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December 18, 2023

BURR.COM

Lake City, Florida Planning and Zoning Board
205 N. Marion Avenue
Lake City, FL 32055

Re: Application No. SPR 22-15
Owner - GWC Development Partners, LLC ("GWC")
Tenant/Operator - Circle K Stores, Inc. ("Circle K")
Location - Lot 2 Gateway Crossings (143 NW Centurion Court)

To the Lake City, Florida Planning and Zoning Board:

Our law firm represents Circle K Stores Inc., and for purposes of these proceedings will also be representing the interests of GWC Development Partners, LLC. This memorandum is provided in advance of a specially set hearing scheduled before the Lake City Planning and Zoning Board ("P&Z") for Wednesday, January 10, 2024, and Wednesday, January 17, 2024. The general overview of what this proceeding concerns is as follows:

- 1) Circle K seeks to expand its existing location at U.S. Hwy. 90 and I-75, to provide high speed diesel ("HSD") fueling in addition to its existing gasoline fueling and convenience store operations. The HSD facility will have three bays and three diesel pumps. It is not, nor is it intended to be, a "truck stop," which is defined in the Lake City LDR (Sec 2.1, Pg 2-23) as follows:

"A truck stop is an establishment where the principal use is primarily the refueling and servicing of trucks and tractor trailer rigs. Such establishments may have restaurants or snack bars and sleeping accommodations for the drivers of such over-the-road equipment and may provide facilities for the repair and maintenance of such equipment."

- There will be no restaurant, snack bar, or sleeping accommodations.
- There will be no facilities for repair and servicing of trucks.
- There will be no overnight parking.

- There will only be six parking bays to allow the driver to enter the store for a short period of time for the purchase of goods or the use of restrooms.
- 2) Circle K and GWC have complied with all regulatory and legal requirements throughout the process of applying for and obtaining the original approval of the expanded Circle K development. This includes the necessary approvals of Lake City, Columbia County and the FDOT.
- The site plan for the expanded HSD facility was unanimously approved by the Lake City Planning and Zoning Board on **July 6, 2022**.
 - An appeal of the plan was not filed within 30 days following the decision, as required by the LDR.
 - The Construction Permit for the expanded HSD facility was issued **February 28, 2023**.

The currently scheduled hearing comes before P&Z as a *de novo* rehearing of a Site Plan Application that was approved in favor of GWC (“Owner”) and Circle K. (“Tenant” or “Operator”) on July 6, 2022, as highlighted above. P&Z approved the Site Plan Application in accordance with the City of Lake City’s Land Development Regulations. Copies of the Site Plan Application and P&Z’s approval letter are attached as **Exhibits “A” and “B,”** respectively. Also attached as **Exhibit “C”** is a copy of the June 22, 2022, Review Report submitted by City staff in advance of the hearing, which raised no issue in opposition to the application.

No appeal was taken from the decision by P&Z, which must be filed with City Council within thirty (30) days following the decision at issue. See, LDR 11.1.1 and 11.1.2. Instead, Gateway Hotels, LLC, the “Appellant” in these proceedings, and a neighboring hotel operator in the Gateway Crossings development, waited more than eight (8) months to challenge the P&Z decision by filing a Notice of Appeal with the Lake City, Florida Board of Adjustment challenging the issuance of Circle K’s New Commercial Construction Permit, #000046609 (the “Construction Permit”) dated February 28, 2023. For procedural reasons discussed in more detail below, the matter is now being presented for a second time to P&Z.

The project in question involves Circle K’s expansion of an existing convenience store operation to include a high speed diesel fueling facility (“HSD Facility”) consisting of three fueling bays and three diesel pumps, immediately behind and to the north of the existing convenience store. The plan for the project is included with the attached Site Plan Application, **Exhibit “A,”** and is further detailed in the construction Plans attached as **Exhibit “A-1.”** A copy of the Construction Permit issued by the City of Lake City is attached as **Exhibit “D.”** Appellant has purported to appeal the issuance of this Construction Permit based on the notion that Circle K’s expanded convenience store operation amounts to a “Truck Stop” under the applicable LDRs, and requires a “special use” exception under those regulations. The Appellant has repeatedly referred to the Construction Permit (issued February 28, 2023) as a “Development Order,” apparently in an effort to extend its appellate rights and gloss over the fact that the appeal was lodged eight months after the substantive decision by P&Z. . It is the position of both GWC and Circle K that the issuance

of the Construction Permit was a ministerial act, meaning a non-discretionary, non-judgmental decision by the City staff, prompted by the approval of Circle K's site plan. The site plan was submitted and approved in accordance with the City's applicable Land Development Regulations. A copy of the Minutes of the July 6, 2022, meeting are attached hereto as **Exhibit "E."**

After issuance of the Construction Permit, and in reliance on the City's land development procedures, Circle K finalized a long term Ground Lease with GWC for the new expansion, and entered into contract with U.S. General Construction, Inc. for the construction of its expansion project. Simply put, the Appellant missed its opportunity to challenge this project as the time for appeal had long since expired, and then attempted to use the issuance of the Construction Permit as way to revive its procedural posture. A plain reading of the 27 page Notice of Appeal reflects a detailed challenge to the Board's July 2022 decision, issues that should have been presented at the public hearing, or at a minimum through a timely appeal of that decision. The permit itself involved no discretionary decision making by the City or any of its boards, but again, was a ministerial act, i.e. a non-discretionary action, that required no decision. In fact, the Appellant acknowledges the site plan approval in its Notice of Appeal, but then argues that there was a modification that was not properly noticed for public hearing. This is a complete "red herring" as there was no material change from the original site plan to the modified version (see attached **Exhibit "F"**) which is included in the Notice of Appeal

In preparing for the upcoming hearing, it appears that the Appellant has been looking at the wrong issue and applicable regulations as they relate to the July 2022 hearing. Appellant has argued since they launched their untimely appeal that a "special use exception" was required for Circle K's HSD Facility, and that the requirements for such an exception were not met. But the reliance on LDR 12.4 is misplaced. This case involves site plan review and approval. Therefore, as a site plan review, as opposed to a "special use exception," no notice was required to be published. The applicable LDR specifically states:

