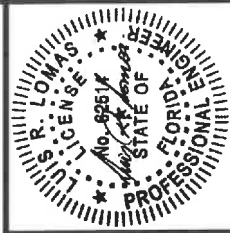
SERIES 1620 SH REINFORCED
NON-IMPACT 52 1/8" X 75"
FINLESS & FLANGE ELEVATIONS

DRAWN: R.L.
SCALE: NTS
DATE: 11/30/16
SHEET: 2 OF 14

REV: C
DWG NO.: 08-02999

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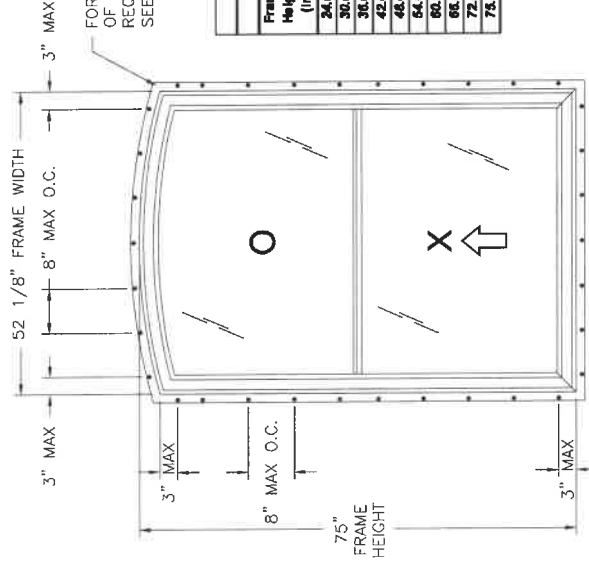
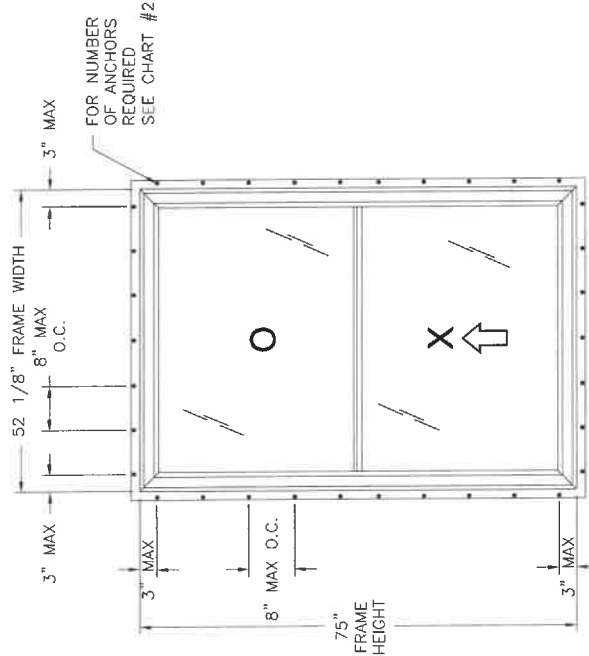


Chart #2

Number of anchor locations required

Frame Height (in)	Frame Width (in)									
	24.00	30.00	36.00	42.00	48.00	54.00	60.00	66.00	72.00	75.00
24.00	4	4	4	4	4	4	4	4	4	4
30.00	4	4	4	4	4	4	4	4	4	4
36.00	4	4	4	4	4	4	4	4	4	4
42.00	4	4	4	4	4	4	4	4	4	4
48.00	4	4	4	4	4	4	4	4	4	4
54.00	4	4	4	4	4	4	4	4	4	4
60.00	4	4	4	4	4	4	4	4	4	4
66.00	4	4	4	4	4	4	4	4	4	4
72.00	4	4	4	4	4	4	4	4	4	4
75.00	4	4	4	4	4	4	4	4	4	4

DESIGN PRESSURE RATING	IMPACT RATING
±50.0PSF	NONE

52 1/8" X 75" UNIT SHOWN. OTHER SIZES APPROVED AS LONG AS FRAME AREA DOES NOT EXCEED 27.14" FT²

- NOTES:
1. MAXIMUM SASH SIZE: 49 1/2" X 37 1/4"
 2. MAXIMUM D.L.O.: 47 1/2" X 33 3/4"

HARDWARE SCHEDULE

A. (2) CAM LOCK, 7" FROM EACH CORNER AT TOP RAIL OF SASH
B. (2) TILT LATCH AT TOP RAIL OF SASH, AT EACH CORNER
C. (2) COIL BALANCES AT SASH POCKET OF JAMBS
D. ALUMINUM REINFORCEMENT (AE-000182) AT MEETING RAIL
E. ALUMINUM REINFORCEMENT (M-2115) AT LOCK RAIL
F. ALUMINUM REINFORCEMENT (M-2286) AT STILES

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650 WEST MARKET STREET
GRATZ, PA 17030-0370

