GROWTH MANAGEMENT
205 North Marion Ave.
Lake City, FL 32055
Telephone: (386)719-5750
E-Mail:
growthmanagement@lcfla.com

R PLANNING USE ONLY
Application # SPR23-13
Application Fee: $200.00
Receipt No. 2023-00062153
Filing Date 6/16/23
Completeness Date

Site Plan Application

A. PROJECT INFORMATION

1. Project Name: HCA Florida Lake City Hospital - Tower Expansion
2. Address of Subject Property: 340 NW Commerce Drive Lake City, Florida 32055
3. Parcel ID Number(s): 35-3S-16-02556-003
4. Future Land Use Map Designation: Commercial - Columbia County
5. Zoning Designation: CG (Commercial General Columbia County)
6. Acreage: +/- 41.25 AC
7. Existing Use of Property: Medical
8. Proposed use of Property: Medical
9. Type of Development (Check All That Apply):
   - [x] Increase of floor area to an existing structure: Total increase of square footage 65,094 SF
   - [ ] New construction: Total square footage
   - [ ] Relocation of an existing structure: Total square footage

B. APPLICANT INFORMATION

1. Applicant Status ■ Owner (title holder) ☐ Agent
2. Name of Applicant(s): Samuel Boadi Title: Chief Operating Officer
   Company name (if applicable): Notami Hospitals of Florida, Inc., dba HCA Florida Lake City Hospital
   Mailing Address: 340 NW Commerce Dr., Lake City, FL 32055
   City: Lake City State: FL Zip: 32055
   Telephone: (386) 719-9000 Fax: ( ) Email: Samuel.Boadi@hcahealthcare.com

   PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.
3. If the applicant is agent for the property owner*.
   Property Owner Name (title holder):
   Mailing Address:
   City: State: Zip:
   Telephone: ( ) Fax: ( ) Email:

   PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.
   ***Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**

C. ADDITIONAL INFORMATION

1. Is there any additional contract for the sale of, or options to purchase, the subject property?
   If yes, list the names of all parties involved:_____
   If yes, is the contract/option contingent or absolute: ☐ Contingent ☐Absolute
2. Has a previous application been made on all or part of the subject property? ■Yes ☐No
   Future Land Use Map Amendment: ☐Yes_____ ■No _____
   Future Land Use Map Amendment Application No. _____
   Site Specific Amendment to the Official Zoning Atlas (Rezoning): ☐Yes_____ ■No_____
   Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. _____
   Variance:☐Yes_____ ■No_____
   Variance Application No. _____
   Special Exception: ☐Yes_____ ■No_____
   Special Exception Application No. _____

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

✓ 1. Vicinity Map – Indicating general location of the site, abutting streets, existing utilities, complete legal description of the property in question, and adjacent land use.

✓ 2. Site Plan – Including, but not limited to the following:

a. Name, location, owner, and designer of the proposed development.
b. Present zoning for subject site.
c. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties and any screening or buffers on such properties.
d. Date, north arrow, and graphic scale not less than one inch equal to 50 feet.
e. Area and dimensions of site (Survey).
f. Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.
g. Access to utilities and points of utility hook-up.
h. Location and dimensions of all existing and proposed parking areas and loading areas.
i. Location, size, and design of proposed landscaped areas (including existing trees and required landscaped buffer areas).
j. Location and size of any lakes, ponds, canals, or other waters and waterways.
k. Structures and major features fully dimensioned including setbacks, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and percent of property covered by structures.
l. Location of trash receptacles.
m. For multiple-family, hotel, motel, and mobile home park site plans:
   i. Tabulation of gross acreage.
   ii. Tabulation of density.
   iii. Number of dwelling units proposed.
   iv. Location and percent of total open space and recreation areas.
   v. Percent of lot covered by buildings.

vi. Floor area of dwelling units.
vii. Number of proposed parking spaces.
viii. Street layout.
ix. Layout of mobile home stands (for mobile home parks only).

6. Stormwater Management Plan—Including the following:
   a. Existing contours at one foot intervals based on U.S. Coast and Geodetic Datum.
   b. Proposed finished elevation of each building site and first floor level.
   c. Existing and proposed stormwater management facilities with size and grades.
   d. Proposed orderly disposal of surface water runoff.
   e. Centerline elevations along adjacent streets.
   f. Water management district surface water management permit.

7. Fire Department Access and Water Supply Plan: The Fire Department Access and Water Supply Plan must demonstrate compliance with Chapter 18 of the Florida Fire Prevention Code, be located on a separate signed and sealed plan sheet, and must be prepared by a professional fire engineer licensed in the State of Florida. The Fire Department Access and Water Supply Plan must contain fire flow calculations in accordance with the Guide for Determination of Required Fire Flow, latest edition, as published by the Insurance Service Office ("ISO") and/or Chapter 18, Section 18.4 of the Florida Fire Prevention Code, whichever is greater.

8. Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities. For commercial and industrial developments, an analysis of the impacts to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts are required.

9. Comprehensive Plan Consistency Analysis: An analysis of the application's consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies).

10. Legal Description with Tax Parcel Number (In Word Format).

11. Proof of Ownership (i.e. deed).

12. Agent Authorization Form (signed and notarized).

13. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector's Office).

14. Fee. The application fee for a Site and Development Plan Application is $200.00. No application shall be accepted or processed until the required application fee has been paid.

NOTICE TO APPLICANT

All eleven (11) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

A total of ten (10) copies of proposed site plan application and all support materials must be submitted along with a PDF copy on a CD. See City of Lake City submittal guidelines for additional submittal requirements.

THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORETHE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES. OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

Samuel Boadi, Chief Operating Officer

Applicant/Agent Name (Type or Print)

Applicant/Agent Signature — Date: 6/7/23

Applicant/Agent Name (Type or Print)

Applicant/Agent Signature — Date

STATE OF FLORIDA
COUNTY OF Columbia

The foregoing instrument was acknowledged before me this June day of 7, 2023, by (name of person acknowledging). Samuel Boadi

(NOTARY SEAL or STAMP) CHARLOTTE R. DEVANEY Notary Public - State of Florida Commission # GG 960979 My Comm. Expires Jun 16, 2024 Bonded through National Notary Assn.

Charlotte R. DeVaney
Signature of Notary

Charlotte R. DeVaney
Printed Name of Notary

Personally Known ✓ OR Produced Identification _____
Type of Identification Produced

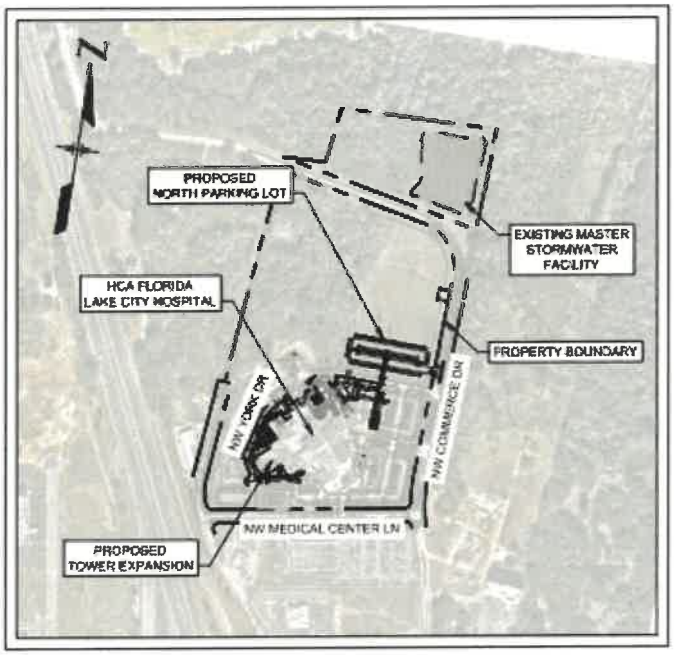
Kimley»Horn

Vicinity Map
For

HCA Florida Lake City Hospital

June 16, 2023

Please see vicinity map on the cover sheet of the plan set.



SITE LOCATION MAP
N.T.S.

CIVIL DOCUMENTS FOR

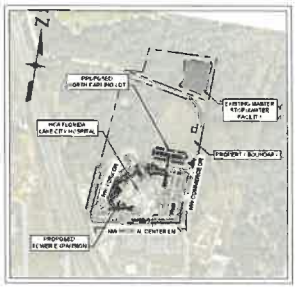
HCA FLORIDA LAKE CITY HOSPITAL

TOWER EXPANSION

LAKE CITY, FLORIDA

EARLY RELEASE PACKAGE 6/15/2023

STATE MAP
N.T.S.



SITE LOCATION MAP
N.T.S.

Sheet List Table

Sheet Number	Sheet Title
C000	COVER SHEET
[illegible]	GENERAL NOTES
C001	SURVEY BY OTHERS (1 OF 4)
C002	SURVEY BY OTHERS (2 OF 4)
C003	SURVEY BY OTHERS (3 OF 4)
C004	SURVEY BY OTHERS (4 OF 4)
C100	EXISTING CONDITIONS - OVERALL
C200	DEMOLITION PLAN - TOWER & POWERHOUSE
C201	DEMOLITION PLAN - NORTH PARKING LOT
C300	EROSION CONTROL - TOWER
C301	EROSION CONTROL - POWERHOUSE & NORTH PARKING LOT
C302	EROSION CONTROL DETAILS
C400	SITE LAYOUT - OVERALL
C401	SITE LAYOUT ENLARGEMENT - TOWER
C402	SITE LAYOUT ENLARGEMENT - POWERHOUSE & NORTH PARKING LOT
C500	GRADING & DRAINAGE - TOWER
C501	GRADING & DRAINAGE - POWERHOUSE & NORTH PARKING LOT
C600	SITE UTILITY PLAN
C700	SITE DETAILS
C701	UTILITY DETAILS

SITE DATA TABLE

OWNER OF RECORD	NORTH FLORIDA HOSPITAL OF FL INC
SITE ADDRESS	340 NW COMMERCE DRIVE, LAKE CITY, FL 32055
TOTAL PARCEL AREA	11.13 AC
PROJECT DISTURBANCE AREA (TOWER EXPANSION)	0.9 ACRES
PROJECT DISTURBANCE AREA (NORTH PARKING LOT)	2.8 ACRES
PARCEL TAX NUMBER	35-3S-16-02756-001
ZONING DISTRICT	CG (COMMERCIAL GENERAL)
EXISTING LAND USE	MEDICAL
FEMA FLOOD ZONE	X(UNSHADED) AND X(SHADED) DATED 06/06/2000 - FEMA FLOOD ZONE X

SETBACKS	REQUIRED	EXISTING/ PROPOSED
PARCEL FRONT	30	30
PARCEL SIDE	10	10
PARCEL REAR	15	17
LANDSCAPE BUFFERS		
LANDSCAPE BUFFERS	10	10
BUILDING DATA		
FLOOR AREA RATIO (FAR)	1	TBD

PROJECT DESIGN TEAM

ARCHITECT
GRESHAM SMITH AND PARTNERS
222 2ND AVE SOUTH SUITE 1400
NASHVILLE, TN 37201
(615) 770-8100
ANNA BARNES

LANDSCAPE ARCHITECT
KIMLEY-HORN AND ASSOCIATES, INC.
2618 CENTENNIAL BOULEVARD, SUITE 200
TALLAHASSEE, FL 32308
(850) 563-5512
CONTACT: CHARLIE JOHNSON, PLA, ASLA
CHARLIE.JOHNSON@KIMLEY-HORN.COM

CIVIL ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
2618 CENTENNIAL BOULEVARD, SUITE 200
TALLAHASSEE, FL 32308
(850) 563-5512
EOR: KELSEY LEWIS, P.E.
KELSEY.LEWIS@KIMLEY-HORN.COM
PROJECT MANAGER: MATTHEW HAMBY P.E. (TN)

SURVEY
SOUTHEASTERN SURVEYING, INC.
801 N. ST. AUGUSTINE RD.
VALDOSTA, GA 31601
(229) 244-8486
CONTACT: BARBARA L. HERRING

GEOTECH / ENVIRONMENTAL
INTERTEK-PSI
1748 23RD STREET
ORLANDO, FL 32839
407-425-7575
MAX MCGAHAN, P.E.
MAX.MCGAHAN@INTERTEK.COM

SERVICE PROVIDERS

NATURAL GAS
CITY OF LAKE CITY
992 SW ST. MARGARET'S STREET
LAKE CITY, FL32026
(386) 752-5398
CONTACT: STEVE BROWN

ELECTRIC SERVICE
FLORIDA POWER & LIGHT
3874 NE BASCOM NORRIS DR.
LAKE CITY, FL
386-754-3027
CONTACT: AMBER HUDSON

WATER & SEWER
CITY OF LAKE CITY
992 SW ST. MARGARET'S STREET
LAKE CITY, FL32025
(386) 752-5450
CONTACT: BRIAN SCOTT

Kimley»Horn

PER SURVEY BY SOUTHEASTERN SURVEYING, INC., DATED SEPTEMBER 14, 2021, HORIZONTAL AND VERTICAL CONTROL BASED UPON NAD 1983, NAVD 1988 FLORIDA NORTH ZONE

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

CALL 2 WORKING DAYS BEFORE YOU DIG
IT'S THE LAW!
DIAL 811
811 Know what's below. Call before you dig.
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

Gresham Smith
GreshamSmith.com

ARCHITECT, INTERIOR DESIGN, GRAPHICS
Gresham Smith
222 2nd Avenue South, Suite 1400
Nashville, TN 37201-2168
615.770.8100
FL Cert/Reg No. AR0013420
FL Registry No. RY2806
Architect/Interior Designer of Record
Eric W. Snyder
Florida Registration #86187
Project Principal: Rob Hamby
Project Architect: Eric Snyder
Project Coordinator: Tina Myers
Interior Designer: Morgan Black

STRUCTURAL
Stanley D. Lindsey & Associates, Ltd. / LRT-Malcom P.A/ Michael Harry
750 Old Hickory Blvd Building 1, Suite 175
Brentwood, TN 37027
615.370.1730
FL Cert/Reg No. 30300
FL Registry No. 1529
Project Principal Engineer
Mark Weber
Structural Engineer of Record
Michael E. Corrin
Florida Registration #82925

MEP
I.C. Thomasson Associates, Inc.
2400 Kraft Drive, Suite 500
Nashville, TN 37204
615.346.3400
FL Cert/Reg No. 30870
FL Registry No. 1276
MEP Principal: Josh Cartwright
MEP Proj Mngr: Paul C. McKinney
Mech Engineer of Record
Shane Gallman
Florida Registration #81096
Plumb'ng P. Designer
Donna Siegel
Elec. Engineer of Record
Paul C. McKinney
Florida Registration #56596

CIVIL & LANDSCAPE
Kimley-Horn
2618 Centennial Blvd Suite 200
Tallahassee, FL 32308
850.553.3500
FL Cert/Reg No. 49620
FL Registry No. 884
EOR: Kelsey Lewis, PE
Florida Registration #79584
Proj Mngr: Matthew Hamby
Landscape ARC: Charlie Johnson
Florida Reg #0007402

ICT
I.C. Thomasson Associates, Inc.
CONSULTING ENGINEERS
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1966 SDL STRUCTURAL ENGINEERS

Kimley»Horn
2618 CENTENNIAL BLVD SUITE 200,
TALLAHASSEE, FL 32308

HCA Healthcare
HCA Design & Construction
One Park Place, PO Box 550
Bldg. B East 3rd Floor
Nashville, TN 37203
HCA Design Mgr.: Nicole Hosh
HCA Const. Mgr.: Sam McAdam

General Contractors
Robins & Morton
5000 Maryland Way, Suite 100
Brentwood, TN 37027

TOWER EXPANSION

HCA Florida Lake City Hospital
340 NW Commerce Dr.
Lake City, FL 32055
HCA Project No. 3793800016
Florida AHCA
Project Submission No.
Client Code / File No.

Revision		
No.	Date	Description

COVER SHEET

C000

KGA PROJECT: 118029017
CSR PROJECT: 46183.00
DATE: 06/15/2023

LINE IS 3 INCHES WHEN PRINTED FULL SIZE
FULL SHEET SIZE = 30"x42"

GENERAL CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING TO DETERMINE EXISTING CONDITIONS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK AND ALL OTHER DELETERIOUS MATERIAL.

2. ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME THE DRAWINGS WERE PREPARED. THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE THE CONTRACTOR COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. A LIST OF THE UTILITY COMPANIES WHICH THE CONTRACTOR MUST CALL BEFORE COMMENCING WORK IS PROVIDED ON THE COVER SHEET OF THESE CONSTRUCTION PLANS. THIS LIST SERVES AS A GUIDE ONLY AND IS NOT INTENDED TO LIMIT THE UTILITY COMPANIES WHICH THE CONTRACTOR MAY WISH TO NOTIFY.

4. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL REQUIRED CONSTRUCTION PERMITS AND BONDS PRIOR TO CONSTRUCTION.

5. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.

6. ANY DISCREPANCIES ON THE CONSTRUCTION DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.

7. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER AND TO THE ENGINEER OF RECORD DIRECTLY FROM THE TESTING AGENCY WITHIN ONE (1) WEEK OF TESTS BEING PERFORMED.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL CERTIFIED RECORD SURVEYS SHALL BE PROVIDED TO THE ENGINEER AT LEAST 30 DAYS PRIOR TO CONTRACTED COMPLETION DATE.

9. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES, JURISDICTIONAL AGENCIES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.

10. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS, BUILDING UTILITY ENTRANCE LOCATIONS/INVERTS, DOWN SPOUTS AND BOLLARDS IN BUILDING SIDEWALKS. ALSO REFER TO ARCHITECTURAL PLANS FOR LOCATIONS AND MOUNTING INSTRUCTIONS FOR WALL-MOUNTED SIGNS AND LIGHT FIXTURES.

11. THESE PLANS ARE INTENDED TO AND SHALL COMPLY WITH THE CURRENT AMERICANS WITH DISABILITIES ACT AND THE CURRENT FLORIDA ACCESSIBILITY CODE.

12. ALL VEGETATION FROM CLEARING / GRUBBING WILL BE DISPOSED OF LEGALLY OFF-SITE.

GRADING NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

2. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.

3. PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION.

4. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.

5. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISHED GRADE. LIDS SHALL BE LABELED "STORM SEWER".

6. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.

7. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.

8. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR IN THE STATE OF FLORIDA TO THE OWNER FOR REVIEW.

9. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.

10. PIPE LENGTHS LISTED ARE BASED ON HORIZONTAL DISTANCE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE AND USED FOR DESIGN. CONTRACTOR TO FIELD VERIFY ACTUAL PIPE LENGTHS NEEDED FOR CONSTRUCTION.

11. SIDEWALKS ARE DESIGNED TO MEET ADA REQUIREMENTS WITH A MAX LONGITUDINAL SLOPE OF 5% AND A MAX CROSS SLOPE OF 2%. THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY IF SLOPES DO NOT MEET THESE ADA REQUIREMENTS.

12. ALL DISTURBED AREAS SHALL BE SODDED.

13. COORDINATE WITH ARCHITECTURAL DRAWINGS WITHIN 5 FEET OF PROPOSED BUILDING AND AS NOTED ON THE PLANS

UTILITY NOTES

1. ALL FILL MATERIAL SHALL BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.

2. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.

3. SANITARY SEWER PIPE SHALL BE AS FOLLOWS
   4" TO 15", PVC PER ASTM D3034, SDR 26
   16" AND GREATER, PVC PER C905, SDR 25

4. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.

5. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.

6. TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND TO BE SIX INCHES ABOVE FINISHED GROUND ELEVATIONS WITH WATER TIGHT LIDS.

7. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.

8. REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.

9. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE MOST CURRENT SPECIFICATIONS OF CITY OF LAKE CITY WITH REGARDS TO MATERIALS AND INSTALLATION OF THE SEWER LINES.

10. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

11. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES. THIS AND THE FINAL CONNECTIONS OF THE SERVICE SHALL BE COMPLETED 30 DAYS PRIOR TO STORE POSSESSION.

12. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.

13. ALL PULL BOXES IN PAVEMENT AREAS SHALL BE INSTALLED PER THE MANUFACTURER'S SPECIFICATION WITH A CONCRETE COLLAR AND A MINIMUM OF 8" OF COMPACTED GRAVEL PER PROJECT SPECIFICATIONS.

14. CONTRACTOR SHALL COORDINATE WITH TELEPHONE AND ELECTRIC COMPANY FOR ROUTING AND CONDUIT SPECIFICATIONS.

15. THE CONTRACTOR MUST CONTACT THE CITY OF LAKE CITY WATER RESOURCE SERVICE UTILITY INSPECTION SECTION AND LINE MAINTENANCE TO SET UP THE PRE-CONSTRUCTION MEETING.

16. CONTRACTOR SHALL COORDINATE WITH THE CITY OF LAKE CITY WATER RESOURCE SERVICES PRIOR TO THE SELECTION AND ORDERING OF THE WATER METER AND/OR BACKFLOW PREVENTION DEVICE ASSEMBLIES.

SRWMD STORMWATER MANAGEMENT FACILITY SUBMITTALS AND CERTIFICATION

1. WHEN A STORMWATER MANAGEMENT SYSTEM PERMITTED BY THE SUWANNEE RIVER WATER MANAGEMENT DISTRICT IS ALTERED DURING CONSTRUCTION, A FLORIDA REGISTERED PROFESSIONAL ENGINEER OR PERSON UNDER THEIR RESPONSIBLE SUPERVISION, DIRECTION, OR CONTROL MUST BE ON THE CONSTRUCTION SITE AS NEEDED TO CERTIFY THAT THE SYSTEM WAS CONSTRUCTED AS PERMITTED. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO ENSURE THE ENGINEER IS ON-SITE TO INSPECT THE ALTERATION OF THE STORMWATER MANAGEMENT FACILITY. THE ENGINEER MUST ALSO NOTIFY THE SRWMD SURFACE WATER REGULATION MANAGER OF THE LIVE OAK REGULATION DEPARTMENT AT LEAST 48 HOURS IN ADVANCE. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO PROVIDE ADEQUATE NOTICE TO THE ENGINEER.

2. WITHIN 30 DAYS AFTER COMPLETION OF THE CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITY, THE ENGINEER, ON BEHALF OF THE PERMITTEE, SHALL SUBMIT TO SRWMD A WRITTEN STATEMENT OF COMPLETION AND CERTIFICATION BY A REGISTERED PROFESSIONAL ENGINEER UTILIZING THE REQUIRED STATEMENT OF COMPLETION AND REQUEST FOR TRANSFER TO OPERATION ENTITY FORM IDENTIFIED IN CHAPTER 40D-1.659 OF THE FLORIDA ADMINISTRATIVE CODE. THIS PACKAGE MUST ALSO INCLUDE SIGNED, DATED, AND SEALED RECORD DRAWINGS. THE GENERAL CONTRACTOR MUST PROVIDE AS-BUILT SURVEYS TO THE ENGINEER WITHIN 10 DAYS OF COMPLETION OF THE STORMWATER MANAGEMENT FACILITY AND NO LATER THAN 30 DAYS PRIOR TO THE CONTRACTED COMPLETION DATE. THE AS-BUILT SURVEYS MUST MEET THE FOLLOWING REQUIREMENTS
   - PREPARED AND SIGNED BY A REGISTERED LAND SURVEYOR IN THE STATE OF FLORIDA
   - PRESENTED ON A PLAN INDICATING (AT A MINIMUM) THE HORIZONTAL LOCATION OF ALL STORMWATER FACILITY COMPONENTS INCLUDING BUT NOT LIMITED TO THE STORMWATER POND, RETAINING WALLS, STORMWATER STRUCTURES, PIPES, AND FILTRATION SYSTEM
   - INCLUDE VERTICAL LOCATIONS (AT A MINIMUM) FOR ALL STORMWATER PIPE AND STRUCTURE INVERT ELEVATIONS, STORMWATER PONDS, RETAINING WALLS, TOP/GRATE ELEVATIONS, PIPE SIZES, AND PIPE TYPES.
   - THE AS-BUILT SURVEY REQUIREMENTS OF THE SRWMD, FDOT, AND COLUMBIA COUNTY

HISTORIC RESOURCES STATEMENT

THE FOLLOWING REQUIREMENTS APPLY TO ALL BUILDING CONSTRUCTION OR ALTERATION, OR LAND ALTERATION ACTIVITIES.

A. IF EVIDENCE OF EXISTENCE OF HISTORIC RESOURCES IS DISCOVERED OR OBSERVED AT DEVELOPMENT SITES OR DURING DEVELOPMENT ACTIVITIES AFTER FINAL APPROVAL, ALL WORK SHALL CEASE IN THE AFFECTED AREA. THE DEVELOPER, OWNER, CONTRACTOR, OR AGENT THEREOF SHALL NOTIFY THE FLORIDA DIVISION OF HISTORICAL RESOURCES WITHIN TWO WORKING DAYS. EXAMPLES OF EVIDENCE OF HISTORIC RESOURCES INCLUDE WHOLE OR FRAGMENTARY STONE TOOLS, SHELL TOOLS, ABORIGINAL OR HISTORIC POTTERY, HISTORIC GLASS, HISTORIC BOTTLES, BONE TOOLS, HISTORIC BUILDING FOUNDATIONS, SHELL MOUNDS, SHELL MIDDENS, OR SAND MOUNDS.

B. IF ANY HUMAN SKELETAL REMAINS OR ASSOCIATED BURIAL ARTIFACTS ARE DISCOVERED AT DEVELOPMENT SITES OR DURING DEVELOPMENT ACTIVITY, ALL WORK IN THE AREA MUST CEASE, AND THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE NEAREST LAW ENFORCEMENT OFFICE. ACCORDING TO CHAPTER 872, FLORIDA STATUTES, IT IS UNLAWFUL TO DISTURB, VANDALIZE, OR DAMAGE A HUMAN BURIAL.

MAINTENANCE OF TRAFFIC NOTES

1. ALL EXISTING PAVEMENT MARKINGS OUTSIDE THE CONSTRUCTION LIMITS THAT HAVE BEEN ALTERED BECAUSE OF CONSTRUCTION OPERATIONS SHALL BE REPLACED UPON THE COMPLETION OF THE PROJECT.

2. PEDESTRIANS, BICYCLES, AND WHEELCHAIRS AT THE END OF EACH WORKDAY OR WHENEVER THE WORK ZONE BECOMES INACTIVE, ANY DROP-OFF ADJACENT TO A SIDEWALK SHALL BE BACKFILLED AT A SLOPE NOT TO EXCEED 1:4.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REMOVAL OF STORMWATER FROM ROADWAYS UTILIZED FOR TRAFFIC CONTROL IN A MANNER APPROVE BY THE ENGINEER.

CLEARING AND GRUBBING:

A. DO NOT EXCEED CLEARING AND GRUBBING LIMITS OF CONSTRUCTION LINES INDICATED ON THE PLANS.

B. ALL AREAS OUTSIDE THE LIMITS OF CONSTRUCTION LINE SHALL NOT BE CROSSED BY HEAVY EQUIPMENT OR USED FOR STORING HEAVY EQUIPMENT OR MATERIALS.

C. NO EQUIPMENT SHALL BE STORED UNDER THE DRIP LINE OF TREES TO REMAIN.

D. DO NOT FALL ANY TREES OR PUSH PILES OF DEBRIS AGAINST ANY TREES TO REMAIN.

E. REMOVE ALL STUMPS, ROCKS, ASPHALT & CONCRETE DEBRIS, ETC. AND DISPOSE OFF SITE IN ACCORDANCE WITH LOCAL, STATE & FEDERAL REGULATIONS.

F. CONTACT ALL UTILITY AUTHORITIES WHO HAVE LINES WITHIN THE CLEARING AND GRUBBING LIMITS BEFORE STARTING WORK

G. ALL EROSION CONTROL SEDIMENT BARRIERS, SILT FENCES, AND TREE PROTECTION DEVICES SHALL BE INSTALLED PRIOR TO STARTING CLEARING AND GRUBBING.

H. AFTER STAKING IS COMPLETED, TREES WITHIN GRADING LIMITS TO BE SAVED WILL BE IDENTIFIED BY THE OWNER'S REPRESENTATIVE, FIELD CHANGES TO GRADING PLANS SHALL BE MADE FOR SMOOTH TRANSITION OF GRADES AROUND ALL TREES WHICH REQUIRE TREE WELLS WITHIN THE GRADING LIMITS.

