



GROWTH MANAGEMENT
 205 North Marion Ave.
 Lake City, FL 32055
 Telephone: (386)719-5750
 E-Mail:
 growthmanagement@lcfla.com

FOR PLANNING USE ONLY
 Application # 22 SPR 25-01
 Application Fee \$200.00
 Receipt No. _____
 Filing Date 11/18/24
 Completeness Date 11/18/24

Site Plan Application

A. PROJECT INFORMATION

1. Project Name: Take 5 - Lake City
2. Address of Subject Property: 2194 W US 90, Lake City, FL 32055 (36-3S-16-02631-0000 (10740))
3. Parcel ID Number(s): 36-3S-16-02631-0000 (10740)
4. Future Land Use Map Designation: Commercial "C" is requested
5. Zoning Designation: Commercial Intensive ("CI") is requested
6. Acreage: .58 acres
7. Existing Use of Property: Retail Commercial
8. Proposed use of Property: Motor Vehicle (Oil Change)
9. Type of Development (Check All That Apply):
 - Increase of floor area to an existing structure: Total increase of square footage _____
 - New construction: Total square footage 1,708 sq. ft.
 - Relocation of an existing structure: Total square footage _____

B. APPLICANT INFORMATION

1. Applicant Status Owner (title holder) Agent
2. Name of Applicant(s): Charles Millar Title: Senior Project Manager
 Company name (if applicable): Atwell
 Mailing Address: 11770 US Highway 1 Suite 404 East
 City: Palm Beach Gardens State: FL Zip: 33408
 Telephone: (772) 486-1977 Fax: () Email: cmillar@atwell.com

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

3. If the applicant is agent for the property owner*:
 - Property Owner Name (title holder): VYP, LLC
 - Mailing Address: 794 SW Mandibi Dr.
 - City: Lake City State: FL Zip: 32024
 - Telephone: () See Agent Fax: () Email: See Agent
4. Mortgage or Lender Information: Yes No
 Name of Mortgage or Lender: N/A
 Contact Name: _____ Telephone Number: _____
 E-Mail Address: _____

If property has a mortgage or lender, the mortgage or lender shall be required to provide a release for this application to proceed.

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

*Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.

C. ADDITIONAL INFORMATION

1. Is there any additional contract for the sale of, or options to purchase, the subject property?
If yes, list the names of all parties involved: Take 5
If yes, is the contract/option contingent or absolute: Contingent Absolute
2. Has a previous application been made on all or part of the subject property? Yes No
3. Future Land Use Map Amendment: Yes In Process No
Future Land Use Map Amendment Application No. In Process
Site Specific Amendment to the Official Zoning Atlas (Rezoning): Yes No
Site-Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. _____
Variance: Yes _____ No
Variance Application No. _____
Special Exception: Yes _____ No
Special Exception Application No. _____

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

- ✓ **Vicinity Map** – Indicating general location of the site, abutting streets, existing utilities, complete legal description of the property in question, and adjacent land use.
- ✓ **Site Plan** – Including, but not limited to the following:
 - a. Name, location, owner, and designer of the proposed development.
 - b. Present zoning for subject site.
 - c. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties and any screening or buffers on such properties.
 - d. Date, north arrow, and graphic scale not less than one inch equal to 50 feet.
 - e. Area and dimensions of site (Survey).
 - f. Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.
 - g. Access to utilities and points of utility hook-up.
 - h. Location and dimensions of all existing and proposed parking areas and loading areas.
 - i. Location, size, and design of proposed landscaped areas (including existing trees and required landscaped buffer areas).
 - j. Location and size of any lakes, ponds, canals, or other waters and waterways.
 - k. Structures and major features fully dimensioned including setbacks, distances between structures, floor area, width of driveways, parking spaces, property or lot lines; and percent of property covered by structures.
 - l. Location of trash receptacles.
 - m. For multiple-family, hotel, motel, and mobile home park site plans:
 - i. Tabulation of gross acreage.
 - ii. Tabulation of density.
 - iii. Number of dwelling units proposed.
 - iv. Location and percent of total open space and recreation areas.
 - v. Percent of lot covered by buildings.

- vi. Floor area of dwelling units.
- vii. Number of proposed parking spaces.
- viii. Street layout.
- ix. Layout of mobile home stands (for mobile home parks only).

- ✓ **Stormwater Management Plan**—Including the following:
 - a. Existing contours at one-foot intervals based on U.S. Coast and Geodetic Datum.
 - b. Proposed finished elevation of each building site and first floor level.
 - c. Existing and proposed stormwater management facilities with size and grades.
 - d. Proposed orderly disposal of surface water runoff.
 - e. Centerline elevations along adjacent streets.
 - f. Water management district surface water management permit.
- 4. **Fire Department Access and Water Supply Plan:** The Fire Department Access and Water Supply Plan must demonstrate compliance with Chapter 18 of the Florida Fire Prevention Code, be located on a separate signed and sealed plan sheet, and must be prepared by a professional fire engineer licensed in the State of Florida. The Fire Department Access and Water Supply Plan must contain fire flow calculations in accordance with the Guide for Determination of Required Fire Flow, latest edition, as published by the Insurance Service Office ("ISO") and/or Chapter 18, Section 18.4 of the Florida Fire Prevention Code, whichever is greater.
- 5. **Mobility Plan:** Mobility plan shall include accessibility plan for ADA compliance, safe and convenient onsite traffic flow, and accessibility plan for bicycle and pedestrian safety. The City shall require additional right of way width for bicycle and pedestrian ways to be provided for all proposed collector and arterial roadways, as integrated or parallel transportation facilities per Policy II.1.4 of the Comprehensive Plan.
- ✓ **Concurrency Impact Analysis:** Concurrency Impact Analysis of impacts to public facilities. For commercial and industrial developments, an analysis of the impacts to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts are required.
- ✓ **Comprehensive Plan Consistency Analysis:** An analysis of the application's consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies).
- ✓ **Legal Description with Tax Parcel Number** (In Word Format).
- ✓ **Proof of Ownership** (i.e. deed).
- 10. **Agent Authorization Form** (signed and notarized).
- 11. **Proof of Payment of Taxes** (can be obtained online via the Columbia County Tax Collector's City of Lake City – Growth Management Department
205 North Marion Ave, Lake City, FL 32055 ♦ (386) 719-5750

Office).

- ✓ 12. **Fee:** The application fee for a Site and Development Plan Application is \$200.00. No application shall be accepted or processed until the required application fee has been paid
13. **Notices:** All property owners within three hundred (300) feet must be notified by certified mail by the proponent and proof of the receipt of these notices must be submitted as part of the application package submittal.
The Growth Management Department shall supply the name and addresses of the property owners, The notification letters, and the envelopes to the proponent.

ACKNOWLEDGEMENT, SIGNATURES, AND NOTARY ON FOLLOWING PAGE

NOTICE TO APPLICANT

All eleven (13) attachments listed above are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

A total of eight (2) copies of proposed site plan application and all support materials must be submitted along with a PDF copy on a CD. See City of Lake City submittal guidelines for additional submittal requirements.

THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES, OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

Charles Millar

Applicant/Agent Name (Type or Print)

Applicant/Agent Signature

8/24

Date

Applicant/Agent Name (Type or Print)

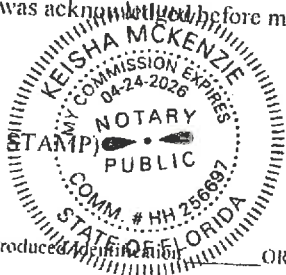
Applicant/Agent Signature

Date

STATE OF FLORIDA
COUNTY OF St. Johns

The foregoing instrument was acknowledged before me this 5 day of Sept, 2024 by (name of person acknowledging).

(NOTARY SEAL or STAMP)



Keisha McKenzie
Signature of Notary

Keisha McKenzie
Printed Name of Notary

Personally, Known OR Produced OR verified on-line virtually

Type of Identification Produced



TAKE 5 EXPRESS OIL CHANGE

2194 W US HWY 90
LAKE CITY, COLUMBIA COUNTY, FLORIDA
TAX PARCEL: 363S1602631000

CONSTRUCTION DOCUMENTS

DEVELOPMENT TEAM

OWNER / DEVELOPER

DRIVEN BRANDS
440 SOUTH CHURCH STREET, SUITE 700
CHARLOTTE, NC 28202
PHONE: (281) 683-9283
CONTACT: PAUL MASCOLA

DRIVEN BRANDS

440 SOUTH CHURCH STREET, SUITE 700
CHARLOTTE, NC 28202
PHONE: (281) 683-9283
CONTACT: PAUL MASCOLA

CIVIL ENGINEER

ATWELL, LLC
111 NORTH MAGNOLIA AVENUE, SUITE 1300
ORLANDO, FL 32801
PHONE: (407) 743-3524
CONTACT: KEITH S. HANCOCK, PE

ARCHITECT

SUNSHINE BERSON
2000 W. UNIVERSITY AVENUE
BLUE BELL, PA 19222
PHONE: (215) 641-4830
CONTACT: MARIAN PAPERONE

GOVERNING AGENCIES & UTILITY CONTACTS

ZONING / PLANNING

CITY OF LAKE CITY
201 N. MARION AVE
LAKE CITY, FL 32025
PHONE: (386) 752-2031

WATER

LAKE CITY UTILITIES
692 SW ST. MARGARET'S STREET
LAKE CITY, FL 32025
PHONE: (386) 718-8812
EMAIL: DyerP@luc.com

SURVEYOR

ATWELL SURVEYING
640 BELMONT AVENUE, SUITE 1100
CASSELBERRY, FL 32709
PHONE: (407) 972-2200
CONTACT: JAMES D. BRAV

LANDSCAPE

ATWELL, LLC
111 NORTH MAGNOLIA AVENUE, SUITE 1300
ORLANDO, FL 32801
PHONE: (407) 743-3524
CONTACT: BLAKE ENLANDSON

ELECTRIC

FLORIDA POWER & LIGHT (FPL)
2816 NE BASCOM NORRIS DRIVE
LAKE CITY, FL 32025
PHONE: (386) 718-8812
CONTACT: WILLIAM GIESBERS
EMAIL: William.Giesbers@fpl.com

SANITARY SEWER

LAKE CITY UTILITIES
692 SW ST. MARGARET'S STREET
LAKE CITY, FL 32025
PHONE: (386) 718-8812
EMAIL: DyerP@luc.com

STORM DRAINAGE

SUNSHINE RIVER WATER MANAGEMENT DISTRICT
3225 COUNTY ROAD 40
LAKE CITY, FL 32020
PHONE: (386) 982-0438
CONTACT: RICHARD BRUNGER
EMAIL: General.Serv@srwm.org

SOLID WASTE MANAGEMENT

COLUMBIA COUNTY WASTE MANAGEMENT
1347 NW COASTERHOUT LANE
LAKE CITY, FL 32025
PHONE: (386) 752-2029
CONTACT: PAUL DAVIS
EMAIL: Paul_Davis@columbiacountyfla.com

GAS

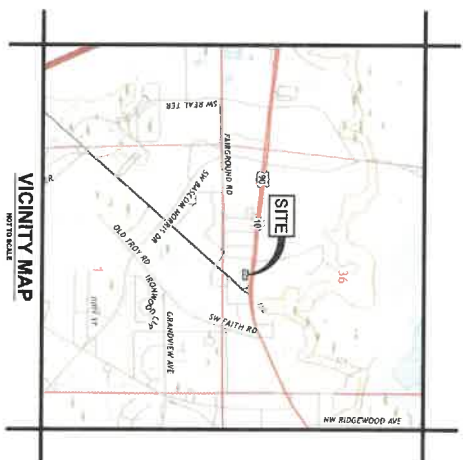
LAKE CITY UTILITIES
692 SW ST. MARGARET'S STREET
LAKE CITY, FL 32025
PHONE: (386) 718-8812
EMAIL: DyerP@luc.com

TELEPHONE

AT & T
1000 W. UNIVERSITY AVENUE
ORLANDO, FL 32801
PHONE: (352) 213-4188
EMAIL: SP9108@att.com

SHEET INDEX

C001	COVER SHEET
C002	GENERAL CONSTRUCTION NOTES
C003	SWPPP NOTES AND DETAILS
C000	EXISTING CONDITIONS PLAN
C000	DEMOLITION PLAN
C100	SITE PLAN
C200	SHADING & DRAINAGE PLAN
C300	UTILITY PLAN
C310	UTILITY ENLARGEMENTS PLAN
C400	EROSION CONTROL & SEDIMENTATION
C510	SITE PAVING DETAILS
C520	DETAILS
C521	DETAILS
C522	DETAILS

