



GROWTH MANAGEMENT

205 North Marion Ave.
Lake City, FL 32055
Telephone: (386)719-5750
E-Mail:
growthmanagement@lcfla.com

FOR PLANNING USE ONLY

Application # SPR 25-08
Application Fee \$700.00
Receipt No. _____
Filing Date 7/23/25
Completeness Date _____

Site Plan Application

A. PROJECT INFORMATION

1. Project Name: Big Dan's Car Wash - Lake City
2. Address of Subject Property: 1518 W. US Highway 90, Lake City, FL 32055
3. Parcel ID Number(s): 31-3S-17-06185-000
4. Future Land Use Map Designation: Commercial - Columbia County
5. Zoning Designation: CI (Commercial, Intensive)
6. Acreage: 1.32 AC
7. Existing Use of Property: Vacant
8. Proposed use of Property: Car Wash
9. Type of Development (Check All That Apply):

☐	Increase of floor area to an existing structure: Total increase of square footage _____
☒	New construction: Total square footage <u>3,600 SF</u>
☐	Relocation of an existing structure: Total square footage _____

B. APPLICANT INFORMATION

1. Applicant Status ☐ Owner (title holder) ☒ Agent
2. Name of Applicant(s): Aubrey Sharp, P.E. Title: Project Manager
Company name (if applicable): Foresite Group, LLC
Mailing Address: 10752 Deerwood Park Blvd. Suite 100
City: Jacksonville State: FL Zip: 32256
Telephone: (770) 368-1399 Fax: () Email: asharp@fg-inc.net

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

3. If the applicant is agent for the property owner*.
Property Owner Name (title holder): BDCW Holdings, LLC (Jay Shadday)
Mailing Address: 205 East 1st Ave., STE 100
City: Rome State: GA Zip: 30161
Telephone: (706) 506-1754 Fax: () Email: jay@shaddayco.com

4. Mortgage or Lender Information: ☐ Yes ☐ No

Name of Mortgage or Lender: _____
Contact Name: _____ Telephone Number: _____
E-Mail Address: _____

If property has a mortgage or lender, the mortgage or lender shall be required to provide a release for this application to proceed.

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

***Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**

C. ADDITIONAL INFORMATION

1. Is there any additional contract for the sale of, or options to purchase, the subject property?
If yes, list the names of all parties involved: WPG-Lake City, LLC & BDCW Holdings, LLC
If yes, is the contract/option contingent or absolute: ☒ Contingent ☐ Absolute
2. Has a previous application been made on all or part of the subject property? ☒ Yes ☐ No
3. Future Land Use Map Amendment: ☐ Yes _____ ☒ No _____
Future Land Use Map Amendment Application No. _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning): ☐ Yes _____ ☐ No _____
Site-Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. _____
Variance: ☐ Yes _____ ☒ No _____
Variance Application No. _____
Special Exception: ☐ Yes _____ ☒ No _____
Special Exception Application No. _____

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

1. **Vicinity Map** – Indicating general location of the site, abutting streets, existing utilities, complete legal description of the property in question, and adjacent land use.
2. **Site Plan** – Including, but not limited to the following:
 - a. Name, location, owner, and designer of the proposed development.
 - b. Present zoning for subject site.
 - c. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties and any screening or buffers on such properties.
 - d. Date, north arrow, and graphic scale not less than one inch equal to 50 feet.
 - e. Area and dimensions of site (Survey).
 - f. Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.
 - g. Access to utilities and points of utility hook-up.
 - h. Location and dimensions of all existing and proposed parking areas and loading areas.
 - i. Location, size, and design of proposed landscaped areas (including existing trees and required landscaped buffer areas).
 - j. Location and size of any lakes, ponds, canals, or other waters and waterways.
 - k. Structures and major features fully dimensioned including setbacks, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and percent of property covered by structures.
 - l. Location of trash receptacles.
 - m. For multiple-family, hotel, motel, and mobile home park site plans:
 - i. Tabulation of gross acreage.
 - ii. Tabulation of density.
 - iii. Number of dwelling units proposed.
 - iv. Location and percent of total open space and recreation areas.
 - v. Percent of lot covered by buildings.

- vi. Floor area of dwelling units.
- vii. Number of proposed parking spaces.
- viii. Street layout.
- ix. Layout of mobile home stands (for mobile home parks only).

3. **Stormwater Management Plan**—Including the following:

- a. Existing contours at one-foot intervals based on U.S. Coast and Geodetic Datum.
- b. Proposed finished elevation of each building site and first floor level.
- c. Existing and proposed stormwater management facilities with size and grades.
- d. Proposed orderly disposal of surface water runoff.
- e. Centerline elevations along adjacent streets.
- f. Water management district surface water management permit.

4. **Fire Department Access and Water Supply Plan:** The Fire Department Access and Water Supply Plan must demonstrate compliance with Chapter 18 of the Florida Fire Prevention Code, be located on a separate signed and sealed plan sheet, and must be prepared by a professional fire engineer licensed in the State of Florida. The Fire Department Access and Water Supply Plan must contain fire flow calculations in accordance with the Guide for Determination of Required Fire Flow, latest edition, as published by the Insurance Service Office ("ISO") and/or Chapter 18, Section 18.4 of the Florida Fire Prevention Code, whichever is greater.

5. **Mobility Plan:** Mobility plan shall include accessibility plan for ADA compliance, safe and convenient onsite traffic flow, and accessibility plan for bicycle and pedestrian safety. The City shall require additional right of way width for bicycle and pedestrian ways to be provided for all proposed collector and arterial roadways, as integrated or parallel transportation facilities per Policy II.1.4 of the Comprehensive Plan.

6. **Concurrency Impact Analysis:** Concurrency Impact Analysis of impacts to public facilities. For commercial and industrial developments, an analysis of the impacts to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts are required.

7. **Comprehensive Plan Consistency Analysis:** An analysis of the application's consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies).

8. **Legal Description with Tax Parcel Number** (In Word Format).

9. **Proof of Ownership** (i.e. deed).

10. **Agent Authorization Form** (signed and notarized).

11. **Proof of Payment of Taxes** (can be obtained online via the Columbia County Tax Collector's

City of Lake City – Growth Management Department
205 North Marion Ave, Lake City, FL 32055 ♦ (386) 719-5750

Office).

12. **Fee:** No application shall be accepted or processed until the required application fees have been paid in full. Any professional fees required by the Land Development Administrator shall be paid before any meetings will be scheduled.

***All applications may incur professional fees for consulting and other professional services required by the Land Development Administrator. Any professional fees required by the Land Development Administrator will be invoiced and charged to the applicant and must be paid in full before application can be scheduled for any meetings.**

13. **Notices:** All property owners within three hundred (300) feet must be notified by certified mail by the proponent and proof of the receipt of these notices must be submitted as part of the application package submittal.

The Growth Management Department shall supply the name and addresses of the property owners, The notification letters, and the envelopes to the proponent.

**ACKNOWLEDGEMENT, SIGNATURES, AND NOTARY ON FOLLOWING PAGE
NOTICE TO APPLICANT**

All eleven (13) attachments listed above are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

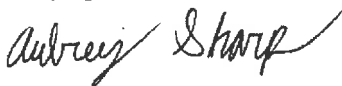
A total of eight (2) copies of proposed site plan application and all support materials must be submitted along with a PDF copy on a CD. See City of Lake City submittal guidelines for additional submittal requirements.

THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES, OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

Aubrey Sharp, P.E.

Applicant/Agent Name (Type or Print)



07/23/2025

Applicant/Agent Signature

Date

FILL IN UPON RECEIVING TITLE

BDCW HOLDINGS, LLC



VICINITY MAP:
NOT TO SCALE

LEGAL DESCRIPTION:

(PER FILE COMMITMENT PROVIDED XXXX FILE COMPANY HERE)

LEGAL DESCRIPTION:

(USA JAGTS SV)

A PORTION OF THOSE CERTAIN LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 1502, PAGE 1911 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA, FURTHER DESCRIBED AS PARCELS 1 AND 3 PER OFFICIAL RECORDS BOOK 1502, PAGE 1907 OF SAID PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA, LYING IN THE EAST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 31, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

[illegible]

CONTAINING 248,552 SQUARE FEET OR 5.705 ACRES MORE OR LESS.

SHEET INDEX:

SHEET 1 - COVER SHEET, LEGAL DESCRIPTION, VICINITY MAP, SCHEDULE B2 EXCEPTIONS
SHEET 2 - ALTA/NSPS LAND TITLE SURVEY

[illegible]

131 WEST KALEY STREET
ORLANDO, FLORIDA 32806
PHONE: 321.354.5828 FAX: 407.648.9104
WWW.DEWBERRY.COM

[illegible]

LOCATED IN SECTION 31,
TOWNSHIP 03 SOUTH RANGE 17 EAST

COLUMBIA COUNTY, FLORIDA

ALTA/NSPS LAND TITLE SURVEY
-FOR-
BDCW HOLDINGS, LLC

FIELD NO.	501832109	SCALE 1" = NA	
FIELD DATE	06/23/2024		
FIG/PG	31-3-17 / 8-0	BY	APPROVED
DATE	06/23/24	AS	CLM

SURVEY NOTES:

1. BEGINNING SURVEY ARE BASED ON THE STATE PLATE COORDINATE SYSTEM NORTH ZONE 18N, AMERICAN DATUM (NAD) OF 1983 WITH 2011 ADJUSTMENT AND DERIVING A BEARING OF NORTH 07°05'58" WEST, DISTANCE OF 10.0000 FEET TO THE SOUTHWEST CORNER (S/C) OF THE SOUTHERN END QUARTER (SE 1/4) OF SECTION 11, TOWNSHIP 3 SOUTH, RANGE 11 EAST, THE FOLLOWING FROM QUARTER 18N 1/4, 18E 1/4:
- REFERENCE MEASUREMENTS AS FOLLOWS:
BEING AN ANTENNA REFERENCE POINT
BEARING FROM NAD 83 POS. 0891613, BEING ANTENNA REFERENCE POINT
PUBLISHED IN 4-2022/25 E-275704741
2. ELEVATIONS SHOWN HEREON ARE BASED ON NATIONAL GEODETIC SURVEY BENCHMARK, AS DERIVED BY FROM NATIONAL BENCHMARK 7250 E 3 JOE RODOLFO, DESCRIBED AS "A SURVEY POINT SET IN A MAT FOUNDATION ON A CONCRETE SLAB OTHER THAN PAVEMENT, STAMPED 'BM 175 ET, HAVING AN ELEVATION OF 175.99 (NAD 83) AT THE ADDRESS OF THE SUBJECT PARCEL IS AT 1520 W US HWY 90 LAKE CITY, FLORIDA, 32065
3. ACCORDING TO FEDERAL BUREAU OF MANAGEMENT AGENTS' FLUID INSURANCE RATE MAP (FRM) PARCEL AND ADJACENT PARCELS ARE LOCATED WITHIN A FLOOD HAZARD, VETERINE ZONE OF CATEGORY 2, ZONE 1, THE PROPERTY DESCRIBED HEREON LIES WITHIN ZONE(S) "X".
4. UNDERGROUND UTILITIES SHOWN HEREON HAVE BEEN DETERMINED BY ABOVE CROWNED VISIBLE EVIDENCE AND AS DETAIL ACCESSIBLE STRUCTURES AND MANHOLES, OTHER BURIED FACILITIES MAY EXIST THAT WERE NOT LOCATED AS A PART OF THIS SURVEY.
5. OWNERS OF ADJACENT PARCELS ARE ADVISED THAT THE PROPERTY IS INTENDED FOR PROVIS-OF-WALK FACILITIES, OVERSPACES, ADJUNCTS OR OTHER STRUCTURES TO BE ACQUIRED WITHIN THE BOUNDARY OF THE SUBJECT PARCEL.
6. THIS SURVEY WAS CONDUCTED WITH THE BEST EFFORT OF A TITLE REPORT PREPARED BY _____ DATED _____ COMMENT NO. _____
7. NORTH-SOUTH AND EAST-WEST TIES TO FOUND ADJACENTMENT AND IMPROVEMENTS ARE BASED ON CARDINAL DIRECTION.
8. METAL AND NON-METAL, IF EXISTING, WERE NOT ADDRESSED AS A PART OF THIS SURVEY.
9. A ZONING REPLY OR LETTER HAS NOT BEEN PROVIDED BY THE CLERK, FLOODING (ITEM 46) AND 6(b) OF TABLE A.
10. THERE ARE NO VISIBLE BUILDINGS ON THE PROPERTY. (NO INFORMATION AVAILABLE FOR ITEM 7, 7(a), AND 7(c) OF TABLE A.)
11. THERE ARE NO REGULAR HANDING SPACES, U HANDCAMP SPACES AND U MOTORCYCLE PARKING AREAS TOTALING 36 PARKING SPACES IN THE SUBJECT PARCEL.
12. THE NEAREST INTERSECTION BEING US HIGHWAY 90 AND NW ROADSIDE RD IS LOCATED APPROXIMATELY 167 FEET WEST OF THE SUBJECT PARCEL.
13. THERE ARE NO LESS THAN 100 FEET OF LESS FROM THE SUBJECT PARCEL TO THE PROPERTY.
14. THERE IS NO EVIDENCE OF DISSENT, RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADJUSTS AT THE TIME OF THIS SURVEY.
15. SUBJECT PARCEL AND ADJACENT PARCELS OWNERS' PROPERTY INFORMATION WAS DERIVED FROM COLUMBIA COUNTY RECORDS.
16. THERE IS NO OBSERVABLE EVIDENCE OF CHANGES IN STREET RIGHT-OF-WAY LINES OR SOBERLY CONSTRUCTION AND REMAINS AT THE TIME OF THIS SURVEY.
17. THE CROSS LAND AREA OF THE SUBJECT PARCEL IS 2.64433 ST (64.53 SQ AC).
18. THE ACTUAL PROPERTY SURFACE AREA OF THE SUBJECT PARCEL IS 2.64433 ST (64.53 SQ AC).
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20. THE DESCRIBING SOURCE HEREON IS IN COMPLIANCE WITH FLORIDA ADMINISTRATIVE CODE (FAC) 54-176.05(3).
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88. THE DESCRIBING SOURCE HEREON IS IN COMPLIANCE WITH

CERTIFIED TO:

TITLE COMPANY	LENDER
BDCW HOLDINGS, LLC	TRACK WEST PARTNERS, LLC

SURVEYOR'S CERTIFICATE:

TO: (NAME OF INSURED, IF KNOWN); (NAME OF LENDER, IF KNOWN); (NAME OF INSURER, IF KNOWN); BDO W
HOLDINGS, LLC; TRACY WEST PARTNERS, LLC.

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b)(1), 8, 9, 10, 11(a), 13, 14, 15, 17, 18, 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON AUGUST 21, 2024.

DATE OF BIRTH 08 MAR 1902

I FURTHER CERTIFY THIS SURVEY MEETS THE APPLICABLE "STANDARDS OF PRACTICE" AS SET FORTH BY THE
FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN RULE SJT.050-050, FLORIDA ADMINISTRATIVE
CODE



JONATHAN GRISOW
FLORIDA LICENSED SURVEYOR, LICENSE NO. 15,685
DATE

THIS CRIMINAL IS NOT ELIGIBLE FOR COMMUNITY

THIS SURVEY IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

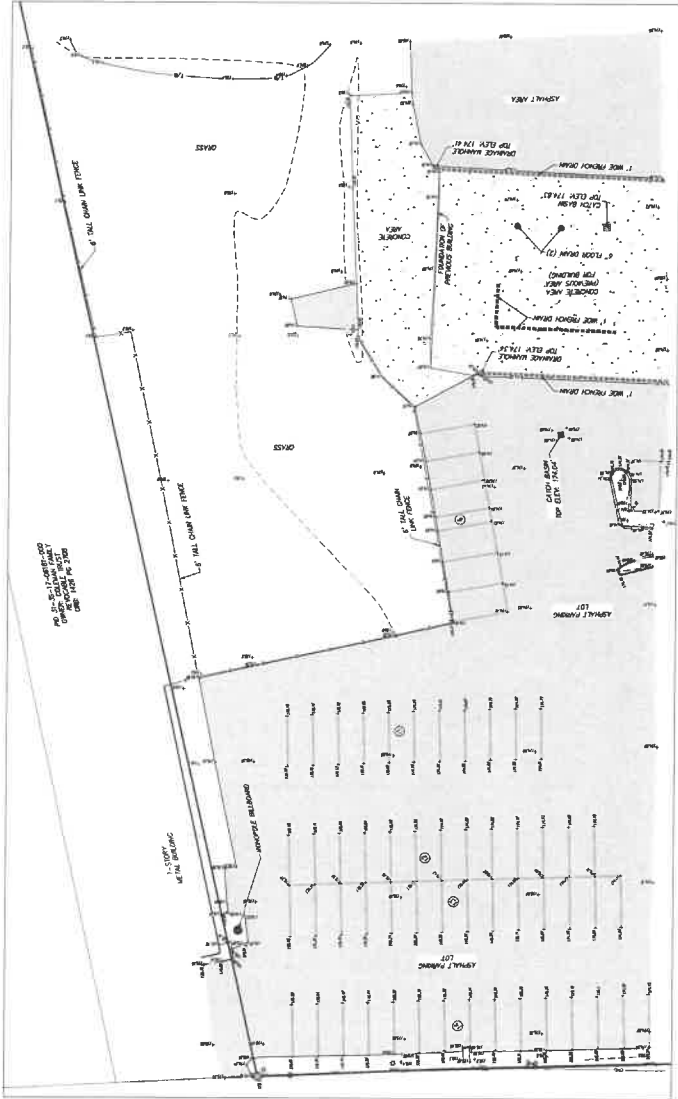
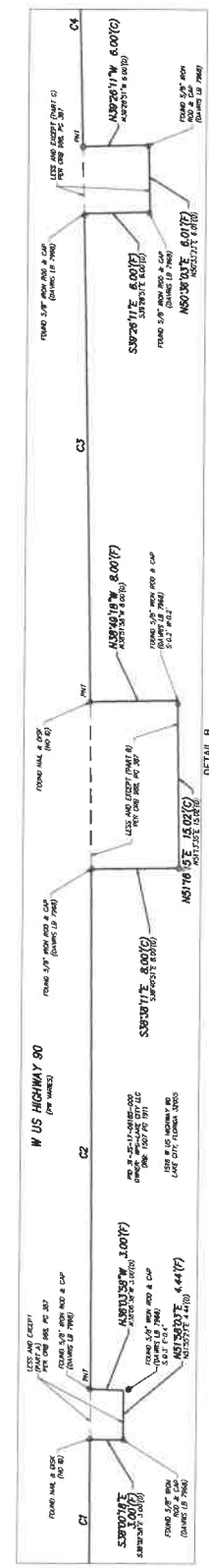


TABLE 1
CURVE DATA

CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING
C1(C)	21.83'	4631.66'	0007603°	21.83'	N62°29'44"E
C1(B)	21.83'	4631.66'	0007603°	21.83'	N62°29'44"E
C2(F)	41.89'	4631.66'	0007436°	46.64'	N51°29'07"E
C2(D)	41.83'	4631.66'	0007436°	46.64'	N51°29'07"E
C3(F)	41.89'	4631.66'	0007225°	46.64'	N50°47'29"E
C3(D)	41.89'	4631.66'	0007225°	46.64'	N50°47'29"E
C4(C)	219.30'	4631.66'	0024231°	219.46'	N49°22'24"E
C4(D)	219.30'	4631.66'	0024231°	219.46'	N49°22'24"E



Dewberry

131 EAST MAIN STREET
ORLANDO, FLORIDA 32806
PHONE: 321.250.0200 FAX: 407.846.8904
CERTIFICATE OF AUTHORIZATION NO. LE 18111

LOCATED IN SECTION 31,
TOWNSHIP 03 SOUTH, RANGE 17 EAST
COLLIER COUNTY, FLORIDA

ALTA/NSPS LAND TITLE SURVEY
-FOR-
BDCW HOLDINGS

PROJECT NO.	FIELD DATE	BY	DATE	SCALE
50183209	09/21/2024	AS	09/25/24	1" = 1" NA

3 OF 3

SITE DEVELOPMENT PLANS FOR:



1518 W US HIGHWAY 90
LAKE CITY, COLUMBIA COUNTY, FL 32055
SECTION 31, TOWNSHIP 03 S, RANGE 17
ZONED: (C1) COMMERCIAL, INTENSIVE

SHEET INDEX

- COVER
- G-0 GENERAL CIVIL SPECS
- G-0.2 GENERAL CIVIL SPECS
- V-1 SURVEY
- C-0 DEMOLITION PLAN
- C-1 SITE & PAVING PLAN
- C-1.1 FIRE ACCESS PLAN
- C-2.1 STORMWATER DRAINAGE PLAN
- C-3.1 STORMWATER DRAINAGE PROFILES
- C-3.1 UTILITY PLAN
- C-3.1 SANITARY SEWER PROFILES
- C-4 PAVING DETAILS
- C-5 CONSTRUCTION DETAILS
- C-6 UTILITY DETAILS
- C-6.1 SWPPP PLAN
- C-7.1 SWPPP DETAILS
- L-1 LANDSCAPE PLAN
- L-2 LANDSCAPE DETAILS



VICINITY MAP
NOT TO SCALE

SITE DISTURBED AREA = 1.28 AC.