I. ALL CLEARING SHALL BE LIMITED TO AREAS TO BE GRADED WITHIN 15 CALENDAR DAYS.

EROSION AND SEDIMENT CONTROL INFORMATION:

1. COMPREHENSIVE

A. CONTRACTOR SHALL SUBMIT NPDES NOTICE OF INTENT (NOI) FOR A CONSTRUCTION GENERAL PERMIT (CGP) WITH FDEP.

B. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.

C. PROVISIONS TO PREVENT EROSION OF SOIL FROM THE SITE SHALL BE AT A MINIMUM IN CONFORMANCE WITH THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) BMP HANDBOOKS. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

D. FAILURE TO INSTALL, OPERATE, OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB SITE UNTIL SUCH MEASURES ARE CORRECTED BACK TO THE STANDARDS SPECIFIED IN THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) BMP HANDBOOKS.

E. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

F. EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.

G. THE CONSTRUCTION OF THE SITE WILL COMMENCE WITH THE INSTALLATION OF EROSION CONTROL MEASURES SUFFICIENT TO CONTROL SEDIMENT DEPOSITS AND EROSION. ALL SEDIMENT CONTROL WILL BE MAINTAINED UNTIL ALL UPSTREAM GROUND WITHIN THE CONSTRUCTION AREA HAS BEEN COMPLETELY STABILIZED WITH PERMANENT VEGETATION AND ALL ROADS/DRIVEWAYS HAVE BEEN PAVED.

H. CONSTRUCTION EXITS SHALL BE CONSTRUCTED AT EACH POINT OF ENTRY OR EXIT FROM THE SITE AND SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE AS CONDITIONS DEMAND, REPAIR, AND/OR CLEANOUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES OFF SITE ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. ACCESS POINTS PROTECTED WITH A CONSTRUCTION EXIT SHALL BE OTHERWISE BARRICADED UNTIL THE SITE IS STABILIZED.

I. ADDITIONAL EROSION CONTROL MEASURES WILL BE EMPLOYED WHERE DETERMINED NECESSARY BY ACTUAL SITE CONDITIONS.

2. DURING CONSTRUCTION

A. ON-SITE DUST CONTROL DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL LOCAL CODES AND REGULATIONS.

B. THE CONTRACTOR SHALL REMOVE ACCUMULATED SILT WHEN THE SILT HAS ACCUMULATED TO 1/2 THE ORIGINAL HEIGHT OF THE BARRIER.

C. ALL OPEN SWALES MUST BE GRASSED AND RIP-RAP MUST BE PLACED AS REQUIRED TO CONTROL EROSION. STONE FOR RIP-RAP SHALL CONSIST OF ROUGH UN-HEWN QUARRY GRANITE AS NEARLY IN RECTANGULAR SECTION AS PRACTICAL. THE MINIMUM SIZE STONE SHALL WEIGH BETWEEN 75 AND 150 POUNDS AND SHALL BE HAND PLACED AS A LOOSE STONE EMBANKMENT.

D. AT ANY TIME DURING CONSTRUCTION IF IT BECOMES NECESSARY TO PUMP STORM WATER OR GROUNDWATER FROM AN EXCAVATION, THE PUMPED WATER MUST NOT HAVE AN OBJECTIONABLE COLOR CONTRAST WHEN COMPARED TO THE RECEIVING WATERS AND MUST NOT IMPAIR IN ANY WAY THE RECEIVING WATERS. WATER THAT DOES NOT MEET THESE REQUIREMENTS MUST BE FILTERED OR DISCHARGED INTO A TEMPORARY SEDIMENT BASIN, WEIR TANK, DEWATERING TANK, GRAVITY BAG FILTER, SAND MEDIA FILTER, OR OTHER APPROVED DEVICE UNTIL IT MEETS THE EFFLUENT REQUIREMENTS. ONCE THE EFFLUENT REQUIREMENTS HAVE BEEN MET THE WATER MAY BE DISCHARGED INTO THE STORM SEWER SYSTEM.

THESE SAME REQUIREMENTS APPLY TO ALL AUTHORIZED NON-STORM WATER DISCHARGES UNDER THE STATE OF FLORIDA GENERAL NPDES PERMIT. AUTHORIZATION TO DISCHARGE UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.

E. NO GRADED SLOPE SHALL EXCEED 3H:1V UNLESS OTHERWISE NOTED.

F. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL ONLY BE REMOVED AFTER THE SITE HAS ESTABLISHED A SOLID, STABILIZED STAND OF GRASS.

DEMOLITION INFORMATION:

1. NOTIFICATIONS

THE CONTRACTOR SHALL NOTIFY THE OWNER AND CITY INSPECTOR(S) 24 HOURS PRIOR TO ANY DEMOLITION OR CONSTRUCTION.

2. DISPOSAL GUIDELINES

A. ONLY ITEMS SPECIFICALLY NOTED TO BE DEMOLISHED SHALL BE REMOVED FROM THE SITE.

B. REMOVE EXISTING PAVED AREAS AS SHOWN INCLUDING DRIVEWAYS, SIDEWALKS, PARKING AREAS, SERVICE AREAS, EQUIPMENT PADS, AND ALL MISCELLANEOUS PAVING.

C. ALL DEBRIS RESULTING FROM DEMOLITION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY BY THE CONTRACTOR IN ACCORDANCE WITH LOCAL STATE AND FEDERAL REGULATIONS. BACKFILL ALL TRENCHES AND EXCAVATIONS RESULTING FROM DEMOLITION.

D. ALL DEMOLISHED MATERIAL BECOMES THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE NOTED.

3. TREE PROTECTION GUIDELINES

PROTECT ALL EXISTING TREES NOTED 'TO REMAIN' AND ALL ITEMS TO BE TURNED OVER TO THE OWNER DURING DEMOLITION. TAKE ALL NECESSARY PRECAUTIONS AND PROTECTIVE MEASURES. ANY EXISTING ITEMS TO BE TURNED OVER TO THE OWNER WHICH ARE DAMAGED DURING DEMOLITION SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER. TREES WHICH ARE DAMAGED WILL BE REPLACED OR REIMBURSED AT A RATE TO BE DETERMINED BY THE OWNER.

4. UTILITIES

A. PRIOR TO REMOVING OR ABANDONING ANY UTILITY THE CONTRACTOR SHALL VERIFY THAT NO UPSTREAM SERVICE WILL BE TERMINATED. THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING OF ANY TERMINATION NOT SHOWN ON THE PLANS.

B. ALL ABANDONED WATER LINES, STORM SEWER PIPE, SANITARY SEWER PIPES, GAS LINES, OR ANY OTHER ABANDONED UNDERGROUND UTILITY SHALL BE ABANDONED IN PLACE UNLESS NOTED OTHERWISE.

Kimley»Horn

PER SURVEY BY SOUTHEASTERN SURVEYING, INC., DATED SEPTEMBER 14, 2021, HORIZONTAL AND VERTICAL CONTROL BASED UPON NAD 1983, NAVD 1988 FLORIDA NORTH ZONE

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

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811 Know what's below. Call before you dig.
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

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GreshamSmith.com

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HCA Constr. Mgr: Ben McAlpin

General Contractors
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5500 Maryland Way, Suite 100
Brentwood, TN 37027

TOWER EXPANSION

HCA Florida Lake City Hospital
340 NW Commerce Dr.
Lake City, FL 32055
HCA Project No. 3793800016
Florida AHCA
Project Submission No.
Client Code / File No.

Revision		
No.	Date	Description

GENERAL NOTES

C001

KHA PROJECT 118099017
GSP PROJECT 46183.00
DATE 09/15/2023

LINE IS 3 INCHES WHEN PRINTED FULL SIZE
FULL SHEET SIZE = 30"X42"

TOPOGRAPHIC SURVEY FOR:

LAKE CITY MEDICAL CENTER
NOTAMI HOSPITALS OF FLORIDA, INC.

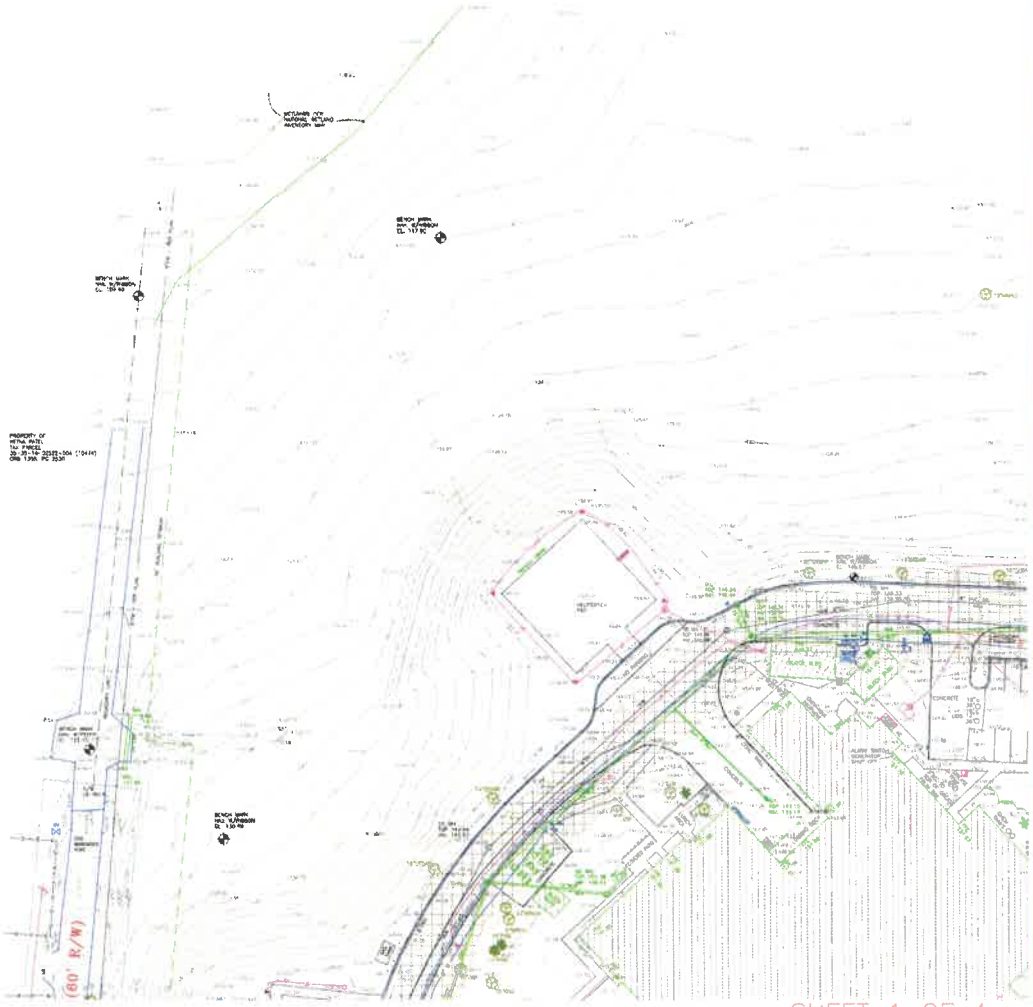
SECTION 35, TOWNSHIP 3 SOUTH, RANGE 16
EAST, LAKE CITY, COLUMBIA COUNTY, FLORIDA

DATE: SEPTEMBER 14, 2021
REVISED: NOVEMBER 17, 2021

NOTES:

- HORIZONTAL AND VERTICAL CONTROL BASED UPON NAD 1983, NAVD 1988 FLORIDA NORTH ZONE
- UNDERGROUND UTILITIES SHOWN ARE BASED UPON UTILITIES MARKED BY RHD UTILITY LOCATORS, VISUAL INSPECTION, OR INFORMATION PROVIDED BY CLIENT.
- THIS MAP IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- ADDITIONS OR DELETIONS TO THE SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- PER F.E.M.A. MAP 12023C0390D DATED 11-2-18, THIS PROPERTY IS LOCATED IN A "X" ZONE AND IS NOT IN A 100-YR FLOOD ZONE.
- THIS SURVEY WAS PERFORMED WITHOUT BENEFIT TITLE OR ABSTRACT OR OPINION. THERE MAY BE DEEDS OR RECORD, UNRECORDED DEEDS, EASEMENTS OR RIGHT-OF-WAYS WHICH COULD AFFECT THE BOUNDARIES OR USE OF SUBJECT PROPERTY.
- EASEMENTS SHOWN ARE PER INFORMATION FOUND IN THE RECORDS OF COLUMBIA COUNTY, FLORIDA.
- THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND BY A MORE IN DEPTH SEARCH OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.
- THERE WERE NO VISIBLE SIGNS OF FLAGGED WETLANDS AT THE TIME OF SURVEY.
- THERE WERE NO VISIBLE SIGNS OF RECENT EARTHWORK MOVING, CEMETERIES, RECENT ROAD OR SIDEWALK CHANGES AT THE TIME OF THIS SURVEY.
- PER INFORMATION RECEIVED BY THE CITY OF LAKE CITY – N.W. COMMERCE DRIVE IS BEING MAINTAINED BY COLUMBIA COUNTY.
- PER INFORMATION RECEIVED BY COLUMBIA COUNTY N.W. KNIGHTS AVENUE IS BEING MAINTAINED BY COLUMBIA COUNTY AND NW MEDICAL CENTER LANE IS BEING MAINTAINED BY THE CITY OF LAKE CITY.
- NO RIGHT-OF-WAY DEEDS WERE FOUND IN A SEARCH OF THE RECORDS OF COLUMBIA COUNTY FOR N.W. MEDICAL CENTER LANE, N.W. YORK DRIVE OR N.W. COMMERCE DRIVE.
- BUILDING SETBACK IS SHOWN AS 30' AND BASED UPON THE WIDTH OF THE RIGHT-OF-WAY.
- TAX PARCEL 35-3S-16-02556-003 (10528)
- PROPERTY OF NOTAMI HOSPITALS OF FLORIDA INC.
- PROPERTY ZONED: CG CD

	DENOTES UTILITY EASEMENT
	FLOW DIRECTION
IR	IRRIGATION VALVE
RD	ROOF DRAIN
PED-X	PEDESTRIAN CROSSING
	HANDICAP PARKING
GV	GAS VALVE/METER
CWG	CURB & GUTTER
UG	UNDERGROUND GAS
	WATER VALVE
	FIRE HYDRANT
FFE	FINISHED FLOOR ELEVATION
UCB	IN GROUND TELEPHONE/COMMUNICATION
	FIRE DEPARTMENT CONNECT
	LIGHT
PCU	POWER POLE
	GUY WIRE
W	WATER LINE
UE	UNDERGROUND ELECTRIC
	TRANSFORMER
EM	ELECTRIC METER
	CLEAN OUT
	WELL
SS MH	SEWER MANHOLE
	POST INDICATOR VALVE
MAG	MAGNOLIA
CM	CRAPE MYRTLE
SI	STOP SIGN
DI	DROP INLET
BM	BENCH MARK
SD	STORM DRAIN
AC	AIR CONDITIONER
STORM MH	STORM MANHOLE
SS	SANITARY SEWER
BFP	BACK FLOW PREVENTER
W/W	NAIL W/WASHER



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HCA Constr. Mgr.: Sam Mahjoo

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TOWER EXPANSION

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HCA Project No. 3793800016
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Project Submission No.
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Revision		
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SURVEY BY OTHERS (1 OF 4)

C002

HCA PROJECT 118096017
GSP PROJECT 46183.00
DATE 08/12/2022

LINE IS 1 INCHES WHEN PRINTED FULL SIZE
FULL SHEET SIZE = 30"X42"

Kimley»Horn

PER SURVEY BY SOUTHEASTERN SURVEYING, INC., DATED SEPTEMBER 14, 2021, HORIZONTAL AND VERTICAL CONTROL BASED UPON NAD 1983, NAVD 1988 FLORIDA NORTH ZONE

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

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DIAL 811
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LAKE CITY MEDICAL CENTER NOTAMI HOSPITALS OF FLORIDA, INC.

SECTION 35, TOWNSHIP 3 SOUTH, RANGE 16 EAST, LAKE CITY, COLUMBIA COUNTY, FLORIDA

DATE: SEPTEMBER 14, 2021
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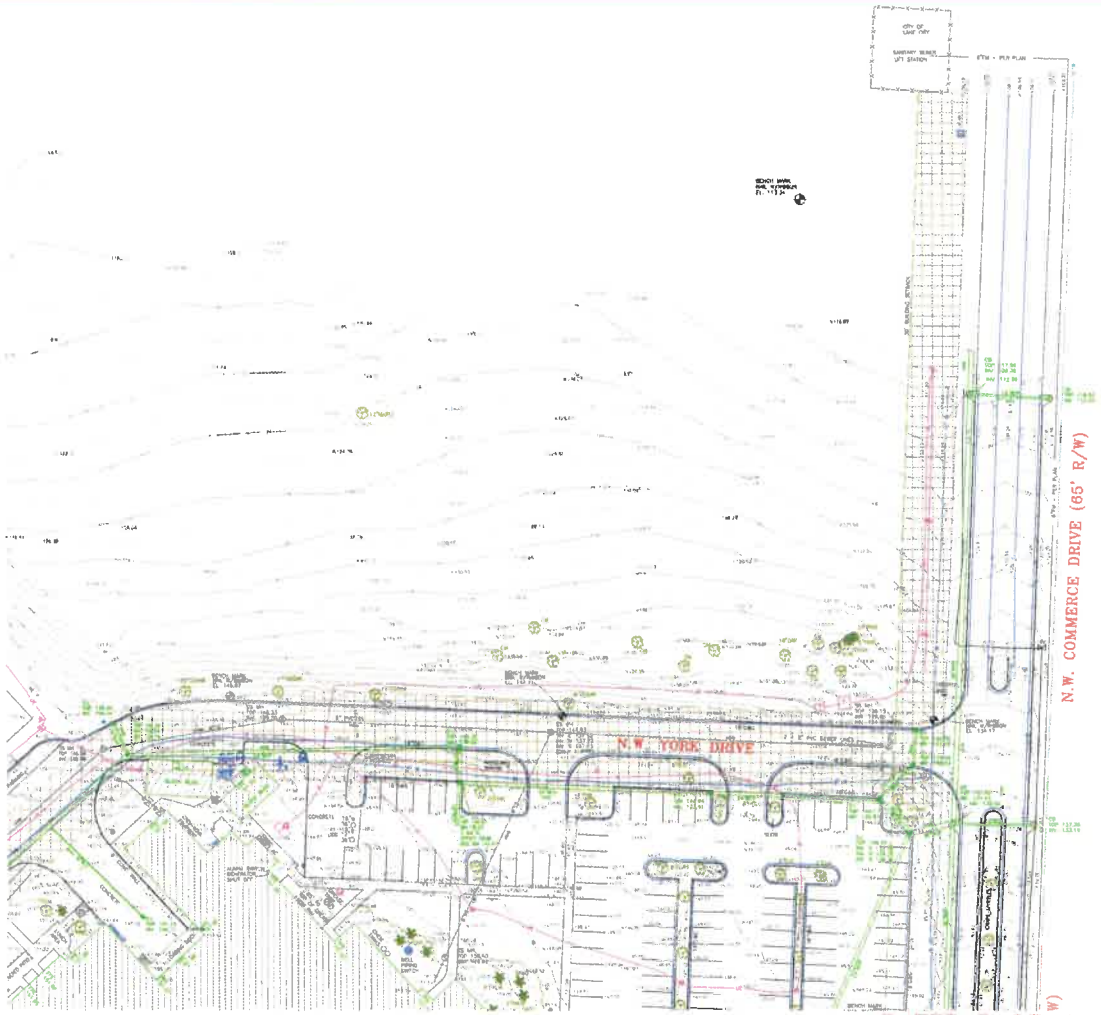

- FLOW DIRECTION
- IRRIGATION VALVE
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- HANDICAP PARKING
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- C&G CURB & GUTTER
- UG UNDERGROUND GAS
- WATER VALVE
- FH FIRE HYDRANT
- FFE FINISHED FLOOR ELEVATION
- UCO IN GROUND TELEPHONE/COMMUNICATION
- FIRE DEPARTMENT CONNECT
- LIGHT
- PP POWER POLE
- GUY WIRE
- W WATER LINE
- UE UNDERGROUND ELECTRIC
- TRANSFORMER
- ELECTRIC METER
- CLEAN OUT
- WELL
- SS MH SEWER MANHOLE
- POST INDICATOR VALVE
- MAG MAGNOLIA
- CM CRAPE MYRTLE
- SIGN STOP SIGN
- DI DROP INLET
- BM BENCH MARK
- SD STORM DRAIN
- AC AIR CONDITIONER
- SDMH STORM MANHOLE
- SS SANITARY SEWER
- BFP BACK FLOW PREVENTER
- N/W NAIL W/WASHER

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GA Certificate of Authorization No. 485

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BARBARA L. HERRING STATE OF FLORIDA PROFESSIONAL SURVEYOR & MAPPER 6194

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ARCHITECT, INTERIOR DESIGN, GRAPHICS
Gresham Smith
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FL Qualifier No. AR0013420
FL Registry No. IR13888
Architect/Interior Designer of Record
Eric M. Snyder
Florida Registration #86187
Project Principal: Rob Hanley
Project Architect: Eric Snyder
Project Coordinator: Tina Byers
Interior Designer: Morgan Black

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FL Registry No. 1278
MEP Principal: Josh Cartwright
MEP Proj Mngr: Paul C. McKenney
Mech Engineer of Record
Steven Sullivan
Florida Registration #61298
Plumb/Fire P. Designer
Donna Siegel
Elec. Engineer of Record
Paul C. McKenney
Florida Registration #56669

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FL Registry No. 1329
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Structural Engineer of Record
Michael E. Carter
Florida Registration #42025

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Tallahassee, FL 32308
850.553.3500
FL Qualifier No. 4936
FL Registry No. 846
EOR: Kelsey Lewis PE
Florida Registration #78384
Proj Mngr: Matthew Hanby
Landscape AOR: Charlie Johnson
Florida Reg #0667462

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HCA Healthcare
HCA Design & Construction
One Park Place, PO Box 550
Bldg. 8 East 3rd Floor
Nashville, TN 37203
HCA Design Mgr.: Noelle Hook
HCA Const. Mgr.: Ben McAlpin

General Contractors
Robins & Morton
5000 Maryland Way, Suite 100
Brentwood, TN 37027

TOWER EXPANSION

HCA Florida Lake City Hospital
340 NW Commerce Dr.
Lake City, FL 32055
HCA Project No. 3793800016
Florida AHCA
Project Submission No.
Client Code / File No.

Revision		
No.	Date	Description

SURVEY BY OTHERS (2 OF 4)

C003

KHA PROJECT: 118099037
DRAWN BY: 146183.00
DATE: 09/15/2023

LINES & LETTERS SHOWN PRINTED FULL SIZE
FULL SHEET SET = 30"x42"

TOPOGRAPHIC SURVEY FOR:

LAKE CITY MEDICAL CENTER
NOTAMI HOSPITALS OF FLORIDA, INC.

SECTION 35, TOWNSHIP 3 SOUTH, RANGE 16 EAST, LAKE CITY, COLUMBIA COUNTY, FLORIDA

DATE: SEPTEMBER 14, 2021
REVISED: NOVEMBER 17, 2021

- FLOW DIRECTION
- IR – IRRIGATION VALVE
- RD – ROOF DRAIN
- PED-X – PEDESTRIAN CROSSING
- HC – HANDICAP PARKING
- GV – GAS VALVE/METER
- C&G – CURB & GUTTER
- UG – UNDERGROUND GAS
- WV – WATER VALVE
- FH – FIRE HYDRANT
- FFE – FINISHED FLOOR ELEVATION
- UCO – IN GROUND TELEPHONE/COMMUNICATION
- FDC – FIRE DEPARTMENT CONNECT
- LIGHT
- PO – POWER POLE
- GW – GUY WIRE
- W – WATER LINE
- UE – UNDERGROUND ELECTRIC
- TR – TRANSFORMER
- EM – ELECTRIC METER
- CO – CLEAN OUT
- WELL
- SS MH – SEWER MANHOLE
- PIV – POST INDICATOR VALVE
- MAG – MAGNOLIA
- CM – CRAPE MYRTLE
- STOP SIGN
- DI – DROP INLET
- BM – BENCH MARK
- SD – STORM DRAIN
- AC – AIR CONDITIONER
- STORM MANHOLE
- SS – SANITARY SEWER
- BFP – BACK FLOW PREVENTER
- N/W – NAIL W/WASHER

Southeastern Surveying, Inc.
801 N St. Augustine Rd. Telephone: 229-559-9488
Valdosta, GA 31601 Fax: 229-559-9488
E-mail: bharring@seasurveying.com
GA Certificate of Authorization #LB-7091

Barbara L. Herring
Registered Surveyor: Barbara L. Herring
Registration Number: 6194
In the State of: Florida
Corporate License #7091

SHEET 3 OF 4

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GreshamSmith.com

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Project Architect Eric Snyder
Project Coordinator Tina Myers
Interior Designer Morgan Black

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MEP Proj Mngr Paul C. McKenney
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Dennis Siegel
Elec. Engineer of Record
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FL Registry No. 886
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Proj Mngr Matthew Hendley
Landscape ADR Charlie Johnson
Florida Reg #0001482

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HCA Design & Construction
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Bldg. 2, East 3rd Floor
Nashville, TN 37203
HCA Design Mgr. Needs Hash
HCA Const. Mgr. Sam Mellen

General Contractors
Robins & Morton
5500 Maryland Way, Suite 100
Brentwood, TN 37027

TOWER EXPANSION

HCA Florida Lake City Hospital
340 NW Commerce Dr.
Lake City, FL 32055
HCA Project No. 3793900016
Florida AHCA
Project Submission No.
Client Code / File No.

Revision		
No.	Date	Description

SURVEY BY OTHERS (3 OF 4)

C004

KHA PROJECT: 119099017
CSP PROJECT: 46185.00
DATE: 08/15/2022

Kimley»Horn

PER SURVEY BY SOUTHEASTERN SURVEYING, INC., DATED SEPTEMBER 14, 2021, HORIZONTAL AND VERTICAL CONTROL BASED UPON NAD 1983, NAVD 1988 FLORIDA NORTH ZONE

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTORS BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

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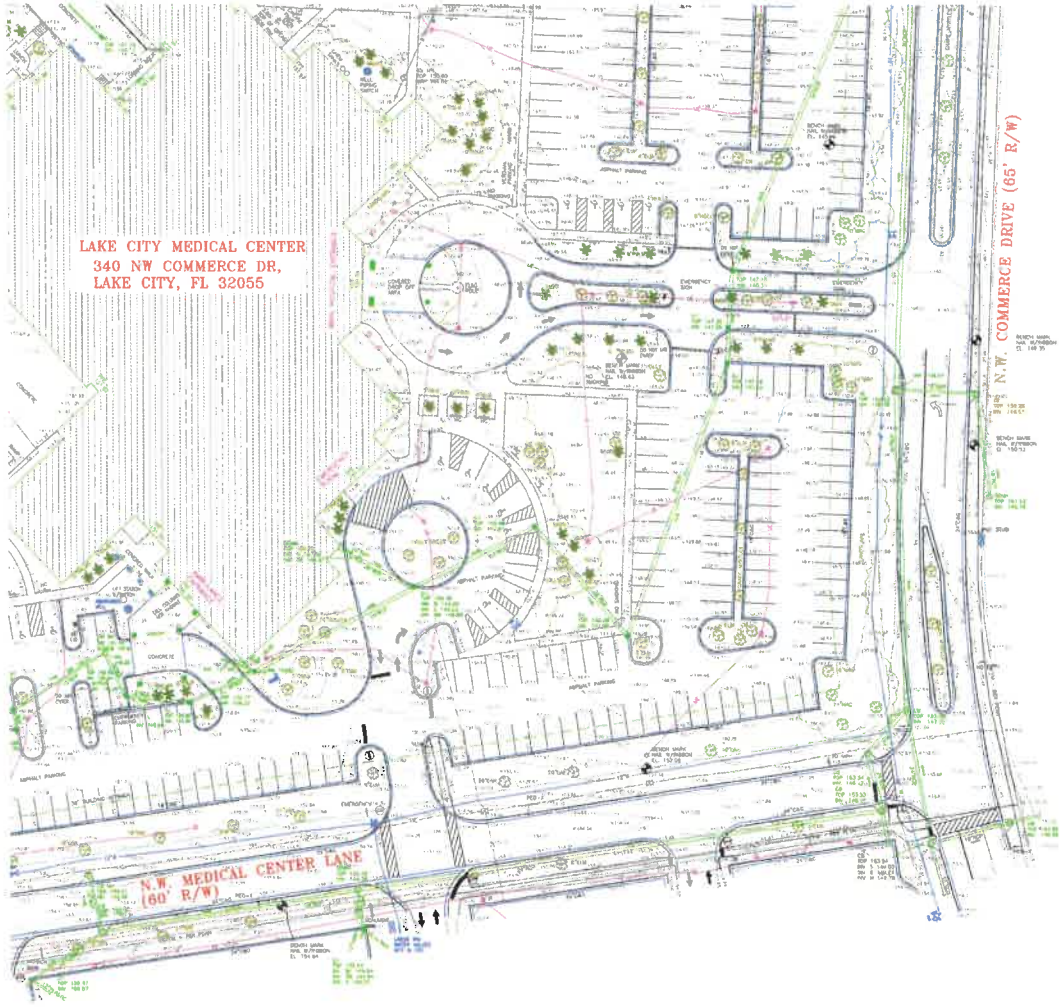
LARGE 36 X 24 INCHES PRINT PRINTED FULL SIZE
FULL SHEET SIZE = 36"x24"

TOPOGRAPHIC SURVEY FOR:

LAKE CITY MEDICAL CENTER
NOTAMI HOSPITALS OF FLORIDA, INC.

