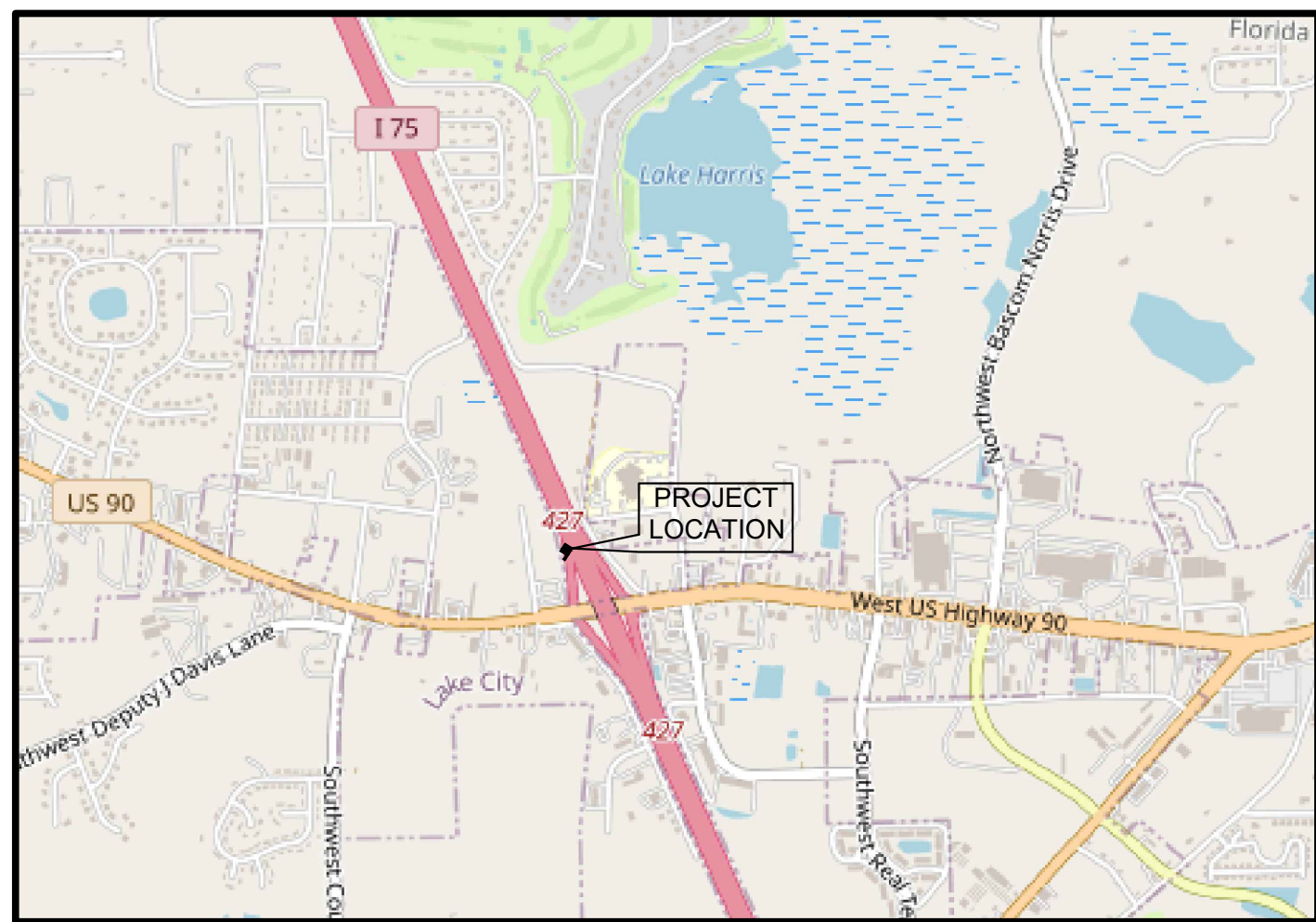


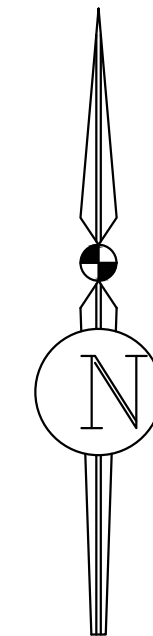
GENERAL DEVELOPMENT NOTES

1. **PROPOSED NAME OF PROJECT:** SONIC DRIVE-IN
2. **PROJECT DESCRIPTION:** RESTAURANT
3. **OWNER:** PARKER NEELY
4. **DEVELOPER:** HIGH COTTON EQUITIES; 2682 NW NOEGEL ROAD, LAKE CITY, FL 32055
5. **CIVIL ENGINEER:** JBROWN PROFESSIONAL GROUP INC.; CONTACT: CHRIS POTTS, P.E. (352) 375-8999.
E-MAIL: CHRIS.POTTS@JBPRO.COM
6. **SURVEYOR:** JBROWN PROFESSIONAL GROUP INC.; CONTACT: TROY WRIGHT, PSM (352) 375-8999
7. **VICINITY MAP:** SEE MAP THIS SHEET
8. **TAX PARCEL NO'S.:** 35-3S-16-02S24-103
9. **PARCEL AREA:** 1.21 ACRES IN SIZE
10. **PROJECT AREA:** 1.21 ACRES
11. **SECTION:** 35
12. **TOWNSHIP:** 3S
13. **RANGE:** 16
14. **FUTURE LAND USE:** COMMERCIAL HIGHWAY INTERCHANGE (CHI)
15. **ZONING:** COMMERCIAL HIGHWAY INTERCHANGE (CHI)
16. **FLOODPLAIN:** THIS PROJECT IS NOT LOCATED IN A FEDERAL FLOOD ZONE.
17. **DEVELOPMENT DATA:**
 - A. TOTAL SITE AREA: 1.21 AC / 52708 SF
 - B. BUILDING AREA: 1227 SF
 - C. PAVEMENT & SIDEWALK AREA: 29989 SF
 - D. TOTAL IMPERVIOUS AREA: 31216 SF
 - E. OPEN AREA: 21492 SF
18. **PARKING REQUIREMENTS:**
 - A. 1 SPACE/EA 3 SEATS OF SEATING AREA
 - B. PROPOSED SEATING: 24 OUTDOOR SEATS / NO INDOOR SEATING
 - C. PARKING REQUIRED: 8 SPOTS
 - D. PARKING PROVIDED: 39 SPOTS
19. **REQUIRED SETBACKS:**
 - A. PER CHI ZONING CATEGORY, THE MINIMUM YARD REQUIREMENTS PER LAKE CITY LDR'S SECTION 4.15.7 ARE AS FOLLOWS:
 1. FRONT YARD = 30 FT
 2. SIDE YARD = 30 FT
 3. REAR YARD = 30 FT
 - B. ALL BUILDINGS ARE SETBACK GREATER THAN 30 FT FROM FRONT, SIDE, AND REAR PROPERTY LINES.
 - C. FRONT YARD SHALL INCLUDE MINIMUM 15 FT LANDSCAPED AREA.

CONSTRUCTION PLANS OF GATEWAY CROSSING LOT 3 SONIC DRIVE - IN FOR HIGH COTTON EQUITIES, LLC



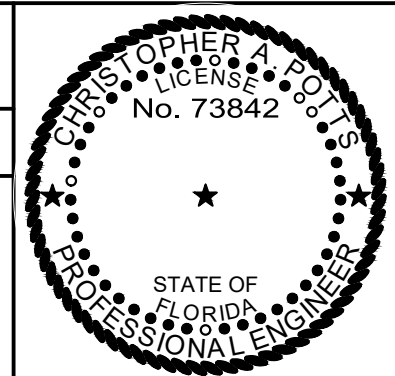
LOCATION MAP
N.T.S.



GATEWAY CROSSING LOT 3 SONIC RESTAURANT	
SHEET INDEX	
SHEET NO.	TITLE
C0.0	COVER SHEET
C0.1	LEGEND, ABBREVIATIONS, AND NOTES
C1.0	DEMOLITION PLAN
C1.1	EROSION CONTROL PLAN
C2.0	DIMENSION PLAN
C3.0	PAVING GRADING & DRAINAGE PLAN
C4.0	UTILITY PLAN
C5.0	DETAILS AND NOTES
V-1	BOUNDARY AND TOPOGRAPHIC SURVEY

REVISIONS				
NO.	DATE	DESCRIPTION	DRWN	APPR

Christopher A Potts
 ENGINEER OF RECORD: CHRISTOPHER A. POTTS, P.E. FLORIDA LICENSE NO. 73842
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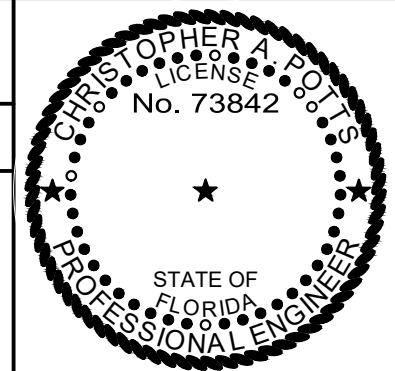

SHEET TITLE: **COVER SHEET**
 CLIENT: HIGH COTTON EQUITIES, LLC

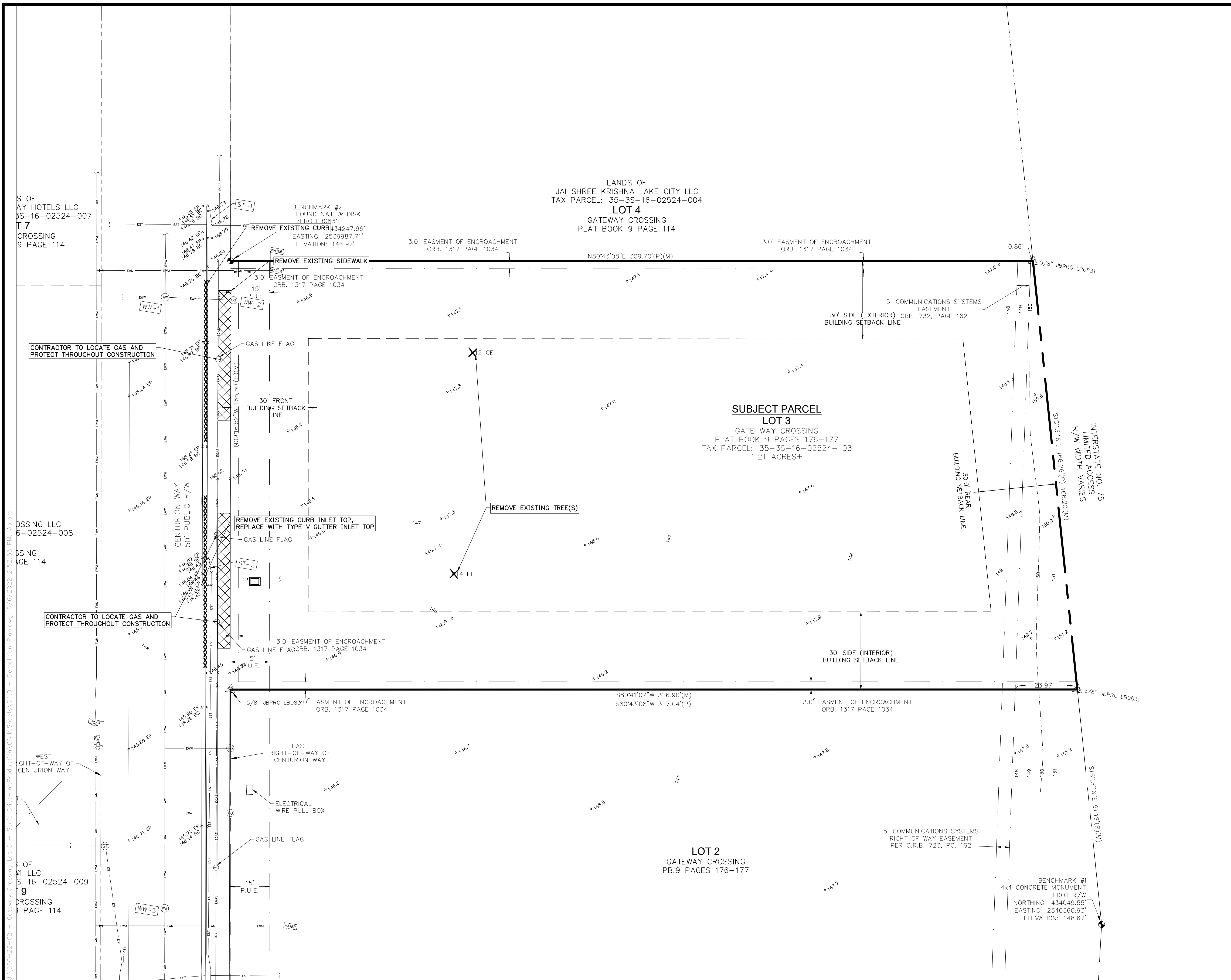
PROJECT: **SONIC RESTAURANT LAKE CITY, FLORIDA**

DATE: **JUNE 2022**
 PROJECT NO: **366-22-02**
 SHEET NO: **C0.0**

J:\366-22-02 - Gateway Crossing Lot 3 - Sonic Drive-in\Production\Sheet\Sheet\02.0 - Cover - LAN.dwg, 6/7/2022, 2:52:42 PM, Abram

