

### **GROWTH MANAGEMENT**

205 North Marion Ave. Lake City, FL 32055 Telephone: (386)719-5750

E-Mail:

growthmanagement@lcfla.com

### Site Plan Application

Α.	PROJECT INFORMATION
	1. Project Name: Take 5 - Lake City
	2. Address of Subject Property: 2194 W US 90, Lake City, FL 32055 (36-3S-16-02631-0000 (10740)
	3. Parcel ID Number(s): 36-3S-16-02631-0000 (10740)
	4. Future Land Use Map Designation: Commercial "C" is requested
	5. Zoning Designation: Commercial Intensive ("CI") is requested
	6. Acreage: 58 acres
	7. Existing Use of Property: Retail Commercial
	8. Proposed use of Property: Motor Vehicle (Oil Change)
	9. Type of Development (Check All That Apply):
	Increase of floor area to an existing structure: Total increase of causes for
	The construction. Total square footage 1,708 sq. ft.
	Relocation of an existing structure: Total square footage
В.	APPLICANT INFORMATION
	7 Name of Applicant ( ) Charles Miles
	Company name (if a 11 11 2 Africally
	Mailing Address: 11770 US Highjway 1 Suite 404 East City; Palm Beach Gardens State: FL Zip: 33408 Telephone: (772 ) 486-1977 Fave (1985)
	City; Palm Beach Gardens State, Fl
	Telephone: (772 ) 486-1977 Fax: () Email: cmillar@atwell.com
	PLEASE NOTE: Florida has a very broad public records law. Most written communications to
	be the minute officials regarding government business is the
	are the regime to the blobel to OMUSE.
	Property Owner Name (title holder): VYP, LLC
	Mailing Address: 794 SW Mandibi Dr.
	City: Lake City State: FL Zip: 32024
	Telephone: () See Agent Fax:() Email: See Agent
	4. Mortgage or Lender Information: (1) Yes No
	Name of Mortgage or Lender: N/A
	Contact Name
	E-Mail Address:  Telephone Number:
	If property has a mortgage or lender, the mortgage or lender shall be required to provide a
	release for this application to proceed.
	PLEASE NOTE: Florida has a very broad public records law. Most written communications to
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	Provide an executed Property Owner Affidavit Form authorising a
	behalf of the property owner.

### ADDITIONAL INFORMATION **C**.

- 1. Is there any additional contract for the sale of, or options to purchase, the subject property? If yes, list the names of all parties involved: Take 5 If yes, is the contract/option contingent or absolute: 

  ■ Contingent □ Absolute
- 2. Has a previous application been made on all or part of the subject property? Fixes 2 No \_\_\_\_
- 3. Future Land Use Map Amendment: **■**Yes In Process □No Future Land Use Map Amendment Application No. In Process Site Specific Amendment to the Official Zoning Atlas (Rezoning): ≥Yes □No Site-Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. \_ Variance::::Yes Variance Application No. Special Exception: Special Exception Application No.

### ATTACHMENT/SUBMITTAL REQUIREMENTS D.

Vicinity Map - Indicating general location of the site, abutting streets, existing utilities, complete legal description of the property in question, and adjacent land use.

2. Site Plan - Including, but not limited to the following:

- a. Name, location, owner, and designer of the proposed development.
- b. Present zoning for subject site.
- c. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties and any screening or buffers on such properties.
- d. Date, north arrow, and graphic scale not less than one inch equal to 50 feet.
- e. Area and dimensions of site (Survey).
- f. Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.
- g. Access to utilities and points of utility hook-up.
- h. Location and dimensions of all existing and proposed parking areas and loading areas.
- i. Location, size, and design of proposed landscaped areas (including existing trees and required landscaped buffer areas).
- j. Location and size of any lakes, ponds, canals, or other waters and waterways.
- k. Structures and major features fully dimensioned including setbacks, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and percent of property covered by structures.
- 1. Location of trash receptacles.

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- m. For multiple-family, hotel, motel, and mobile home park site plans:
  - Tabulation of gross acreage.
  - ji. Tabulation of density.
  - Number of dwelling units proposed. iii.
  - Location and percent of total open space and recreation areas. iv.
  - v. Percent of lot covered by buildings.

- Floor area of dwelling units. vi.
- Number of proposed parking spaces. vii.
- viii. Street layout.
- Layout of mobile home stands (for mobile home parks only). ix.

### Stormwater Management Plan—Including the following:

- a. Existing contours at one-foot intervals based on U.S. Coast and Geodetic Datum.
- b. Proposed finished elevation of each building site and first floor level.
- c. Existing and proposed stormwater management facilities with size and grades.
- d. Proposed orderly disposal of surface water runoff.
- e. Centerline elevations along adjacent streets.
- f. Water management district surface water management permit.
- 4. Fire Department Access and Water Supply Plan: The Fire Department Access and Water Supply Plan must demonstrate compliance with Chapter 18 of the Florida Fire Prevention Code, be located on a separate signed and sealed plan sheet, and must be prepared by a professional fire engineer licensed in the State of Florida. The Fire Department Access and Water Supply Plan must contain fire flow calculations in accordance with the Guide for Determination of Required Fire Flow, latest edition, as published by the Insurance Service Office ("ISO") and/or Chapter 18, Section 18.4 of the Florida Fire Prevention Code, whichever is greater.
- 5. Mobility Plan: Mobility plan shall include accessibility plan for ADA compliance, safe and convenient onsite traffic flow, and accessibility plan for bicycle and pedestrian safety. The City shall require additional right of way width for bicycle and pedestrian ways to be provided for all proposed collector and arterial roadways, as integrated or parallel transportation facilities per Policy II.1.4 of the Comprehensive Plan.
- Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities. For commercial and industrial developments, an analysis of the impacts to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts are required.
- Comprehensive Plan Consistency Analysis: An analysis of the application's consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies).
- Legal Description with Tax Parcel Number (In Word Format).
- Proof of Ownership (i.e. deed).
- 10. Agent Authorization Form (signed and notarized).
- 11. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector's City of Lake City – Growth Management Department 205 North Marion Ave, Lake City, FL 32055 ♦ (386) 719-5750

Office).

- 12. Fee: The application fee for a Site and Development Plan Application is \$200.00. No application shall be accepted or processed until the required application fee has been paid
- 13. **Notices:** All property owners within three hundred (300) feet must be notified by certified mail by the proponent and proof of the receipt of these notices must be submitted as part of the application package submittal.

The Growth Management Department shall supply the name and addresses of the property owners. The notification letters, and the envelopes to the proponent.

ACKNOWLEDGEMENT, SIGNATURES, AND NOTORY ON FOLLOWING PAGE

### NOTICE TO APPLICANT

All eleven (13) attachments listed above are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

A total of eight (2) copies of proposed site plan application and all support materials must be submitted along with a PDF copy on a CD. See City of Lake City submittal guidelines for additional submittal requirements.

THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORETHE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES, OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

Charles Millar	
Applicant Agen Name ("pe or Print)	
AJ UM	8/24
Applicant/Agent Signature	Date
Applicant/Agent Name (Type or Print)	
enter an annual	
Applicant/Agent Signature	
STATE OF FLORIDA COUNTY OF Vange	Date
The foregoing instrument was acknowled by the fore me this STANDER TO THE THE PROPERTY OF THE	day of Scot, 20 24 by (name of person acknowledging).
Personally, Known OR Produced of Ringhibit OR verified on-lin	Signature of Notary LUSA MULLANDE.  Printed Name of Notary
Personally, Known OR Produced Merking Ribbi OR Verified on-lin	e virtually



# **TAKE 5 EXPRESS OIL CHANGE**

2194 W US HWY 90

LAKE CITY, COLUMBIA COUNTY, FLORIDA

TAX PARCEL: 363S1602631000

# VICINITY MAP GRANDVIEW AVE

# CONSTRUCTION DOCUMENTS

DRIVEN BRANDS
440 SOUTH CHURCH STREET, SUITE 700
CHARLOTTE, 10C 280/2
PHONE: (281) 850-583
CONTACT: PAUL MASCOLA

OWNER / DEVELOPER DEVELOPMENT TEAM

### **GOVERNING AGENCIES & UTILITY CONTACTS** ELECTRIC RORIDA POWER & LIGHT (FPL) 2516 WE BASCOM HORRIS DRIVE LAKE CITY, FL 32055 PHONE: (38) 754-2047 CONTACT: MILLIAM GIEBERG EMAIL: William:Glebelg@fbl.com SURVEYOR ALTAMAX SURVEYING 910 BELLE AVENUE, SUITE 1100 CASSELBERRY, FL 32708 PHONE: (407) 677-3200 CONTACT: JAMES D, BRAY 25 CENTRAL WAY, SUITE 400 KIRKLAND, WA 98033 PHONE: (425) 246-4051 CONTACT: BLAKE ERLANDSON LANDSCAPE STORM DRAINAGE SUMMINER FOR MATER MANAGEMENT DISTREY SUMMINER FOR MATER MANAGEMENT DISTREY LOSS COUNT FROM 69 LOSS COUNT FOR MACE LOSS AND AND LOSS GAS LAKE CITY UTILITIES 802 SW ST. MARCARETS STREET LAKE CITY, PL 3/20'S PHONE: (386) 7/3-5812 EMAIL: DyniP@forb.com C001 C002 C003 C010 C030 C100 C100 C200 C300 C310 C310 C310 C521 COVER SHEET GENERAL CONSTRUCTION NOTES SWPPP NOTES AND DETAILS EXISTING CONDITIONS PLAN SITE PAVING DETAILS DETAILS DETAILS UTILITY ENLARGEMENTS PLAN EROSION CONTROL & SEDIMENTATION GRADING & DRAINAGE PLAN DEMOLITION PLAN SITE PLAN UTILITY PLAN

CUHACH-PETERSON
550 TOWNSHIP LINE ROAD, SUITE 300
BLUE BELL, PA 19422
PHONE: (215) 641-4850
CCNTACT: MAFER PAPERONE

ARCHITECT

ATWELL, LLC 111 NORTH MAGNOLIA AVENUE, SUITE 1950 ORLANDO, FL 32801 PHONE: (407) 743-3524 CONTACT: KEITH S. HAUGDAHL, PE

CIVIL ENGINEER

PAYICH BRANDS
440 SOUTH CHURCH STREET, SUITE 770
CHARLOTTE, NO 28202
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WATER

LAKE ONY UTILITIES
982 SW ST. MARGARETS STREET
LAKE CITY, PL 32026
PHONE. (388) 719-3812
EMAIL DYAP@Jeffa.com

LAKE CITY UTILITIES 892 SW ST. MARGARETS STREET LAKE CITY, FL 23025 PHONE: (386) 719-8812 EMAIL: DyalP@lcfta.com

SOLID WASTE MANAGEMENT COLUMBIA COUNTY WASTE MANAGEMENT 1347 NW COSTERHOUDT LANE LAKE CITY, E1 32055
PHONE: (389) 752-2659

TELEPHONE
AT & T
400 SW 2ND AVENUE
GAINESVILLE, FL 32501
PHONE: (352) 213-4188
EMAIL: Sp9109@att.com

MAIL: Pam\_Davis@columbi

countyma.com

SANITARY SEWER

205 N. MARION AVE. LAKE CITY, FL 32055 PHONE: (386) 752-2031

ONING / PLANNING

DRIVEN BRANDS CONSTRUCTION DOCUMENTS COVER SHEET

TAKE 5 EXPRESS OIL CHANGE

SECTION 36, TWP 03, RANGE 16E 2194 W US HWY 90 LAKE CITY

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- CONTRACTOR SHALL REVIEW "MAINTENANCE OF UTILITY SERVICE PLAN" WITH ENGINER AND UTILITY COMPANY PRIOR TO START OF UTILITY CONSTRUCTION

- PPE LENGTHS SHOWN ARE APPROXIMATE AND SHALL BE ORDERED FROM FIELD STAKED QUANTITIES YAN PPE LENGTHS ARE MANSLIKED FROM CONNECTION POINT TO END OF THE LINES FOR WATER LINES

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## GOVERNING SPECIFICATIONS

- GRUING, DAMMET AND PAINS MATERIALS AND CONSTRUCTION SHALL BE IN CONCREANANT WITH CHIEF PROFESSIONAD SECRETARIONS FOR BOAD AND BRIGGE CONSTRUCTION AS SUPPLEMENTED BY THE FEDEL STANDARD INCDE AND AS SUPPLEMENTED BY DEFINED AND NOTES ON PLANS
- CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE CURRENT COLUMBIA COUNTY ENGINEERING STANDARDS, EXCEPT AS NOTED ON PLANS
- CONFORM TO ALL REQUIREMENTS OF THE RORDA DEPT, OF ENVIRONMENTAL PROTECTION (FDEP) SOLIDISTURBANCE AND WATER OR SANITARY SYSTEM EXTENSIONS PERMITS WATER DISTRIBUTION SYSTEM MATERIALS AND CONSTRUCTION SHULL BE IN CONFORMANCE WITH-COLUMBIA COUNTY UTILITIES STANDARDS AND SPECIFICATIONS, EXCEPTAS NOTED ON PLANS