SECTION 35, TOWNSHIP 3 SOUTH, RANGE 16 EAST, LAKE CITY, COLUMBIA COUNTY, FLORIDA

DATE: SEPTEMBER 14, 2021
REVISED: NOVEMBER 17, 2021



	-	FLOW DIRECTION
IR	-	IRRIGATION VALVE
RD	-	ROOF DRAIN
PED-X	-	PEDESTRIAN CROSSING
	-	HANDICAP PARKING
GV	-	GAS VALVE/METER
C&G	-	CURB & GUTTER
UG	-	UNDERGROUND GAS
WV	-	WATER VALVE
FH	-	FIRE HYDRANT
FFE	-	FINISHED FLOOR ELEVATION
UCO	-	IN GROUND TELEPHONE/COMMUNICATION
	-	FIRE DEPARTMENT CONNECT
	-	LIGHT
PO	-	POWER POLE
	-	GUY WIRE
W	-	WATER LINE
	-	UNDERGROUND ELECTRIC
	-	TRANSFORMER
	-	ELECTRIC METER
	-	CLEAN OUT
	-	WELL
SS MH	-	SEWER MANHOLE
	-	POST INDICATOR VALVE
MAG	-	MAGNOLIA
CM	-	CRAPE MYRTLE
	-	STOP SIGN
DI	-	DROP INLET
BM	-	BENCH MARK
SD	-	STORM DRAIN
AC	-	AIR CONDITIONER
SDMH	-	STORM MANHOLE
SS	-	SANITARY SEWER
DFV	-	BACK FLOW PREVENTER
N/W	-	NAIL W/WASHER

Southeastern Surveying, Inc.
601 N. St. Augustine Rd. Telephone 229-298-5455
Valdosta, GA 31601 Fax 229-298-9926
E-mail: bharvey@southeasternsurveying.com
An Corporate of Kimley-Horn

Barbara L. Harvey
Registered Surveyor, Barbara L. Harvey
Registration Number: 6194
in the State of: Florida
Corporate License #7091

SHEET 4 OF 4

Gresham Smith

GreshamSmith.com

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Project Coordinator: Tracy Myers
Interior Designer: Morgan Birch

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MEP Proj Mngr: Paul C. McKinney
Mech Engineer of Record
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Florida Registration #81290
Plumb'ng P. Designer
Daniel Siegel
Elec. Engineer of Record
Paul C. McKinney
Florida Registration #58546

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Structural Engineer of Record
Michael E. Conte
Florida Registration #62025

Fire Prot'n Mechanical Hardy
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FL Registry No. 894
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Florida Registration #79084
Proj Mngr: Matthew Hamby
Landscape ACH: Charlie Johnson
Florida Reg #0007402

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www.icthomasson.com

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HCA Design & Construction
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Nashville, TN 37203
HCA Design Mgr: Nicole Hook
HCA Const. Mgr: Ben Mulligan

General Contractors
Robins & Morton
5000 Maryland Way, Suite 100
Brentwood, TN 37027

TOWER EXPANSION

HCA Florida Lake City Hospital
340 NW Commerce Dr.
Lake City, FL 32055
HCA Project No. 3793800016
Florida AHCA
Project Submission No.
Client Code / File No.

Revision		
No.	Date	Description

SURVEY BY OTHERS (4 OF 4)

C005

KHA PROJECT 118059017
GSP PROJECT 46183.00
DATE 09/15/2021

LINE IS 3 INCHES WHEN PRINTED FULL SIZE
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Kimley»Horn

"PER SURVEY BY SOUTHEASTERN SURVEYING, INC., DATED SEPTEMBER 14, 2021, HORIZONTAL AND VERTICAL CONTROL BASED UPON NAD 1983, NAVD 1988 FLORIDA NORTH ZONE"

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

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811
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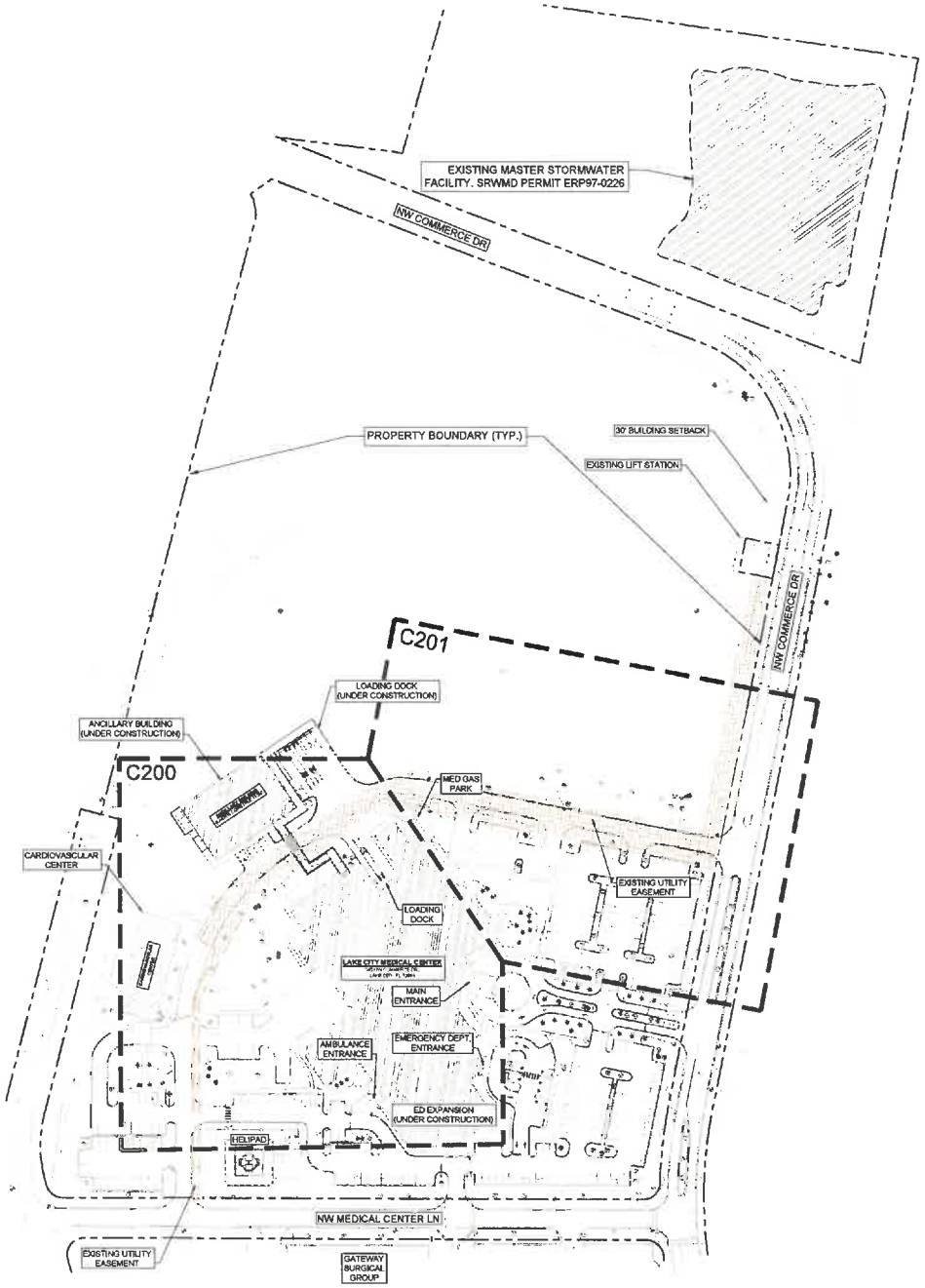

NORTH

GRAPHIC SCALE IN FEET
0 35 70 140

SITE DATA TABLE

OWNER OF RECORD	HCA FAMILY HOSPITALS OF FL INC
SITE ADDRESS	340 NW COMMERCE DRIVE LAKE CITY FL 32055
TOTAL PARCEL AREA	1.97 3 AC
PROJECT DISTURBANCE AREA (FLOWER E-PARKING)	1.74 ACRES
PROJECT DISTURBANCE AREA (NORTH PARKING LOT)	1.13 ACRES
PARCEL TAX NUMBER	30-3S-16-07956-003
ZONING DISTRICT	CG (COMMERCIAL GENERAL)
EXISTING LAND USE	MEDICAL
FEMA FLOOD ZONE	12023C0210D 12023C0215D DATED JANUARY 6, 2016 FLOOD ZONE X

SETBACKS	REQUIRED	EXISTING PROPOSED
PARCEL FRONT	24	24
PARCEL SIDE	10	10
PARCEL REAR	15	15
LANDSCAPE BUFFERS		
LANDSCAPE BUFFERS	10	10
BUILDING DATA		
FLOOR AREA RATIO (FAR)		TBD

Kimley»Horn

PER SURVEY BY SOUTHEASTERN SURVEYING, INC., DATED SEPTEMBER 14, 2021, HORIZONTAL AND VERTICAL CONTROL BASED UPON NAD 1983, NAVD 1988 FLORIDA NORTH ZONE

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Gresham Smith

GreshamSmith.com

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Project Architect: Eric Snyder
Project Coordinator: Trent Myers
Interior Designer: Morgan Black

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FL Reg.reg No. 1328
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Structural Engineer of Record
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FL Reg.reg No. 1278
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MEP Proj Mngr: Paul C. McKenney
Mech Engineer of Record
Shawn Sullivan
Florida Registration #81090
Plumb'ng P. Designer
Donna Seigel
Elec. Engineer of Record
Paul C. McKenney
Florida Registration #56699

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FL Reg.reg No. 696
EOR: Kelsey Lewis, PE
Florida Registration #79164
Proj Mngr: Matthew Hamby
Landscape AOR: Charles Johnson
Florida Registration #[illegible]

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NASHVILLE, TN 37204
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HCA Design & Construction
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Bldg. B, East 3rd Floor
Nashville, TN 37202
HCA Design Mgr.: Nicole Hoch
HCA Const. Mgr.: Ben McAllen

General Contractors
Rabura & Morton
5500 Maryland Way, Suite 100
Brentwood, TN 37027

TOWER EXPANSION

HCA Florida Lake City Hospital
340 NW Commerce Dr.
Lake City, FL 32055
HCA Project No. 3793800016
Florida AHCA
Project Submission No.
Client Code / File No.

Revision		
No.	Date	Description

EXISTING CONDITIONS - OVERALL

C100

HCA PROJECT 118090017
GSP PROJECT 44183.00
DATE 09/12/2022

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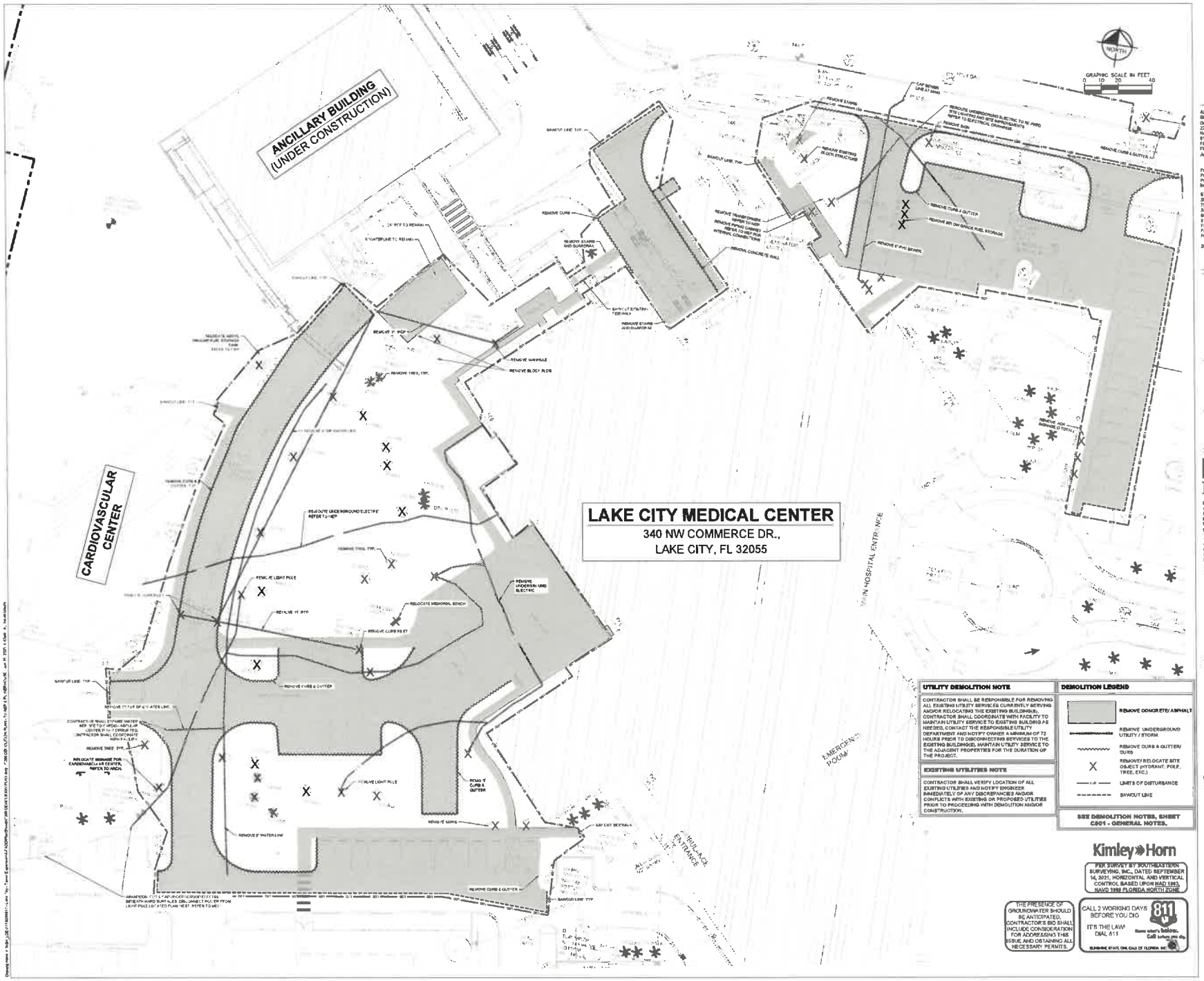

UTILITY DEMOLITION NOTE
CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EXISTING UTILITY SERVICES CURRENTLY SERVING AND/OR RELOCATING THE EXISTING BUILDINGS. CONTRACTOR SHALL COORDINATE WITH FACILITY TO MAINTAIN UTILITY SERVICE TO EXISTING BUILDING AS NEEDED. CONTACT THE RESPONSIBLE UTILITY DEPARTMENT AND NOTIFY OWNER A MINIMUM OF 72 HOURS PRIOR TO DISCONNECTING SERVICES TO THE EXISTING BUILDINGS. MAINTAIN UTILITY SERVICE TO THE ADJACENT PROPERTIES FOR THE DURATION OF THE PROJECT.
EXISTING UTILITIES NOTE
CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS WITH EXISTING OR PROPOSED UTILITIES PRIOR TO PROCEEDING WITH DEMOLITION AND/OR CONSTRUCTION.

DEMOLITION LEGEND	
	REMOVE CONCRETE/ ASPHALT
	REMOVE UNDERGROUND UTILITY / STORM
	REMOVE CURB & GUTTER/ CURB
X	REMOVE/ RELOCATE SITE OBJECT (HYDRANT, POLE, TREE, ETC.)
	LIMITS OF DISTURBANCE
	SAWCUT LINE

SEE DEMOLITION NOTES, SHEET C001 - GENERAL NOTES.

Kimley»Horn

FEB SURVEY BY SOUTHEASTERN SURVEYING, INC., DATED SEPTEMBER 14, 2021, HORIZONTAL AND VERTICAL CONTROL BASED UPON NAD 1983, NAVD 1988 FLORIDA NORTH ZONE

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Project Architect: Eric Snyder
Project Coordinator: Trish Myers
Interior Designer: Morgan Stack

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Donna Sauger
Elec. Engineer of Record
Paul C. McKinney
Florida Registration #68696

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FL Registry No. 884
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Florida Registration #79584
Proj Mngr: Matthew Hensley
Landscape AOR: Charlie Johnson
Florida Reg #6667402

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NASHVILLE, TN 37204
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TALLAHASSEE, FL 32308

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HCA Design & Construction
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Nashville, TN 37203
HCA Design Mgr.: Nicole Hook
HCA Constr. Mgr.: Sam McAlpin

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TOWER EXPANSION

HCA Florida Lake City Hospital
340 NW Commerce Dr.
Lake City, FL 32055
HCA Project No. 3793800016
Florida AHCA
Project Submission No.
Client Code / File No.

Revision		
No.	Date	Description

DEMOLITION PLAN

C200

HCA PROJECT: 118999017
AHCA PROJECT: 3793183.00
DATE: 09/15/2022

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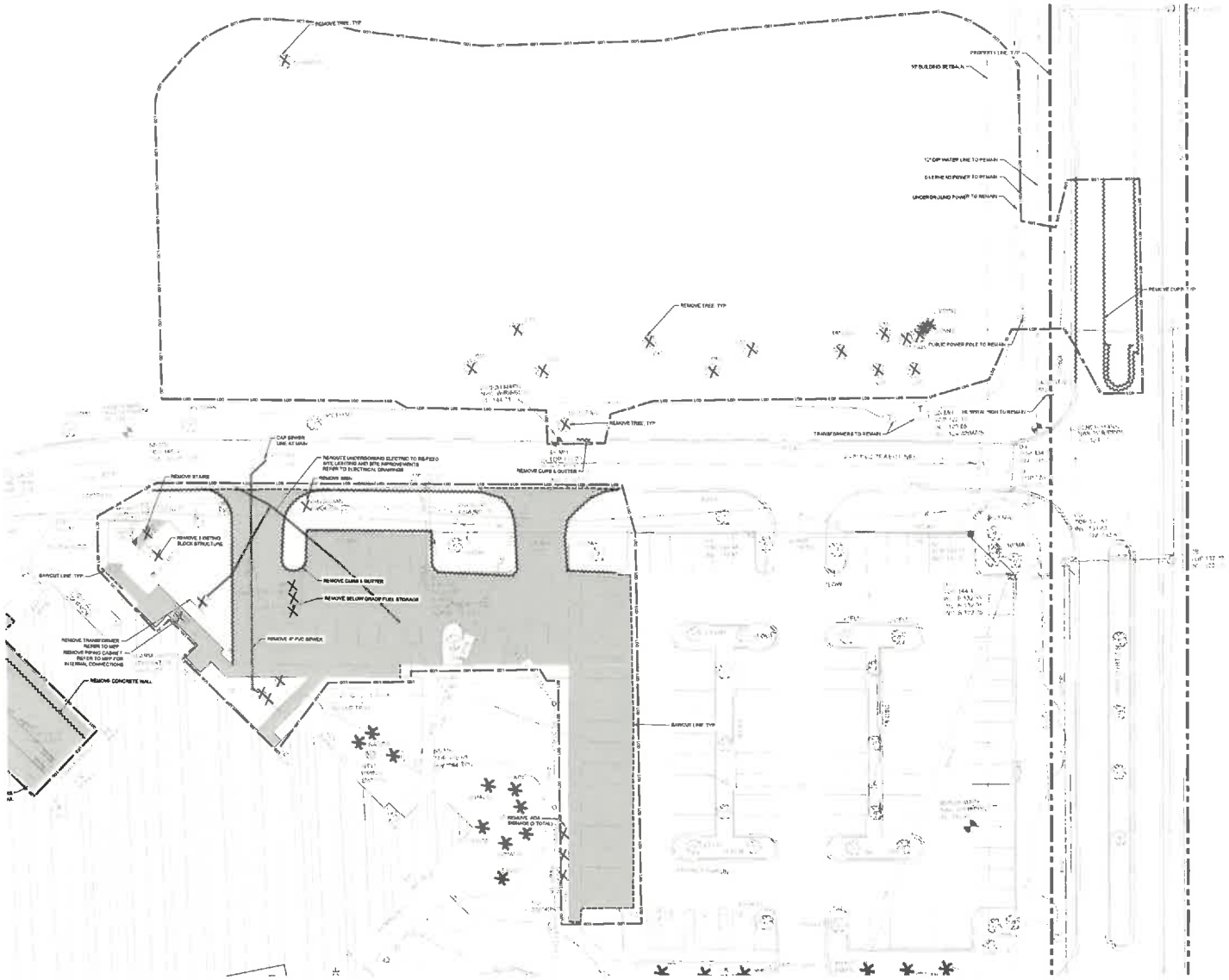
FULL SHEET SIZE = 30"x42"



GRAPHIC SCALE IN FEET
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UTILITY DEMOLITION NOTE

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DEMOLITION LEGEND

- REMOVE CONCRETE/ ASPHALT
- REMOVE UNDERGROUND UTILITY / STORM
- REMOVE CURB & GUTTER/ CURB
- X — REMOVE/ RELOCATE SITE OBJECT (HYDRANT, POLE, TREE, ETC.)
- LIMITS OF DISTURBANCE
- BAYOUT LINE

SEE DEMOLITION NOTES, SHEET C001 - GENERAL NOTES.

Kimley»Horn

THE SURVEY BY SOUTHEASTERN SURVEYING, INC., DATED SEPTEMBER 14, 2021, HORIZONTAL AND VERTICAL CONTROL BASED UPON NAD 1983, NAVD 1988 FLORIDA NORTH ZONE

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Gresham Smith

GreshamSmith.com

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Project Principal Rob Hamby
Project Architect Eric Snyder
Project Coordinator Tree Myers
Interior Designer Morgan Elliott

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Structural Engineer of Record
Michael E. Combs
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FL Registry No. 1276
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MEP Proj Mngr Paul C. McKinney
Mech Engineer of Record
Shaun Sullivan
Florida Registration #61090
Plumbing P. Designer
Dennis Seegel
Elec. Engineer of Record
Paul C. McKinney
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EOR Kelley Lewis, PE
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Proj Mngr Matthew Hamby
Landscape AOR Charlie Johnson
Florida Reg #6667402

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1986 SDL
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HCA Design & Construction
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Bldg. 1, East 3rd Floor
Nashville, TN 37203
HCA Design Mgr. Nikki Hosh
HCA Constr. Mgr. Ben McAlpin

General Contractors
Robins & Morton
5500 Maryland Way, Suite 100
Brentwood, TN 37027

TOWER EXPANSION

HCA Florida Lake City Hospital
340 NW Commerce Dr.
Lake City, FL 32055
HCA Project No. 3793800016
Florida AHCA
Project Submission No.
Client Code / File No.