13.11.3 Action on Site and Development Plan. The Land Development Regulation Administrator shall forward the application for site and development plan approval along with any comments or criticisms to the Planning and Zoning Board for consideration. The Planning and Zoning Board shall handle such matters in a public session as part of a previously prepared agenda, however, no public notice and hearing is required. All matters relating to Planning and Zoning Board consideration of site and development plans shall be a public record and approval, approval with conditions, or denial shall require formal action of the Planning and Zoning Board. A petition for a zoning amendment and an application for site and development plan approval shall not be handled concurrently. Rather, an application for site and development plan approval shall be heard only after the applicant has secured the appropriate zoning on the subject parcel. Appeals from decisions of the Planning and Zoning Board shall be heard as set out in Article 12 of these land development regulations.

Appeals of such decisions are then governed by Article 12 of the LDRs, and the 30 day limitation period is applicable. Thus, we would again submit that this appeal is untimely as filed, and should certainly not be given an opportunity for reconsideration contrary to Lake City's regulations.

For these reasons alone, Circle K and GWC would submit that a rejection or dismissal of the appeal is the appropriate response in this instance. Furthermore, a plain reading of the Site Plan Application filed for GWC on April 1, 2022, reflects a “Proposed use of Property” as a “Circle K gas station and high speed diesel station.” There was no reference to a “truck stop” which the Appellant seems intent on arguing, and which is defined by the LDRs and referenced in their Notice of Appeal.

A truck stop is an establishment where the principal use is primarily the refueling and servicing of trucks and tractor trailer rigs. Such establishments may have restaurants or snack bars and sleeping accommodations for the drivers of such over-the-road equipment and may provide facilities for the repair and maintenance of such equipment.

There will be no “servicing of trucks” at this site, there will be no “restaurant or snack bar,” there will be no “sleeping accommodations,” and there will be no “repair and maintenance” of trucks. The crux of the issue is that this Appellant is dissatisfied with a substantive decision that the Planning and Zoning Board made in July of 2022. They aren’t taking issue with a construction permit, there is no flaw in that piece of paper, except that Appellant argues with the underlying decision that led to its issuance.

Accordingly, as the time for that appeal expired eight months before it was filed, Circle K and GWC would strongly urge dismissal or rejection of the Notice of Appeal and confirmation of the July 2022 site plan approval to be the appropriate remedy in this instance.

Notwithstanding the procedural objections made by GWC and Circle K, and assuming P&Z intends to rehear the application and reconsider the proposed site plan, there are several substantive points that should be highlighted in advance of that presentation. First, an updated Traffic Impact Analysis has been conducted to include current traffic counts and estimates as to the volume impact this expanded facility will have on local traffic. A copy of that analysis is included for your use and convenience with this memorandum as **Exhibit “G.”** As one can see, the impacts to traffic on U.S. Hwy 90 will be minimal and of no appreciable adverse impact. In fact, the expansion of Circle K’s facility would likely generate significantly less traffic volume going in and out of NW Centurion Court than the new restaurants (Sonic and Rib Crib), the self-storage facility (U-Haul) or a planned second hotel (on a parcel owned by Gateway Hotels, the “Appellant”). Copies of the concurrency analyses, including trip generation estimates, for Sonic, Rib Crib and U-Haul are attached as **Composite Exhibit “H.”**

Circle K had submitted a public records request to the City for copies of any Traffic Impact Analyses for other developments in the Gateway Crossings development. On October 18, 2023, the City produced three Site Plan Applications prepared by JB Pro for U-Haul, Rib Crib and Sonic, and nothing for the Appellant’s hotel. All of the applications included a brief Concurrency Impact Analysis, and the Transportation Mobility section of these analyses were all based on the City’s Level of Service Standards (“LOS”) for traffic impacts. No independent Traffic Impact Analyses were conducted for these other sites. This fact suggests that the other site plan approvals in Gateway Crossing were not put to the same rigorous review that has been required of Circle

K. Nevertheless, given the marginal increased traffic that is expected to be added due to the HSD expansion, Circle K and GWC would submit that they have carried the burden of establishing, now twice, that the estimated traffic impacts are insufficient grounds for the denial of this site plan application.

Circle K would also add that the FDOT approved this expansion project, and had expressed no concern in connection with the traffic or drainage impacts. Copies of the Driveway Connection Permit and the Drainage Connection Permit issued by FDOT on or about May 18, 2022, are attached as **Composite Exhibit "I."** Whether the FDOT has changed its position due to communications from the Appellant remains an open issue, but as of the date of this memorandum GWC and Circle K remain in open communication with FDOT concerning the extent and anticipated impact of the proposed HSD facility, and the two permits remain in place.

Gateway Hotels also argues that P&Z somehow failed to apply the design standards from Section 4.2.6 of the LDRs relating to Automotive Service and Self-Service Stations, but fails to state how those standards were violated. The Appellant's position appears to be based on the conclusion that the provision of diesel fuel that can be accessed by a semi-tractor trailer truck eliminates the location's standing as an Automotive Service Station. This convenient argument ignores the fact that the overwhelming majority of traffic at the combined location is anticipated to be automobiles and that the anticipated truck traffic that will be generated will not materially impact the traffic counts already measured at this intersection. The Appellant ignores the key wording in LDR Section 2.1, which defines Automotive Service Station as "**primarily**" for automobiles. That is exactly what this combined location will be after completion of the HSD Facility, which facility will be ancillary to the primary convenience store and gasoline fueling functions.