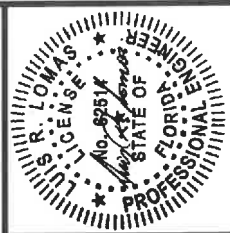
SERIES 1620 SH REINFORCED
NON-IMPACT 52 1/8" X 75"
FIN ELEVATIONS

DRAWN: R.L.
SCALE: NTS

DWG NO. 08-02999
DATE 11/30/16
SHEET 3 OF 14

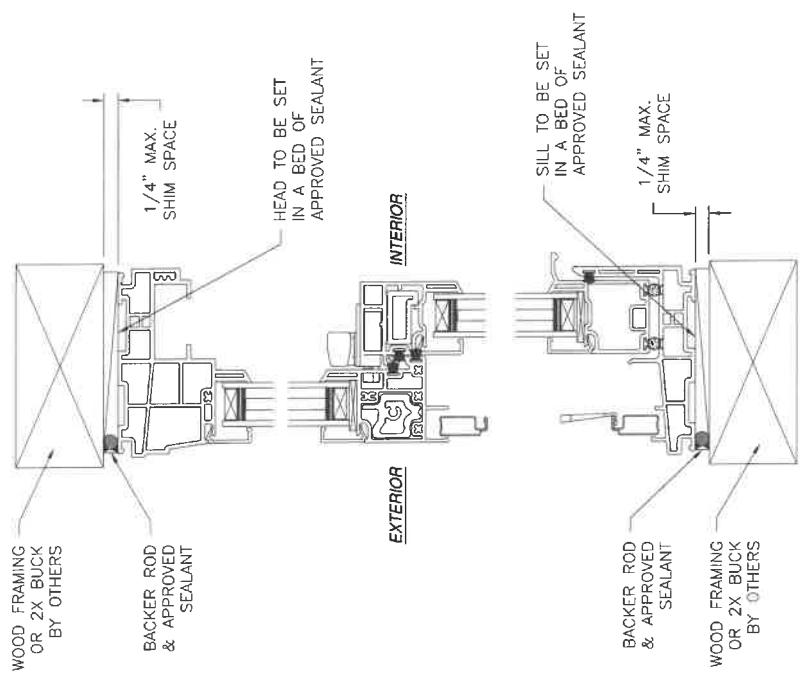
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Luis R. Lomas P.E.
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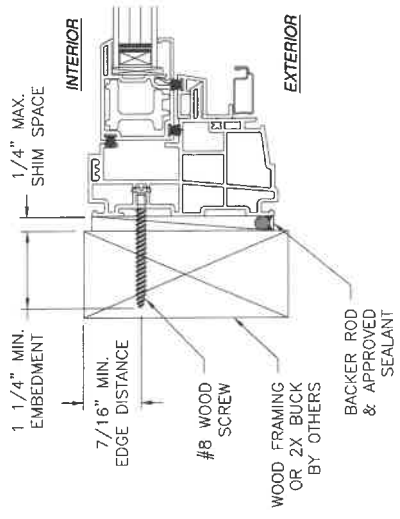


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VERTICAL CROSS SECTION
WOOD FRAMING OR 2X BUCK INSTALLATION

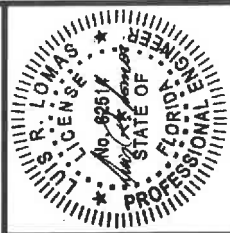


JAMB INSTALLATION DETAIL
WOOD FRAMING OR 2X BUCK INSTALLATION

- NOTES:
1. INTERIOR AND EXTERIOR FINISHES, BY OTHERS, NOT SHOWN FOR CLARITY.
 2. PERIMETER AND JOINT SEALANT BY OTHERS TO BE DESIGNED IN ACCORDANCE WITH ASTM E212

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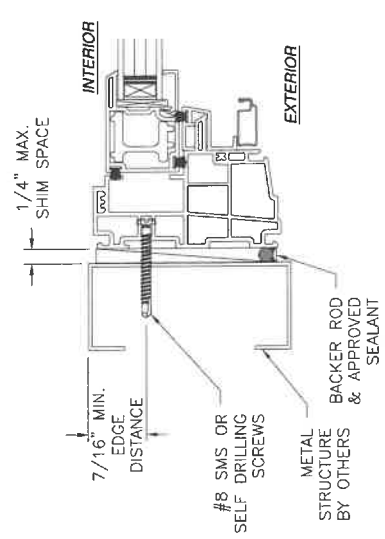
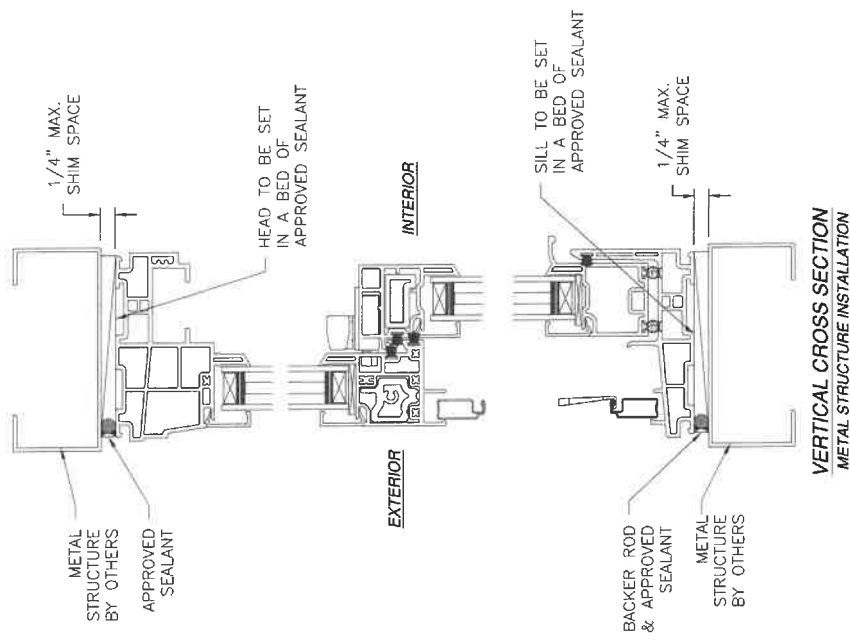
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DRAWN: R.L.	DMC NO. 08-02999 DATE 11/30/16 SCALE NTS
REV C	SHEET 4 OF 14
L. ROBERTO LOMAS P.E. 1432 WOODFORD RD LEWISVILLE, NC 27023 434-688-0609 rloomas@rlomaspe.com	