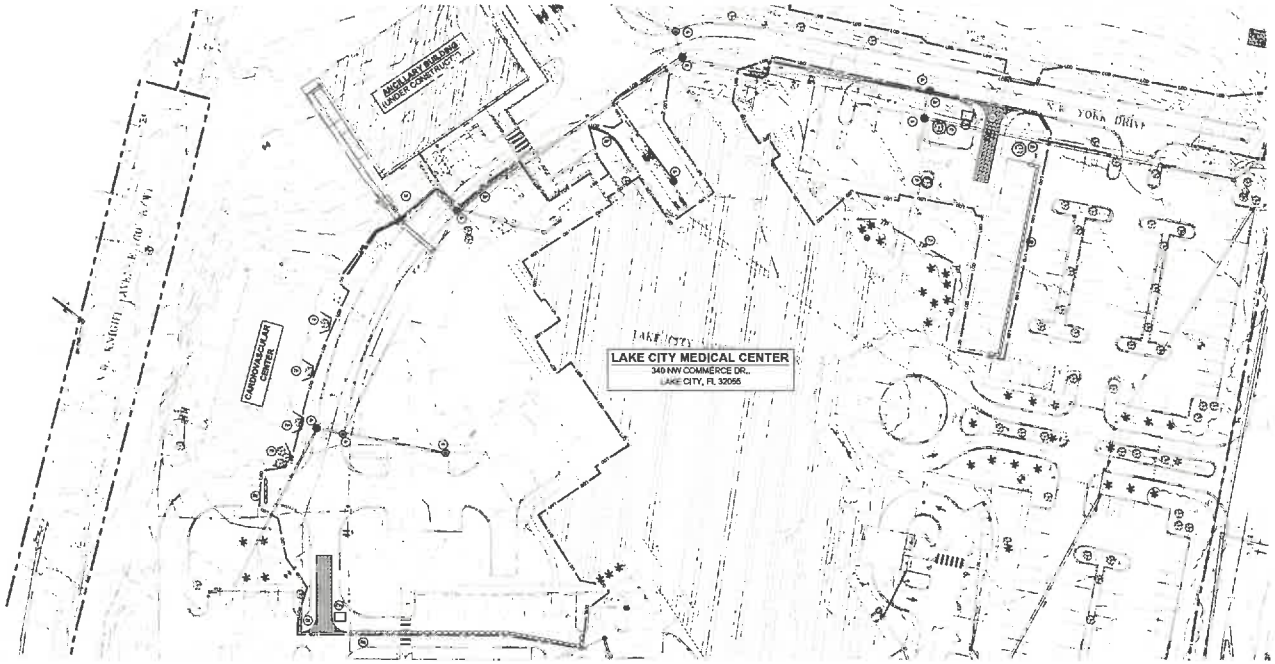
Revision		
No.	Date	Description

DEMOLITION PLAN

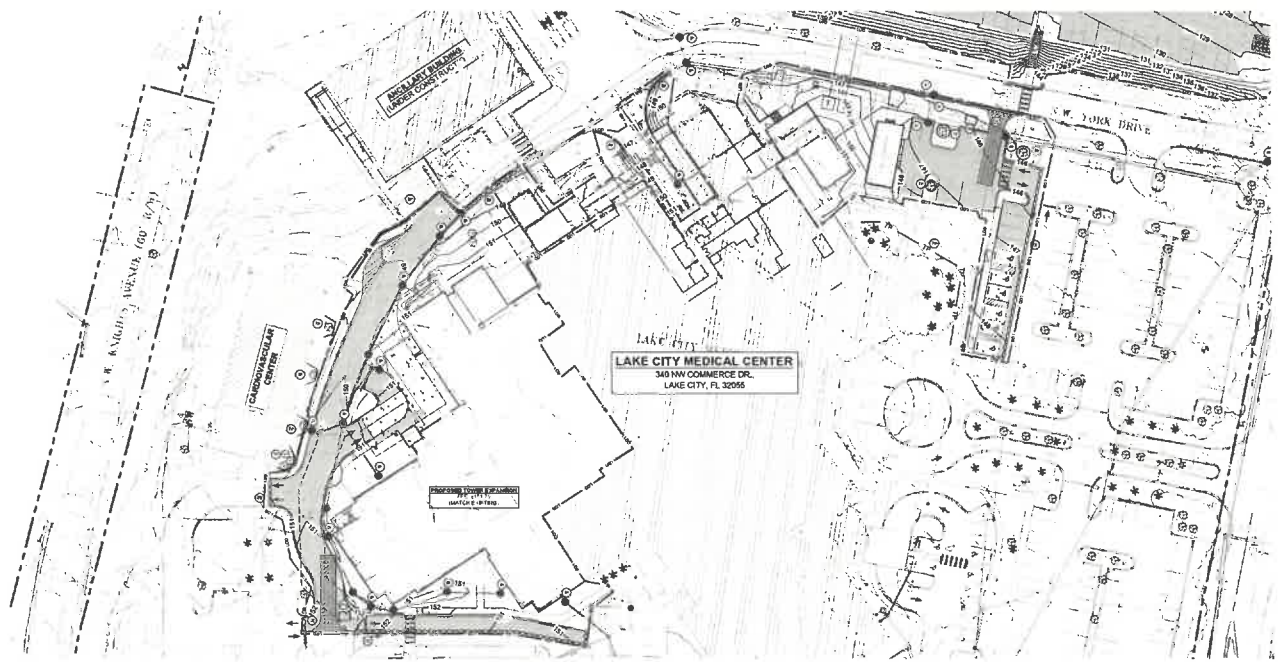
C201

KHA PROJECT 118099017
CD SET 2022-0418.00
DATE 09/15/2022

THIS IS 24 INCHES WIDE PRINTED FULL SIZE
FULL SHEET SIZE = 36"x24"



EROSION CONTROL - INITIAL PHASE



EROSION CONTROL - FINAL PHASE

(REMOVE ALL TEMPORARY EROSION MEASURES UPON FINAL STABILIZATION)

GRAPHIC SCALE IN FEET
0 20 40 80

EROSION CONTROL LEGEND

- IP — INLET PROTECTION
- SF — SILT FENCE
- ER — EROSION FELT
- CW — CONCRETE WASHOUT AREA
- CE — CONSTRUCTION ENTRANCE
- CONSTRUCTION SIGN
- TP — TREE PROTECTION

EROSION CONTROL NOTES

1. CONTRACTOR SHALL COORDINATE WITH CITY OF LAKE CITY, GRU WITH MANAGEMENT AND THE COUNTY'S ENVIRONMENTAL INSPECTOR
2. ADDITIONAL SEDIMENT AND EROSION CONTROL MEASURES MAY BE REQUIRED DURING ANY PHASE OF DEVELOPMENT AT THE DISCRETION OF THE CITY OF LAKE CITY ENVIRONMENTAL INSPECTOR
3. THE CONTRACTOR SHALL ENSURE THAT A FORMAL OR SUPERVISOR WHO HAS BEEN CERTIFIED UNDER THE FLORIDA STORMWATER PROGRAM AND DEMONSTRATED CONTROL INSPECTOR TRAINING PROGRAM IN AVAILABLE FOR PERFORMANCE BY PHONE AT ALL TIMES DURING CONSTRUCTION ACTIVITIES. INSPECTOR TO BE DESIGNATED AND AVAILABLE AT THE PRE-CONSTRUCTION MEETING
4. SILT FENCE INSTALLATION THERE PLAN SHALL BE INITIALLED INTERVALLY FOR LOCATIONS INDICATED. ADJUSTED FOR FIELD CONSTRAINTS. ALL PROPOSED SILT FENCE LOCATED WITHIN THE TREE PROTECTION ZONE (TPZ) TREE SHALL BE A NON-TREE LINED VARIETY UNLESS ABSENT (TRIPAL MITIGATION STATED OTHERWISE
5. CONTRACTOR SHALL INSPECT AND REPAIR ALL BMPS AS LEAST ONCE A WEEK AND AFTER EVERY SIGNIFICANT RAINFALL EVENT (1/2" OF RAINFALL) BOTH OF BMP INSPECTIONS SHALL BE MAINTAINED AT THE SITE.
6. ANY BMP IN NEED OF REPAIR OR REINSTALLATION SHALL BE CORRECTED BY THE CONTRACTOR WITHIN 24 HOURS OF IDENTIFICATION OF THE NEED FOR SUCH CORRECTION.
7. ADDITIONAL BMP MEASURES MAY BE NECESSARY TO ENSURE THAT TURBIDITY WATER NOT DISCHARGED FROM THE CONSTRUCTION SITE. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING COMPLIANCE WITH THE NON-POINT SOURCE POLLUTION PREVENTION PLAN (NPDES) PERMIT AND THE CONDITIONS OF THE APPLICABLE WATER MANAGEMENT DISTRICT PERMIT
8. ALL DISTURBED AREAS TO BE LEFT IDLE LONGER THAN 14 DAYS MUST BE STABILIZED WITH QUICK GROWING GRASS SEED AND MULCH
10. NO TRENCHING OR EXCAVATION SHALL BE ALLOWED WITHIN THE DRIP OF PROTECTED TREES EXCEPT WHERE DEBRIS HAVE BEEN REMOVED BY THE TREE REMOVAL PLANS, OR WHERE TREES ARE TO BE IMPACTED/MITIGATED PER THE TREE MITIGATION PLANS.
11. SWEEP SWEEPING WILL BE REQUIRED AS NECESSARY
12. IMPROVEMENTS SHOWN FOR REFERENCE ONLY
13. COORDINATE DISPOSAL OF EXCAVATED MATERIAL WITH OWNER.

EROSION CONTROL CONSTRUCTION SEQUENCE

PHASE I
- CONTRACTOR SHALL INSTALL CONSTRUCTION ENTRANCE, SILT FENCE AND CONCRETE WASHOUTS ON SITE PRIOR TO DEMOLITION BEGINNING
- AFTER PERIMETER MEASURES ARE INSTALLED, CONTRACTOR SHALL SCHEDULE PRE-CONSTRUCTION MEETING WITH THE CITY OF LAKE CITY
- ALL 3:1 OR STEEPER SLOPES TO BE STABILIZED WITHIN 7 DAYS

PHASE II
- CONTRACTOR SHALL CLEAR, GRUB AND GRADE SITE
- INSTALL PROPOSED UTILITIES INCLUDING PROPOSED STORM WATER WITH INLET TOPS
- CONSTRUCT REMAINING SITE ALLOCATED TO APPROVED PLANS AS AS INSTRUCTED BY THE EROSION CONTROL INSPECTOR

PHASE III
- PERMANENTLY STABILIZE SITE
- UPON TEMPORARY SITE STABILIZATION REMOVE SILT FENCE, TREE PROTECTION AND ALL THEIR TEMPORARY EROSION CONTROL DEVICES
- FINISH INSTALLING PERMANENT SITWORK AFTER BMPS SHOWN ON EROSION CONTROL PLANS

Kimley»Horn

PER SURVEY BY SOUTHEASTERN SURVEYING, INC., DATED SEPTEMBER 14, 2021, HORIZONTAL AND VERTICAL CONTROL BASED UPON NAD 1983, NAVD 1988 FLORIDA NORTH ZONE

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THE ISSUE AND OBTAINING ALL NECESSARY PERMITS.

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811 Know what's below. Call before you dig.
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

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GreshamSmith.com

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Project Coordinator: Trish Myers
Interior Designer: Morgan Sleet

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Donna Seigel
Elec. Engineer of Record
Paul C. McKinney
Florida Registration #56589

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Landscape AOR: Charlie Johnson
Florida Reg #0887402

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Bldg. B, East 3rd Floor
Nashville, TN 37203
HCA Design Mgr.: Nicole Hosh
HCA Const. Mgr.: Ben Mulligan

General Contractors
Robins & Morton
5500 Maryland Way, Suite 100
Brentwood, TN 37027

TOWER EXPANSION

HCA Florida Lake City Hospital
340 NW Commerce Dr.
Lake City, FL 32055
HCA Project No. 3793800016
Florida AHCA
Project Submission No.
Client Code / File No.

Revision		
No.	Date	Description

EROSION CONTROL -TOWER

C300

KGA PROJECT: 118009017
GRP PROJECT: 4615L00
DATE: 08/12/2022

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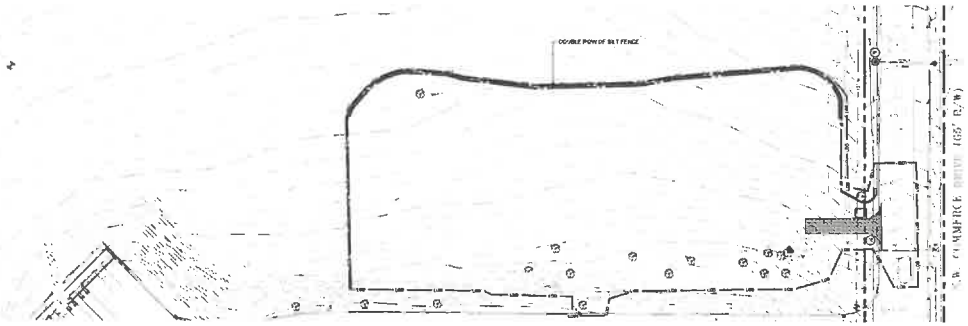
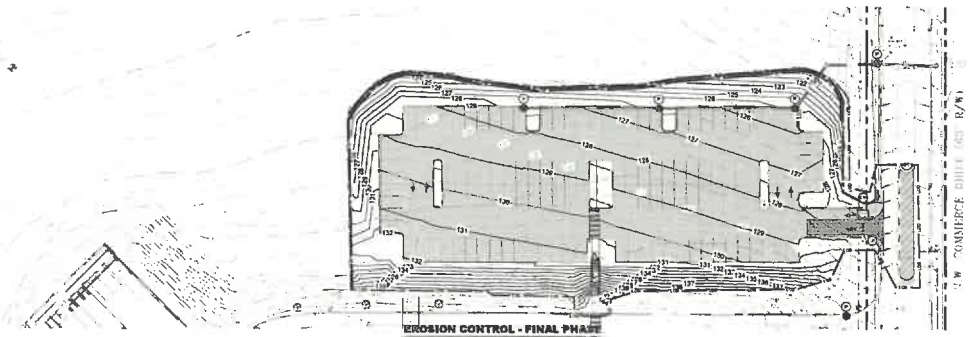
FULL SHEET SIZE = 30"X42"



EROSION CONTROL - INITIAL PHASE



EROSION CONTROL - FINAL PHASE

(REMOVE ALL TEMPORARY EPSC MEASURES UPON FINAL STABILIZATION)

GRAPHIC SCALE IN FEET
0 20 40 80

EROSION CONTROL LEGEND

- IP — INLET PROTECTION
- SF — SILT FENCE
- EP — EROSION PETS
- CA — CONCRETE WASHOUT AREA
- CE — CONSTRUCTION ENTRANCE
- CB — CONSTRUCTION BERM
- TP — TREE PROTECTION

EROSION CONTROL NOTES

1. CONTRACTOR SHALL COORDINATE WITH CITY OF LAKE CITY EMC WITH MANAGEMENT AND THE COUNTY'S ENVIRONMENTAL INSPECTOR
2. ADDITIONAL SEDIMENT AND EROSION CONTROL MEASURES MAY BE REQUIRED DURING ANY PHASE OF DEVELOPMENT AT THE DIRECTIVE OF THE CITY OF LAKE CITY'S ENVIRONMENTAL INSPECTOR
3. THE CONTRACTOR SHALL ENSURE THAT A FORMAL ON SUPERVISOR WHO HAS BEEN CERTIFIED UNDER THE FLORIDA STORMWATER EROSION AND SEDIMENT CONTROL INSPECTOR TRAINING PROGRAM IS AVAILABLE TO INSPECT THE SITE AT ALL TIMES DURING CONSTRUCTION NOTE THIS INSPECTOR TO BE DESIGNATED AND AVAILABLE AT THE PRE-CONSTRUCTION MEETING
4. SILT FENCE SHOWN ON THIS SITE PLAN SHALL BE INSTALLED GENERALLY TO THE LOCATIONS INDICATED ADJUSTED FOR FIELD CONSTRAINTS. ALL PROPOSED SILT FENCE LOCATED WITHIN THE DRIP LINE OF PROTECTED ZONE OF A TREE SHALL BE A NON-MATERIALIZED VARIETY UNLESS OTHERWISE STATED OTHERWISE
5. CONTRACTOR SHALL INSPECT AND REPAIR ALL BMPS AT LEAST ONCE A WEEK AND AFTER EVERY RAINFALL EVENT OF 0.5 INCHES OR MORE ALL LOGS OF BMP INSPECTIONS SHALL BE MAINTAINED AT THE SITE
6. ANY BMP IN NEED OF REPAIR OR REINSTALLATION SHALL BE CORRECTED BY THE CONTRACTOR WITHIN 24 HOURS OF IDENTIFICATION OF THE NEED FOR SUCH CORRECTION
7. ADDITIONAL BMP MEASURES MAY BE NECESSARY TO ENSURE THAT TURBIDITY WATER IS NOT DISCHARGED FROM THE CONSTRUCTION SITE THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING COMPLIANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN THE NPDES PERMIT AND THE CONDITIONS OF THE APPLICABLE NPDES ENVIRONMENTAL RESOURCE PERMIT
8. ALL DISTURBED AREAS THAT ARE LEFT IDLE LONGER THAN 14 DAYS MUST BE STABILIZED WITH QUICK-GROW GRASS SEED AND MULCH
10. NO TRENCHING OR EXCAVATION SHALL BE ALLOWED WITHIN THE CRZ OF PROTECTED TREES EXCEPT WHERE DEPICTED AND TESTED IN THE TREE REMOVAL PLAN OR WHERE FIBER OPTIC RE-ROUTING TERMINATED PER THE TREE MITIGATION PLANS
11. STREET SWEEPING WILL BE REQUIRED AS NECESSARY
12. BUILDING EMBEDS SHOWN FOR REFERENCE ONLY
13. COORDINATE DISPOSAL OF EXCAVATED MATERIAL WITH OWNER

EROSION CONTROL CONSTRUCTION SEQUENCE

PHASE I:
- CONTRACTOR SHALL INSTALL CONSTRUCTION ENTRANCES SILT FENCE AND CONCRETE WASHOUTS ON SITE PRIOR TO DISTURBANCE
- AFTER PERIMETER MEASURES ARE INSTALLED CONTRACTOR SHALL SCHEDULE PRE-CONSTRUCTION MEETING WITH THE CITY OF LAKE CITY
- ALL FILL FOR STEEPER SLOPES TO BE STABILIZED WITHIN 14 DAYS

PHASE II:
- CONTRACTOR SHALL CLEAR GRUB AND GRADE SITE
- INSTALL PROPOSED UTILITIES INCLUDING PROPOSED STORM INLETS WITH PROTECTION
- CONSTRUCT REMAINING SITE ALL ACCORDING TO APPROVED PLANS OR AS DIRECTED BY THE EROSION CONTROL INSPECTOR

PHASE III:
- PERMANENTLY STABILIZE SITE
- UPON ESTABLISHMENT OF STABILIZATION REMOVE SILT FENCE TREE PROTECTION AND ALL THEIR TEMPORARY EPSCS FACILITIES
- FINISH INSTALLING PERMANENT STORMWATER BMPS SHOWN ON EROSION CONTROL PLANS

Kimley»Horn

PER SURVEY BY SOUTHEASTERN SURVEYING, INC., DATED SEPTEMBER 14, 2021, HORIZONTAL AND VERTICAL CONTROL BASED UPON NAD 1983, NAVD 1999 FLORIDA NORTH ZONE.

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

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Gresham Smith

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Florida Registration #66197
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Project Architect: Eric Snyder
Project Coordinator: Tries Myers
Interior Designer: Morgan Black

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FL Registry No. 1278
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MEP Proj Mngr: Paul C. McKinney
Mech Engineer of Record
Steven Sullivan
Florida Registration #61090
Plumb'g P. Designer
Denise Siegel
Elec. Engineer of Record
Paul C. McKinney
Florida Registration #56689

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EOR: Kelsey Lewis, PE
Florida Registration #79384
Proj Mngr: Matthew Hanley
Landscape ADR: Charlie Johnson
Florida Registration #[illegible]

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Nashville, TN 37203
HCA Design Mgr. Nicole Hook
HCA Const. Mgr. Ben Mullins

General Contractors
Raines & Morton
5000 Maryland Way, Suite 100
Brentwood, TN 37027

TOWER EXPANSION

HCA Florida Lake City Hospital
340 NW Commerce Dr.
Lake City, FL 32055
HCA Project No. 37938000016
Florida AHCA
Project Submission No.
Client Code / File No.

Revision		
No.	Date	Description

EROSION CONTROL - POWERHOUSE & NORTH PARKING LOT

C301

KHA PROJECT 118999017
GSP PROJECT 46183.00
DATE 08/12/2022

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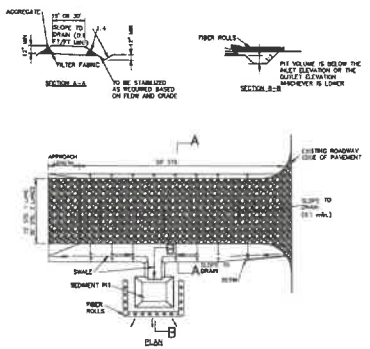
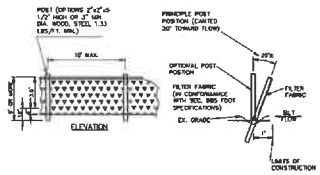
FULL SHEET SIZE = 30"X42"

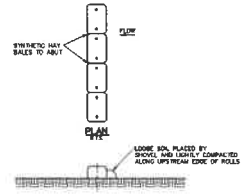


NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

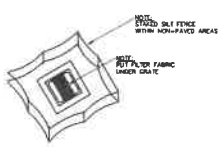
1 CONSTRUCTION ENTRANCE (SOIL TRACKING PREVENTION)
NOT TO SCALE



2 SILT FENCE (SEDIMENT BARRIER)
NOT TO SCALE

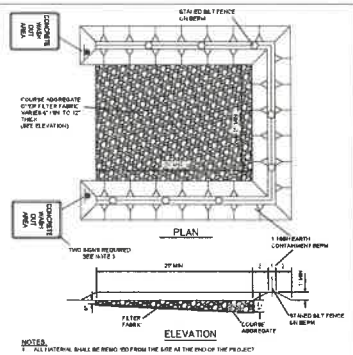


3 SYNTHETIC HAY BALE
NOT TO SCALE



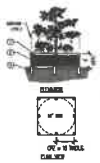
STAKED SILT BARRIER OR SILT FENCE PROTECTION AROUND DITCH BOTTOM INLETS

4 INLET PROTECTION
NOT TO SCALE



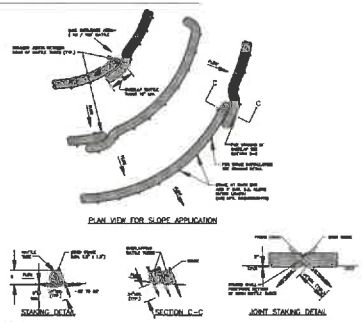
NOTES:
1. ALL MATERIAL SHALL BE REMOVED FROM THE SITE AT THE END OF THE PROJECT.
2. AGGREGATE SHALL BE REPLACED AS DIRECTED BY THE ENGINEER OR RECORD WHEN THE CITY WHEN EXCESSIVE MATERIAL BUILDUP RENDERS THE WASH OUT AREA INCLUDING THE MATERIAL.
3. SIGNS SHALL BE 18" x 12" MIN. SIZE WITH 2" BLACK LETTERING ON A WHITE BACKGROUND AND MOUNTED A MINIMUM OF 7 FEET ABOVE GRADE FROM THE LOWEST EDGE OF THE SIGN FACE.

5 CONCRETE WASHOUT
NOT TO SCALE



NOTE: IF WIRE TIES ARE USED, AVOID DIRECT CONTACT WITH FENCE. WIRE MAY DAMAGE FENCE OVER TIME.

6 TREE PROTECTION
NOT TO SCALE



7 EROSION EELS
NOT TO SCALE

Kimley»Horn

PER SURVEY BY SOUTHEASTERN SURVEYING, INC., DATED SEPTEMBER 14, 2021, HORIZONTAL AND VERTICAL CONTROL BASED UPON NAD 1983, NAVD 1988 FLORIDA NORTH ZONE

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Know what's below. Call before you dig.
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FL Registry No. 8173868
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Project Architect Eric Snyder
Project Coordinator Trice Myers
Interior Designer Morgan Black

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FL Registry No. 1276
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Steven Sullivan
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Plumb/Fire P. Daugher
Donna Siegel
Elec. Engineer of Record
Paul C. McKinney
Florida Registration #58949

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FL Certificate No. 4962B
FL Registry No. 886
EOR: Kelley Lewis, PE
Florida Registration #79364
Proj Mngr: Matthew Hamby
Landscape Arch. Charlie Johnson
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TOWER EXPANSION

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340 NW Commerce Dr.
Lake City, FL 32055
HCA Project No. 3793800016
Florida AHCA
Project Submission No.
Client Code / File No.

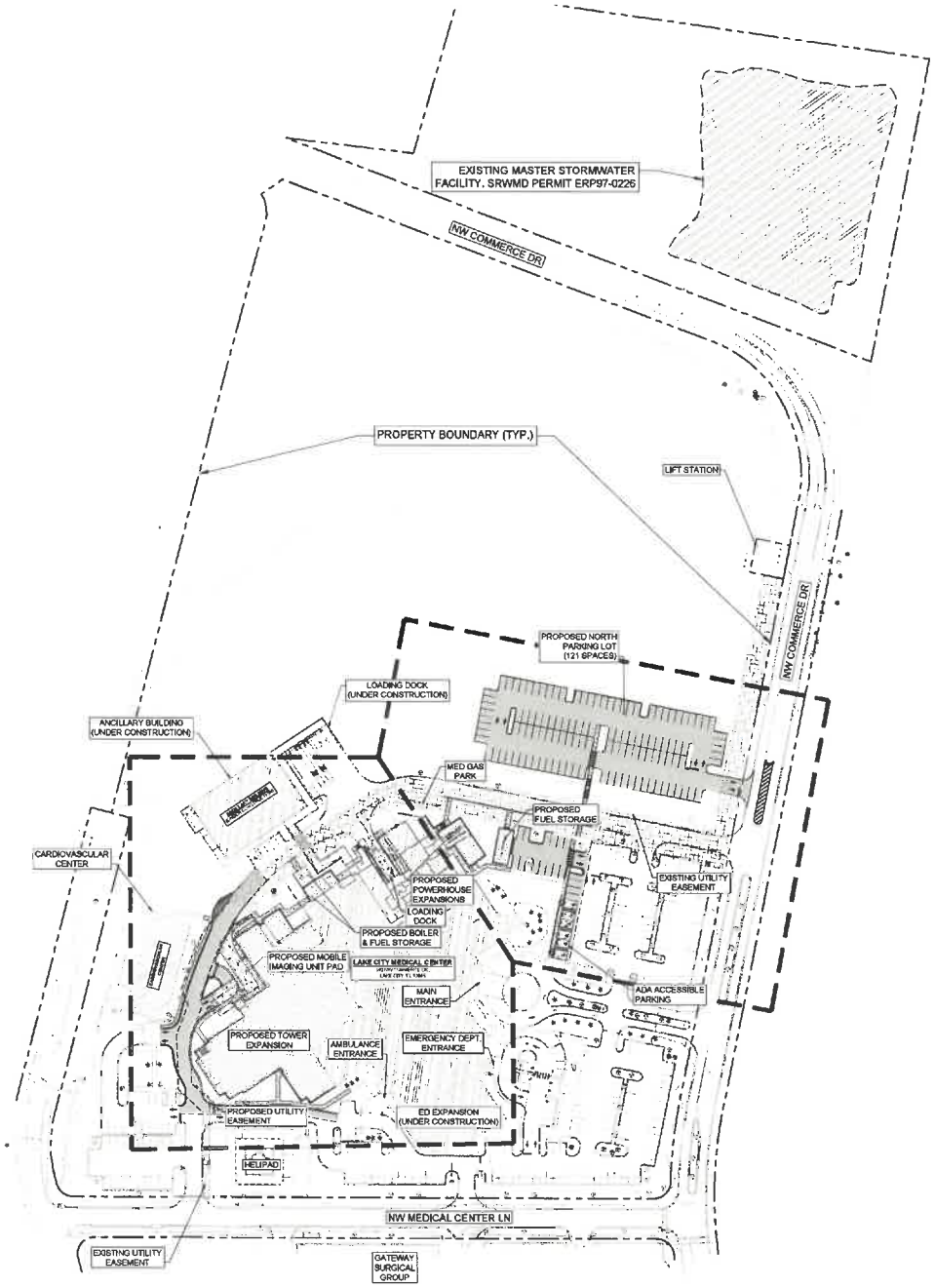
Revision		
No.	Date	Description

EROSION CONTROL DETAILS

C302

HCA PROJECT 118099017
GSI PROJECT 118.1.06
DATE 09/15/2022

LINE IS 3 INCHES WHEN PRINTED FULL SIZE
FULL SHEET SIZE = 30"X42"



GRAPHIC SCALE IN FEET
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SITE DATA TABLE

OWNER OF RECORD	NORTH HOSPITALS OF FL INC
SITE ADDRESS	340 NW COMMERCE DRIVE LAKE CITY, FL 32055
TOTAL PARCEL AREA	± 41.3 AC
PROJECT DISTURBANCE AREA (FLWER EXPANSION)	± 2.6 ACRES
PROJECT DISTURBANCE AREA (NORTH PARKING LOT)	± 1.9 ACRES
PARCEL TAX NUMBER	16-3S-17-02754-003
ZONING DISTRICT	PUD (CMP PRIOR DEVELOP.)
EXISTING LAND USE	MEDICAL
FEMA FLOOD ZONE	12023C0260D 12023C0261D DATED SEPTEMBER 7, 2018 FLOOD ZONE X

SET BACKS	REQUIRED	EXISTING/ PROPOSED
PARCEL FRONT	25	25
PARCEL SIDE	10	10
PARCEL REAR	15	15
LANDSCAPE BUFFERS		
LANDSCAPE BUFFERS	10	10
BUILDING DATA		
FLOOR AREA RATIO (FAR)	1	TBD

HCA FLORIDA LAKE CITY HOSPITAL PARKING DATA

	EXISTING	DEMO	PROPOSED NEW	PROPOSED NORTH PARKING LOT	REPLACEMENT TOTAL	CODE REQUIRED	ALLOWED PARKING (PROPOSED CODE REQUIRED)
STANDARD SPACES	468	33	6	121	514	151	145
ACCESSIBLE (REQ. FAAC)	12	4	0	0	10	12 **	17
TOTAL SPACES	480	36	6	121	525	163	162

PARKING COUNT INCLUDES PARKING PROPOSED IN THE ED AND ANCILLARY EXPANSIONS UNDER CONSTRUCTION
* PARKING REQUIREMENTS PER SECTION 4.12.11
HOSPITAL = 1 SPACE PER BED (113 BEDS)
MOB = 1 SPACE PER 250 SF (NO MOB INCLUDED - OUT OF PROJECT SCOPE)
BICYCLE PARKING NOT REQUIRED PER CURRENT LDC
** ACCESSIBLE PARKING REQUIREMENTS PER SECTION 208.2 OF 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

Kimley»Horn

PER SURVEY BY SOUTHEASTERN SURVEYING, INC., DATED SEPTEMBER 14, 2021, HORIZONTAL AND VERTICAL CONTROL BASED UPON NAD 1983, NAVD 1988 FLORIDA NORTH ZONE

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS

CALL 2 WORKING DAYS BEFORE YOU DIG
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DIAL 811
811 Know what's below. Call before you dig.
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

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GreshamSmith.com

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HCA Const. Mgr: Ben Mulligan

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Brentwood, TN 37027

TOWER EXPANSION

HCA Florida Lake City Hospital
340 NW Commerce Dr.
Lake City, FL 32055
HCA Project No. 3793800016
Florida AHCA
Project Submission No.
Client Code / File No.