GENERAL CONSTRUCTION NOTES	NPDES EROSION AND SEDIMENTATION CONTROL PERMITTING NOTES	WORK WITHIN THE CITY RIGHT-OF-WAY	STANDARD ABBREVIATIONS	LEGEND
<p>1. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES WITHIN THE WORK LIMITS OF ALL IMPROVEMENTS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES DURING CONSTRUCTION. IN THE EVENT THAT A UTILITY CONFLICT OCCURS, CONTRACTOR SHALL NOTIFY THE ENGINEER AND UTILITY PROVIDER TO COORDINATE REMEDIAL ACTION.</p> <p>2. WHERE SUBSOIL EXCAVATION IS REQUIRED, THE LIMITS OF EXCAVATION SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT. EXACT LOCATIONS OF SUBSOIL EXCAVATION SHALL BE AS DIRECTED BY THE CITY OF LIVE OAK OR THE GEOTECHNICAL ENGINEER.</p> <p>3. CONTRACTOR SHALL DISPOSE OF SUBSOIL EXCAVATED MATERIALS (UNSUITABLE FOR FILL) OFF SITE TO A PERMITTED LOCATION OR PER AN APPROVED DISPOSAL PLAN AND LOCATION SITE.</p> <p>4. CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF ALL FOREIGN DEBRIS AND MATERIAL OFFSITE. DISPOSAL METHODS AND LOCATION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS AND REQUIREMENTS.</p> <p>5. THE CONTRACTOR SHALL FURNISH/INSTALL ALL STREET SIGNS AND SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL REQUIRED STRIPING, STOP BARS, ETC.</p> <p>6. ALL PAVEMENT CUT/REPAIR WILL BE MADE THE FULL ROAD WIDTH AT LEAST 6 FT WIDE AND REQUIRES APPROVAL FOR CUT AND INSPECTION OF THE REPAIR BY THE CITY OF LIVE OAK.</p> <p>7. DRIVEWAYS SHALL BE CONFIGURED TO ENSURE NO PORTION OF CURB INLET FALLS WITHIN DRIVEWAY AND/OR DRIVEWAY TAPER.</p> <p>8. DRIVEWAYS SHALL BE DESIGNED IN ACCORDANCE WITH THE MOST RECENT FDOT INDEX AND CITY STANDARDS. DRIVEWAYS WILL MEET SETBACK REQUIREMENTS FROM INTERSECTIONS (SOFT) AND UTILITY INFRASTRUCTURE (5 FT MIN.). DRIVEWAYS WITH SIDEWALK CROSSING SHALL MEET CURRENT ADA STANDARDS FOR THE LENGTH OF THE SIDEWALK CROSSING.</p> <p>9. CONCRETE SIDEWALK CROSSING SHALL BE A MINIMUM OF 4 INCHES THICK AND HAVE A 3,000 PSI COMPRESSIVE STRENGTH.</p> <p>10. ALL PROPOSED SIDEWALK SEGMENTS NOT ADJACENT TO LOT DRIVEWAYS WILL BE CONSTRUCTED PRIOR TO CITY OF LIVE OAK ACCEPTANCE OF SITE IMPROVEMENTS OR BONDED IN-LIEU OF CONSTRUCTION IN A FORM ACCEPTABLE TO THE CITY OF LIVE OAK.</p> <p>11. EXISTING TOPOGRAPHY INFORMATION DEPICTED IS BASED ON THE PROJECT TOPOGRAPHIC SURVEY CONDUCTED BY JBP/RO 12/08/2021. THE CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATION GRADES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES THAT WILL AFFECT FINISH GRADE DESIGN FOR PROPER RUNOFF CONDITIONS PRIOR TO CONSTRUCTION. JBP/RO WILL ASSIST THE CONTRACTOR IN REVIEWING ANY GRADING DISCREPANCIES PRIOR TO CONSTRUCTION TO ASSURE PROPER GRADING AND RUNOFF CONDITIONS RESULT UPON COMPLETION OF CONSTRUCTION.</p> <p>12. ALL STRUCTURES SHALL ADHERE TO THE 2020 FLORIDA BUILDING CODE(S), THE 2020 NATIONAL ELECTRIC CODE AND THE 2020 FLORIDA FIRE PREVENTION CODE, AS AMENDED.</p>	<p>1. THE CONTRACTOR IS REQUIRED TO FILE THE FLORIDA DEPT. OF ENVIRONMENTAL PROTECTION (FDEP) NOTICE OF INTENT (NOI) TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (CGP) (RULE 62-621.300(4), F.A.C.). CONSTRUCTION ACTIVITY SHALL NOT COMMENCE PRIOR TO OBTAINING AN ACKNOWLEDGEMENT LETTER FROM FDEP VERIFYING THE NOI IS COMPLETE. THE PROJECT IS COVERED BY THE GENERIC PERMIT, AND THE PROJECT IDENTIFICATION NO. IS ESTABLISHED. CONTRACTOR SHALL PROVIDE THE EOR AND PROPERTY OWNER WITH A COPY OF THE FDEP ACKNOWLEDGEMENT LETTER VERIFYING COVERAGE.</p> <p>2. THE CONTRACTOR SHALL ABIDE BY THE REQUIREMENTS OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND CSP AT ALL TIMES THROUGHOUT CONSTRUCTION, AND UTILIZE ALL APPROPRIATE BEST MANAGEMENT PRACTICES (BMP'S) AS REQUIRED TO PREVENT EROSION AND SEDIMENTATION DISCHARGE OFFSITE DURING CONSTRUCTION.</p> <p>3. SEDIMENTATION AND EROSION CONTROL BMP'S SHALL BE IN ACCORDANCE WITH THE STATE OF FLORIDA EROSION AND SEDIMENTATION CONTROL DESIGNER AND REVIEWER MANUAL, DATED JULY 2013, OR LATEST UPDATE. THE CONTRACTOR IS RESPONSIBLE TO UTILIZE ALL BMP'S, AS NECESSARY THROUGHOUT CONSTRUCTION, AND MAY UTILIZE MULTIPLE BMP'S OR OTHER MEANS AND METHODS DEEMED APPROPRIATE TO CONTROL EROSION AND SEDIMENTATION DISCHARGE.</p> <p>4. THE CONTRACTOR SHALL UTILIZE A STATE OF FLORIDA CERTIFIED EROSION & SEDIMENTATION CONTROL (ESC) INSPECTOR DURING CONSTRUCTION TO ABIDE BY THE TERMS OF THE NOI PERMIT COVERAGE. AT A MINIMUM THE CERTIFIED INSPECTOR SHALL INSPECT ALL DISCHARGE POINTS, DISTURBED AREAS, MATERIAL STORAGE AREAS, STRUCTURAL CONTROLS AND CONSTRUCTION ENTRANCES/EXITS AT LEAST ONCE EVERY SEVEN (7) DAYS AND AFTER EVERY ½ INCH OR GREATER STORM EVENT. MAJOR OBSERVATIONS AND INCIDENTS OF NON-COMPLIANCE SHOULD BE RECORDED IN THE INSPECTION REPORT, AS WELL AS CORRECTIVE ACTIONS AND MAINTENANCE. UNLESS ADVISED OTHERWISE, MAINTENANCE MUST OCCUR WITHIN SEVEN (7) CALENDAR DAYS OF THE INSPECTION. THESE INSPECTIONS MUST BE DOCUMENTED AND SIGNED BY A QUALIFIED INSPECTOR AS DEFINED BY THE COP. THE REPORT SHALL CONTAIN A CERTIFICATION THAT THE FACILITY IS IN COMPLIANCE WITH THE SWPPP AND THE COP WHEN THE REPORTS DO NOT IDENTIFY ANY INCIDENTS OF NON-COMPLIANCE.</p> <p>5. UPON SATISFACTORY COMPLETION OF THE PROJECT CONSTRUCTION AND SITE STABILIZATION, THE CONTRACTOR SHALL FILE THE NPDES STORMWATER NOTICE OF TERMINATION (NOT) (RULE 62-621.300(6), F.A.C.) WITH FDEP. THE PERMIT COVERAGE IS DEEMED COMPLETE WHEN ALL SOIL DISTURBING CONSTRUCTION ACTIVITIES ARE COMPLETE AND STABILIZATION OF ALL DISTURBED OPEN AREAS HAVE REACHED AT LEAST 70% VEGETATIVE COVER OR OTHER PERMANENT STABILIZATION IS IN PLACE. A COPY OF THE NOT SHALL BE PROVIDED TO THE EOR AND PROPERTY OWNER.</p>	<p>1. THE METHOD AND MANNER OF PERFORMING THE WORK AND THE QUALITIES OF MATERIAL FOR CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE REQUIREMENTS SPECIFIED BY CITY OF LAKE CITY FOR WORK WITHIN THEIR RESPECTIVE RIGHT-OF-WAYS.</p> <p>2. TRAFFIC CONTROL WITHIN EXISTING R/W SHALL BE IN ACCORDANCE WITH LATEST MUTCD OR FDOT STANDARDS FOR CONTROL OF TRAFFIC THROUGH WORK ZONES.</p> <p>3. NO WORK SHALL BE DONE NOR MATERIALS USED IN THE RIGHT-OF-WAY WITHOUT INSPECTION BY THE CITY. THE CONTRACTOR SHALL FURNISH THE CITY WITH EVERY REASONABLE FACILITY FOR ASCERTAINING WHETHER THE WORK PERFORMED AND MATERIALS USED ARE IN ACCORDANCE WITH THE REQUIREMENTS AND INTENT OF THE PLANS AND SPECIFICATIONS.</p> <p>4. CITY OF LAKE CITY RESERVES THE RIGHT TO MODIFY THE PROPOSED WORK WITHIN THEIR RIGHT-OF-WAY TO ENSURE COMPATIBILITY WITH EXISTING IMPROVEMENTS. SUCH MODIFICATION COSTS SHALL BE BORN BY THE CONTRACTOR.</p> <p>5. ALL DISTURBED AREAS WITHIN THE RIGHT-OF-WAY SHALL BE SEEDED UNLESS SODDING IS OTHERWISE SPECIFIED. SODDING IS REQUIRED ON ALL SLOPES 4:1 OR STEEPER.</p> <p>6. ALL WORK WITHIN OR ON CITY OF LAKE CITY OWNED AND MAINTAINED FACILITIES, ROW OR EASEMENTS WILL REQUIRE AS-BUILT PLANS. AS-BUILT PLANS SHOULD SHOW THE CONSTRUCTED CONDITIONS OF THE CITY OWNED OR MAINTAINED AREA AND SHALL BE PER FDOT STANDARDS AND PROCEDURES AND BE PERFORMED BY A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER.</p> <p>7. INSTALLATION OR CONSTRUCTION OF MAILBOXES, PRIVATE IRRIGATION PIPING, OR PRIVATE UTILITY CHASES, ETC. IN PUBLIC RIGHT OF WAYS UNDER CITY OWNERSHIP SHALL REQUIRE A RIGHT OF WAY USE PERMIT PRIOR TO BEGINNING.</p>	<p>ACPW ALACHUA COUNTY PUBLIC WORKS</p> <p>ADJ ADJACENT</p> <p>ALUM ALUMINUM</p> <p>APT APARTMENT</p> <p>ASPH ASPHALT</p> <p>B&J BORE & JACK</p> <p>BC BACK OF CURB</p> <p>BCCMP BITUMINOUS COATED CORRUGATED METAL PIPE</p> <p>BLDG BUILDING</p> <p>BM BENCHMARK</p> <p>BOP BEGINNING OF PROFILE</p> <p>BSL BUILDING SETBACK LINE</p> <p>C&G CURB & GUTTER</p> <p>CI CURVE ONE</p> <p>CATV CABLE TELEVISION</p> <p>BOP CURVE END TAPER</p> <p>CF CUBIC FEET</p> <p>CI CAST IRON</p> <p>CIP CAST-IN-PLACE</p> <p>CL CENTER LINE</p> <p>CLF CHAIN LINK FENCE</p> <p>CMP CORRUGATED METAL PIPE</p> <p>CMPA CORRUGATED METAL PIPE ARCHED</p> <p>CMU CONCRETE MASONRY UNIT</p> <p>CO CLEAN OUT</p> <p>COLO CITY OF LIVE OAK</p> <p>COMM COMMUNICATIONS</p> <p>CONC CONCRETE</p> <p>CPE CORRUGATED POLYETHYLENE PIPE</p> <p>CY CUBIC YARD</p> <p>DBI DITCH BOTTOM INLET</p> <p>DCBP DOUBLE CHECK BACKFLOW PREVENTER</p> <p>DEG DEGREES</p> <p>DHWL DESIGN HIGH WATER LEVEL</p> <p>DI DUCTILE IRON</p> <p>DIA DIAMETER</p> <p>DIM DIMENSION</p> <p>DIP DUCTILE IRON PIPE</p> <p>E EAST</p> <p>E/M EASEMENT</p> <p>EL ELEVATION</p> <p>ELEC ELECTRIC</p> <p>EP END OF PROFILE</p> <p>EOP EDGE OF PAVEMENT</p> <p>ERCP ELLIPTICAL REINFORCED CONCRETE PIPE</p> <p>EX EXISTING</p> <p>FC FACE OF CURB</p> <p>FDC FIRE DEPARTMENT CONNECTION</p> <p>FDEP FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION</p> <p>FDOT FLORIDA DEPARTMENT OF TRANSPORTATION</p> <p>FF FINISH FLOOR</p> <p>FG FINISH GRADE</p> <p>FH FIRE HYDRANT</p> <p>FL FIRE LINE</p> <p>FLL FLOW LINE</p> <p>FM FORCE MAIN</p> <p>FO FIBER OPTIC</p> <p>FP FLOOD PLAIN</p> <p>FT FEET</p> <p>FUT FUTURE</p> <p>GALV GALVANIZED</p> <p>GRU GAINESVILLE REGIONAL UTILITIES</p> <p>GV GATE VALVE</p> <p>HC HANDICAP</p> <p>HORIZ HORIZONTAL</p> <p>HP HIGH POINT</p> <p>HR HOUR</p> <p>INV INVERT</p> <p>IRR IRRIGATION</p> <p>LF LINEAR FEET</p> <p>L1 LINE ONE</p> <p>LAT LATITUDE</p> <p>LBR LIMEROCK BEARING RATIO</p> <p>LONG LONGITUDE</p> <p>LTG LIGHT</p> <p>LP LOW POINT</p> <p>LT LEFT</p> <p>MAINT MAINTENANCE</p> <p>MAX MAXIMUM</p> <p>MES MITERED END SECTION</p> <p>MH MANHOLE</p> <p>MIN MINIMUM</p> <p>MO MONTH</p> <p>N NORTH</p> <p>N/A NOT APPLICABLE</p> <p>NE NORTH EAST</p> <p>NG NATURAL GRADE</p> <p>NIC NOT IN CONTRACT</p> <p>NO NUMBER</p> <p>NTS NOT TO SCALE</p> <p>NW NORTH WEST</p> <p>OC ON CENTER</p> <p>PCPE PERFORATED CORRUGATED POLYETHYLENE PIPE</p> <p>PE POLYETHYLENE PIPE</p> <p>POB POINT OF BEGINNING</p> <p>POE POINT OF ENDING</p> <p>PL PROPERTY LINE</p> <p>PRVT PRIVATE</p> <p>PRI PRIMARY</p> <p>PSI POUNDS PER SQUARE INCH</p> <p>PT PRESSURE TREATED (NON ARSENIC)</p> <p>PUD PLANNED URBAN DEVELOPMENT</p> <p>PVI POINT OF VERTICAL INTERSECTION</p> <p>PVC POLYVINYL CHLORIDE</p> <p>PVMT PAVEMENT</p> <p>P&P PLAN & PROFILE</p> <p>R/W RIGHT OF WAY</p> <p>R1' ONE FOOT RADIUS</p> <p>RB REACTION BLOCK</p> <p>RCP REINFORCED CONCRETE PIPE</p> <p>REF REFERENCE</p> <p>RBPFP REDUCED PRESSURE BACKFLOW PREVENTER</p> <p>REQ'D REQUIRED</p> <p>RT RIGHT</p> <p>RW RESILIENT WEDGE</p> <p>S SOUTH</p> <p>S/W SIDEWALK</p> <p>SE SOUTH EAST</p> <p>SEC SECONDARY</p> <p>SF SQUARE FEET</p> <p>SG SWITCH GEAR</p> <p>SI SURFACE INLET</p> <p>SPA SPACE</p> <p>SRWMD SUWANNEE RIVER WATER MANAGEMENT DISTRICT</p> <p>SPT STANDARD PENETRATION TEST</p> <p>SS SANITARY SEWER</p> <p>SSL STAINLESS STEEL</p> <p>ST STORM</p> <p>ST STREET</p> <p>STA STATION</p> <p>STD STANDARD</p> <p>STL STEEL</p> <p>SW SOUTH WEST</p> <p>SY SQUARE YARD</p> <p>TBC TRAFFIC BEARING COVER</p> <p>TBM TEMPORARY BENCHMARK</p> <p>TEL TELEPHONE</p> <p>TFMR TRANSFORMER</p> <p>TV TELEVISION</p> <p>TW TOP OF WALL</p> <p>TYP TYPICAL</p> <p>UD UNDER DRAIN</p> <p>UTIL UTILITIES</p> <p>VCP VITRIFIED CLAY PIPE</p> <p>VEH VEHICLE</p> <p>W WEST</p> <p>W/ WITH</p> <p>W/WW WATER/WASTEWATER</p> <p>WM WATER MAIN</p> <p>WS WATER SERVICE</p> <p>WW WASTEWATER</p> <p>YR YEAR</p>	<p>LEGEND</p> <p>EST EXISTING STORM SEWER LINE</p> <p>EWX EXISTING SANITARY SEWER LINE</p> <p>EGAS EXISTING GAS SERVICE LINE</p> <p>ECATV EXISTING CATV & TELEPHONE LINE</p> <p>EUE EXISTING UNDERGROUND ELECTRIC LINE</p> <p>EWX EXISTING WATER MAIN</p> <p>76 EXISTING CONTOUR LINE</p> <p>X X X EXISTING FENCE</p> <p>+89.8 NATURAL GROUND SPOT ELEVATION</p> <p>9 LA (2060) EXISTING TREE TO REMAIN</p> <p>8 LA (2221) EXISTING TREE TO BE REMOVED</p> <p>PROPOSED ASPHALT PAVEMENT</p> <p>PROPOSED CONC PAVEMENT/SIDEWALK</p> <p>PROPOSED FINISH ELEVATION CONTOUR</p> <p>PROPOSED FINISH SPOT ELEVATION</p> <p>PROPOSED DIRECTIONAL FLOW ARROW</p> <p>DRAINAGE AREA DIVIDE</p> <p>PROPOSED SILT FENCE</p> <p>PROPOSED TIRE BARRICADE FENCE</p> <p>PROPOSED CENTERLINE</p> <p>PROPOSED STORM SEWER LINE</p> <p>PROPOSED WATER MAIN</p> <p>PROPOSED PRIMARY ELECTRIC SERVICE CONDUIT</p> <p>PROPOSED SECONDARY ELECTRIC SERVICE CONDUIT</p> <p>PROPOSED GAS MAIN</p> <p>PROPOSED CATV & TELEPHONE SERVICE</p> <p>PROPOSED WASTEWATER</p> <p>PROPOSED SANITARY SEWER FORCE MAIN</p> <p>PROPOSED PUE</p> <p>PROPOSED DRAINAGE SWALE</p> <p>RIGHT-OF-WAY</p> <p>PROPOSED PVC SANITARY SEWER SERVICE LATERAL WITH CLEANOUT</p> <p>GRAVEL FILTER BAGS</p> <p>FILTER BAGS</p>