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- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND WILL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY.
- DEMATERING METHODS SHALL BE USED AS REQUIRED TO KEEP TRENCHES DRY WHILE PIPE AND APPLIETEMANCES ARE BEING PLACED.
- ALL NECESARY FILL AND EMBANKMENT THAT IS PLACED DURING CONSTRUCTION SHALL CONSIST OF MATERIAL SECRETS BY THE PROJECT GEOTECHANCAL REPORT PREPARED BY THERACCON CONSULTANTS, INC. AND BE PLACED AND COMPACTED ACCORDING TO THESE PLANS
- PROPOSED SPOT ELEVÁTIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADE UNILESS CHHERWISE NOTED ON DRAWRINGS

- REFER TO THE CUMBON DOTHON OF THE FOOT "ROADWAY AND TRAFFIC DESIGN STAVDARDS" FOR DETAILS AND SPECIFICATIONS OF ALL FOOT TYPE CURBING CALLED FOR IN THESE PLANS
- CONTRACTOR TO PROVIDE A 1/2-INLINIUMBINDUS EXPANSION JOINT MATERIAL WITH SEMER WHERE CONCRETE ABUTS BUILDINGS, OTHER CONCRETE, OR OTHER RIGID MATERIALS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL DOSTING SURVEY MONUMENTATION DISTURBED MONUMENTATION SHALL BE RESTORED AT CONTRACTOR'S EXPENSE BY A SURVEYOR SELECTED BY THE FORMAN
- THE CONTRACTION IS RESPONSIBLE FOR COORDINATIVE WITH THE SOILS BYGINEER FOR APPLICABLE TESTING UPON COMPLETION OF THE WORK. THE SOILS BYGINEER WILL SAIMAT ALL MATERIAL TESTING REPORTS AND ROLLIST CORTIFICATIONS TO THE OWNER AND BYGINEER STATING THAT ALL REQUIREDATIONS HAVE BEEN MET.
- ALL UNDERGROUND UTILITIES SHALL BE IN PLACE AND PASS ALL TESTING OR INSPECTION REQUIREMENT PRIOR TO ROAD BASE AND OR SURFACE IMPROVEMENT CONSTRUCTION.

- CONFORM TO ALL REGUIRBMENTS OF THE SUWANNER RIVER WATER MANAGEMENT DISTRICT (SRWAD) ENVIRONMENTAL RESOURCES PERMIT (EBP)

# CLEARING AND GRUEBING NOTES:

- PRIOR TO START AND CONSTRUCTION, ALL SILT FEWE EROSION CONTROL DEVICES AND SECIMENT CONTROL BASING SHALL BEINSTALLED AND OPERATIONAL
- ALL HORGATED MATERIALS TO BE CLEARED, GRUBBED AND REMOVED FROM THE CONSTRUCTION AREA INCLUDE, BUT MAE NOT JUNIEDD TO THE COLOMING ALL THEST, STIMPS, ROOTS, BRUSH, TRASH, ORGANIZ MATTER WITHAY THE SITE, CURBING, PANING, MISCELLANEOUS STRUCTURES OF MAYS, MAD OTHER DEBRIS
- GRUBBING SHALL CONSET OF COMPLETELY REMOVING ROOTS, STUMPS, TRASH AND OTHER DEBIS FROM SITE, SO THAT THE TOPSOIL IS FREE OF ROOTS AND DEBIS TOPSOIL IS TO BE LEFT SUFFICIENTLY CLEAN SO THAT FURTHER PICKING AND BUSING SHALL NOT BEREQUIRED.
- BURNING OF TREES, ROOTS, OR ANY ISIND OF MATERIALS SHALL NOT BE ALLOWED ANYWHERE ON THE SITE
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- DISPOSAL OF ANY EXCESS EARTH-WORK MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR
- IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE COMPLIANCE WITH A D.A. STANDARDS
- COMPACTOR SHALL SAW-CUT EXISTING PAVEMENT TO PROVING CLEAN JOINT, REJOYSE EXISTING PAVEMENT FOR YELV INSTALLATION AND MATCH EXSTING PAYEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS ENSITING PAYEMENT
- REFER TO THE CURRENT EDITION OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION FOR SPECIFICATIONS ON PAYING MATERIALS

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POTABLE WATER:

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UTILITY PROVIDERS

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- CONDUCTS BETWEEN UNDERGROUND UTLITTES, IE WATER, ELECTRUCAL, COMMUNICATIONS, CAS, AND STORM OF SANTIANT SEMES SHALL RETEXPLOTOR OF ADMINIST SEMES SHALL ROT ZE ADJUSTED WITHOUT PRIOR APPROVAL OF THE CHICAGO COT, CARANT, SOWER SHALL NOT ZE ADJUSTED WITHOUT PRIOR APPROVAL OF THE BICKNETS AND THE MUNICIPAL AUD-DRIFT.
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- COMPACTOR SHALL PROVIDE FOR THE TEMPORARY SUPPORT AND PROTECTION OF DOSTING UTILITIES WITHIN THE WORK ZONE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE ADEQUACY OF THESE METHODS 15 ALL SHEETING, SHORING, AND BRACING SYSTEMS. THE CONTRACTOR SHALL PROVIDE APPLICABLE TIST RESULTS FOR THE PURPOSE OF CRITIPICATIONS REQUIRED BY THE FEB ON OTHER CONSISTANCE ACENCY HAVING JURISDICTION, TESTING AND CREMENCHANG SHALL RESULTIONS HAVE REVUILING BUT A REFORM AND FRANCE TO WATER UNG. SANTIANY SEWERS, MILVION MACTERIALS
- SANITARY SEWERS AND WATER MAINS SHALL NOT BE PLACED INTO SERVICE UNTIL A CLEARANCE LETTER/CERTHICATION OF COMPLETION IS RECEIVED FROM FDEP FOR THE PROJECT.

STRIPING AND SIGNAGE NOTES:

- SIGNESS AND PARKERT MARCHOS TO BE DONE IN ACCORDANCE WITH THE CURRENT EDITIONS OF MANUAL ON UNEONEM TOUTH CONTROL DEVICES (MUTCD), AND THE FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS. COORDINATE AND PROVIDE FOR THE DISPOSITION AND PER PLAN REMOVAL OF EXISTING SIGNS WITH THE MUNICIPAL AUTHORITY.
- DOTATING SHANT THAT FARETO REMAIN SHALL BE PROTECTED AND YOURS LOVE SHAND THE COUNTS LOVES SHALL BE REPLACED BY THE CONTRACTOR SHALL BE PROTECTED AND YOUR LOVES AND THE CHARACTURAL TO THE CHARACTURAL TO
- -CAUTION STALL BE EXERCISED IN THE INSTALLATION OF POST MOLATITO ROAD SIDE SIGNS IN ORDER TO PREVENT DAMAGE TO BURED UTILITIES, LOCATIONS SHALL CONFORM TO FDOT PYZNZZ-2024 STANDARD 700-101
- SIGNS SHALL BE CONSTRUCTED WITH TIPE III B HIGH PERFORMANCE PRISMATIC REFLECTIVE SHEETING DICEPT FOR "STOP", "WRONG-WAY", AND "DO-NOT-BRIER" WHICH SHALL BE TYPE VI SHEETING BIGINERS SHALL BE NOTHED WHEN SHAN ASSEMBLY LOCATIONS SHOWN ON THE PLANS ARE IN COMPLICT WITH SHOWLLS, LIGHTING, UTILITIES, ETC. LOCATION MAY BE SLIGHTLY ADJUSTED AS DIRECTED BY THE ROKINEER.
- ALL SURFACES SHALL BE CLEANED PRIOR TO THE START OF INSTALLATION OF ALL PAVEMENT MARKINGS CONTRACTOR SHALL RELOVERBY THE LEWGTH OF SIGN COLUMN SLEPPORTS PRIOR TO FARRICATION OF THE CONTRACTOR SHALL RELOVED TO THE ARTHMUM SHALL SHALL RELOVED TO THE CONTRACTOR SHALL RELOVED THE CONTRACTOR SHALL RELOVED THE LEWGTH OF SIGN COLUMN SLEPPORTS PRIOR TO FARRICATION
- BRAVIAL OF EXSTING PAVEHENT MANURES SHALL BE ACCOMPLISHED BY A COMBINATION OF SAND AND WATER BLACTING, OR OTHER APPROVED METHOD THAT WILL NOT MATERALLY DAMAGE THE SURFACE TEXTURE OF THE PAVENDER, AND WALL RALLY QUINNETE AN "FACE OF THE PROVIDES MANURANS METHOD USED MAST RECEIVE PRE-APPROVAL OF THE MANURCIPAL AUTHORITY.
- PARTIES PARABET MARCINGS SHALL BE INSTALLED ON THE FINAL ASPHALT SURFACE DUBING THE NITUAL DOARY CIRE PERSON, AND FINAL THEMOPAY SITE OF MANAGERY MANDINGS SHALL BE INSTALLED AVERAF MANDINGS SHALL CONFORM TO FROM SHALLED PAYADART MANDINGS SHALL CONFORM TO FROM SECTION 711, AND THERMOPASHIT TO SECTION 711
- PLACEMENT OF TURN ARROWS SHALL CONFORM TO FDOT STANDARD 11346 CROSSWALKS SHALL BE 10-4F WIDE UNLESS OTHERWISE SHOWN ON THE PLANS, AND SHALL CONFORM TO FDOT FY2023-2024 STANDARD 711-001.
- ALL PERMANENT STREPHS SHALL BE INSTALLED PRIOR TO RETRO-REFLECTIVE PAVEMENT MARKERS (RPMS).
  RISTALLATION, PLACEMENT OF RPMS SHALL CONFIDENT TO FDOT PG2023-2824 STANDARD 786-001.

SUNSHINE STATE ONE CALL CENTER WWW.CALLSUNSHINE COM

CONTRACTOR SHALL COORDINATE WITH THE LOCAL PUBLIC TRANSIT AGENCY FOR BUS STOP OR RESPECTIVE SIGNS TO BE REMOVED OR RELOCATED.

COLUMBIA COUNTY NOTES:

1 SITE DUST CONTROL IS MANDATORY. CONTRACTOR SHALL BURKOY BARPS; SUCH AS WIND SCREEN ON PERIMETER OF CONSTRUCTION FENCING, WATER MISTING OF DRY SOILS, ETC.

### UTILITY SYSTEM NOTES

- MORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE COORDINATED WITH GOVERNING AUTHORITES. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS AND MY REQUIRED FEES, AND COMPLY WITH LOCAL STATE AND FEDERAL REGULATIONS APPLICABLE TO CONSTRUCTION OF THE PROJECT
- LAXE CITY UITUTIES
  692 SW ST MARGARETS STREET
  LAXE CITY, FL 30025
  PH (369) 719-5812
  EMAIL: Dyalf @kdia.com HIRE PROTECTION:
- FIRE CHIEF
  509 SW PACCOM NORRIS DRIVE
  LINE CTIV, FL 3,2055
  PH: (366) 758-3907
  PMAIL: Jeff\_Crawford@columbiacountyfia.com

WASTEWATER:
LAKE CITY UTILITIES
82 SW ST. MARGARETS STREET
LAKE CITY, FL 12025
PH (100) 719-5012
EMAIL DynP@lefia.com

FLORIDA POWER AND LIGHT 2616 NE BASCOM NORRIS DRIVE LAKE CITY, R. 32055 PH (106) 754-2047 PMAIL: William Girbarg #fpl com

NATURAL GAS:
LAKE CITY UNLITIES
692 SW ST. MARGARETS STREET
LAKE CITY, FL 30025
PH. (380) 719-8572
PH. 6107 PH. 6107

# STORMWATER: AURETT SPENCER SUMANEE PROVINCER SUMANEE NOW, WITE MANAGEMENT DISTRICT PASS COLINITY POIND 49 LIVE DAK, P. 13969 PH. (189) 123-0139 EMAIL Gurett Sproverbrownd org

TELEPHONE:
SCOTT PERLER
ATE!
400 SW ZNO AVENUE
GAINESVILLE, FL 32801
PH (352) 213-4188
EMAIL SP\$115@sit.com

### 48 HOURS BEFORE DIGGING TOLL FREE

## DEMOLITION NOTES:

\* 45

WHERE TO JAY CORNING THE HE CONTRACTOR SHALL WERE THE CORNING OF ALL DESTINA IMMEDIA OF ANY PROPERTY TO THE HEAD AND THE THE CORNING OF ALL DESTINA SHARE PROPARATION RESISTENCE AN INSERT MANORS. ACCORDINATE THE REAL PROPAGATION AND THE PROPARATION AND THE PROPAGATION AND THE PROPAGAT