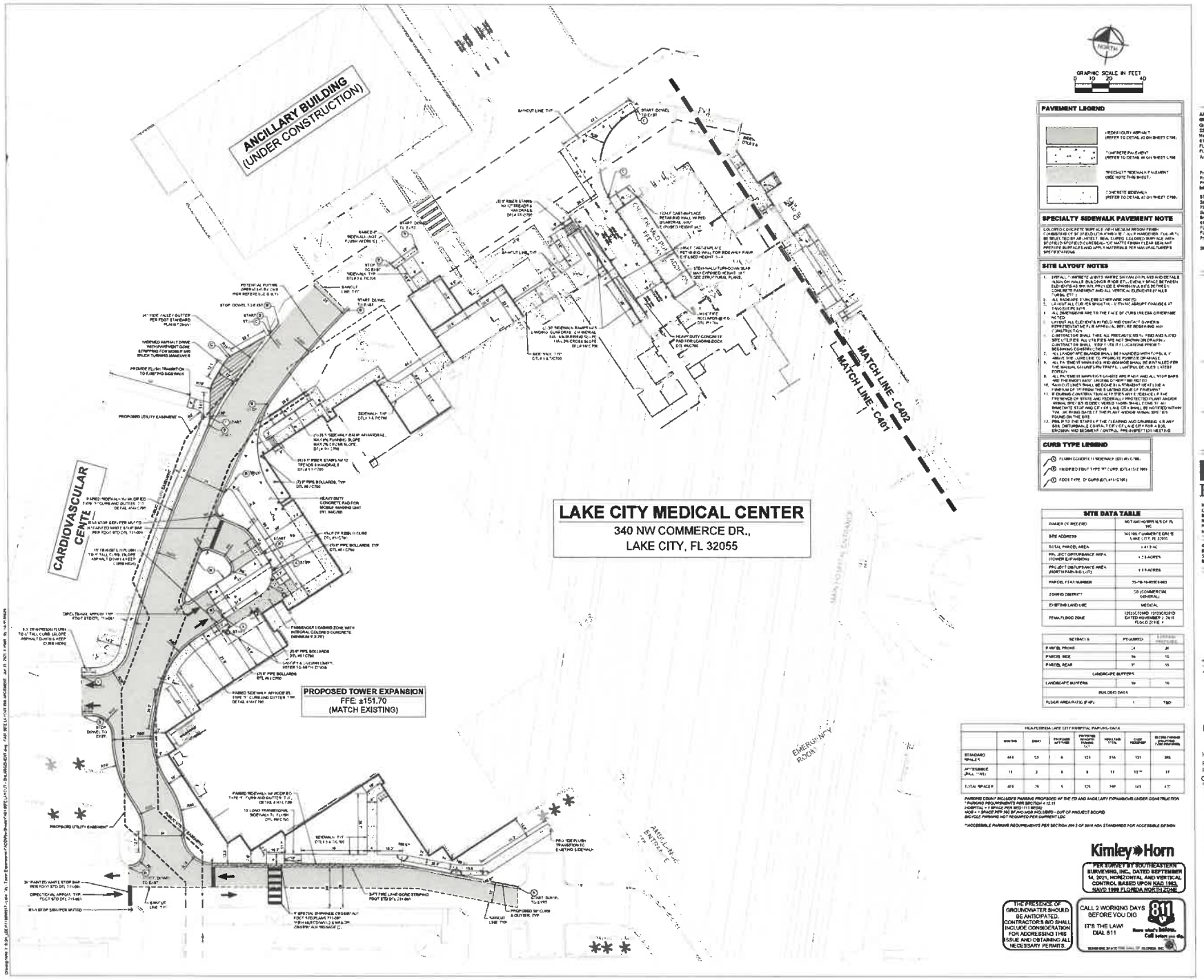
Revision		
No.	Date	Description

SITE LAYOUT - OVERALL

C400

HCA PROJECT: 1.18098017
AHCA PROJECT: 4418.00
DATE: 09/15/2023

LINE IS 1 INCHES WHEN PRINTED FULL SIZE
FULL SHEET SIZE = 30"x42"



PAVEMENT LEGEND

- HEAVY DUTY ASPHALT (REFER TO DETAIL #1 ON SHEET C700)
- *CONCRETE PAVEMENT (REFER TO DETAIL #1 ON SHEET C700)
- *SPECIALTY SIDEWALK PAVEMENT (SEE NOTE THIS SHEET)
- *CONCRETE SIDEWALK (REFER TO DETAIL #2 ON SHEET C700)

SPECIALTY SIDEWALK PAVEMENT NOTE

COLORED CONCRETE SURFACE AND MEDIUM BROOM FINISH CONSISTING OF 3/4" SELECTA FORM 'S' SCALE HARDENER. THE HUE TO BE SELECTED BY ARCHITECT. REAL CURED COLORED SURFACE WITH SCUFFED SCUFFED CURE SEAL. 1/4" MATTE FINISH. FLEAR SEAL NOT PREPARE SURFACES AND APPLY MATERIALS PER MANUFACTURER'S SPECIFICATIONS.

SITE LAYOUT NOTES

1. INSTALL CONCRETE JOINTS WHERE SHOWN ON PLANS AND DETAILS ALSO ON WALLS (BULKHEAD FROM ETC.). THERE IS SPACE BETWEEN BUILDINGS AS SHOWN. PROVIDE EXPANSION JOINTS BETWEEN CONCRETE PAVEMENT AND ALL VERTICAL ELEMENTS (FOR ALL ETC.).
2. ALL RADIUSES UNLESS OTHERWISE NOTED
3. LAYOUT ALL CURVES SMOOTHLY. VERTICAL ABRUPT CHANGES AT TANGENTS ARE
4. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
5. LOCATE ALL ELEMENTS IN FIELD. NOTIFY ARCHITECT OWNER'S REPRESENTATIVE IF ERRORS, ALTERS, OR REDESIGNS ANY CONSTRUCTION.
6. CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO PROTECT ALL EXISTING SITE UTILITIES. ALL UTILITIES ARE NOT SHOWN ON DRAWING. CONTRACTOR SHALL VERIFY ITEMS IN FIELD LOCATIONS PRIOR TO BEGINNING CONSTRUCTIONS.
7. ALL LANDSCAPE BLANDS SHALL BE FOUNDED WITH TRUCK, ETC. ABOVE THE CURB LINE TO PREVENT PORTER DAMAGE.
8. ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE INSTALLED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION.
9. ALL PAVEMENT MARKINGS, CURBS ARE PAINT AND ALL STOP BARS ARE THERMOPLASTIC UNLESS OTHERWISE NOTED.
10. SAW CUT LINES SHALL BE DONE IN A STRAIGHT LINE AT LEAST A MINIMUM OF 1' FROM THE EXISTING EDGE OF PAVEMENT.
11. IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF THE PRESENCE OF STATE AND FEDERALLY PROTECTED PLANT AND/OR ANIMAL SPECIES SUBDEVELOPED WORK SHALL CEASE TO ALL IMMEDIATE STOP AND OFFICIAL NOTIFICATION SHALL BE NOTIFIED WITHIN THE WORKING DAYS OF THE PLANT AND/OR ANIMAL SPECIES FOUND ON THE SITE.
12. PRIOR TO THE START OF THE CLEARING AND GRUBBING, OR ANY NON DISTURBANCE CONTACT CITY OF LAKE CITY FOR A SOIL EROSION AND SEDIMENT CONTROL PRE-INSPECTION MEETING.

CURB TYPE LEGEND

- FLUSH CONCRETE SIDEWALK (DETAIL C700)
- MODIFIED FDOT TYPE "F" CURB (DETAIL C700)
- FDOT TYPE "D" CURB (DETAIL C700)

SITE DATA TABLE

OWNER (OF RECORD)	NOTAMI HOSPITALS OF FL INC
SITE ADDRESS	340 NW COMMERCE DRIVE LAKE CITY, FL 32055
TOTAL PARCEL AREA	4.13 AC
PROJECT DISTURBANCE AREA (CONSTRUCTION)	1.1 ACRES
PROJECT DISTURBANCE AREA (NORTH PARKING LOT)	0.8 ACRES
PARCEL TAX NUMBER	35-3S-16-02997-003
ZONING DISTRICT	CB (COMMERCIAL GENERAL)
EXISTING LAND USE	MEDICAL
FEMA FLOOD ZONE	12023C0209D 12023C0207D DATED NOVEMBER 2, 2018 FLOOD ZONE X

SETBACKS	REQUIRED	PROVIDED
PARCEL FRONT	24	24
PARCEL SIDE	10	10
PARCEL REAR	15	15
LANDSCAPE BUFFERS		
LANDSCAPE BUFFERS	10	10
BUILDING DATA		
FLOOR AREA RATIO (FAR)	1	TBD

HCA FLORIDA LAKE CITY HOSPITAL PARKING DATA								
	EXISTING	DEMO	PROPOSED NETWORK	PROPOSED NETWORK PARKING TOTAL	HOSPITAL TOTAL	CHOP PARKING*	ENTIRE PARKING (INCLUDING CHOP PARKING)	
STANDARD SPACES	444	53	4	123	514	131	645	
ACCESSIBLE (ALL TYPES)	11	2	4	8	13	12**	27	
TOTAL SPACES	455	55	8	125	527	143	672	

PARKING CHOP INCLUDES PARKING PROPOSED IN THE TEMPORARY EXPANSION UNDER CONSTRUCTION
* PARKING REQUIREMENTS PER SECTION 4.12.11
HOSPITAL = 1 SPACE PER BED (111 BEDS)
MOB = 1 SPACE PER 300 SF AND MOB INCLUDED - OUT OF PROJECT SCOPE
BICYCLE PARKING NOT REQUIRED PER CURRENT LDC
** ACCESSIBLE PARKING REQUIREMENTS PER SECTION 208.2 OF 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

Kimley»Horn

PER SURVEY BY SOUTHEASTERN SURVEYING, INC., DATED SEPTEMBER 14, 2021, HORIZONTAL AND VERTICAL CONTROL BASED UPON NAD 1983, NAVD 1988 FLORIDA NORTH ZONE

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Landscape ADR: Charlie Johnson
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Nashville, TN 37203
HCA Design Mgr.: Neelie Hoon
HCA Const. Mgr.: Ben Mulligan

General Contractors
Robins & Morton
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Brentwood, TN 37027

TOWER EXPANSION

HCA Florida Lake City Hospital
340 NW Commerce Dr.
Lake City, FL 32055
HCA Project No. 3793800016
Florida AHCA
Project Submission No.
Client Code / File No.

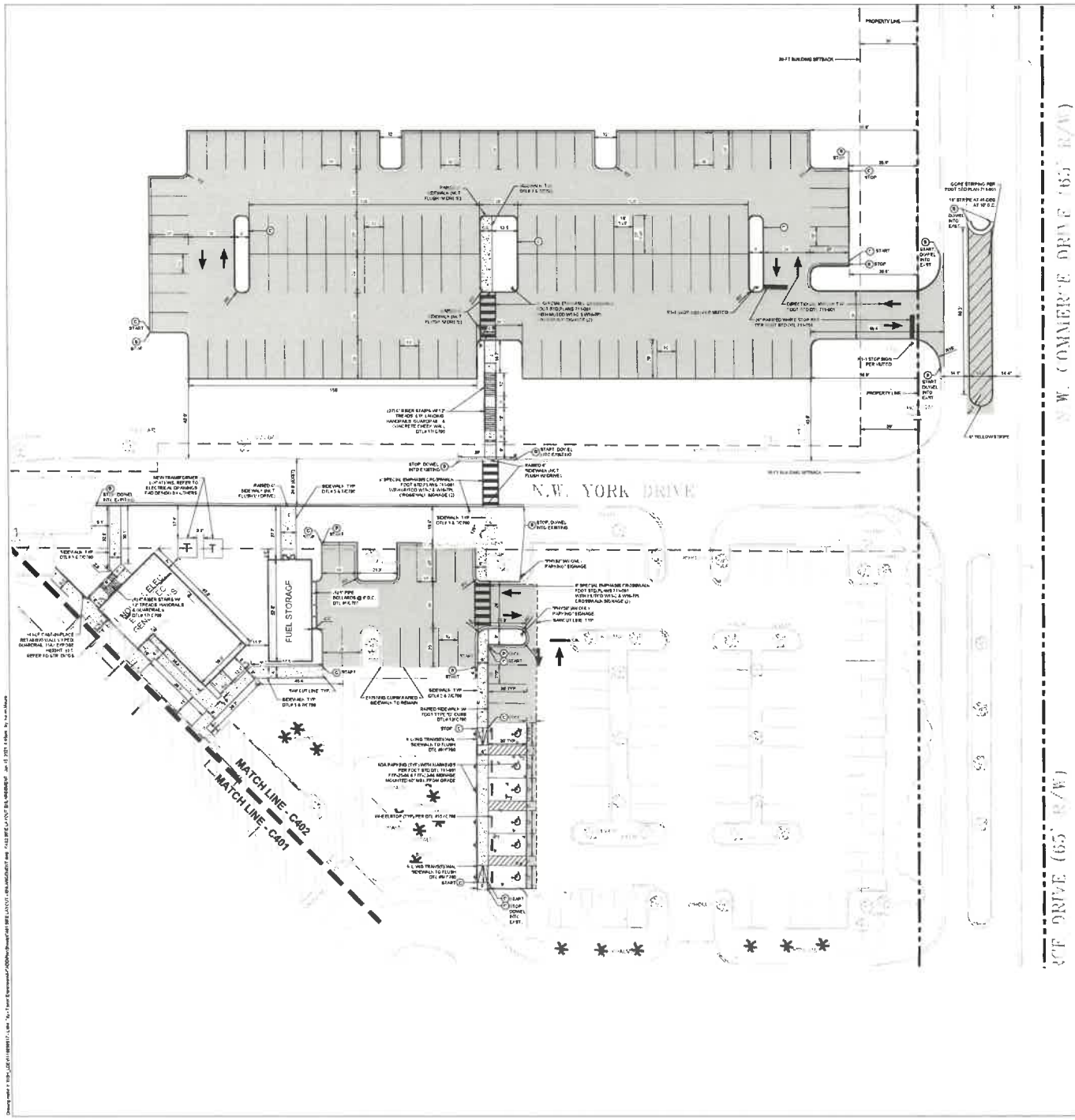
Revision		
No.	Date	Description

SITE LAYOUT
ENLARGEMENT - TOWER

C401

LINE IS 3 INCHES WHEN PRINTED FULL SIZE
FULL SHEET SIZE = 30"X42"

KHA PROJECT: 118099017
GSP PROJECT: 45183.00
DATE: 08/02/2022



GRAPHIC SCALE IN FEET
0 10 20 40

PAVEMENT LEGEND

- MEDIAN/DRIVE ASPHALT (REFER TO DETAIL 4/C401 SHEET C-701)
- FINAL RETEXTURE/MENT (REFER TO DETAIL 4/C401 SHEET C-701)
- CONCRETE SIDEWALK (REFER TO DETAIL 4/C401 SHEET C-701)

SITE LAYOUT NOTES

1. INSTALL CONCRETE JOINTS WHERE SHOWN ON PLAN AND DETAILS ALSO ON WALLS BUILDING FACE (TYP). THERE SHALL BE TWO EXPANSION JOINTS AS SHOWN, PROVIDE EXPANSION JOINTS BETWEEN CONCRETE PAVEMENT AND ALL VERTICAL ELEMENTS (WALLS, CURBS, ETC.)
2. ALL RADIUS ARE 5' UNLESS OTHERWISE NOTED.
3. LAYOUT ALL CURVES SMOOTHLY WITH NO ABRUPT CHANGES AT TANGENT POINTS.
4. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
5. LOCATE ALL EQUIPMENT BOLTED AND CONTACT OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO BEGINNING ANY CONSTRUCTION.
6. CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO PROTECT ANY AND ALL SITE UTILITIES. ALL UTILITIES ARE NOT SHOWN ON DRAWINGS. CONTRACTOR SHALL VERIFY LOCATIONS PRIOR TO BEGINNING CONSTRUCTION.
7. ALL LANDSCAPE ISLANDS SHALL BE MOUNDED WITH TOPSOIL 4" ABOVE THE CURB TO PROVIDE PROPER DRAINAGE.
8. ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE INSTALLED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) EDITION.
9. ALL PAVEMENT MARKINGS SHALL BE PAINT AND ALL STOP BARS SHALL BE THERMOPLASTIC UNLESS OTHERWISE NOTED.
10. PARKING LINES SHALL BE DONE BY A STRAIGHT NEAT LINE A MINIMUM OF 10' FROM THE CURBING EDGE OF PAVEMENT.
11. IF DURING CONSTRUCTION ACTIVITY ANY EVIDENCE OF THE PRESENCE OF STATE AND FEDERAL PROTECTED PLANT AND/OR ANIMAL SPECIES BECOMES APPARENT, SHALL CONTACT ALL IMMEDIATE STOP AND CEASE ACTIVITY. SHALL BE NOTIFIED WITHIN TWO (2) WORKING DAYS OF THE PERMIT HOLDER AND/OR SPECIES FOUND ON THE SITE.
12. PRIOR TO THE START OF THE CLEARING AND GRUBBING OR ANY SOIL DISTURBANCE ESSENTIAL TO START CLEARING FOR BEST EROSION AND SEDIMENT CONTROL PRE-INSPECTION MEETING.

CURB TYPE LEGEND

- FLUSH CONCRETE SIDEWALK (DTL #1 C-700)
- FLOODED FACE TYPE "B" CURB (DTL #1/C-700)
- FACE TYPE "B" CURB (DTL #1 C-700)

SITE DATA TABLE

OWNER OF RECORD	HCA FLORIDA HOSPITALS OF FL INC.
SITE ADDRESS	340 NW COMMERCE DRIVE LAKE CITY, FL 32055
TOTAL PARCEL AREA	41.5 ACRES
PROJECT DISTURBANCE AREA (TOWER EXPANSION)	0.2 ACRES
PROJECT DISTURBANCE AREA (NORTH PARKING LOT)	0.9 ACRES
PARCEL / TAX NUMBER	35-3S-16-02812-001
ZONING DISTRICT	"B" (COMMERCIAL GENERAL)
EXISTING LAND USE	MEDICAL
FEMA FLOOD ZONE	12023C0202D, 12023C0206D DATED NOVEMBER 2, 2018 FLOOD ZONE "X"

SETBACKS	REQUIRED	EXISTING
PARCEL FRONT	24	24
PARCEL SIDE	10	10
PARCEL REAR	15	15
LANDSCAPE BUFFERS		
LANDSCAPE BUFFERS	10	10
BUILDING DATA		
FLOOR AREA RATIO (IF ANY)		TBD

HCA FLORIDA LAKE CITY HOSPITAL PARKING DATA

	EXISTING	DEMO	REMOVED IN FUTURE	EXISTING REMAINING AFTER DEMO	RESULTING TOTAL	CURB REQUIRED	REQUIRED PARKING (PER CODE) - OTHER REQUIRED
STANDARD SPACES	466	53	8	121	*514	731	363
ACCESSIBLE (ADT. 1410)	10	2	0	8	17	12**	17
TOTAL SPACES	476	26	8	129	488	743	472

PARKING COUNT INCLUDES PARKING PROPOSED IN THE BED AND ANCILLARY EXPANSIONS UNDER CONSTRUCTION
* PARKING PROVIDED SHOWN PER SECTION 4.12.17
HOSPITAL = 1 SPACE PER BED (113 BEDS)
MOB = 1 SPACE PER 200 SF (NO MOB INCLUDED - OUT OF PROJECT SCOPE)
BICYCLE PARKING NOT REQUIRED PER CURRENT LDC

**ACCESSIBLE PARKING REQUIREMENTS PER SEC 208.2 OF 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

Kimley»Horn

PER SURVEY BY SOUTHEASTERN SURVEYING, INC., DATED SEPTEMBER 14, 2021, HORIZONTAL AND VERTICAL CONTROL BASED UPON NAD 1983, NAVD 1988 FLORIDA NORTH ZONE

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Plumbing P. Designer
Dennis Siegel
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HCA Const. Mgr. Ben McAlpin

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TOWER EXPANSION

HCA Florida Lake City Hospital
340 NW Commerce Dr.
Lake City, FL 32055
HCA Project No. 3793800016
Florida AHCA
Project Submission No.
Client Code / File No.

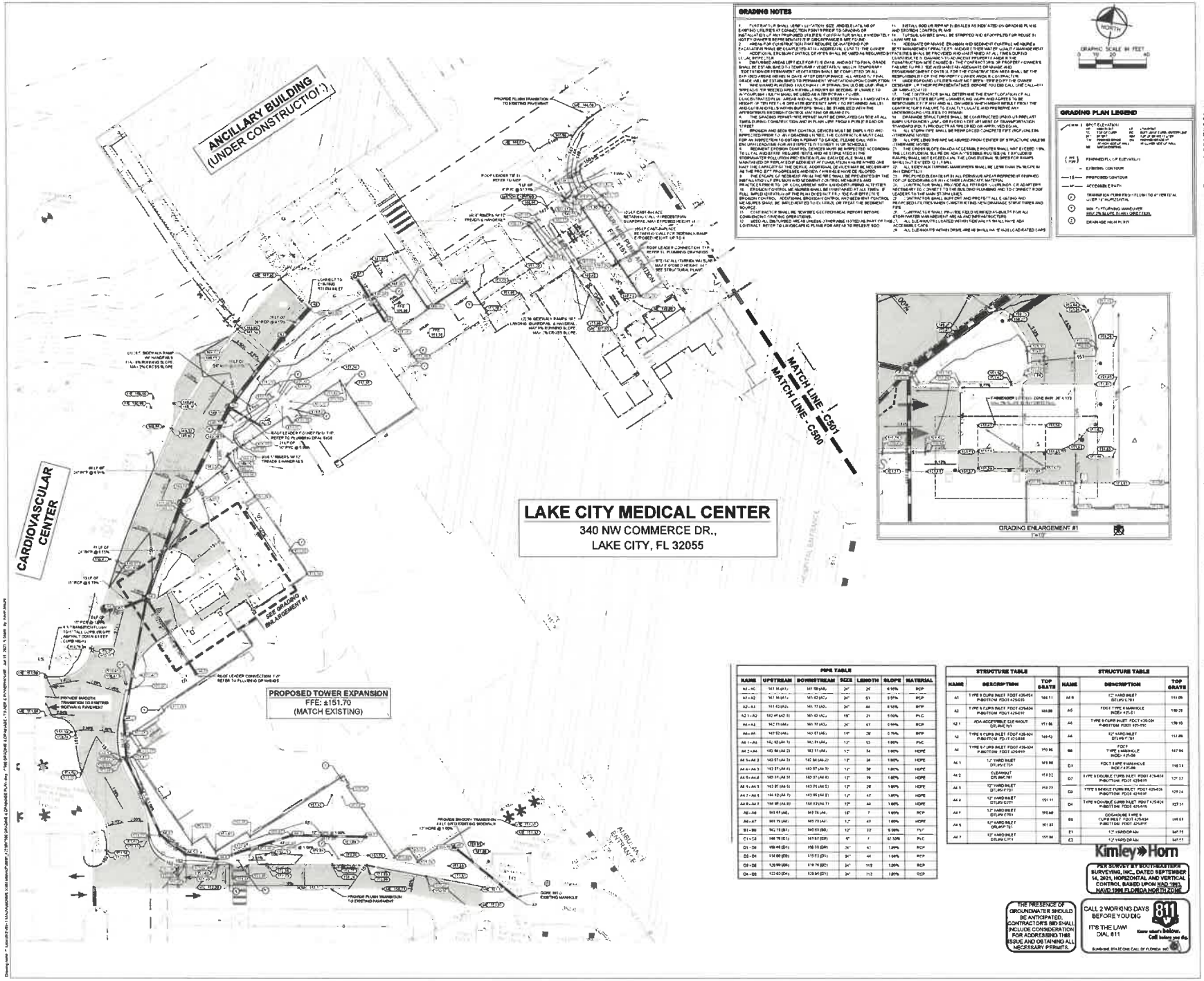
Revision		
No.	Date	Description

SITE LAYOUT ENLARGEMENT - POWERHOUSE & NORTH PARKING LOT

C402

KHA PROJECT 118899017
DRAWN BY: MDS
DATE: 09/15/2023

LINE IS 3 INCHES WHEN PRINTED FULL SIZE
FULL SHEET SIZE = 30"X42"



LAKE CITY MEDICAL CENTER

340 NW COMMERCE DR.,
LAKE CITY, FL 32055

GRADING NOTES

1. CONTRACTOR SHALL VERIFY LOCATION, SIZE, AND ELEVATION OF EXISTING UTILITIES AT CONNECTION POINT PRIOR TO GRADING OR INSTALLATION OF ANY PROPOSED UTILITIES. CONTACTOR SHALL INVENTORY & NOTIFY OWNER'S REPRESENTATIVE IF DISCREPANCIES ARE FOUND.
2. AREAS FOR CONSTRUCTION THAT REQUIRE DEWATERING FOR EXCAVATION SHALL BE CLARIFIED TO ATLA ADDRESSING, EXACT TO THE OWNER REPRESENTATIVE. DEWATERING DEVICES SHALL BE USED AS REQUIRED BY LC ORDINANCES.
3. DISTURBED AREAS LEFT IDLE FOR 21 DAYS AND NOT TO FINAL GRADE SHALL BE ESTABLISHED TO TEMPORARY VEGETATION. WHEN TEMPORARY VEGETATION OR PERMANENT VEGETATION SHALL BE COMPLETED ON ALL EXPOSED AREAS WITHIN 14 DAYS AFTER THE PERFORMANCE. ALL AREAS TO FINAL GRADE WILL BE ESTABLISHED TO PERMANENT VEGETATION UPON COMPLETION.
4. WHEN HANDLING WORKING MACHINERY ON STRAWS, SHALL BE USE WHAT SPREADS TO BE WEEDED AREA WITHIN 24 HOURS OR BEFORE IF SHARE TO A FOUNDATION FOUTH SHALL BE USED AS A TEMPORARY FILLER.
5. CLEAR OUTSTRETCH PLAN AREAS AND ALL SLOPES STEEPER THAN 3:1 AND WITH A HEIGHT OF TEN FEET, A DESCRIPTIVE EFFECT APPLY TO RETAINING WALLS AND CUTS AND FILLS WITHIN BUFFERS SHALL BE STABILIZED WITH THE APPROPRIATE EXCEPTION OF ROCK, UNTREATED OR BLANKETS.
6. THE GRADING PERMIT WILL PERMIT MUST BE OBTAINED ON SITE AT ALL TIMES DURING CONSTRUCTION AND PLAN LIEN FROM A PUBLIC BUILDING STATION.
7. EROSION AND SEDIMENT CONTROL DEVICES MUST BE DISPLAYED AND INSPECTED PRIOR TO ANY DEMOLITION. THE CONTRACTOR & MUST CALL FOR AN INSPECTION TO OBTAIN A PERMIT TO GRADE. PLEASE CALL WITH EN UNIVERSITY FOR ALL INSPECTIONS 48 HOURS IN OR SCHEDULE.
8. SEDIMENT EROSION CONTROL DEVICES MUST BE INSPECTED ACCORDING TO LTA AND STATE REQUIREMENTS AND AS STIPULATED IN THE STORMWATER POLLUTION PREVENTION PLAN. EACH DEVICE SHALL BE MAINTAINED OR REPLACED AS NECESSARY AT FUNCTION HAS BEEN REDUCED HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MAY BE NECESSARY AS THE PROJECT PROGRESSES AND DEVIATIONS HAVE BE ALLOWED.
9. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
10. EROSION CONTROL MEASURES SHALL BE FITTED TO THE TERRAIN, PLACED ACCORDING TO GOOD ENGINEERING PRACTICES, AND MAINTAINED DURING CONSTRUCTION. CONTROL MEASURES SHALL BE SUFFICIENT TO CONTROL OR TRAP THE SEDIMENT SOURCE.
11. CONTRACTOR SHALL BE SUBMITTED GEOTECHNICAL REPORT BEFORE COMMENCING GRADING OPERATIONS.
12. REGIONAL DISTURBED AREAS UNLESS OTHERWISE LISTED AS PART OF THE CONTRACT. REFER TO LANDSCAPING PLANS FOR ARTAS TO REPLENT SOD.
13. INSTALL SOD LIVE RIPRAP BLANKETS AS INDICATED ON GRADING PLANS AND EROSION CONTROL PLANS.
14. TOPSOIL MATERIAL SHALL BE STRIPPED AND STOCKPILED FOR REUSE IN LANDSCAPE AREAS.
15. ADEQUATE OR ADVANCE EROSION AND SEDIMENT CONTROL MEASURES AND TEMPORARY PRACTICES ADEQUATE TO DIVERT WATER QUALITY MANAGEMENT PONDS SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND ENGINEER THE CONTRACTOR & OR PROPERTY OWNER'S FAILURE TO PROVIDE ADEQUATE MEASURES OF WATER AND EROSIONMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND THE CONTRACTOR.
16. UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED BY THE OWNER DESIGNER OR THEIR REPRESENTATIVES BEFORE YOU DIG CALL CALL 811 OR 1-800-432-4770.
17. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN.
18. DRAINAGE STRUCTURES SHALL BE CONSTRUCTED UNDER AN ARTERIAL BUMPS UNDERNEATH LANE OR ALONG ITS EDGE AT MEET OF TRANSPORTATION STANDARDS (FDOT) PRODUCTS AS SPECIFIED OR APPROVED EQUAL.
19. ALL PIPE LENGTHS SHALL BE MEASURED CONCRETE PIPE INCLUDING THE UNDERLAYING WATER.
20. ALL PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
21. THE CROSS SLOPE ON ADA ACCESSIBLE ROUTES SHALL NOT EXCEED 1.9%. THE LONGITUDINAL SLOPE ON ADA ACCESSIBLE ROUTES IN THE SIDEWALK RAMPS SHALL NOT EXCEED 4.9%. THE LONGITUDINAL SLOPE FOR RAMPS SHALL NOT EXCEED 12:1 RAMP.
22. ALL SIDEWALK TURNING MANEUVERS SHALL BE LESS THAN 2% SLOPE IN ANY DIRECTION.
23. PROPOSED ELEVATION IS ALL PREVIOUS AREA REPRESENT FINISHED TOP OF BOUNDARIES OR ALL OTHER LANDSCAPE MATERIAL.
24. CONTRACTOR SHALL PROVIDE ALL REPAIRS, COLORINGS, CLEANSTERS, VEGETATION, ETC. DAMAGED DURING THE BUILDING HOUSING AND TO CONNECT PROPERLY TO EXISTING FACILITIES.
25. ALL PIPE, CURB INLET AND PROTECT ALL EXISTING AND PROPOSED UTILITIES WHEN CONSTRUCTING NEW DRAINAGE STRUCTURES AND PIPE.
26. CONTRACTOR SHALL PROVIDE FIELD VERIFIED ASBUILT PLAN AS STORMWATER MANAGEMENT AREAS AND INFRASTRUCTURE.
27. ALL CLEANOUTS LOCATED WITHIN NEW WALKWAYS SHALL HAVE ADA ACCESSIBLE CAPS.
28. ALL CLEANOUTS WITHIN DRIVE AREAS SHALL HAVE HEAVY LOAD RATED CAPS.