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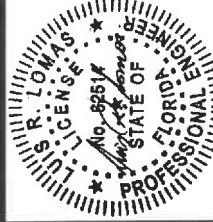
JAMB INSTALLATION DETAIL
METAL STRUCTURE INSTALLATION

VERTICAL CROSS SECTION
METAL STRUCTURE INSTALLATION

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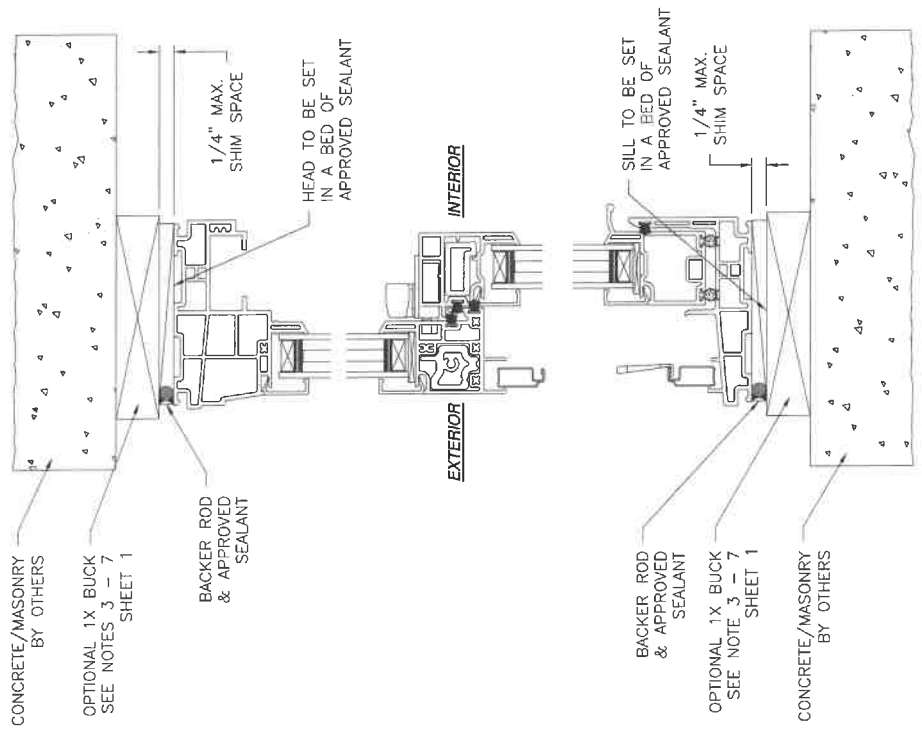
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DRAWN: R.L.	DWG NO. 08-02999
SCALE NTS	DATE 11/30/16
REV C	
SHEET 5 OF 14	
L. ROBERTO LOMAS P.E. 1432 WOODFORD RD LEWISVILLE, NC 27023 434-688-0669 rlomas@homaspe.com	

- NOTES:
1. INTERIOR AND EXTERIOR FINISHES, BY OTHERS, NOT SHOWN FOR CLARITY.
 2. PERIMETER AND JOINT SEALANT BY OTHERS TO BE DESIGNED IN ACCORDANCE WITH ASTM E2112



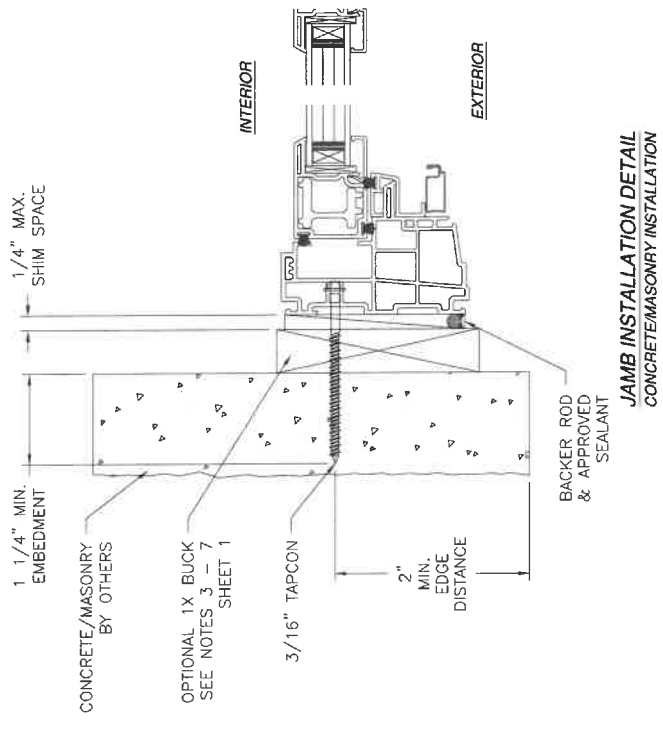
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FL No.: 62514