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TAKE 5 EXPRESS OIL CHANGE CONSTRUCTION DOCUMENTS

GENERAL CONSTRUCTION NOTES

SECTION 36, TWP 03, RANGE 16E 2194 W US HWY 90 LAKE CITY

COLUMBIA COUNTY, FLORIDA

ATWELL

# CONSTRUCTION ACTIVITIES AND CONTRACTOR RESPONSIBILITIES:

- THE CONTRACTOR SHALL RECOME FAMILLAR WITH AND ABIDE BY ALL PRIMIT CONDITIONS, INSPECTIONS SCHEDULES, AND OTHER RELEVANT REGULATORY AGONCY RULES AND REQULATIONS
- BMPs. SYNTHETIC BALES OR SEDIMENT FILTER LOGS.
- INLET PROTECTION: PERFORATED PIPE WRAPPED IN FILTER FABRIC (FILTER LOGS)
- TEMPORARY SLOPE STABILIZATION: CONTRACTOR SHALL PROVIDE FOR THE SAFETY OF TEMPORARY SOIL EMBANDMENT AND SHORING REQUIREMENTS AT NO ADDITIONAL COST TO THE DWINER
- DEBENIAL POLITAMED DIBNOS CONSTRUCTION DESTRINOUS, TODIC, OR CONTAMINATED MATERIAL, IN DOBINISCO DE NA MERIODES LAUSTIL, CONTRET, LOCA GENERICAPO, CORRECCIONES ON MERICADO DESCUENCIONES DE STOCKONES ON SEMONDES DOM TRE STEE AS ORICCEDE BY THE OWNER, AND DOBINIAL POLITAMENTO. DE STOCKONES ON SEMONDES DOM TRE STEE AS ORICCEDE BY THE OWNER, AND DOBINIAL POLITAMENTO. ON A CHEMICA, UNITEDE (JULI, TODE 407-3947-3553) PRIOR TO ANY DOBINIAL POLITAMENTO.
- <u>VENERALIDADE CONTRACTOR DE MESTE CONTRACTOR CONTRACTOR DE MODE, DANS DE MESTE CONTRACTOR DE MODELES DANS DE MESTE. CONTRACTOR DE MODELES DANS DE MOSTO, AND A FEB. A CANTRACTOR DE MODELES DANS DE MOSTO. A CANTRACTOR DE MODELES DANS DE MOSTO. A CANTRACTOR DE MODELES DANS DE MOSTO. A CANTRACTOR DE M</u>
- <u>REMATERING.</u> IN GENERAL, WATER FROM CONTAMINATED MEAS ARE TO REDISCUMGED TO SANITARY SEWER SYSTEM. AND WATER ROAM MONA-CONTAMINATED MEASS ARE TO RE DISCUMBED THIO STORM SEWER SYSTEM. AND WATER ROAM MONA-CONTAMINATED MEASS ARE TO RE DISCUMBED TO STORE SEWER SYSTEM. AND THE GEOTECHMENAL REPORT REPAINABLY STORMWAREA MANAGEMENT CONTROLS RETEVIDON AND DETEVIDENDESHIT BANDON SYSTEMS STORMWAREA SEVER SYSTEM, PLUS STORMWAITER CONTROL STRUCTURE IS TO PREVENT TRAIS FROM GOING TO CITYS DRAINAGESTSTEM
- <u>DEWATERING</u> DEWATERING ACTIVITIES SHALL NOT RESULT IN THE DISCHARGE OF ANY WATER WITH TURBICITY GREATER THAN 25 KILDS FROM THE SITE PER SECTION 6:1401 PR OF THE ESM
- TO CONTRACTOR SHALL MAKE AN SFORT TO MINAMIZE THE AREA OF DISTURBANCE AND WILL BE RESPONSIBLE FOR ALL CHAMCES. ALL DISTING SOCKED AREA ENTITIED DUTING THE COASTRUCTION SHALL BEBLACKED WITH THE SALL FOR SOON COMPORMANCE WITH THE STANDARD SPECIFICATIONS WITH HAY DAYS OF THALL GRAPHING.
- SURFACE DRAINAGE SHALL BE DIVERTED FROM EXCAVATIONS AND STOCKPILE AREAS SUCH THAT PROPE STE CONDITIONS ARE MAINTAINED AND EROSION DUE TO PAIN RUIN-OFF OR SEEPAGE IS PREVENTED OR
- . NO FERTILIZERS, HERBICIDES, OR PESTICIDES ARE TO BE USED ON-SITE WITHOUT PRIOR APPROVAL OF CITY OR COUNTY STAFF INLES AND CATCH BASINS SHALL BE PROTECTED PROM SEDMADRY UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS. EXCISION CONTROL OF ALL MALE TO PRANAGE STRUCTURES DUBNG CONSTRUCTION OPERATION SCHALL BENCHCOMPACH WITH THE FLORIGH STORMHATER, EROSION AND SEDMEDITATION CONTROL INSPECTOR'S HANDBOOK.
- 14. AFTER ALL CONSTRUCTION IS COMPLETE, ALL STRUCTURES AND STORM SEWER MPES IN THE SYSTEM SHALL BE CLEAVED AND TEMPORARY PLUCS IN STRUCTURES SHALL BEREMOVED.
- 15. ADDITIONAL NOTES: IF NECESSARY, CONTRACTOR S-MALL INSTALL TURBUTY BARBER, AND USE STREET SMEETER TO CLEM ANY OFF-SIT TUNCHING OF SCIL CONTRACTOR IS RESPONSIBLE FOR INSTALLING ANY ADDITIONAL RESIDENC CONTROL ET TRECIMES NECESSARY TO NIEST STATE AND LOCAL STANDARDS, AND TO COMPLY WITH THIS PLAN. MASTERBOOSE, ALL WASTE SUCH AS DISCAMEDS BILIDING MATERIALS, OHBINCALS, LITTER, AND
  SHARM WASTE SUALE SERVENCE CONTROLLED IN ACCORDANCE, MITH ALL APPLICALS, INCLUDING
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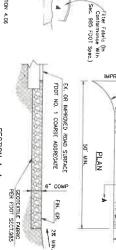
# SENERAL CONSTRUCTION NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THESE DRAWINGS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL PERFORM A "SUNSHINE ONE-CALL" PRIOR TO EXCAVATIONS
- THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE PERMITS PRIOR TO CONSTRUCTION AND MAINTAIN COPIES AT THE LOSSITE
- THE LOCATION OF ALL DOSTING UTILITIES AND STORM DRAINAGE SKOWN ON THE PLANS IS ADDRESSED FERENCIAS TO BE SET INFORMATION LAVILLABLE AND IS GIVEN FOR THE REST INFORMATION LAVILLABLE AND IS GIVEN FOR THE PLANS IS AND THE PLANS IS AND THE PLANS IN THE PLA
- THE CONTRACTOR SHALL COOKDINATE ALL THEE REMONAS REQUIRED BY CONSTRUCTION WITH THE OWNAR'S REPRESENTATIVE. THE CONTRACTOR SHALL STRIVE TO PROTECT AS MARY TREES AS POSSIBLE DURING CONSTRUCTION OPERATIONS, COORDINATE FEFORTS WITH AREA DEVELOPMENT PLANS

- CONTACT LOCAL ENARONMENTAL COMPLIANCE OFFICIAL FOR APPROVAL OF EROSION CONTROL MEASURES 24 HOURS PRIOR TO BEGINNING GRADE WORK

- ANY PURILY LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION, IS TO BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE WITHOUT DELAY.
- SOILS DATA GEOTECHNICAL REPORT PREPARED BY TERRACON CONSULTANTS, INC
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL THE REQUIRED CONSTRUCTION PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCING WORK





### SECTION A-A

NOTE:
ALL SILT FENCING SHALL COMPLY WITH THE LATEST FLORIDA
EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL, SECTION 4.06

ELEVATION

TYPE III SILT FENCE

# ROCK CONSTRUCTION ENTRANCE

- THE CONTRACTOR IS ADVISED TO REING ANY LAYOUT CHSCREPANCIES TO THE IMMEDIATE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION
- ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST MJUTICID, AND FIDIO, ESPECIFICATIONS.
- COORDINATE WITH LOCAL EMERGENCY SERVICES AND PROVIDE EMERGENCY ACCESS CONRIDOR THROUGHOUT CONSTRUCTION
- MATERIALS INTERFEUNG WITH CONSTRUCTION SHALL BE DISPOSED OF AS DIRECTED BY THE OWNER
- ALL EXCESS DIRT, CLEARING DEBNS, UNGUITABLE MATERIALS AND EXSTRIK ROADWAY MATERIAL RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE HAVIED OFF IN A LEGAL MANNER.
- THE CONTRACTOR SHALL REPORTS A LINES LERGING SHEARE, AREA ACCESSIBLE TO THE HALL ROLDS.
  SHALL BE DELINEATED WITH SAFETY FERNING LAND CONSTRUCTIONS STREAMED. THE AREA.
  SHALL BE DELINEATED WITH SAFETY FERNING LAND SITTEMEST SHALL BE ROUNDED.

  SHALL BE DELINEATED. WITH SAFETY FERNING LAND SITTEMEST SHALL BE REAL RECOVERY.

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EGSTING TOPOGRAPHY AND ROADWAY DATA SHOWN ARE BASED UPON TOPOGRAPHIC SURVEYS BY.

COMPANY, INC.: ALTAMAX SURVEYING CONTACT. JAMES D. BRAY ADDRESS 910 BELIE AVENUE, SUITE 1100 CASSBERRY, R. 12708 PHONE (407) 677-0200

- CONTRACTOR SHALL CONFINE HIS OFF-SITE ACTIVITIES TO LIMITS OF CONSTRUCTION AS DEPICTED ON THE DEMOLITION PLAN (PROPOSED BY ATWELL LLC.)

# EROSION AND SEDIMENTATION CONTROL NOTES:

- STANIEZATION HEAUNES SHALL BE NATION TED FOR EROSION AND SEZIMENT CONTROL ON DISTURBED MANGES AS YOUR FORCETCHES BE NOTIFIED BY THE SITE WHIFE CONSTRUCTION ACTIVITIES HAVE TRAPORABLY ON BERNANNIANT CESSED BY INT IN AND CASE DOOT THAN I FLOARS AFER HE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEAD POWERLY OR REGIMANIBITY OF REGIMANIBITY.
- THE COCKINA MAD THE OF THE RESIGNA CONTROL MEXICURES SCHAMION THESE FRAMINGS ARE RECORDED DICK ORDERAL GUIDANCE TO THE CONTRACTION HAN HER HOSTOS AND SECURIFICACION CONKERNATION SUPPLOYED THE CONTRACTION MAY IN RECORDE THASE ON ESSENSION CONTROL. MERICHES THAN THAT EXPECTED TO MARNIAN ADEQUATE RECONSTRUKTION AND SERMENT CONTROL FOR CONSTRUCTION ACTIVITIES.
- BEOGRAPH/MIRROTT ANNIES METT BE KRYMLIND A LLL DOCATION WHEEL HE RECORDING TO BE THANKE REPORT SCHOOL THE LUTBERD SCHOOL TO DALLACTO PROPER INTELL. ADECKTION, WHET ALL SCHOOL THE LUTBER TO BE AND THE LUTBER THE CONTRACT BY A RECORD AND THE LUTBER TO BE A RECORD AND THE RECORD AND THE LUTBER TO BE A RECORD AND THE RECORD AND
- HE CONTACTO SHALL BE RECHARLE FOR THE CONSICTIONS FAVY BESIDES INSURANT TONAL SHAME OF SHALL BE AUTHORITY PRESIDES FAVY BESIDES FOR THE SHAPE S
- MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO INSURE THAT SEDIMENTATION AND/OR TURNIDITY PROBLEMS ARE NOT CREATED IN THE RECEIVING WATER.
- PRIOR TO REGIMENT THE CLEARING AND GRUBBING OF HE SITE SYNTHETIC BALES SHALL BE STAKED TO THE CROUND ALGORITHE PROPERTY LIVE AT LOW, AREASE AN ADDIPOLY TO THE RESUMETER SILT FRACTOR PREVENT STORMWATER FROM WASHING EXCESS SOIL FROM THE SITE.
- THE SIZE SAUL IE GRADOD SUCH THAT ALL STORMANTER WILL BE INSECTED INTO THE DAY-SIZE STORMANTER SCHEEN PAPER SCHEEN THE STORMANTER SCHEEN THE SCHEEN THE STORMEN THE STORMEN THE STORMEN THE STORMEN THE SCHEEN THE SCHEEN SCHEEN SCHEEN SCHEEN SCHEEN SCHEEN SAUL MAZE TROMSENSE OF AVAILABLE THAT SCHEEN SCHEEN THE SCHEEN THE
- SILT FENCE SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH LAKE CITY, AND FOOT STANDARDS AND SPECIFICATIONS, AND THE CONTRACT DRAWINGS
- CONTRACTOR SHALL REPLACE CLOGGED SECTIONS OF SILT FENCES AND PERFORATED PIPE WITH FABRISHOCK AS NECESSARY TO MAINTAIN WATER PASSAGE
- CONTRACTOR SHALL PROMDE SEDMENT CONTROL DURING INSTALLATION OF NEW CURBING AND DRIVEWAYS AS APPROXED BY THE ENGINEER.
- CONTRACTOR SHALL TAXE CARE TO KEEP EXPOSED AREAS TO A MINIMUM POSSIBLE TIME DURING CONSTRUCTION
- ON-SITE CONTROL MEMOURES SHALL BE APPLED TO REDUCE BROSION AS SHOWN ON THE PLANS, DETAIL SHETS AND IN ACCORDANCE WITH FLOOT, SED AND THE LIVE SETTING REGULATIONS ZOR BROSION CONTROL MEMOURES STOCKHING AND STORAGE OF METRIANS SHOULD NOT BE IN CONTROL IN A MANNER TO INFEDERICAN OR CAUSE MATERIALS TO BE BROSED BY STORMWATER RUMOFF
- ALI TUMORAMY SCOMENTATION CONTROL STRUCTURES AND MEXISTES OF SE USED DORMAGE CONSTRUCTION SCHALL BE INSTALLED BEING TO ANY CONSTRUCTION ACT HAT PARK SPEAK OF STEEN OR BEING CONSTRUCTION ACT HE PERMANDET STEEN OR HAT DESCRIPTION OF THE PERMANDET STEEN OR THE AND THE SECONDATION OF THE PERMANDET STEEN OF THE AND THE SECONDATION OF THE PERMANDET STEEN OF THE AND THE SECONDATION OF THE PERMANDET STEEN OF THE AND THE SECONDATION OF THE PERMANDET STEEN OF THE AND THE SECONDATION OF THE PERMANDET STEEN OF THE AND THE SECONDATION OF THE PERMANDET STEEN OF THE SECONDATION OF THE SECOND
- CONTRACTOR TO BEPECT BROSDON/SEDIMENT CONTROL DRINESS DALLY AND WITHIN 24 HOURS OF EACH 0.5 INCH DR. GREATER AUNFALL EVENT FOR EFFECTIVENESS ANY NECESSARY REMEDIES SVALL BE PERGENARD MANICHAFTLY
- NO EXCAVATING MATERIAL SHALL BE STOCKPILED IN A MANNER AS TO DIRECT RUNDFE DIRECTLY OFF PROJECT SITE OR INTO ANY ADJACENT WATER BODY OR STORMWATER COLLECTION FACILITY.
- 17. ALL EXCESS FILL MATERIAL WILL BE HAULED OFFSITE.
- DRIVEN BRANDS
  440 SOUTH CHURCH STREET
  SUITE 760
  CHARLOTTE, NC 28/202
  PHONE (281) 660-9583
  CONTACT, SUMMA ALAMOUDI DEVELOPER CONTACT INFORMATION