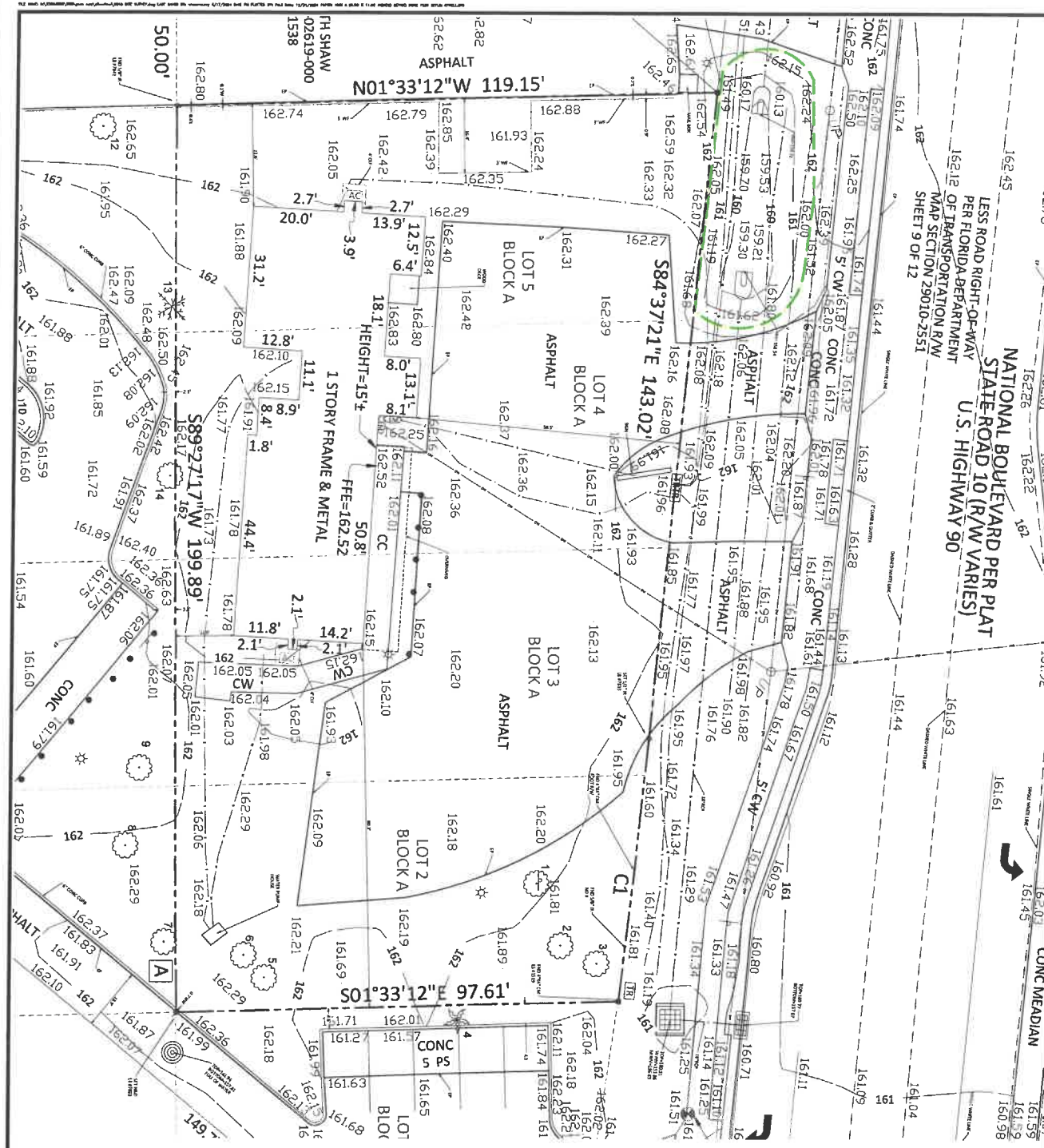


ATWELL
6800 S.W. 11th Street, Suite 1150
Orlando, FL 32835
(407) 743-3524
www.atwell.com

SECTION 36, TWP 03, RANGE 16E
2194 W US HWY 90
LAKE CITY
COLUMBIA COUNTY, FLORIDA

TAKE 5 EXPRESS OIL CHANGE
DRIVEN BRANDS
CONSTRUCTION DOCUMENTS
COVER SHEET

DATE: 06/06/2024
SCALE: AS SHOWN
PROJECT: TAKE 5 EXPRESS OIL CHANGE
SHEET: C001



- GENERAL NOTES:**
- The owner has provided the following information for the project:
 - Site plan showing lots 1 through 5, asphalt areas, and various dimensions.
 - Key features include a 1-story frame and metal structure with a height of 15 feet and an FFE of 162.52.
 - Dimensions include bearings like N01°33'12" W 119.15' and S01°33'12" E 97.61'.

TAKE 5 EXPRESS OIL CHANGE DRIVEN BRANDS CONSTRUCTION DOCUMENTS EXISTING CONDITIONS PLAN	SECTION 36, TWP 03, RANGE 16E	ATWELL 111 N. W. MAGNOLIA AVENUE, SUITE 100 OPALETTA, FLORIDA 32065 904.866.7900 www.atwell.com
	2194 W US HWY 90	
	LAKE CITY	

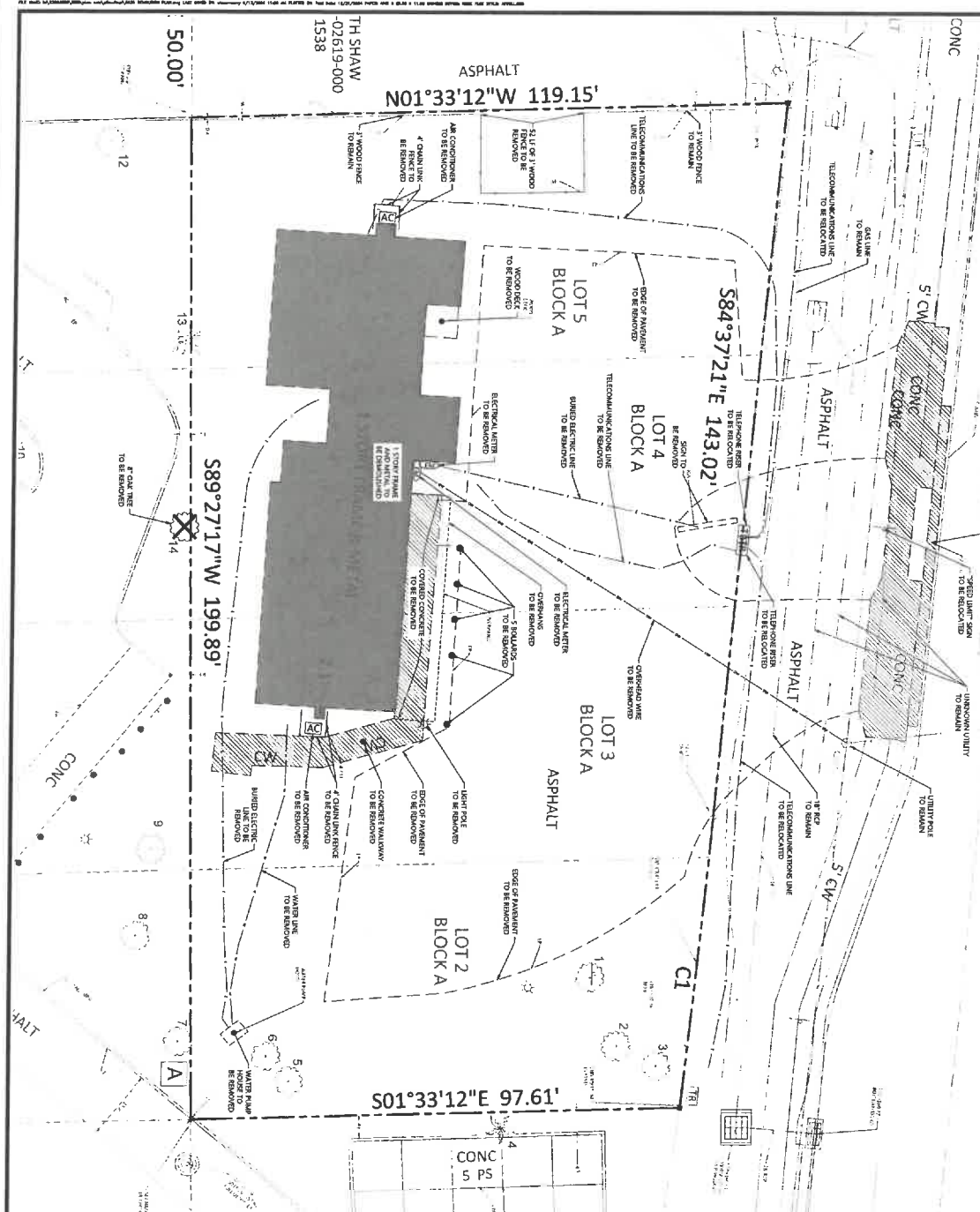
COLUMBIA COUNTY, FLORIDA

DATE: 06/06/2024

PROJECT NO: C010

NATIONAL BOULEVARD PER PLAT
 STATE ROAD 10 (R/W VARIES)
 U.S. HIGHWAY 90

LESS ROAD RIGHT-OF-WAY
 PER FLORIDA DEPARTMENT
 OF TRANSPORTATION R/W
 MAP SECTION 29010-2551
 SHEET 9 OF 12



NOTE:
 CONTRACTOR TO DISPOSE OF ALL CLEARED AND DEMOLISHED MATERIAL OFF-SITE.

CONC MEADIAN

DEMOLITION AND UTILITY ADJUSTMENT NOTES:

1. DEMOLITION SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF LAKE CITY, FLORIDA, ORDINANCE 2011-01, WHICH IS INCORPORATED BY REFERENCE INTO THESE CONTRACT DOCUMENTS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF LAKE CITY, FLORIDA, AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) PRIOR TO THE START OF DEMOLITION WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF LAKE CITY, FLORIDA, AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) PRIOR TO THE START OF DEMOLITION WORK.
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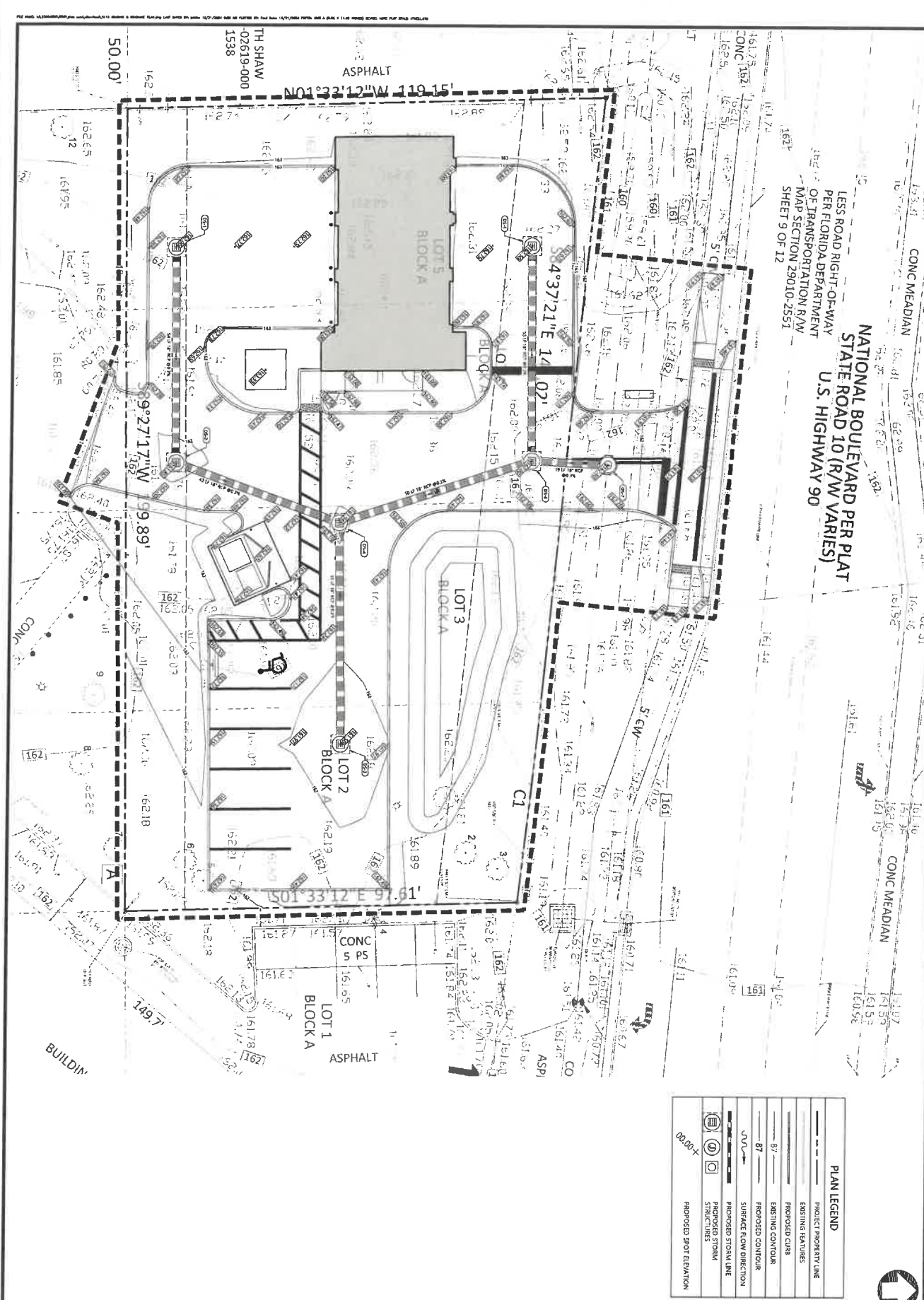
PERMITS:

1. DEMOLITION PERMIT FROM THE CITY OF LAKE CITY, FLORIDA.
2. PERMIT TO OCCUPY PUBLIC RIGHT-OF-WAY FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT).
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7. PERMIT TO OCCUPY PUBLIC RIGHT-OF-WAY FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT).