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VERTICAL CROSS SECTION
CONCRETE/MASONRY INSTALLATION

- NOTES:
1. INTERIOR AND EXTERIOR FINISHES, BY OTHERS, NOT SHOWN FOR CLARITY.
 2. PERIMETER AND JOINT SEALANT BY OTHERS TO BE DESIGNED IN ACCORDANCE WITH ASTM E2112

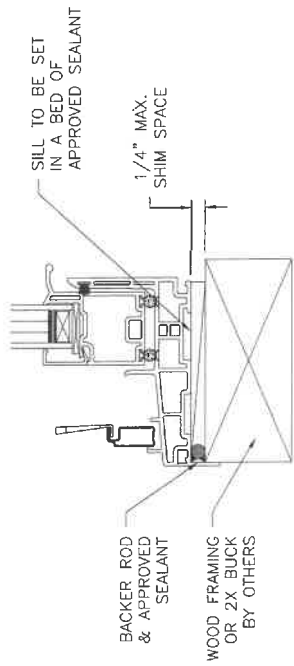
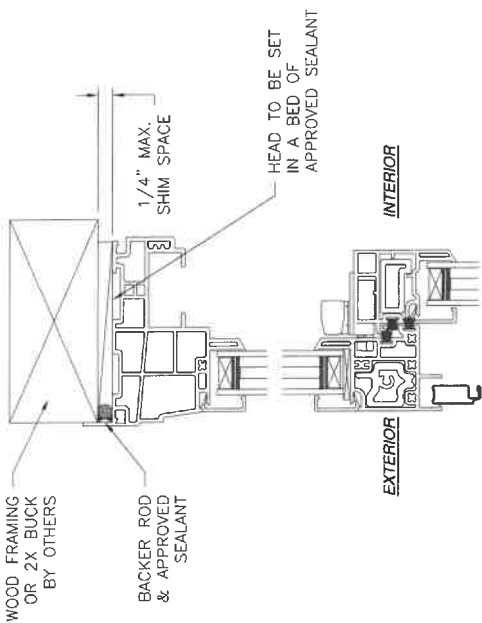


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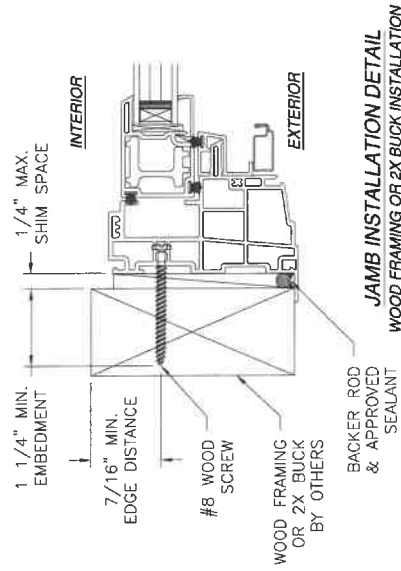
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SERIES 1620 SH REINFORCED NON-IMPACT 52 1/8" X 75" FINLESS INSTALLATION DETAILS		
DWG. NO. 08-02999 L. ROBERTO LOMAS P.E. 1432 WOODFORD RD LEWISVILLE, NC 27023 434-686-0809 rlomas@lomaspa.com		REV C No. 02616 PROFESSIONAL ENGINEER STATE OF FLORIDA Luis R. Lomas P.E. FL No.: 62514

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VERTICAL CROSS SECTION
WOOD FRAMING OR 2X BUCK INSTALLATION



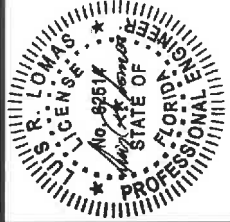
JAMB INSTALLATION DETAIL
WOOD FRAMING OR 2X BUCK INSTALLATION

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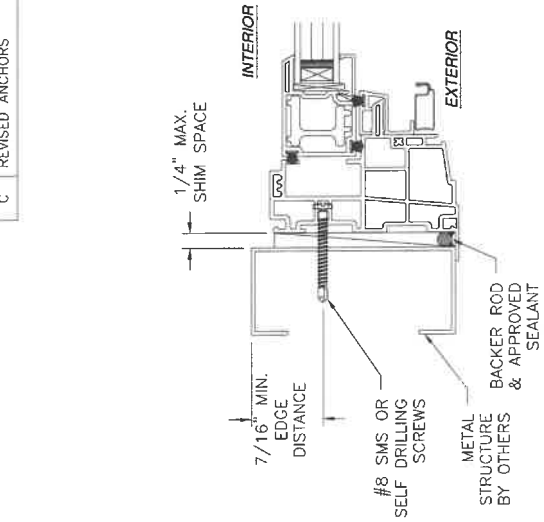
MI WINDOWS & DOORS, LLC. 650 WEST MARKET STREET GRATZ, PA 17030-0370		LUIS R. LOMAS P.E. 1432 WOODFORD RD LEWISVILLE, NC 27023 434-688-0609 rlomas@miwindowspe.com
SERIES 1620 SH REINFORCED NON-IMPACT 52 1/8" X 75" FLANGE INSTALLATION DETAILS	DWG NO. 08-02999 DATE 11/30/16 SHEET 7 OF 14	