REVISIONS					ENGINEER OF RECORD: CHRISTOPHER A. POTTS, P.E. FLORIDA LICENSE NO. 73842		 CIVIL ENGINEERING LAND PLANNING SURVEYING CONSTRUCTION SERVICES	3530 NW 43rd Street Gainesville, Florida 32606 4420 US-1 S, Suite 1 St. Augustine, Florida 32086 Gainesville: (352) 375-8999 St. Augustine: (904) 789-8999 Toll Free: (844) Go-JBPro E-mail: contact@jbpro.com	SHEET TITLE: LEGEND ABBREVIATIONS AND NOTES			DATE: JUNE 2022
NO.	DATE	DESCRIPTION	DRWN	APPR					PROJECT NO: 366-22-02			
									PROJECT: SONIC RESTAURANT LAKE CITY, FLORIDA		SHEET NO: C0.1	
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- GENERAL DEMOLITION NOTES**
1. PRIOR TO DEMOLITION AND CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO VERIFY THE LOCATION OF ALL ABOVE GROUND AND UNDERGROUND UTILITIES TO BE REMOVED OR RELOCATED.
 2. CONTRACTOR IS RESPONSIBLE FOR ALL SITE DEMOLITION AND MATERIAL REMOVAL. IN ADDITION TO THE DEMOLITION SHOWN, THE CONTRACTOR SHALL REMOVE ALL MISCELLANEOUS TRASH, DEBRIS, FENCING ETC., IN ORDER TO PROVIDE A CLEAN CONSTRUCTION SITE.
 3. CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF ALL DEMOLITION MATERIAL OFF SITE. DISPOSAL METHODS AND LOCATIONS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS.
 4. REMOVAL OF ALL CONSTRUCTION DEBRIS, LIMEROCK, EXCESS OF BUILDERS SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, AND ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOD AREAS IS THE RESPONSIBILITY OF THE SITE WORK CONTRACTOR. SOIL IN AREAS TO BE LANDSCAPED SHALL BE UNCOMPACTED, SUITABLE FOR ROOT GROWTH WITH APPROPRIATE AMOUNTS OF ORGANIC MATTER, AND OF PH RANGE OF 5.5 - 6.5.
 5. ALL OFF SITE TREES SHALL REMAIN UNLESS OTHERWISE NOTED.
 6. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL DESIGNATE A TEMPORARY CONSTRUCTION ENTRANCE AND STOCKPILE AREA.
 7. EXISTING SIGNS SHALL BE REMOVED AND STORED DURING DEMOLITION SO THAT THEY CAN BE REINSTALLED DURING CONSTRUCTION.

- LEGEND**
- EXISTING HARDSCAPE TO BE REMOVED
 - EXISTING CURB TO BE REMOVED
 - EXISTING TREE TO BE REMOVED

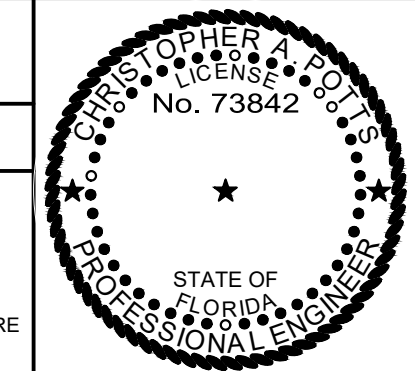
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NO.	DATE	DESCRIPTION	DRWN	APPR

ENGINEER OF RECORD: **CHRISTOPHER A. POTTS, P.E.**
 FLORIDA LICENSE NO. 73842

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 CIVIL ENGINEERING | LAND PLANNING
 SURVEYING | CONSTRUCTION SERVICES

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 Toll Free: (844) Go-JBPro | E-mail: contact@jbpro.com

SHEET TITLE: **DEMOLITION PLAN**

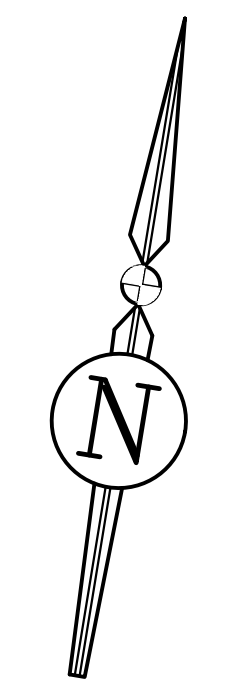
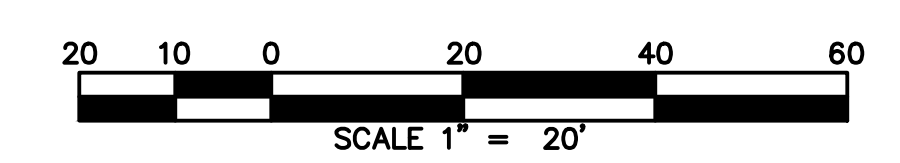
CLIENT: **HIGH COTTON EQUITIES, LLC**