PLAN LEGEND

	ROAD RIGHT-OF-WAY LINE
	EXISTING FEATURES
	DEMOLITION FEATURES
	LIMITS OF CONSTRUCTION
	BUILDING FOUNDATION TO BE DEMOLISHED
	ASPHALT TO BE DEMOLISHED
	CONCRETE TO BE DEMOLISHED
	EXTENSION WALLS TO BE DEMOLISHED
	TREE TO BE REMOVED
	INLET PROTECTION
	SILT FENCE
	CONSTRUCTION FENCE WITH SCREEN
	TREE TO BE PROTECTED

	TAKE 5 EXPRESS OIL CHANGE DRIVEN BRANDS CONSTRUCTION DOCUMENTS DEMOLITION PLAN	SECTION 36, TWP 03, RANGE 16E 2194 W US HWY 90 LAKE CITY COLUMBIA COUNTY, FLORIDA	<p>888.850.4200 www.atwell.com 111 N N W 13th St, Suite 1250 Lake City, FL 32057 904.763.2924 904.763.2925</p>
	TAKE 5 EXPRESS OIL CHANGE DRIVEN BRANDS CONSTRUCTION DOCUMENTS DEMOLITION PLAN	SECTION 36, TWP 03, RANGE 16E 2194 W US HWY 90 LAKE CITY COLUMBIA COUNTY, FLORIDA	
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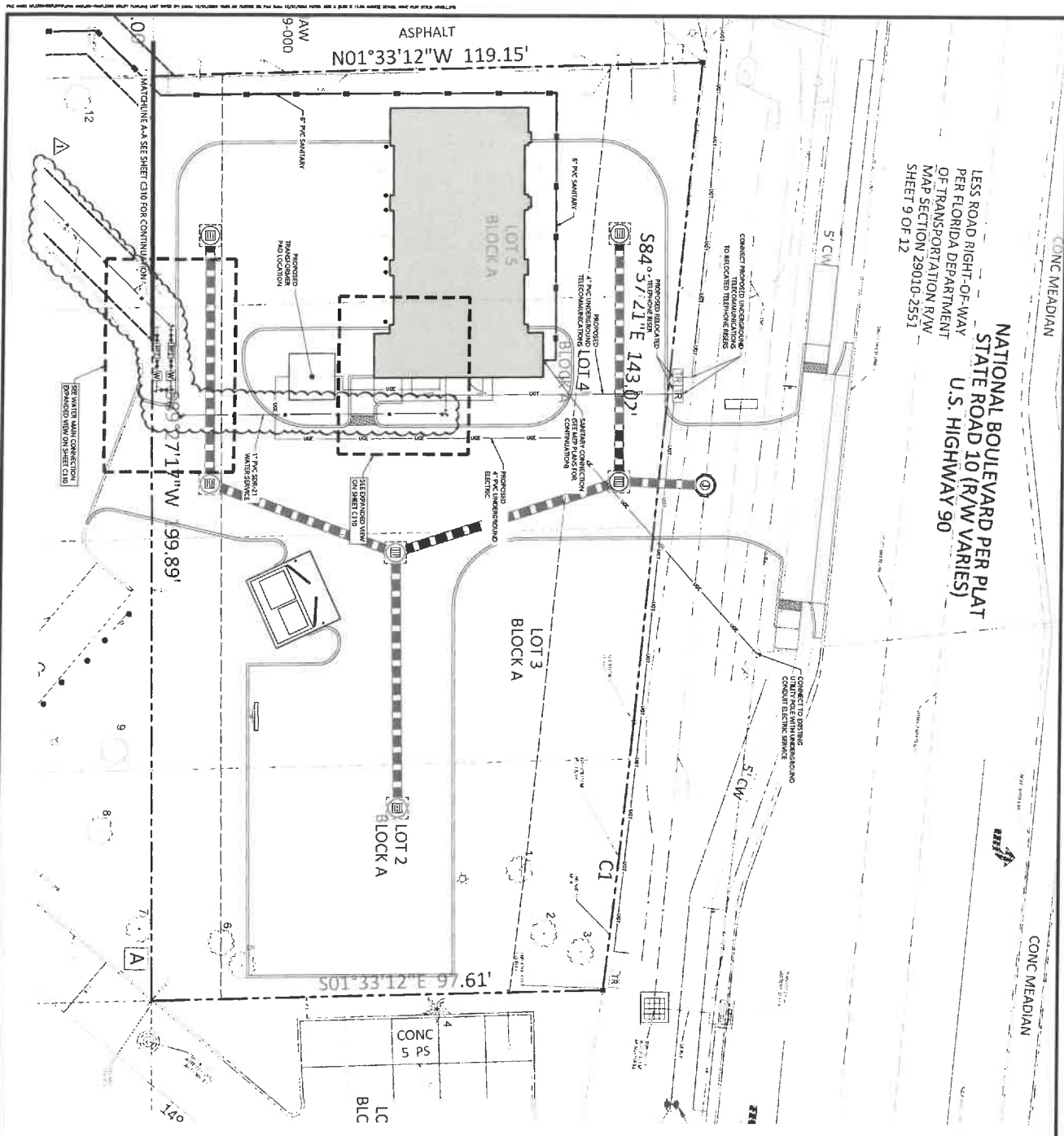


NATIONAL BOULEVARD PER PLAT
 STATE ROAD 10 (R/W VARIES)
 U.S. HIGHWAY 90
 LESS ROAD RIGHT-OF-WAY
 PER FLORIDA DEPARTMENT
 OF TRANSPORTATION R/W
 MAP SECTION 29010-2551
 SHEET 9 OF 12

PLAN LEGEND	
	PROJECT PROPERTY LINE
	EXISTING FEATURES
	PROPOSED CURB
	EXISTING CONTOUR
	PROPOSED CONTOUR
	SURFACE FLOW DIRECTION
	PROPOSED STORM LINE
	PROPOSED STORM STRUCTURES
	PROPOSED SPOT ELEVATION

	TAKE 5 EXPRESS OIL CHANGE DRIVEN BRANDS CONSTRUCTION DOCUMENTS GRADING & DRAINAGE PLAN	SECTION 36, TWP 03, RANGE 16E 2194 W US HWY 90 LAKE CITY COLUMBIA COUNTY, FLORIDA	 ATWELL 888.850.4200 www.atwell.com 111 N. MADISON AVENUE, SUITE 1350 ORLANDO, FL 32801 407.743.2624 0048 29901	
	DATE: 04/04/2024 DRAWN BY: [Name] CHECKED BY: [Name] PROJECT NUMBER: [Number] SHEET NUMBER: C200	24 HOUR OPERATIONAL SERVICE		
	NOT ISSUED FOR CONSTRUCTION CAD FILE: C:\W\DWG\B\DRM\GR PLAN	03/00+		

NATIONAL BOULEVARD PER PLAT
 STATE ROAD 10 (R/W VARIES)
 U.S. HIGHWAY 90
 LESS ROAD RIGHT-OF-WAY
 PER FLORIDA DEPARTMENT
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 SHEET 9 OF 12



NOTES

1. ALL DIMENSIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 UNLESS NOTED OTHERWISE.
2. CONTRACTOR SHALL VERIFY EXISTENCE OF RECORD WITH DIMENSIONS SHOWN DRAWING FROM TO FABRICATION OF ANY STRUCTURE.
3. THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY AND ARE BASED ON FIELD OBSERVATION AND / OR AVAILABLE PLANS. THE EXACT LOCATION MAY VARY FROM SHOWN HEREON. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES SHOWN HEREON BY FIELD OBSERVATION AND / OR AVAILABLE PLANS. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES SHOWN HEREON BY FIELD OBSERVATION AND / OR AVAILABLE PLANS. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES SHOWN HEREON BY FIELD OBSERVATION AND / OR AVAILABLE PLANS.
4. IF FOUND DISCREPANCY IN UTILITIES, CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES SHOWN HEREON BY FIELD OBSERVATION AND / OR AVAILABLE PLANS.
5. ANY DAMAGE TO THE EXISTING FACILITIES INCLUDING, BUT NOT LIMITED TO, TREES, LANDSCAPING, FENCES TO BE REPAIRED OR REPLACED BY CONTRACTOR AT HIS OWN RISK AND EXPENSE. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES SHOWN HEREON BY FIELD OBSERVATION AND / OR AVAILABLE PLANS.
6. DIMENSIONS BETWEEN UTILITIES ARE OUTSIDE OF PIPE TO OUTSIDE OF PIPE.
7. CONTRACTOR SHALL MAINTAIN 1" VERTICAL CLEARANCE FROM ALL UTILITIES CROSSINGS.

NEPA NOTES:

1. ALL UNDERGROUND UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH NPA 24.2011 EDITION, 6844-600002.
2. ALL UTILITIES, WATER, AND HYDRAULIC SERVICES SHALL BE RESTRAINED AGAINST MOVEMENT BY BRICK OR CONCRETE BLOCK OR REINFORCED CONCRETE SYSTEMS, PER NPA 24.2011 EDITION, 6844-600002.
3. ALL UTILITIES SHALL BE PROTECTED BY A MINIMUM OF 18" OF COVER. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES SHOWN HEREON BY FIELD OBSERVATION AND / OR AVAILABLE PLANS.
4. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES SHOWN HEREON BY FIELD OBSERVATION AND / OR AVAILABLE PLANS.
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7. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES SHOWN HEREON BY FIELD OBSERVATION AND / OR AVAILABLE PLANS.

SITE LIGHTING:

1. REFER TO THE MAP ELECTRICAL SITE PLANS FOR SITE LIGHTING CONDUIT AND LIGHT LOCATIONS.

PLAN LEGEND

	PROJECT PROPERTY LINE
	SURFACE / EXISTING FEATURE
	PROPOSED GAS/WATER
	PROPOSED SANITARY LINE
	PROPOSED WATER LINE
	PROPOSED STORM LINE
	PROPOSED STORM STRUCTURE
	PROPOSED WATER STRUCTURE
	SANITARY STRUCTURE
	SANITARY CLEANOUT (CO)
	ROW ARROW