PREPARED BY:



ForeSite Group, LLC
10752 Deerwood Park Blvd
Suite 100
Jacksonville, FL 32256
P 170.368.1399
F 170.368.1944
W www.foresitegroup.net

24 HR CONTACT:
AUBREY SHARP, P.E.
(770) 368-1399

ISSUED:
10/18/2024
00.2007.019

PROJECT DIRECTORY

OWNER

WPG-LAKE CITY, LLC
4211 W. BOY SCOUT BLVD, STE 620
TAMPA, FL 33607
CONTACT: JONATHAN JENNEWAIN

DEVELOPER

BDCW HOLDINGS, LLC
205 EAST 1ST AVE, STE 100
ROME, GA 30161
(706) 506-1754
CONTACT: JAY SHADDAY
CIVIL ENGINEER

ARCHITECT

OLIVER ARCHITECTS
1004 INDIANA AVE.
PALM HARBOR, FL 34683
(727) 781-7525
CONTACT: JOE OLIVERI, AIA

SURVEYOR

DEWBERRY
131 WEST KALEY STREET
ORLANDO, FL 32806
(321) 354-9826
CONTACT: JONATHAN GIBSON
GEOTECHNICAL ENGINEER

EC5 FLORIDA, LLC

6342 NW 18TH DRIVE, UNIT 10
GAINESVILLE, FL 32653
(352) 221-9221
CONTACT: COREY A. DUNLAP, P.E.

CITY OF LAKE CITY

205 N. MARION AVE
LAKE CITY, FL 32055
(386) 752-2031

UTILITY PROVIDERS

WATER AND SANITARY SEWER PROVIDER

LAKE CITY UTILITIES
692 SW ST. MARGARETS STREET
LAKE CITY, FL 32025
(386) 719-5812

ELECTRICAL SERVICE PROVIDER

FLORIDA POWER AND LIGHT - COLUMBIA
2618 NE EAST 11TH AVE, STE 100
LAKE CITY, FL 32055
(386) 586-6403
CONTACT: JAMIE FURNELL

TELEPHONE

AT&T
2929 W US HWY 90, SUITE 108
LAKE CITY, FL 32055
(352) 213-4188

CONTACT: DINO FARRUGGIO

FIBER SERVICE PROVIDER
HARGRAY OF FLORIDA
856 WILLIAM HILTON PARKWAY
HILTON HEAD, SC 29928
(843) 683-0250

CABLE

COMCAST COMMUNICATIONS
2386 SW MAIN BLVD
LAKE CITY, FL 32025
(904) 738-6898
CONTACT: ANDREW SWEENEY

ENGINEER



ForeSite Group, LLC
1770 Lake City Road
Suite 100
Jacksonville, FL 32216
P 170.368.1399
F 170.368.1944
W www.foresitegroup.net

REGISTERED



CONTACT
ANY THURSDAY



1518 W US HIGHWAY 90
LAKE CITY, COLUMBIA COUNTY, FL 32055
SECTION 31, TOWNSHIP 03 S, RANGE 17

SEAL



REVISIONS

NO.	REVISION	DATE
1	ISSUED FOR CONSTRUCTION	10/18/2024
2	ISSUED FOR CONSTRUCTION	10/18/2024

PROJECT MANAGER	AUS
DRAWING BY	YEAR
SUBSECTION	LANE CITY, FL
DATE	10/18/2024
SCALE	AS SHOWN

COVER

G-0

DOCUMENTS

NOT RELEASED FOR CONSTRUCTION

PROJECT NUMBER

00.2007.019

1) ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SECONDARY INCLOSING DEMOLITION.

2) ALL CONSTRUCTION RELATED PERMITS DURING THE CONSTRUCTION PHASE OF THIS PROJECT ARE THE RESPONSIBILITY OF THE CONTRACTOR.

- 1) ALL NEW WORK SHOWN IN THESE SHEETS SHALL COMPLY WITH APPLICABLE STATE, FEDERAL, AND LOCAL BUILDING AND UTILITY INSTALLATION CODES.

5) CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE THAT MAY OCCUR TO ANY ADJACENT STRUCTURES OR PROPERTY, OR ANY EXISTING STRUCTURES WITHIN LIMITS OF CONSTRUCTION THAT ARE DERIVED ON THE BASIS TO REMAIN, AND SHALL BEAR OR COMPENSATE FOR ANY DAMAGE TO SUCH ADJACENT STRUCTURES OR PROPERTY OF ANY COMPANIES IN THE PROCESS OF LOCATION AND RELOCATION OF AND THEM TO PUBLIC UTILITIES.

1. THE CONTRACTOR SHALL NOT DEVIATE FROM THESE PLANS AND SPECIFICATIONS WITHOUT THE PRIOR WRITTEN CONSENT OF THE ENGINEER.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CITY AND STATE EASEMENTS AND UTILITY PERMITS BEFORE REMOVING ANY UTILITIES FROM THEIR EXISTING LOCATION ON THE SITE. THE CONTRACTOR SHALL PERFORM ALL UTILITY DEVIATIONS OR RELOCATION IN ACCORDANCE WITH THE EXISTING UTILITY INFORMATION, UTILITIES AND REQUIREMENTS.
3. THE CONTRACTOR SHALL SECURE THE JOBSITE AND PROTECT TEMPORARY MEASURES AS REQUIRED TO MAINTAIN ACCESS TO THE SITE THROUGHOUT ALL TIMES DURING CONSTRUCTION. TEMPORARY MEASURES MAY VARY, BUT ARE NOT LIMITED TO: CONSTRUCTION OF TEMPORARY DRIVEWAYS, DRIVEWAYS, AND DRIVE CUTS. PERFORMANCE AS NECESSARY TO PROTECT THE WORK.
4. THE CONTRACTOR SHALL CONSIDER COORDINATION IMPACT OF CRIMES AND CONSTRUCTION EQUIPMENT OPERATIONS DURING DESTRUCTION ACTIVITY.

11) COORDINATE WITH CITY OF LAKE CITY CODES ENFORCEMENT DIVISION AS REQUIRED DURING ALL DEMOLITION AND NEW CONSTRUCTION ACTIVITIES.

12) ALL BUFFERS AND SAVE AREAS SHALL BE CLEARLY IDENTIFIED BY FLAGGING AND/OR SIGNS AT ALL TIMES.

- [illegible]

(SEE ALSO SHOPPING PLAN)

(1) EROSION CONTROL DEVICES ARE TO BE INSTALLED PRIOR TO ANY CLEARING OR EARTHWORK OPERATIONS AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND

- 3) ADDITIONAL TROUBLE CONTROL DEVICES MAY BE REQUIRED BY THE ENGINEER OR OTHER INSPECTORS AS DETERMINED BY FIELD CONDITIONS.

EXISTING SITE DATA	
AREA =	1.33 AC.
CURVE AREA =	0.03 AC.
ROUTE AREA =	1.30 AC.

LEGEND

ASPHALT GRAVEL AND/OR CURB A OUTLET TO BE REMOVED

- PROPERTY LINE
LIMITS OF DISTURBANCE
TYPE IV SALT PINE
EXISTING CONTROLS

CONTACT

10

1

and

100

REAL	PROJECT
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1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466
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PROJECT MANUAL

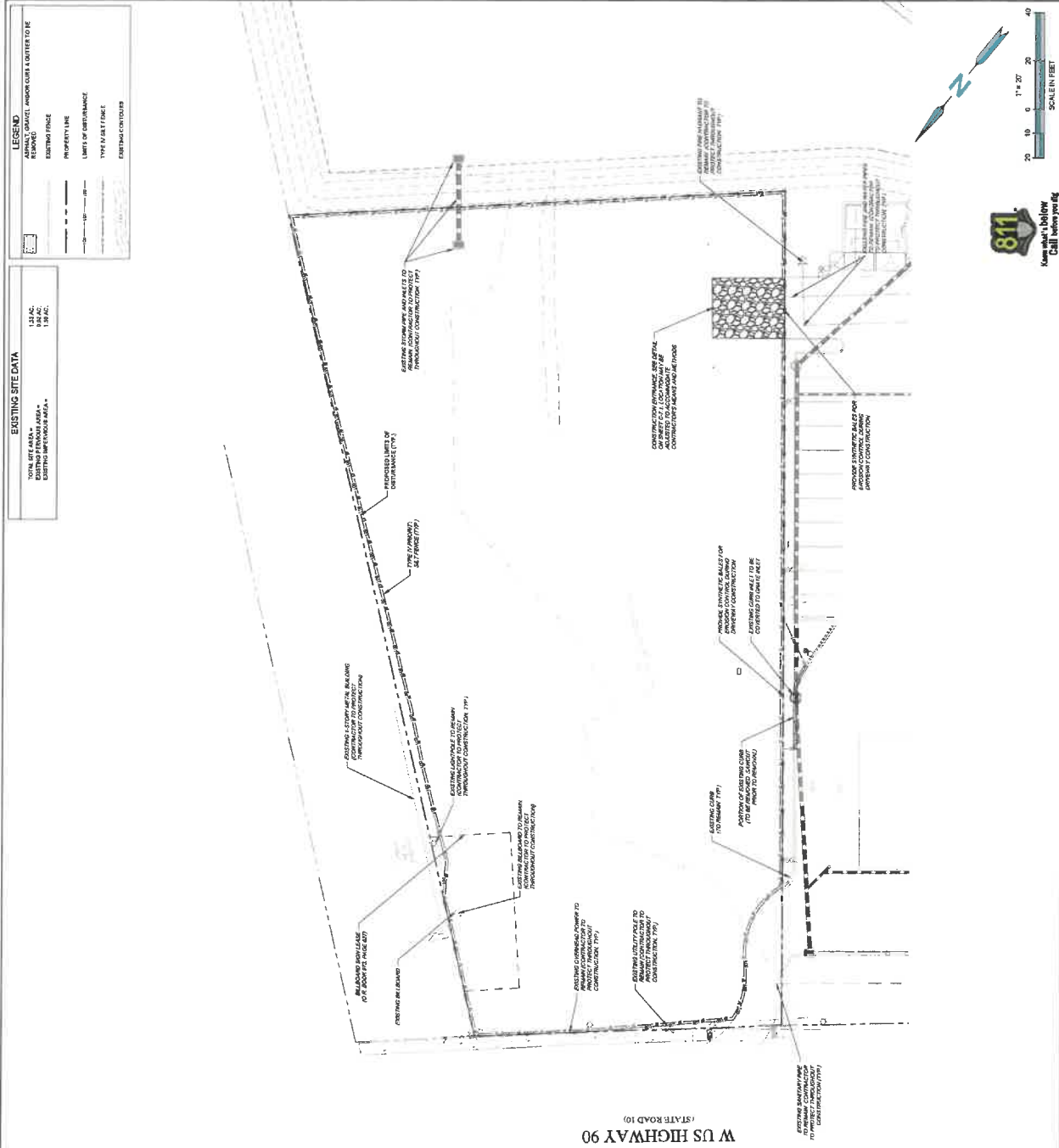
DATE _____
RESOLUTION _____
CONCURRED BY _____

FILE	DATE

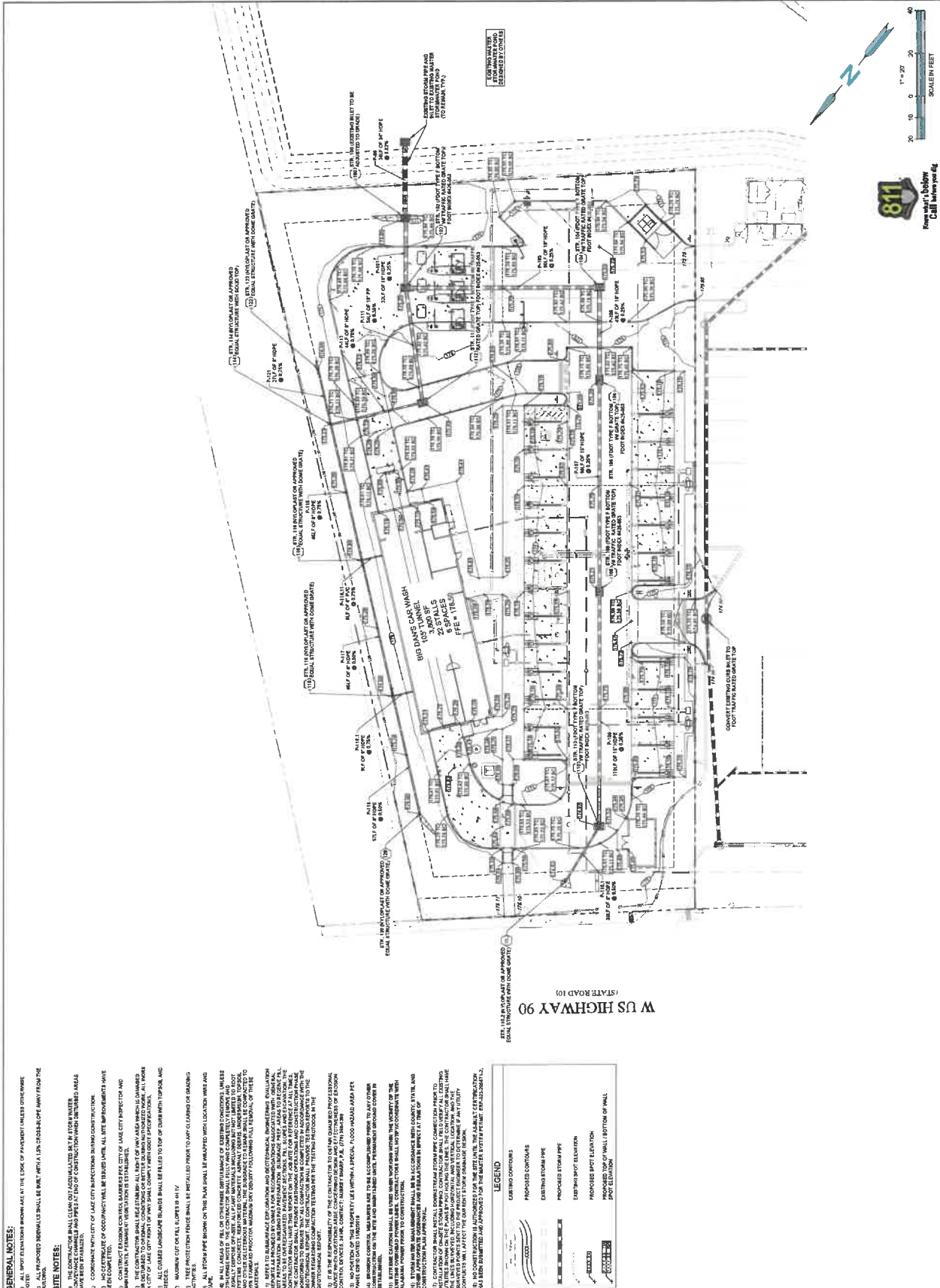
SHEET NUMBER

REFERENCES

1



•



GENERAL NOTES:

1. ALL PROPOSED STRUCTURES AND AREAS SHOWN ARE TO BE CONSTRUCTED TO CENTER OF STRUCTURE.
2. EXISTING UTILITY DEPT'S AND APPROPRIATE AGENCIES SHALL BE CONTACTED PRIOR TO THE PROPOSED DRAINAGE DESIGN. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES ENCOUNTERED. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES ENCOUNTERED.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF ALL STRUCTURES AND AREAS SHOWN TO THE DESIGN DRAWINGS.

FORESITE group

11115 E. US Highway 90
Lake City, FL 32055
Tel: 904.344.1111
Fax: 904.344.1112
www.foresitegroup.com

Big Dan's CAR WASH

BOON HOLDINGS, LLC
295 EAST 1ST AVENUE, SUITE 200
LAKE CITY, FL 32055
Tel: 904.344.1111
Fax: 904.344.1112
www.bigdancarwash.com

Big Dan's CAR WASH

1516 W US HIGHWAY 90
SECTION 31, TOWNSHIP 03 S, RANGE 17
LAKE CITY, COLUMBIA COUNTY, FL 32055

PROJECT	1516 W US HIGHWAY 90
DATE	01/11/2019
SCALE	AS SHOWN
TITLE	STORM DRAINAGE PROFILES
PROJECT MANAGER	AUS
DESIGNED BY	MAK
APPROVED BY	LAKE CITY, FL
DATE	01/11/2019
SCALE	AS SHOWN
TITLE	STORM DRAINAGE PROFILES

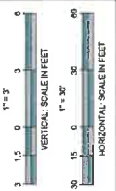
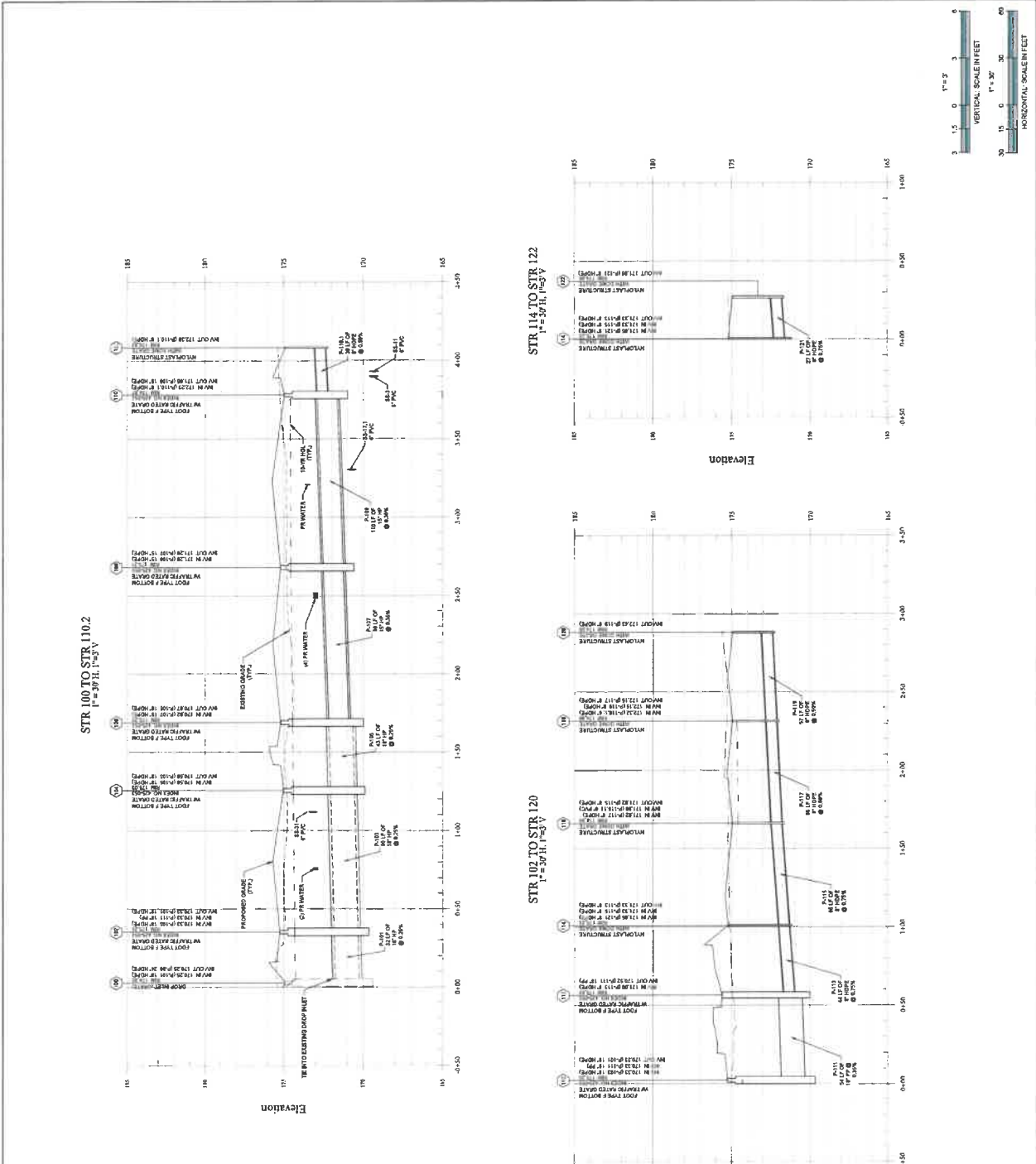
STORM DRAINAGE PROFILES