GRADING PLAN LEGEND

100.00	SPOT ELEVATION
100.00 TC	TOP OF CURB
100.00 BC	BOTTOM OF CURB
100.00 FL	FLOW LINE ELEVATION
100.00 HP	HIGH POINT
100.00 BW	BOTTOM OF WALL
100.00 TW	TOP OF WALL
100.00 SW	SIDEWALK ELEVATION
100.00 MW	MID WALL
100.00 GW	GUTTER ELEVATION
100.00 FF	FINISHED FLOOR ELEVATION
100	EXISTING CONTOUR
100	PROPOSED CONTOUR
	ACCESSIBLE PATH
	TRANSITION FLUSH FROM CURB TO A VERTICAL CURB OF 1/2" HORIZONTAL
	MIN 7' STRIPPING MANEUVER MAY ALSO BE IN ANY DIRECTION
	DRAINAGE HEIGHT 3'-0"

PIPE TABLE

NAME	UPSTREAM	DOWNSTREAM	SIZE	LENGTH	SLOPE	MATERIAL
A1 - A0	141.16 (A1)	141.08 (A0)	24"	24	0.33%	RCP
A1 - A2	141.16 (A1)	141.42 (A2)	24"	51	0.51%	RCP
A2 - A3	141.42 (A2)	141.77 (A3)	24"	68	0.52%	RCP
A2.1 - A2	142.49 (A2.1)	141.42 (A2)	18"	21	5.10%	PVC
A4 - A3	142.71 (A4)	141.77 (A3)	24"	61	0.55%	RCP
A4 - A5	142.62 (A4)	142.07 (A5)	18"	28	0.19%	RPP
A4.1 - A4	142.92 (A4.1)	142.71 (A4)	12"	53	1.00%	PVC
A4.2 - A4	142.88 (A4.2)	142.71 (A4)	12"	34	1.00%	HDPE
A4.3 - A4.2	143.07 (A4.3)	142.88 (A4.2)	12"	34	1.00%	HDPE
A4.4 - A4.3	143.37 (A4.4)	143.07 (A4.3)	12"	30	1.00%	HDPE
A4.5 - A4.4	143.71 (A4.5)	143.37 (A4.4)	12"	39	1.00%	HDPE
A4.6 - A4.5	143.97 (A4.6)	143.71 (A4.5)	12"	26	1.00%	HDPE
A4.7 - A4.6	144.12 (A4.7)	143.97 (A4.6)	12"	47	1.00%	HDPE
A4.8 - A4.7	144.37 (A4.8)	144.12 (A4.7)	12"	44	1.00%	HDPE
A6 - A4	143.67 (A6)	143.19 (A4)	18"	7	1.00%	RCP
A6 - A7	143.19 (A6)	143.73 (A7)	12"	49	1.00%	HDPE
B1 - B0	142.13 (B1)	140.63 (B0)	12"	32	5.00%	PVC
C1 - C0	148.78 (C1)	141.67 (C0)	6"	7	67.10%	PVC
D1 - D0	159.66 (D1)	158.33 (D0)	24"	41	1.29%	RCP
D2 - D1	116.00 (D2)	115.53 (D1)	24"	46	1.00%	RCP
D3 - D2	120.99 (D3)	119.76 (D2)	24"	113	1.20%	RCP
D4 - D3	122.62 (D4)	120.91 (D3)	24"	112	1.20%	RCP

STRUCTURE TABLE

NAME	DESCRIPTION	TOP GRATE
A1	TYPE 9 CURB INLET FDOT 425-054 P-BOTTOM FDOT 425-010	146.11
A2	TYPE 9 CURB INLET FDOT 425-054 P-BOTTOM FDOT 425-010	149.00
A2.1	ADA ACCESSIBLE CLEANOUT DTL INC 701	151.86
A3	TYPE 9 CURB INLET FDOT 425-054 P-BOTTOM FDOT 425-010	149.43
A4	TYPE 9 JUNB INLET FDOT 425-054 P-BOTTOM FDOT 425-010	150.06
A4.1	12" YARD INLET DTL INC 701	149.96
A4.2	CLEANOUT DTL INC 701	151.32
A4.3	12" YARD INLET DTL INC 701	150.77
A4.4	12" YARD INLET DTL INC 701	151.11
A4.5	12" YARD INLET DTL INC 701	150.60
A4.6	12" YARD INLET DTL INC 701	151.81
A4.7	12" YARD INLET DTL INC 701	151.84

STRUCTURE TABLE

NAME	DESCRIPTION	TOP GRATE
A4.8	12" YARD INLET DTL INC 701	151.06
A5	FDOT TYPE 8 MANHOLE INDEX 425-01	150.20
A6	TYPE 9 CURB INLET FDOT 425-054 P-BOTTOM FDOT 425-010	150.10
A7	12" YARD INLET DTL INC 701	151.06
B0	FDOT TYPE 8 MANHOLE INDEX 425-01	147.94
B1	TYPE 1 MANHOLE INDE 425-06	148.13
C0	FDOT TYPE 8 MANHOLE INDEX 425-06	148.31
C1	TYPE 9 DOUBLE CURB INLET FDOT 425-054 P-BOTTOM FDOT 425-010	157.17
D0	TYPE 9 MIDDLE CURB INLET FDOT 425-054 P-BOTTOM FDOT 425-010	159.34
D1	TYPE 9 DOUBLE CURB INLET FDOT 425-054 P-BOTTOM FDOT 425-010	157.31
D2	DOGHOUSE TYPE 9 CURB INLET FDOT 425-054 P-BOTTOM FDOT 425-010	149.57
E1	12" YARD DRAIN	147.75
E2	12" YARD DRAIN	147.11

Kimley»Horn

PER SURVEY BY SOUTHEASTERN SURVEYING, INC., DATED SEPTEMBER 14, 2021, HORIZONTAL AND VERTICAL CONTROL BASED UPON NAD 1983, NAVD 1988 FLORIDA NORTH ZONE

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Gresham Smith
GreshamSmith.com

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TOWER EXPANSION

HCA Florida Lake City Hospital
340 NW Commerce Dr.
Lake City, FL 32055
HCA Project No. 3793800016
Florida AHCA
Project Submission No.
Client Code / File No.

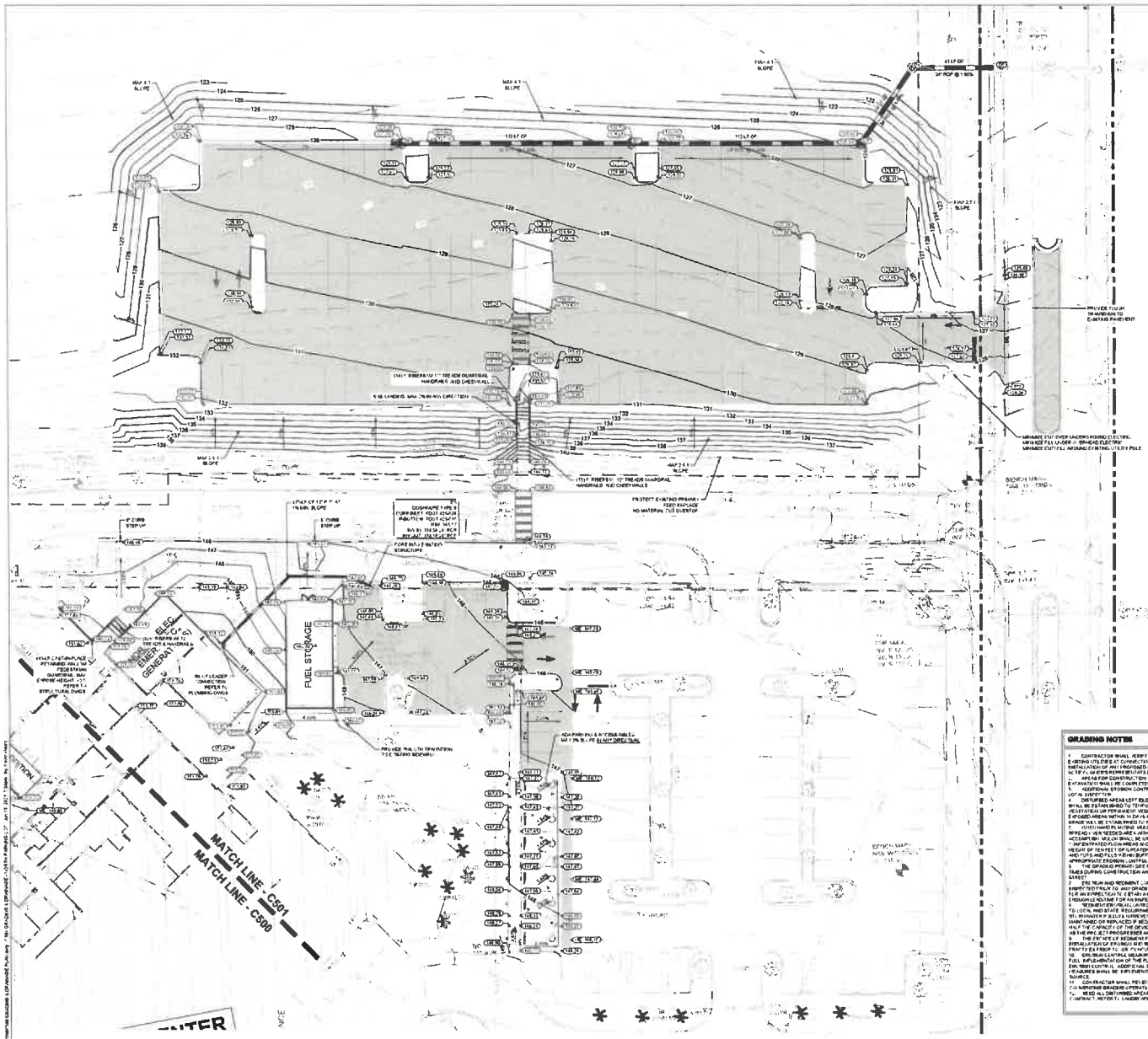
Revision		
No.	Date	Description

GRADING & DRAINAGE - TOWER

C500

NHA PROJECT: 118099017
CSR PROJECT: 46183.00
DATE: 09/17/2022

LINE IS 3 INCHES WHEN PRINTED FULL SIZE
FULL SHEET SIZE = 30"X42"



GRAPHIC SCALE IN FEET
0 10 20 40

GRADING PLAN LEGEND

123.45	SPOT ELEVATION
FF	FINISHED FLOOR ELEVATION
	EXISTING CONTOUR
15	PROPOSED CONTOUR
	ACCESSIBLE PATH
1	DRAINAGE INLET CURB FRONT FLUSH TO 1" VERTICAL UNLESS NOTED OTHERWISE
2	FIRE HYDRANT BY HANDLEWIRE MAX 2% SLOPE IN ANY DIRECTION.
3	DRAINAGE HIGH POINT

GRADING NOTES

1. CONTRACTOR SHALL VERIFY LOCATION, SIZE, AND ELEVATIONS OF EXISTING UTILITIES AT CONNECTION POINTS PRIOR TO GRADING OR INSTALLATION OF ANY PROPOSED UTILITIES. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER REPRESENTATIVE IF DISCREPANCIES ARE FOUND.
2. AREAS FOR CONSTRUCTION THAT REQUIRE DEWATERING FOR EXCAVATION SHALL BE COMPLETED AT NO ADDITIONAL COST TO THE OWNER.
3. EROSION AND SEDIMENTATION CONTROL DEVICES SHALL BE USED AS REQUIRED BY LOCAL AUTHORITIES.
4. DISTURBED AREAS LEFT IDLE FOR FIVE DAYS, AND NOT TO FINAL GRADE SHALL BE ESTABLISHED TO TEMPORARY VEGETATION. WITH TEMPORARY VEGETATION OR PERMANENT VEGETATION SHALL BE COMPLETED ON ALL EXPOSED AREAS WITHIN 14 DAYS AFTER DISTURBANCE. ALL AREAS TO FINAL GRADE WILL BE ESTABLISHED TO PERMANENT VEGETATION WITHIN COMPLETE 15
5. WHEN HAND PLANTING WITH SOD OR STRAW MULCH BE UNIFORM & SPREAD OVER NEEDED AREA WITHIN 24 HOURS OF NEEDING. IF UNABLE TO ACCOMPLISH MULCH SHALL BE USED AS A TEMPORARY COVER.
6. IMPENETRATED FLOW AREAS AND ALL SLOPES STEEPER THAN 3:1 AND WITH A HEIGHT OF TEN FEET OR FURTHER GIVEN NOT NEED TO INSTALLING WALLS, AND TUFTS AND FILLS FOR BUFFERS SHALL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL MATERIAL OR BLANKETS.
7. THE GRADING PERMIT SITE PERMIT MUST BE DISPLAYED ON SITE AT ALL TIMES DURING CONSTRUCTION AND IN PLAN VIEW FROM A PUBLIC ROAD OR STREET.
8. THE PLAN AND SEDIMENT CONTROL DEVICES MUST BE DISPLAYED AND INSPECTED PRIOR TO ANY GRADING. ON SITE, THE CONTRACTOR MUST CALL FOR AN INSPECTION FOR A GRADING PERMIT TO GRADE PLEASE CALL WITH ENGINEER NOTIFY FOR AN INSPECTION TO MEET 1 DAY SCHEDULE.
9. SEDIMENTATION/REGULATORY DEVICES MUST BE INSPECTED ACCORDING TO LOCAL AND STATE REQUIREMENTS AND AS STIPULATED IN THE SEDIMENTATION POLLUTION PREVENTION PLAN. EACH DEVICE SHALL BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MAY BE NECESSARY AS THE PROJECT PROGRESSES AND NEW CHANNELS HAVE BEEN DEVELOPED.
10. THE DEVELOPER SEDIMENT FROM THE SITE SHALL BE PREVENTED IN THE STABILIZATION OF EXISTING AND SEDIMENT CONTROL MEASURES AND PRACTICES FROM TO OR FROM CURRENT WITH UNDISTURBED AND TREES.
11. EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
12. CONTRACTOR SHALL REVIEW GEOTECHNICAL REPORT BEFORE COMMENCING GRADING OPERATIONS.
13. SEED ALL DISTURBED AREAS UNLESS OTHERWISE NOTED AS PART OF THE CONTRACT. REFER TO LANDSCAPING PLANS FOR APPROVED SEED MIX.
14. INSTALL SOD OR PERMA IN SWALES AS INDICATED ON GRADING PLANS AND EROSION CONTROL PLANS.
15. TOP SOIL ON SITE SHALL BE STRIPPED AND STOCKPILED FOR REUSE IN LAWN AREAS.
16. ADEQUATE DRAINAGE BROOKS AND SEDIMENT CONTROL MEASURES BEST MANAGEMENT PRACTICES WORK TO COMPLY WITH SOLID MANAGEMENT PRACTICES AND PROTECTED AGAINST DAMAGE DURING CONSTRUCTION.
17. DISTRIBUTION DRAINAGE TO ADJACENT PROPERTY AND/OR RIGHT OF WAY (CONSTRUCTION SITE) ALLOWED BY THE COUNTY AND THE PROPERTY OWNER IF FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND ENCROACHMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
18. UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED BY THE OWNER DESIGNER OR THEIR REPRESENTATIVES. BEFORE YOU DIG CALL 811 OR 1-800-432-4770.
19. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND ASSUME THE RESPONSIBILITY FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE FAILURE TO LOCATE EXACTLY ALL CABLES AND PIPELINES AND UNDERGROUND UTILITIES TO REMAIN.
20. DRAINAGE STRUCTURES SHALL BE EXCEPTIONAL REQUIRING UTILITY ADJUSTMENT (LANDSCAPE) OR FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD CONSTRUCTION PLAN SPECIFICATIONS AND DETAILS.
21. ALL RETAINING WALLS BE REINFORCED CONCRETE PIPE UNLESS OTHERWISE NOTED.
22. ALL PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
23. THE CROSS SLOPE IN ADA ACCESSIBLE ROUTES SHALL NOT EXCEED 1.9%. THE LONGITUDINAL SLOPE ON ADA ACCESSIBLE ROUTES (NOT INCLUDING RAMPS) SHALL NOT EXCEED 5.0%. THE LONGITUDINAL SLOPES FOR RAMPS SHALL NOT EXCEED 10.0%.
24. ALL SIDEWALK RUNNING SLOPES SHALL BE LESS THAN 2% SLOPE IN ANY DIRECTION.
25. PROPOSED ELEVATIONS IN ALL DRY SOUR AREAS REPRESENT FINISHED TOP OF BIOSWALES OR ALL OTHER UNDISTURBED MATERIAL.
26. CONTRACTOR SHALL PROVIDE ALL FITTINGS, COUPLINGS OR ADAPTERS NECESSARY TO ALLOW ACTUAL TIE THE BUILDING PLUMBER AND TO CONNECT PLUMBING LEADERS TO THE MAIN STORM LINES.
27. CONTRACTOR SHALL SUPPORT AND PROTECT ALL EXISTING AND PROPOSED UTILITIES WITH CONTROL AND NEW DRAINAGE STRUCTURES AND PIPES.
28. CONTRACTOR SHALL PROVIDE FIELD VERIFIED AS-BUILT FOR ALL STORMWATER MANAGEMENT AREAS AND INFRASTRUCTURE.
29. ALL CLEARING IS LOCATED WITHIN MODERATE SHALL HAVE ADA ACCESSIBLE CURB.
30. ALL CLEARING WITHIN DRY AREAS SHALL HAVE HAND-FIELD ORIENTED CURB.

Kimley»Horn

PER SURVEY BY SOUTHEASTERN SURVEYING, INC., DATED SEPTEMBER 14, 2021, HORIZONTAL AND VERTICAL CONTROL BASED UPON NAD 1983, NAVD 1988 FLORIDA NORTH ZONE

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Gresham Smith

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HCA Design Mgr.: Nicole Hook
HCA Const. Mgr.: Ben Mullen

General Contractors
Raines & Morton
5000 Maryland Way, Suite 100
Brentwood, TN 37027

TOWER EXPANSION

HCA Florida Lake City Hospital
340 NW Commerce Dr.
Lake City, FL 32055
HCA Project No. 3793800016
Florida AHCA
Project Submission No.
Client Code / File No.

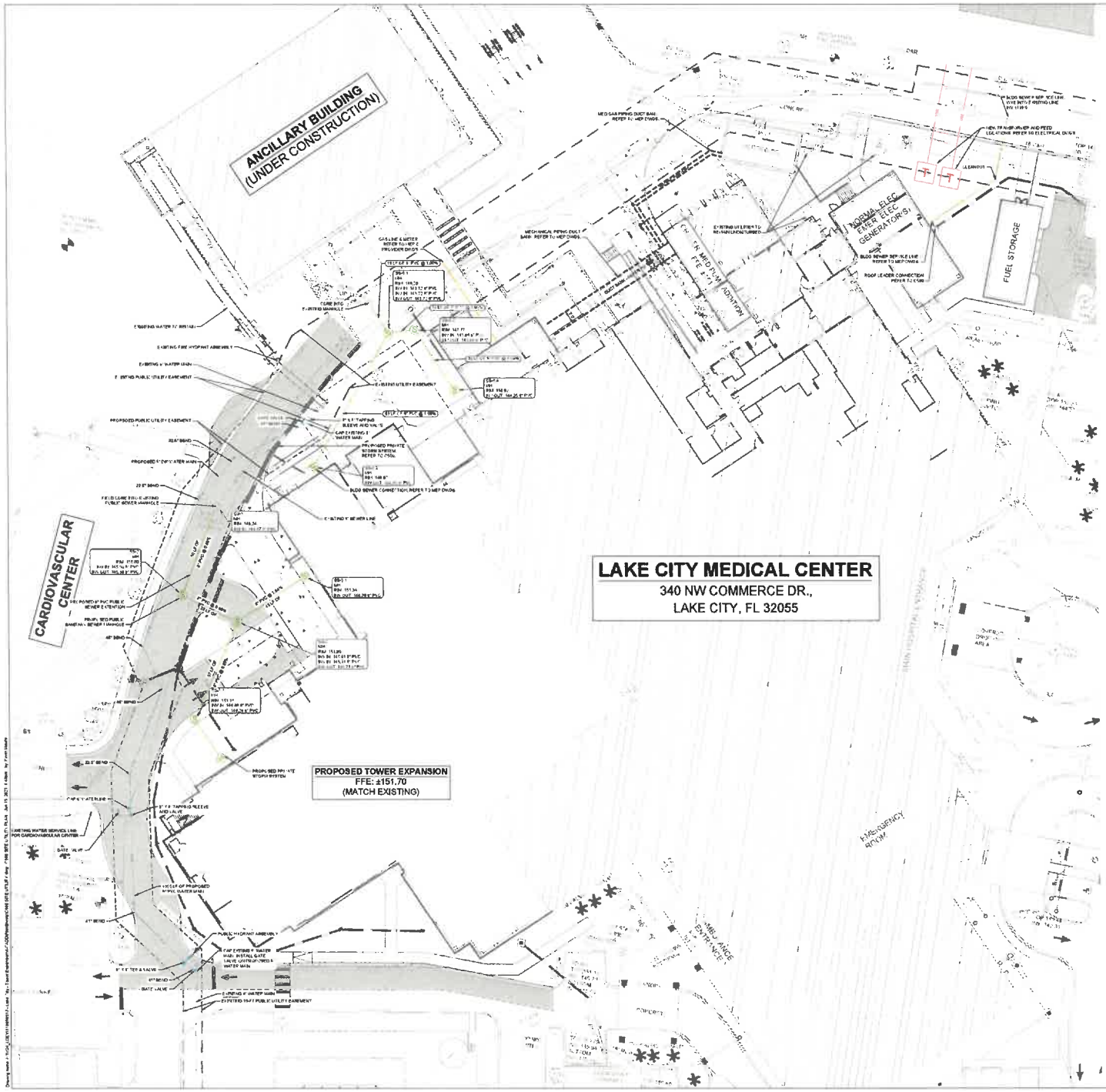
Revision		
No.	Date	Description

GRADING & DRAINAGE - POWERHOUSE & NORTH PARKING LOT

C501

HSA PROJECT: 118006017
FILE NAME: C501.DWG
DATE: 09/15/2023

LINE IS 1 INCH WHEN PRINTED FULL SIZE
FULL SHEET SIZE = 30"X42"



UTILITY LEGEND

GAS LINE
WATER LINE
SANITARY SEWER
UNDERGROUND COMMUNICATION
UNDERGROUND ELECTRIC
OVERHEAD ELECTRIC
STORM LINE (REFER TO CIVIL)

UTILITY NOTES

1. CONTRACTOR RESPONSIBLE FOR VERIFYING EXISTING ELEVATIONS COMPARED TO THE REMOVAL PLAN AND REPORTING DEVIATIONS TO THE OWNER'S REPRESENTATIVE IF UNDERPINNINGS ARE FOUND.
2. ANY REPAIR OF EXISTING TOOTH THAT REQUIRE GROUNDTREATED FOR EXCAVATION WILL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
3. ALL WATER MATERIALS AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH CITY OF LAKE CITY UTILITIES DEPARTMENT STANDARD SPECIFICATIONS LATEST EDITION.
4. ALL SEWER MATERIALS AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE CITY OF LAKE CITY'S STANDARD SPECIFICATIONS LATEST EDITION.
5. MAINTAIN MINIMUM 10 FEET HORIZONTAL SEPARATION BETWEEN WATER & SANITARY SEWER OR VERTICAL SEPARATION AT CROSSING LOCATIONS. REFER TO THE CITY OF LAKE CITY STANDARD SPECIFICATIONS FOR PIPE BEDDING REQUIREMENTS.
6. ALL WATER VALVES TO BE LOCATED OUTSIDE OF PAVED AREAS WHERE FEASIBLE.
7. THE CONTRACTOR SHALL PROVIDE A COMPLETE SET OF AS-BUILT DRAWINGS FOR WATER & SANITARY SEWER CONSTRUCTION PRIOR TO THE ACCEPTANCE OF THE PUBLIC UTILITIES.