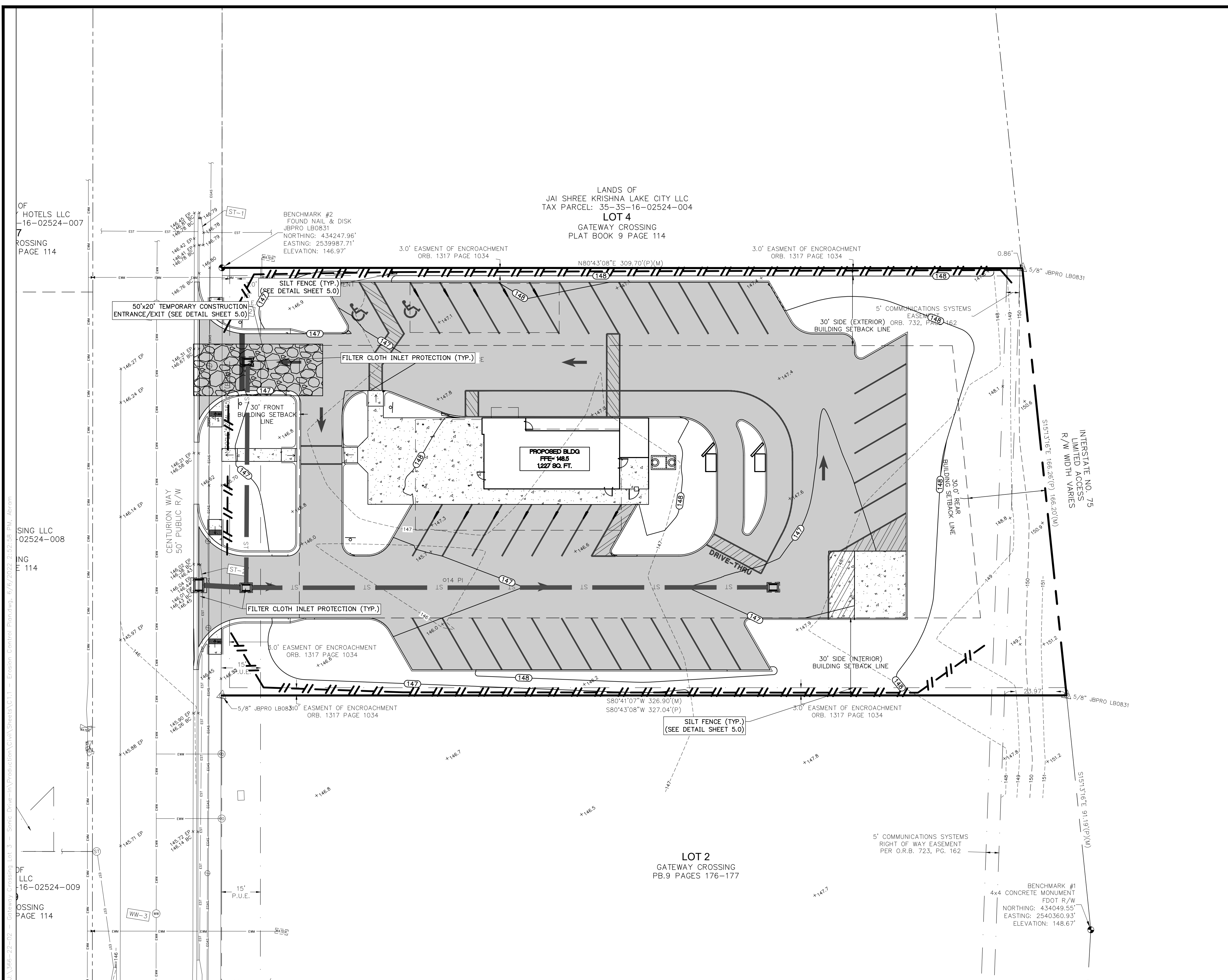
PROJECT: **SONIC RESTAURANT
 LAKE CITY, FLORIDA**

DATE: **JUNE 2022**

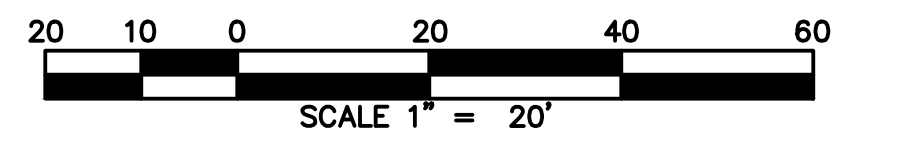
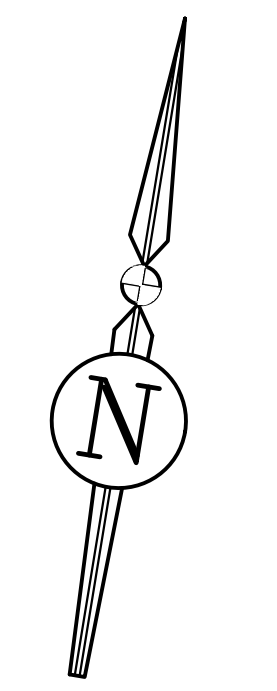
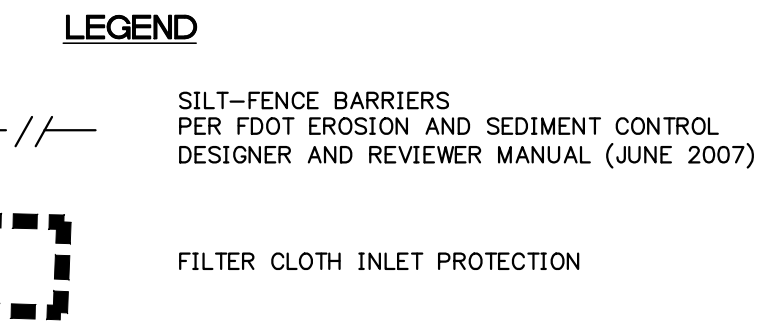
PROJECT NO: **366-22-02**

SHEET NO: **C1.0**





- ### EROSION AND SEDIMENTATION CONTROL NOTES
1. THE CONTRACTOR SHALL UTILIZE THE EROSION AND SEDIMENTATION CONTROL PLAN AS A GENERAL GUIDE AND DIRECTION FOR MINIMUM CONTROL MEASURES. CONTRACTOR SHALL UTILIZE EROSION CONTROL BEST MANAGEMENT PRACTICES (BMP'S) AS REQUIRED TO MINIMIZE EROSION AND SEDIMENTATION BUILDUP ONSITE AND TO PREVENT EROSION AND SEDIMENTATION DISCHARGE OFF PROPERTY.
 2. CONTRACTOR SHALL EMPLOY AN FDEP CERTIFIED EROSION AND SEDIMENTATION CONTROL INSPECTOR TO MONITOR THE CONTRACTOR'S EROSION AND SEDIMENTATION CONTROL WORK EFFORT THROUGHOUT CONSTRUCTION.
 3. DURING CONSTRUCTION, NO DIRECT DISCHARGE OF WATER TO DOWNSTREAM RECEIVING WATERS WILL BE ALLOWED. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING WATER QUALITY, AND SHALL ROUTE DISCHARGE WATER IN SUCH A MANNER TO ADEQUATELY REMOVE SILT PRIOR TO RUNOFF FROM THE SITE.
 4. SILT FENCING AND OTHER SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED WHERE SHOWN ON THE DRAWINGS PRIOR TO STARTING CONSTRUCTION. ALL STORM DRAIN INLETS SHALL BE PROTECTED DURING CONSTRUCTION IN ACCORDANCE WITH FDOT EROSION AND SEDIMENTATION CONTROL DESIGNER AND REVIEWER MANUAL (JUNE 2007) TO PREVENT SEDIMENT DISCHARGE TO THE EXISTING STORMWATER MANAGEMENT SYSTEM.
 5. THE RETENTION BASINS SHALL BE PROTECTED FROM SEDIMENT DISCHARGE BY SILT FENCE AT THE DISCHARGE STORM STRUCTURE. CAREFUL ATTENTION SHALL BE PAID TO PREVENT EROSION FROM ENTERING THE BASIN BOTTOM BEYOND THE IMMEDIATE EXIT OF THE STRUCTURE. REMOVE ALL SEDIMENT BUILDUP AT THE DISCHARGE STRUCTURE REGULARLY THROUGHOUT CONSTRUCTION.
 6. PROTECT EXISTING STORMWATER INLET STRUCTURES WITH FILTER FABRIC OR OTHER EROSION CONTROL DEVICE TO PREVENT SEDIMENTS FROM ENTERING STORM SEWER SYSTEM.
 7. ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE INSPECTED AT LEAST ONCE PER WEEK AND AFTER 1/2" OR GREATER RAINFALL. ANY DEFICIENCIES DISCOVERED SHALL BE REPAIRED, ADJUSTED, OR IMPROVED AS REQUIRED.
 8. ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE AND APPROVED, AND VEGETATION IS FULLY ESTABLISHED.
 9. CONTRACTOR SHALL MINIMIZE AIR POLLUTION FROM PARTICULATES AND DUST. WATER SHALL BE APPLIED AS NEEDED TO REDUCE DUST DURING CONSTRUCTION. USE OTHER STABILIZATION METHODS SUCH AS HYDROMULCHING AS NEEDED.
 10. CONTRACTOR SHALL STOCKPILE AND STORE MATERIALS SUCH THAT STORMWATER FLOW IS NOT IMPEDED DURING CONSTRUCTION AND MATERIAL EROSION DOES NOT OCCUR.
 11. ALL DISTURBED OPEN AREAS WITHIN THE PROJECT CONSTRUCTION LIMITS SHALL BE COMPLETELY GRASSED BY COMPLETION OF CONSTRUCTION. GRASS SEEDING RATES AND MIXTURES SHALL BE PER FDOT EROSION AND SEDIMENTATION CONTROL DESIGNER AND REVIEWER MANUAL (JULY 2013). EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO FINAL RELEASE.
 12. THE STORM SEWER SYSTEM SHALL BE FLUSHED OUT TO REMOVE ALL ACCUMULATED DEBRIS AND SEDIMENT UPON COMPLETION OF CONSTRUCTION.

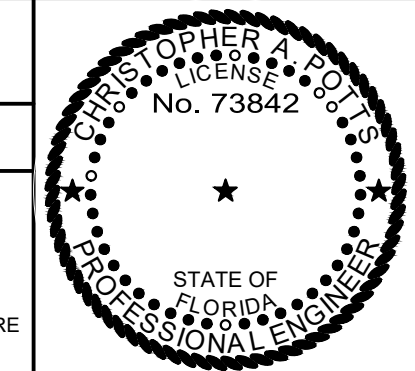


REVISIONS			DRWN	APPR
NO.	DATE	DESCRIPTION		

ENGINEER OF RECORD: **CHRISTOPHER A. POTTS, P.E.**
 FLORIDA LICENSE NO. 73842

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SHEET TITLE: **EROSION AND SEDIMENTATION CONTROL PLAN**

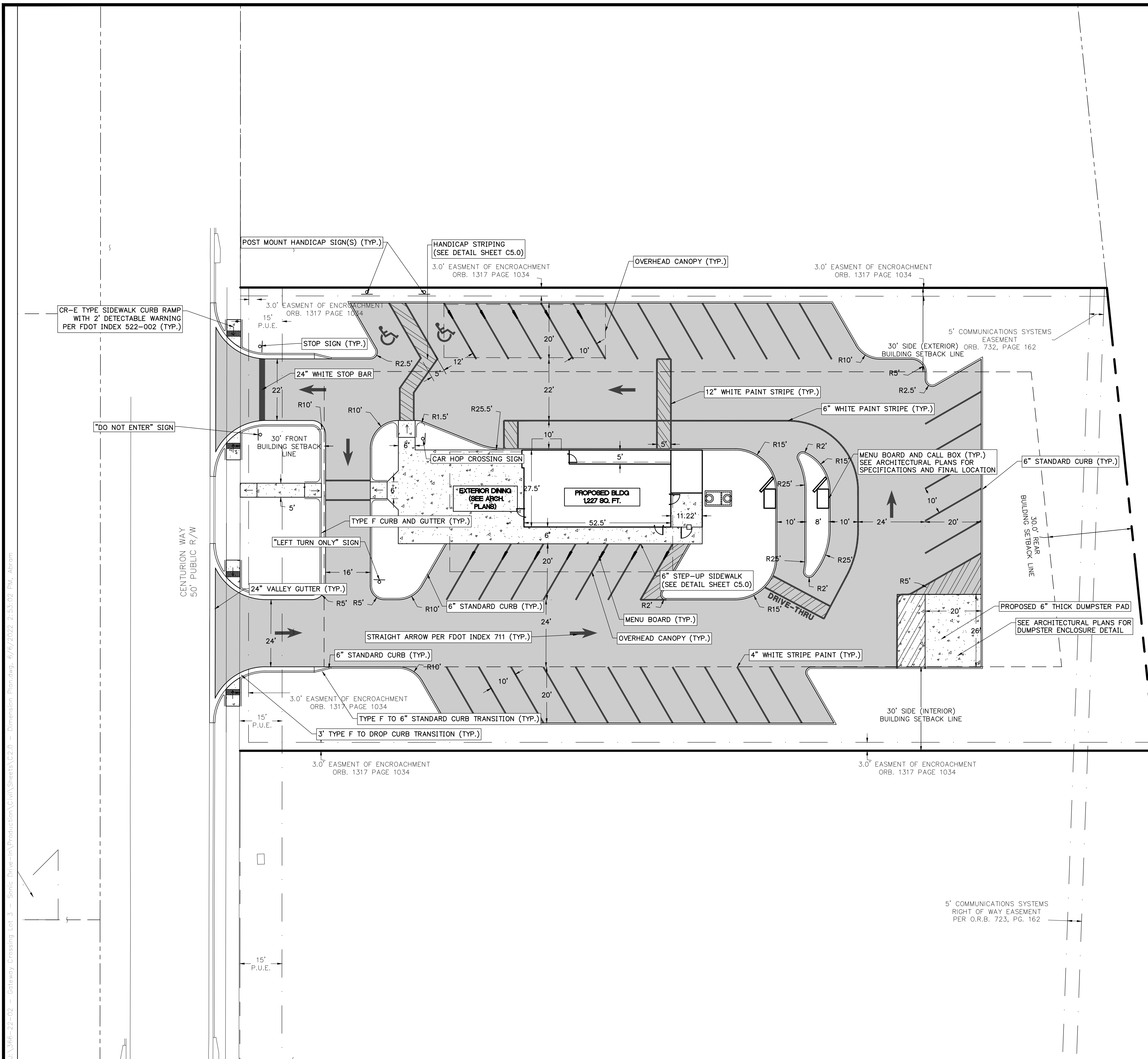
CLIENT: **HIGH COTTON EQUITIES, LLC**

PROJECT: **SONIC RESTAURANT
LAKE CITY, FLORIDA**

DATE: **JUNE 2022**
 PROJECT NO: **366-22-02**
 SHEET NO: **C1.1**

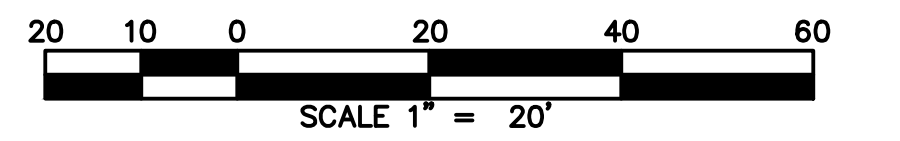
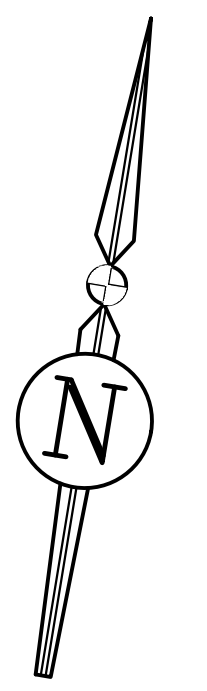
DIMENSION NOTES

1. CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE PROJECT SURVEY AND DESIGN DRAWINGS, AND SHALL VERIFY EXISTING SITE CONDITIONS. ANY APPARENT DISCREPANCIES OR ADDITIONAL PERTINENT INFORMATION SHALL BE BROUGHT TO THE PROJECT ENGINEER'S ATTENTION IMMEDIATELY.
2. ALL DIMENSIONS AND RADII SHOWN ARE DIMENSIONED TO EDGE OF PAVEMENT OR FACE OF CURB, UNLESS OTHERWISE SPECIFIED.
3. ALL STRIPING SHALL CONFORM TO FDOT STANDARD INDEX 711-001.
4. TOTAL NUMBER OF PARKING SPACES = 42 (2 HANDICAP PARKING SPACES)



LEGEND

- NEW ASPHALT PAVEMENT
- NEW CONCRETE

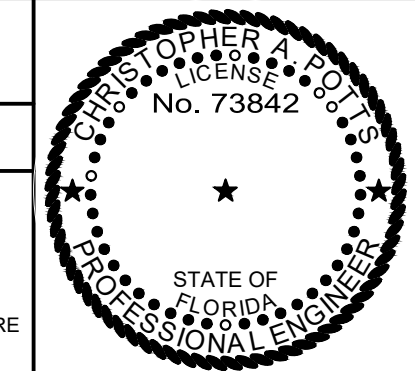


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SHEET TITLE: **DIMENSION PLAN**

CLIENT: **HIGH COTTON EQUITIES, LLC**

PROJECT: **SONIC RESTAURANT
 LAKE CITY, FLORIDA**

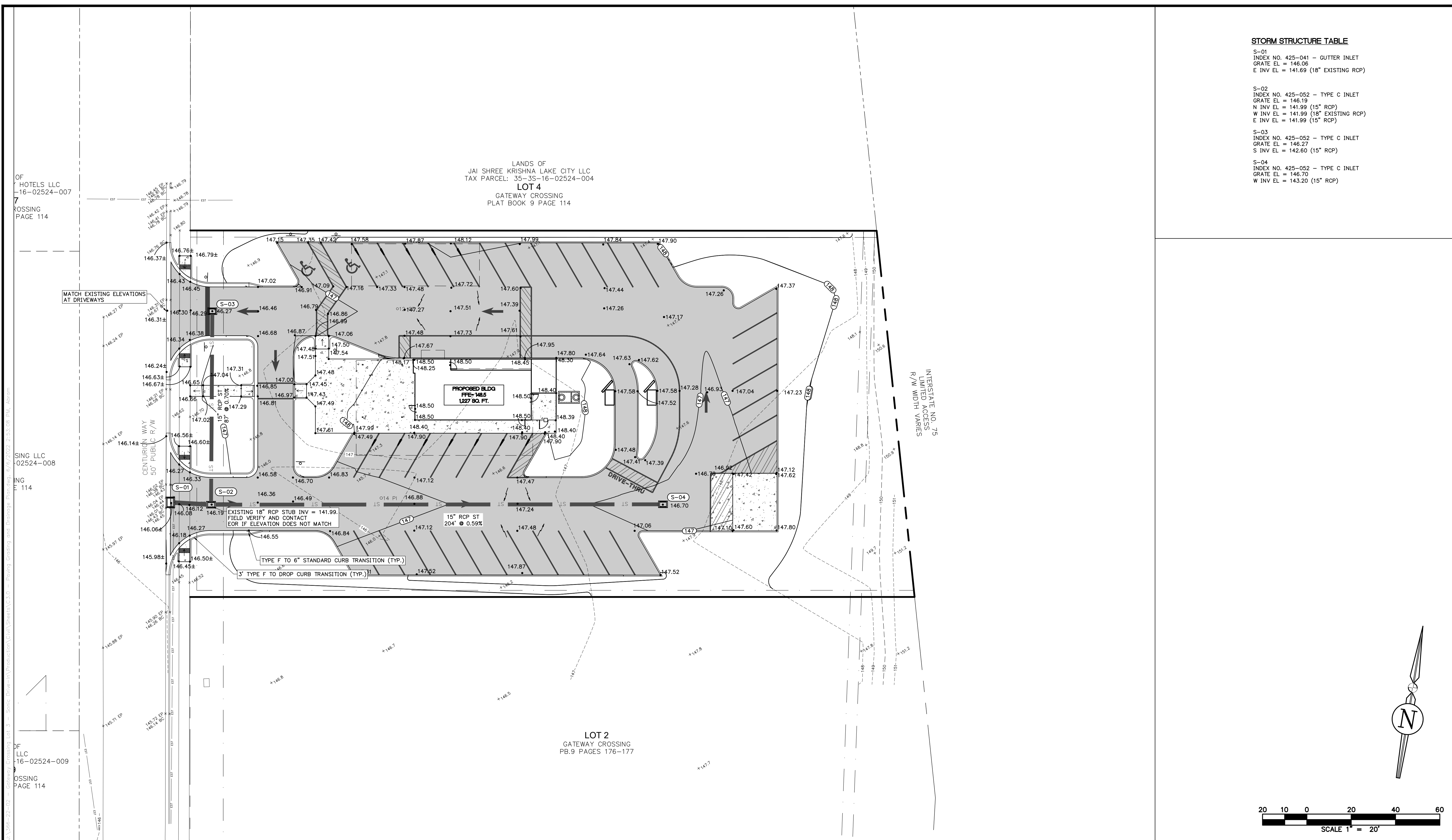
DATE: **JUNE 2022**

PROJECT NO: **366-22-02**

SHEET NO: **C2.0**

STORM STRUCTURE TABLE

- S-01
INDEX NO. 425-041 - GUTTER INLET
GRATE EL = 146.06
E INV EL = 141.69 (18" EXISTING RCP)
- S-02
INDEX NO. 425-052 - TYPE C INLET
GRATE EL = 146.19
N INV EL = 141.99 (15" RCP)
W INV EL = 141.99 (18" EXISTING RCP)
E INV EL = 141.99 (15" RCP)
- S-03
INDEX NO. 425-052 - TYPE C INLET
GRATE EL = 146.27
S INV EL = 142.60 (15" RCP)
- S-04
INDEX NO. 425-052 - TYPE C INLET
GRATE EL = 146.70
W INV EL = 143.20 (15" RCP)



OF
HOTELS LLC
-16-02524-007
7
CROSSING
PAGE 114

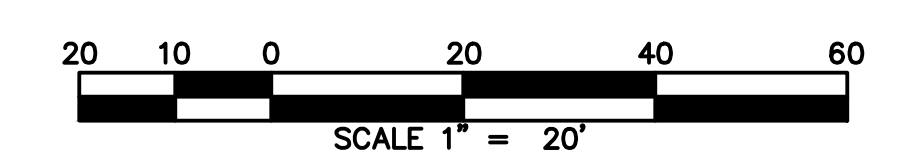
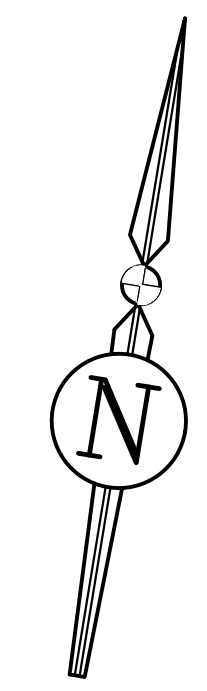
SING LLC
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114

OF
LLC
-16-02524-009
CROSSING
PAGE 114

LANDS OF
JAI SHREE KRISHNA LAKE CITY LLC
TAX PARCEL: 35-35-16-02524-004
LOT 4
GATEWAY CROSSING
PLAT BOOK 9 PAGE 114

LOT 2
GATEWAY CROSSING
PB.9 PAGES 176-177

INTERSTATE NO. 75
LIMITED ACCESS
R/W WIDTH VARIES

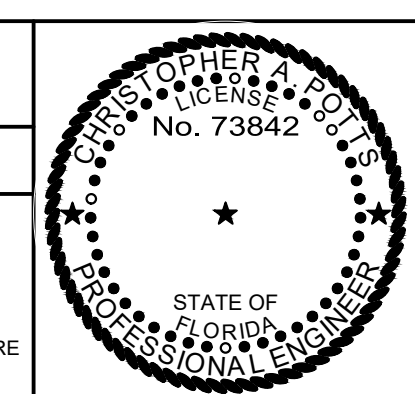


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SHEET TITLE:
PAVING, GRADING, AND DRAINAGE PLAN

CLIENT:
HIGH COTTON EQUITIES, LLC

PROJECT:
**SONIC RESTAURANT
LAKE CITY, FLORIDA**

DATE:
JUNE 2022

PROJECT NO:
366-22-02

SHEET NO:
C3.0

GENERAL NOTES:

1. ALL POTABLE WATER MAINS SHALL BE AWWA DR-18, C900 PVC, SCH 80 PVC OR DR-11 HDPE.
2. ALL WASTEWATER GRAVITY MAINS SHALL BE ASTM D-1785, SDR 26 PVC. ALL WASTEWATER FORCE MAINS SHALL BE AWWA DR-18, C900 PVC, SCH 80 PVC OR DR-11 HDPE.
3. ALL WATER MAINS SHALL HAVE AT LEAST 30" OF COVER.
4. THE WATER METER SHALL BE THE END OF CITY OF LIVE OAK MAINTENANCE FOR POTABLE WATER.
5. CONTRACTOR TO VERIFY DEPTH OF EXISTING SEWER AT THE PROPOSED CONNECTION POINT PRIOR TO COMMENCEMENT OF UTILITY WORK. IF THE ELEVATION OF THE EXISTING PIPE IS NOT A MINIMUM DEPTH OF 115.76, CONTRACTOR TO CONTACT EOR.

LIGHTING NOTES:

1. ALL EXTERIOR LIGHTING WILL BE DIRECTED SO THAT NO GLARE IS VISIBLE FROM ANY STREET ROW OR FROM ANY ADJACENT RESIDENTIAL PROPERTIES.