C-2.1

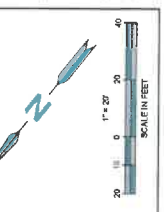
SHEET NUMBER

COMMENTS: NOT RELEASED FOR CONSTRUCTION

JOHN EMMERS 00.2007.019



UTILITY PLAN	C-3	NOT RELEASED FOR CONSTRUCTION	00.2007.019
FILE NUMBER			



Know what's below
Call before you dig

FORESITE
group
191322 Diamond Park Blvd
Suite 100
Jacksonville, FL 32214
☎ 1 770 566 1399
☎ 1 770 566 1648
| www.foresitegroup.net

Big Dan's
CAR WASH

BDGW HOLDINGS, LLC
205 EAST 1ST AVENUE, SUITE 100
IRMA, GA 30181
(770) 506-1754



Big Dan's
CAR WASH

1993

Labels

PROJECT MANAGER	AJS
ISSUED BY	NAME
JURISDICTION	LAKE CITY, FL
DATE	10/18/2014
SCALE	AS SHOWN
DATE	

SANITARY SEWER PROFILES

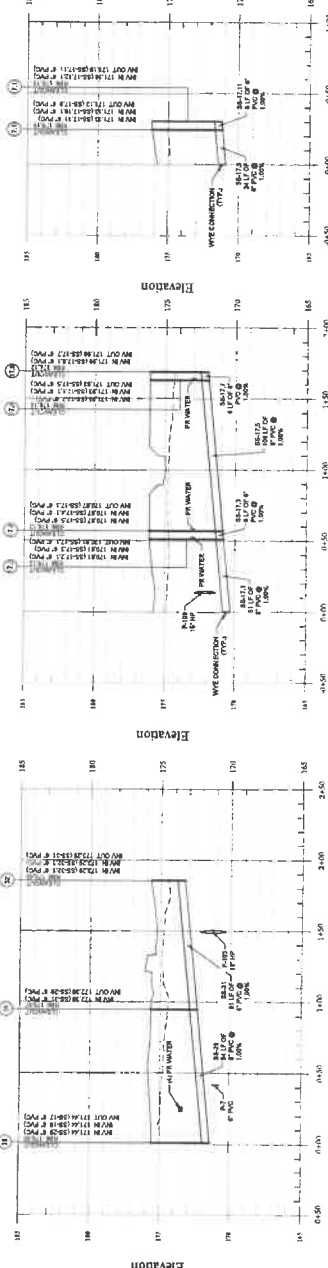
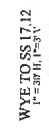
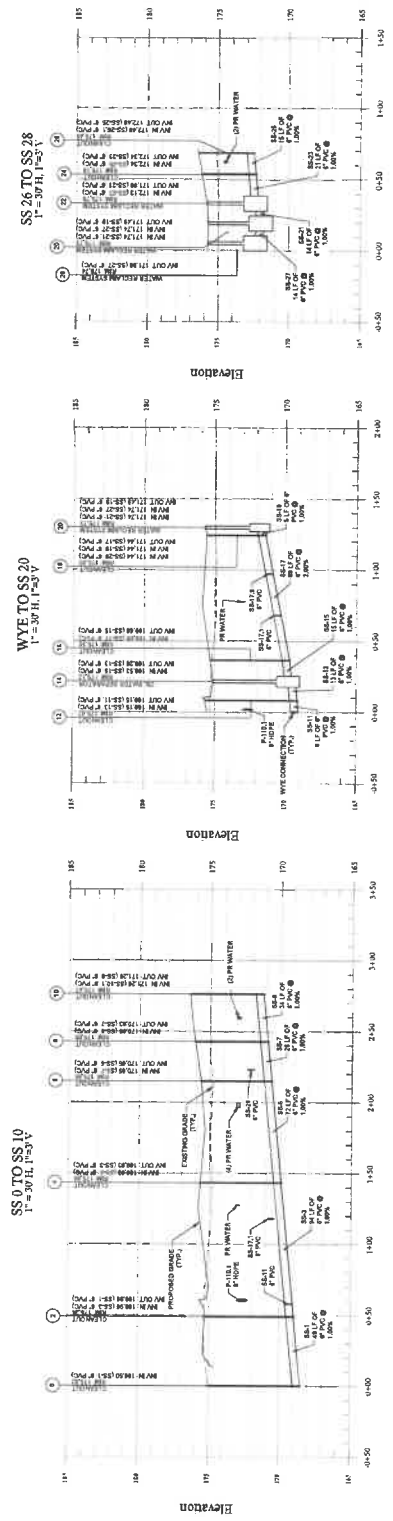
C-3.1

COMMENTS

NOT RELEASED FOR CONSTRUCTION

COPY NUMBER

00.2007.019



GENERAL NOTES:

PIPE LENGTHS REFLECT THE PIPE'S LINEAR LENGTH AND ARE SHOWN ON CENTER OF STRUCTURE TO CENTER OF STRUCTURE.

ENGINEER

FORESITE
group
Foresite Group, LLC
11175 NW 17th
Suite 100
Jacksonville, FL 32214
www.foresitegroup.com

DEVELOPER

Big Dan's
CAR WASH
1515 W US HIGHWAY 90
LAKE CITY, COULUMBER COUNTY, FL 32055
304.281.1111
JAY HENNING

CONTRACT

Big Dan's
CAR WASH
1515 W US HIGHWAY 90
LAKE CITY, COULUMBER COUNTY, FL 32055
SECTION 31, TOWNSHIP 09 S, RANGE 17

PROJECT

USA

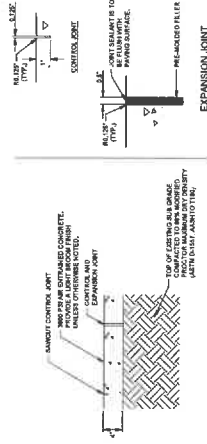
RESIDENT

PROJECT MANAGER	AS
DRAWING BY	MM
APPROVED BY	LAKE CITY, FL
DATE	1/18/2018
SCALE	AS SHOWN
TITLE	

PAVING DETAILS

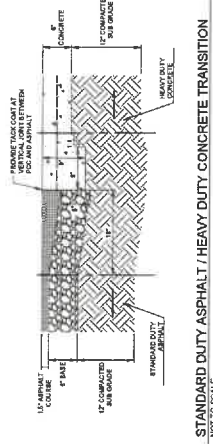
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SHEET NUMBER	
COMMENTS	NOT RELEASED FOR CONSTRUCTION
JOB FILE NUMBER	00.2007.019

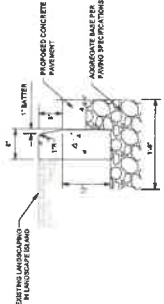


NOTE: SEE CITY ENGINEER'S SPECIFICATIONS FOR CURB AND SIDEWALK. THE CURB SHALL BE 12" HIGH AND 12" WIDE. THE SIDEWALK SHALL BE 12" WIDE AND 4" THICK. THE EXPANSION JOINT SHALL BE 12" WIDE AND 4" THICK. THE CURB SHALL BE 12" HIGH AND 12" WIDE. THE SIDEWALK SHALL BE 12" WIDE AND 4" THICK. THE EXPANSION JOINT SHALL BE 12" WIDE AND 4" THICK.

CONCRETE SIDEWALK
NOT TO SCALE

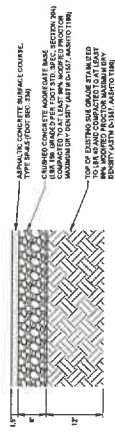


STANDARD DUTY ASPHALT / HEAVY DUTY CONCRETE TRANSITION
NOT TO SCALE



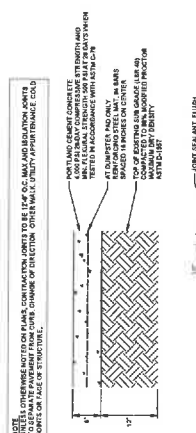
NOTE: SEE CITY ENGINEER'S SPECIFICATIONS FOR CURB AND SIDEWALK. THE CURB SHALL BE 6" HIGH AND 6" WIDE. THE SIDEWALK SHALL BE 12" WIDE AND 4" THICK. THE EXPANSION JOINT SHALL BE 12" WIDE AND 4" THICK. THE CURB SHALL BE 6" HIGH AND 6" WIDE. THE SIDEWALK SHALL BE 12" WIDE AND 4" THICK. THE EXPANSION JOINT SHALL BE 12" WIDE AND 4" THICK.

6" CONCRETE HEADER CURB
NOT TO SCALE



NOTE: SEE CITY ENGINEER'S SPECIFICATIONS FOR CURB AND SIDEWALK. THE CURB SHALL BE 12" HIGH AND 12" WIDE. THE SIDEWALK SHALL BE 12" WIDE AND 4" THICK. THE EXPANSION JOINT SHALL BE 12" WIDE AND 4" THICK. THE CURB SHALL BE 12" HIGH AND 12" WIDE. THE SIDEWALK SHALL BE 12" WIDE AND 4" THICK. THE EXPANSION JOINT SHALL BE 12" WIDE AND 4" THICK.

STANDARD DUTY ASPHALT PAVING
NOT TO SCALE

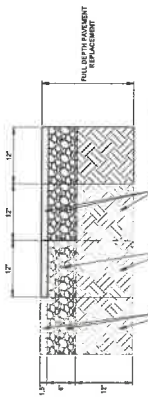


NOTE: SEE CITY ENGINEER'S SPECIFICATIONS FOR CURB AND SIDEWALK. THE CURB SHALL BE 12" HIGH AND 12" WIDE. THE SIDEWALK SHALL BE 12" WIDE AND 4" THICK. THE EXPANSION JOINT SHALL BE 12" WIDE AND 4" THICK. THE CURB SHALL BE 12" HIGH AND 12" WIDE. THE SIDEWALK SHALL BE 12" WIDE AND 4" THICK. THE EXPANSION JOINT SHALL BE 12" WIDE AND 4" THICK.

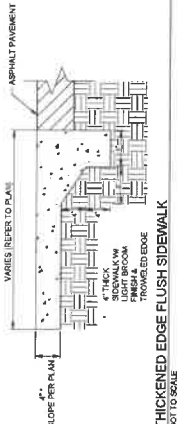
ISOLATION JOINT
NOT TO SCALE

NOTE: SEE CITY ENGINEER'S SPECIFICATIONS FOR CURB AND SIDEWALK. THE CURB SHALL BE 12" HIGH AND 12" WIDE. THE SIDEWALK SHALL BE 12" WIDE AND 4" THICK. THE EXPANSION JOINT SHALL BE 12" WIDE AND 4" THICK. THE CURB SHALL BE 12" HIGH AND 12" WIDE. THE SIDEWALK SHALL BE 12" WIDE AND 4" THICK. THE EXPANSION JOINT SHALL BE 12" WIDE AND 4" THICK.

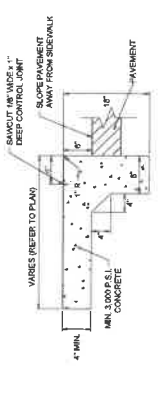
HEAVY DUTY CONCRETE PAVING
NOT TO SCALE



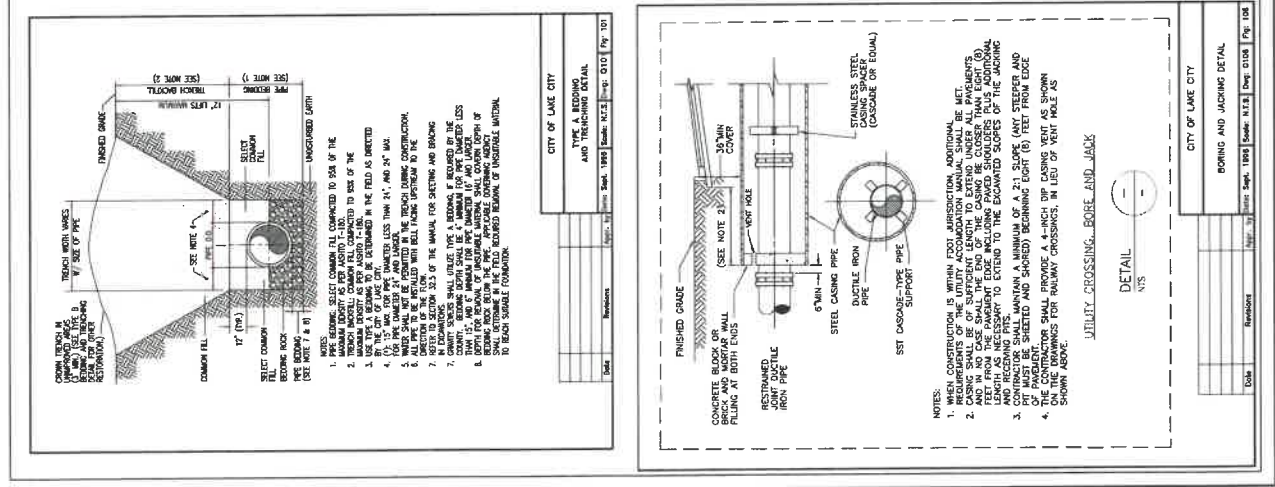
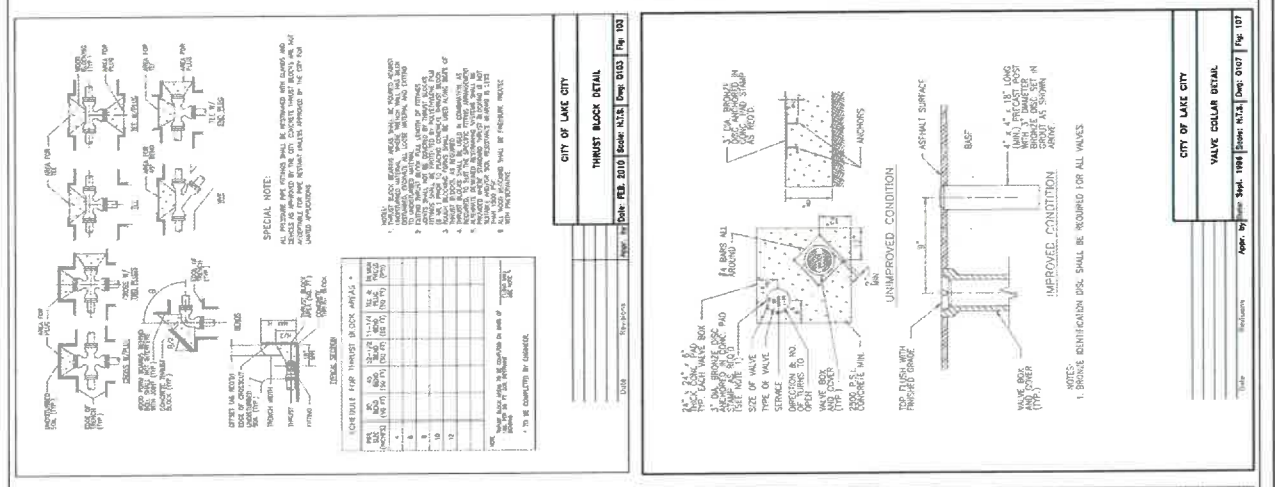
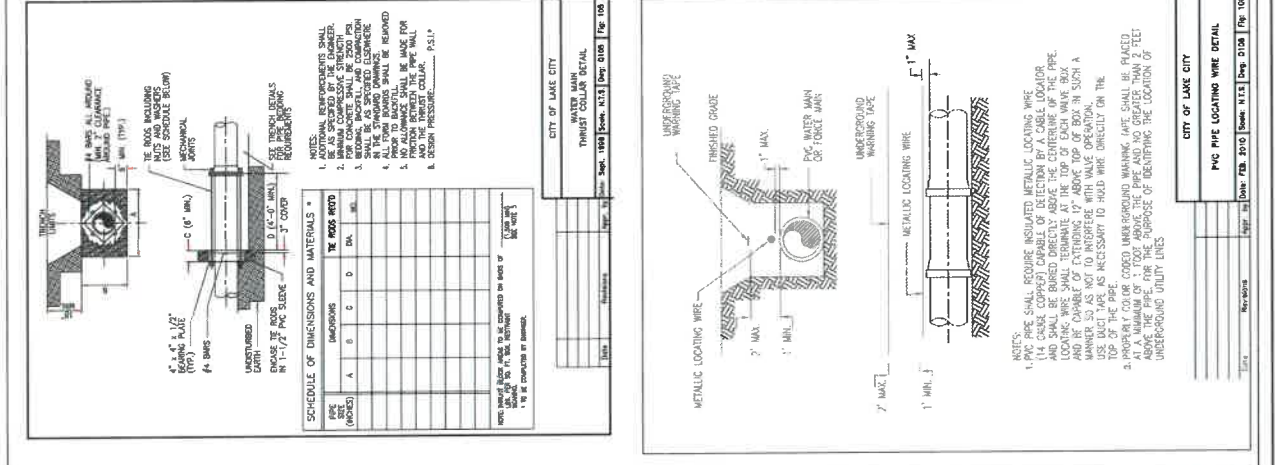
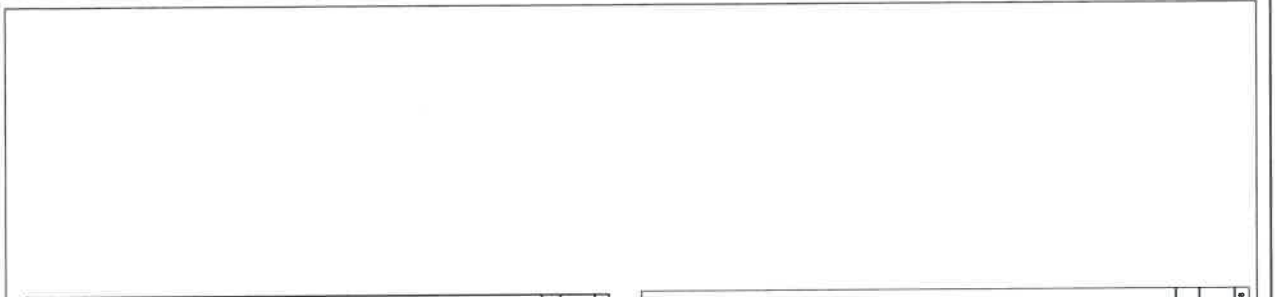
PAVEMENT JOINT DETAIL
NOT TO SCALE



THICKENED EDGE FLUSH SIDEWALK
NOT TO SCALE



INTEGRAL SIDEWALK CURB
NOT TO SCALE



ENGINEER

FORESITE
group

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19110 Corporate Center Blvd
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Fax: 904.333.1945
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DEVELOPER

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CAR WASH

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Fax: 904.333.1945
www.bigdancarwash.com