Note: Spacing for Type III Fence to be in accordance with Chart 1 type III Sitt Fence

Silt Flow

Optional Post Positions

Principle Post Position (Canted 20' Toward Flow)

Post (Options: 2" x 4" Or 2½Min. Dio. Wood; Steel 1.33 Lbs/Ft. Min.)

SECTION

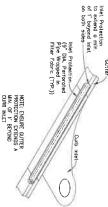
Sat Flow

Filter Fabric

FLAIR

ALLOW FOR TURNS

3' Or More



# INLET PROTECTION SCALE NTS

COOR IN COOR

HAND WAS

# STORMWATER POLLUTION PREVENTION PLAN NOTES:

- CONSTRUCTION ACTIVITIES: CLEARING AND GRUBBING OF EXISTING SITE, GRADING OPERATIONS CONSTRUCTION OF PARKING LOT AND ASSOCIATED SITE WORK. UMITS OF CONSTRUCTION DARE ACRES WILL BE DISTURBED DURING CONSTRUCTION LOCATION: THE 0484 ACRESITE IS LOCATED IN THE CITY OF LAKE CITY, COLUMBIA COUNTY, FLORIDA
- SOIL TYPES REFER TO THE GEOTECH-WICAL REPORT FOR THE ON-SITE SOIL CLASSIFICATIONS

EMERGENCY CONTACT

EMERGENCY CONTACT

MATERIAL C

- STORMWATER DISCHARGE STORMWATER WILL

### ENGINEER CERTIFICATION

DATE

ATWELL LLC  ATWALY  111 N. MAGNOLIA AVE., SUITE 1350, ONLANDO, FL 32801	AND TITLE	
	ATWELLING	
111 N MAGNOLIA AVE, SUITE 1350, ORLANDO, FL 32891	VARY	
	111 N. MAGNOLIA AVE., SUITE 1350, ORLIANDO	, FL 32801

ô

# CONTRACTOR CERTIFICATION

"TCERRY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS O THE CORPOL MATIONAL POLITIANT DESCHARCE ELAWATION STEEM, PAPEZS FEMALT THAT AUTHORIZES THE STOOM WATER DESCHARCE ASSOCIATION WITH THE PRODUCTING ACTIVITY FROM THE CONSTRUCTION STEE DEVIRTIED AS A PART OF THIS CERTIFICATION.

CLETTONE	ADDRESS (C	ADDRESS (CO	COMPANY	STILL CAN'S SHIPM	PROJECT MANAGER
AREA CODE	ADDRESS (CONSTRUCTION SITE)	ADDRESS (CONTRACTING FIRM)		THE	PONGER
NUMBER	)				

### ABBREVIATIONS:

ADA - AMERICAN DISABILITY ACT

HOPE - HIGH DENSITY POLYETHYLENE PIPE

FDEP - FLORIDA DEPARTMENT OF SYMPONMENTAL PROTECTION

FOR STANDARD ABBREVIATIONS REFER TO THE FDOT STANDARD INDEX 601, UNLESS OTHERWISE NOTED ON PLANS

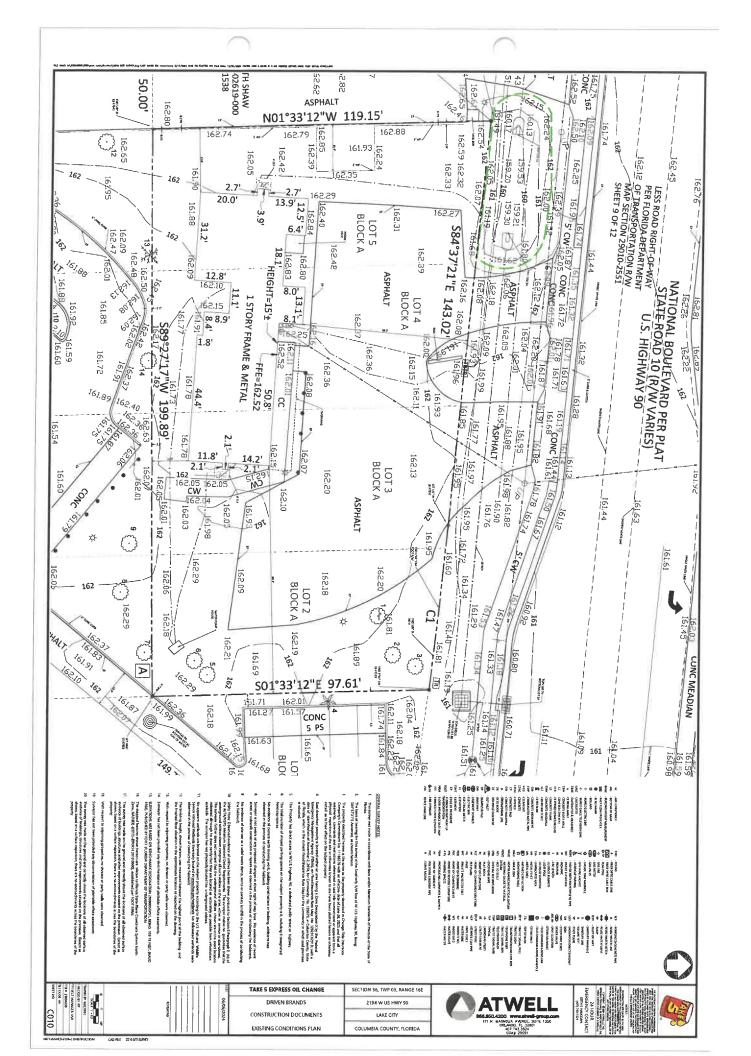
TAKE 5 EXPRESS OIL CHANGE DRIVEN BRANDS

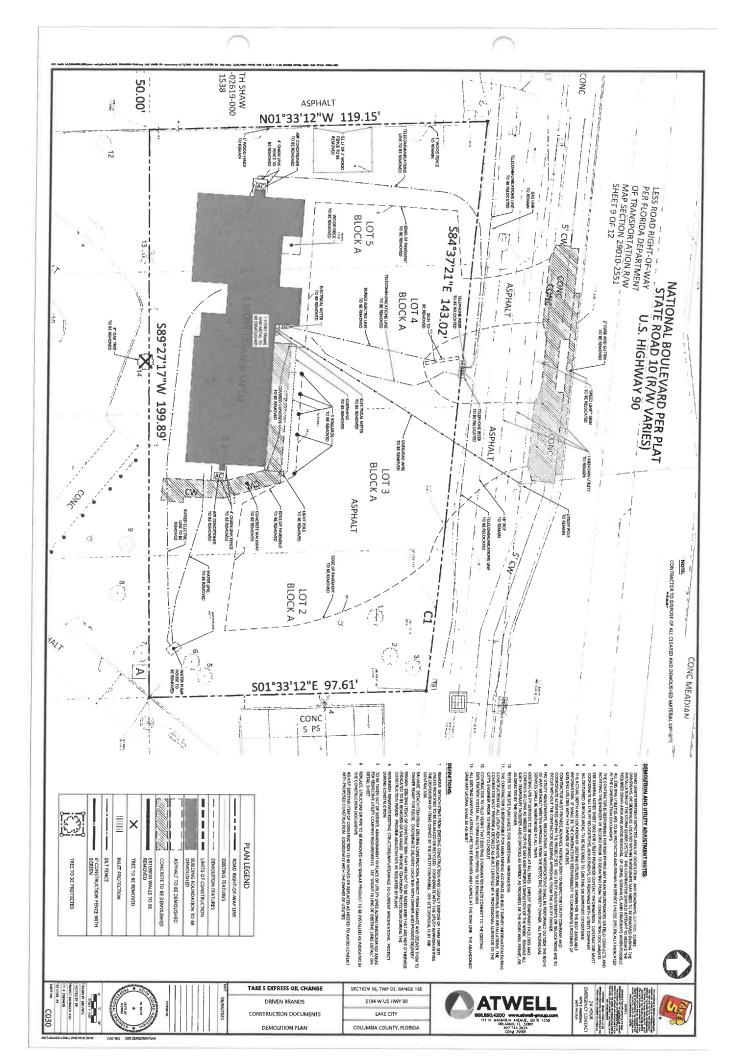
CONSTRUCTION DOCUMENTS

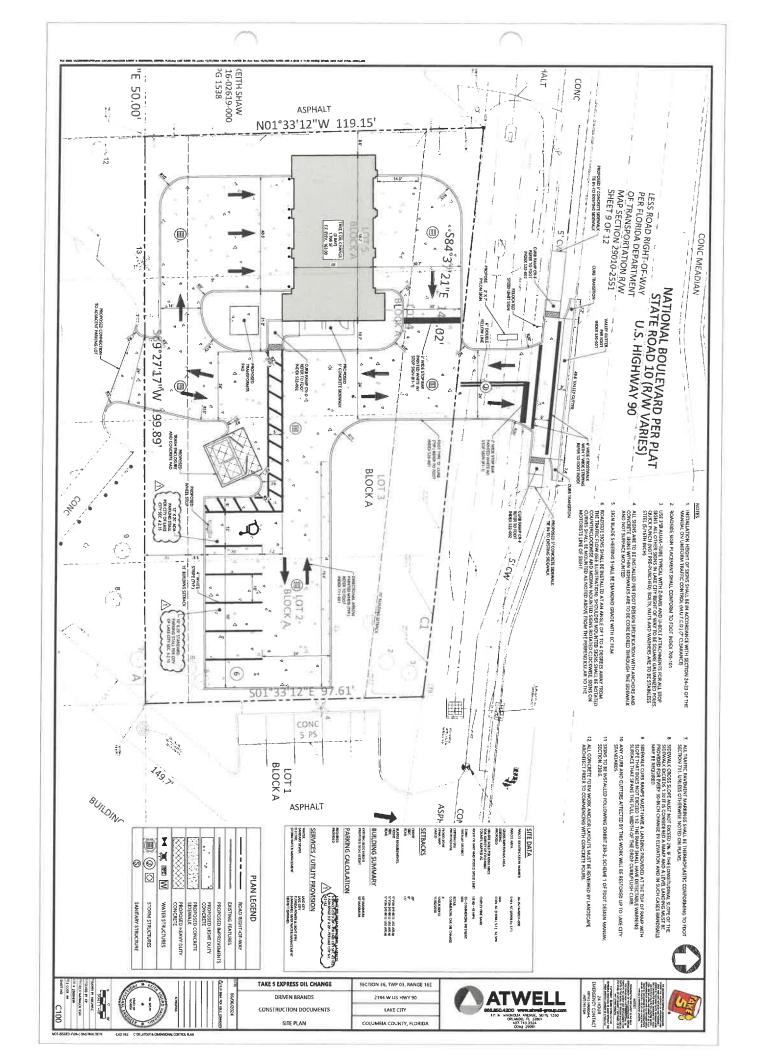
SECTION 36, TWP 03, RANGE 16E 2194 W US HWY 90 LAKE CITY