TAKE 5 EXPRESS OIL CHANGE

DRIVEN BRANDS

CONSTRUCTION DOCUMENTS

UTILITY PLAN

SECTION 36, TWP 03, RANGE 16E

2194 W US HWY 90

LAKE CITY

COLUMBIA COUNTY, FLORIDA

ATWELL

988.868.0200 www.atwell-engineers.com

111 N W 11th St, Suite 1100, Lake City, FL 32009

DATE: 06/26/2024

SCALE: AS SHOWN

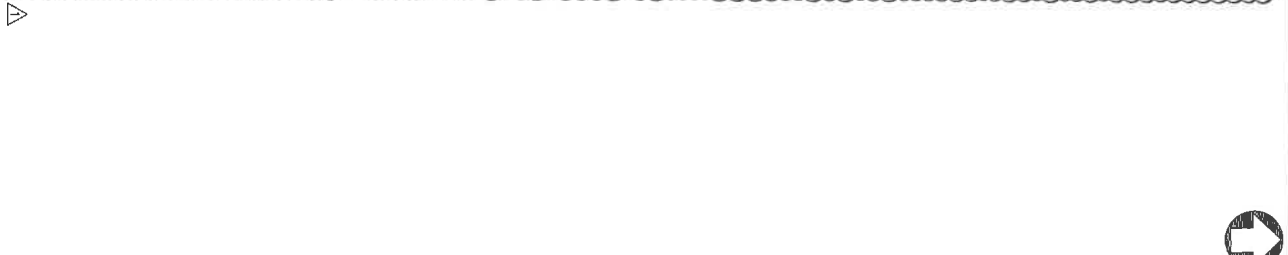
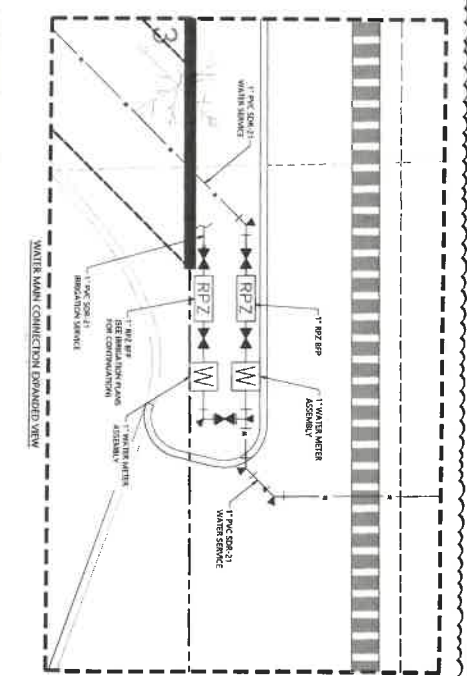
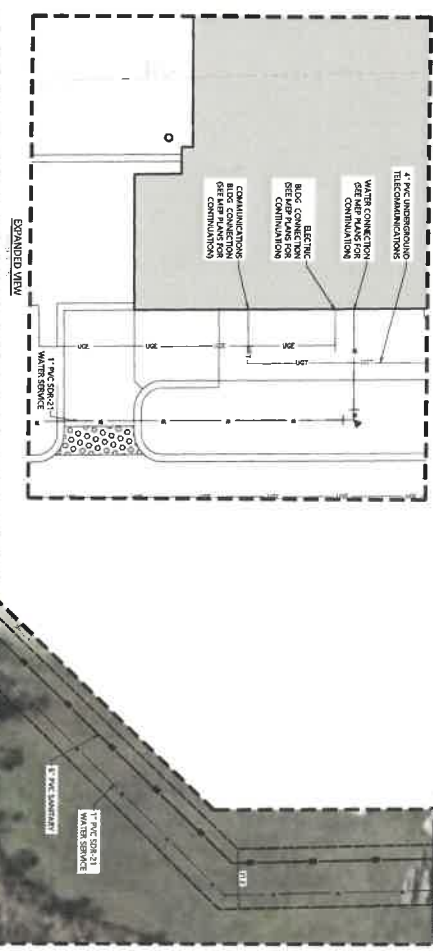
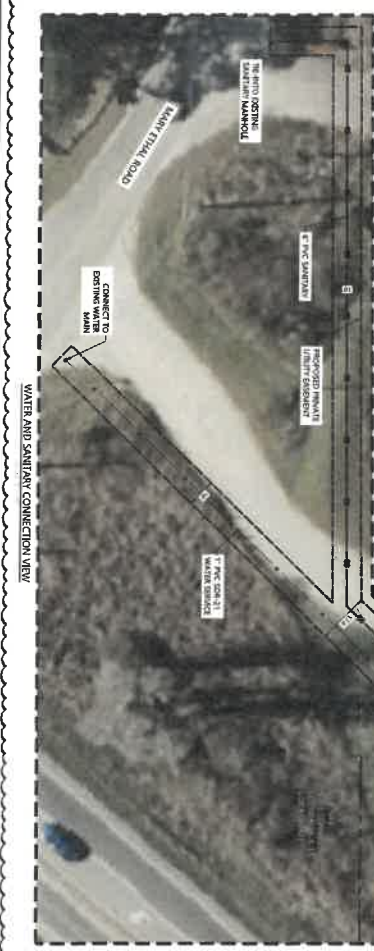
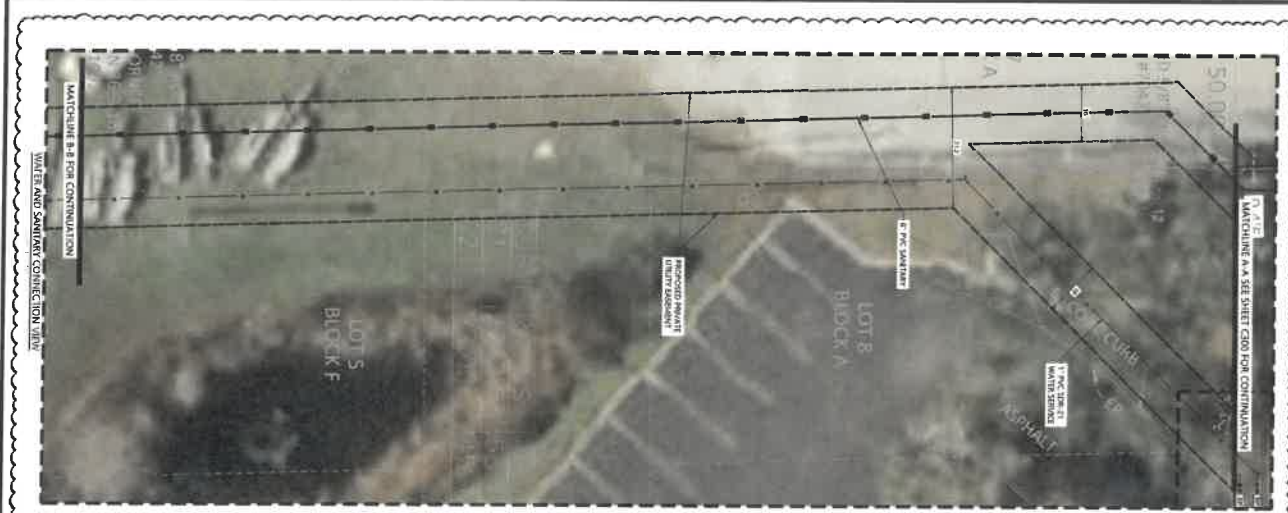
PROJECT NO: C300

EMERGENCY CONTACT

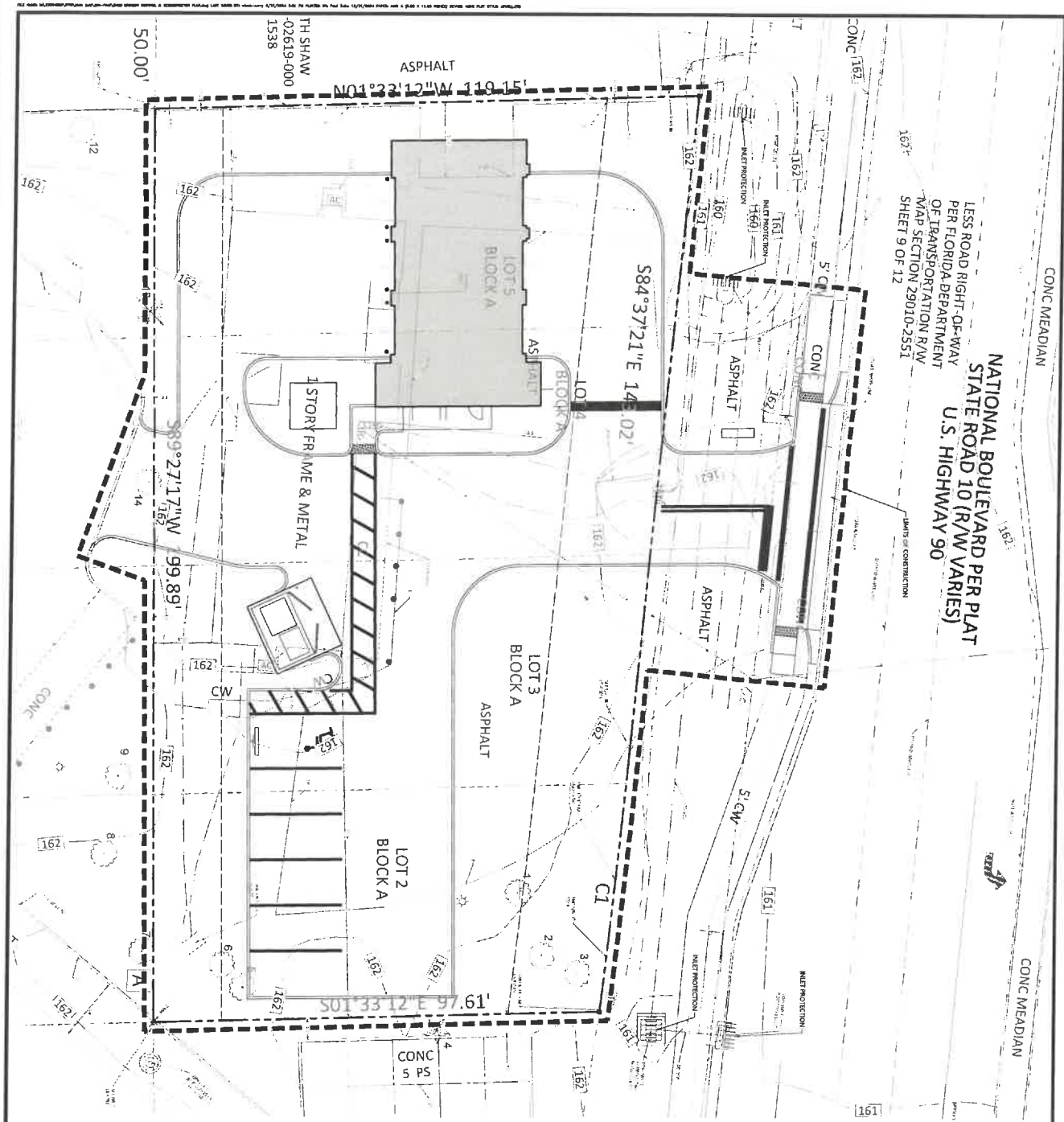
PHONE: 988.868.0200

TEXT: 988.868.0200

EMAIL: info@atwell-engineers.com



	TAKE 5 EXPRESS OIL CHANGE DRIVEN BRANDS CONSTRUCTION DOCUMENTS UTILITY ENLARGEMENTS PLAN	SECTION 36, TWP 03, RANGE 16E 2194 W US HWY 90 LAKE CITY COLUMBIA COUNTY, FLORIDA	 111 N. MAGNOLIA AVENUE, SUITE 1150 ORLANDO, FL 32807 407.743.2524 2024 © ATWELL GROUP, INC. ALL RIGHTS RESERVED.	DATE PLOTTED: 06/06/2024 10:57:11 AM PLOTTED BY: JACOB CHECKED BY: JACOB TITLE: CIVIL ENGINEER PROJECT NO: CS10
	PROJECT NO: CS10	SHEET NO: 10		
	SCALE: AS SHOWN	DRAWN BY: JACOB		
	CHECKED BY: JACOB	TITLE: CIVIL ENGINEER		



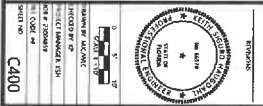
NATIONAL BOULEVARD PER PLAT
 STATE ROAD 10 (R/W VARIES)
 U.S. HIGHWAY 90

LESS ROAD RIGHT-OF-WAY
 PER FLORIDA DEPARTMENT
 OF TRANSPORTATION R/W
 MAP SECTION 29010-2551
 SHEET 9 OF 12

EROSION AND SEDIMENT CONTROL NOTES:

1. THE CONTRACTOR MUST INSURE, RAINFALL, AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD AND TO REMAIN IN PLACE UNTIL THE WATER QUALITY CRITERIA HAS BEEN MET AND THE DISTURBED AREAS HAVE BEEN RESTORED TO ORIGINAL OR BETTER CONDITION.
2. SILT FENCE ALONG THE LIMITS OF CONSTRUCTION AND NEAR PROTECTION AT ALL WATER TRENCHES AND DIRECTLY ADJACENT TO THE CONSTRUCTION LIMITS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
3. REFER TO THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SHEET (008) FOR ADDITIONAL INFORMATION.

PLAN LEGEND	
	ROAD RIGHT-OF-WAY LINE
	EXISTING FEATURES
	LIMITS OF CONSTRUCTION
	SILT FENCE
	SILT PROTECTION FENCE WITH SCREEN
	TREE TO BE PROTECTED



DATE	06/20/2024
SCALE	AS SHOWN
DRAWN BY	[Signature]
CHECKED BY	[Signature]
PROJECT NUMBER	2400
SHEET NO.	1

TAKE 5 EXPRESS OIL CHANGE	SECTION 36, TWP 03, RANGE 15E
DRIVEN BRANDS	2194 W US HWY 90
CONSTRUCTION DOCUMENTS	LAKE CITY
EROSION CONTROL & SEDIMENTATION	COLUMBIA COUNTY, FLORIDA

ATWELL
 888.856.4300 www.atwell.com
 111 N. MAGNOLIA AVENUE, SUITE 1150
 ORLANDO, FL 32801
 407.742.4222
 407.742.4222
 407.742.4222

Take 5
 24 HOUR
 EROSION CONTROL
 SPECIALISTS

LOCATION OF PUBLIC WATER SYSTEM MAINS IN ACCORDANCE WITH F.A.C. RULE 62.565.314

Other Pipe	Horizontal Separation	Clearance (1)	Joint Spacing or Clearance (Full Joint Concrete)
Storm Sewer, Stormwater Force Main, Sewerage Water (2)	Water Main 3 ft minimum	Water Main 12 inches to the minimum, 6 inches to the maximum and 12 inches to the minimum	Water Main 12 inches to the minimum
Vertical Sewerage	Water Main 10 ft preferred 3 ft minimum	Water Main 13 inches preferred 6 inches minimum	Water Main 12 inches to the minimum
Gravity or Pressure Sewerage Force Main, Residential Water (3)	Water Main 10 ft minimum 1 ft minimum (1)	Water Main 12 inches to the minimum, 6 inches to the maximum and 12 inches to the minimum and 12 inches to the minimum	Water Main 12 inches to the minimum
Gas	Water Main 10 ft minimum	Water Main 12 inches to the minimum, 6 inches to the maximum and 12 inches to the minimum	Water Main 12 inches to the minimum

Other Pipe Spacing Treatment:

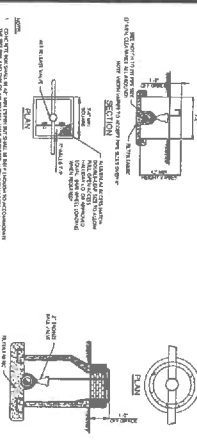
(1) Water main shall extend above other pipe. When water main must be below other pipe, the minimum separation is 18 inches.