Luis R. Lomas P.E.
 FL No.: 62514

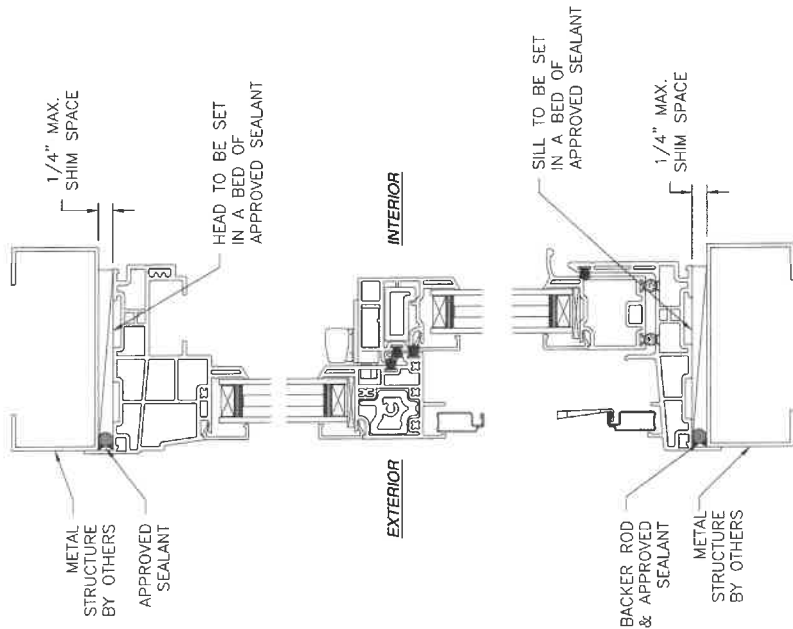
- NOTES:
- INTERIOR AND EXTERIOR FINISHES, BY OTHERS, NOT SHOWN FOR CLARITY.
 - PERIMETER AND JOINT SEALANT BY OTHERS TO BE DESIGNED IN ACCORDANCE WITH ASTM E2112



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C	REVISED ANCHORS	03/17/2021	R.L.



JAMB INSTALLATION DETAIL
METAL STRUCTURE INSTALLATION

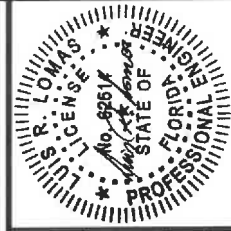


VERTICAL CROSS SECTION
METAL STRUCTURE INSTALLATION

- NOTES:
1. INTERIOR AND EXTERIOR FINISHES, BY OTHERS, NOT SHOWN FOR CLARITY.
 2. PERIMETER AND JOINT SEALANT BY OTHERS TO BE DESIGNED IN ACCORDANCE WITH ASTM E2112

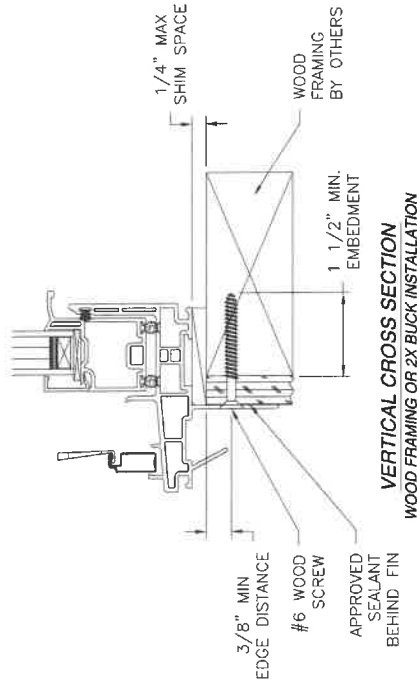
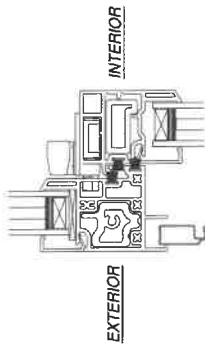
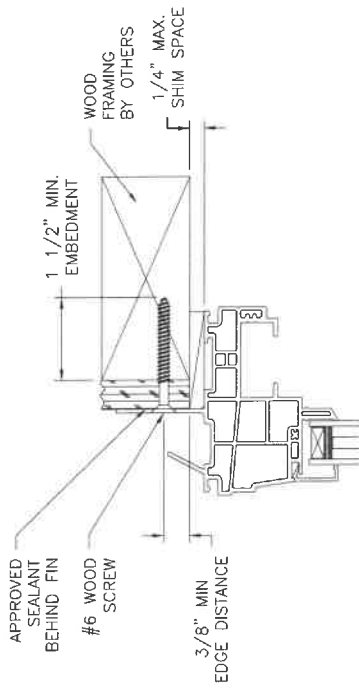
SIGNED: 07/22/2021