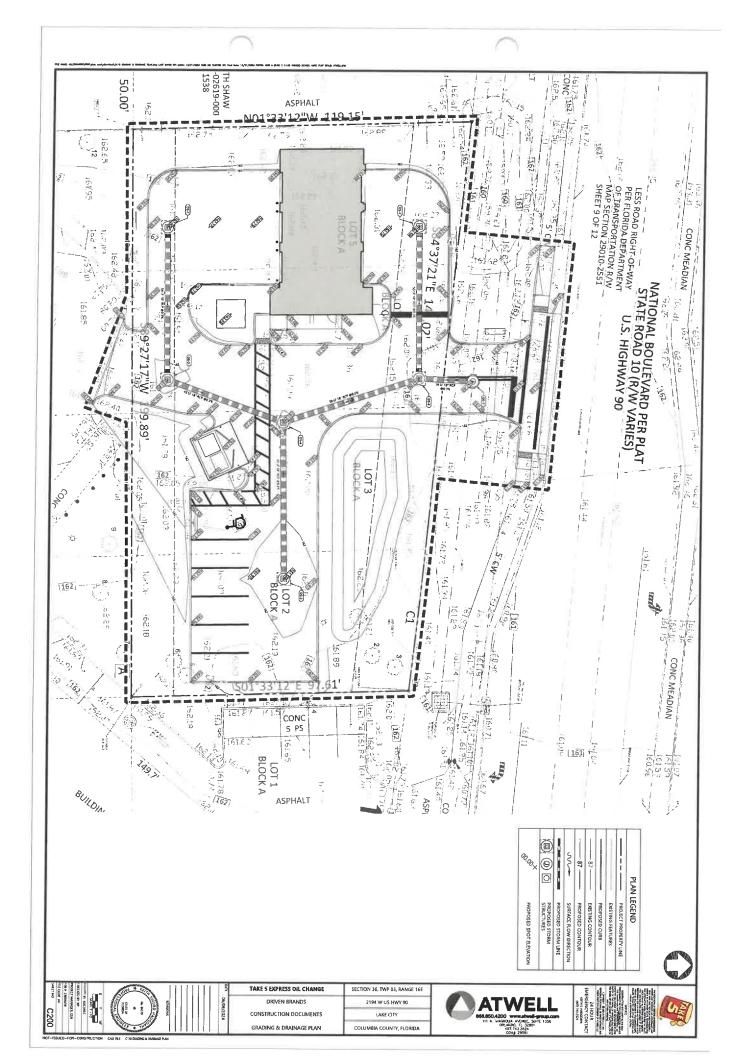


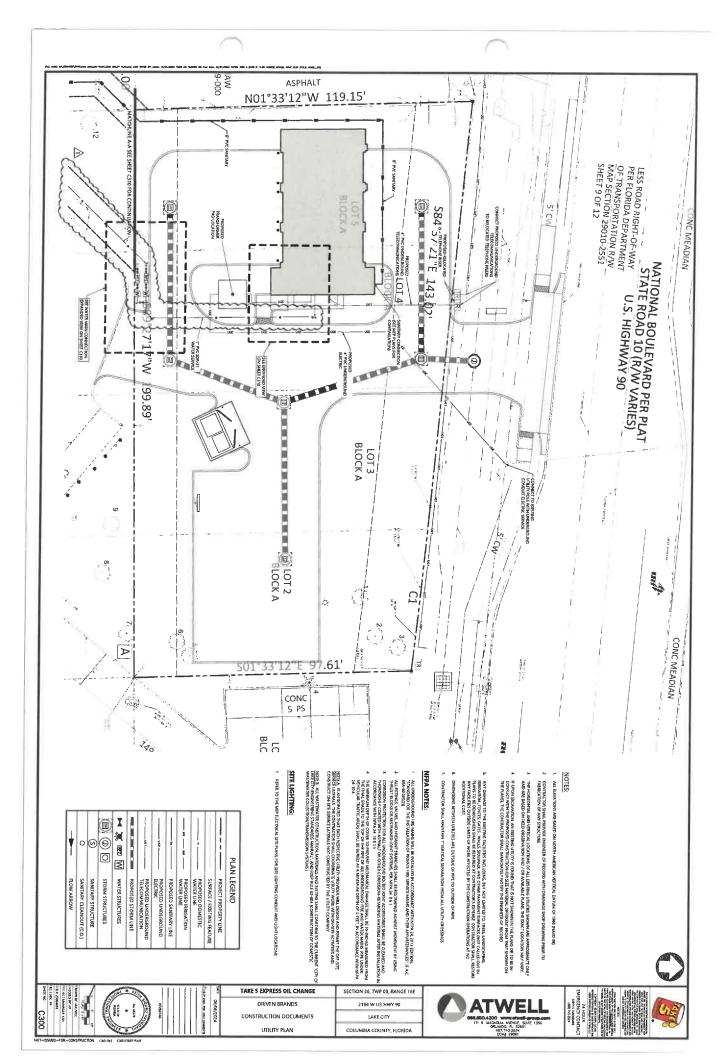


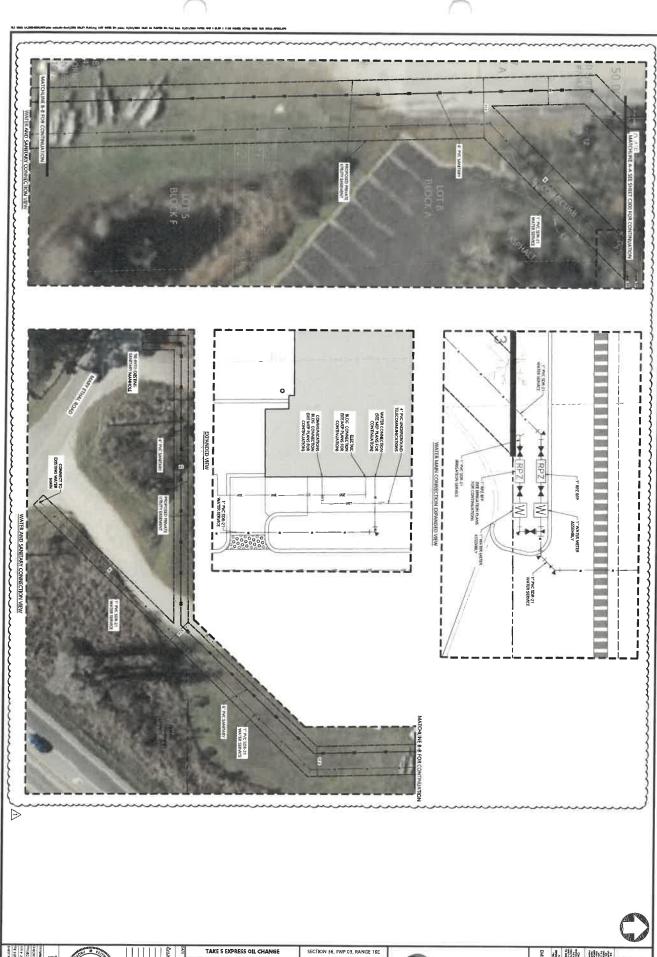










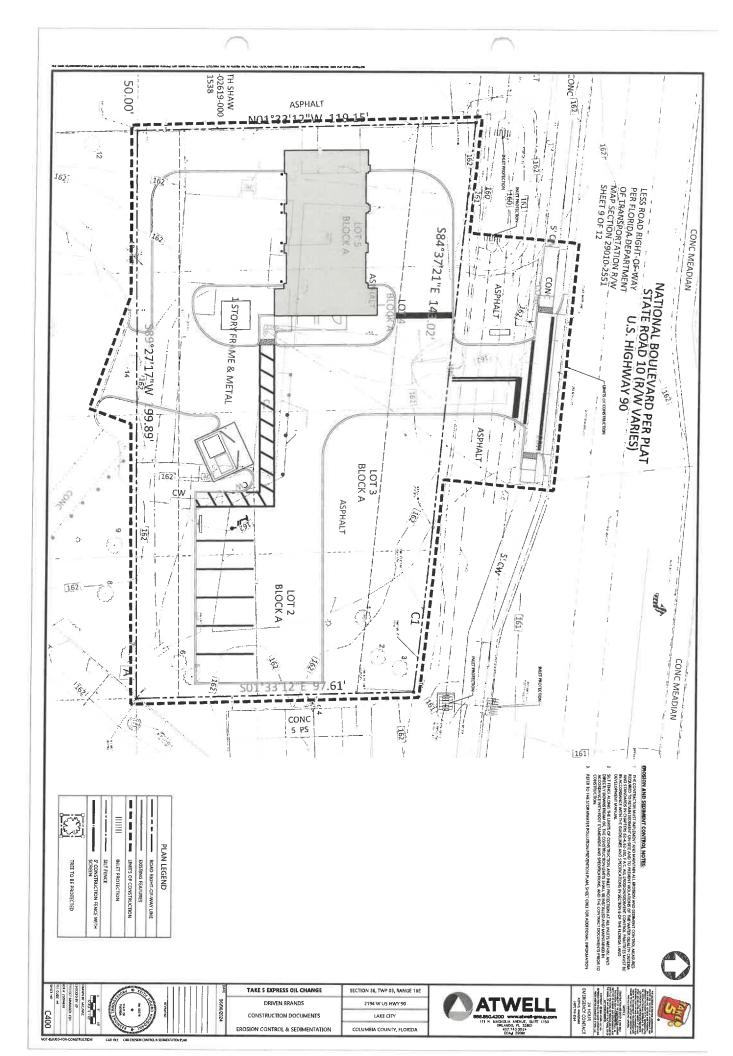


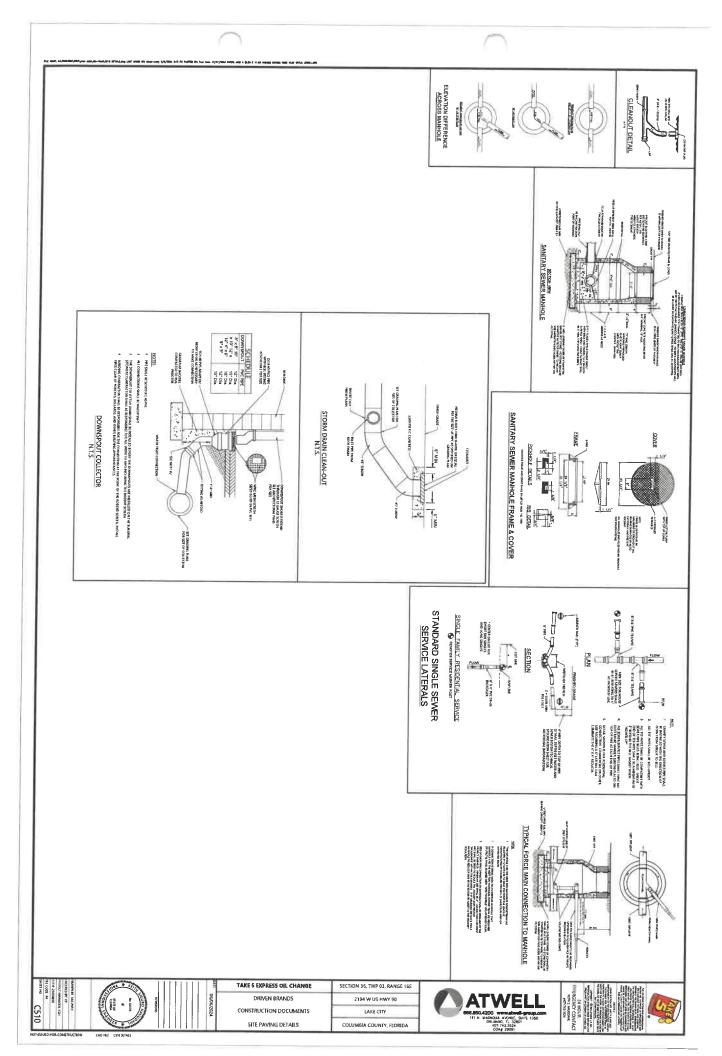
DRIVEN BRANDS

UTILITY ENLARGEMENTS PLAN

2194 W US HWY 90 LAKE CITY







### System 1, 1900 to the state of COMPACTO THE COMPACTO THAN THE SERVICE STORY OF THE PRIAL MADERIL -CILLAR MRIL GARDIE MATERIAL IN ACCORDANCE WITH THE REQUIREMENTS OF THE COSTRACT SPECIFICATIONS, PAIL MACINE IS SALL BE RISTLACED IN 1873 NOT EXCEDENSIA INCHES, ICOSE ESALUREMENT, AND SALLE COMPACTES TO AT LEAST MY IMPRIVED, AND WIT GAZEL MODIFIED PROCTOR AXIMATION PERSETY, ACTAL DAME, THE LAUREM, CELEM, WELL GRADED WETERLE, METCHANNAGE WHITE THE GERMERS PRINCED, THE CHINCH THE PRESENTATION. BETT AND ALL STATE HE WET ALLED BY HE HET CELEMENTS HAVE AND AND ALL DESCRIPT, ASTE STATE DUCKEN, SHALL EXTEND TO THE TOP OF THE PRESENTATION ALL, HE THE ALL DECOMPANIESTS WHO THANKS AND ALL STATE OF THE THOO OF MECHANICAL THANKS ALL DECOMPANIESTS WHO THANKS AND AND ALL STATE OF THE THOO OF MECHANICAL THANKS ALL DECOMPANIESTS WHO THANKS AND AND ALL DECOMPANIESTS. WWG-CLEAN WIRLD ANADED NATIENAL IN NOCKOROWICE WITH THE RECOMERACE TO THE CONTRINCT THOME WALLDOWNER WALL IN ENGINAL ON DECEMBERTAL YOU THE RECOVER IN HET PARTOT OUT A MITHER COOKE MEASUREMENT, AND SHALL BE COMPARETED TO IT I SLEET WAS YOUNG BY PROCEING BY PERSON ANTHON AND IN THAN A TAMPHA, WASHINNED SHALL BE INCLUDED TO FORM AND THE THE PIPE, COMPILET MACKET, TO MACHINE. MY MELL GAMERIC MATERIAL RI ACCIONINCE PRIM' PIET, REQUIRE RESIT DE PIET CONTRACT RECORDA BAUL ER BEALL LAND DE CAURELT, COMPATRION TRACES ON LET RECO PROPER DE CONTRACTOR DE CONTRACTOR DE PIET ACCIONATION DE CONTRACTOR DE CON HA REQUIREMENTS PIPE BPRING LINE Coverage Co ·花曲 AS REQ.