(2) Sewerage water regulated under Part III of Chapter 62A, F.A.C.

(3) Sewerage water not regulated under Part III of Chapter 62A, F.A.C.

(4) Residential water not regulated under Part III of Chapter 62A, F.A.C.

Notes: - The dimensions provided for residential gas, have not been adopted for industrial gas applications.



WATER MAIN AIR RELEASE VALVE VAULT

1. The vault shall be constructed of concrete or masonry and shall be designed to support the weight of the vault and the weight of the soil above it.

2. The vault shall be constructed to provide a minimum clearance of 18 inches between the vault and the main pipe.

3. The vault shall be constructed to provide a minimum clearance of 18 inches between the vault and the main pipe.

4. The vault shall be constructed to provide a minimum clearance of 18 inches between the vault and the main pipe.

5. The vault shall be constructed to provide a minimum clearance of 18 inches between the vault and the main pipe.

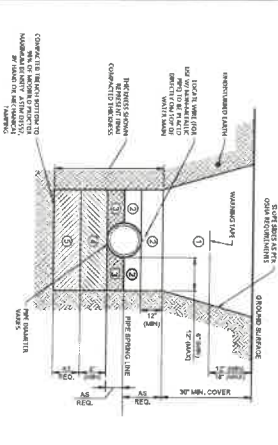
6. The vault shall be constructed to provide a minimum clearance of 18 inches between the vault and the main pipe.

7. The vault shall be constructed to provide a minimum clearance of 18 inches between the vault and the main pipe.

8. The vault shall be constructed to provide a minimum clearance of 18 inches between the vault and the main pipe.

9. The vault shall be constructed to provide a minimum clearance of 18 inches between the vault and the main pipe.

10. The vault shall be constructed to provide a minimum clearance of 18 inches between the vault and the main pipe.



TYPICAL PIPE TRENCH DETAIL (NTS)

1. The trench shall be constructed of concrete or masonry and shall be designed to support the weight of the trench and the weight of the soil above it.

2. The trench shall be constructed to provide a minimum clearance of 18 inches between the trench and the pipe.

3. The trench shall be constructed to provide a minimum clearance of 18 inches between the trench and the pipe.

4. The trench shall be constructed to provide a minimum clearance of 18 inches between the trench and the pipe.

5. The trench shall be constructed to provide a minimum clearance of 18 inches between the trench and the pipe.

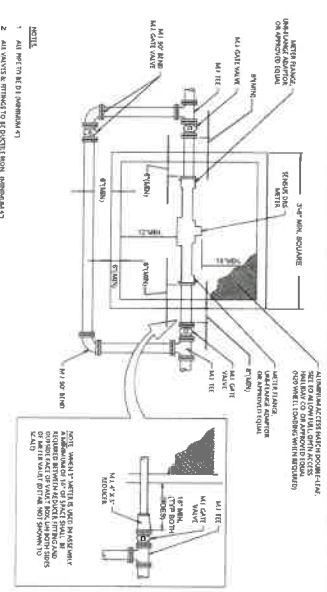
6. The trench shall be constructed to provide a minimum clearance of 18 inches between the trench and the pipe.

7. The trench shall be constructed to provide a minimum clearance of 18 inches between the trench and the pipe.

8. The trench shall be constructed to provide a minimum clearance of 18 inches between the trench and the pipe.

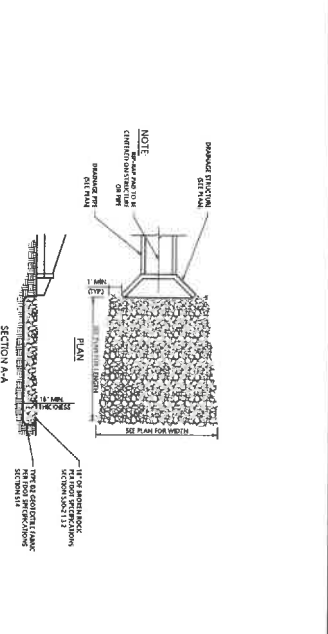
9. The trench shall be constructed to provide a minimum clearance of 18 inches between the trench and the pipe.

10. The trench shall be constructed to provide a minimum clearance of 18 inches between the trench and the pipe.



METER VAULT - 3' AND LARGER METERS

METER	VAULT SIZE	VAULT DEPTH	VAULT WIDTH	VAULT LENGTH	VAULT HEIGHT	VAULT WEIGHT
1/2"	3' x 3'	4'	3'	3'	4'	1000 lbs
3/4"	3' x 3'	4'	3'	3'	4'	1000 lbs
1"	3' x 3'	4'	3'	3'	4'	1000 lbs
1 1/4"	3' x 3'	4'	3'	3'	4'	1000 lbs
1 1/2"	3' x 3'	4'	3'	3'	4'	1000 lbs
1 3/4"	3' x 3'	4'	3'	3'	4'	1000 lbs
2"	3' x 3'	4'	3'	3'	4'	1000 lbs
2 1/4"	3' x 3'	4'	3'	3'	4'	1000 lbs
2 1/2"	3' x 3'	4'	3'	3'	4'	1000 lbs
2 3/4"	3' x 3'	4'	3'	3'	4'	1000 lbs
3"	3' x 3'	4'	3'	3'	4'	1000 lbs
3 1/4"	3' x 3'	4'	3'	3'	4'	1000 lbs
3 1/2"	3' x 3'	4'	3'	3'	4'	1000 lbs
3 3/4"	3' x 3'	4'	3'	3'	4'	1000 lbs
4"	3' x 3'	4'	3'	3'	4'	1000 lbs
4 1/4"	3' x 3'	4'	3'	3'	4'	1000 lbs
4 1/2"	3' x 3'	4'	3'	3'	4'	1000 lbs
4 3/4"	3' x 3'	4'	3'	3'	4'	1000 lbs
5"	3' x 3'	4'	3'	3'	4'	1000 lbs
5 1/4"	3' x 3'	4'	3'	3'	4'	1000 lbs
5 1/2"	3' x 3'	4'	3'	3'	4'	1000 lbs
5 3/4"	3' x 3'	4'	3'	3'	4'	1000 lbs
6"	3' x 3'	4'	3'	3'	4'	1000 lbs
6 1/4"	3' x 3'	4'	3'	3'	4'	1000 lbs
6 1/2"	3' x 3'	4'	3'	3'	4'	1000 lbs
6 3/4"	3' x 3'	4'	3'	3'	4'	1000 lbs
7"	3' x 3'	4'	3'	3'	4'	1000 lbs
7 1/4"	3' x 3'	4'	3'	3'	4'	1000 lbs
7 1/2"	3' x 3'	4'	3'	3'	4'	1000 lbs
7 3/4"	3' x 3'	4'	3'	3'	4'	1000 lbs
8"	3' x 3'	4'	3'	3'	4'	1000 lbs
8 1/4"	3' x 3'	4'	3'	3'	4'	1000 lbs
8 1/2"	3' x 3'	4'	3'	3'	4'	1000 lbs
8 3/4"	3' x 3'	4'	3'	3'	4'	1000 lbs
9"	3' x 3'	4'	3'	3'	4'	1000 lbs
9 1/4"	3' x 3'	4'	3'	3'	4'	1000 lbs
9 1/2"	3' x 3'	4'	3'	3'	4'	1000 lbs
9 3/4"	3' x 3'	4'	3'	3'	4'	1000 lbs
10"	3' x 3'	4'	3'	3'	4'	1000 lbs



WATER VALVE INSTALLATION DETAIL

1. The valve shall be installed in a concrete or masonry vault and shall be designed to support the weight of the vault and the weight of the soil above it.

2. The vault shall be constructed to provide a minimum clearance of 18 inches between the vault and the valve.

3. The vault shall be constructed to provide a minimum clearance of 18 inches between the vault and the valve.

4. The vault shall be constructed to provide a minimum clearance of 18 inches between the vault and the valve.

5. The vault shall be constructed to provide a minimum clearance of 18 inches between the vault and the valve.

6. The vault shall be constructed to provide a minimum clearance of 18 inches between the vault and the valve.

7. The vault shall be constructed to provide a minimum clearance of 18 inches between the vault and the valve.

8. The vault shall be constructed to provide a minimum clearance of 18 inches between the vault and the valve.

9. The vault shall be constructed to provide a minimum clearance of 18 inches between the vault and the valve.

10. The vault shall be constructed to provide a minimum clearance of 18 inches between the vault and the valve.

NOTES ON UTILITY SEPARATION REQUIREMENTS

1. The minimum separation between utility lines shall be 18 inches.

2. The minimum separation between utility lines shall be 18 inches.

3. The minimum separation between utility lines shall be 18 inches.

4. The minimum separation between utility lines shall be 18 inches.

5. The minimum separation between utility lines shall be 18 inches.

6. The minimum separation between utility lines shall be 18 inches.

7. The minimum separation between utility lines shall be 18 inches.

8. The minimum separation between utility lines shall be 18 inches.

9. The minimum separation between utility lines shall be 18 inches.

10. The minimum separation between utility lines shall be 18 inches.

ATWELL

1500 S. W. 10th Ave., Suite 111
 Fort Lauderdale, FL 33304
 Phone: 754.344.1111
 Fax: 754.344.1112
 Email: info@atwell.com

SECTION 36, TWP 03, RANGE 16E

2194 W US HWY 90
 LAKE CITY
 COLUMBIA COUNTY, FLORIDA

TAKE 5 EXPRESS OIL CHANGE

DRIVEN BRANDS
 CONSTRUCTION DOCUMENTS

DETAILS

DATE: 06/26/2024

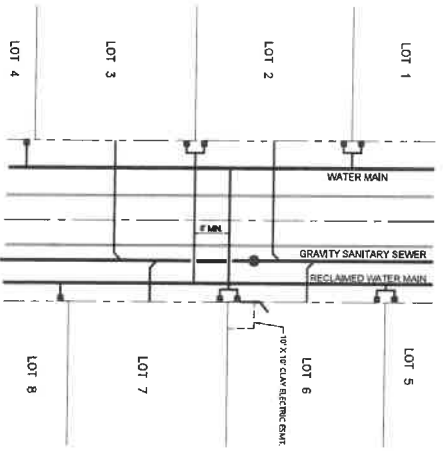
SCALE: AS SHOWN

PROJECT NO: CS20

DATE: 06/26/2024

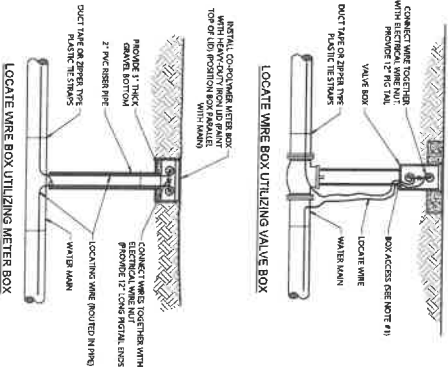
SCALE: AS SHOWN

PROJECT NO: CS20

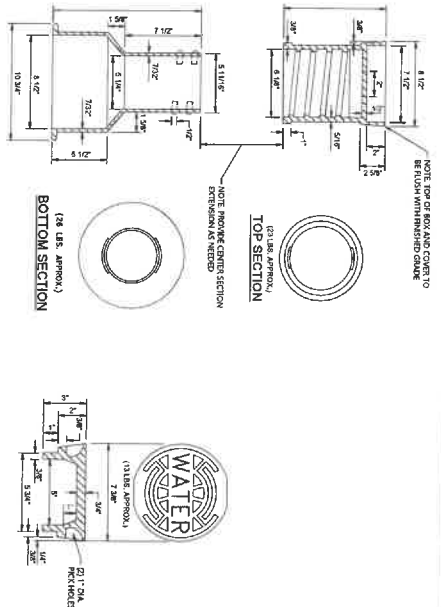


TYPICAL WATER AND SEWER SERVICE LOCATION PLAN

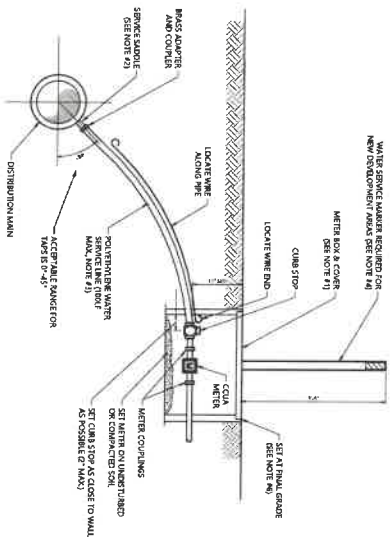
- NOTES:**
1. ALL WATER AND RECLAIMED DOUBLE SERVICES ON PROPERTY LINE
 2. ANY SINGLE WATER OR RECLAIMED SERVICE LINES ON LOT LINE
 3. ALL SEWER SERVICES ARE TO CENTER OF LOTS
 4. IF FITTINGS ARE REQUIRED TO ACHIEVE 90° SEPARATION BETWEEN THE RECLAIMED AND PORTABLE WATER SERVICE LATERALS THIS SHALL BE ACCOMPLISHED BY THE USE OF THE FITTING. THE OFFSET REQUIRED TO ACHIEVE THE SEPARATION SHALL OCCUR OUTSIDE OF THE PAVED ROADWAY.
 5. PORTABLE AND RECLAIMED WATER SERVICE LINES SHALL ONLY BE DEEP ENOUGH TO CLEAR THE BOTTOM OF THE UNDERDRAIN TRENCH. MINIMUM COVER SHALL BE MAINTAINED IN ALL CASES.