M1 WINDOWS & DOORS, LLC. 650 WEST MARKET STREET GRATZ, PA 17030-0370		L. ROBERTO LOMAS P.E. 1432 WOODFORD RD LEWISVILLE, NC 27023 434-888-9609 rlomas@homespe.com	
SERIES 1620 SH REINFORCED NON-IMPACT 52 1/8" X 75" FLANGE INSTALLATION DETAILS		DRAWN: R.L.	
DWC NO. 08-02999		REV C	
SCALE NTS		DATE 11/30/16	
		SHEET 8 OF 14	

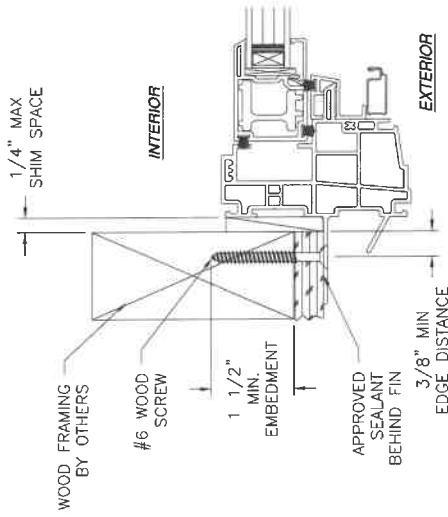


Luis R. Lomas P.E.
FL No.: 62514

REVISIONS			
REV	DESCRIPTION	DATE	APPROVED
C	REVISED ANCHORS	03/17/2021	R.L.



VERTICAL CROSS SECTION
WOOD FRAMING OR 2X BUCK INSTALLATION



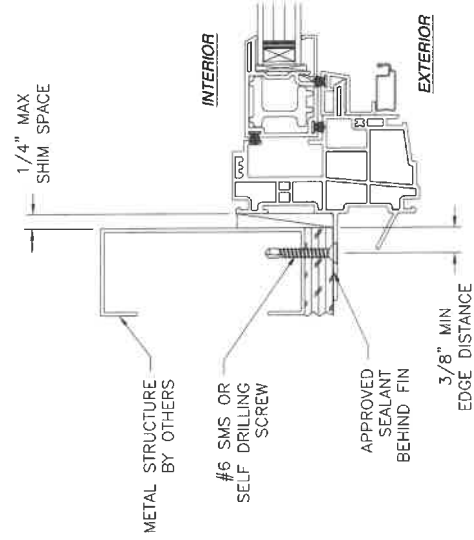
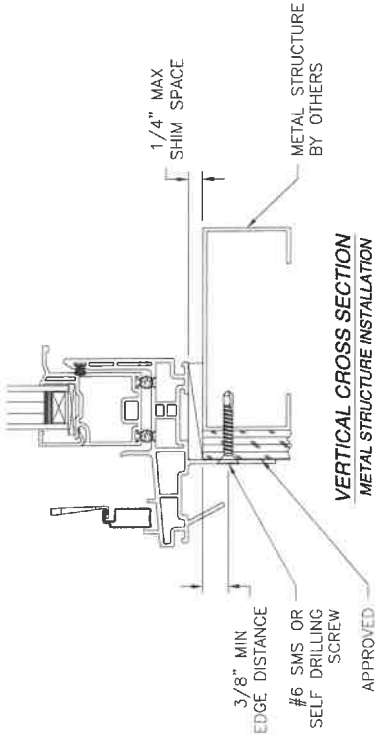
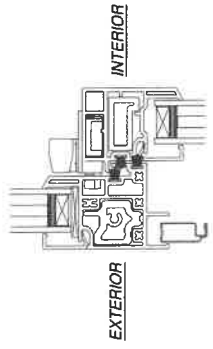
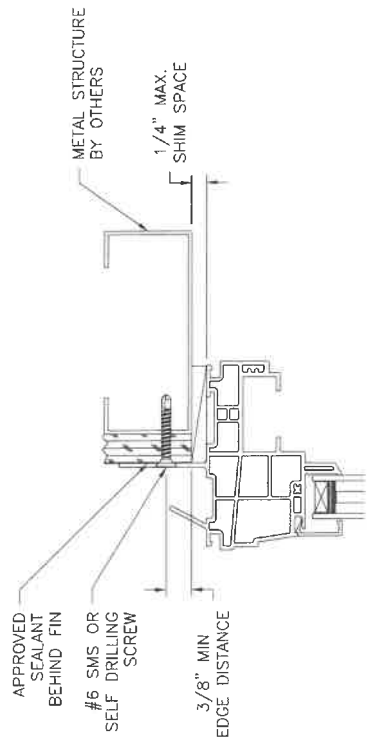
JAMB INSTALLATION DETAIL
WOOD FRAMING OR 2X BUCK INSTALLATION

SIGNED: 07/22/2021

MI WINDOWS & DOORS, LLC. 650 WEST MARKET STREET GRATZ, PA 17030-0370		LUIS R. LOMAS No. 89514 PROFESSIONAL ENGINEER STATE OF FLORIDA	
SERIES 1620 SH REINFORCED NON-IMPACT 52 1/8" X 75" FIN WITH J CHANNEL INSTALLATION DETAILS		LUIS R. LOMAS P.E. 1432 WOODFORD RD LEWISVILLE, NC 27023 434-688-0669 rlomas@rlomaspe.com	
DRAWN: R.L.	DWG NO. 08-02999	DATE 11/30/16	REV C
SCALE NTS	SHEET 10 OF 14		

- NOTES:
1. INTERIOR AND EXTERIOR FINISHES, BY OTHERS, NOT SHOWN FOR CLARITY.
 2. PERIMETER AND JOINT SEALANT BY OTHERS TO BE DESIGNED IN ACCORDANCE WITH ASTM E2112

REVISIONS			
REV	DESCRIPTION	DATE	APPROVED
C	REVISED ANCHORS	03/17/2021	R.L.