Big Dan's
CAR WASH

1519 W US HIGHWAY 80
LAKE CITY, COLUMBIA COUNTY, FL 32055
SECTION 31, TOWNSHIP 03 S, RANGE 17

PROJECT

SEAL

DATE

REVISIONS

PROJECT MANAGER
DESIGNED BY
CHECKED BY
LAKESIDE CIVIL
DATE
SCALE
TITLE

UTILITY DETAILS

SHEET NUMBER

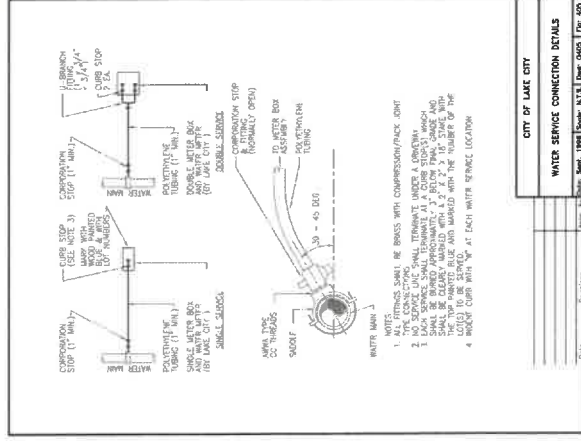
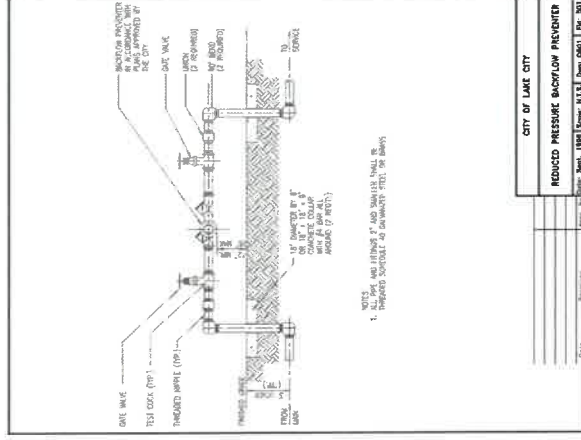
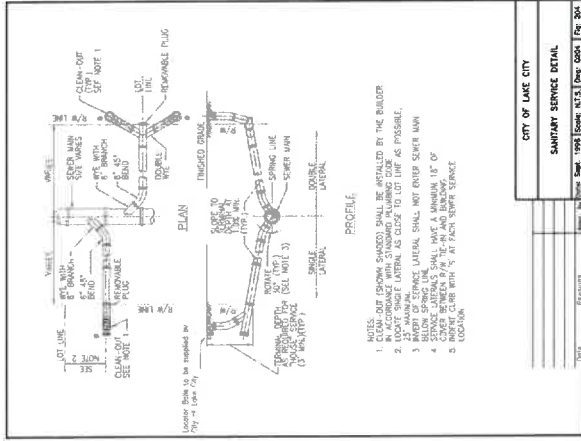
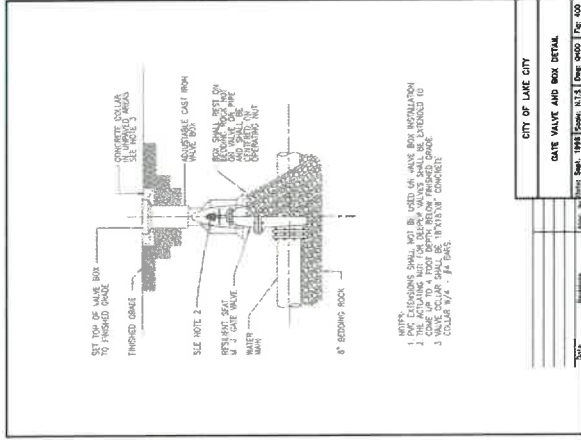
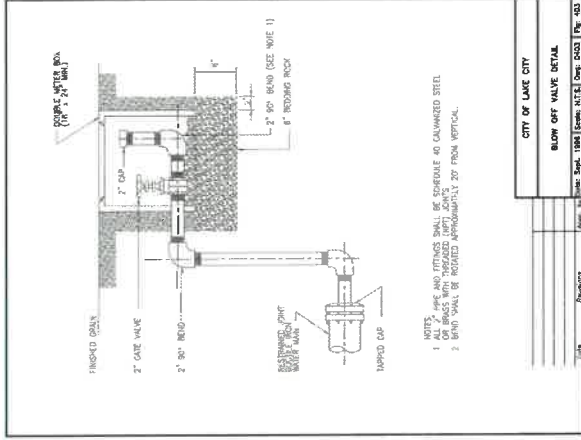
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COMMENTS

NOT RELEASED FOR CONSTRUCTION

AS SHOWN

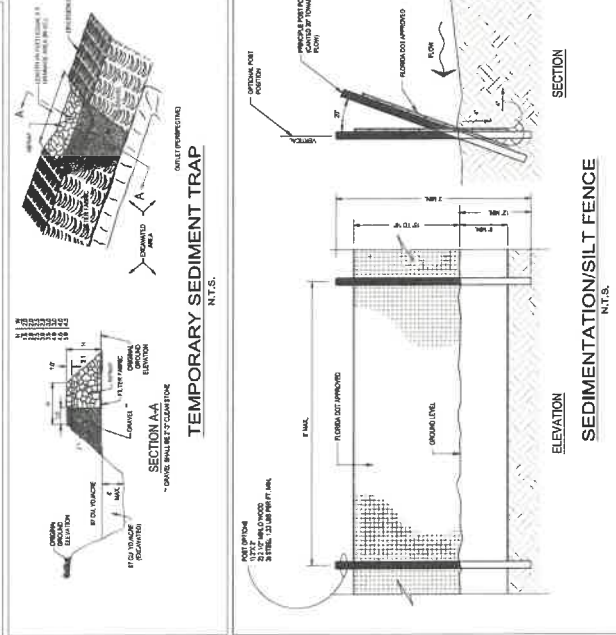
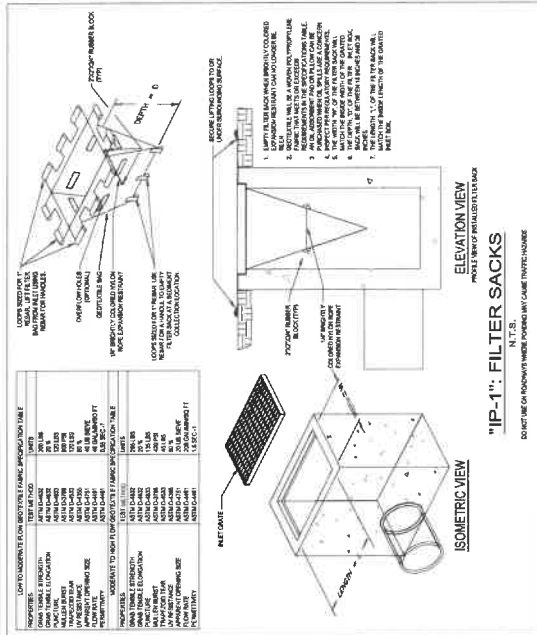
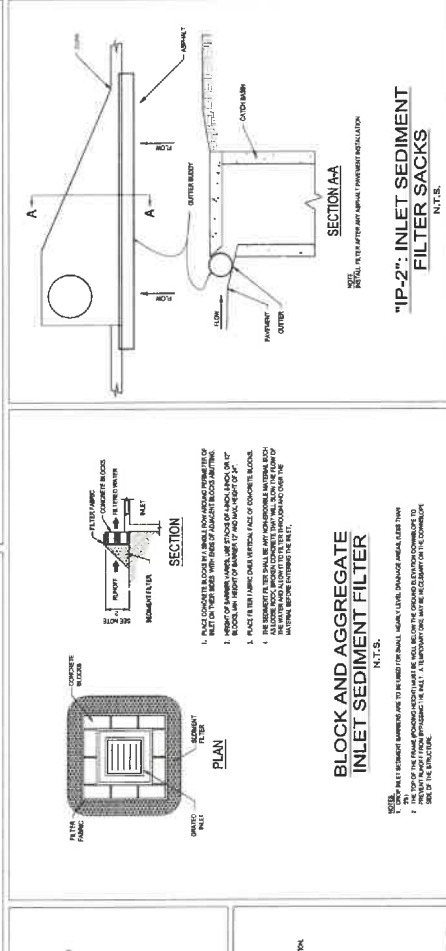
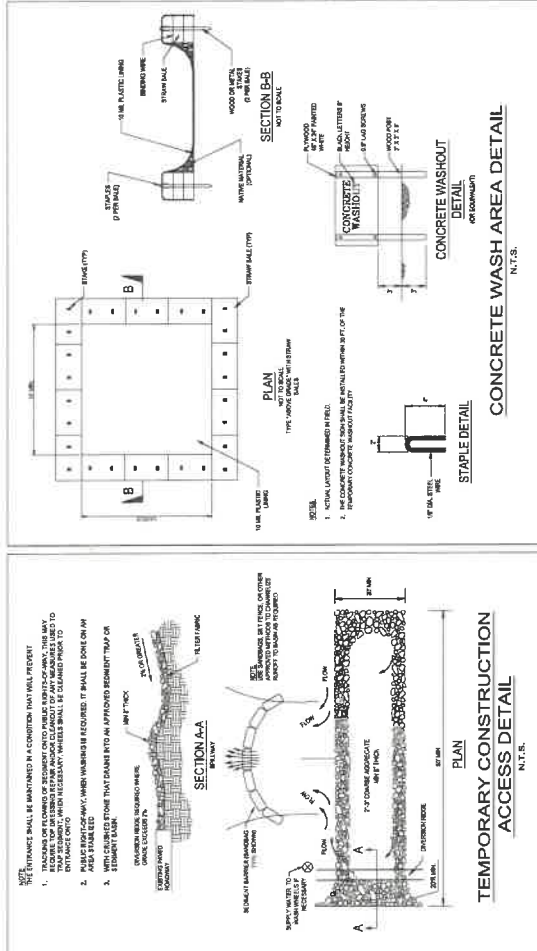
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Now we're going to see

[illegible][illegible][illegible]



WARRANTY ALL PLANTS SHALL BE MAINTAINED TO REMAIN ALIVE, HEALTHY AND IN TRAINING CONDITION FOR A PERIOD OF ONE YEAR FROM ACCEPTANCE.

PLANTS SHALL MEET GOT SPECIFICATIONS AND AMERICAN STANDARD FOR NURSERY STOCK STANDARDS.

PLANTS SHALL BE SPECIFIC QUANTITY. PLANTS SHALL BE SOUND, HEALTHY AND VIGOROUS WELL MANICURED AND DEBELY TRAINED WHEN IN LEAF.

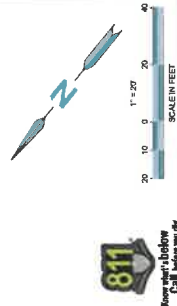
LIQUID AND SPREAD DROUGHTS INSPECTED BEETS TO THE MAIN BODY OF THE PLANT AND NOT FROM BRANCH TO TIP. IF A SAMPLE OF SEED IS GIVEN NO PLANT SHALL BE AS LARGE AS THE MAXIMUM SIZE SPECIFIED.

- [illegible]

ADJACENT PARCELS LOCATED IN COMPATIBLE ZONE.

NO RECOMPENSE REQUIRED ON THIS SITE. THEREFORE, NO REPLACEMENT TREES ARE PLANTED.

PLANT SCHEDULE						
(VENDOR)	QTY.	BOTANICAL COMMON NAME	CONT.	DATE	P-PRICE	P-TOTAL
	53	ABELIA X GRANDIFOLIA EDWARD GOUCHER / GLOSSY ABELIA	9 GAL.		\$674.00	
TOTAL		BOTANICAL COMMON NAME	CONT.	P-PRICE	FACING	
SUBTOTAL	21,486	DENISE E PEREZ CHAVEZ	SGO			



FORESITE
Group

Phone Group, LLC
17132 Deepwood Park Blvd
Suite 100
Jacksonville, FL 32256

© 1770 343 1344
© 1770 343 1344
www.foresitegroup.net

Big Dan's
CAR WASH

BOOM HOLDINGS, LLC
206 EAST 1ST AVENUE, SUITE 100
ROME, GA 30018
(706) 596-1764
JAY SHADDOX
CONTACT

Big Dan's
CAR WASH

7835

SYNOPSIS

PROJECT MANAGER	AJS
DRAWING BY	SE
REVISION	AUGUST 14
DATE	25 OCTOBER 2014
SCALE	1" = 20'

ANDSCAPE DI ANI

15

SUBJECTS

CASE FILE NUMBER 00 2007 010

ENGINEER



ForeSite Group, LLC
10322 Deerpark Pkwy, Suite 100
Charlotte, NC 28226
www.foresitegroup.com

DEVELOPER



Big Dan's
CAR WASH
BOONVILLE, NC
308 EAST 1ST AVENUE, SUITE 100
BOONVILLE, NC 28601
(704) 684-1514
JAY SHADLEY

CONTRACT



1518 W US HIGHWAY 90
LAKE CITY, COLUMBIA COUNTY, FL 32055
SECTION 31, TOWNSHIP 03 S, RANGE 17

PRODUCT

1518 W US Highway 90

REVISIONS

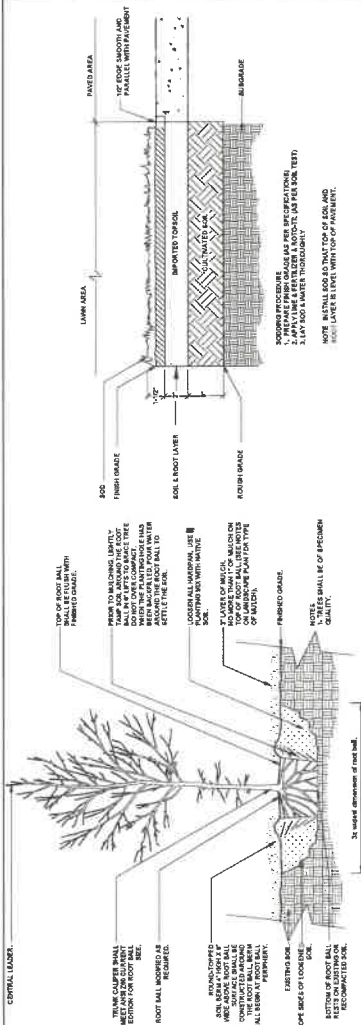
NO.	DESCRIPTION
1	ISSUED FOR PERMIT
2	ISSUED FOR CONSTRUCTION
3	ISSUED FOR CONSTRUCTION
4	ISSUED FOR CONSTRUCTION

PROJECT MANAGER	ALM
DRAWN BY	ALM
CHECKED BY	ALM
DATE	23 OCTOBER 2017
SCALE	AS SHOWN
TITLE	LANDSCAPE DETAILS

LANDSCAPE DETAILS

L-2

COMMENTS	NOT RELEASED FOR CONSTRUCTION
DATE	00.2007.019



1 TREE PLANTING

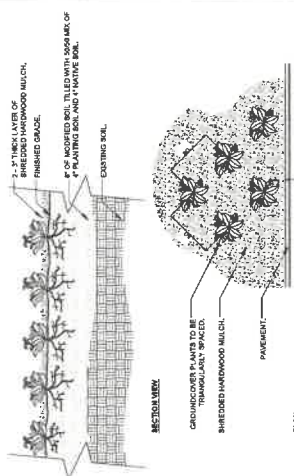
1/2" = 1'-0"

0000-001

2 SOD INSTALLATION

NOT TO SCALE

0000-002



PLAN

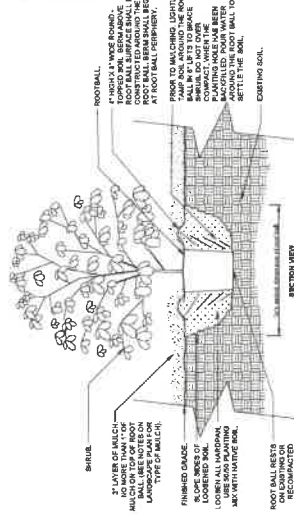
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NOTES:
1. SOD SHALL BE OF SPECIMEN QUALITY.
2. SOD SHALL BE OF SPECIMEN QUALITY.
3. SOD SHALL BE OF SPECIMEN QUALITY.

3 GROUND COVER

3/4" = 1'-0"

0000-004



NOTES:
1. SHRUBS SHALL BE OF SPECIMEN QUALITY.

4 SHRUB PLANTING

3/4" = 1'-0"

0000-005



SUWANNEE RIVER

WATER MANAGEMENT DISTRICT

January 13, 2025

Jay Shadday
BDCW Holdings, LLC
205 E 1st Ave
Rome, GA, 30161-3213

Subject: Environmental Resource Permit (ERP) Exemption, Big Dan's Car Wash - Lake City, ERP-023-205671-3, Columbia County

Dear Jay Shadday:

The subject proposed activity does not require a permit from the Suwannee River Water Management District (District). This decision was based on the documentation submitted on or before January 13, 2025 by Aubrey Sharp. The project proposes the construction of 0.82 acres of impervious surfaces on a total project area of 1.32 acres. The stormwater runoff from this activity was authorized under the master permit ERP-023-205671-2 issued on May 20, 2024, which allowed a maximum impervious area of 85% for the outparcel. The design engineer has certified that the proposed activity does not exceed the allowable conditions of the master system. The project shall be constructed in a manner consistent with the application package, plans, and calculations submitted and certified by Aubrey Sharp, P.E., of Foresite Group, on or before January 13, 2025, and in accordance with ERP Applicant's Handbook Volume I (AHVI), Section 3.1.2(c), Florida Administrative Code (F.A.C.)

Please ensure that turbidity, sedimentation, and erosion are controlled during and after construction of the exempt activity to prevent violations of state water quality standards, including any anti-degradation provisions of paragraphs 62-4.242(1)(a) and (b), subsections 62-4.242(2) and (3) and Rule 62-302.300, F.A.C., and any special standards for Outstanding Florida Waters and Outstanding National Resource Waters. Erosion and sediment control best management practices shall be installed and maintained in accordance with the guidelines and specifications described in the State of Florida Erosion and Sediment Control Designer and Reviewer Manual (Florida Department of Environmental Protection and Florida Department of Transportation, June 2007) (<https://www.flrules.org/Gateway/reference.asp?No=Ref-02530>), and the Florida Stormwater Erosion and Sedimentation Control Inspector's Manual (Florida Department of Environmental Protection, Nonpoint Source Management Section, Tallahassee, Florida, July 2008) (<https://www.flrules.org/Gateway/reference.asp?No=Ref-02531>).

Water for Nature. Water for People.

In addition, construction, alteration, and operation shall not:

- Begin construction until the as-built certification has been submitted and approved for the master system permit, ERP-023-205671-2.
- Exceed any of the criteria in 62-330.020(2), F.A.C
- Adversely impound or obstruct existing water flow, cause adverse impacts to existing surface water storage and conveyance capabilities, or otherwise cause adverse water quantity or flooding impacts to receiving water and adjacent lands;
- Cause an adverse impact to the minimum flows and levels established pursuant to Section 373.042, F.S.
- Cause adverse impacts to a Work of the District established pursuant to Section 373.086, F.S.;
- Adversely impede navigation or create a navigational hazard; or
- Cause or contribute to a violation of state water quality standards.

This authorization does not exempt you from obtaining permits from any other regulatory agency. Any modifications to the authorized plans shall require reconsideration by the District prior to commencement of construction.

If you have any questions, please contact the Division of Resource Management at 386.362.1001.

Sincerely,



Garrett Spencer, P.E.
Engineer III
Division of Resource Management

CC: Noah Keefe, Foresite Group, LLC
Aubrey Sharp, Foresite Group, LLC

STORMWATER MANAGEMENT REPORT

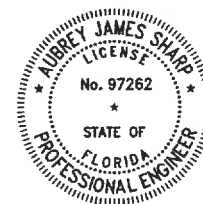
Big Dan's Car Wash – Lake City



PREPARED FOR:
BDCW HOLDINGS, LLC
City of Lake City, FL
Suwannee River Water Management District (SRWMD)

PREPARED BY:
Foresite Group, Inc.
10752 Deerwood Park BLVD, Suite 100
Jacksonville, Florida 32256

Aubrey Sharp, P.E.
Florida Registration No. 97262
Date: November 6, 2024



Digitally signed by
Aubrey Sharp
Reason: This item has
been digitally signed and
sealed by Aubrey Sharp,
PE, on the date adjacent
to the seal. Printed
copies of this document
are not considered
signed and sealed and
the signature must be
verified on any electronic
copies.
Date: 2024.11.25
09:23:35-05'00'

FORESITE
group

TABLE OF CONTENTS

Section 1 – General Project Information

- 1.1.1 Property Owner
- 1.1.2 Project Applicant
- 1.2 Project Information
- 1.3 Executive Summary

Section 2 – Pre-Development Conditions

- 2.1 Pre-Development Site Conditions
- 2.2 Existing Permit Information
- 2.3 Pre-Development Drainage Discussion

Section 3 – Post-Development Conditions

- 3.1 Post-Development Site Conditions
- 3.2 Post-Development Drainage Discussion
- 3.3 Minimum Elevations
- 3.4 Surface and Groundwater Elevations
 - 3.4.1 Surface Elevations
 - 3.4.2 Groundwater Elevation
- 3.5 100 Year Flood Plain Analysis
- 3.6 Wetlands / Surface Water Body
- 3.7 Outfall for Point Discharge
- 3.8 Tailwater Conditions
- 3.9 Construction Sequencing

Section 4 – Operation and Maintenance

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FIGURES

Figure 1 – USGS Quad Map

Figure 2 – Vicinity Map

Figure 3 – Aerial Map

Figure 4 – Soils Map

Figure 5 – FEMA Map

Figure 6 – Wetlands Map

ATTACHMENTS

Attachment 1 – Supporting Calculations

Attachment 2 – Subcatchment Exhibit

Attachment 3 – Existing Permit Impervious Area & Basin Map

SECTION 1

GENERAL PROJECT INFORMATION

1.1.1 Property Owner

Name: Jay Shadday
Company Name: BDCW HOLDINGS, LLC
Address: 205 East 1st Ave, Suite 100, Rome, GA 30161
Telephone: (706) 506-1754

1.1.2 Project Applicant

Name: Jay Shadday
Company Name: BDCW HOLDINGS, LLC
Address: 205 East 1st Ave, Suite 100, Rome, GA 30161
Telephone: (706) 506-1754

1.2 Project Information

Project Name: Big Dan's Car Wash – Lake City
Project Location: (See **Figure 2**)
City: Lake City
County: Columbia
Section 31, Township 03 South, Range 17
Site Area: 1.32 Acres
Developed Area: 1.29 Acres
Location Description: The project is within the C-Store – Lake City overall master development (Permit Number ERP-023-205671-2) on the south east side of US Highway 90 and NW Ridgewood Ave. Approximately 2.2 miles from the Interstate 75. The site is located on the northeast side of the overall development, specifically labeled "OUT PARCEL" (**See attachment 2**).