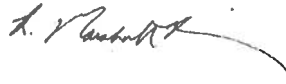
Gateway Hotels then attacks the proposed expansion as a "special use" (a Truck Stop) requiring a "special exception" under the LDRs for construction of the HSD Facility in the CHI District. This point is addressed in some detail above, but additional analysis is warranted here. First, the addition of the HSD Facility is an expansion of an existing operation, the primary function of which is a retail convenience store and automobile fueling location. The Appellant goes into a tortured analysis of what City staff must have been thinking (as there is no evidence in the record to support this conjecture) and then tries to break down what is meant by "servicing of trucks." As stated above, and as will be testified to at the hearing, there will be no servicing of trucks at this location, no restaurant, no showers, no overnight parking etc., all things one associates with a Truck Stop.

And finally, Gateway Hotels appeals to the emotions of this body and the general public, and assails the HSD Facility as incompatible with the character of the CHI district, a use that will somehow endanger the health and safety of persons within the area. Gateway Hotels claims that trucks entering NW Centurion Court will endanger pedestrians and other drivers, will block traffic on both sides of the road, and will create more "smoke, odor, noise ... fumes, gas, vibration, ... and emission of particulate matter," all in violation of the LDRs. . But the Appellant has ignored that Section 4.15 of the LDRs, relating to a Commercial Highway Interchange, specifically allows for service stations, truck rental, wholesale distribution activities, and light manufacturing, all of

which create truck traffic. As such, Circle K would respectfully submit that the objections here are not only untimely, but quite selective in their application.

For the foregoing reasons, Circle K Stores Inc. and GWC Development Partners, LLC would respectfully request that the Planning and Zoning Board approve SPR 22-15 based upon the competent substantial evidence provided to the Board, and find that the expanded use at this location is consistent with the CHI zoning for the subject area and that the traffic impacts to the surrounding property owners and general public are consistent with the level of service standards that have been adopted by the City of Lake City.

Sincerely,



R. Marshall Rainey, Esq.
Counsel for Circle K Stores Inc.

RR/pt

EXHIBIT

A

EXHIBIT A



CITY OF LAKE CITY

APPLICATION FOR
NEW DEVELOPMENT AND
SITE REVIEW COMMITTEE MEETING

FOR OFFICIAL USE ONLY

MEETING DATE: _____

MEETING TIME: _____

APPLICANT INFORMATION

Date: 09/01/2021

Name: Jarod C. Stubbs, P.E.
Address: 189 S Orange Ave., Ste 1000, Orlando, FL
Phone: (407) 409-7002
Email: jarod.stubbs@kimley-horn.com

Business Name: Kimley-Horn and Associates
Business Address: 189 South Orange Ave., Suite 1000
Orlando, FL 32801

SUBJECT PROPERTY INFORMATION

Address: NE corner of US Hwy 90 and NW Centurion Ct (behind the Circle K)
Parcel ID#: 35-3s-16-02524-102; and 35-3s-16-02524-111
Existing Use: Vacant Commercial
Zoning District: CHI Commercial Highway Intensive

Property Owner: GWC Development Partners, LLC
Owner Address: 2682 NW Noegel Rd
Lake City, FL 32055

DESCRIPTION OF REQUEST (may be attached, separately)

PLEASE PROVIDE AS MUCH DETAIL AS POSSIBLE SO THAT STAFF CAN BE PREPARED TO ADDRESS YOUR QUESTIONS.

Please include information regarding:

- Proposed use
- Proposed improvements to building and/or site

The proposed project is to be a high speed diesel expansion to the existing Circle K with related parking, underground fuel storage tanks, and other necessary improvements. The project is anticipated to take up space on both parcels listed in this application. Expected new impervious area for the project is +/- 49,850 square feet. The existing Circle K will also have improvements including a building expansion for additional restrooms and an adjustment to the parking spaces to allow space for said expansion. See attached site plan for more detail.

SUBMIT WITH THIS FORM

- Copy of survey or sketch of location/building
- Sketch of any proposed improvements
- Any other information that will help in review of the proposal

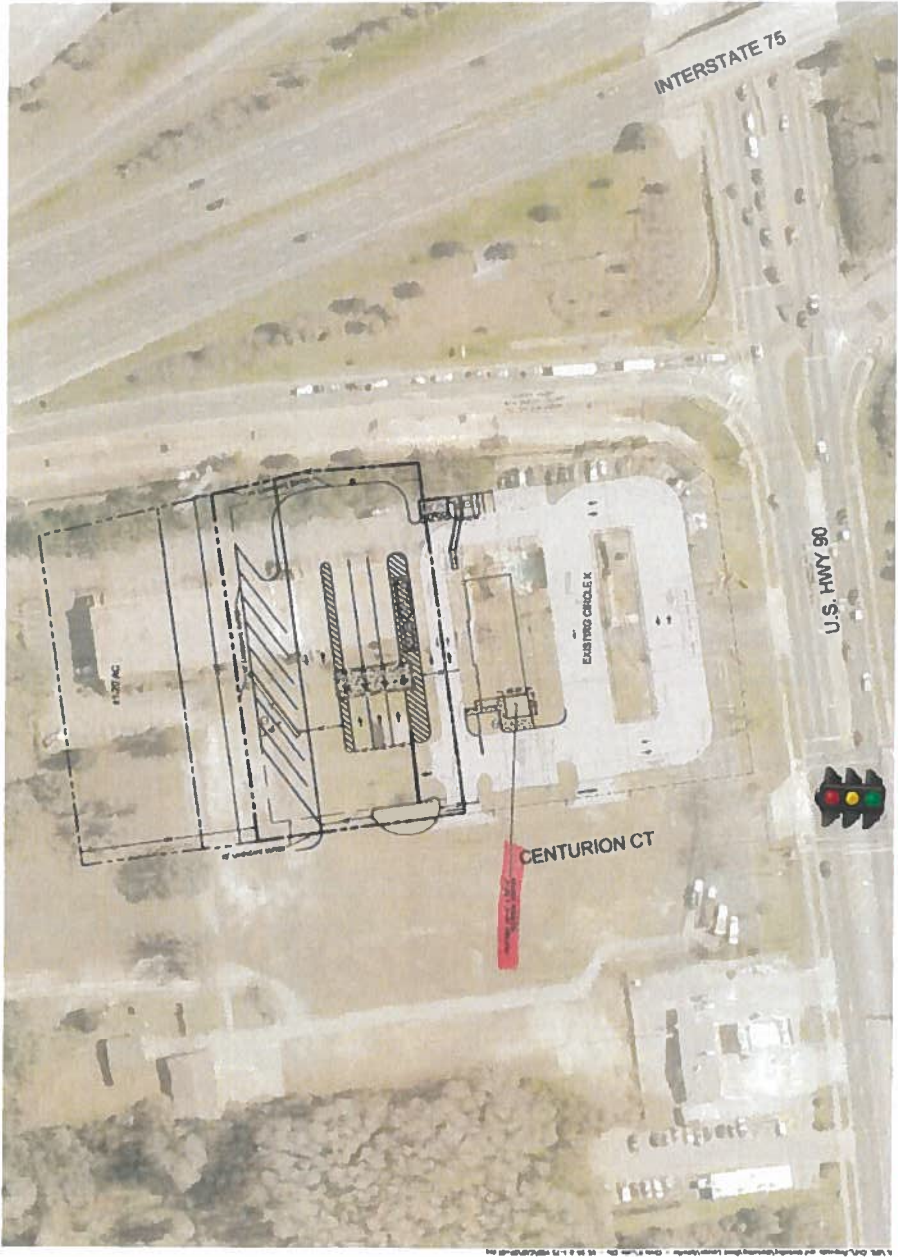
SUBMIT COMPLETED FORM AND DOCUMENTS TO:

Mail: Lake City Growth Management Department, 205 N Marion Ave, Lake City, FL 32055

Email: growthmanagement@lcfia.com

Fax: 386-758-5426

If you have any further questions, please contact Growth Management, 386-719-5750



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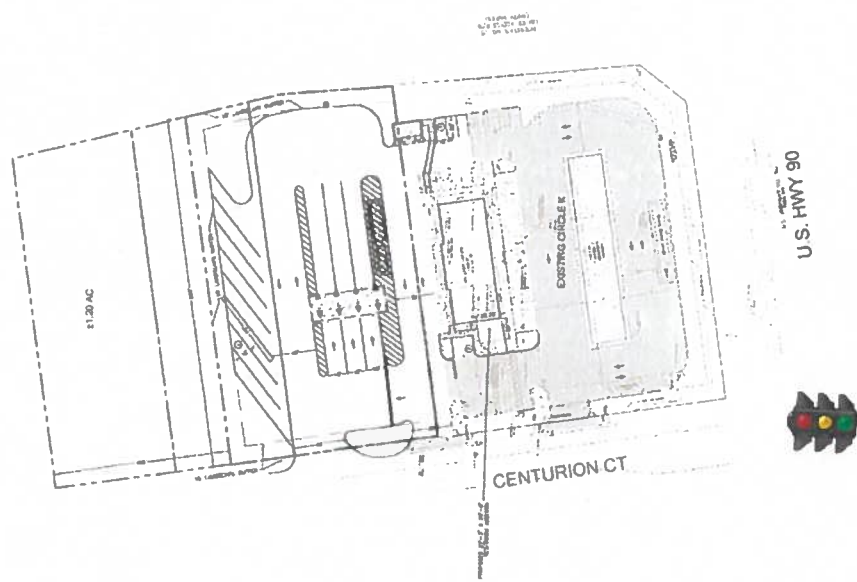


CONCEPTUAL SKETCH

CIRCLE K - U.S. 90 & I-75

5-D-07

INTERSTATE 75



ALL DIMENSIONS
 UNLESS OTHERWISE
 SPECIFIED ARE IN
 FEET AND INCHES
 (DIMENSIONS IN
 PARENTHESES ARE
 IN METERS)
 ALL DIMENSIONS
 ARE TO FACE UNLESS
 OTHERWISE SPECIFIED
 ALL DIMENSIONS
 ARE TO FACE UNLESS
 OTHERWISE SPECIFIED



CONCEPTUAL SKETCH

EXTENSION OF CENTURION AVENUE FROM I-75 TO I-76

CIRCLE K - U.S. 90 & I-75

3/1/07



GROWTH MANAGEMENT

205 North Marion Ave.
Lake City, FL 32055
Telephone: (386)719-5750
E-Mail:
growthmanagement@lcfla.com

FOR PLANNING USE ONLY

Application # SPR22-19
Application Fee: \$200.00
Receipt No. _____
Filing Date 4/1/22
Completeness Date _____

Site Plan Application

A. PROJECT INFORMATION

1. Project Name: CIRCLE K - US 90 & I-75
2. Address of Subject Property: 143 NW Centurion Ct., Lake City, FL 32055
3. Parcel ID Number(s): 35-3S-16-02524-001, 35-3S-16-02524-102, 35-3S-16-02524-111
4. Future Land Use Map Designation: Commercial
5. Zoning Designation: CHI - Commercial Highway Interchange
6. Acreage: ±3.46
7. Existing Use of Property: Existing Circle K gas station and convenience store
8. Proposed use of Property: Circle K gas station and high speed diesel station
9. Type of Development (Check All That Apply):
 - Increase of floor area to an existing structure: Total increase of square footage ±652 SF
 - New construction: Total square footage ±54,470 SF
 - Relocation of an existing structure: Total square footage _____

B. APPLICANT INFORMATION

1. Applicant Status Owner (title holder) **Agent**
2. Name of Applicant(s): Jarod Stubbs P.E. Title: Civil Engineer
 Company name (if applicable): Kimley-Horn
 Mailing Address: 189 S. Orange Ave. Suite 1000
 City: Orlando State: FL Zip: 32801
 Telephone: (407) 409-7002 Fax: () Email: jarod.stubbs@kimley-horn.com