WATER FITTING SCHEDULE

- ① 1 - 1" WATER METER ASSEMBLY
1 - 1.5" RPZBFP
- ② 1 - 2" PVC 90 DEGREE BEND

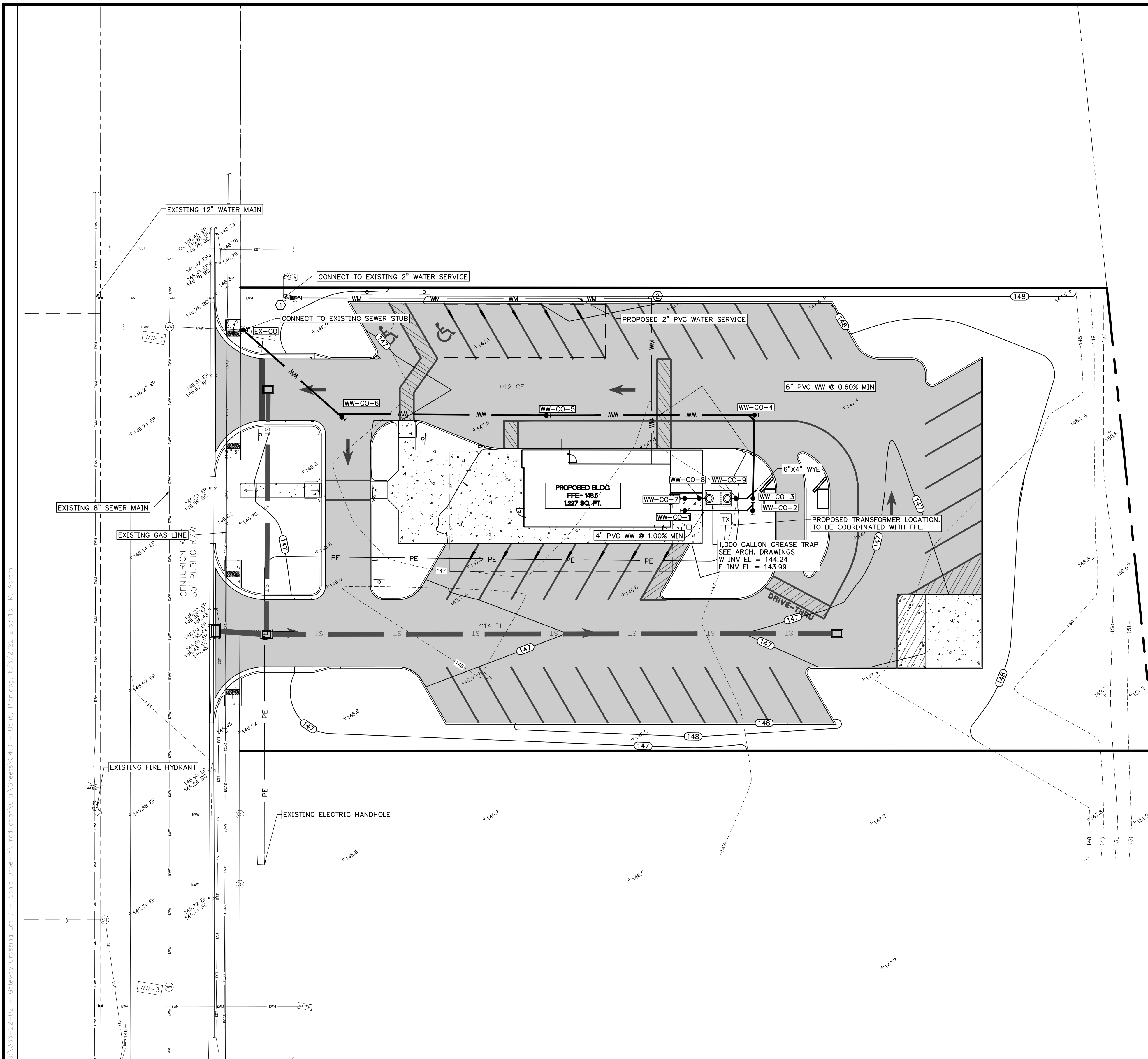
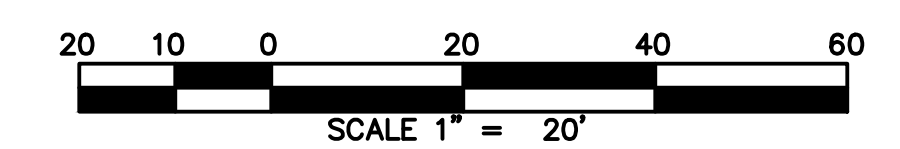
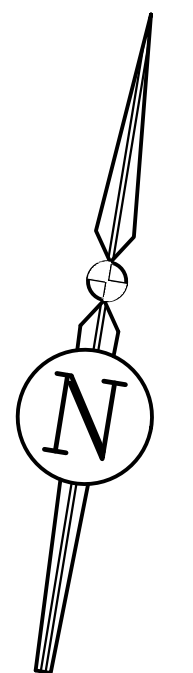
WW CLEANOUT TABLE

WWCO	TOP EL	INV EL
EX-CO	146.78	140.29
WW-CO-1	148.46	144.35
WW-CO-2	147.84	144.02
WW-CO-3	147.84	143.87
WW-CO-4	147.42	143.59
WW-CO-5	147.59	142.82
WW-CO-6	146.72	142.07
WW-CO-7	148.46	144.35
WW-CO-8	148.41	144.27
WW-CO-9	148.02	143.96

WASTEWATER PIPE TABLE

UPSTREAM STRUCTURE	DOWNSTREAM STRUCTURE	SIZE & MATERIAL	LENGTH	SLOPE
WW-CO-1	WW-CO-2	4" PVC	22'	1.48%
WW-CO-2	WW-CO-3	4" PVC	4'	3.45%
WW-CO-3	WW-CO-4	6" PVC	28'	1.00%
WW-CO-4	WW-CO-5	6" PVC	74'	1.04%
WW-CO-5	WW-CO-6	6" PVC	74'	1.01%
WW-CO-6	EX-CO	6" PVC	47'	3.79%
WW-CO-7	WW-CO-8	4" PVC	5'	1.56%
WW-CO-8	WW-GT-IN	4" PVC	2'	1.50%
WW-CO-9	WW-CO-3	4" PVC	4'	2.29%
WW-GT-OUT	WW-CO-9	4" PVC	2'	1.75%

GENERAL NOTE: CLEANOUTS LOCATED IN PAVED AREA(S) WILL HAVE TRAFFIC LOAD BEARING COVERS



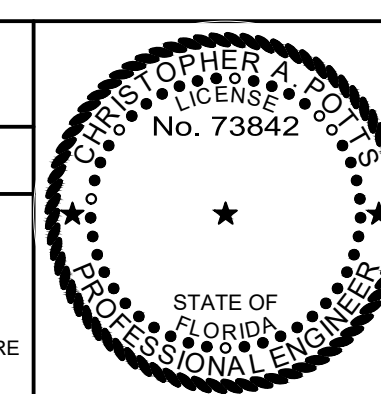
REVISIONS

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SHEET TITLE: **UTILITY PLAN**

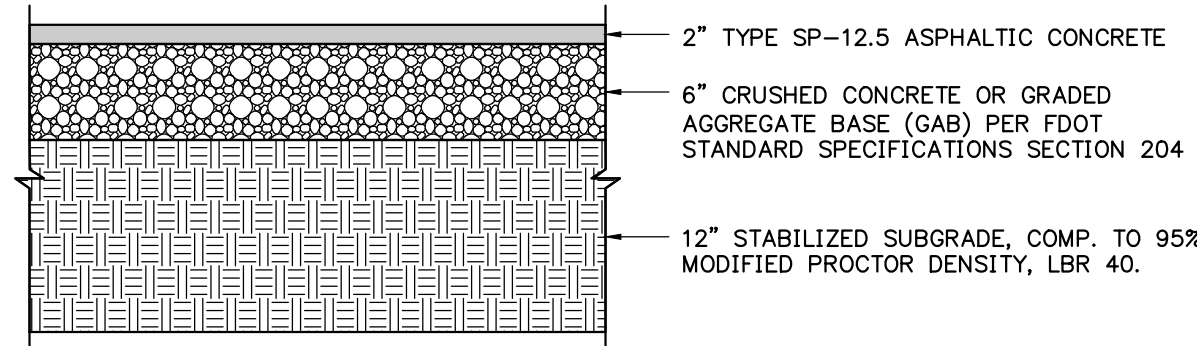
CLIENT: **HIGH COTTON EQUITIES, LLC**

PROJECT: **SONIC RESTAURANT
LAKE CITY, FLORIDA**

DATE: **JUNE 2022**

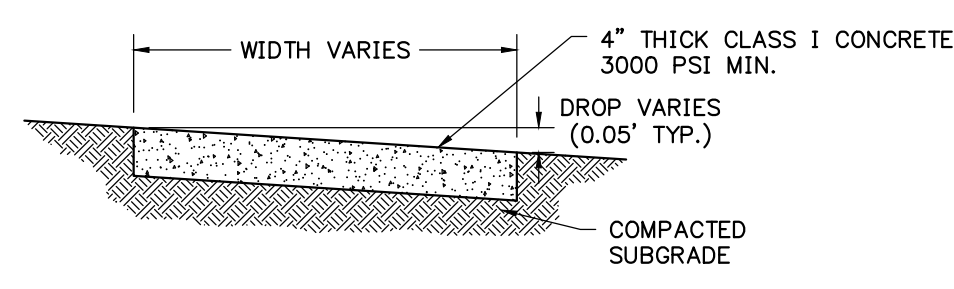
PROJECT NO: **366-22-02**

SHEET NO: **C4.0**



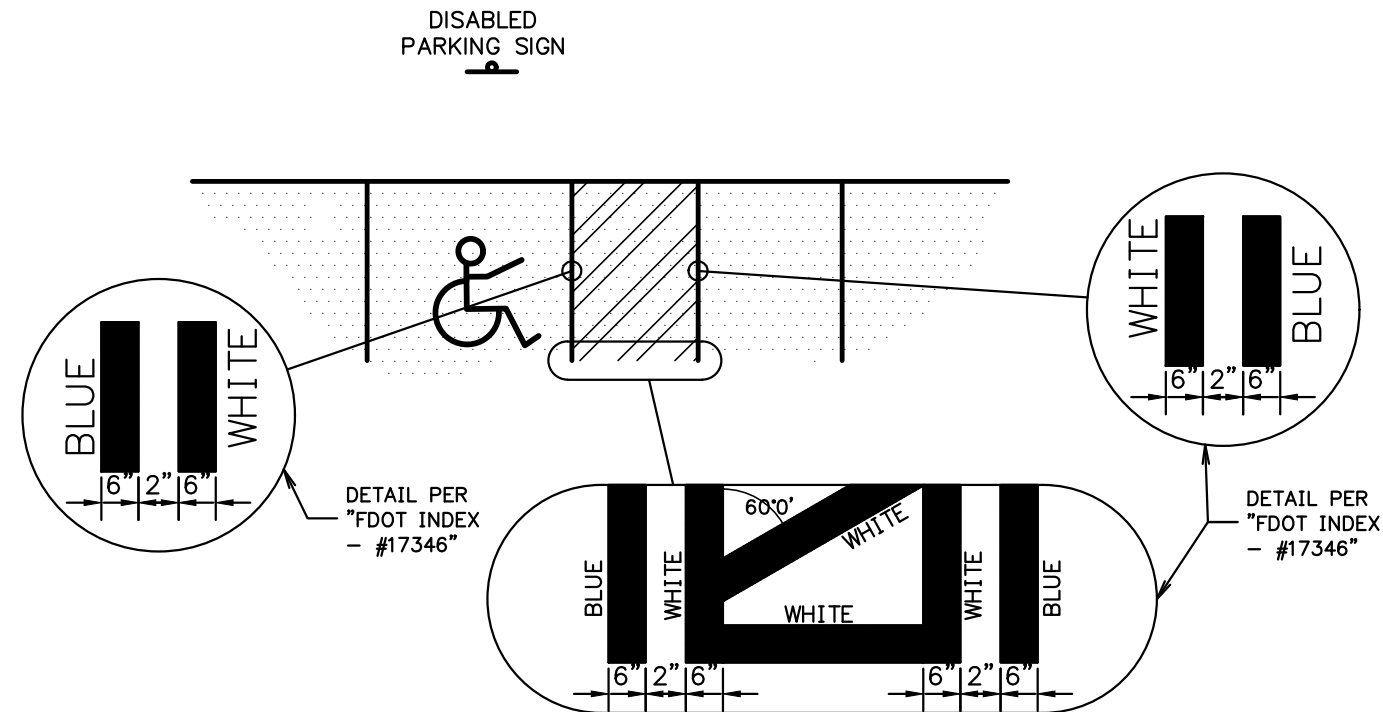
(LIGHT DUTY) TYPICAL ASPHALT PAVEMENT DETAIL

N.T.S.



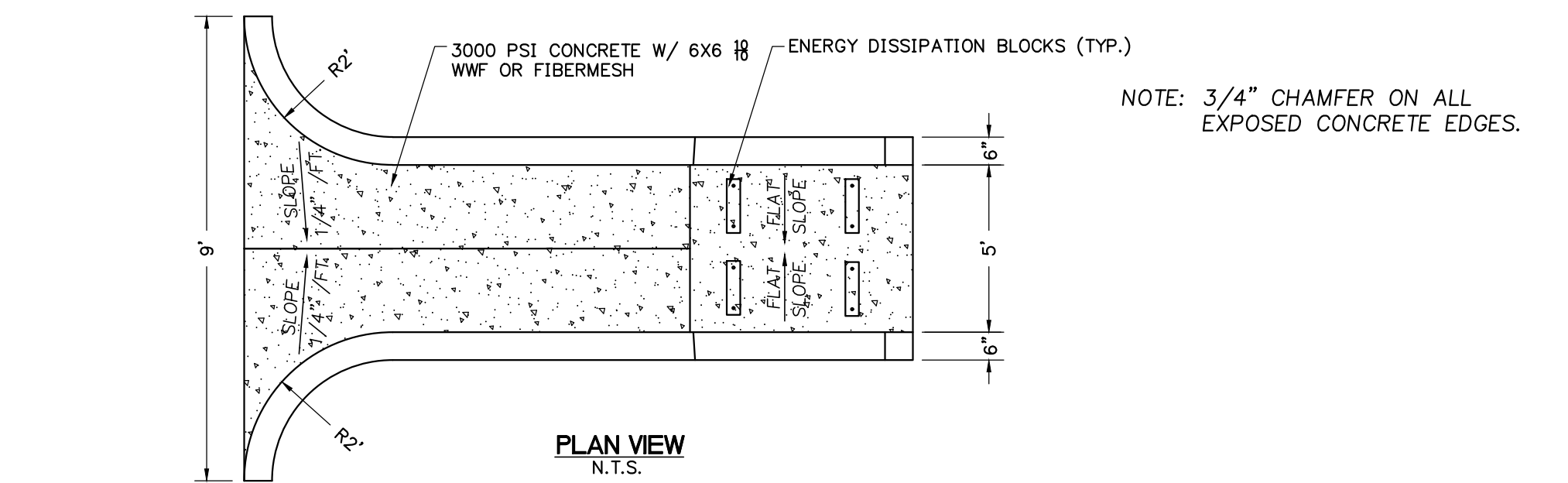
TYPICAL AT GRADE SIDEWALK DETAIL

N.T.S.