SANITARY SEWER GENERAL NOTES

1. PRIOR TO STARTING CONSTRUCTION, CONTRACTOR SHALL ENSURE THAT ALL REQUIRED PERMITS, EASEMENTS AND APPROVALS HAVE BEEN OBTAINED. *PRETS TO BE SUBMITTED AT PREPCONSTRUCTION MEETING.
2. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY PROJECT ENGINEER IF ANY DISCREPANCIES EXIST. ANY WORK DONE BY THE CONTRACTOR THAT CHANGES OR ALTERS THE INTENT OF THE CONSTRUCTION DRAWINGS WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER VOIDS THE SEAL SHOWN HEREON AND CANNOT BE ASSOCIATED WITH THE PROJECT.
4. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR WILL NOTIFY ALL UTILITIES NOTIFIED AND AFFECTED TO THE PROJECT SITE TO IDENTIFY ANY POSSIBLE CONSTRUCTION CONFLICTS. THE ACCURACY OF THE LOCATIONS OF THE EXISTING SUBSURFACE UTILITY STRUCTURES SHOWN ON THE PLANS IS NOT GUARANTEED. NOR IS IT GUARANTEED THAT ALL SUBSURFACE STRUCTURES ARE SHOWN.
5. ALL PROPOSED SANITARY SEWER LINES AND MANHOLES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF LAKE CITY UTILITIES DEPARTMENT.
6. BEFORE FOR RE-CONSTRUCTED BY AUTHORIZED MUNICIPAL UTILITY DEPARTMENT REQUIRED MEETING.
7. THE CONTRACTOR SHALL NOTIFY THE CITY OF LAKE CITY UTILITIES DEPARTMENT 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
8. ALL CONTAMINATED SOILS SHALL BE REMOVED AND DISPOSED PRIOR TO SEWER CONSTRUCTION.
9. WHERE WATER PIPES CROSS BELOW THE SANITARY SEWER LINE THE WATER SERVICE WITHIN 18 FEET OF THE POINT OF CROSSING SHALL BE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER LINE OR THE NEAREST LINE SHALL BE OF DUCTILE IRON PIPE MANUFACTURED MANNER.
10. ALL LATERALS SHALL BE MARKED BY MAGNETIC TAPE
11. ALL CONNECTIONS TO EXISTING MANHOLES MUST BE CORED, BOORED AND IN DETAILED.
12. NEW MANHOLES SHALL NOT BE ADJUSTED MORE THAN 6 INCHES BY THE USE OF CONCRETE RIDER RINGS. DEVIATIONS MANHOLES REQUIRING RETHAPE SHALL REQUIRE THE REMOVAL OF THE CONE TOP AND REPLACEMENT OF THE APPROPRIATE SIZE MANHOLE. PIPES THAT ARE BROKEN WHEN BE REINSTALLED OR REPLACED DEPENDING ON CONDITION.
13. UPON COMPLETION OF THE PROJECT, AS-BUILT DRAWINGS MUST BE PREPARED BY A LICENSED PROFESSIONAL ENGINEER AND SUBMITTED TO THE CITY OF LAKE CITY UTILITIES DEPARTMENT IN BOTH CAD AND ELECTRONICAL FORMAT.
14. THE CONTRACTOR SHALL CALL THE CITY OF LAKE CITY UTILITIES DEPARTMENT FOR A PRE-CONSTRUCTION MEETING AT LEAST FIVE BUSINESS DAYS BEFORE THE START OF SEWER CONSTRUCTION.

Kimley»Horn

PER SURVEY BY SOUTHEASTERN SURVEYING, INC., DATED SEPTEMBER 14, 2021, HORIZONTAL AND VERTICAL CONTROL BASED UPON NAD 1983 NAVD 1988 FLORIDA NORTH ZONE

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Structural Engineer of Record
Michael E. Carter
Florida Registration #62825

MEP
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615.346.3400
FL Qualifier No. 26670
FL Registry No. 1276
MEP Principal Josh Cartwright
MEP Proj Mngr Paul C. McKinney
Mech Engineer of Record
Shawn Sullivan
Florida Registration #61090
Plumb/Fire P. Designer
Dennis Seigler
Elec. Engineer of Record
Paul C. McKinney
Florida Registration #62508

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2618 Centennial Blvd Suite 200,
Tallahassee, FL 32308
850.553.3500
FL Qualifier No. 6949
FL Registry No. 886
EOR: Kelsey Lewis, PE
Florida Registration #73584
Proj Mngr: Matthew Hamby
Landscape AOR: Charlie Johnson
Florida Reg #0067402

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NASHVILLE, TN 37204
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STRUCTURAL ENGINEERS SDL

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2618 CENTENNIAL BLVD SUITE 200
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HCA Healthcare
HCA Design & Construction
One Park Place, PO Box 550
Bldg. B, East 3rd Floor
Nashville, TN 37203
HCA Design Mgr. Nicole Hoch
HCA Const. Mgr. Ben McAlpin

General Contractors
Robins & Morton
5500 Maryland Way, Suite 100
Brentwood, TN 37027

TOWER EXPANSION

HCA Florida Lake City Hospital
340 NW Commerce Dr.
Lake City, FL 32055
HCA Project No. 37939000016
Florida AHCA
Project Submission No.
Client Code / File No.

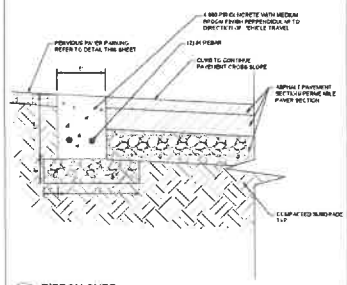
Revision		
No.	Date	Description

SITE UTILITY PLAN

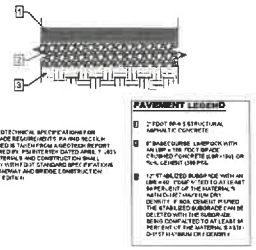
C600

LINE IS 3 INCHES WHEN PRINTED FULL SIZE
FULL SHEET SIZE = 30"x42"

KGS PROJECT 118099017
KGS PROJECT 118183.00
DATE 09/15/2023



1 RIBBON CURB
NOT TO SCALE



2 TYPICAL MEDIUM DUTY ASPHALT PAVEMENT SECTION
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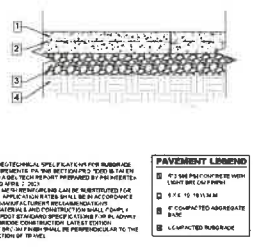
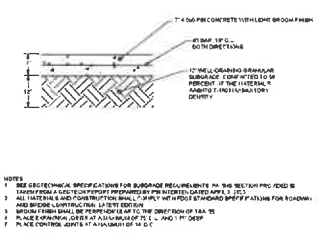


3 CONCRETE SIDEWALK
NOT TO SCALE



4 CONCRETE PAVEMENT SECTION
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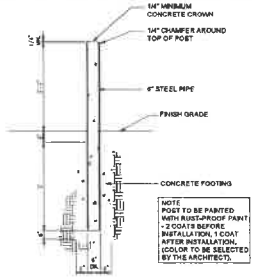
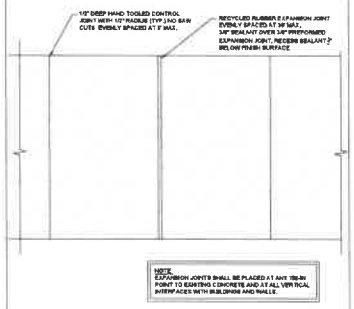
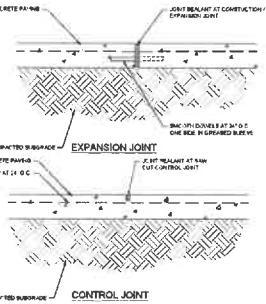


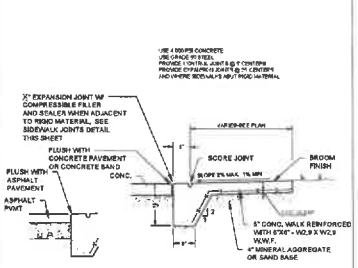
5 6" DIAMETER STEEL BOLLARD
NOT TO SCALE



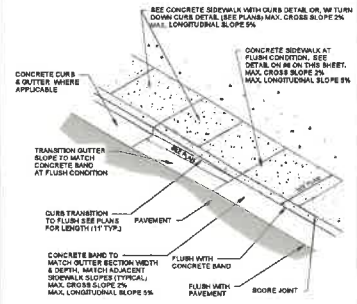
6 CONCRETE JOINT
NOT TO SCALE



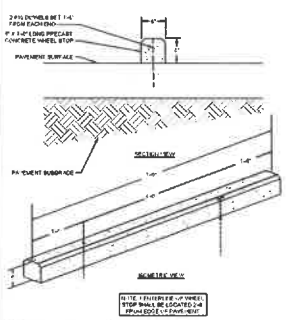
7 SIDEWALK JOINT DETAIL
NOT TO SCALE



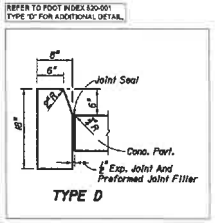
8 SIDEWALK AT FLUSH CONDITION
NOT TO SCALE



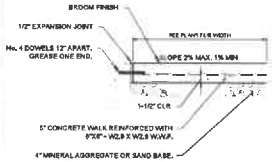
9 SIDEWALK TRANSITION TO FLUSH
NOT TO SCALE



10 CONCRETE WHEEL STOP
NOT TO SCALE

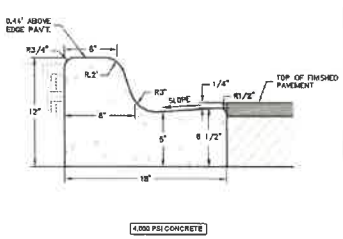


11 FDOT TYPE "D" CURB
NOT TO SCALE

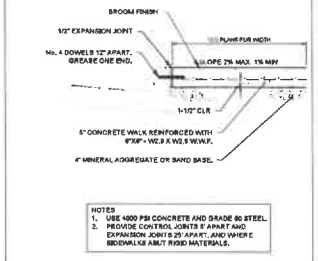


NOTES
1. USE 4000 PSI CONCRETE AND GRADE 60 STEEL.
2. PROVIDE CONTROL JOINTS 5' APART AND EXPANSION JOINTS 25' APART, AND WHERE SIDEWALKS ABUT RIGID MATERIALS.

12 SIDEWALK AT POST CURB
NOT TO SCALE

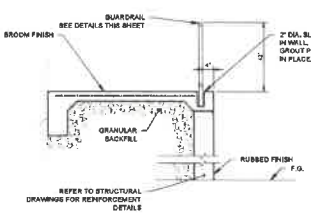


13 MODIFIED TYPE "F" CURB
NOT TO SCALE

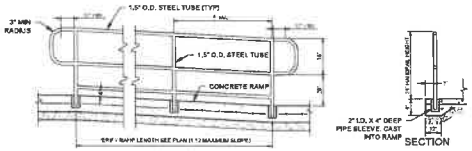


NOTES
1. USE 4000 PSI CONCRETE AND GRADE 60 STEEL.
2. PROVIDE CONTROL JOINTS 5' APART AND EXPANSION JOINTS 25' APART, AND WHERE SIDEWALKS ABUT RIGID MATERIALS.

14 SIDEWALK AT CURB & GUTTER
NOT TO SCALE

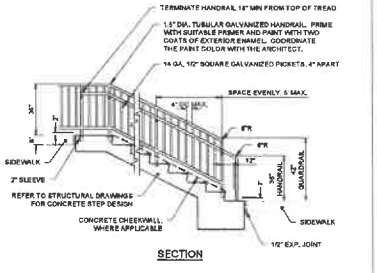


15 ELEVATED WALK
NOT TO SCALE

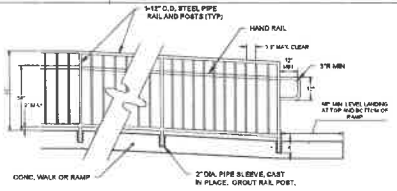


NOTES
1. PROVIDE 36" HEIGHT 1.5" O.D. HANDRAIL ON BOTH SIDES OF THE RAMP WITH 1.5" HANDRAIL EXTENDING 12" PAST THE TOP AND BOTTOM OF THE RAMP
2. THE RAMP SHALL HAVE A MINIMUM WIDTH OF 36" AND A MAXIMUM WIDTH OF 48"
3. THE RAMP SHALL HAVE A MINIMUM WIDTH OF 36" AND A MAXIMUM WIDTH OF 48"
4. HAND RAIL SHALL BE SMOOTH FINISH. ALL WELDED SURFACES SHALL BE PAINTED WITH TWO COATS OF ENAMEL. COLOR TO BE SELECTED BY THE ARCHITECT
5. PROVIDE HANDRAILS AND RAILS AT ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT
6. RAMP CONSTRUCTION WALLS BE SIDE ARE TO CONCRETE SIDEWALK

16 ACESSIBLE RAMP WITH HANDRAIL
NOT TO SCALE



17 CONCRETE STAIRS WITH HANDRAIL
NOT TO SCALE



NOTES
1. PROVIDE 3'-6" HIGH 1-1/2" O.D. GUARD RAIL AT ELEVATION DROPS GREATER THAN 30". MAXIMUM VERTICAL PICKET SPACING SHALL BE 4", ON CENTER.
2. VARIATIONS IN GUARD RAIL HEIGHT SHALL NOT BE ALLOWED.
3. MAXIMUM CLEARANCE BETWEEN BOTTOM RAIL AND CONCRETE SHALL BE 2".
4. GUARD RAIL SHALL BE SMOOTH-FINISHED. ALL WELDED SURFACES PRIMED AND PAINTED WITH TWO COATS OF ENAMEL. COLOR TO BE SELECTED BY ARCHITECT
5. PROVIDE HAND RAIL WITH GUARD RAIL AT ALL WALKS GREATER THAN 5% SLOPE.

18 GUARD RAIL WITH HANDRAIL
NOT TO SCALE

Kimley»Horn

PER SURVEY BY SOUTHEASTERN SURVEYING, INC., DATED SEPTEMBER 14, 2021, HORIZONTAL AND VERTICAL CONTROL BASED UPON NAD 1983, NAVD 1988 FLORIDA NORTH ZONE

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

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DIAL 811
811 Know what's below. Call before you dig.
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

Gresham Smith
GreshamSmith.com

ARCHITECT, INTERIOR DESIGNS, GRAPHICS
Gresham Smith
222 2nd Avenue South, Suite 1400
Nashville, TN 37201-2208
615.770.8100
FL Qualifier No. AR0013420
FL Registry No. IV10006
Architect/Interior Designer of Record
Eric M. Snyder
Florida Registration #86187
Project Principal: Rob Hamby
Project Architect: Eric Snyder
Project Coordinator: Traci Myers
Interior Designer: Morgan Black

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2900 Kraft Drive, Suite 500
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615.346.3480
FL Qualifier No. 28870
FL Registry No. 1278
MEP Principal: Josh Cartwright
MEP Proj Mngr: Paul C. McKinney
Mech. Engineer of Record
Steven Sullivan
Florida Registration #81090
Plumb'ng P. Designer
Donna Gaspel
Elec. Engineer of Record
Paul C. McKinney
Florida Registration #56698

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750 Old Hickory Blvd. Building 1 Suite 175
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615.370.1755
FL Qualifier No. 28200
FL Registry No. 1329
Project Principal Engineer
Mark Hilbur
Structural Engineer of Record
Michael E. Carter
Florida Registration #62925

LT/IT/Telecom PM: Michael Hamby

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850.553.3500
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FL Registry No. 896
EOR: Kelsey Lewis, PE
Florida Registration #79584
Proj Mngr: Chris Jones
Landscape ACM: Charlie Johnson
Florida Reg #0067603

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Nashville, TN 37203
HCA Design Mgr. Noelle Hook
HCA Const. Mgr. Ben Meldon

General Contractors
Raines & Morton
5000 Maryland Way, Suite 100
Brentwood TN 37027

ED EXPANSION, PHARMACY AND DIETARY RENOVATION

LAKE CITY MEDICAL CENTER
340 NW Commerce Dr.
Lake City, FL 32055
HCA Project No. 3793800018, 3793800014

Florida AHCA
Project Submission No. 23/100156
Client Code / File No. 115

Revision		
No.	Date	Description
1	[illegible]	[illegible]-043

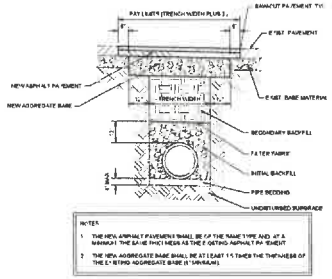
SITE DETAILS

C700

KGA PROJECT 118099011
KGA DRAWN BY MCC
DATE 12/05/2021

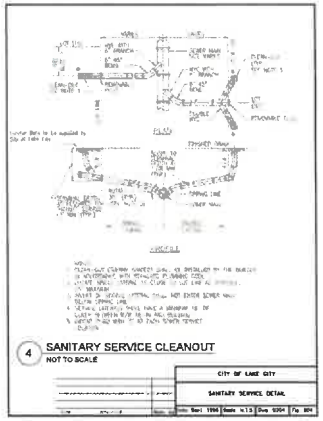
LINE IS 1 INCH WHEN PRINTED FULL SIZE
FOR HALF SIZE = 0.5"

1 NOT USED
NOT TO SCALE



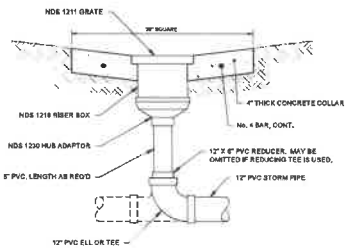
2 PAVEMENT TRENCH REPAIR
NOT TO SCALE

3 NOT USED
NOT TO SCALE



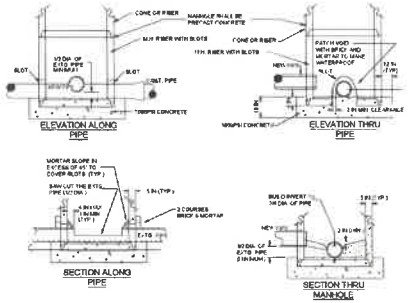
NOTE: CLEAN OUT WITHIN VEHICULAR USE AREAS SHALL BE H-20 LOAD RATED.

4 SANITARY SERVICE CLEANOUT
NOT TO SCALE

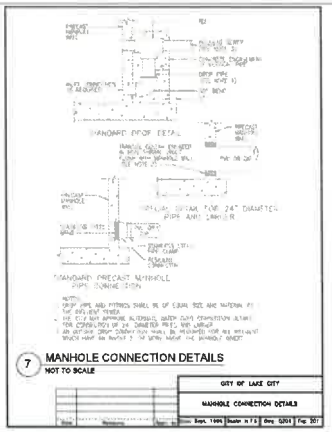


NDS IS BASIS FOR DESIGN. APPROVED EQUAL MAY BE SUBMITTED TO ENGINEER FOR APPROVAL.

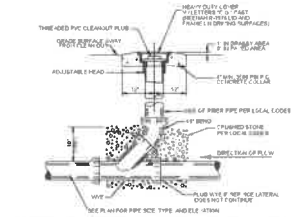
5 12" AREA DRAIN INLET
NOT TO SCALE



6 DOGHOUSE MANHOLE
NOT TO SCALE



7 MANHOLE CONNECTION DETAILS
NOT TO SCALE



NOTE: SEE APPLICABLE DETAIL FOR BACKFILL AND BEDDING INSTRUCTIONS.

NOTE: CLEAN OUT WITHIN VEHICULAR USE AREAS SHALL BE H-20 LOAD RATED.

8 STORM / SANITARY SEWER CLEANOUT
NOT TO SCALE

Kimley»Horn

PER SURVEY BY SOUTHEASTERN SURVEYING, INC., DATED SEPTEMBER 14, 2021, HORIZONTAL AND VERTICAL CONTROL BASED UPON NAD 1983, NAVD 1988 FLORIDA NORTH ZONE.

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615.770.8100
FL Qualifier No. AR0013430
FL Registry No. RY3806
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Eric M. Snyder
Florida Registration #56187
Project Principal: Rob Hamby
Project Architect: Eric Snyder
Project Coordinator: Traci Myers
Interior Designer: Morgan Black

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615.370.1735
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FL Registry No. 1228
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Structural Engineer of Record
Marshall E. Carrie
Florida Registration #62826

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MEP Proj Mngr: Paul C. McKinney
Mech Engineer of Record
Steven Sullivan
Florida Registration #61080
Plumb/Fire P. Designer
Donna Gaspel
Elec. Engineer of Record
Paul C. McKinney
Florida Registration #54669
Tech/Low Voltage PM: Michael Henry

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Tallahassee, FL 32308
850.553.3600
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FL Registry No. 698
EOR: Kelley Lewis, PE
Florida Registration #79384
Proj Mngr: Chris Akers
Landscape ACR: Charlie Johnson
Florida Reg #0067402

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HCA Design & Construction
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Bldg. B, East 3rd Floor
Nashville, TN 37203
HCA Design Mgr.: Kevin Hoch
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5500 Maryland Way, Suite 100
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ED EXPANSION, PHARMACY AND DIETARY RENOVATION

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340 NW Commerce Dr.
Lake City, FL 32055
HCA Project No. 3793800010, 3793800014
Florida AHCA
Project Submission No. 23/100156
Client Code / File No. 115

Revision

No.	Date	Description
1	2/23/2023	RFI-043

UTILITY DETAILS

C701

KGA PROJECT 118099011
DATE: 10/26/2021

Kimley»Horn

Stormwater Management Plan
For

HCA Florida Lake City Hospital

June 16, 2023

The Stormwater Management Plan for the HCA Florida Lake City Hospital Tower Expansion project will include utilizing the existing master on-site stormwater management facility located at the northeast corner of the project parcel. Kimley-Horn reviewed historical permits for the site and prepared a capacity accounting table associated with the master stormwater management facility shown below. This project will add 1.31 AC of impervious area to the site and there will be no wetland and floodplain impacts. After the project is constructed, there is remaining capacity in the master stormwater management facility. Stormwater runoff from this site will be conveyed through a stormwater conveyance system consisting of a series of pipes and inlets that discharges to the master stormwater management facility.

Kimley-Horn plans to submit a Minor Modification to the Environmental Resource Permit to the Suwannee River Water Management District (SRWMD). Kimley-Horn held a Pre-Application Meeting with the SRWMD on April 13, 2023. Meeting notes are attached.

Permitted Impervious Area per *ERP 97-0226* = 17.00 AC			
	Impervious Area	Net Impervious Area	'Bank' Remaining
Exisitng Condition per ***ERP# 205142 - 2***	11.86 AC	0.00 AC	5.14 AC
Exisitng Condition per ***ERP# 205142 - 3***	13.87 AC	2.01 AC	3.13 AC
Emergency Department, Ancillary, & Heliapd	13.16 AC	-0.71 AC	3.84 AC
Bed Tower Expansion & North Parking Lot	14.47 AC	1.31 AC	2.53 AC

SRWMD PRE-APP MEETING – MEETING MINTUES

Project: HCA Florida Lake City Florida – Bed Tower Expansion
KH Project No.: 118099017
2619 Centennial Blvd Suite 200, Tallahassee, FL 32308

Attendees: Matthew Hamby (KHA), Zack Newman (KHA), Kelsey Lewis (KHA), Sarah Corbett, Ashley Lewis, Garrett Spencer

Subject: SRWMD Pre-App Meeting Agenda – ***Meeting Minutes***

Date: April 13, 2023

MEETING OVERVIEW:

Permitted Impervious Area per *ERP 97-0226* = 17.00 AC			
	Impervious Area	Net Impervious Area	'Bank' Remaining
Exisitng Condition per ***ERP# 205142 - 2***	11.86 AC	0.00 AC	5.14 AC
Exisitng Condition per ***ERP# 205142 - 3***	13.87 AC	2.01 AC	3.13 AC
Emergency Department, Ancillary, & Heliapd	13.16 AC	-0.71 AC	3.84 AC
Bed Tower Expansion & North Parking Lot	14.47 AC	1.31 AC	2.53 AC

GENERAL QUESTIONS / COMMENTS:

1. De Minimums or Minor Modification?
    a. *Minor Modification*
    b. *Submit through portal*
    c. *Ensure no wetland or flood plain impact*
        i. *Concept should outline how we are not impacting the wetlands*
2. Confirm the stormwater maintenance facility is in compliance with the SRWMD Standards
    a. *Representative of SRWMD will confirm stormwater facility compliance*
        i. *If in compliance, no issues*
        ii. *If not in compliance, HCA shall bring up to compliance*
3. Confirm no development in the wetlands
    a. *Environmental Scientist will take soil samples within 25 feet of all proposed development to ensure no wetland impacts.*
4. KH must provide Agent Authorization
5. www.Srwmdfloodreport.com (internal website for future reference)
    a. Shows FEMAs flood maps & other wetlands for their jurisdiction

End of Meeting

Please contact me at (615) 314-5617 or zack.newman@kimley-horn.com should you have any questions.

Sincerely,

Zack Newman, EI

Kimley»Horn

Fire Department Access and Water Supply Plan
For

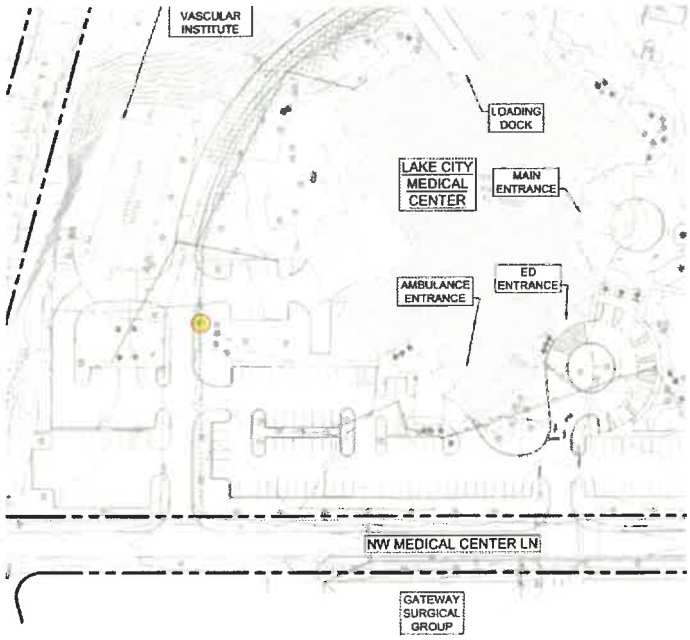
HCA Florida Lake City Hospital

June 21, 2023

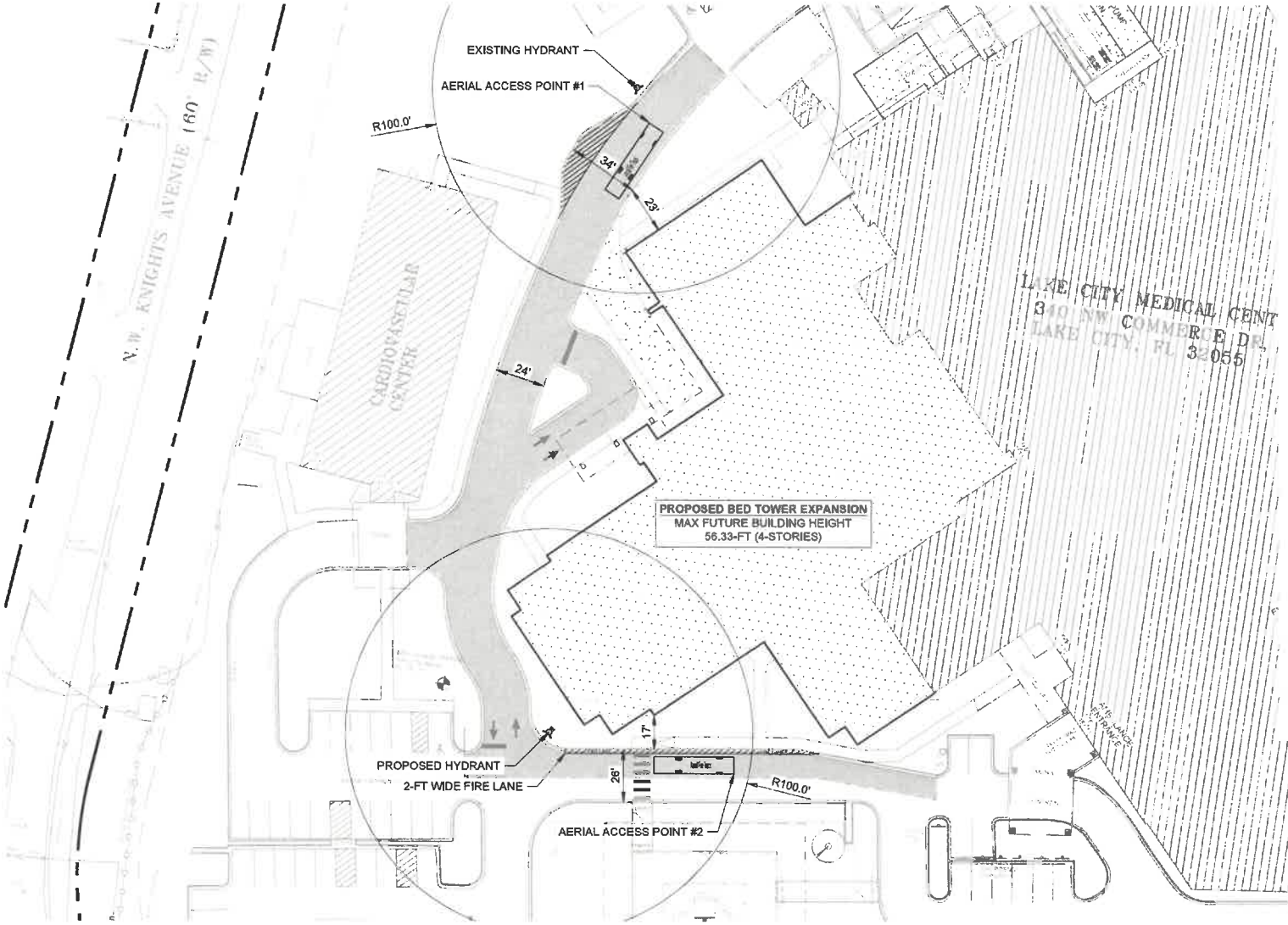
The fire suppression system that will serve the new tower will be connected to the existing fire suppression system within the existing hospital building. The new system will meet the National Fire Protection Association (NFPA) requirements and supply 1,000 GPM. The new fire suppression system will be designed by professional engineers with I.C. Thomasson Associates, Inc. They will provide signed and sealed fire flow calculation and drawings as part of the full construction document package. A professional fire engineer will be brough on the project once construction kicks off.