1.3 Executive Summary

This project is to construct a new car wash known as Big Dan's Car Wash. The site includes a new 3,820 SF building with associated parking lot, and drainage system. The project site is located within the Wawa – Lake City overall development and as such, is located within the limits of a master stormwater management system approved under permit number 205671.002 and known as "C-Store – Lake City". Said permit allocated a maximum impervious area percentage of 85% to the proposed outparcel and is to maintain a curve number of 88.5. The proposed site plan has an impervious area of 61.85%, therefore, the project complies with the assumptions of the master stormwater management permit.

SECTION 2

PRE-DEVELOPMENT CONDITIONS

2.1 Pre-Development Site Conditions

Following the construction that is planned to be completed by the master developer, the site will be undeveloped with approximately +/-1,000 SF of existing impervious area within the site for the shared right hand only exit of the development. The site is proposed to be cleared in late 2024 in association with the construction of the C-Store – Lake City overall development.

2.2 Existing Permit Information

This site is located within the limits of the C-Store – Lake City overall development which was permitted through SRWMD under permit number ERP-023-205671-2. The design and calculations for the C-Store – Lake City master stormwater management system is the baseline for our understanding of the permitted conditions of our project site.

Upon review of the information contained for the C-Store – Lake City overall development, the proposed Big Dan's Car Wash site is located within the basin labeled as "POST DEVELOPMENT BASIN B". According to Appendix F – Stormwater Calculations on the Drainage Calculation Book, the "POST DEVELOPMENT BASIN B" has an allotted maximum impervious area of 85% or 1.12 acres, **see Attachment 2**.

2.3 Pre-Development Drainage Discussion

The existing site, labeled as "POST DEVELOPMENT BASIN B", is relatively flat with the higher elevations located closer to the right-of-way and gradually sloping southeast towards the stormwater management pond. The existing shared right hand only exit in the northwest portion is graded so all runoff is collected via a storm inlet drains along US Highway 90. The undeveloped outparcel will sheet flow into inlet C-10 from the master development plans and be discharged into the master detention system on the southeast side of the property that is permitted and will be constructed with the C-Store – Lake City overall development.

SECTION 3 POST-DEVELOPMENT CONDITIONS

3.1 Post-Development Site Conditions

The proposed site will include a 3,820 SF car wash building with associated parking lot and drainage system. The proposed drainage system consists of inlets and pipes that capture and convey runoff directly to the master drainage system that was permitted and constructed with the C-Store – Lake City overall development.

3.2 Proposed Drainage Discussion

The parking lot and landscape areas have been graded to drain into inlets which collect stormwater runoff and route it through a storm network of inlets and drainage pipes into the master stormwater management system. All downspouts for roof drainage from the building will tie into the proposed underground drainage pipe network. The proposed drainage pipe network will tie into the master stormwater management system via an inlet located on the southeast portion of the site. The north and east side of the site will remain pervious, and a proposed shallow swale will convey the runoff into the proposed stormwater management system. All impervious surfaces are captured in the proposed drainage system and routed to the master stormwater management system.

Water quality and attenuation are provided in the master stormwater management system for the C-Store – Lake City overall development which was permitted through SRWMD under permit ERP-023-205671-2. The subject site is located within the “POST DEVELOPMENT BASIN B” which has an allotted impervious area of 85.0%. **Therefore, the impervious area permitted for the subject site is 85.0%.**

The total site area is 1.32 ac and the proposed site plan has a total impervious area of 0.82 ac, which equates to a **proposed impervious area ratio of 61.85%**. Therefore, the proposed Big Dan’s Car Wash – Lake City development complies with the assumptions of the master stormwater management system.

The proposed drainage piping has been designed to convey runoff from the 25-year/24-hour storm event and not bubble out of the top of inlets within paved areas. The tailwater condition used to design the drainage piping is the 25-YR/24-HR peak stage of the receiving master detention dry pond. See **Attachment 1** for the proposed storm drain tabulations and **Attachment 2** for permit excerpts from the master development.

3.3 Minimum Elevations

The minimum parking lot elevations have been set to be at or above the 25-YR/24-HR peak stage in the master stormwater management system. In addition, the seasonal high water table (SHWT) based on the site specific geotechnical engineering report was evaluated to ensure adequate separation is provided between the SHWT and the bottom of the pavement base material.

The minimum building finished floor elevation was set based on being one foot above the 100-YR/24-HR peak stage in the master stormwater management system as well as one foot above the FEMA base flood elevation. See the following table 3.0 for a summary of minimum elevations:

Table 3.0
Minimum Elevations

	Required	Proposed
Minimum Parking Lot:	174.22'	174.87'
Minimum Building FFE:	174.83'	176.50'

Elevations shown within this table are relative to the NAVD 88 Datum.

3.4 Surface and Groundwater Elevations

3.4.1 Surface Elevations

The on-site project area includes elevations ranging approximately from 176.5' to 174.75' NAVD 88.

3.4.2 Groundwater Elevation

According to the boring logs contained within geotechnical engineering report for the project, groundwater was encountered between depths that ranged from 4.5 to 7.5 feet below existing ground surface. The borings were drilled on February 1st, 2022. The peak seasonal high water table (SHWT) is estimated to be about 4.0 feet below the existing ground surface.

See the project specific Geotechnical Engineering Report prepared by ECS Florida, LLC, dated September 29, 2023, for more detailed information on the groundwater characteristics and refer to **Attachment 1** for a summary of calculations used to determine the groundwater elevations.

3.5 100 Year Flood Plain Analysis

This project is located within flood zone X as shown on FEMA FIRM Maps #12023C0291A and #12023C0292D with an effective date of 11/02/2018. Flood zone X is considered to be an "area of minimal flood hazard" and is located higher than the elevation of the 0.2-percent-annual-chance-flood (100 year). Therefore, there are no flood plain impacts associated with this project. See **Figure 5** for the FEMA FIRM Map.

3.6 Wetlands / Surface Water Body

Per the National Wetlands Inventory Mapper, there are no existing wetlands on site, See **Figure 6** for the National Wetlands Inventory Map.

3.7 Outfall for Point Discharges

Outfalls from the proposed drainage system are directly into the C-Store – Lake City master stormwater management system. The drainage system collecting and conveying the runoff from the proposed parking areas will connect directly into an inlet located on the southeast side of the site, discharging directly into the master dry detention pond.

3.8 Tailwater Conditions

The storm sewer conveyance system throughout the entire site has been designed such that the 25-year/24-hour design storm event will not bubble out of the top of the structures.

3.9 Construction Sequencing

This project will be constructed in one phase.

SECTION 4

OPERATION AND MAINTENANCE

All existing and proposed improvements will be owned by WPG-Lake City, LLC who will be responsible for routine maintenance to keep the stormwater management facility free of debris and landscaped areas mowed.

SECTION 5

ALTERNATIVE STORMWATER TREATMENT

This project does not propose to use any alternative stormwater treatment methods.

BIG DAN'S CAR WASH – LAKE CITY

FIGURES

- FIGURE 1 - USGS Map**
- FIGURE 2 - Vicinity Map**
- FIGURE 3 - Aerial Map**
- FIGURE 4 - Soils Map**
- FIGURE 5 - FEMA Map**
- FIGURE 6 – Wetlands Map**



USGS MAP NOT TO SCALE

PROJECT:

**BIG DAN'S
CAR WASH -
LAKE CITY**

LOCATION:

1518 W US HIGHWAY 90
LAKE CITY, FLORIDA 32055

DEVELOPER:

BDCW HOLDINGS, LLC

205 EAST 1ST AVENUE, SUITE 100
ROME, GA 30161
(706) 506-1754

CONTACT: JAY SHADDAY

ENGINEER:

FORESITE
group

FL CA 26115
Foresite Group, LLC
10150 Highland Manor Dr.
Suite 210
Tampa, FL 33610
D/B/A Foresite Consulting Group of Florida, LLC
e | 813.549.3250
f | 813.621.3580
w | www.foresitegroup.net

TITLE:

**FIGURE I
USGS QUAD MAP**

DATE:

9/12/2024

PROJECT NUMBER:

00.2007.019



VICINITY MAP NOT TO SCALE

PROJECT:

**BIG DAN'S
CAR WASH -
LAKE CITY**

LOCATION:

**1518 W US HIGHWAY 90
LAKE CITY, FLORIDA 32055**

DEVELOPER:

BDCW HOLDINGS, LLC
205 EAST 1ST AVENUE, SUITE 100
ROME, GA 30161
(706) 506-1754

CONTACT: JAY SHADDAY

ENGINEER:

**FORESITE
group**

FL CA 26125
Foresite Group, LLC
10150 Highland Manor Dr.
Suite 210
Tampa, FL 33610
D/B/A Foresite Consulting Group of Florida, LLC

o | 813.549.3250
f | 813.621.3580
w | www.foresitegroup.net

TITLE:

**FIGURE 2
VICINITY MAP**

DATE:

9/12/2024

PROJECT NUMBER:

00.2007.019



AERIAL
1" = 500'



PROJECT: BIG DAN'S CAR WASH - LAKE CITY LOCATION: 1518 W US HIGHWAY 90 LAKE CITY, FLORIDA 32055	DEVELOPER: BDCW HOLDINGS, LLC 205 EAST 1ST AVENUE, SUITE 100 ROME, GA 30161 (706) 506-1754 CONTACT: JAY SHADDAY	ENGINEER: FORESITE group FL CA 26115 Foresite Group, LLC 10150 Highland Manor Dr Suite 210 Tampa, FL 33610 D/B/A Foresite Consulting Group of Florida, LLC o 813.549.3250 f 813.621.3580 w www.foresitegroup.net	TITLE: FIGURE 3 AERIAL MAP DATE: 9/12/2024 PROJECT NUMBER: 00.2007.019
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Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
3	Alpin fine sand, 0 to 5 percent slopes	1.3	100.0%
20	Chipley fine sand, 0 to 5 percent slopes	0.0	0.0%
Totals for Area of Interest		1.3	100.0%

SOILS MAP NOT TO SCALE



PROJECT:

**BIG DAN'S
CAR WASH -
LAKE CITY**

LOCATION:

1518 W US HIGHWAY 90
LAKE CITY, FLORIDA 32055

DEVELOPER:

BDCW HOLDINGS, LLC
205 EAST 1ST AVENUE, SUITE 100
ROME, GA 30161
(706) 506-1754

CONTACT: JAY SHADDAY

ENGINEER:

FORESITE
group

FL CA 26215
Foresite Group, LLC
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Tampa, FL 33610
D/B/A Foresite Consulting Group of Florida, LLC
o | 813.549.3250
f | 813.621.3580
w | www.foresitegroup.net

TITLE:

**FIGURE 4
SOILS MAP**

DATE: 9/12/2024

PROJECT NUMBER: 00.2007.019



FEMA MAP
NOT TO SCALE



PROJECT: BIG DAN'S CAR WASH - LAKE CITY	DEVELOPER: BDCW HOLDINGS, LLC 205 EAST 1ST AVENUE, SUITE 100 ROME, GA 30161 (706) 506-1754	ENGINEER: FORESITE group FL CA 26115 Foresite Group, LLC 10150 Highland Manor Dr. Suite 210 Tampa, FL 33610 DB/A Foresite Consulting Group of Florida, LLC o 813 549 3250 f 813 621.3580 w www.foresitegroup.net	TITLE: FIGURE 5 FEMA MAP
LOCATION: 1518 W US HIGHWAY 90 LAKE CITY, FLORIDA 32055	CONTACT: JAY SHADDAY		DATE: 9/12/2024
			PROJECT NUMBER: 00.2007.019



WETLANDS MAP NOT TO SCALE



PROJECT: BIG DAN'S CAR WASH - LAKE CITY LOCATION: 1518 W US HIGHWAY 90 LAKE CITY, FLORIDA 32055	DEVELOPER BDCW HOLDINGS, LLC 205 EAST 1ST AVENUE, SUITE 100 ROME, GA 30161 (706) 506-1754 CONTACT: JAY SHADDAY	ENGINEER: FORESITE group FL CA 26315 Foresite Group, LLC 10150 Highland Manor Dr. Suite 210 Tampa, FL 33610 D/B/A Foresite Consulting Group of Florida, LLC o 813.549.3250 f 813.621.3580 w www.foresitegroup.net	TITLE FIGURE 6 WETLANDS MAP DATE: 9/12/2024 PROJECT NUMBER: 00.2007.019
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BIG DAN'S CAR WASH – LAKE CITY

ATTACHMENT 1

SUPPORTING CALCULATIONS

PROJECT: Big Dan's Car Wash - Lake City

PROJECT: Big Dan's C
JOB #: 00:2007.019

PREPARED BY:	NMK	DATE:	11/25/2024
CHECKED BY:	AJS	DATE:	11/25/2024

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BIG DAN'S CAR WASH – LAKE CITY

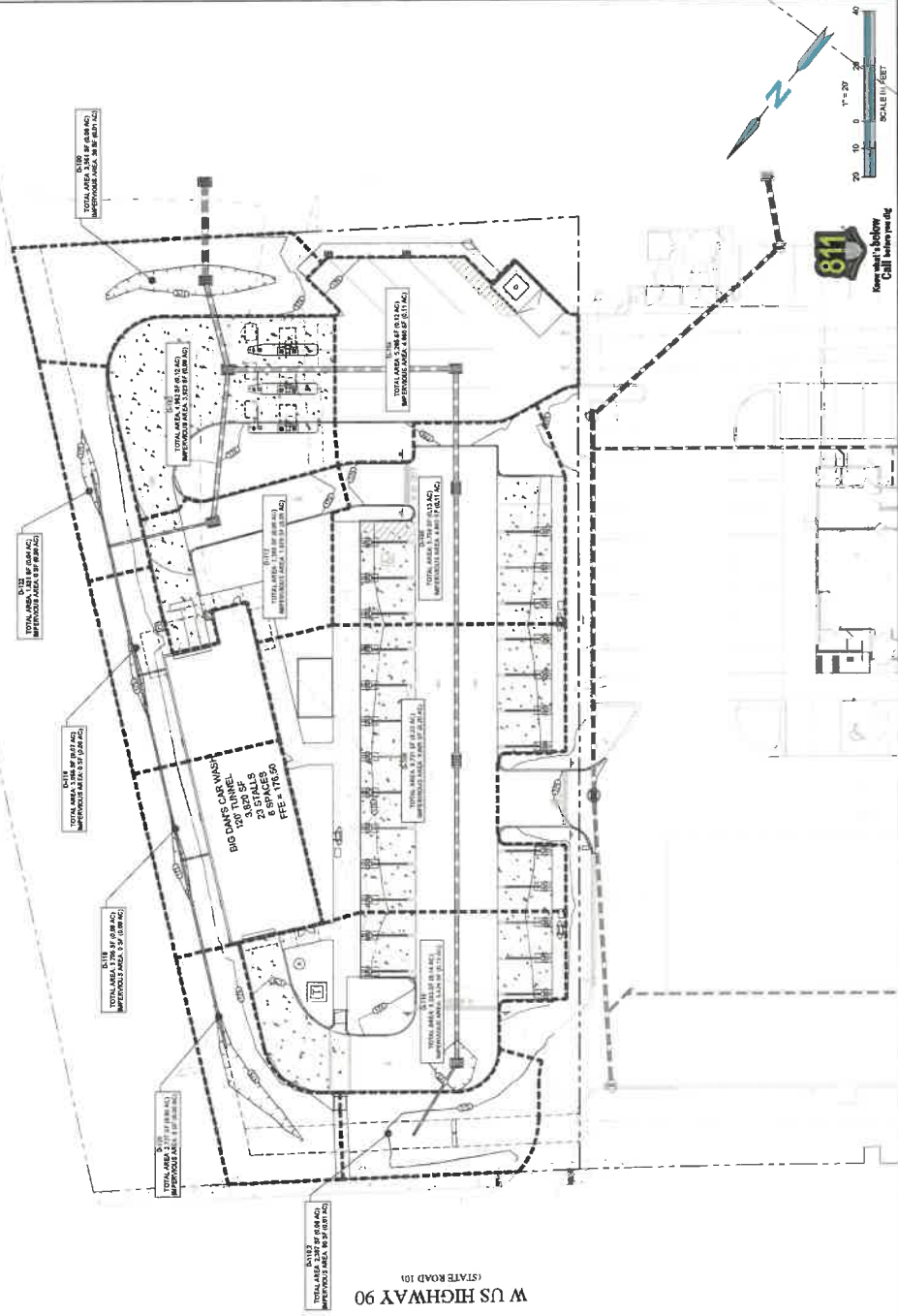
ATTACHMENT 2

SUBCATCHMENT EXHIBIT

LEGEND

EXISTING CONTOURS
PROPOSED CONTOURS
EXISTING STORM PIPE
PROPOSED STORM PIPE
WATERWAY/DEVELOPMENT

FLOW ARROW



W US HIGHWAY 90
(STATE ROAD 10)

FORESITE group

Project Group, LLC
11701 N. US Highway 90
Suite 100
Lakeland, FL 33814
Tel: 888.444.4444
Fax: 888.444.4444