TON MAY SZELVACTIA AND FINE UNIT METERS NOT ESTED, THE CONTINCTOR SHALL SUIDATE VARMETALS TO BE APPLOYED BY COLA. PERS COMPAGIN AND GOING OUT OF BOX SHALL BE 36" DEEP. CONTRACTOR SHALL BE RESPONSING TO ACHEVE THESE PERSONSING TO The comment of the co

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# NOTES ON UTILITY SEPARATION REQUIREMENTS

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овку об явдоство дей упивантя выд, яе составуе тыу, тек плочить ме са тыват тевев до веть теме да не завать доставуем станов по пред темера по пред темера по поставуем станов по пред да дей упивать по пред темера по по пред темера да тупи станов по пред темера по поставуем станов по поставуем темера по пред темера так да темера по по поставуем темера по пред тем

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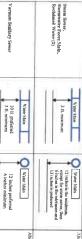


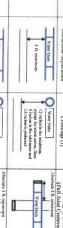
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TAKE 5 EXPRESS OIL CHANGE DRIVEN BRANDS CONSTRUCTION DOCUMENTS DETAILS

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2194 W US HWY 90 LAKE CITY COLUMBIA COUNTY, FLORIDA

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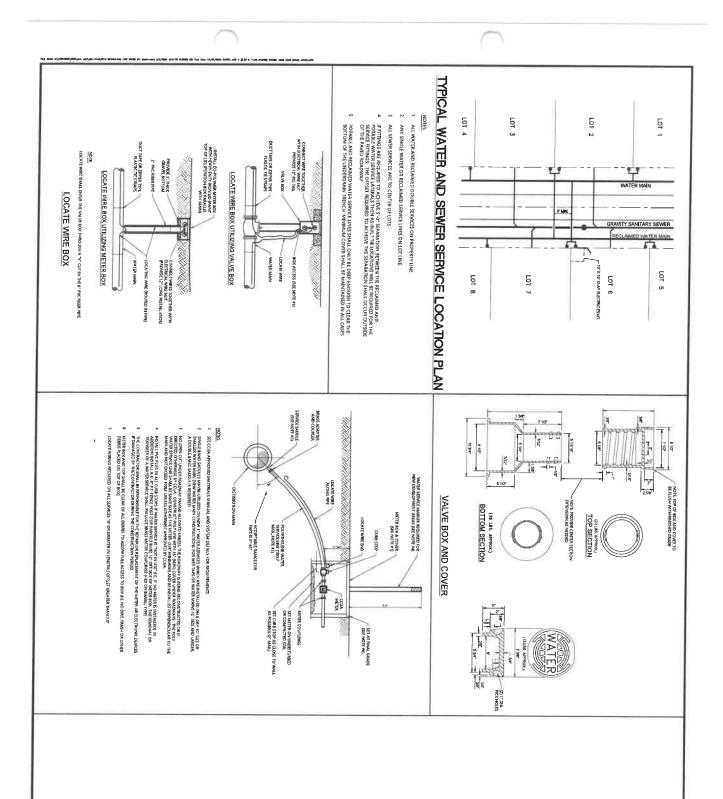
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TAKE 5 EXPRESS OIL CHANGE

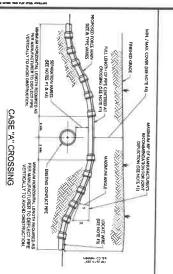
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SECTION 36, TWP 03, RANGE 16E 2194 W US HWY 90 LAKE CITY COLUMBIA COUNTY, FLORIDA









# PVC PIPE RESTRAINT JOINT SCHEDULE

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PVC PIPE RESTRAINT NOTES

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MAXIMUM ALLOWED OFFSET FOR PIPE BY JOINT DEFLECTION

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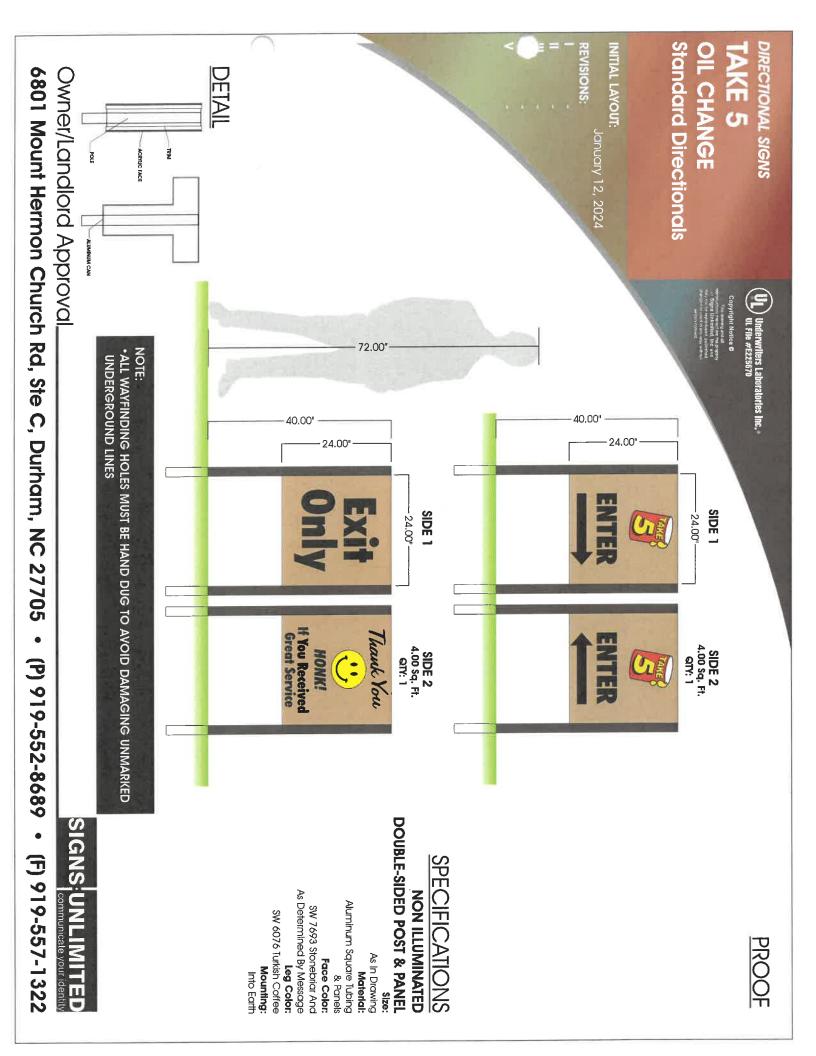
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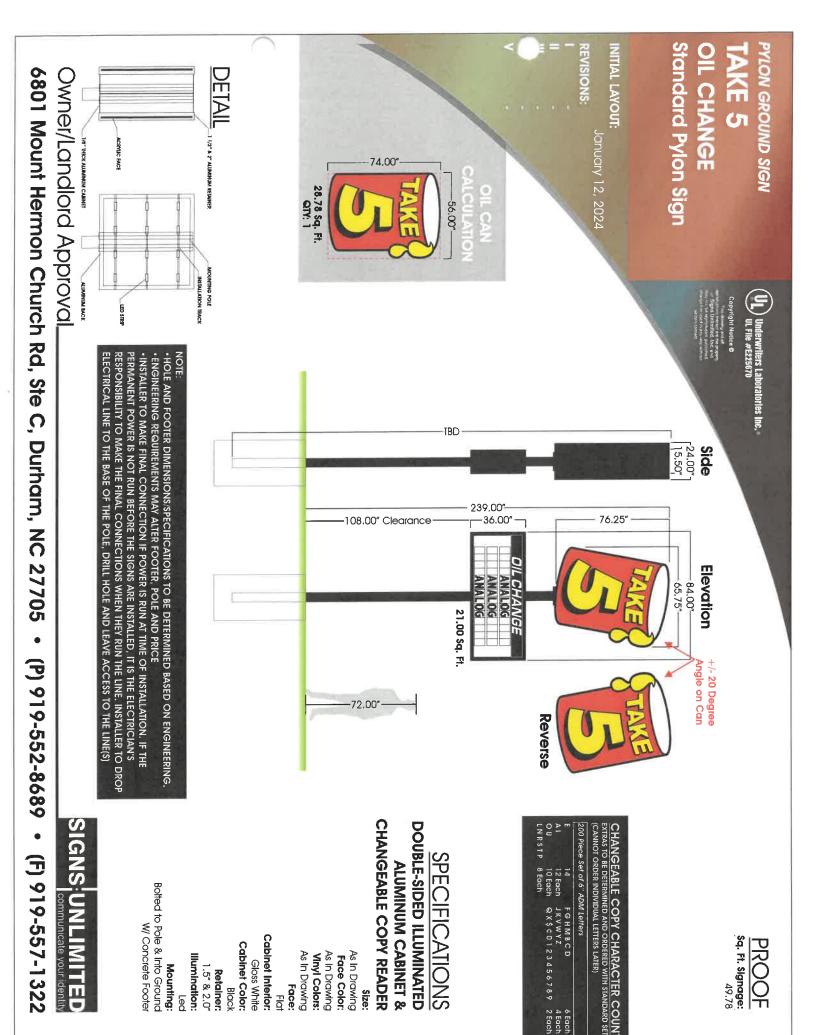
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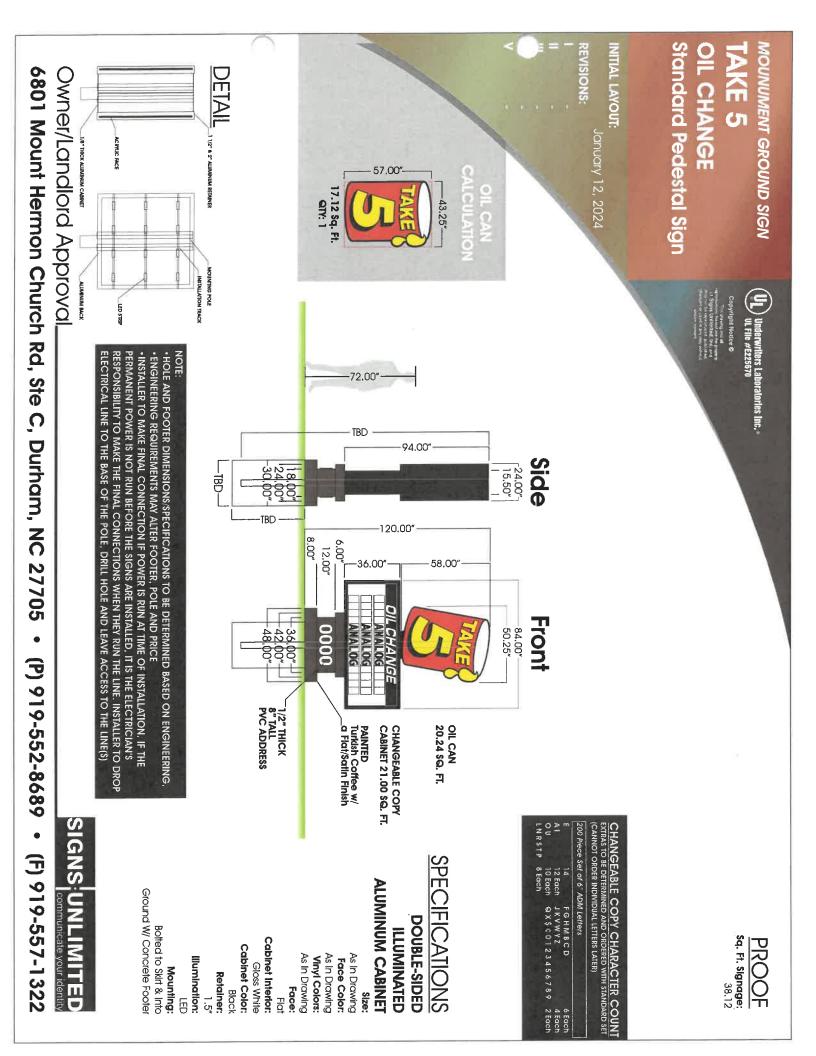
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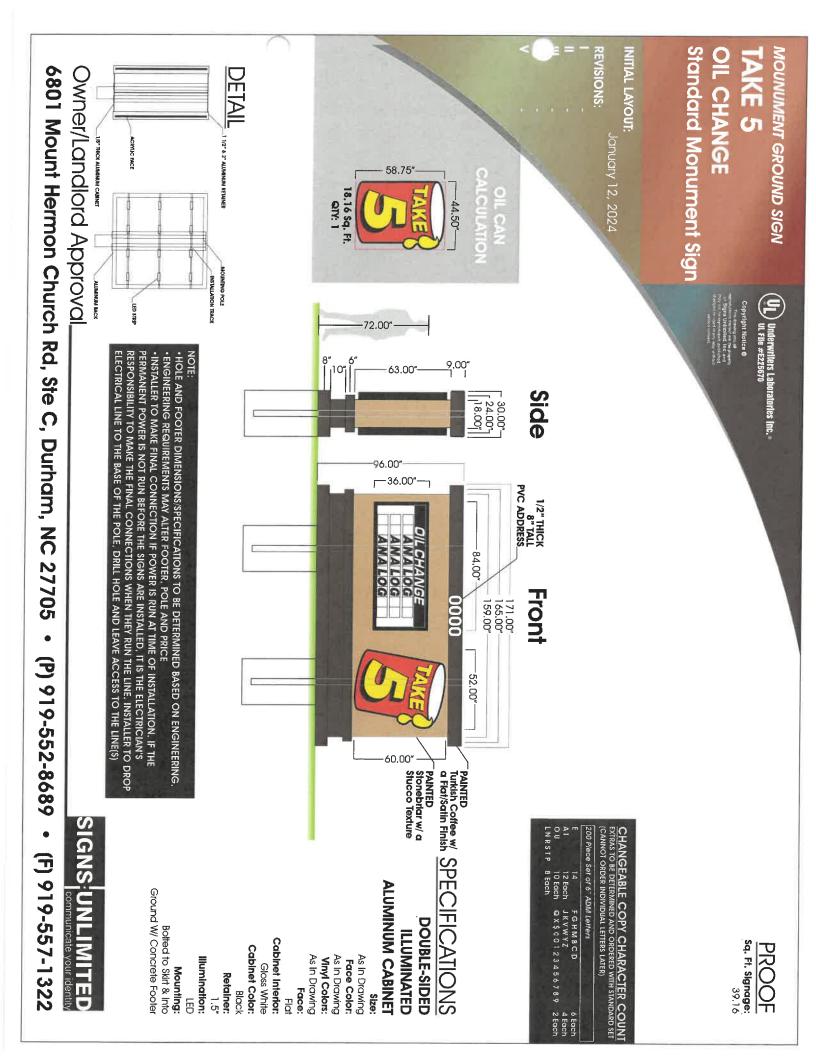