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

3. If the applicant is agent for the property owner*.
 Property Owner Name (title holder): Daniel Hotte of GWC Development Partners, LLC
 Mailing Address: 2682 W Noegel Rd
 City: Lake City State: FL Zip: 32055
 Telephone: (407) 580-5173 Fax: () Email: dberry@shafferconst.com

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

***Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**

C. ADDITIONAL INFORMATION

- 1. Is there any additional contract for the sale of, or options to purchase, the subject property?
If yes, list the names of all parties involved: _____
If yes, is the contract/option contingent or absolute: Contingent Absolute
- 2. Has a previous application been made on all or part of the subject property? Yes No
Future Land Use Map Amendment: Yes _____ No _____
Future Land Use Map Amendment Application No. _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning): Yes No
Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. _____
Variance: Yes _____ No
Variance Application No. _____
Special Exception: Yes _____ No
Special Exception Application No. _____

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

- 1. Vicinity Map – Indicating general location of the site, abutting streets, existing utilities, complete legal description of the property in question, and adjacent land use.
- 2. Site Plan – Including, but not limited to the following:
 - a. Name, location, owner, and designer of the proposed development.
 - b. Present zoning for subject site.
 - c. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties and any screening or buffers on such properties.
 - d. Date, north arrow, and graphic scale not less than one inch equal to 50 feet.
 - e. Area and dimensions of site (Survey).
 - f. Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.
 - g. Access to utilities and points of utility hook-up.
 - h. Location and dimensions of all existing and proposed parking areas and loading areas.
 - i. Location, size, and design of proposed landscaped areas (including existing trees and required landscaped buffer areas).
 - j. Location and size of any lakes, ponds, canals, or other waters and waterways.
 - k. Structures and major features fully dimensioned including setbacks, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and percent of property covered by structures.
 - l. Location of trash receptacles.
 - m. For multiple-family, hotel, motel, and mobile home park site plans:
 - i. Tabulation of gross acreage.
 - ii. Tabulation of density.
 - iii. Number of dwelling units proposed.
 - iv. Location and percent of total open space and recreation areas.
 - v. Percent of lot covered by buildings.

- vi. Floor area of dwelling units.
 - vii. Number of proposed parking spaces.
 - viii. Street layout.
 - ix. Layout of mobile home stands (for mobile home parks only).
8. Stormwater Management Plan—Including the following:
 - a. Existing contours at one foot intervals based on U.S. Coast and Geodetic Datum.
 - b. Proposed finished elevation of each building site and first floor level.
 - c. Existing and proposed stormwater management facilities with size and grades.
 - d. Proposed orderly disposal of surface water runoff.
 - e. Centerline elevations along adjacent streets.
 - f. Water management district surface water management permit.
 9. Fire Department Access and Water Supply Plan: The Fire Department Access and Water Supply Plan must demonstrate compliance with Chapter 18 of the Florida Fire Prevention Code, be located on a separate signed and sealed plan sheet, and must be prepared by a professional fire engineer licensed in the State of Florida. The Fire Department Access and Water Supply Plan must contain fire flow calculations in accordance with the Guide for Determination of Required Fire Flow, latest edition, as published by the Insurance Service Office (“ISO”) and/or Chapter 18, Section 18.4 of the Florida Fire Prevention Code, whichever is greater.
 10. Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities. For commercial and industrial developments, an analysis of the impacts to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts are required.
 11. Comprehensive Plan Consistency Analysis: An analysis of the application's consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies).
 12. Legal Description with Tax Parcel Number (In Word Format).
 13. Proof of Ownership (i.e. deed).
 14. Agent Authorization Form (signed and notarized).
 15. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector's Office).
 16. Fee. The application fee for a Site and Development Plan Application is \$200.00. No application shall be accepted or processed until the required application fee has been paid.

City of Lake City – Growth Management Department
 205 North Marion Ave, Lake City, FL 32055 ♦ (386) 719-5750

NOTICE TO APPLICANT

All eleven (11) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

A total of ten (10) copies of proposed site plan application and all support materials must be submitted along with a PDF copy on a CD. See City of Lake City submittal guidelines for additional submittal requirements.

THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES, OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

Jarrod Stubbs

Applicant/Agent Name (Type or Print)

[Signature]

Applicant/Agent Signature

6/8/2022

Date

Applicant/Agent Name (Type or Print)

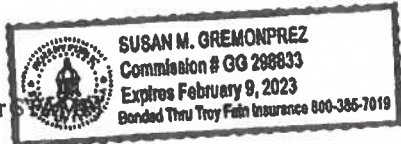
Applicant/Agent Signature

Date

STATE OF FLORIDA
COUNTY OF Orange

The foregoing instrument was acknowledged before me this 8th day of June 2022 by (name of person acknowledging) Jarrod Stubbs.