HANDICAP STRIPING DETAIL

N.T.S.



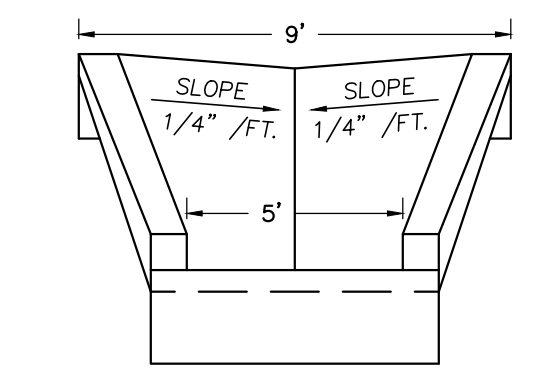
PLAN VIEW

N.T.S.

SIDE VIEW

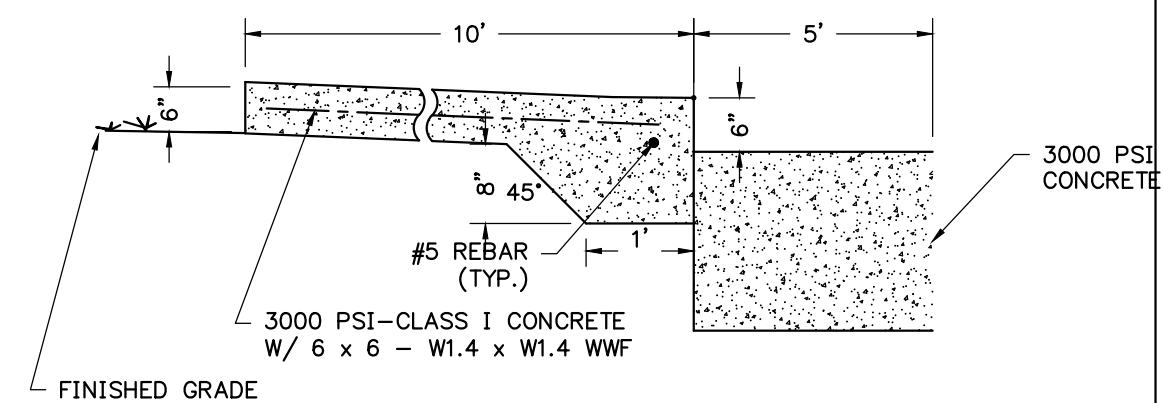
N.T.S.

DRAINAGE/EROSION STANDARD FLUME



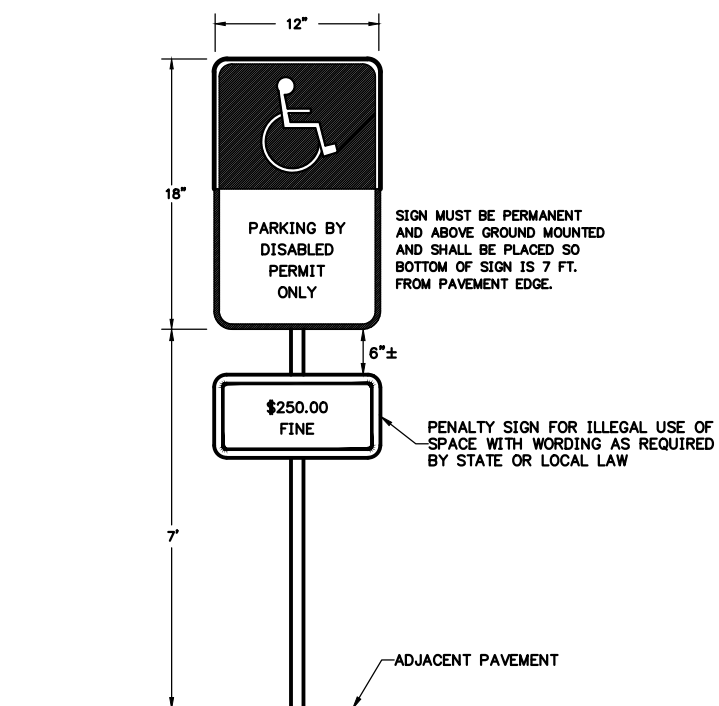
FRONT VIEW

N.T.S.



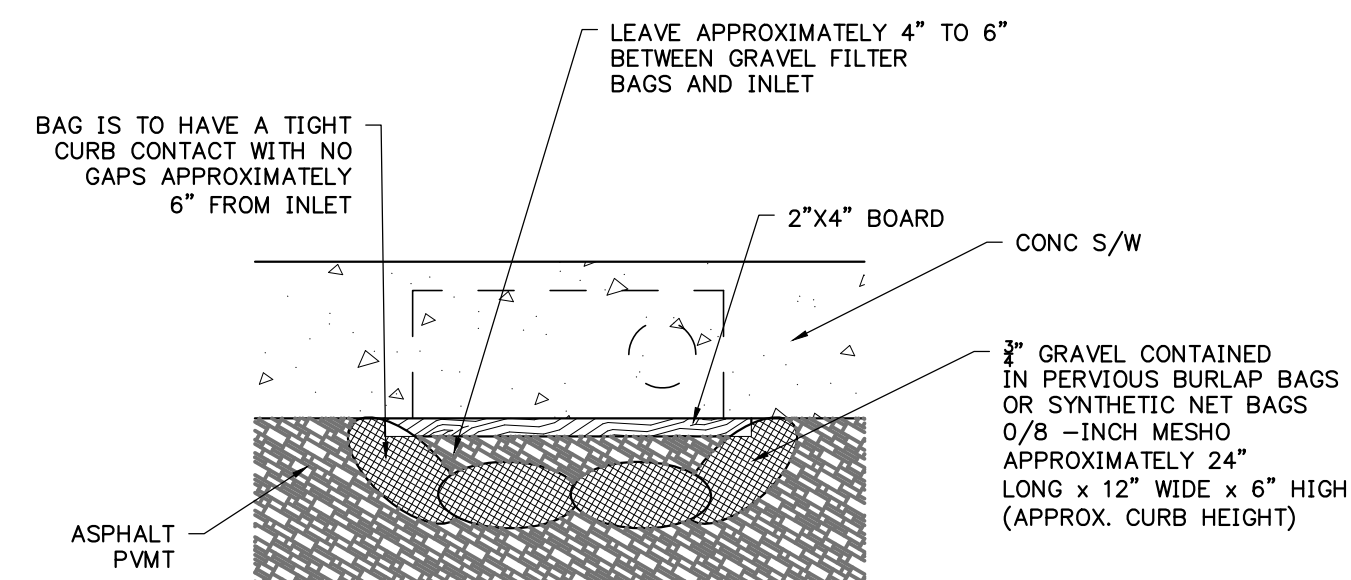
CONCRETE DUMPSTER PAD DETAIL

N.T.S.



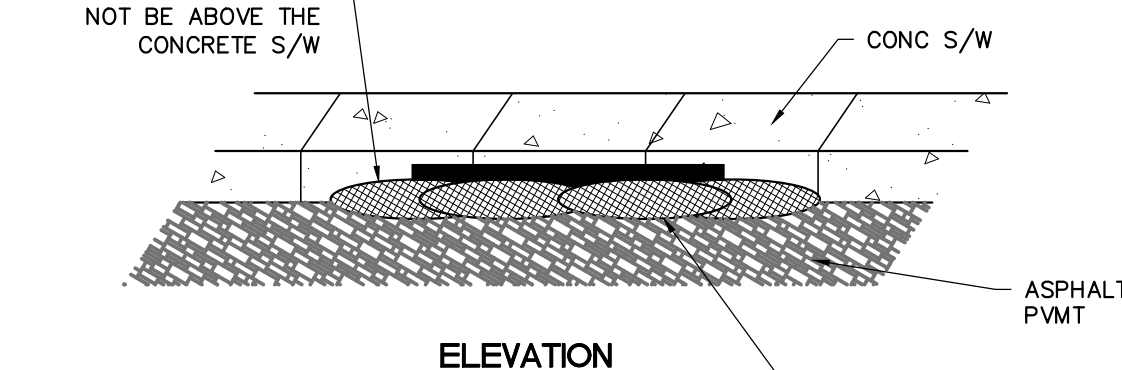
DISABLED PARKING SPACE SIGN DETAIL

N.T.S.



PLAN VIEW

N.T.S.

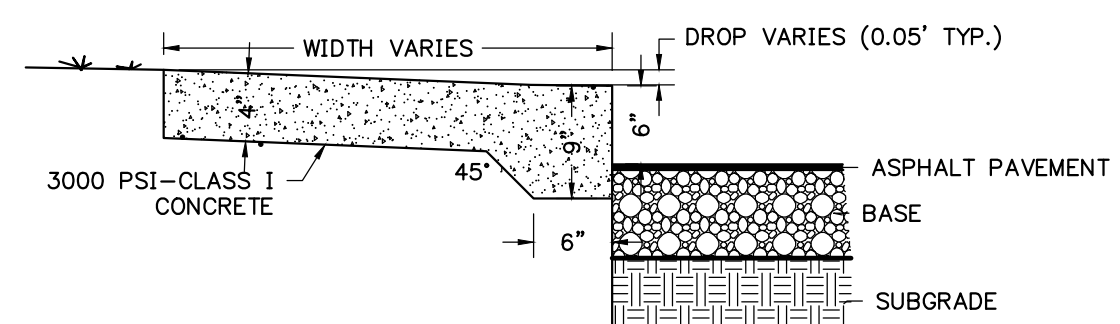


ELEVATION

N.T.S.

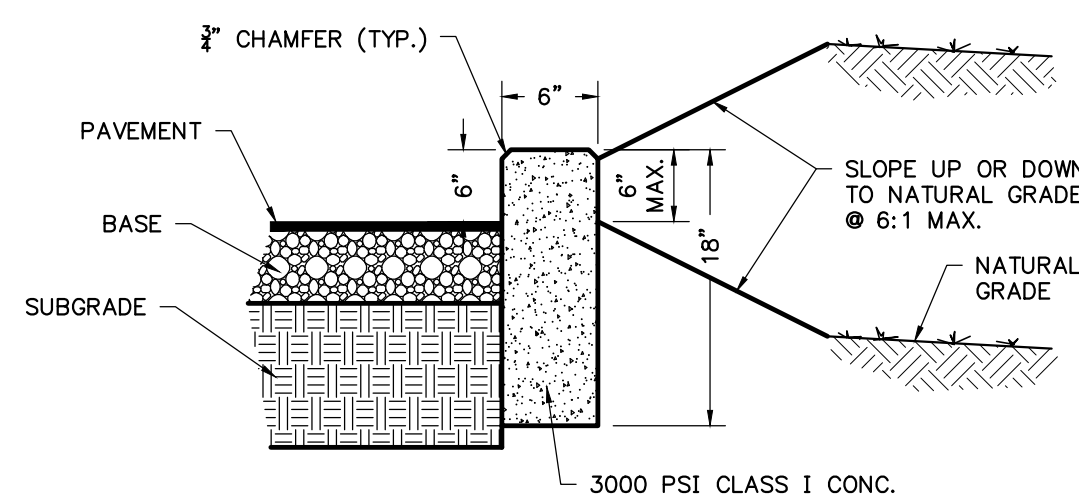
GRAVEL FILTER BAGS DETAIL

N.T.S.