NOTE:
LOCATE WIRE SHALL ENTER THE VALVE BOX THROUGH A 1/2\"/>



VALVE BOX AND COVER



- NOTES:**
1. SEE COIA APPROVED MATERIALS MANUAL AND SYSTEM DETAILS FOR REQUIREMENTS
 2. SINGLE BAND SHOULD BE INSTALLED ON NEW 1\"/>

DATE: 02/06/2024
PROJECT: TAKE 5 EXPRESS OIL CHANGE
LOCATION: SECTION 36, TWP 03, RANGE 16E
ADDRESS: 2194 W US HWY 90
CITY: LAKE CITY
STATE: COLUMBIA COUNTY, FLORIDA

ATWELL
 GROUP, INC.
 111 N. WASHINGTON AVENUE, SUITE 111
 ORLANDO, FL 32801
 (407) 241-1000
 FAX: (407) 241-1001
 WWW.ATWELLSGROUP.COM

TAKE 5 EXPRESS OIL CHANGE
 DRIVEN BRANDS
 CONSTRUCTION DOCUMENTS
 DETAILS

24 HOUR
 SERVICE
 CALL 1-800-333-1111
 OFFICE: 407-241-1000
 FAX: 407-241-1001

5
 YEARS
 WARRANTY
 ON ALL
 PARTS
 AND
 LABOR

5
 YEARS
 WARRANTY
 ON ALL
 PARTS
 AND
 LABOR

DIRECTIONAL SIGNS

TAKE 5

OIL CHANGE

Standard Directionals

UL Underwriters Laboratories Inc.
UL File #E225670

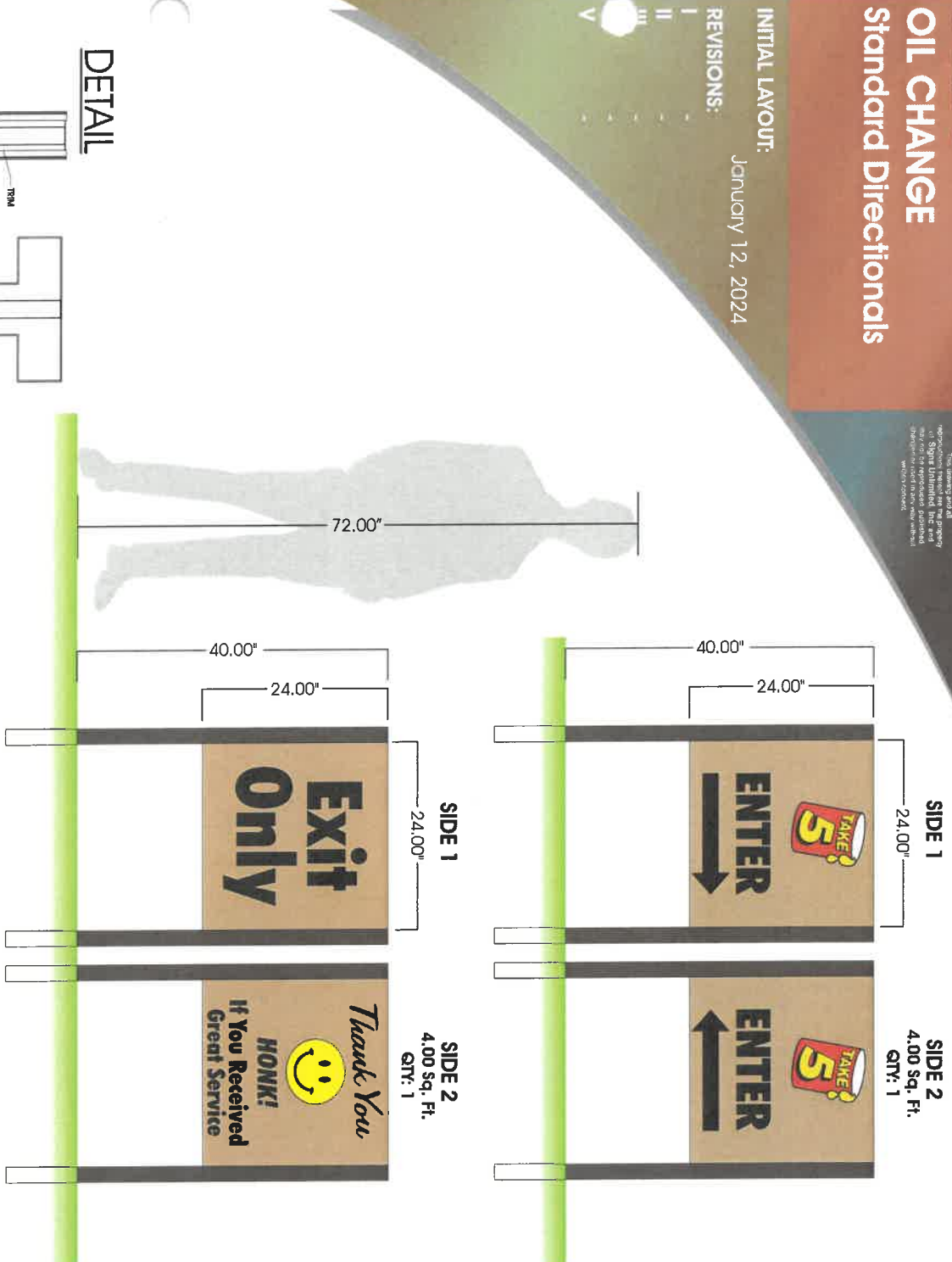
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INITIAL LAYOUT:

January 12, 2024

REVISIONS:

- I
- II
- III
- IV

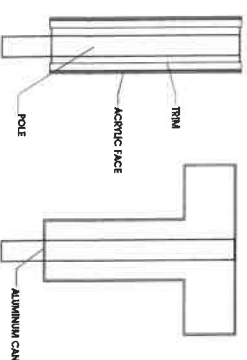


NOTE:
• ALL WAYFINDING HOLES MUST BE HAND DUG TO AVOID DAMAGING UNMARKED UNDERGROUND LINES

SPECIFICATIONS
NON ILLUMINATED
DOUBLE-SIDED POST & PANEL

Size: As In Drawing
Material: Aluminum Square Tubing & Panels
Face Color: SW 7693 Stonebriar And As Determined By Message
Leg Color: SW 6076 Turkish Coffee
Mounting: Into Earth

DETAIL



Owner/Landlord Approval _____
6801 Mount Hermon Church Rd, Ste C, Durham, NC 27705 • (P) 919-552-8689 • (F) 919-557-1322

SIGNS: UNLIMITED
communicate your identity

PROOF

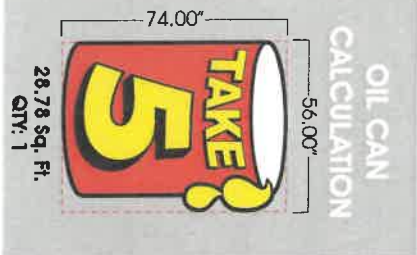
PYLON GROUND SIGN
TAKE 5
OIL CHANGE
 Standard Pylon Sign

UL Underwriters Laboratories Inc.
 UL File #E225670

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 January 12, 2024

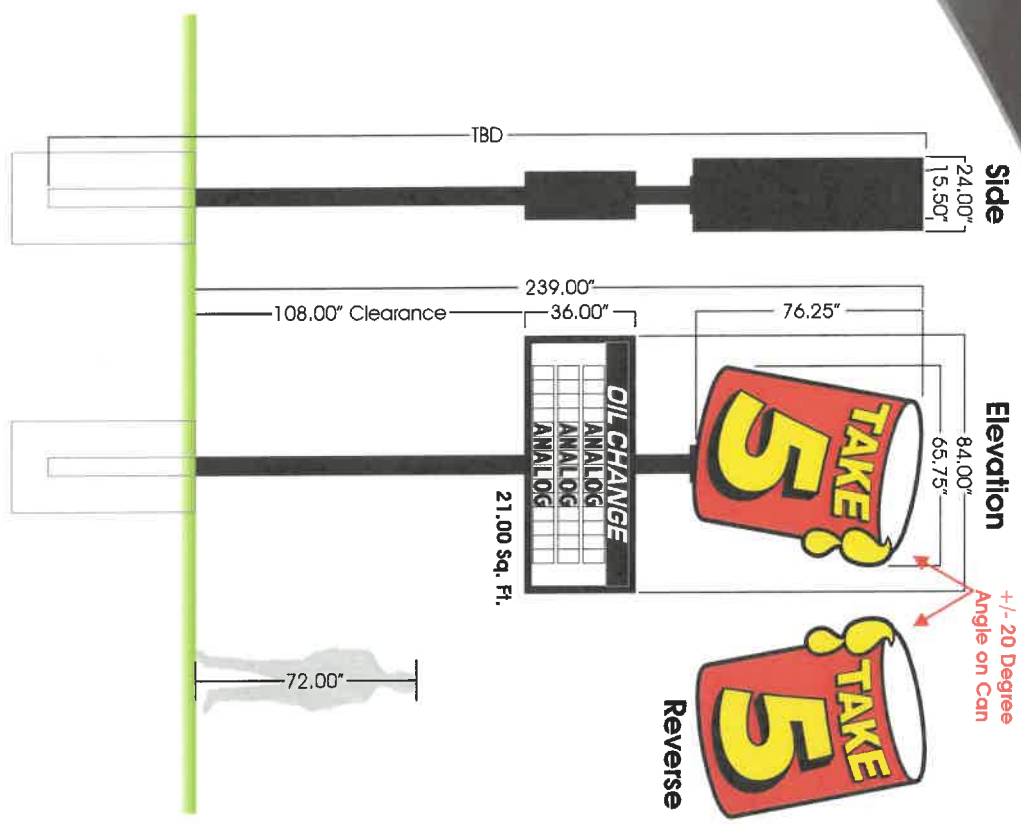
REVISIONS:



1/2" x 2" ALUMINUM REAR PANEL
 ACRYLIC FACE
 MOUNTING HOLES
 ALUMINUM BACK
 LED STRIP

NOTE:

- HOLE AND FOOTER DIMENSIONS/SPECIFICATIONS TO BE DETERMINED BASED ON ENGINEERING.
- ENGINEERING REQUIREMENTS MAY ALTER FOOTER, POLE AND PRICE
- INSTALLER TO MAKE FINAL CONNECTION IF POWER IS RUN AT TIME OF INSTALLATION. IF THE PERMANENT POWER IS NOT RUN BEFORE THE SIGNS ARE INSTALLED, IT IS THE ELECTRICIAN'S RESPONSIBILITY TO MAKE THE FINAL CONNECTIONS WHEN THEY RUN THE LINE. INSTALLER TO DROP ELECTRICAL LINE TO THE BASE OF THE POLE. DRILL HOLE AND LEAVE ACCESS TO THE LINE(S)



PROOF
 sq. Ft. signage: 49.78

CHANGEABLE COPY CHARACTER COUNT
 EXTRAS TO BE DETERMINED AND ORDERED WITH STANDARD SET
 (CANNOT ORDER INDIVIDUAL LETTERS LATER)

200 Piece set of 6" ADM Letters		F G H M B C D	
E	14	J K V W Y Z	6 Each
A I	12 Each	Q X \$ < 0 1 2 3 4 5 6 7 8 9	4 Each
O U	10 Each		2 Each
L N R S T P	8 Each		

SPECIFICATIONS
DOUBLE-SIDED ILLUMINATED
ALUMINUM CABINET &
CHANGEABLE COPY READER

- Size:** As In Drawing
- Face Color:** As In Drawing
- Vinyl Colors:** As In Drawing
- Face:** Flat
- Cabinet Interior:** Gloss White
- Cabinet Color:** Black
- Retainer:** 1.5" & 2.0"
- Illumination:** Led
- Mounting:** Bolted to Pole & Into Ground w/ Concrete Footer

Owner/Landlord Approval
 6801 Mount Hermon Church Rd, Ste C, Durham, NC 27705 • (P) 919-552-8689 • (F) 919-557-1322