(NOTARY SEAL OF



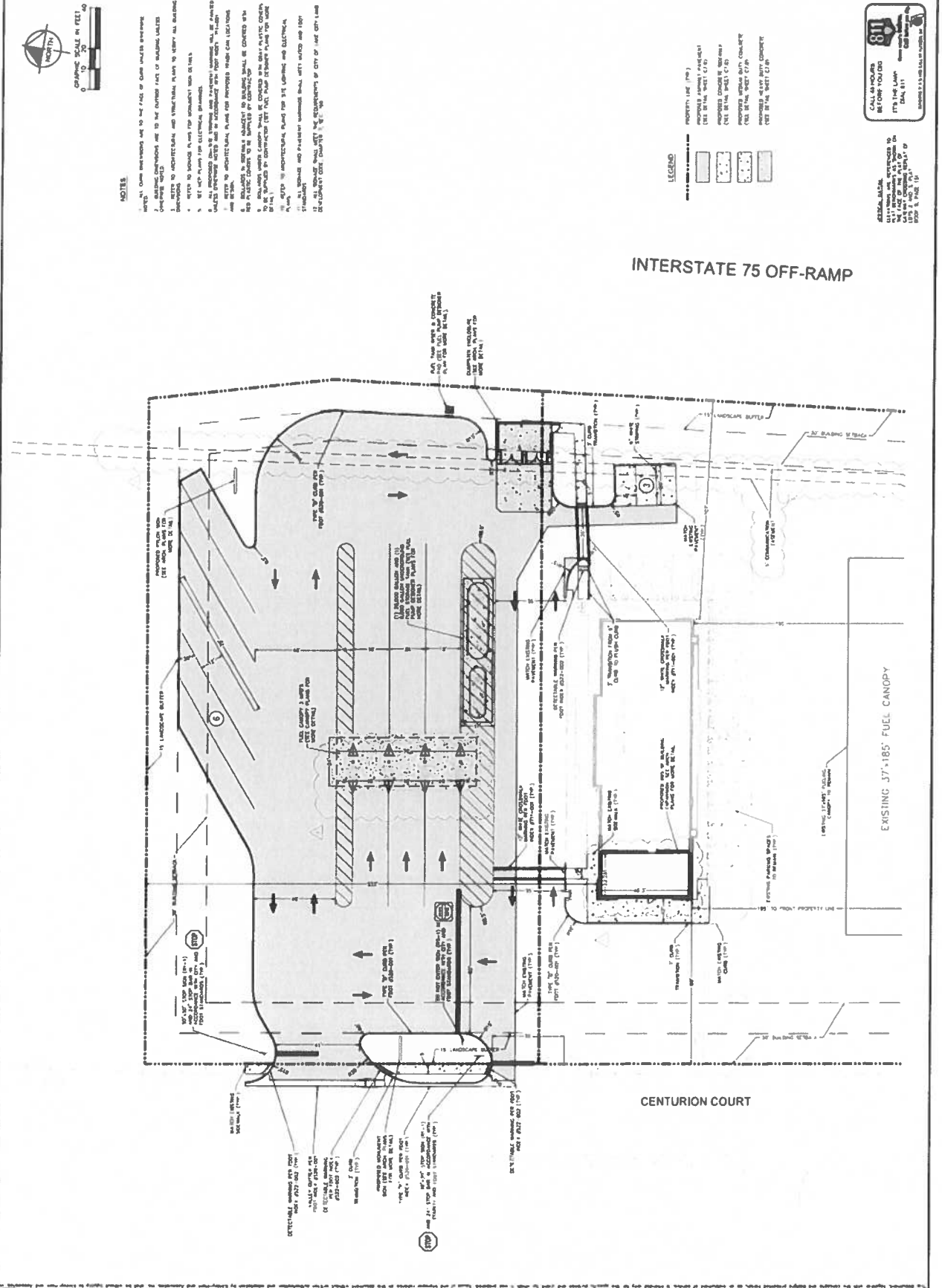
Susan M Gremopez
Signature of Notary

Printed Name of Notary

Personally Known OR Produced Identification _____
Type of Identification Produced

City of Lake City - Growth Management Department
205 North Marion Ave, Lake City, FL 32055 ♦ (386) 719-5750

<p>Kimley»Horn 2022 KIMLEY-HORN AND ASSOCIATES, INC. 128 S. GORHAM AVENUE, SUITE 1000, ORLANDO, FL 32809 407.321.1111 WWW.KIMLEY-HORN.COM</p>		<p>SCALE: AS SHOWN 05/04/2022 DATE: 10/09/2022 PROJECT: 18000000</p>		<p>CITY OF LAKE CITY CIRCLE K - US HWY 90 & I-75 FUEL EXPANSION</p>		<p>SHEET NUMBER C4.1</p>
<p>ORDER BY: JCS DRAWN BY: LFL CHECKED BY: LFL SCALE: AS SHOWN DATE: 05/04/2022</p>		<p>PROJECT: 18000000 SHEET: C4.1 DATE: 10/09/2022</p>		<p>FLORIDA</p>		<p>DATE: 10/09/2022</p>



NOTES:

1. ALL CONSTRUCTION SHALL BE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
2. ALL CONSTRUCTION SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
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20. ALL CONSTRUCTION SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.

DATE 05/05/2022		PROJECT KIMLEY-HORN CONSULTANTS		SHEET NUMBER C4.2	
DATE 05/05/2022		PROJECT KIMLEY-HORN CONSULTANTS		SHEET NUMBER C4.2	
DATE 05/05/2022		PROJECT KIMLEY-HORN CONSULTANTS		SHEET NUMBER C4.2	

PROJECT: US HWY 90
 SHEET: C4.2
 DATE: 05/05/2022
 DRAWN BY: JF
 CHECKED BY: JF
 SCALE: AS SHOWN
 PROJECT NO: 19050040
 LAYOUT: INTERSECTION PLAN