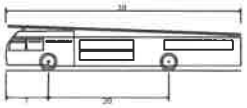
A hydrant flow test was performed July 7, 2022. A new flow test will be performed by the City in the coming weeks. The results of the flow test from 2022 are shown below.

- Inspector: Kevin Parlatti
- Static Pressure: 95 psi
- Flow Rate: 1,300 GPM
- Residual Pressure: 60 psi



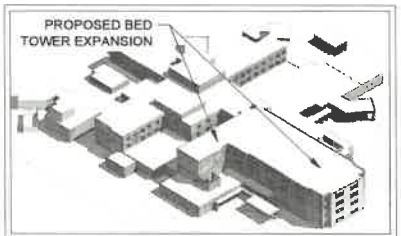
The attached Aerial Access Exhibit has been coordinated with the architectural team to denote the maximum future building height of 56.33 feet and aerial access points around the proposed tower expansion.



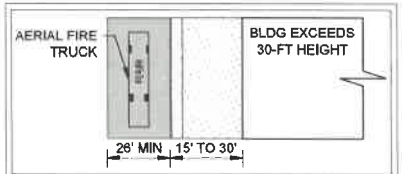


Aerial Fire Truck	
Overall Length	39.000ft
Overall Width	8.167ft
Overall Body Height	7.500ft
Min Body Ground Clearance	0.750ft
Track Width	8.167ft
Lock-to-lock time	5.00s
Max Wheel Angle	45.00°

AERIAL FIRE TRUCK



BUILDING MASSING DIAGRAM



AERIAL FIRE APPARATUS ACCESS - IFC SECTION D105

Kimley»Horn

AERIAL ACCESS - FIRE EXHIBIT

HCA FLORIDA LAKE CITY HOSPITAL - BED TOWER EXPANSION

May 2, 2023

0 25 50 100

NORTH

Drawing name: K:\NSH_LDEV\118099017 – Lake City – Tower Expansion\4-CADD\Exhibits\HCA FLORIDA LAKE CITY HOSPITAL – AERIAL EXHIBIT.dwg AERIAL FIRE EXHIBIT May 02, 2023 3:44pm by: Zack.Newman

Kimley»Horn

MEMORANDUM

To: Robert Angelo, City of Lake City Growth Management

From: Mark Shelton, AICP

Date: June 21, 2023

Subject: HCA Florida Lake City Hospital – Concurrency Impact Analysis

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This Concurrency Analysis is submitted for HCA Florida Lake City Hospital. The proposed use is a +/- 65,094 square-foot expansion. The site is +/-41.25 acres and includes Columbia County Tax Parcel 35-3S-16-02556-003. The development area is in the northeast quadrant of the intersection at US 90 and I-75. The site's Future Land Use (FLU) category is Commercial. The Zoning District classification is Commercial, General (CG).

The following analysis estimates potential impacts on Lake City public facilities that may result from the proposed development. The following tables include data obtained within the City Comprehensive Plan and Florida Administrative Code (F.A.C.).

Roadways / Transportation

Trip Generation figures are based on the Institute of Transportation Engineers (ITE) Trip Generation Manual, 11th Edition.

TABLE 1: PROJECTED TRIP GENERATION

Land Use	Intensity	Daily	AM Peak			PM Peak		
		Total	Total	In	Out	Total	In	Out
Existing Trip Generation Hospital	156.727 KSF	1,688	129	86	43	135	47	88
Proposed Trip Generation Hospital	221.538 KSF	2,386	182	122	60	191	67	124
Trip Differential (Proposed Minus Existing)		**698**	**53**	**36**	**17**	**56**	**20**	**36**

Potable Water / Sanitary Sewer / Solid Waste

TABLE 2: PROJECTED POTABLE WATER IMPACTS

Land Use	Maximum Units	Gallons Per Day[1]	Estimated Demand (GPD)
Hospital	28 Beds	2,000 / Bed	56,000

[1] *Source: Ch. 62E-6.008, Table 1, Florida Administrative Code*

Conclusion: The project site will be served by existing Lake City of potable water infrastructure. The subject property is served by Lake City's potable water, and it's anticipated to generate 56,000 gallons per day.

TABLE 3: PROJECTED SANITARY SEWER IMPACTS

Land Use	Maximum Units	Gallons Per Day[1]	Estimated Demand (GPD)
Hospital	28 Beds	2,000 / Bed	56,000

[1] *Source: Ch. 62E-6.008, Table 1, Florida Administrative Code*

Conclusion: The project site will be served by existing Lake City wastewater infrastructure. The subject property is served by Lake City's sanitary sewer, and it's anticipated to generate 56,000 gallons per day.

TABLE 4: PROJECTED SOLID WASTE IMPACTS

Land Use	Units	Solid Waste Generated (lbs/day)[1]	Solid Waste Generated (tons/year)[2]
Hospital	28 Beds	812	148

[1] *Formulas per Practice Greenhealth:*

[2] *Formula used, pounds per day to tons per year: ([lbs/day] * 365*

Conclusion: Solid waste facility capacity exists to adequately serve the intended hospital expansion development for the subject property. The subject property is served by Lake City's solid waste, and it's anticipated to generate 812 pounds per day and 148 tons per year.

Comprehensive Plan Consistency Analysis

Lake City Medical Center – Tower Expansion

The following analysis justifies this application's consistency with the City of Lake City's 2025 Comprehensive Plan.

Project Overview

The proposed HCA Florida Lake City Hospital – Tower Expansion project (Parcel ID 35-3S-16-02556-003) has a Commercial Future Land Use Designation per the City of Lake City Future Land Use Map 2025. The subject property is located at 340 NW Commerce Drive in Lake City, Florida and has a zoning designation of Commercial, General (CG). The proposed site plan is appropriate and compatible with the Commercial Future Land Use Designation and is further justified by meeting the following Lake City 2025 Comprehensive Plan Goals, Objectives, and Policies:

Future Land Use Element GOAL I

In recognition of the importance of enhancing the quality of life in the City, direct development to those areas which have in place, or have agreements to provide, service capacity to accommodate growth in an environmentally acceptable manner.

The proposed development is an expansion of the existing HCA Florida Lake City Hospital. This expansion will increase the level of medical services provided by the hospital, thereby enhancing the quality of life in the City and meeting the intent of this future land use element goal.

Future Land Use Element Policy I.1.1

The location of higher density residential, high intensity commercial and heavy industrial uses shall be directed to areas adjacent to arterial or collector roads, identified on the Future Traffic Circulation Map, where public facilities are available to support higher density or intensity.

The proposed development is accessible by existing development and infrastructure. The existing hospital is adjacent to SR-93, north of W US Hwy 90, and connected to the highways by NW Commerce Dr, NW Medical Center Ln, and NW York Dr. Therefore, the proposed development meets the intent of this future land use element policy.

Future Land Use Element Policy I.1.2

The land development regulations of the City shall be based on and be consistent with the following land use classifications and corresponding standards for densities and intensities and shall establish the following floor area ratio(s) to be applicated to each classification of land use:

COMMERCIAL

Lands classified as commercial use consist of areas used for the sale, rental, and distribution of products or performance of services, as well as public, charter and private elementary, middle and high schools. In addition, off-site signs, churches and other houses of worship, private clubs and lodges, residential dwelling units, which existed within this category on the date of adoption of this objective, and other similar uses compatible with commercial uses may be approved as special exceptions and be subject to an intensity of less then or equal to 0.25 floor area ratio except within the (CG) Commercial, General, (CI) Commercial, Intensive, (C-CBD) Commercial-Central

Business District and (CHI) Commercial, Commercial, Highway Interchange districts being subject to an intensity of less than or equal to 1.0 floor area ratio.

(CN) Commercial, Neighborhood uses shall be limited to an intensity of less than or equal to 0.25 floor area ratio. (CG) Commercial, General, (CI) Commercial, Intensive, (C-CBD) Commercial-Central Business District and (CHI) Commercial, Highway Interchange districts shall be limited to an intensity of less than or equal to 1.0 floor area ratio.

The proposed HCA Florida Lake City Hospital – Tower Expansion is a use that aligns with the Commercial Future Land Use (FLU) Designation. The proposed project in an increase of floor area on the existing HCA Florida Lake City Hospital. Therefore, the existing Hospital meets the Commercial future land use, and the proposed expansion will continue to meet the Commercial FLU. As indicated on the site plan, the proposed development also meets the 0.25 floor area ratio per the CG zoning designation. Therefore, the proposed development meets the intent of this future land use element policy.

Future Land Use Element Policy 1.3.1

The City shall limit the issuance of development orders and permits to areas where the adopted level of service standards for the provision of public facilities found within the Comprehensive plan are maintained. This provision also includes areas where development orders were issued prior to the adoption of the Comprehensive Plan.

The proposed project is consistent with this future land use policy by proposing expansion of an existing building in a location where the adopted level of service standards for the provision of public facilities are maintained.

Future Land Use Element Policy 1.4.1

The City's land development regulations shall continue to contain specific and detailed provisions to manage future growth and development to implement the Comprehensive Plan which shall contain at a minimum the following provisions to:

1. Regulate the subdivision of land;
2. Regulate the use of land and water consistent with this Element to maintain the compatibility of adjacent land uses and provide for open space;
3. Protect environmentally sensitive lands identified within the Conservation Element'
4. Regulate areas subject to seasonal and periodic flooding and provide for drainage and stormwater management;
5. Protect potable water wellfields and aquifer recharge areas;
6. Regulate signage;
7. Provide safe and convenient onsite traffic flow and vehicle parking needs and
8. Provide that development orders and permits shall not be issued which result in a reduction of the level of service standards adopted in the Comprehensive Plan

The proposed project is an expansion of the existing HCA Florida Lake City Hospital. Therefore, the proposed development meets each of the provisions and therefore meets this future land use element policy.

1. *The proposed project does not involve the subdivision of land.*

2. *The proposed project is an expansion of an existing development and therefore is compatible with adjacent land uses.*
3. *The proposed project will not impact environmentally sensitive lands.*
4. *The proposed project will provide for drainage and stormwater management. The Lake City Medical Center has an existing master stormwater facility (SRWMD Permit ERP97-0226).*
5. *The proposed project complies with this provision.*
6. *The proposed project is an expansion of the existing Lake City Medical Center. The proposed expansion will continue to meet the Code required signage.*
7. *Safe and convenient onsite traffic flow and vehicle parking needs will be provided as depicted on the site plan.*
8. *The proposed expansion will not reduce the level of service standards adopted in the Comprehensive Plan.*

Conservation Element Policy V.2.13

The City, prior to granting approval of a site and development plan, for construction or expansion shall require that all hazardous waste generators and facilities are duly permitted as required by Chapter 403, Florida Statutes, as amended, by the Florida Department of Environmental Protection. In addition, the City, prior to the issuance of a certificate of land development regulation compliance, shall require that all existing hazardous waste facilities or uses which generates hazardous waste show proof of such permit prior to a change in occupancy.

The proposed development will comply with Chapter 403, Florida Statues, as amended, by the Florida Department of Environmental Protection and thereby will comply with this policy.

Lake City Medical Center

340 NW Commerce Drive, Lake City, FL 32055

Columbia County Tax Parcel No. 35-3S-16-02556-003

Area: +/- 41.25 ac

Owner: Notami Hospitals of FL Inc

Legal description from Columbia County GIS:

COMM NW COR OF SW1/4 OF NW1/4, RUN E 1223.10 FT FOR POB, CONT E 715 FT, S 1570.49 FT, S 83 83 DG E 353.97 FT, S 7 DG W 197.96 FT, W 15 FT, S 7 DG W 244.15 FT, S 84 DG W 257.88 FT, S 80 DG W 719.17 FT, RUN N 310.89 FT TO S LINE OF A PROPOSED 60-FOOT RD, RUN SW ALONG R/W 239.30 FT TO A CURVE RUN SW'RLY ALONG CURVE 46.23 FT TO E R/W OF CO RD, NW 25 DG W ALONG R/W 113.36 FT TO A CURVE, RUN N'RLY ALONG CURVE 107.57 FT, N 05 DG E 1367.72 FT TO PT OF CURVE, RUN N'RLY ALONG CURVE 131.69 FT, E 203.43 FT, N 5 DG E 212.31 FT TO POB, EX 5.27 AC TO CO FOR PROPOSED RD AS DESC ORB 836-1372 & EX A PARCEL TO CITY OF LAKE CITY DESC ORB 877-2446 & EX 0.60 AC PER LETTER DATED 12/14/01. ORB 633-183, 679-644, 776-872, 836-468 THRU 508, & EAST 1/2 OF RD CLOSED AS DESC IN RESOL NO 98-R-29 IN ORB 865-2213

SAP:wh.
03/02/97
4250.03-96-487

This Instrument Prepared by
R. ALSTON PEELE
DANIEL, PEELE, WOODON & FRANKE
Attorneys at Law
327 North Hernando Street
Lake City, Florida 32055

0492

97-03324

Documentary Stamp 7526.66
Intangible Tax
P. DeWitt Cason
Clerk of Court
By D.C.

TRUSTEE'S DEED

1997 MAR 12 PM 4:47

THIS INDENTURE made this 5 day of Mar, 1997, between MILLER M. COOPER, as Trustee of Sentry Profit Sharing Trust, who does not reside on the property hereafter described, whose mailing address is 2727 Ulmerton Road, Suite 230, Clearwater, Florida 34622, (herein "Grantor") to NOTAMI HOSPITALS OF FLORIDA, INC., a Florida corporation, whose mailing address is One Park Plaza, Post Office Box 550, Nashville, Tennessee 37202-0550, (herein "Grantee").

W I T N E S S E T H:

That Grantor, for and in consideration of the sum of $10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys, and confirms unto Grantee, all of Grantor's right, title and interest in and to the following described property situate in Columbia County, Florida, viz:

TOWNSHIP 3 SOUTH, RANGE 16 EAST

Section 35: COMMENCE at the Northwest corner of the Southwest 1/4 of the Northwest 1/4 of said Section 35, Columbia County, Florida, and run N 87°20'18"E. along the North line of the South 1/2 of the Northwest 1/4 a distance of 1223.10 feet to the POINT OF BEGINNING; thence continue N 87°20'18" E. still along said North line 715.00 feet; thence S 02°14'18"W. 1570.49 feet; thence S 83°56'38"E. 353.97 feet to a point on the Westerly line of a 30 foot ingress/egress easement; thence S 07°26'25"W. along said Westerly line 197.96 feet to a point on the Northerly end of the Right-of-Way of a 60 foot County Road; thence N 83°55'31" W. along said Northerly end of the Right-of-Way of a 60 foot County Road 15.00 feet to a point on the Westerly Right-of-Way line of said 60 foot County Road; thence S 07°42'22"W. along said Westerly Right-of-Way line 244.15 feet; thence S 84°45'48"W. 257.88 feet; thence S.80°55'18"W. 575.38 feet; thence N 05°55'16"E. 663.14 feet; thence N 84°02'56"W. 322.54 feet to a point on a line formerly dividing lands of James Moore and L.B.Turner; thence S 05°48'54"W along said line 174.55 feet; thence N 84°11'06"W. 150.00 feet to a point on the Easterly Right-of-Way line of a 60 foot County Road; thence N 05°48'54"E. along said Easterly

Right-of-Way line 1253.72 feet to the Point of Curve of a curve concave to the Southwest having a radius of 160.00 feet and a central angle of 47°09'31", said curve also having a Chord bearing and distance of N 17°45'53"W.128.01 feet; thence Northerly along the arc of said curve, being also the Easterly Right-of-Way line of said 60 foot County Road 131.69 feet; thence N 87°20'18"E. 203.43 feet to a point on a line formerly dividing lands of James Moore and L.B. Turner; thence N 05°48'54"E. along said line 212.31 feet to the POINT OF BEGINNING.

TAX PARCEL NO: Parts of 35-3S-[redacted] and 35-3S-[redacted].

TOGETHER with all the tenements, hereditaments, and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD the same unto Grantee and to the proper use, benefit and behoove of Grantee, its successors and assigns, in fee simple forever. This deed is executed pursuant to and in the exercise of the power and authority vested in Grantor, as Trustee of Sentry Profit Sharing Trust, as evidenced by affidavit and excerpts from said Profit Sharing Trust Agreement attached hereto as Exhibit "A" and Grantor further warrants and represents to Grantee, that Grantor has full power and lawful authority to execute and deliver this deed; that Grantor is the owner of undivided one-half (1/2) interest in and to the above described property in fee simple; and Grantor will warrant and defend the title to said property against the claims of all persons whomsoever, provided, however, this deed is made subject to all restrictions and easements, if any, of record, and the lien and encumbrance of taxes accruing subsequent to December 31, 1996.

OFFICIAL RECORDS

IN WITNESS WHEREOF, Grantor has executed and delivered this instrument the day and year first above written.

Signed, sealed and delivered
in the presence of:

Lynn H. Eubanks
Lynn H. Eubanks
(Print or Type Name)

Theresa M. Johnson
Theresa M. Johnson
(Print or Type Name)

MILLER M. COOPER, as Trustee
of Sentry Profit Sharing Plan

STATE OF FLORIDA

COUNTY OF Hillsborough

The foregoing instrument was acknowledged before me this 5 day of March, 1997, by MILLER M. COOPER, as Trustee of Sentry Profit Sharing Trust, who is personally known to me, or who has produced _____ as identification.

Theresa Marie L. Johnson
Notary Public, State of Florida
Theresa Marie L. Johnson
(Print or Type Name)
My commission expires:

(NOTARIAL SEAL)

THERESA MARIE L JOHNSON
My Commission CC543873
Expires Mar 28 2000

SAP:wb
02/17/97

AFFIDAVIT AS TO EXISTENCE OF TRUST

STATE OF FLORIDA

BK 0936 PG0495

COUNTY OF PINELLAS

OFFICIAL RECORDS

BEFORE ME, the undersigned authority, personally appeared MILLER M. COOPER ("Affiant"), who is personally known to me, and who, after being duly sworn, deposes and says:

1. Affiant is the sole trustee under and pursuant to Profit Sharing Plan and Trust Agreement dated December 29, 1980, having an effective date of January 1, 1980, established by Sentry Engineering & Construction, Inc., a Georgia corporation, and known as Sentry Profit Sharing Plan (herein "the Plan").

2. The Trust created pursuant to the terms of the Plan is an active, ongoing trust which has continuously been active since the date of its inception for the benefit of the participants (as defined in the Plan), and Affiant has been actively engaged as Trustee under and pursuant to the terms of the Plan since its inception.

3. Attached hereto as Exhibit "A" are excerpts from Article IX of the Plan showing the power and authority of Affiant as Trustee to act for and on behalf of the Plan and the Trust created thereby for the purpose of buying, selling, exchanging, and managing property owned or held by the Trust. Affiant affirms that the attached Exhibit "A" is a true, correct and accurate copy of those excerpts from Article IX of the Plan showing the authority of Affiant as Trustee, and such remains unrevoked, unamended, and not modified.

4. The Plan and the Trust created thereby have never been amended, modified, or revoked, and the same remain in full force and effect as of the date of this affidavit.

FURTHER AFFIANT SAYETH NAUGHT.

MILLER M. COOPER

SWORN TO AND SUBSCRIBED before me this 5 day of ~~February~~ March, 1997, by MILLER M. COOPER, who is personally known to me.

(NOTARIAL SEAL)

THERESA MARIE KINNSON
My Commission CC543873
Expires Mar 28 2000

Notary Public, State of Florida

Theresa M. Kinnson
(Print or Type Name)

My Commission Expires:

EXHIBIT "A"

ARTICLE IX

MANAGEMENT OF TRUST FUND

BK 0836 PG 0496
OFFICIAL RECORDS

The Trustee and his successors shall have the power to do all things and execute such instruments as may be deemed necessary or proper, including the following powers, all of which may be exercised without order of or report to any court and without bond:

[1] To sell, exchange or otherwise dispose of any property at any time held or acquired under this Trust, at public or private sale, for cash or on terms, without advertisement, including the right to lease for any term notwithstanding the period of the Trust;

[2] To vote in person or by proxy any corporate stock or other security and to agree to or take any other action in regard to any reorganization, merger, consolidation, liquidation, bankruptcy or other procedure or proceeding affecting any stock, bond, note or other property;

[3] To compromise, settle and/or adjust any claim or demand by or against the Trust and to agree to any rescission or modification of any contract or agreement affecting such Trust;

[4] To borrow money and to secure the same by mortgaging, pledging and/or conveying any property of the Trust, including the acquisition of stocks and other securities on margin; and to lend money on good security;

[5] To register any stock, bond or other security in the name of a nominee, without the addition of words indicating that such security is held in a fiduciary capacity, but accurate records shall be maintained showing that such security is a Trust asset and the Trustee shall be responsible for the acts of such nominee;

[6] To hold cash in such amounts as may be in his opinion reasonable for the proper operation of this Trust;

[7] To invest all monies in such stocks, bonds, securities, investment company or trust shares, puts and calls, options, mutual funds, mortgages, notes, choses in action, real estate, improvements thereon, and other property including any common trust fund maintained by any Trustee;

[8] To invest and reinvest a portion of a Participant's account in whole life, term or income endowment-type life insurance policy contracts

EXHIBIT "A"

issued by a legal reserve life insurance company on his life. The Trustee shall be the owner of such ordinary life insurance contracts, and as such shall have, exercise and enjoy all of the rights, powers, options, privileges and benefits usually referred to as "incidents of ownership" and normally vested in the insured or owner of such contracts, provided that any death benefits received by the Trustee under such contracts shall be paid to the Beneficiary designated by the Participant, it being further agreed that the issuing insurance company shall not be deemed to be a party to this Trust or to the Plan. Any dividend payable under any insurance contract issued hereunder shall be used to increase the value of the contract or paid under such other available option as the Trustee may elect. If a Participant is insurable only at substandard rates, a life insurance contract may provide [i] for an appropriately lesser death benefit or [ii] for the full death benefit, in the Trustee's discretion. If a Participant is uninsurable, application may be made for an annuity contact.

BK 0836 PG 497
OFFICIAL RECORDS

The amount invested or reinvested on such insurance contracts shall not exceed the following stated percentages of Employer and Employee contributions allocated to a Member's account at any particular time.

Type of Contract	Employer's Contribution [plus forfeitures]	Employee's Contribution
[a] Whole life or limited pay life	49.9%	100%
[b] Term life	25.0%	100%
[c] Income endowment [involving life insurance]	100.0%	100%

NOTE: If both contract types [a] and [b] are purchased on one life, the sum of type [a] premium, plus twice the type [b] premium must satisfy the 49.9% limit.

The Trustee may establish a smaller maximum life insurance investment or a maximum life insurance face amount, both subject to the above-described percentage limitations, provided the formulas established by the Trustee are applied uniformly to all Participants.

The foregoing limits do not preclude the use on any contract of the disability waiver of premium benefit. No life insurance contract purchased by the Trustee for a Participant shall be allowed to continue after a Participant's retirement.

[9] To make such investments as the Trustee in his discretion shall deem best without regard to any law now or hereafter in force limiting the investment of trustees of other fiduciaries.

[10] In addition to the powers herein stated, the Trustee shall have all of the rights granted to fiduciaries under Sec. 4 of the Act numbered 433 published in 1973 Georgia laws, pages 846-856, which statute is hereby incorporated by reference and made a part hereof.

BK 0836 PG 0498
OFFICIAL RECORDS

GROWTH MANAGEMENT DEPARTMENT
205 North Marion Ave, Lake City, FL 32055
Phone: 386-719-5750
E-mail: growthmanagement@lcfla.com

AGENT AUTHORIZATION FORM

I, Notami Hospitals of Florida, Inc., dba HCA Florida Lake City Hospital (owner name), owner of property parcel

number 35-3S-16-02556-003 (parcel number), do certify that

the below referenced person(s) listed on this form is/are contracted/hired by me, the owner, or, is an officer of the corporation; or, partner as defined in Florida Statutes Chapter 468, and the said person(s) is/are authorized to sign, speak and represent me as the owner in all matters relating to this parcel.

Printed Name of Person Authorized	Signature of Authorized Person
1. Samuel Boadi	1. Chief Operating Officer
2.	2.
3.	3.
4.	4.
5.	5.

I, the owner, realize that I am responsible for all agreements my duly authorized agent agrees with, and I am fully responsible for compliance with all Florida Statutes, City Codes, and Land Development Regulations pertaining to this parcel.

If at any time the person(s) you have authorized is/are no longer agents, employee(s), or officer(s), you must notify this department in writing of the changes and submit a new letter of authorization form, which will supersede all previous lists. Failure to do so may allow unauthorized persons to use your name and/or license number to obtain permits.

Owner Signature (Notarized) 6/7/23 Date

NOTARY INFORMATION:
STATE OF: Florida COUNTY OF: Columbia

The above person, whose name is Samuel Boadi, personally appeared before me and is known by me or has produced identification (type of I.D.)_____ on this 7th day of June, 2023.

Charlotte R. DeVaney
NOTARY'S SIGNATURE

(Seal/Stamp)

CHARLOTTE R. DEVANEY
Notary Public - State of Florida
Commission # GG 960979
My Comm. Expires Jun 16, 2024
Bonded through National Notary Assn.

Kyle Keen, Tax Collector

Proudly Serving The People of Columbia County

Site Provided by... aumentumtech.com 1.12

Tax Record

Account Number 1 of 1

Last Update: 6/16/2023 9:16:16 AM EDT

Details
Tax Record
» Print View
Legal Desc.
Tax Payment
Payment History
Print Tax Bill NEW!
Change of Address

Searches
Account Number
GEO Number
Owner Name
Property Address
Mailing Address

Site Functions
Tax Search
Local Business Tax
Contact Us
County Login
Home

Register for eBill

Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year
P08953-093	PERSONAL PROPERTY	2019

Mailing Address
LAKE CITY MEDICAL CENTER
C/O DUCHARME MCMILLEN & ASSOC
PO BOX 80610
INDIANAPOLIS IN 46280

Property Address
340 NW COMMERCE DR LAKE CITY

GEO Number
000000-08953-093

Exempt Amount	Taxable Value
See Below	See Below

Exemption Detail
MX 10210

Millage Code
001

Escrow Code

Legal Description (click for full description)
622110/ 340 NW COMMERCE DR LAKE CITY

Ad Valorem Taxes

Taxing Authority	Rate	Assessed Value	Exemption Amount	Taxable Value	Taxes Levied
CITY OF LAKE CITY	4.9000	10,210	10,210	$0	$0.00
BOARD OF COUNTY COMMISSIONERS	8.0150	10,210	10,210	$0	$0.00
COLUMBIA COUNTY SCHOOL BOARD DISCRETIONARY	0.7480	10,210	10,210	$0	$0.00
LOCAL	3.9880	10,210	10,210	$0	$0.00
CAPITAL OUTLAY	1.5000	10,210	10,210	$0	$0.00
SUWANNEE RIVER WATER MGT DIST	0.3840	10,210	10,210	$0	$0.00
LAKE SHORE HOSPITAL AUTHORITY	0.9620	10,210	10,210	$0	$0.00

Total Millage	20.4970	Total Taxes	$0.00

Non-Ad Valorem Assessments

Code	Levying Authority	Amount

Total Assessments	$0.00
Taxes & Assessments	$0.00

If Paid By	Amount Due
	$0.00

Prior Years Payment History

Prior Year Taxes Due
NO DELINQUENT TAXES

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