Big Dan's CAR WASH

BROWN HOLDINGS, LLC
200 EAST 1ST AVENUE, SUITE 100
LAKELAND, FL 33801
Tel: 888.444.4444
Fax: 888.444.4444

Big Dan's CAR WASH

SECTION 31, TOWNSHIP 03 S, RANGE 17
LAKE CITY, COLUMBIA COUNTY, FL 32055

PROJECT

DESIGNER

PROJECT MANAGER
AUG
DRAWING BY
LAKE CITY, FL
DATE
11-22-2014
SCALE
1" = 20'
TITLE

GRAVING & DRAINAGE PLAN

SHEET NUMBER

C-2

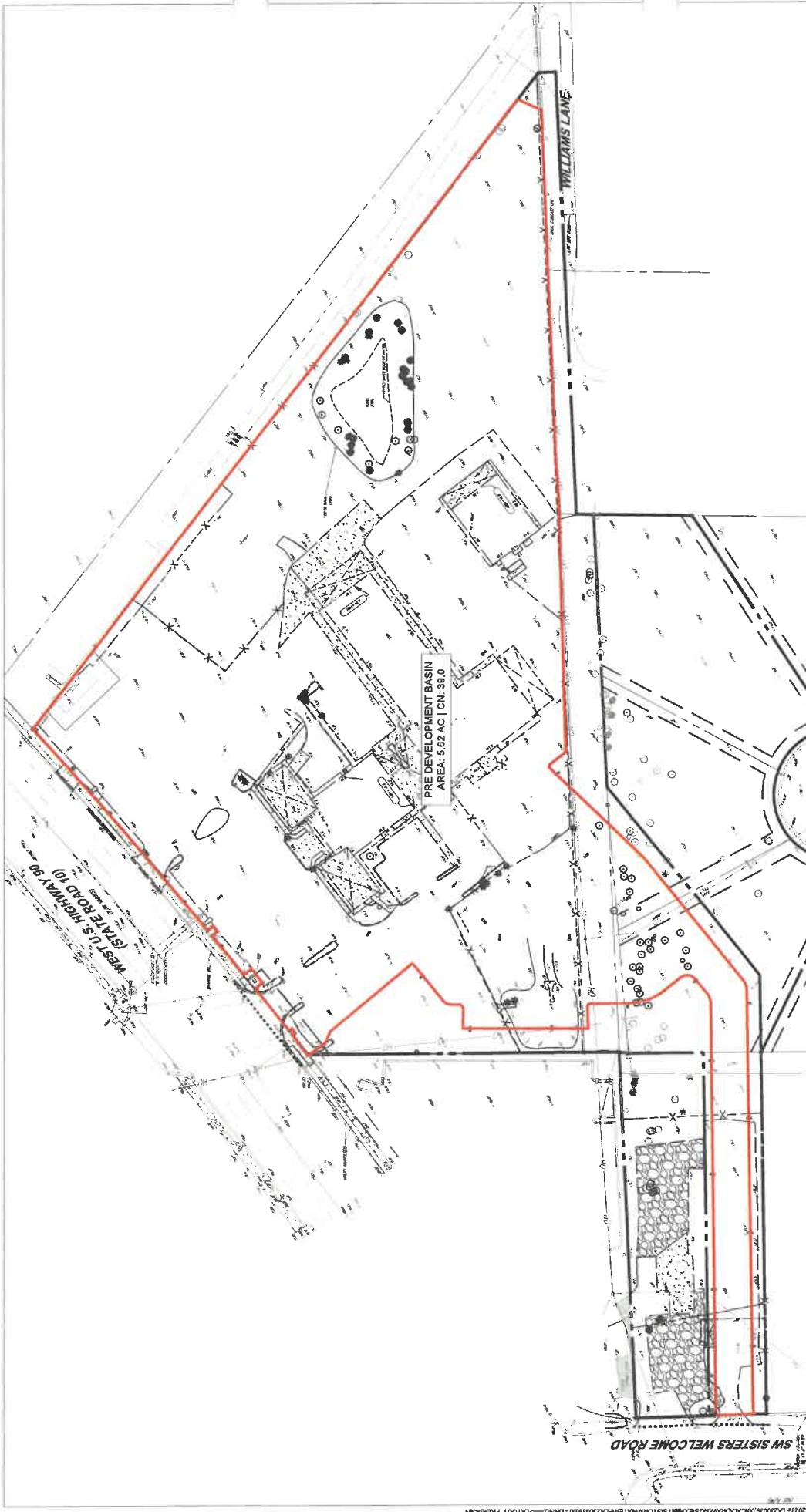
COMMENTS
NOT RELEASED FOR CONSTRUCTION

DATE
00.2007.019

BIG DAN'S CAR WASH – LAKE CITY

ATTACHMENT 3

EXISTING PERMIT IMPERVIOUS AREA & BASIN MAP



PRE BASIN EXHIBIT

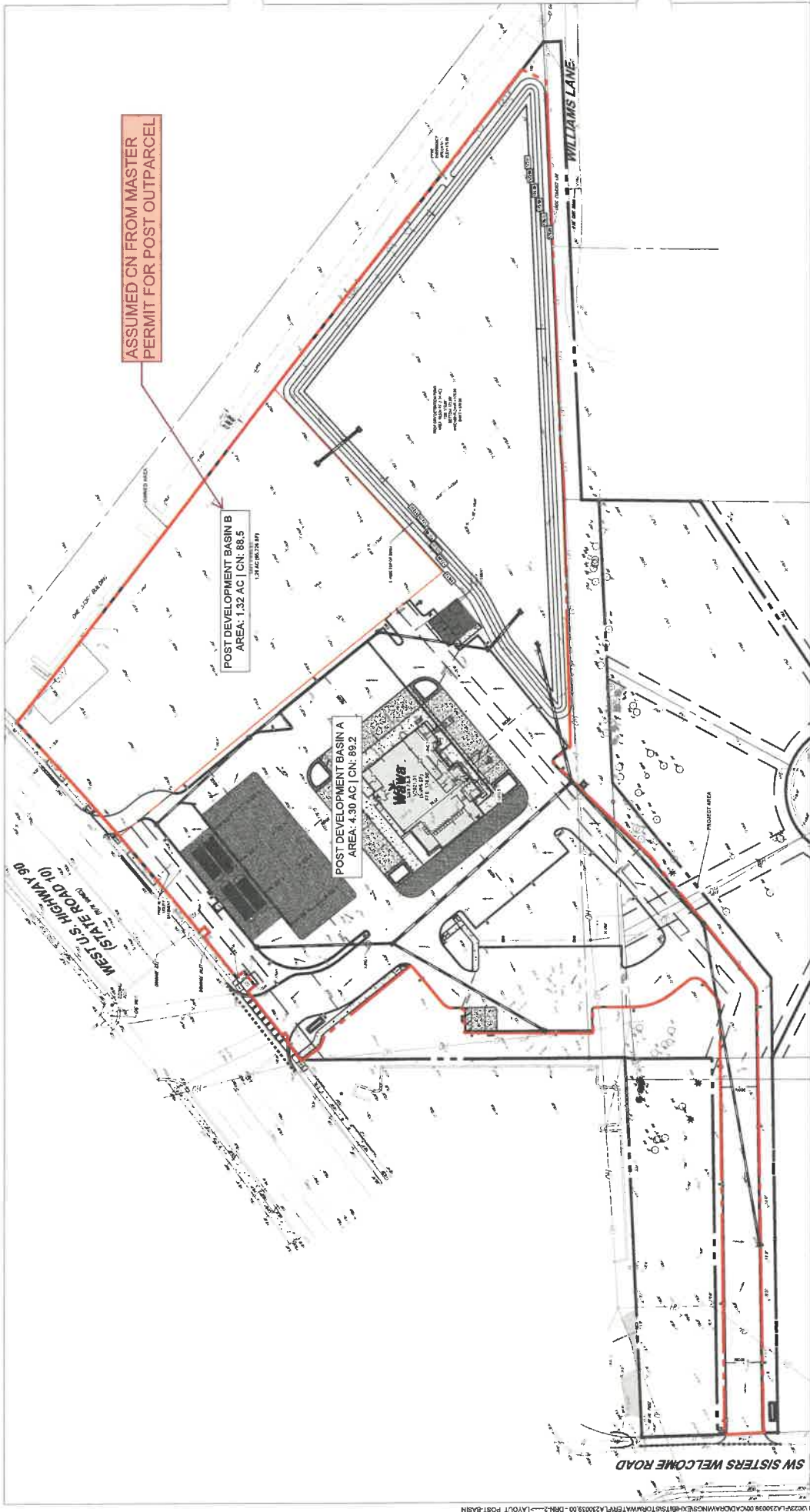
1518 W US 90
LAKE CITY, FL 32055

BOHLER //

600 N. WESTSHORE BLVD., SUITE 950
TAMPA, FLORIDA 33609
Phone: (813) 812-4100
Fax: (813) 812-4101

FLORIDA BUSINESS CERT. OF AUTH. NO. 33790

2024-01-23 | 80 | FLA2000000



POST BASIN EXHIBIT

1518 W US 90
LAKE CITY, FL 32055

BOHLER

600 N. WESTSHORE BLVD., SUITE 950
TAMPA, FLORIDA 33605
PHONE: (813) 812-4100
FAX: (813) 812-4101

FLORIDA BUSINESS CERT. OF AUTH. NO. 33792

PROJECT NAME: Wawa - Lake City
PROJECT #: FLA230039.00

SUMMARY OF GROUND COVER DATA

COMBINED Parcels

BASINS A & B	Land Use Description	CN	Area (ac.)	Total Area (ac)	Weighted CN
PRE-DEVELOPMENT	Impervious	98	0.00	5.62	39.0
	Open Space	39	5.62		
	Open Water	100	0.00		
POST-DEVELOPMENT	Impervious	98	3.34	5.62	88.7
	Open Space	39	0.93		
	Open Water	100	1.34		

Notes:

- 1.) See Appendix D for NRCS Soils Map
- 2.) CN Values based on Hydrologic Soil Group information provided within the geotechnical report
- 3.) CN numbers per TR-55, Urban Hydrology for Small Watersheds

Wawa Parcel

BASIN A (PARCEL 1)	Land Use Description	CN	Area (ac.)	Total Area (ac)	Weighted CN
PRE-DEVELOPMENT BASIN	Impervious	98	0.00	4.30	39.0
	Open Space	39	4.30		
	Open Water	100	0.00		
POST-DEVELOPMENT BASIN	Impervious	98	2.22	4.30	88.5
	Open Space	39	0.74		
	Open Water	100	1.34		

Outparcel

Basin B (PARCEL 2)	Land Use Description	CN	Area (ac.)	Total Area (ac)	Weighted CN
PRE-DEVELOPMENT	Impervious	98	0.00	1.32	39.0
	Open Space	39	1.32		
	Open Water	100	0.00		
POST-DEVELOPMENT	Impervious[1]	98	1.12	1.32	89.2
	Open Space	39	0.20		
	Open Water	100	0.00		

[1] Outparcel designed to account for 85% impervious surface area.

OUTPARCEL DESIGNED BASED ON A 85% IMPERVIOUS SURFACE AREA

PROJECT: Wawa - Lake City
PROJECT #: FLA230039.00

Stage - Storage Calculations

DRY POND

Elevation (ft NAVD)	Area (sq ft)	Area (acres)	Incremental Volume (ac-ft)	Cumulative Volume (ac-ft)
172.85	46809	1.075	0.000	0.000
173.00	50236	1.153	0.167	0.167
174.00	53750	1.234	1.194	1.361
175.00	57321	1.316	1.275	2.636
176.00	60948	1.399	1.358	3.993

WATERSHED AREA CONTRIBUTING TO BASIN	(ac)	5.62
DEPTH OF TREATMENT	(in)	2.00
WATER QUALITY VOLUME	(ac-ft) (cu-ft)	0.936 40792
WATER QUALITY ELEVATION	(ft)	173.64

<-- Per SRWMD Stream-to-Sink

DATA ANALYSIS AND CONCURRENCY REPORT

Big Dan's Car Wash – Lake City



PREPARED FOR:
BDCW HOLDINGS, LLC
City of Lake City, FL

PREPARED BY:
Foresite Group, Inc.
10752 Deerwood Park BLVD, Suite 100
Jacksonville, Florida 32256

Aubrey Sharp, P.E.
Florida Registration No. 97262
Date: July 30, 2025

FORESITE
group

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Section 13 – Potable Water Impacts

Section 14 – Sanitary Sewer Impacts

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Section 16 – Recreation Facilities

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SECTION 1

GENERAL PROJECT INFORMATION

1.1.1 Property Owner

Company Name: WPG-LAKE CITY, LLC
Address: 4211 W. Boy Scout Blvd. STE 620, Tampa, FL 33607

1.1.2 Project Applicant

Name: Aubrey Sharp, P.E.
Company Name: Foresite Group, LLC
Address: 10752 Deerwood Park Blvd. Suite 100, Jacksonville, FL 32256
Telephone: (678) 699-4365

1.2 Project Information

Project Name: Big Dan's Car Wash – Lake City
Project Location: (See **Figure 1**)
City: Lake City
County: Columbia
Section 31, Township 03 South, Range 17
Site Area: 1.32 Acres
Developed Area: 1.29 Acres
Location Description: The project is within the C-Store – Lake City overall master development on the south east side of US Highway 90 and NW Ridgewood Ave. Approximately 2.2 miles from the Interstate 75. The site is located on the northeast side of the overall development.

SECTION 2 SUMMARY

The project is to construct a new ±3,820 square foot building for an Car Wash use within a Commercial, Intensive ("CI") Zone District on 1.32 acer portion of the master 6.48 acre subject property with associated parking, landscaping, stormwater management, and other amenities. The subject property was utilized for the sale of new and used automobiles but remained vacant for several months.

2.1 Future Land Use Map Designation

The City of Lake City Commercial FLUM Designation is described as follows in Policy I.1.2 of the Future Land Use Element of the Comprehensive Plan:

"Lands classifies as commercial use consist of areas used for the sale, rental, and distribution of products or performance of services, as well as public, charter and private elementary, middle and high schools. In addition, off-site signs, churches and other houses of worship, private clubs and lodges, residential dwelling units, which existed within this category on the date of adoption of this objective, and other similar uses compatible with commercial uses may be approved as special exceptions and be subject to an intensity of less than or equal to 0.25 floor area ration except within the (CG) Commercial, General, (CI) Commercial, Intensive, (C-CBD) Commercial-Central Business District and (CHI) Commercial, Highway Interchange districts being subject to an intensity of less than or equal to 1.0 floor area ratio.

(CN) Commercial, Neighborhood uses shall be limited to an intensity of less than or equal to 0.25 floor area ratio. (CG) Commercial, General, (CI) Commercial, Intensive, (C-CBD) Commercial-Central Business District and (CHI) Commercial, Highway Interchange districts shall be limited to an intensity of less than or equal to 1.0 floor area ratio."

2.2 Official Zoning Atlas Designation of Subject Property

The City of Lake City Commercial, Intensive ("CI") Designation is described as follows in Section 4.13.1 of the Land Development Regulations.

"The "CI" Commercial, Intensive category includes one (1) zone district: CI. This district is intended for intensive, highly automotive-oriented uses that require a conspicuous and accessible location convenient to streets carrying large volumes of traffic. Such activities generally require large land areas, do not cater directly in appreciable degree to pedestrians, and require ample offstreet parking and offstreet loading space. This district permits certain uses not of a neighborhood or general commercial type and serves the entire City."

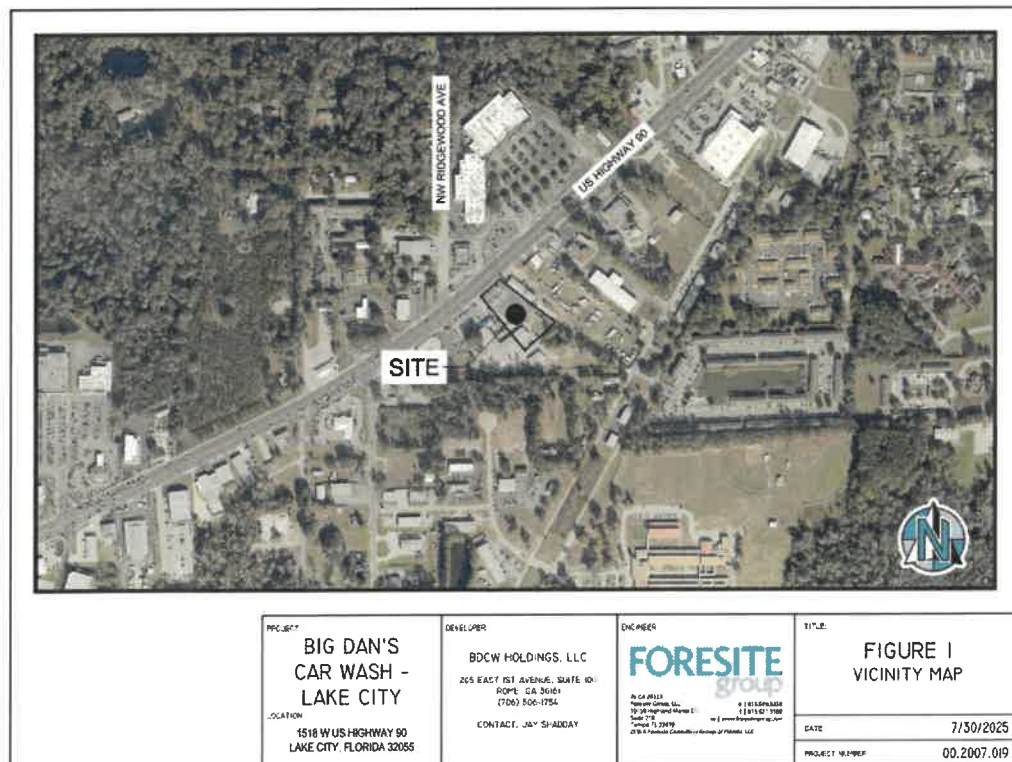
SECTION 3 SURROUNDING USES

The existing uses, Future Land Use Map ("FLUM") Designations, and zone districts of the surrounding area are identified in Table 1. Map 1 provides an overview of the vicinity of the subject property.

Table 1 – Surrounding Land Uses

Direction	Existing Use(s)	FLUM Designation(s)	Zoning District(s)
North	U.S. Highway 90/Buddy's Home Furnishings/ABC Fine Wine & Spirits/NW Ridgewood Ave	Commercial	Commercial, Intensive ("CI")
South	SW Waterford Court/Hydroponic Garden Center/Vacant Commercial Lands	Columbia County Commercial	Columbia County Commercial Intensive ("CI")
East	Fueled Outdoors/Chevron/Florida Highway Patrol Station	Commercial/Columbia County Commercial	Commercial, Intensive ("CI")/ Columbia County Commercial Intensive ("CI")
West	Cedar River Seafood/SW Sisters Welcome Road/Campus USA Credit Union	Commercial/Columbia County Commercial	Commercial, Intensive ("CI")/ Columbia County Commercial Intensive ("CI")

Figure 1 – Vicinity Map



SECTION 4 CONSISTENCY WITH COMPREHENSIVE PLAN

Below is a chart of the existing FLUM Designation and the corresponding Official Zoning Atlas designation consistent with said proposed FLUM Designation.

Table 2 – Zoning Consistency with Underlying Future Land Use Map

FLUM Designation	Official Zoning Atlas Designation	Consistent
Commercial	Commercial, Intensive ("CI")	X

The following Comprehensive Plan Elements have Goals, Objectives, and Policies (GOPs) that support the proposed Future Land Use Map Amendment to the Comprehensive Plan:

- Future Land Use Element
- Transportation Element
- Sanitary Sewer, Solid Waste, Drainage, Potable Water, & Natural Groundwater Aquifer Recharge Element
- Capital Improvements Element

An analysis of Section 15.2.2 of the Land Development Regulations along with a Comprehensive Plan Consistency Analysis have been submitted as an accessory document to this report. According to the analysis, this application is consistent with the Comprehensive Plan and the Goals, Objectives, and Policies (GOPs) therein.

Figure 2 – Future Land Use Map (FLUM)

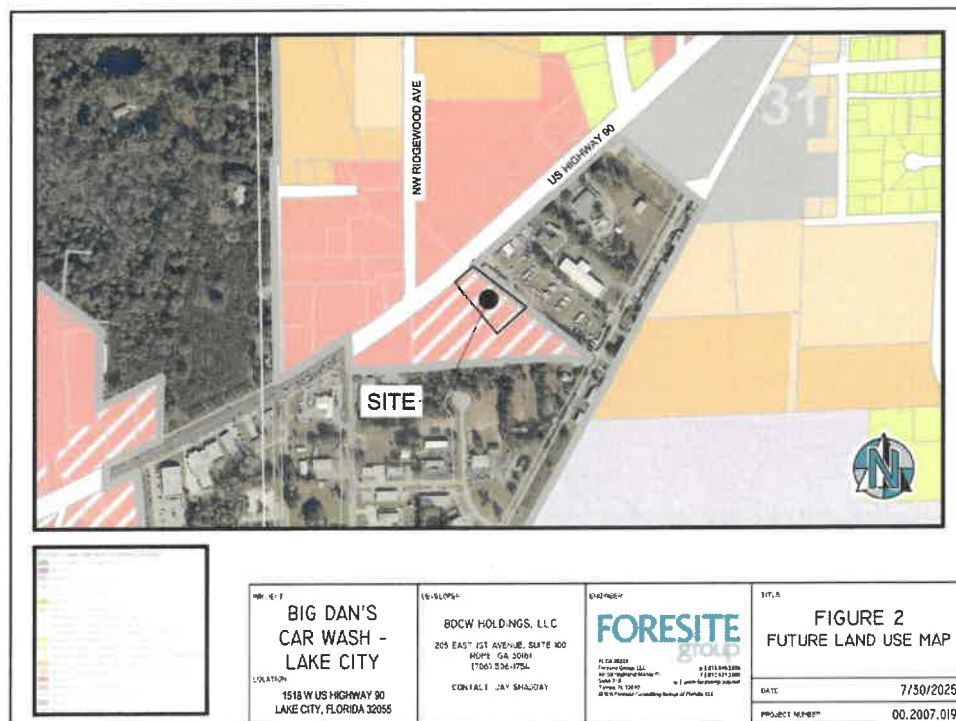
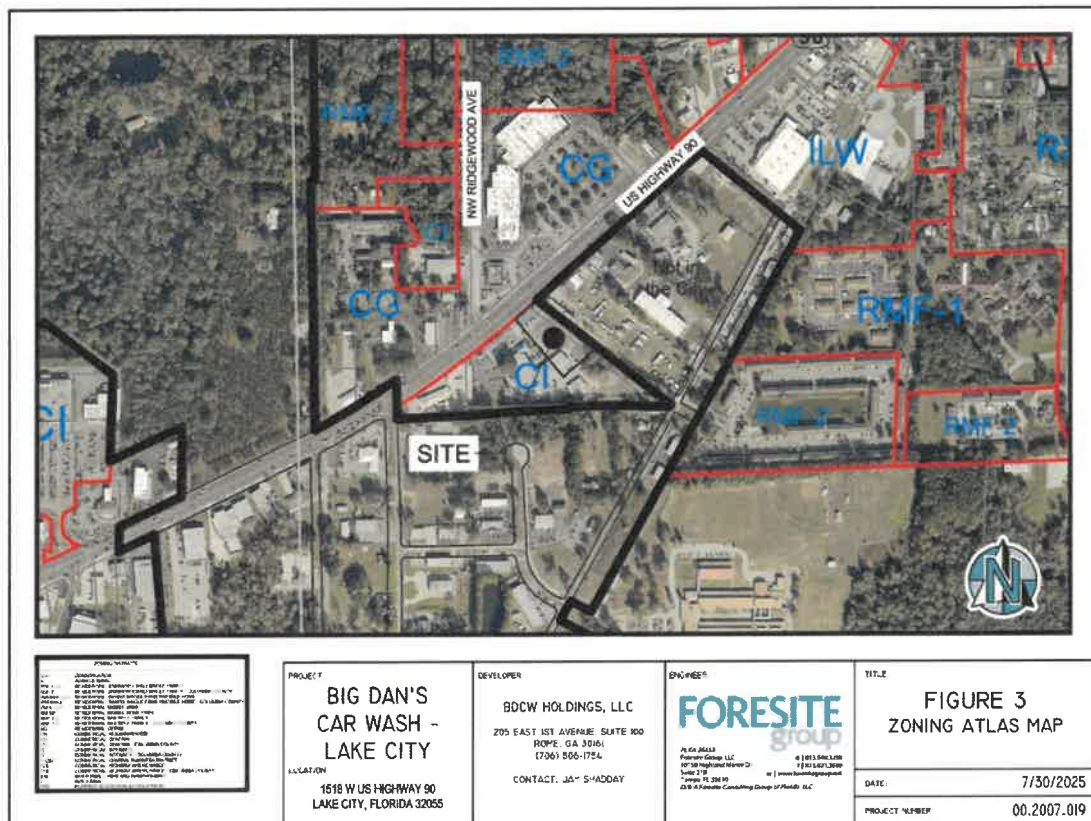