INTERSECTION PLAN MODIFICATION PLAN

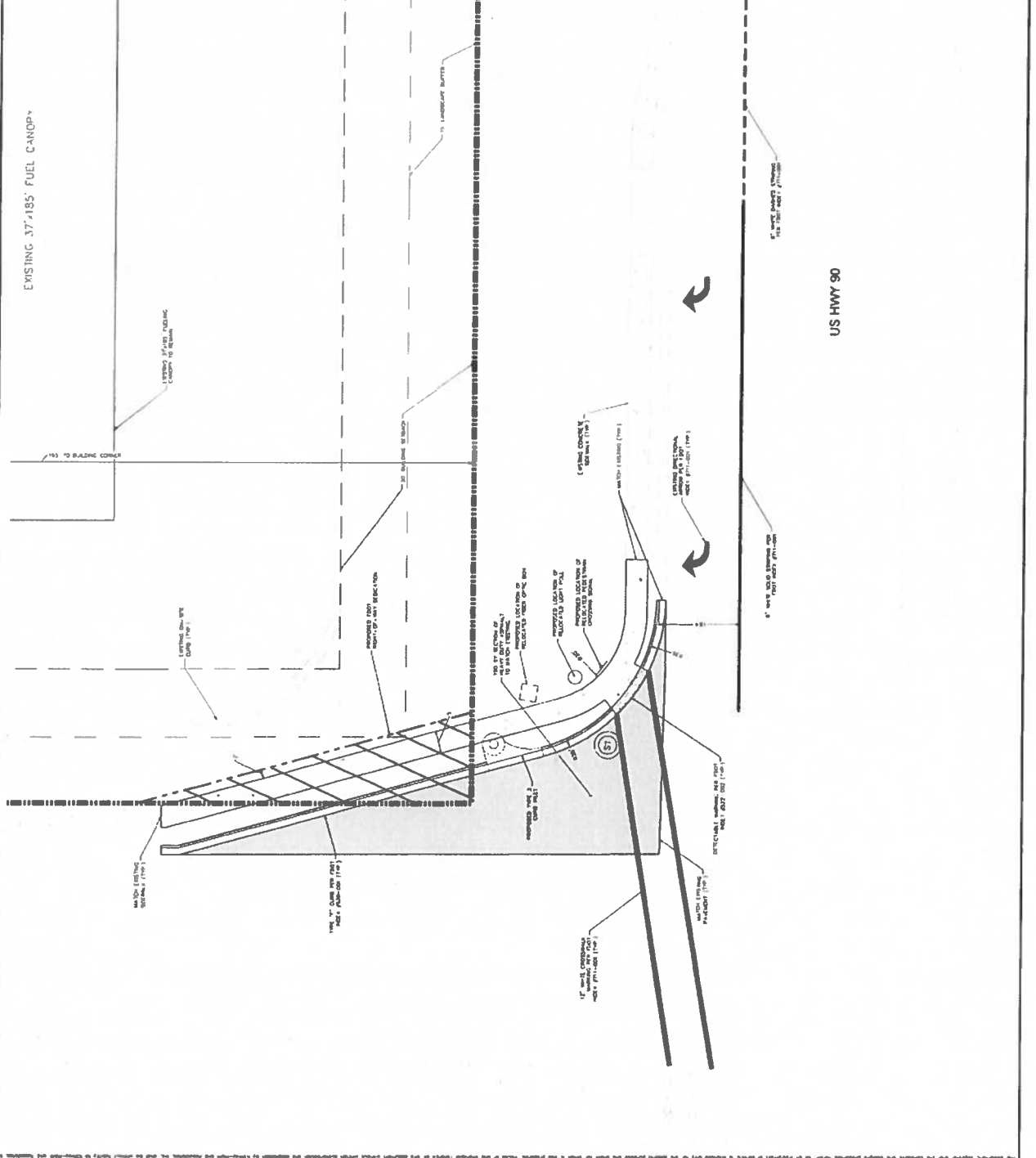
CIRCLE K - US HWY
90 & I-75 FUEL
EXPANSION