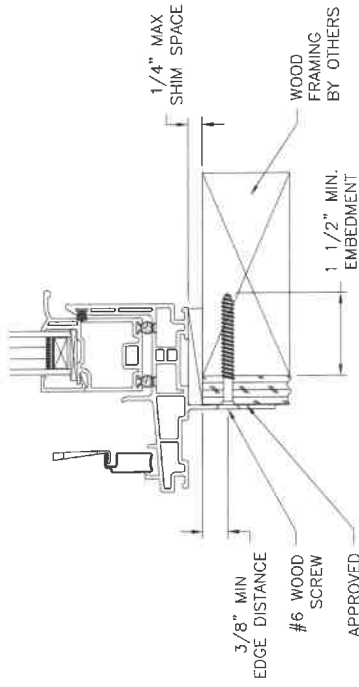
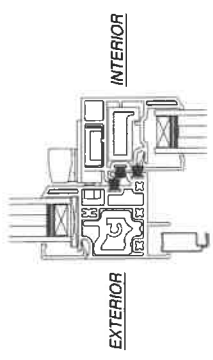
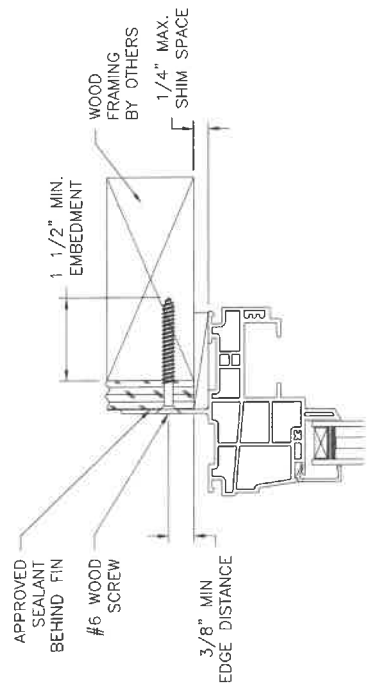
JAMB INSTALLATION DETAIL
METAL STRUCTURE INSTALLATION

SIGNED: 07/22/2021

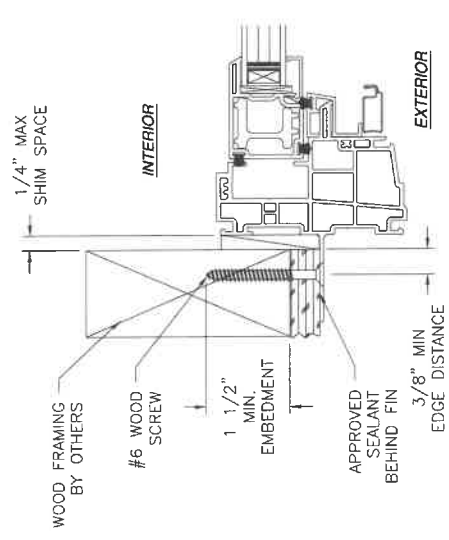
MI WINDOWS & DOORS, LLC. 650 WEST MARKET STREET GRATZ, PA 17030-0370		
SERIES 1620 SH REINFORCED NON-IMPACT 52 1/8" X 75" FIN WITH J CHANNEL INSTALLATION DETAILS		
DRAWN: R.L. SCALE: NTS	DWG. NO.: 08-02999 DATE: 11/30/16 SHEET: 11 OF 14	REV: C
L. ROBERTO LOMAS P.E. 1432 WOODFORD RD LEWISVILLE, NC 27023 434-688-0609 rlomas@mlomasps.com		

- NOTES:
1. INTERIOR AND EXTERIOR FINISHES, BY OTHERS, NOT SHOWN FOR CLARITY.
 2. PERIMETER AND JOINT SEALANT BY OTHERS TO BE DESIGNED IN ACCORDANCE WITH ASTM E2112

REVISIONS			
REV	DESCRIPTION	DATE	APPROVED
C	REVISED ANCHORS	03/17/2021	R.L.