Figure 3 – Official Zoning Atlas Map



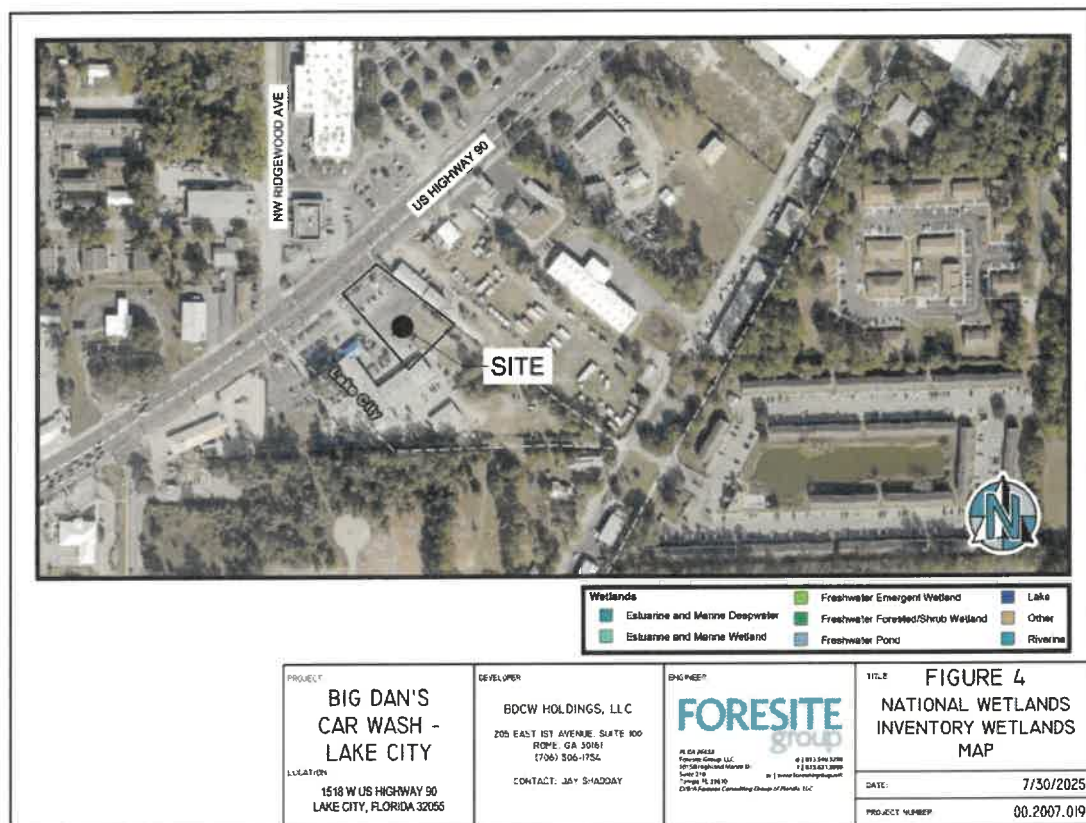
SECTION 5 ENVIRONMENTAL CONDITIONS ANALYSIS

5.1 Wetlands

According to Illustration A-VI of the Comprehensive Plan, entitled Wetlands, which is based upon the National Wetlands Inventory, dated 1987, and the National Wetlands Reconnaissance Survey, dated 1981, there are no wetlands located on the subject property.

Given that there are no known wetlands located onsite, there are no issues related to wetland protection.

Figure 4 – National Wetlands Inventory Wetlands Map



5.2 Soil Survey

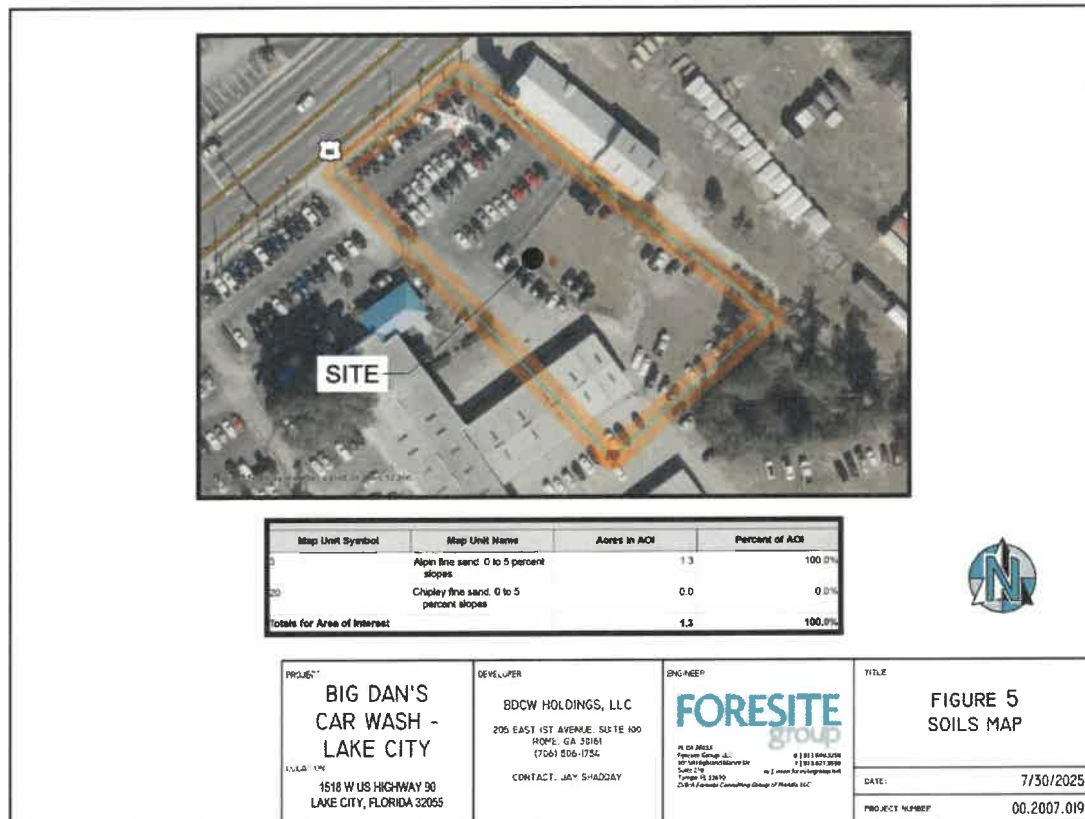
Each soil type found on the subject property is identified below. The hydrologic soil group is an indicator of potential soil limitations. The hydrologic soil group, as defined for each specific soil refers to a group of soils which have been categorized according to their runoff-producing characteristics. These hydrologic groups are defined by the Soil Survey of Columbia County, Florida, dated 2002. The chief consideration with respect to runoff potential is the capacity of each soil to permit infiltration (the slope and kind of plant cover are not considered but are separate factors in predicting runoff). There are four hydrologic groups: A, B, C, and D. "Group A" soils have a higher infiltration rate when thoroughly wet and therefore have a lower runoff potential. "Group D" soils have a very low infiltration rates and therefore a higher runoff potential. There is only one soil type found on the subject property:

- 1) Leon Fine Sand soils are poorly drained, nearly level soils in broad flatwoods and in areas adjacent to wet depressions and drainage ways in the uplands. The surface and subsurface layers are comprised of fine sand to a depth of 19 inches. The subsoil layer is comprised of fine sand to a depth of 80 inches or more. Leon fine sand soils have severe limitations for building site development and for septic tank absorptions fields.

The soil type found on the subject property is Leon Fine Sand Soils (0 to 5 percent slopes). Leon Fine Sand Soils type pose severe limitations for building development and severe limitations for septic tank absorption field. The proposed development has provided a stormwater management system that

complies with the Suwannee River Water Management District regulations. Further, the proposed development shall connect to the Community Potable and Sanitary Sewer Water Systems. Given the preceding information, there are no issues related to soil suitability.

Figure 5 – Soils Map

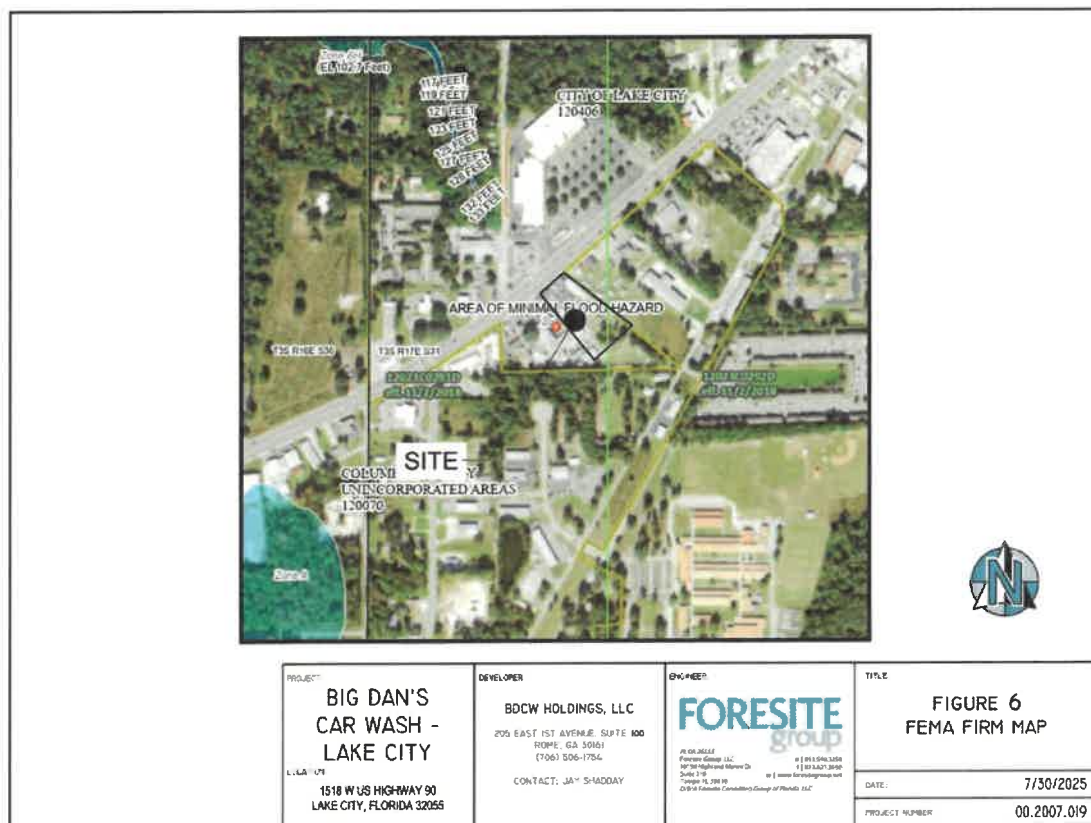


SECTION 6 FLOOD POTENTIAL

Panel 0291D and 0292D of the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Series, dated November 2, 2018, indicates that the subject property is in Flood Zone "X" (areas determined to be outside of the 500-year floodplain).

Given the subject property is not located within a FEMA Designation Flood Zone, there is no concern of flooding on the subject property.

Figure 6 – FEMA FIRM Map



SECTION 7 STREAM TO SINK

According to the Stream to Sink Watersheds, prepared by the Suwannee River Water Management District, the subject property is not located within a stream to sink area.

Section 4.2.38 of the County's LDRs regulates Stream to Sink Watershed areas. At this time, there is no concern related to Stream to Sink Watersheds.

SECTION 8 MINERALS

According to Illustration A-VII of the Comprehensive Plan, entitled Minerals, which is based upon Natural Resources, prepared by the Florida Department of Environmental Protection, 2012, the subject property is within an area known to contain any minerals.

There are no issues related to minerals.

SECTION 9 HISTORIC RESOURCES

According to Illustration A-II of the Comprehensive Plan, entitled Historic Resources, which is based upon the Florida Division of Historical Resources, Master Site File, dated 1998, there are no known historic resources located on the subject property.

There are no issues related to Historic Resources.

SECTION 10 AQUIFER VULNERABILITY

According to the Prime Natural Groundwater Aquifer Recharge Areas Map, dated 2019, prepared by the Suwannee River Water Management District, dated 2000, the subject property is not located in a high Groundwater Aquifer Recharge area.

Given the subject property is not located in a High Groundwater Aquifer Recharge Area, there is no issue related to aquifer vulnerability at this time.

SECTION 11 Vegetative Communities / Wildlife

The subject property is located within an area not known as a vegetative community.

There are no known wildlife habitats associated with a non-vegetative community. Further, the subject property is an existing developed site; therefore, there is no issue related to vegetative communities or wildlife.

SECTION 12 Public Facilities Impact

12.1 Traffic Impact

Table 3 – Affected Comprehensive Plan Roadway Segments¹

Segment Number²	Segment Description	Lanes	Functional Classification	Area Type	LOS
6	U.S. 90 (from S.R. 247 to Baya Ave)	6-D	Arterial I	Transition	D

¹ Source: City of Lake City Comprehensive Plan, Traffic Element

² FDOT roadway segment number shown in parenthesis (when applicable.) For the purposes of concurrency management, City of Lake City Comprehensive Plan segments that make up a portion of a larger FDOT roadway segment will be evaluated together when determining post development roadway capacity.

Table 4 – Existing Trip Generation¹

Land Use	AADT ²	PM Peak Hour ³
Automobile Sales (Used) ¹ (ITE Code 841)	482	88
Total	482	88

¹ Source: ITE Trip Generation, 10th Edition
² Formula: AADT – ITE, 10th Edition – 27.06 trips per thousand SQ FT x 17,798 SQ FT = 482 AADT
³ Formula: PE Peak – ITE, 10th Edition – 4.92 trips per SQ FT x 17,798 SQ FT = 88 PM Peak Trips

Table 5 – Proposed Trip Generation¹

Land Use	AADT ²	PM Peak Hour ³
Automated Car Wash ¹ (ITE Code 948)	780	78
Total	780	78

¹ Source: ITE Trip Generation, 10th Edition
² Formula: AADT – ITE, 10th Edition – 780 trips per One (1) Car Wash Tunnel = 780 AADT
³ Formula: PE Peak – ITE, 10th Edition – 77.50 trips x (1) Number of Car Wash Tunnels = 78 PM Peak Trips

Table 6 – Net Increase in Trip Generation¹

Land Use	AADT ²	PM Peak Hour ³
Automated Car Wash (ITE Code 948)	780	78
Automobile Sales (Used) (ITE Code 841)	482	88
Total	298	-10

Table 7 – Projected Impact on Affected Comprehensive Plan Roadway Segments

Traffic System Category	US 90 Segment #6 ¹
Maximum Service Volume ²	56,800
Existing Traffic ³	31,500
Reserved Trips ⁴	0
Available Capacity	25,300
Projected Daily Trips	298
Residual Capacity	25,002
PM Peak Hour Traffic Analysis	US 90 Segment #6 ¹
Maximum Service Volume ²	5,110
Existing Traffic ³	2,993
Reserved Trips ⁴	0
Available Capacity	2,117
Projected PM Peak Hour Trips	-10
Residual Capacity	2,127

¹ FDOT roadway segment number shown in parenthesis (when applicable.) For the purposes of concurrency management, City of Lake City Comprehensive Plan segments that make up a portion of a larger FDOT roadway segment will be evaluated together when determining post development roadway capacity.
² Source: FDOT 2023 Multimodal Quality/Level of Service Handbook, Generalized Annual Average Daily Volumes and Generalized Peak Hour Two-Way Volumes for Urbanized Areas.
³ Florida Department of Transportation, District II, Annual Average Daily Traffic Report.

The impacts generated by the development will not adversely affect the Level of Service (LOS) of the roadway segment identified above; therefore, the demand generated by the development is acceptable.

SECTION 13

Potable Water Impact

The subject property is located within a community potable water system service area. The subject property will be served potable water via City of Lake City Potable Water System. The City of Lake City Potable Water System is anticipated to meet or exceed the adopted level of service standard for potable water established within the Comprehensive Plan. Calculations are based upon Chapter 62-6.008, F.S.

The proposed use is a $\pm 3,820$ square foot Automated Car Wash use. The proposed Automated Car Wash creates $\pm 6,150$ GPD Total.

The impacts generated by the development will not adversely affect the Level of Service (LOS) for potable water facilities; therefore, the demand generated by the development is acceptable.

SECTION 14

Sanitary Sewer Impacts

The subject property is located within a community centralized sanitary sewer system service area. The subject property will be served sanitary sewer via City of Lake City Sanitary Sewer System. The City of Lake City Sanitary Sewer System is anticipated to meet or exceed the adopted level of service standard for potable water established within the Comprehensive Plan. Calculations are based upon Chapter 62-6.008, F.S.

The proposed use is a $\pm 3,820$ square foot Automated Car Wash use. A proposed Automated Car Wash creates $\pm 4,700$ GPD Total.

The impacts generated by the development will not adversely affect the Level of Service (LOS) for sanitary sewer facilities; therefore, the demand generated by the development is acceptable.

SECTION 15

Solid Waste Impacts

Solid Waste facilities for uses to be located on the site are provided at the sanitary landfill. The level of service standard established within the Comprehensive Plan for the provision solid waste disposal is currently being met or exceeded.

The proposed use is a $\pm 3,820$ square foot Automated Car Wash use. A proposed Automated Car Wash on average generates approximately 1 lb of solid waste per 100 square feet per day. $(1 \text{ LBS} \times 38.2 \text{ SQ FT}) = 38.2$ pounds of solid waste per day.

The impacts generated by the development will not adversely affect the Level of Service (LOS) of solid waste facilities; therefore, the demand generated by the development is acceptable.

SECTION 16

Recreation Facilities

The proposed development is commercial in nature; therefore , there is no impact on recreation facilities. The development will have no negative impact on the Level of Service (LOC) of recreation facilities.

SECTION 17

Public School Facilities

The proposed development is commercial in nature; therefore, there is no impact on public school facilities. The development will have no negative impact on the Level of Service (LOC) of public school facilities.

Comprehensive Plan Analysis

Comprehensive Plan Compliance Narrative: The subject property is surrounded by urban uses, including commercial uses and land use to the north, south, east, and west. The Commercial, Intensive ("CI") Zoning Designation is consistent with the underlying Future Land Use Map Designation. Further, both the Commercial FLUM Designation and CI Zoning Designation permit Car Wash as a by-right use.

Below is a list of Goals, Objectives, and Policies the proposed development is consistent with:

- Objective I.1 The City Concurrency Management System shall make available or schedule for availability the public facilities for future growth and urban development as development occurs in order to provide for urban densities and intensities within the City.
- Policy I.1.1 The location of higher density residential, high intensity commercial and heavy industrial uses shall be directed to areas adjacent to arterial or collector roads, identified on the Future Traffic Circulation Map, where public facilities are available to support such higher density or intensity.
- Policy I.1.2 The land development regulations of the City shall be based on and be consistent with the following land use classifications and corresponding standards for densities and intensities and shall establish the following floor area ratio(s) to be applied to each classification of land use:

COMMERCIAL

Lands classified as commercial use consist of areas used for the sale, rental, and distribution of products or performance of services, as well as public, charter and private elementary, middle and high schools. In addition, off-site signs, churches and other houses of worship, private clubs and lodges, residential dwelling units, which existed within this category on the date of adoption of this objective, and other similar uses compatible with commercial uses may be approved as special exceptions and be subject to an intensity of less than or equal to 0.25 floor area ratio except within the (CG) Commercial, General, (CI) Commercial, Intensive, (C-CBD) Commercial-Central Business District and (CHI) Commercial, Highway Interchange districts being subject to an intensity of less than or equal to 1.0 floor area ratio. (CN) Commercial, Neighborhood uses shall be limited to an intensity of less than or equal to 0.25 floor area ratio. (CG) Commercial, General, *CI) Commercial Intensive, (C-CBD) Commercial-Central Business District and (CHI) Commercial, Highway Interchange districts shall be limited to an intensity of less than or equal to 1.0 floor area ratio.