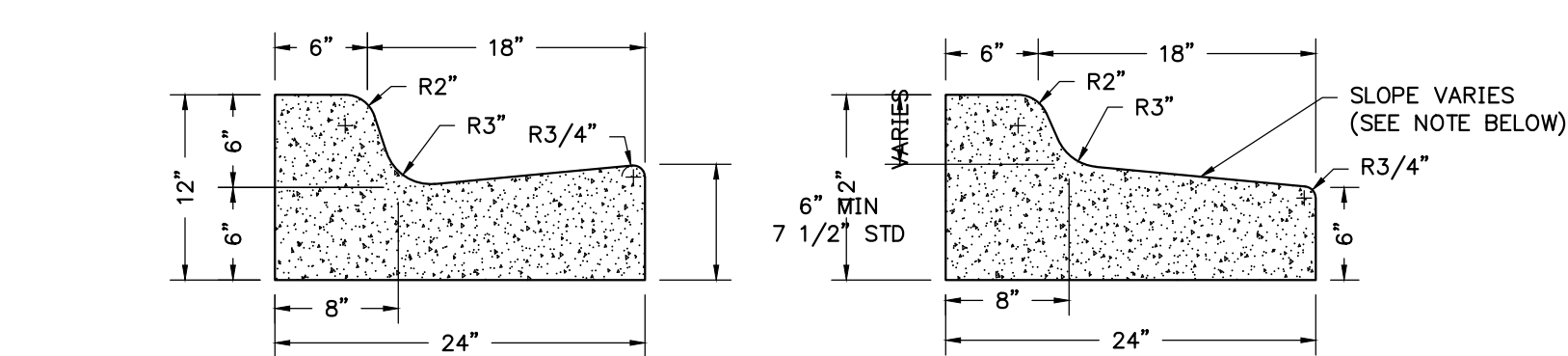
TYPICAL STEP-UP SIDEWALK DETAIL

N.T.S.



STANDARD CURB DETAIL

N.T.S.



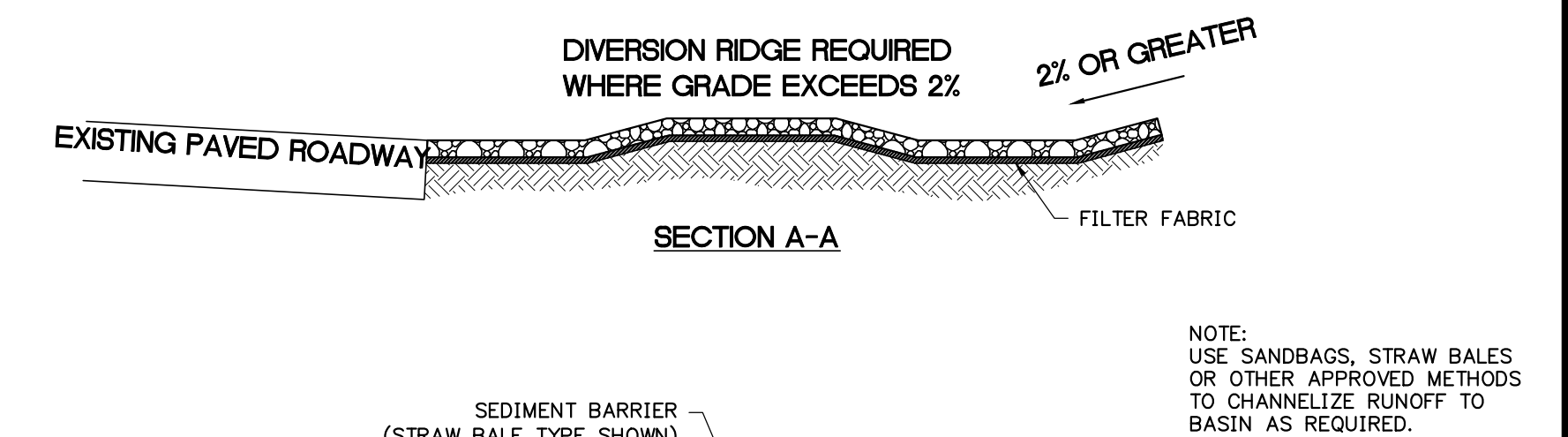
STANDARD

SPILL-OUT

NOTE:
WHEN USED ON THE HIGH SIDE OF ROADWAYS, THE CROSS-SLOPE OF THE GUTTER SHALL MATCH THE CROSS-SLOPE OF THE ADJACENT PAVEMENT AND THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON THE PLANS.

TYPE 'F' CONCRETE CURB AND GUTTER

N.T.S.



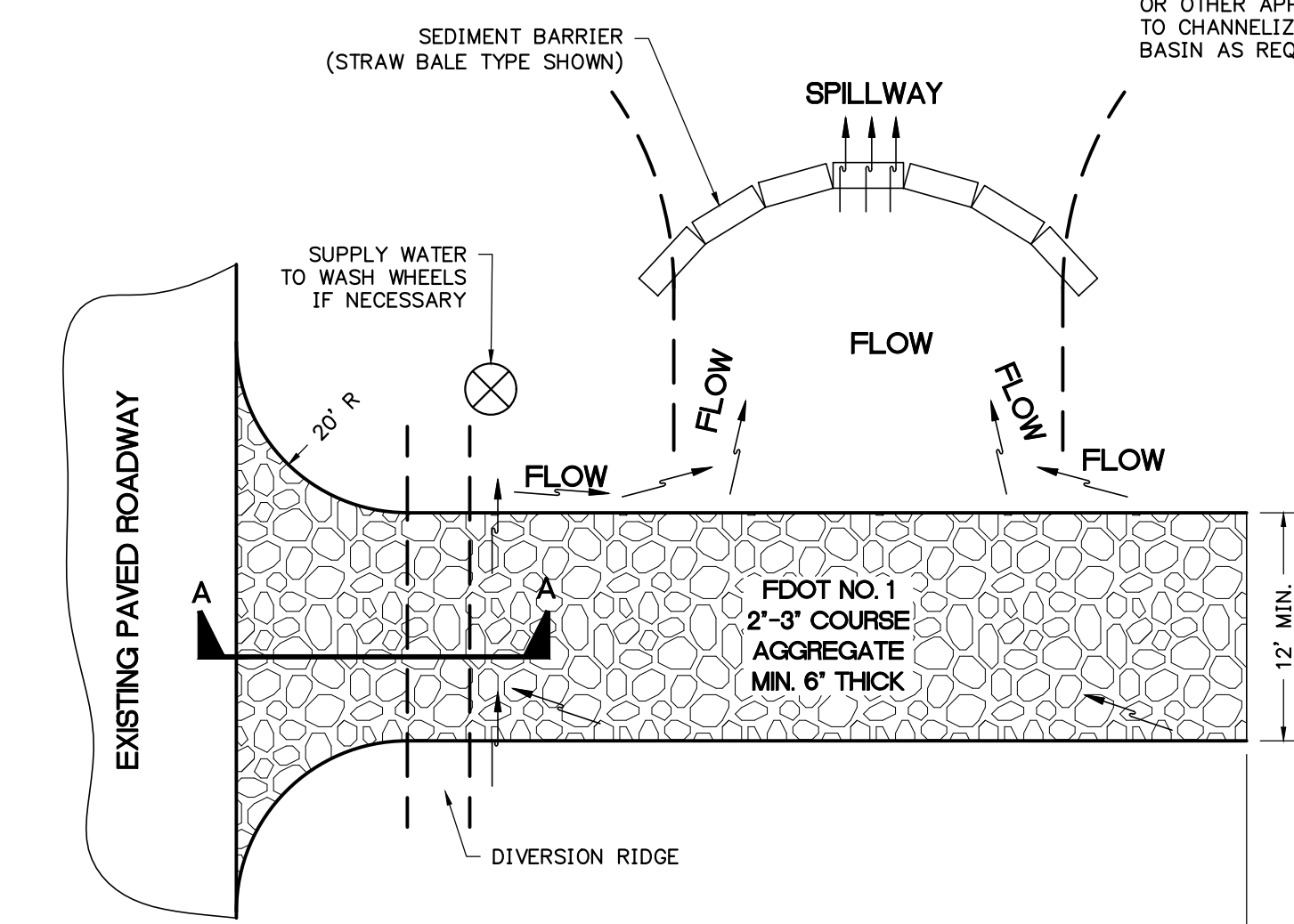
EXISTING PAVED ROADWAY

DIVERSION RIDGE REQUIRED WHERE GRADE EXCEEDS 2%

SECTION A-A

FILTER FABRIC

NOTE:
USE SANDBAGS, STRAW BALES OR OTHER APPROVED METHODS TO CHANNELIZE RUNOFF TO BASIN AS REQUIRED.



EXISTING PAVED ROADWAY

SEDIMENT BARRIER (STRAW BALE TYPE SHOWN)

SUPPLY WATER TO WASH WHEELS IF NECESSARY

SPILLWAY

FLOW

FLOW

FLOW

FLOW

FLOW

FLOW

FLOW

FLOW

FLOW

FLOW

FLOW

FLOW

FLOW

FLOW

FLOW

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FLOW

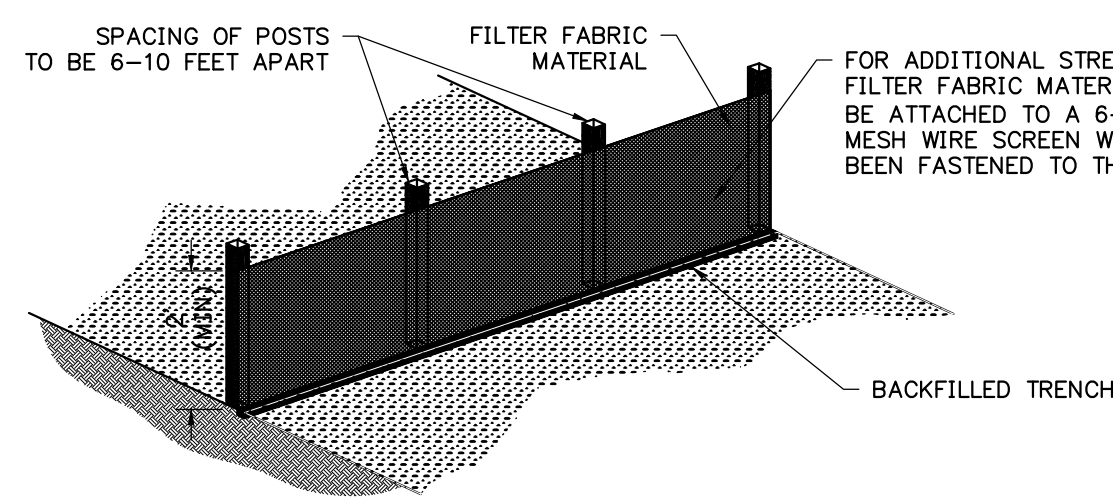
FLOW

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

N.T.S.

NOTES:

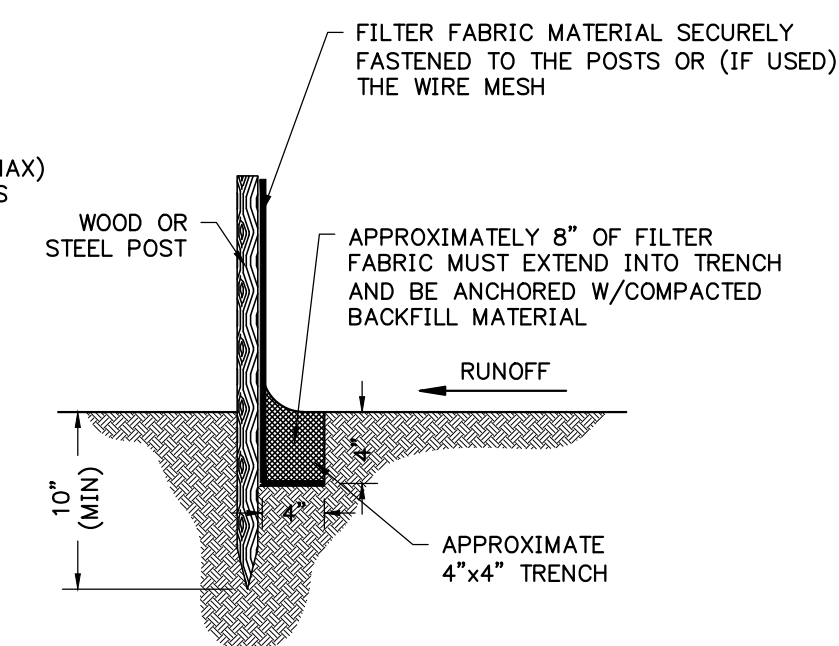
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.



TYPE III SILT FENCE

N.T.S.

PER PLATE 4.06D
FLORIDA EROSION AND
SEDIMENTATION CONTROL
INSPECTOR'S MANUAL



TYPE III SILT FENCE

N.T.S.

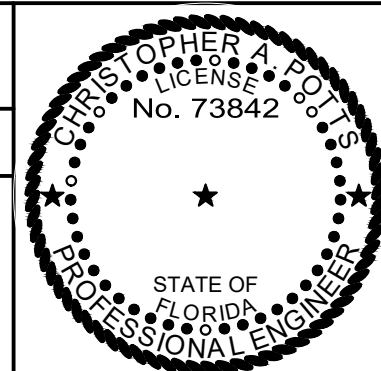
PER PLATE 4.06D
FLORIDA EROSION AND
SEDIMENTATION CONTROL
INSPECTOR'S MANUAL

REVISIONS			
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SHEET TITLE: **DETAILS AND NOTES**

DATE: **JUNE 2022**

PROJECT NO: **366-22-02**

CLIENT: **HIGH COTTON EQUITIES, LLC**

PROJECT: **SONIC RESTAURANT LAKE CITY, FLORIDA**

SHEET NO: **C5.0**