VERTICAL CROSS SECTION
WOOD FRAMING OR 2X BUCK INSTALLATION



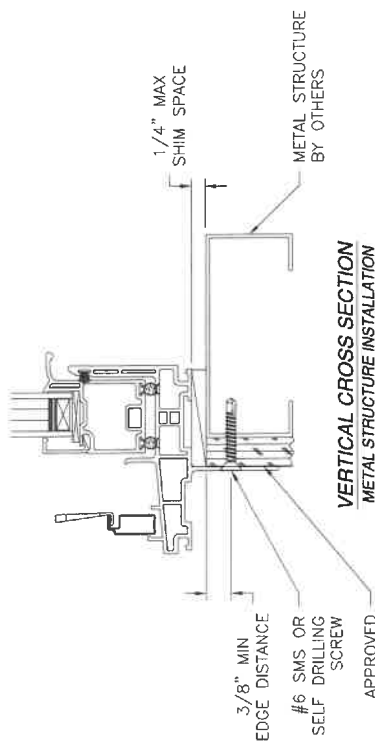
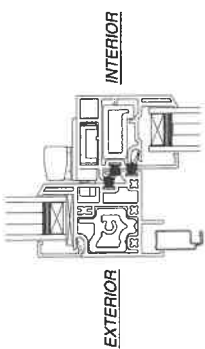
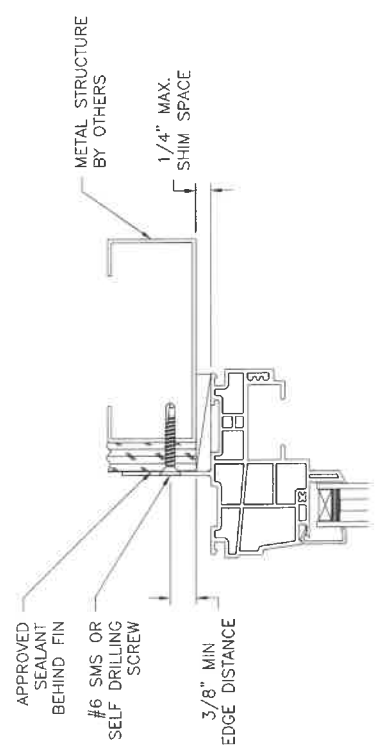
JAMB INSTALLATION DETAIL
WOOD FRAMING OR 2X BUCK INSTALLATION

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 2. PERIMETER AND JOINT SEALANT BY OTHERS TO BE DESIGNED IN ACCORDANCE WITH ASTM E2112

SIGNED: 07/22/2021

MI WINDOWS & DOORS, LLC. 650 WEST MARKET STREET GRATZ, PA 17030-0370			Luis R. Lomas P.E. FL No.: 62514
SERIES 1620 SH REINFORCED NON-IMPACT 52 1/8" X 75" FIN INSTALLATION DETAILS			
DRAWN: R.L.	DWG NO. 08-02999	REV C	
SCALE NTS	DATE 11/30/16	SHEET 12 OF 14	
L. ROBERTO LOMAS P.E. 1432 WOODFORD RD LEWISVILLE, NC 27023 434-688-0609 rloromas@miwindows.com			

REVISIONS			
REV	DESCRIPTION	DATE	APPROVED
C	REVISED ANCHORS	03/17/2021	R.L.



JAMB INSTALLATION DETAIL
METAL STRUCTURE INSTALLATION

SIGNED: 07/22/2021

MI WINDOWS & DOORS, LLC. 650 WEST MARKET STREET GRATZ, PA 17030-0370		PROFESSIONAL ENGINEER LUIS R. LOMAS LICENSE NO. 82514 STATE OF FLORIDA	
DRAWN: R.L.	DWG NO. 08-02999	REV C	SCALE NTS
DATE 11/30/16	SHEET 13 OF 14	L. ROBERTO LOMAS P.E. 1432 WOODFORD RD LEWISVILLE, NC 27023 434-888-0609 rlomas@miwindows.com	

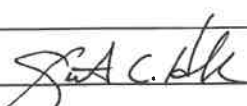
- NOTES:
- INTERIOR AND EXTERIOR FINISHES, BY OTHERS, NOT SHOWN FOR CLARITY.
 - PERIMETER AND JOINT SEALANT BY OTHERS TO BE DESIGNED IN ACCORDANCE WITH ASTM E2112

PRODUCT APPROVAL SPECIFICATION SHEET

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and approval numbers on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. Statewide approved products are listed online at www.floridabuilding.org.

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
1. EXTERIOR DOORS			
A. SWINGING			
B. SLIDING			
C. SECTIONAL/ROLL UP			
D. OTHER			
2. WINDOWS			
A. SINGLE/DOUBLE HUNG	MI	1620	21637.4
B. HORIZONTAL SLIDER			
C. CASEMENT			
D. FIXED			
E. MULLION			
F. SKYLIGHTS			
G. OTHER			
3. PANEL WALL			
A. SIDING			
B. SOFFITS			
C. STOREFRONTS			
D. GLASS BLOCK			
E. OTHER			
4. ROOFING PRODUCTS			
A. ASPHALT SHINGLES			
B. NON-STRUCT METAL			
C. ROOFING TILES			
D. SINGLE PLY ROOF			
E. OTHER			
5. STRUCT COMPONENTS			
A. WOOD CONNECTORS			
B. WOOD ANCHORS			
C. TRUSS PLATES			
D. INSULATION FORMS			
E. LINTELS			
F. OTHERS			
6. NEW EXTERIOR			
A. ENVELOPE PRODUCTS			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; (1) copy of the product approval (2) performance characteristics which the product was tested and certified to comply with (3) copy of the applicable manufacturer's installation requirements. Further, I understand these products may have to be removed if approval cannot be demonstrated during inspection.


 APPLICANT SIGNATURE

1/28/25
 DATE

Rev 8/22