- Policy I.1.3 The City shall continue to allocate amounts and types of land uses for residential, commercial, industrial, public, and recreation to meet the needs of the existing and projected future populations and to locate urban land uses in a manner where public facilities may be provided to serve such urban land uses. (Urban land uses shall be herein defined as residential, commercial and industrial land use categories).
- Policy I.1.4 The City shall continue to limit the designation of residential, commercial and industrial

lands depicted on the Future Land Use Plan map to acreage which can be reasonably expected to develop by the year 2025.

OBJECTIVE I.3 The City shall require that all proposed development be approved only where the public facilities meet or exceed the adopted level of service standard.

Policy I.3.1 The City shall limit the issuance of development orders and permits to areas where the adopted level of service standards for the provision of public facilities found within the Comprehensive Plan are maintained. This provision also includes areas where development orders were issued prior to the adoption of the Comprehensive Plan.

Policy II.1.2 The City shall control the number and frequency of connections and access points of driveways and roads to arterials and collectors by requiring access points for state roads to be in conformance with Chapter 14-96 and 14-97, Florida Administrative Code, and the following requirements for non-state roads: 1. Permitting 1 access point for ingress and egress purposes to a single property or development; 2. Permitting 2 access points if the minimum distance between the two access points exceeds 20 feet; 3. Permitting 3 access points if the minimum distance between each access point is at least 100 feet; or 4. Permitting more than 3 access points where a minimum distance of 1,000 feet is maintained between each access point.

Policy II.1.3 The City shall continue to require development to provide safe and convenient on-site traffic flow, which includes the provision for vehicle parking.

OBJECTIVE II.2 The City shall require that all traffic circulation system improvements be consistent with the land uses shown on the future land use plan map, limiting higher density and higher intensity land use locations to be adjacent to collector or arterial roads, as identified on the Future Traffic Circulation Map.

Policy II.4.7 The City shall encourage cross-access connections easements and joint driveways, where available and economically feasible.

LEGAL DESCRIPTION

Big Dan's Car Wash – Lake City

LEGAL DESCRIPTION:

(AS SURVEYED)

A PORTION OF THOSE CERTAIN LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 1507, PAGE 1911 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA FURTHER DESCRIBED AS PARCELS 1 AND 5 PER OFFICIAL RECORDS BOOK 1507, PAGE 1907 OF SAID PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA LYING IN THE EAST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 31, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT SOUTHWEST CORNER OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 31, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA; THENCE RUN N00°10'05"W ALONG THE WEST LINE OF SAID EAST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4, A DISTANCE OF 29.77 FEET; THENCE N00°10'56"W, A DISTANCE OF 238.63 FEET; TO A POINT ON A NON-TANGENT CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 4633.66 FEET, A CENTRAL ANGLE OF 00°16'03", A CHORD BEARING OF N52°07'44"E AND A CHORD DISTANCE OF 21.63 FEET BEING A POINT ON THE SOUTH RIGHT OF WAY OF U.S. HIGHWAY 90 THE FOLLOWING FOURTEEN (14) CALLS; THENCE RUN NORTHEASTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 21.63 FEET TO THE END OF SAID CURVE; THENCE S38°00'18"E, A DISTANCE OF 3.00 FEET; THENCE N51°58'03"E, A DISTANCE OF 4.44 FEET; THENCE N36°03'58"W, A DISTANCE OF 3.00 FEET; TO A POINT ON A NON-TANGENT CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 4633.66 FEET, A CENTRAL ANGLE OF 00°34'36", A CHORD BEARING OF N51°39'07"E AND A CHORD DISTANCE OF 46.64 FEET; THENCE RUN NORTHEASTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 46.64 FEET TO THE END OF SAID CURVE; THENCE S38°38'11"E, A DISTANCE OF 8.00 FEET; THENCE N51°16'15"E, A DISTANCE OF 15.02 FEET; THENCE N38°49'18"W, A DISTANCE OF 8.00 FEET; TO A POINT ON A NON-TANGENT CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 4633.66 FEET, A CENTRAL ANGLE OF 00°32'25", A CHORD BEARING OF N50°54'29"E AND A CHORD DISTANCE OF 43.69 FEET; THENCE RUN NORTHEASTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 43.69 FEET TO THE END OF SAID CURVE; THENCE S39°26'11"E, A DISTANCE OF 6.00 FEET; THENCE N50°36'03"E, A DISTANCE OF 6.01 FEET; THENCE N39°26'11"W, A DISTANCE OF 6.00 FEET; TO A POINT ON A NON-TANGENT CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 4633.66 FEET, A CENTRAL ANGLE OF 02°42'51", A CHORD BEARING OF N49°12'24"E AND A CHORD DISTANCE OF 219.48 FEET; THENCE RUN NORTHEASTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 219.50 FEET TO THE END OF SAID CURVE; THENCE

N48°26'02"E, A DISTANCE OF 11.57 FEET; THENCE DEPARTING SAID SOUTH RIGHT OF WAY LINE OF U.S. HIGHWAY 90 RUN S52°11'42"E, A DISTANCE OF 713.51 FEET; THENCE S02°34'36"E, A DISTANCE OF 15.00 FEET; THENCE S87°28'38"W, A DISTANCE OF 381.66 FEET; THENCE S00°58'13"W, A DISTANCE OF 14.67 FEET TO THE NORTHEAST CORNER OF LOT 17 OF MIDTOWN COMMERCIAL CENTER AS RECORDED IN PLAT BOOK 6, PAGES 200-201 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA; THENCE ALONG SOUTH RIGHT OF WAY OF OF WILLIAMS LANE PER AFOREMENTIONED MIDTOWN COMMERCIAL CENTER AS RECORDED IN PLAT BOOK 6, PAGES 200-201 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA RUN THE FOLLOWING TWO COURSES AND DISTANCES; S87°18'54"W, A DISTANCE OF 251.41 FEET; THENCE S85°20'50"W, A DISTANCE OF 214.79 FEET; THENCE DEPARTING SAID SOUTH RIGHT OF WAY RUN N06°24'08"E, A DISTANCE OF 7.84 FEET; TO THE POINT OF BEGINNING.

CONTAINING 248,552 SQUARE FEET OR 5.705 ACRES MORE OR LESS.

This instrument was prepared by
and should be returned to:
Jonathan P. Jennewein, Esq.
Hill Ward Henderson
P.O. Box 2231
Tampa, Florida 33601

Consideration: \$3,300,000.00
Documentary Stamp Tax: \$23,100.00
Folio Nos: 31-3S-17-06185-000, 31-3S-17-06233-000.

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED is made and entered into as of the 7 day of February, 2024, by **LAKE CITY U AUTOMOTIVE MANAGEMENT, LLC**, a Florida limited liability company (the “**Grantor**”), whose mailing address is 3031 N. Rocky Point Drive W, Suite 770, Tampa, Florida 33607, in favor of **WPG-LAKE CITY, LLC**, a Florida limited liability company (the “**Grantee**”), whose mailing address is 4211 W Boy Scout Boulevard, Suite 620, Tampa, Florida 33607.

WITNESSETH:

The Grantor, for and in consideration of the sum of Ten and No/100ths Dollars (\$10.00) and other good and valuable considerations, the receipt and sufficiency of which are hereby acknowledged, hereby grants, bargains, sells, conveys, remises, releases and transfers unto the Grantee all that certain land situate in Columbia County, Florida, more fully described as follows:

See **Exhibit A** attached hereto and incorporated by reference herein.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging on or in any ways appertaining.

TO HAVE AND TO HOLD the same unto the Grantee in fee simple forever.

The Grantor does hereby covenant with Grantee that except with respect to ad valorem taxes for 2024 and subsequent years, and all reservations, restrictions, limitations, declarations, easements, encumbrances, and other matters of public record without intending to reimpose any of same, the real property is free and clear of all claims, liens and encumbrances, and Grantor hereby warrants the title to the above-described real property and will defend the same against the lawful claims of all persons whomsoever claiming by, through or under the Grantor but against none other.

[SIGNATURE PAGE TO SPECIAL WARRANTY DEED]

IN WITNESS WHEREOF, the Grantor has caused this instrument to be executed the day and year first above written.

Signed, sealed and delivered
in the presence of:

LAKE CITY U AUTOMOTIVE
MANAGEMENT, LLC, a Florida limited
liability company


Name: Christopher Pichel
(Type or Print Name)

By: 
Travis Santos
Vice President

Address: 438 Grand Oaks Rd
Tallahassee FL 32317


Name: James K Madden
(Type or Print Name)

Address: 752 Barley Port Lane
Fort Walton Beach FL 32547

STATE OF FLORIDA
COUNTY OF LEON

The foregoing instrument was acknowledged before me means of ☒ physical presence or ☐ online notarization this 6 day of February, 2024, by Travis Santos, as Vice President of LAKE CITY U AUTOMOTIVE MANAGEMENT, LLC, a Florida limited liability company, on behalf of the limited liability company, who is personally known to me or has produced a valid Florida driver's license as identification.


Notary Public
James K Madden
(Type, Print or Stamp Name)
My Commission Expires: 1-8-27

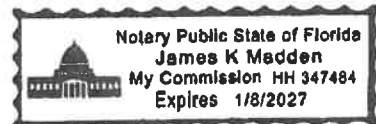


EXHIBIT A

LEGAL DESCRIPTION

PARCEL 1:

COMMENCE at the Southwest corner of the East 1/2 of the Northwest 1/4 of the Southwest 1/4 of Section 31, Township 3 South, Range 17 East, Columbia County, Florida and run N 00°13'36" W, along the West line of said East 1/2 of the Northwest 1/4 of the Southwest 1/4 a distance of 30.00 feet to the Northerly right-of-way line of a County Graded Road and the POINT OF BEGINNING; thence continue N 00°13'36" W, still along the West line of the East 1/2 of the Northwest 1/4 of the Southwest 1/4 a distance of 238.42 feet to a point on the Southeasterly right-of-way line of US Highway No. 90, said point being on the arc of a curve concave to the Northwest having a radius of 4,633.66 feet and a central angle of 04°24'15", said curve also having a chord distance of 356.10 feet; thence Northeasterly along the arc of said curve, being also said Southeasterly right-of-way line of US Highway No. 90 a distance of 356.18 feet to the Point of Tangency of said curve; thence N 47°50'15" E, still along said Southeasterly right-of-way line 11.57 feet; thence S 52°17'44" E, 713.76 feet to a point on the Northerly right-of-way line of a County Graded Road; thence S 87°23'33" W, along said Northerly right-of-way line 846.06 feet to the POINT OF BEGINNING.

LESS AND EXCEPT that portion conveyed in Official Records Book 988, Page 387 of the Public Records of Columbia County, Florida.

PARCEL 2:

Lots 14, 15, 16, and 17, MIDTOWN COMMERCIAL CENTER, a subdivision according to the plat thereof recorded in Plat Book 6, Pages 200 and 201, of the Public Records of Columbia County, Florida.

PARCEL 3:

Lot 14, Ridgewood Manor, a subdivision according to the plat thereof recorded in Plat Book 2, Page 105, of the Public Records of Columbia County, Florida.

PARCEL 4:

COMMENCE at the Northeast Corner of the W 1/2 of the SW 1/4 of the SW 1/4, Section 31, Township 3 South, Range 17 East, Columbia County, Florida and run S 87°23'33" West along the North line of the SW 1/4 of the SW 1/4 18 feet to the Northeast Corner of Lot 14 of RIDGEWOOD MANOR, a subdivision according to a plat recorded in Plat Book 2, Page 105, of the Public Records of Columbia County, Florida; thence run South along the East line of said Lot 14, 123.48 feet to the Southeast Corner of said Lot; thence run N 87°23'33" East, 18 feet to the East line of the W 1/2 of the SW 1/4 of the SW 1/4; thence run North along the East line of said W 1/2 of the SW 1/4 of the SW 1/4, 123.48 feet to the Northeast Corner of the W 1/2 of the SW 1/4 of the SW 1/4 and the POINT OF BEGINNING.

PARCEL 5:

TOGETHER WITH that portion of vacated Williams Lane lying North of Lots 15, 16 and 17, Midtown Commercial Center according to the plat thereof recorded in Plat Book 6, Pages 200 and 201, as vacated by Resolution No. 98R-26, recorded in Official Records Book 864, Page 1410, of the Public Records of Columbia County, Florida.

ALSO TOGETHER WITH the North 1/2 of vacated Williams Lane lying East of Midtown Commercial Center according to the plat thereof recorded in Plat Book 6, Pages 200 and 201, abutting Parcel 1 above on the South, as vacated by Resolution No. 98R-26, recorded in Official Records Book 864, Page 1410, of the Public Records of Columbia County, Florida.

RETURN SERVICE REQUESTED

2024 REAL ESTATE PROPERTY



51
7-31313

31-3S-17-06185-000
WPG-LAKE CITY, LLC
4211 W BOY SCOUT BLVD STE 620
TAMPA FL 33607-5928



Notice of Proposed Property Taxes

DO NOT PAY THIS IS NOT A BILL

The taxing authorities which levy property taxes against your property will soon hold Public Hearings to adopt budgets and tax rates for the next year. The purpose of these Public Hearings is to receive opinions from the general public and to answer questions on the proposed tax changes and budget Prior to Taking Final Action. Each taxing authority may Amend or Alter its proposals at the hearing.

COMM AT SW COR OF E1/2 OF NW1/4 OF SW1/4,
RUN N 30 FT TO N/R/W LINE OF CO GRADED RD
FOR POB, CONT N 238.42 FT TO A PT ON S/E'LY
R/W LINE US-90, RUN N/E'LY ALONG R/W 356.18 FT,
RUN

Taxing District: 1	COLUMN 1*		COLUMN 2*		COLUMN 3*		
Taxing Authority	Tax Rate 2023	Your Property Taxes 2023	Tax Rate If No Budget Change is Adopted 2024	Your Property Taxes If No Budget Change is Adopted 2024	Tax Rate PROPOSED 2024	Your Property Taxes IF PROPOSED Budget is Adopted 2024	PUBLIC HEARING INFORMATION A public hearing on the proposed taxes and budget will be held on:
COUNTY	7.8150	10,600.31	7.4082	11,053.38	7.8150	11,660.35	SEPT 5, 2024 5:30pm 372 W DUVAL STREET LAKE CITY 32055
CITY OF LAKE CITY	4.9000	6,646.39	4.6831	6,987.41	5.7006	8,505.56	SEPT 03, 2024 6:00pm 205 N MARION AVE LAKE CITY FL
SCHOOL - LOCAL	3.2170	4,363.56	3.0664	4,683.68	3.1430	4,800.68	SEPT 10, 2024 5:55 pm SCHOOL BOARD ADM BLDG 372 W DUVAL ST LAKE CITY FL
SCHOOL - STATE	2.2480	3,049.20	2.1428	3,272.96	2.2480	3,433.64	SEPT 10, 2024 5:55 pm SCHOOL BOARD ADM BLDG 372 W DUVAL ST LAKE CITY FL
SUWANNEE RIVER WMD	0.3113	422.25	0.2936	438.06	0.2936	438.06	SEPT 10, 2024 5:05 pm SRWMD 9225 CO RD 49 LIVE OAK FL 32060
LAKESHORE HOSPITAL	0.0001	0.14	0.0001	0.15	0.0001	0.15	SEPT 09, 2024 5:15 pm 259 NE FRANKLIN ST SUITE 102 LAKE CITY FL
			</				

Taxing Districts	Market Value		Assessed Value		Exemptions		Taxable Value	
	2023	2024	2023	2024	2023	2024	2023	2024
County	1,356,406	1,527,421	1,356,406	1,492,047	0	0	1,356,406	1,492,047
School	1,356,406	1,527,421	1,356,406	1,527,421	0	0	1,356,406	1,527,421
Municipal	1,356,406	1,527,421	1,356,406	1,492,047	0	0	1,356,406	1,492,047
Other	1,356,406	1,527,421	1,356,406	1,492,047	0	0	1,356,406	1,492,047

Assessment Reductions	Applicable to:	Value	Exemptions	Applicable to:	Value
10% Cap on Non-Homestead	Non School Taxes	35,374			

* See reverse side for explanations.

* If you feel the market value of your property is inaccurate or does not reflect fair market value or if you are entitled to an exemption that is not reflected above contact your county property appraiser at **COURTHOUSE ANNEX RM 238 LAKE CITY FL 32055 386-758-1083**

* If the property appraiser's office is unable to resolve the matter as to market value, classification, or an exemption, you may file a petition for adjustment with the Value Adjustment Board. Petition forms are available from the county property appraiser and must be filed ON OR BEFORE **September 8, 2024**

* Your final tax bill may contain non-ad valorem assessments which may not be reflected on this notice such as assessments for roads, drainage, garbage, fire, lighting, water, sewer, or other government services and facilities which may be levied by your county, city, or any special district.

EXPLANATIONS

Column 1 – “Tax Rate 2023” and “Your Property Taxes 2023”

These columns show the tax rate and taxes that applied last year to your property. These amounts were based on budgets adopted last year and your property’s previous taxable value.

Column 2 – “Tax Rate IF NO Budget Change is Adopted 2024” and “Your Property Taxes IF NO Budget Change is Adopted 2024”

These columns show what your tax rate and taxes will be this year if each taxing authority does not change its property tax levy. These amounts are based on last year’s budgets and your current assessment.

Column 3 – “Tax Rate PROPOSED 2024” and “Your Property Taxes IF PROPOSED Budget is Adopted 2024”

These columns show what your tax rate and taxes will be this year under budget actually proposed by each local taxing authority. The proposal is NOT final and may be amended at the public hearings shown on the front side of this notice. The difference between Columns 2 and 3 is the tax change proposed by each local taxing authority and is NOT the result of higher assessments.

Note: Amounts shown on this form do NOT reflect early payment discounts you may have received or may be eligible to receive. (Discounts are a maximum of 4 percent of the amounts shown on this form).

Market (Just) Value – Market (also called “Just”) value is the most probable sale price for your property in a competitive, open market involving a willing buyer and willing seller.

Assessed Value – Assessed value is the market value of your property minus any assessment reductions. The assessed value may be different for levies made by different taxing authorities.

Taxable Value – Taxable value is the value used to calculate the tax due on your property. Taxable value is the assessed value minus the value of your exemptions.

Exemptions – Specific dollar or percentage reductions in assessed value may be applicable to a property based upon certain qualifications of the property or property owner. In some cases, an exemption’s value may vary depending on the taxing authority. The tax impact of an exemption value may also vary for the same taxing authority, depending on the levy (i.e. operating millage vs. debt service millage).

Assessment Reductions – Properties can receive an assessment reduction for a number of reasons including the Save Our Homes benefit and the 10% non-homestead property assessment limitation. Certain types of property, such as agricultural land, are valued on their current use rather than their market value.



GROWTH MANAGEMENT DEPARTMENT
205 North Marion Ave, Lake City, FL 32055
Phone: 386-719-5750
E-mail: growthmanagement@lcfla.com

AGENT AUTHORIZATION FORM

I, WPG-LAKE CITY, LLC (owner name), owner of property parcel

number 31-3S-17-06185-000 (parcel number), do certify that

the below referenced person(s) listed on this form is/are contracted/hired by me, the owner, or, is an officer of the corporation; or, partner as defined in Florida Statutes Chapter 468, and the said person(s) is/are authorized to sign, speak and represent me as the owner in all matters relating to this parcel.

Printed Name of Person Authorized	Signature of Authorized Person
1. Aubrey Sharp	1.
2. Noah Keefe	2.
3.	3.
4.	4.
5.	5.

I, the owner, realize that I am responsible for all agreements my duly authorized agent agrees with, and I am fully responsible for compliance with all Florida Statutes, City Codes, and Land Development Regulations pertaining to this parcel.

If at any time the person(s) you have authorized is/are no longer agents, employee(s), or officer(s), you must notify this department in writing of the changes and submit a new letter of authorization form, which will supersede all previous lists. Failure to do so may allow unauthorized persons to use your name and/or license number to obtain permits.

Michael T. Wagner 7/25/25
Owner Signature (Notarized) Date

NOTARY INFORMATION:

STATE OF: FLORIDA COUNTY OF: HILLSBOROUGH

The above person, whose name is MICHAEL T WAGNER, personally appeared before me and is known by me or has produced identification (type of I.D.) _____ on this 25TH day of JULY, 2025.

[Signature]
NOTARY'S SIGNATURE

(Seal/Stamp)