SIGNS UNLIMITED
 communicate your identity

MONUMENT GROUND SIGN
TAKE 5
OIL CHANGE
 Standard Pedestal Sign

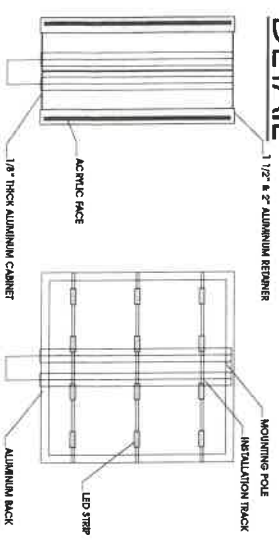
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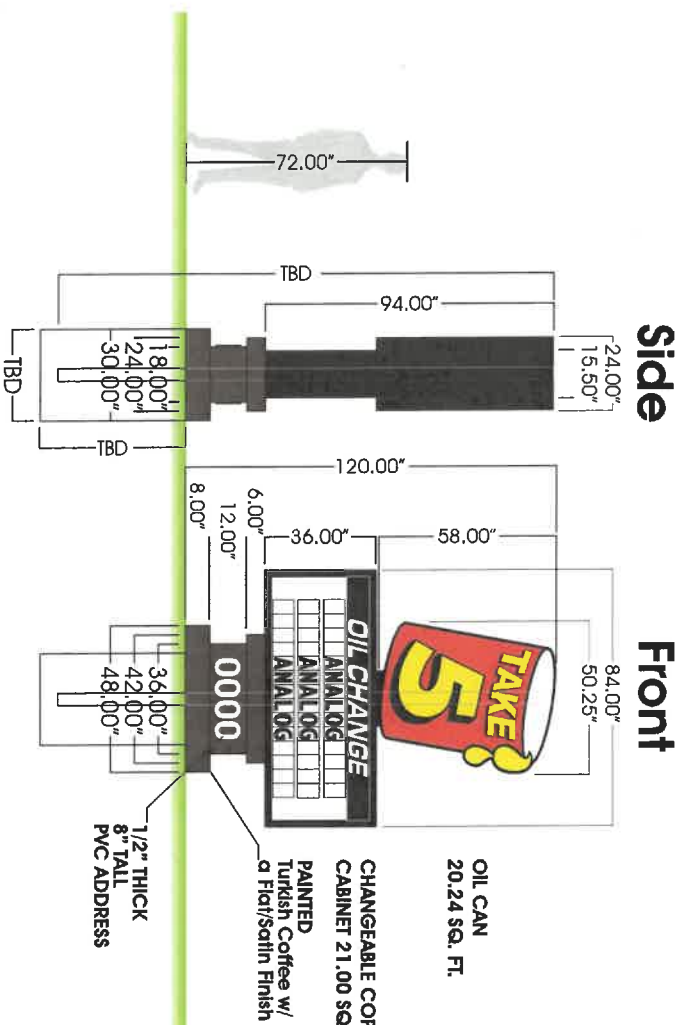
INITIAL LAYOUT: January 12, 2024
REVISIONS:



DETAIL



Owner/Landlord Approval
 6801 Mount Hermon Church Rd, Ste C, Durham, NC 27705 • (P) 919-552-8689 • (F) 919-557-1322



NOTE:
 • HOLE AND FOOTER DIMENSIONS/SPECIFICATIONS TO BE DETERMINED BASED ON ENGINEERING.
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CHANGEABLE COPY CHARACTER COUNT
 EXTRAS TO BE DETERMINED AND ORDERED WITH STANDARD SET
 (CANNOT ORDER INDIVIDUAL LETTERS LATER)

200 Piece Set of 6" ADM Letters	
E	14
A I	12 Each
O U	10 Each
L N R S T P	8 Each

SPECIFICATIONS

DOUBLE-SIDED ILLUMINATED ALUMINUM CABINET
 Size: As In Drawing
 Face Color: As In Drawing
 Vinyl Colors: As In Drawing
 Face: Flat

Cabinet Interior: Glass White
 Cabinet Color: Black
 Retainer: 1.5"
 Illumination: LED

Mounting: Bolted to Skirt & Into Ground W/ Concrete Footer

PROOF
 Sq. Ft. Signage: 39.12

SIGNS UNLIMITED
 Communicate your identity

MONUMENT GROUND SIGN
TAKE 5
OIL CHANGE
 Standard Monument Sign

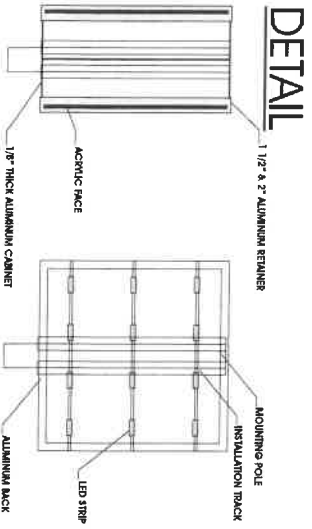
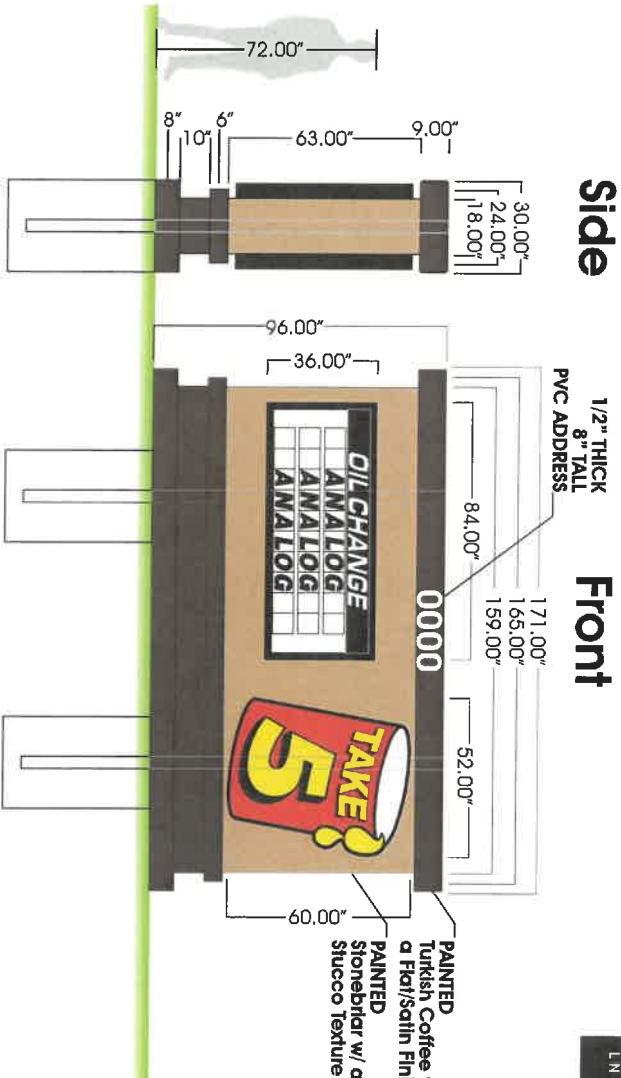


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INITIAL LAYOUT: January 12, 2024

REVISIONS:



NOTE:

- HOLE AND FOOTER DIMENSIONS/SPECIFICATIONS TO BE DETERMINED BASED ON ENGINEERING.
- ENGINEERING REQUIREMENTS MAY ALTER FOOTER, POLE AND PRICE
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CHANGEABLE COPY CHARACTER COUNT
 EXTRAS TO BE DETERMINED AND ORDERED WITH STANDARD SET
 (CANNOT ORDER INDIVIDUAL LETTERS LATER)

1200 Piece Set of 6" Adm Letters			
E	14	F G H M 8 C D	6 Each
A I	12 Each	J K V W Y Z	4 Each
O U	10 Each	Q X \$ @ 0 1 2 3 4 5 6 7 8 9	2 Each
L N R S T P	8 Each		

SPECIFICATIONS

DOUBLE-SIDED ILLUMINATED ALUMINUM CABINET

- Size: As In Drawing
- Face Color: As In Drawing
- Vinyl Colors: As In Drawing
- Face: Flat
- Cabinet Interior: Gloss White
- Cabinet Color: Black
- Retainer: 1.5"
- illumination: LED
- Mounting: Bolted to Skirt & Into Ground W/ Concrete Footer

Owner/Landlord Approval
 6801 Mount Hermon Church Rd, Ste C, Durham, NC 27705 • (P) 919-552-8689 • (F) 919-557-1322

SIGNS UNLIMITED
 communicate your identity

PROOF
 Sq. Ft. Signage: 39.16



CONSULTING. ENGINEERING. CONSTRUCTION.

December 31th, 2024

City of Lake City Comments

Atwell, LLC. is responding to your review comments dated regarding. For ease of review, we are providing your comments in *italics* followed by our responses in **bold**.

General Comments

1. Parking spaces need to be 10x20 and ADA spaces need to be 12x20 with a 5-foot striped walk path. Parking is covered in section 4.2.15.

Response: Regular parking ADA spaces have been revised to be 10x20 and 12x20. This is shown on sheet C100.

2. We need the signage location and sizes so we can confirm if they meet our code.

a. Signs are covered in section 4.2.20.

b. Visibility at intersections is covered in section 4.2.24.

Response: A proposed 2' x 7' pylon sign has been added and shown on sheet C100. Also, attached to this submittal is Driven's prototypical signage details.

3. Any utility concerns for an easement for the utilities and any other concerns that the utility department may have. Have you been able to speak with Brian Scott, Director of Distribution and Collections, or Shasta Pelham, Utility Coordinator? They will help with any of the utility concerns.

Response: The City of Lake City has provided (3) preliminary utility comments from Brian Scott and Shasta Pelham. The comments have been addressed with this submittal. We have followed up with the Brian Scott, Shasta Pelham and other reps from the utility department to inquire if they may have any additional comments for us. We are still waiting for responses.

4. See utility comments down below.

Response: Acknowledge.

5. I noticed on the cover page in the lower left corner it list the government agency as Columbia County this should be City of Lake City. I know you are making some changes to the parking so I wanted to make sure that was corrected as well.

Response: The cover sheet has been revised to reflect the information of City of Lake City Zoning/Planning Department.

Water Distribution/Collection

6. Unable to approve the water and sewer at this time. All water and sewer will have to be run south to Mary Ethal Road with the owner having a private easement on other property. Water and sewer will be set off Marth Ethal once it leaves the right of way it's private, no water sewer on 90 will need revised utility plans and a copy of the agreed easement from other private property lines they will cross.

Response: Understood. The utility plan has been revised to show the new sanitary and water connection onto Mary Ethal Road. A private utility easement is drawn, however, the easement agreement from which the utility crosses the private properties is still in process. Will provide document once it is finalized.

Customer Service

7. The Distributions & Collections Director advised, water and sewer are located on SW Mary Ethal Ln. A private utility easement would be required. A tap application & utility plans must be submitted in order to apply for water, sewer and/or natural gas services. This response does not represent the City of Lake City's commitment for or reservation of capacity. In accordance with the City of Lake City's policies and procedures, commitment to serve is made only upon approval of your application for service and receipt of payment for all applicable fees.

Response: Understood. The utility plan has been revised to show the new sanitary and water connection onto Mary Ethal Road. A private utility easement is drawn, however, the easement agreement from which the utility crosses the private properties is still in process. Will provide document once it is finalized.

Water Department

8. Make sure that cross-section control devices are reduced pressure principle assembly devices.

Response: Understood.

Thank you,
Michael Muniz , PE
ATWELL, LLC



CONSULTING. ENGINEERING. CONSTRUCTION.

**LAKE CITY
CONCURRENCY IMPACT ANALYSIS
COMPREHENSIVE PLAN CONSISTENCY ANALYSIS
VPY, LLC
2196 W. US HIGHWAY 90**

Concurrency:

In Florida, concurrency impact analysis is a crucial component of the development approval process, especially in the context of land use and infrastructure planning. It ensures that new developments do not overwhelm existing infrastructure and that they contribute to the community's overall growth and sustainability. Here's an overview of how concurrency impact analysis is applied in Florida for development projects:

Key Aspects of Florida's Concurrency Impact Analysis

1. Concurrency Management System (CMS)

- **Purpose:** To ensure that infrastructure (such as roads, schools, and utilities) is available to serve new development without degrading the level of service below established standards.
- **Requirements:** Florida law mandates that local governments implement a CMS to assess the impact of new developments on public facilities and services.

2. Infrastructure Components

- **Transportation:** Evaluates the impact of new development on road networks, including traffic volume, congestion, and level of service (LOS).
- **Education:** Assesses the capacity of local schools to accommodate additional students generated by new developments.
- **Utilities:** Examines the adequacy of water, sewer, and stormwater management systems to support new development.

3. Level of Service Standards

- **Definition:** Standards set by local governments to determine acceptable performance levels for various types of infrastructure (e.g., the acceptable traffic delay on roads or the student-to-teacher ratio in schools).
- **Analysis:** New developments must be assessed against these standards to ensure they do not degrade the current level of service below acceptable thresholds.

4. Impact Fees

- **Purpose:** To fund necessary infrastructure improvements or expansions required to support new development.
- **Assessment:** Developers may be required to pay impact fees based on the projected demand their development will place on public facilities.

5. Concurrency Analysis Process

- **Pre-Application Consultation:** Developers often engage in discussions with local planning departments to understand concurrency requirements and potential impacts.
- **Traffic Impact Analysis (TIA):** Conducted to evaluate the effect of the development on local roadways and transportation systems.
- **School Impact Analysis:** Determines the effect on local school capacities and whether additional educational facilities are needed.
- **Utility Capacity Analysis:** Assesses whether existing water, sewer, and stormwater systems can handle the additional demand.