CONSULTING. ENGINEERING. CONSTRUCTION.

December 31th, 2024

City of Lake City Comments

Atwell, LLC. is responding to your review comments dated regarding. For ease of review, we are providing your comments in *italics* followed by our responses in **bold**.

### **General Comments**

1. Parking spaces need to be 10x20 and ADA spaces need to be 12x20 with a 5-foot striped walk path. Parking is covered in section 4.2.15.

Response: Regular parking ADA spaces have been revised to be 10x20 and 12x20. This is shown on sheet C100.

- 2. We need the signage location and sizes so we can confirm if they meet our code.
  - a. Signs are covered in section 4.2.20.
  - b. Visibility at intersections is covered in section 4.2.24.

Response: A proposed 2' x 7' pylon sign has been added and shown on sheet C100. Also, attached to this submittal is Driven's protypical signage details.

3. Any utility concerns for an easement for the utilities and any other concerns that the utility department may have. Have you been able to speak with Brian Scott, Director of Distribution and Collections, or Shasta Pelham, Utility Coordinator? They will help with any of the utility concerns.

Response: The City of Lake City has provided (3) preliminary utility comments from Brian Scott and Shasta Pelham. The comments have been addressed with this submittal. We have followed up with the Brian Scott, Shasta Pelham and other reps from the utility department to inquire if they may have any additional comments for us. We are still waiting for responses.

4. See utility comments down below.

Response: Acknowledge.

5. I noticed on the cover page in the lower left corner it list the government agency as Columbia County this should be City of Lake City. I know you are making some changes to the parking so I wanted to make sure that was corrected as well.

Tel: 770.423.0807 Fax: 770.423.1262

Response: The cover sheet has been revised to reflect the information of City of Lake City Zoning/Planning Department.

### Water Distribution/Collection

document once it is finalized.

6. Unable to approve the water and sewer at this time. All water and sewer will have to be run south to Mary Ethal Road with the owner having a private easement on other property. Water and sewer will be set off Marth Ethal once it leaves the right of way it's private, no water sewer on 90 will need revised utility plans and a copy of the agreed easement from other private property lines they will cross. Response: Understood. The utility plan has been revised to show the new sanitary and water connection onto Mary Ethal Road. A private utility easement is drawn, however, the easement agreement from which the utility crosses the private properties is still in process. Will provide

### **Customer Service**

7. The Distributions & Collections Director advised, water and sewer are located on SW Mary Ethal Ln. A private utility easement would be required. A tap application & utility plans must be submitted in order to apply for water, sewer and/or natural gas services. This response does not represent the City of Lake City's commitment for or reservation of capacity. In accordance with the City of Lake City's policies and procedures, commitment to serve is made only upon approval of your application for service and receipt of payment for all applicable fees.

Response: Understood. The utility plan has been revised to show the new sanitary and water connection onto Mary Ethal Road. A private utility easement is drawn, however, the easement agreement from which the utility crosses the private properties is still in process. Will provide document once it is finalized.

### **Water Department**

8. Make sure that cross-section control devices are reduced pressure principle assembly devices. **Response: Understood.** 

Thank you, Michael Muniz , PE ATWELL, LLC



CONSULTING. ENGINEERING. CONSTRUCTION.

# LAKE CITY CONCURRENCY IMPACT ANALYSIS COMPREHENSIVE PLAN CONSISTENCY ANALYSIS VPY, LLC 2196 W. US HIGHWAY 90

### Concurrency:

In Florida, concurrency impact analysis is a crucial component of the development approval process, especially in the context of land use and infrastructure planning. It ensures that new developments do not overwhelm existing infrastructure and that they contribute to the community's overall growth and sustainability. Here's an overview of how concurrency impact analysis is applied in Florida for development projects:

### Key Aspects of Florida's Concurrency Impact Analysis

### 1. Concurrency Management System (CMS)

- Purpose: To ensure that infrastructure (such as roads, schools, and utilities) is available to serve new development without degrading the level of service below established standards.
- o **Requirements**: Florida law mandates that local governments implement a CMS to assess the impact of new developments on public facilities and services.

### 2. Infrastructure Components

- o **Transportation**: Evaluates the impact of new development on road networks, including traffic volume, congestion, and level of service (LOS).
- **Education**: Assesses the capacity of local schools to accommodate additional students generated by new developments.
- o **Utilities**: Examines the adequacy of water, sewer, and stormwater management systems to support new development.

### 3. Level of Service Standards

- Definition: Standards set by local governments to determine acceptable performance levels for various types of infrastructure (e.g., the acceptable traffic delay on roads or the studentto-teacher ratio in schools).
- o **Analysis**: New developments must be assessed against these standards to ensure they do not degrade the current level of service below acceptable thresholds.

### 4. Impact Fees

- Purpose: To fund necessary infrastructure improvements or expansions required to support new development.
- Assessment: Developers may be required to pay impact fees based on the projected demand their development will place on public facilities.

### 5. Concurrency Analysis Process

- o **Pre-Application Consultation**: Developers often engage in discussions with local planning departments to understand concurrency requirements and potential impacts.
- Traffic Impact Analysis (TIA): Conducted to evaluate the effect of the development on local roadways and transportation systems.
- o **School Impact Analysis**: Determines the effect on local school capacities and whether additional educational facilities are needed.
- Utility Capacity Analysis: Assesses whether existing water, sewer, and stormwater systems can handle the additional demand.

### 6. Mitigation Measures

- o **Infrastructure Improvements**: Developers may be required to contribute to or fund infrastructure improvements to mitigate the impact of their development.
- o **Phased Development**: Large projects may be implemented in phases to align with infrastructure capacity and availability.

### 7. Local Government Review

- o **Approval Process**: Local governments review the concurrency analysis as part of the development review process to ensure compliance with local land use and development regulations.
- o **Public Input**: Public hearings and community meetings may be held to gather input and address concerns related to new developments.

### 8. Regulatory Framework

- Florida Statutes: Chapter 163, Part II, of the Florida Statutes outlines the requirements for concurrency management and infrastructure planning.
- o Local Comprehensive Plans: Each municipality or county may have its own comprehensive plan that includes concurrency management policies and standards.

### Steps for Developers in Florida

- 1. **Understand Local Requirements**: Research and understand the concurrency management requirements and infrastructure standards specific to the jurisdiction where the development is proposed.
- 2. Engage Early: Initiate discussions with local planning and zoning officials early in the development process to identify potential concurrency issues and requirements.
- 3. Conduct Required Analyses: Complete necessary impact studies (traffic, school, utility) and ensure they are submitted as part of the development application.
- 4. **Plan for Mitigation**: Develop and propose mitigation strategies for any identified impacts to align with local concurrency requirements and secure development approval.
- 5. **Monitor Changes**: Stay informed about any changes in local concurrency regulations or infrastructure standards that could affect the development project.

By following these guidelines and understanding the concurrency impact analysis requirements in Florida, developers can better navigate the regulatory landscape and contribute to balanced and sustainable community development.

### **Project Concurrency Analysis:**

Public	Provider	Existing	Proposed Demand
Facilities		Demand	Reserved Capacity
Concurrency			
1. Roads	FDOT	Existing	96 trips per weekday
		Condition	(Using ITE trip generator – code 941)
2. Sewer	Lake	Septic	312.5 GPD (1.25 ERU X 250 GPD)
	City	Tank	
3. Solid Waste	Lake	Existing	8.24 lbs. per capita per day X 6 persons = 49.44
	City	Condition	lbs. per day
			49.44 lbs. per day X 365 days = 18,045.6 lbs. per
			year
4. Drainage	SRWMD	Existing	No Impact
		Condition	
5. Potable	Lake	City	437.5 GPD (1.25 ERU X 350 GPD)
Water	City	Utility	

### **Comprehensive Land Use Plan:**

In Florida, the Comprehensive Plan Consistency Analysis is an essential process for ensuring that land use and development decisions align with the state's comprehensive planning requirements. This analysis is part of the broader framework established by Florida's Growth Management Act, which aims to manage growth and development in a way that promotes sustainable and orderly development.

Here's a breakdown of the key aspects involved in a Florida Comprehensive Plan Consistency Analysis:

### 1. Understanding the Comprehensive Plan

- **Purpose**: The comprehensive plan is a long-term policy framework that guides land use, growth, infrastructure, and public services within a municipality or county.
- Components: It typically includes elements such as land use, housing, transportation, parks and recreation, conservation, and capital improvements.

### 2. Consistency Analysis

- General Approach: The analysis assesses whether a proposed change—such as a zoning amendment, land use change, or development project—is consistent with the goals, objectives, and policies of the comprehensive plan.
- Steps in Analysis:
  - 1. **Review the Proposal**: Examine the specifics of the proposed change or development.
  - 2. Compare with Comprehensive Plan: Evaluate how the proposal aligns with the comprehensive plan's policies and objectives.
  - 3. **Consider Impacts**: Assess the potential impacts on land use, infrastructure, environment, and community services.

### Page 4

### 3. Key Considerations

- Land Use Compatibility: Ensure the proposed land use aligns with the designated future land use category in the comprehensive plan.
- **Infrastructure Adequacy**: Check whether existing or planned infrastructure (e.g., roads, water, sewer) can support the proposed change.
- Environmental Impact: Evaluate potential effects on natural resources and adherence to conservation policies.
- **Public Services**: Assess whether public services like schools and emergency services can accommodate the proposed changes.

### 4. Regulatory Framework

- **State Requirements**: Florida Statutes (e.g., Chapter 163, Part II) and Florida Administrative Code outline requirements for comprehensive plans and consistency analysis.
- Local Procedures: Each jurisdiction may have specific procedures for conducting and reviewing consistency analyses, including public hearings and advisory board reviews.

### 5. Public Participation

• Engagement: Public input is often sought through community meetings and hearings, providing an opportunity for residents to express concerns or support.

### 6. Decision-Making

• **Approval Process**: The local government's decision-making bodies (e.g., city council, county commission) review the consistency analysis and decide whether to approve, modify, or reject the proposed change based on its alignment with the comprehensive plan.

### 7. Documentation and Reporting

• **Reporting**: The findings of the consistency analysis are usually documented in reports that detail how the proposal meets or does not meet the comprehensive plan's criteria.

### 8. Appeals and Amendments

• Appeals: There may be processes for appealing decisions or requesting amendments to the comprehensive plan if necessary.

This analysis is crucial for maintaining orderly and planned growth while balancing development needs with community and environmental considerations.

### Page 5

### **Project Comprehensive Land Use Plan Analysis:**

The proposed Future Land Use Plan Map Amendment complies with and is consistent with the City of Lake City Comprehensive Plan as adopted by Ordinance No. 21-2206 on December 6, 2021.