6. Mitigation Measures

- **Infrastructure Improvements:** Developers may be required to contribute to or fund infrastructure improvements to mitigate the impact of their development.
- **Phased Development:** Large projects may be implemented in phases to align with infrastructure capacity and availability.

7. Local Government Review

- **Approval Process:** Local governments review the concurrency analysis as part of the development review process to ensure compliance with local land use and development regulations.
- **Public Input:** Public hearings and community meetings may be held to gather input and address concerns related to new developments.

8. Regulatory Framework

- **Florida Statutes:** Chapter 163, Part II, of the Florida Statutes outlines the requirements for concurrency management and infrastructure planning.
- **Local Comprehensive Plans:** Each municipality or county may have its own comprehensive plan that includes concurrency management policies and standards.

Steps for Developers in Florida

1. **Understand Local Requirements:** Research and understand the concurrency management requirements and infrastructure standards specific to the jurisdiction where the development is proposed.
2. **Engage Early:** Initiate discussions with local planning and zoning officials early in the development process to identify potential concurrency issues and requirements.
3. **Conduct Required Analyses:** Complete necessary impact studies (traffic, school, utility) and ensure they are submitted as part of the development application.
4. **Plan for Mitigation:** Develop and propose mitigation strategies for any identified impacts to align with local concurrency requirements and secure development approval.
5. **Monitor Changes:** Stay informed about any changes in local concurrency regulations or infrastructure standards that could affect the development project.

By following these guidelines and understanding the concurrency impact analysis requirements in Florida, developers can better navigate the regulatory landscape and contribute to balanced and sustainable community development.

Project Concurrency Analysis:

Public Facilities Concurrency	Provider	Existing Demand	Proposed Demand Reserved Capacity
1. Roads	FDOT	Existing Condition	96 trips per weekday (Using ITE trip generator – code 941)
2. Sewer	Lake City	Septic Tank	312.5 GPD (1.25 ERU X 250 GPD)
3. Solid Waste	Lake City	Existing Condition	8.24 lbs. per capita per day X 6 persons = 49.44 lbs. per day 49.44 lbs. per day X 365 days = 18,045.6 lbs. per year
4. Drainage	SRWMD	Existing Condition	No Impact
5. Potable Water	Lake City	City Utility	437.5 GPD (1.25 ERU X 350 GPD)

Comprehensive Land Use Plan:

In Florida, the Comprehensive Plan Consistency Analysis is an essential process for ensuring that land use and development decisions align with the state's comprehensive planning requirements. This analysis is part of the broader framework established by Florida's Growth Management Act, which aims to manage growth and development in a way that promotes sustainable and orderly development.

Here's a breakdown of the key aspects involved in a Florida Comprehensive Plan Consistency Analysis:

1. Understanding the Comprehensive Plan

- **Purpose:** The comprehensive plan is a long-term policy framework that guides land use, growth, infrastructure, and public services within a municipality or county.
- **Components:** It typically includes elements such as land use, housing, transportation, parks and recreation, conservation, and capital improvements.

2. Consistency Analysis

- **General Approach:** The analysis assesses whether a proposed change—such as a zoning amendment, land use change, or development project—is consistent with the goals, objectives, and policies of the comprehensive plan.
- **Steps in Analysis:**
 1. **Review the Proposal:** Examine the specifics of the proposed change or development.
 2. **Compare with Comprehensive Plan:** Evaluate how the proposal aligns with the comprehensive plan's policies and objectives.
 3. **Consider Impacts:** Assess the potential impacts on land use, infrastructure, environment, and community services.

3. Key Considerations

- **Land Use Compatibility:** Ensure the proposed land use aligns with the designated future land use category in the comprehensive plan.
- **Infrastructure Adequacy:** Check whether existing or planned infrastructure (e.g., roads, water, sewer) can support the proposed change.
- **Environmental Impact:** Evaluate potential effects on natural resources and adherence to conservation policies.
- **Public Services:** Assess whether public services like schools and emergency services can accommodate the proposed changes.

4. Regulatory Framework

- **State Requirements:** Florida Statutes (e.g., Chapter 163, Part II) and Florida Administrative Code outline requirements for comprehensive plans and consistency analysis.
- **Local Procedures:** Each jurisdiction may have specific procedures for conducting and reviewing consistency analyses, including public hearings and advisory board reviews.

5. Public Participation

- **Engagement:** Public input is often sought through community meetings and hearings, providing an opportunity for residents to express concerns or support.

6. Decision-Making

- **Approval Process:** The local government's decision-making bodies (e.g., city council, county commission) review the consistency analysis and decide whether to approve, modify, or reject the proposed change based on its alignment with the comprehensive plan.

7. Documentation and Reporting

- **Reporting:** The findings of the consistency analysis are usually documented in reports that detail how the proposal meets or does not meet the comprehensive plan's criteria.

8. Appeals and Amendments

- **Appeals:** There may be processes for appealing decisions or requesting amendments to the comprehensive plan if necessary.

This analysis is crucial for maintaining orderly and planned growth while balancing development needs with community and environmental considerations.

Project Comprehensive Land Use Plan Analysis:

The proposed Future Land Use Plan Map Amendment complies with and is consistent with the City of Lake City Comprehensive Plan as adopted by Ordinance No. 21-2206 on December 6, 2021.

The proposed amendment identifies below the applicable elements which demonstrates consistency with the Goals, Objectives and Policies:

- Future Land Use
- Transportation
- Housing
- Sanitary Sewer
- Solid Waste
- Drainage
- Potable Water
- Natural Groundwater Aquifer Recharge
- Conservation
- Recreation and Open Space
- Intergovernmental Coordination
- Capital Improvements
- Public School Facilities
- Property Rights Element

LOTS 2, 3, 4 AND 5, BLOCK A, WESTWOOD PARK, SECTION A, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 45 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA, A SUBDIVISION EMBRACING A PART OF THE SW 1/4 OF THE SE 1/4 OF SECTION 36, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, ACCORDING TO MAP OF SAME C.W. BROWN AND W.W. NIHISER, SURVEYORS, DATED JUNE 8, 1926, AND FILED IN THE OFFICIAL RECORDS OF THE COLUMBIA COUNTY CLERK OF CIRCUIT COURTS ON JULY 6, 1926; LESS AND EXCEPT THAT PORTION HERETOFORE ACQUIRED BY THE STATE OF FLORIDA FOR ROAD RIGHT-OF-WAYS.

TAX PARCEL NUMBER: 36-3S-16-02631-000 (10740)

HFD/lss
1803.02-14-055
3/20/2014

REC. 27.00
DOC. 1260.00
INT. _____
INDEX _____
CONSIDERATION 180,000.00

This instrument prepared by
Herbert F. Darby
Darby Peele Crapps Green & Stadler, LLP
Attorneys at Law
Post Office Drawer 1707
Lake City, Florida 32056-1707

Inst:201412004811 Date:4/3/2014 Time:2:49 PM
Doc Stamp-Deed:1260.00
DC,P.DeWitt Cason,Columbia County Page 1 of 3 B:1272 P:426

WARRANTY DEED

THIS WARRANTY DEED made this 29th day of March, 2014, by
WILLIAM D. EPPERSON, a single person not residing on the property, but whose
mailing address is 205 North 15th Street, Haines City, Florida 33844, hereinafter called
the Grantor, to JCP-VYP, LLC., a Florida limited liability company, whose post office
address is 7585 216th Street, O'Brien, Florida 32071, hereinafter called the Grantee:

WITNESSETH:

That the Grantor, for and in consideration of the sum of TEN AND NO/100
(\$10.00) DOLLARS and other valuable considerations, receipt whereof is hereby
acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and
confirms unto the Grantee, all that certain land situate in Columbia County, Florida, viz:

Lots Numbers 2, 3, 4, and 5 of Block A of WESTWOOD PARK, SECTION A, a
Subdivision embracing a part of the SW 1/4 of the SE 1/4 of Section 36,
Township 3 South, Range 16 East, in Columbia County, Florida, according to
Map of same by C. W. Brown and W. W. Nihiser, Surveyors, dated June 8,
1926, and filed in the Office of the Clerk of Circuit Court, Columbia County,
Florida, on July 6, 1926, in Columbia County, Florida. LESS AND EXCEPT that
portion heretofore acquired by the State of Florida for road right-of-ways.

This deed is given to and accepted by Grantee subject to all restrictions,
reservations, easements, and limitations of record, if any, and all zoning and land

use rules and regulations, but this shall not serve to reimpose the same.

Identified on the Tax Roll as Parcel Number: 36-3S-16-02631-000

N. B. Grantor hereby warrants that neither the subject property nor any contiguous property was ever utilized by him or any member of his family as their homestead.

TOGETHER WITH all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2013.

IN WITNESS WHEREOF, the said Grantor has signed and sealed these
presents the day and year first above written.

Signed, sealed and delivered
in the presence of:

① Mary A. Miller
Witness

✓ MARY A. MILLER
(Print/type name)

② Greg Harrold
Witness

✓ Greg Harrold
(Print/type name)

William D. Epperson (SEAL)
WILLIAM D. EPPERSON

STATE OF FLORIDA

COUNTY OF _____

The foregoing instrument was acknowledged before me this 29th day of
March, 2014, by WILLIAM D. EPPERSON, who is personally known to me.



(NOTARIAL
SEAL)

Crystal C. King
Notary Public, State of Florida
CRYSTAL C. KING
(Print/type name)

My Commission Expires:



GROWTH MANAGEMENT DEPARTMENT
 205 North Marion Ave, Lake City, FL 32055
 Phone: 386-719-5750
 E-mail: growthmanagement@lcfla.com

AGENT AUTHORIZATION FORM

I, VYP, LLC (owner name), owner of property parcel

number 36-3S-16-02631-000 (10740) (parcel number), do certify that

the below referenced person(s) listed on this form is/are contracted/hired by me, the owner, or is an officer of the corporation; or, partner as defined in Florida Statutes Chapter 468, and the said person(s) is/are authorized to sign, speak and represent me as the owner in all matters relating to this parcel.

Printed Name of Person Authorized	Signature of Authorized Person
1. Charles Millar, Atwell	1.
2.	2.
3. Michael Muniz, Atwell	3.
4.	4.
5.	5.

I, the owner, realize that I am responsible for all agreements my duly authorized agent agrees with, and I am fully responsible for compliance with all Florida Statutes, City Codes, and Land Development Regulations pertaining to this parcel.

If at any time the person(s) you have authorized is/are no longer agents, employee(s), or officer(s), you must notify this department in writing of the changes and submit a new letter of authorization form, which will supersede all previous lists. Failure to do so may allow unauthorized persons to use your name and/or license number to obtain permits.

Victoria Peurung
 Owner Signature (Notarized)

11-12-24
 Date

NOTARY INFORMATION:

STATE OF: FLORIDA COUNTY OF: Columbia

The above person, whose name is Victoria Peurung, personally appeared before me and is known by me or has produced identification (type of I.D.) Drivers License on this 12th day of November, 2024.

NOTARY'S SIGNATURE



Columbia County Tax Collector

generated on 7/8/2024 2:31:48 PM EDT

Tax Record

Last Update: 7/8/2024 2:30:47 PM EDT

Register for eBill

Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number R02631-000	Tax Type REAL ESTATE	Tax Year 2023			
Mailing Address VYP, LLC 794 SW MANDIBI DR LAKE CITY FL 32024	Property Address 2196 US HIGHWAY 90 LAKE CITY	GEO Number 363S16-02631-000			
Exempt Amount See Below	Taxable Value See Below				
Exemption Detail NO EXEMPTIONS	Millage Code 002	Escrow Code			
Legal Description (click for full description) 36-3S-16 1100/1100.58 Acres LOTS 2, 3, 4 & 5 BLOCK A WESTWOOD PARK SUBDIVISION. 337-685, WD 1001-2463, QC 1072-510, QC 1272-423, WD 1272-426,					
Ad Valorem Taxes					
Taxing Authority	Rate	Assessed Value	Exemption Amount	Taxable Value	Taxes Levied
BOARD OF COUNTY COMMISSIONERS	7.8150	217,659	0	\$217,659	\$1,701.01
COLUMBIA COUNTY SCHOOL BOARD DISCRETIONARY	0.7480	217,659	0	\$217,659	\$162.81
LOCAL	3.2170	217,659	0	\$217,659	\$700.21
CAPITAL OUTLAY	1.5000	217,659	0	\$217,659	\$326.49
SUWANNEE RIVER WATER MGT DIST	0.3113	217,659	0	\$217,659	\$67.76
LAKE SHORE HOSPITAL AUTHORITY	0.0001	217,659	0	\$217,659	\$0.02
Total Millage		13.5914	Total Taxes		\$2,958.30
Non-Ad Valorem Assessments					
Code	Levying Authority	Amount			
FFIR	FIRE ASSESSMENTS	\$380.96			
Total Assessments					\$380.96
Taxes & Assessments					\$3,339.26
If Paid By				Amount Due	
				\$0.00	

Date Paid	Transaction	Receipt	Item	Amount Paid
11/20/2023	PAYMENT	3300990.0002	2023	\$3,205.69

Prior Years Payment History

Prior Year Taxes Due
NO DELINQUENT TAXES