The proposed amendment identifies below the applicable elements which demonstrates consistency with the Goals, Objectives and Policies:

- Future Land Use
- Transportation
- Housing
- Sanitary Sewer
- Solid Waste
- Drainage
- Potable Water
- Natural Groundwater Aquifer Recharge
- Conservation
- Recreation and Open Space
- Intergovernmental Coordination
- Capital Improvements
- Public School Facilities
- Property Rights Element

LOTS 2, 3, 4 AND 5, BLOCK A, WESTWOOD PARK, SECTION A, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 45 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA, A SUBDIVISION EMBRACING A PART OF THE SW 1/4 OF THE SE 1/4 OF SECTION 36, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, ACCORDING TO MAP OF SAME C.W. BROWN AND W.W. NIHISER, SURVEYORS, DATED JUNE 8, 1926, AND FILED IN THE OFFICIAL RECORDS OF THE COLUMBIA COUNTY CLERK OF CIRCUIT COURTS ON JULY 6, 1926; LESS AND EXCEPT THAT PORTION HERETOFORE ACQUIRED BY THE STATE OF FLORIDA FOR ROAD RIGHT-OF-WAYS.

TAX PARCEL NUMBER: 36-3S-16-02631-000 (10740)

Inst. Number: 201412004811 Book: 1272 Page: 426 Date: 4/3/2014 Time: 2:49:37 PM Page 1 of 3 Doc Deed: 1260.00 P.DeWitt Cason Clerk of Courts, Columbia County, Florida

HFD/lss 1803.02-14-055 3/20/2014

> This instrument prepared by Herbert F. Darby Darby Peele Crapps Green & Stadler, LLP Attorneys at Law Post Office Drawer 1707 Lake City, Florida 32056-1707

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Inst:201412004811 Date:4/3/2014 Time:2:49 PM Doc Stamp-Deed:1260.00 \_\_\_\_DC,P.DeWrit Cason,Columbia County Page 1 of 3 B:1272 P:426

### WARRANTY DEED

THIS WARRANTY DEED made this 29th day of Mask, 2014, by WILLIAM D. EPPERSON, a single person not residing on the property, but whose mailing address is 205 North 15th Street, Haines City, Florida 33844, hereinafter called the Grantor, to JCP-VYP, LLC., a Florida limited liability company, whose post office address is 7585 216th Street, O'Brien, Florida 32071, hereinafter called the Grantee:

### WITNESSETH:

That the Grantor, for and in consideration of the sum of TEN AND NO/100 (\$10.00) DOLLARS and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee, all that certain land situate in Columbia County, Florida, viz:

Lots Numbers 2, 3, 4, and 5 of Block A of WESTWOOD PARK, SECTION A, a Subdivision embracing a part of the SW 1/4 of the SE 1/4 of Section 36, Township 3 South, Range 16 East, in Columbia County, Florida, according to Map of same by C. W. Brown and W. W. Nihiser, Surveyors, dated June 8, 1926, and filed in the Office of the Clerk of Circuit Court, Columbia County, Florida, on July 6, 1926, in Columbia County, Florida. LESS AND EXCEPT that portion heretofore acquired by the State of Florida for road right-of-ways.

This deed is given to and accepted by Grantee subject to all restrictions, reservations, easements, and limitations of record, if any, and all zoning and land

Inst. Number: 201412004811 Book: 1272 Page: 427 Date: 4/3/2014 Time: 2:49:37 PM Page 2 of 3 Doc Deed: 1260.00 P.DeWitt Cason Clerk of Courts, Columbia County, Florida

use rules and regulations, but this shall not serve to reimpose the same.

Identified on the Tax Roll as Parcel Number: 36-3S-16-02631-000

N. B. Grantor hereby warrants that neither the subject property nor any contiguous property was ever utilized by him or any member of his family as their homestead.

TOGETHER WITH all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2013.

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IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

in the presence of:

O Mary A. M. LL EK

(Print/type name)

Witness

Witness

Signed, sealed and delivered

STATE OF FLORIDA

COUNTY OF \_\_\_\_\_

The foregoing instrument was acknowledged before me this 29th day of March, 2014, by WILLIAM D. EPPERSON, who is personally known to me.

CRYSTAL C. KING
ANY COMMISSION & EE 82234
EXPIRES: April 2, 2017
Bonded Thru Notery Public (Indensities)

(NOTARIAL SEAL) Notary Public, State of Florida

(Print/type name)

My Commission Expires:



### GROWTH MANAGEMENT DEPARTMENT 205 North Marion Ave, Lake City, FL 32055 Phone: 386-719-5750

E-mail: growthmanagement@lcfla.com

### AGENT AUTHORIZATION FORM

I, VYP, LLC	(owner name), owner of property parcel
number 36-3S-16-02631-000 (10740)	(parcel number), do certify that
the below referenced person(s) listed on this for is an officer of the corporation; or, partner as desaid person(s) is/are authorized to sign, speak relating to this parcel.	and represent me as the owner in all matters
Printed Name of Person Authorized	Signature of Authorized Person
1. Charles Millar, Atwell	(1. St.) ff for 1
2.	2.
3. Michael Muniz, Atwell	3. Hit
4	4.
5.	5.
of at any time the person(s) you have authorized officer(s), you must notify this department in write authorization form, which will supersede all previous inauthorized persons to use your name and/or	ing of the changes and submit a new letter of ious lists. Failure to do so may allow license number to obtain permits.
Owner Signature (Notarized)	
OTARY INFORMATION: TATE OF: FLORIDA COUNTY OF:	Columbia
ne above person, whose name is Victorial ersonally appeared before me and is known by upe of I.D.)	me or has produced identification— this 12 th day of Nazlmhu, 2024.
TARY'S SIGNATURE	MYRON MCCLENDON MY COMMISSION # HH 481811 EXPIRES: May 14, 2028

### Columbia County Tax Collector

Last Update: 7/8/2024 2:30:47 PM EDT

Tax Record

generated on 7/8/2024 2:31:48 PM EDI

Register for eBill

### Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

	Account Number		Tax T	уре	Tax	x Year
	R02631-000		REAL E	STATE		2023
VYP,	ng Address LLC W MANDIBI DR			y Address HIGHWAY 90	LAKE CITY	r.
	CITY FL 32024		<b>GEO Num</b> 363S16-	<b>ber</b> 02631-000		
	<b>Exempt Amount</b>		Taxable	Value		
	See Below		See Be	elow		
NO EX	tion Detail EMPTIONS	Millag			scrow Code	•
Legal	Description (clic)	k for full d	<u>escriptio</u>	<u>n)</u>		
SUBDIV 426,	-16 1100/1100.58 Ac	cres LOTS 2,	3, 4 & 5 QC 1072-	BLOCK A WES 510, QC 1272	STWOOD PAF 2-423, WD	RK 1272-
		Ad Valor	em Taxes			
			Assessed	Exemption	Taxable	Taxe
axing I	Authority	Rate				
OARD OF C	COUNTY COMMISSIONERS	7.8150	<b>Value</b> 217,659	Amount	<b>Value</b> \$217,659	Levied
OARD OF COLUMBIA COLUMBIA COLUMBIA	COUNTY COMMISSIONERS	7.8150	<b>Value</b> 217,659 217,659	Amount 0	<b>Value</b> \$217,659 \$217,659	<b>Levied</b> \$1,701.01
OARD OF COLUMBIA COLU	COUNTY COMMISSIONERS COUNTY SCHOOL BOARD NARY	7.8150 0.7480 3.2170	Value 217,659 217,659 217,659	<b>Amount</b> 0 0 0	<b>Value</b> \$217,659 \$217,659 \$217,659	\$1,701.01 \$162.81 \$700.21
OARD OF COLUMBIA COLU	COUNTY COMMISSIONERS COUNTY SCHOOL BOARD NARY	7.8150 0.7480 3.2170 1.5000	Value 217,659 217,659 217,659 217,659	<b>Amount</b> 0 0 0 0 0	<b>Value</b> \$217,659 \$217,659 \$217,659 \$217,659	\$1,701.01 \$162.81 \$700.21 \$326.49
OARD OF COLUMBIA COLU	COUNTY COMMISSIONERS COUNTY SCHOOL BOARD NARY	7.8150 0.7480 3.2170	Value 217,659 217,659 217,659	<b>Amount</b> 0 0 0	<b>Value</b> \$217,659 \$217,659 \$217,659	\$1,701.01 \$162.81 \$700.21 \$326.49 \$67.76
OARD OF COLUMBIA COLU	COUNTY COMMISSIONERS COUNTY SCHOOL BOARD NARY UTLAY RIVER WATER MGT DIST	7.8150 0.7480 3.2170 1.5000 0.3113	Value 217,659 217,659 217,659 217,659 217,659 217,659	**************************************	<b>Value</b> \$217,659 \$217,659 \$217,659 \$217,659 \$217,659 \$217,659	\$1,701.01 \$162.81 \$700.21 \$326.49 \$67.76
OARD OF COLUMBIA COLU	COUNTY COMMISSIONERS COUNTY SCHOOL BOARD WARY UTLAY RIVER WATER MGT DIST C HOSPITAL AUTHORITY  Total Millage	7.8150 0.7480 3.2170 1.5000 0.3113 0.0001	Value 217,659 217,659 217,659 217,659 217,659 217,659	Amount 0 0 0 0 0 0 0 0 tal Taxes	<b>Value</b> \$217,659 \$217,659 \$217,659 \$217,659 \$217,659 \$217,659	\$1,701.01 \$162.81 \$700.21 \$326.49 \$67.76 \$0.02
OARD OF COLUMBIA COLU	COUNTY COMMISSIONERS COUNTY SCHOOL BOARD NARY  STLAY RIVER WATER MGT DIST C HOSPITAL AUTHORITY  Total Millage  No Levying Author	7.8150 0.7480 3.2170 1.5000 0.3113 0.0001 13.5914 on-Ad Valores	Value 217,659 217,659 217,659 217,659 217,659 217,659	Amount 0 0 0 0 0 0 0 0 tal Taxes	<b>Value</b> \$217,659 \$217,659 \$217,659 \$217,659 \$217,659 \$217,659	Levied \$1,701.01 \$162.81 \$700.21 \$326.49 \$67.76 \$0.02 2,958.30
OARD OF COLUMBIA COLU	COUNTY COMMISSIONERS COUNTY SCHOOL BOARD NARY  OTLAY RIVER WATER MGT DIST C HOSPITAL AUTHORITY  Total Millage  No Levying Author	7.8150 0.7480 3.2170 1.5000 0.3113 0.0001 13.5914 on-Ad Valores	Value 217,659 217,659 217,659 217,659 217,659 217,659	Amount 0 0 0 0 0 0 0 0 tal Taxes	<b>Value</b> \$217,659 \$217,659 \$217,659 \$217,659 \$217,659 \$217,659	\$1,701.01 \$162.81 \$700.21 \$326.49 \$67.76 \$0.02
OARD OF COLUMBIA COLU	COUNTY COMMISSIONERS COUNTY SCHOOL BOARD NARY  OTLAY RIVER WATER MGT DIST C HOSPITAL AUTHORITY  Total Millage  No Levying Author	7.8150 0.7480 3.2170 1.5000 0.3113 0.0001 13.5914 on-Ad Valores	Value 217,659 217,659 217,659 217,659 217,659 217,659 To	Amount 0 0 0 0 0 0 0 0 tal Taxes	<b>Value</b> \$217,659 \$217,659 \$217,659 \$217,659 \$217,659 \$217,659	Levied \$1,701.01 \$162.81 \$700.21 \$326.49 \$67.76 \$0.02 2,958.30
OARD OF COLUMBIA COLU	COUNTY COMMISSIONERS COUNTY SCHOOL BOARD NARY  OTLAY RIVER WATER MGT DIST C HOSPITAL AUTHORITY  Total Millage  No Levying Author	7.8150 0.7480 3.2170 1.5000 0.3113 0.0001 13.5914 on-Ad Valores	Value 217,659 217,659 217,659 217,659 217,659 To  M Assessr	Amount  0  0 0 0 0 0 0 tal Taxes ments	Value \$217,659 \$217,659 \$217,659 \$217,659 \$217,659 \$217,659	Levied \$1,701.01 \$162.81 \$700.21 \$326.49 \$67.76 \$0.02 2,958.30 Amount \$380.96
OARD OF COLUMBIA COLU	COUNTY COMMISSIONERS COUNTY SCHOOL BOARD NARY  OTLAY RIVER WATER MGT DIST C HOSPITAL AUTHORITY  Total Millage  No Levying Author	7.8150 0.7480 3.2170 1.5000 0.3113 0.0001 13.5914 on-Ad Valores	Value 217,659 217,659 217,659 217,659 217,659 To  M Assessr	Amount  0  0  0  0  0  0  0  0  tal Taxes  ments  Assessments	Value \$217,659 \$217,659 \$217,659 \$217,659 \$217,659 \$217,659 \$217,659	### Levied \$1,701.01

Date Paid	Transaction	Receipt	Item	Amount Paid
11/20/2023	PAYMENT	3300990.0002	2023	\$3,205.69

### Columbia County Tax Collector

### Prior Years Payment History

### **Prior Year Taxes Due**

NO DELINQUENT TAXES