FLORIDA
DOT OF LAKE CITY

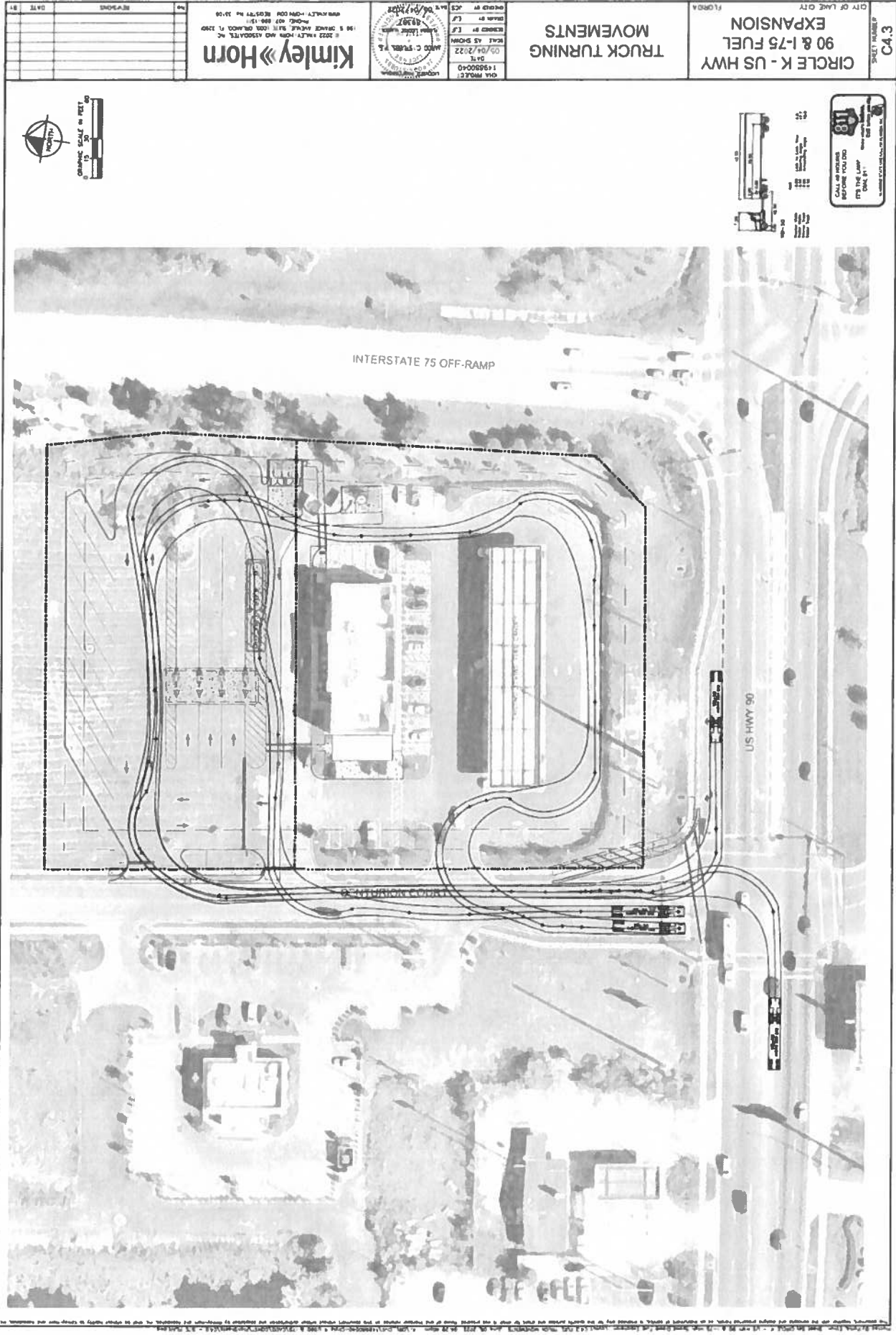
811
CALL 8-HOURS BEFORE YOU DIG

FOR THE LAMP
DIAL #11
CALL NUMBER

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KIMLEY-HORN CONSULTANTS, INC. ENGINEERS, ARCHITECTS, PLANNERS, ENVIRONMENTAL SCIENTISTS, AND LANDSCAPE ARCHITECTS. 4150 W. WASHINGTON AVENUE, SUITE 200, DENVER, CO 80202. PHONE: (303) 733-1177. FAX: (303) 733-1178. WWW.KIMLEY-HORN.COM



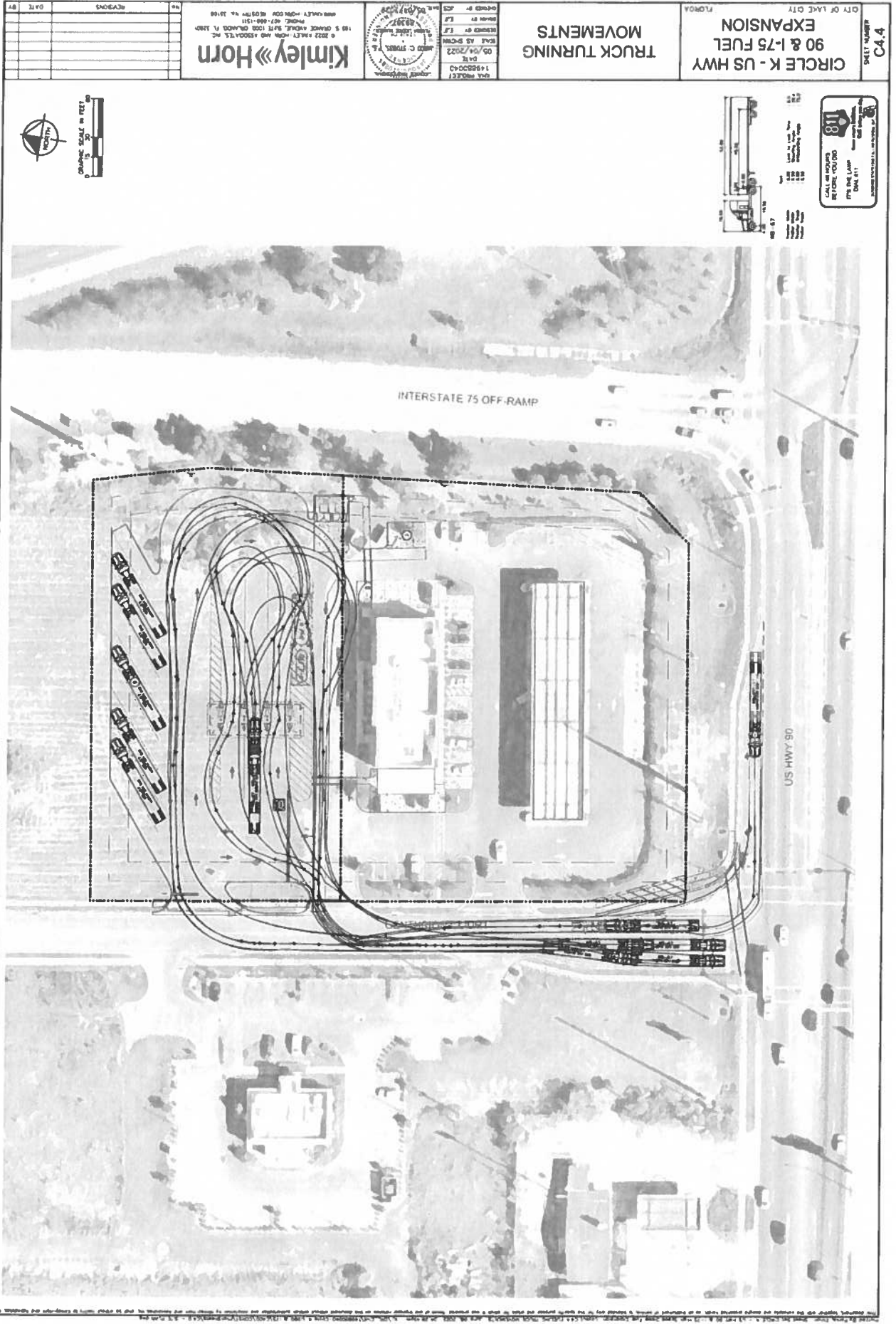
SHEET NUMBER
C4.3

CITY OF LAKE CITY
FLORIDA
CIRCLE K - US HWY
90 & I-75 FUEL
EXPANSION

TRUCK TURNING
MOVEMENTS

09/04/2022
 SCALE AS SHOWN
 1:45000:00
 LOGICAL LAYOUT
 JACO C. SPANGL, P.E.
 10000 N. W. 11th St.
 Suite 100
 Fort Lauderdale, FL 33304
 Phone: 954.999.1511
 Fax: 954.999.1512
 WWW.KIMLEY-HORN.COM
 3000 N. W. 11th St.
 Fort Lauderdale, FL 33304
 Phone: 954.999.1511
 Fax: 954.999.1512
 WWW.KIMLEY-HORN.COM

NO.	REVISION	DATE



811

CALL OR VISIT
 811
 PUBLIC WORKS
 PROJECTS
 811

CITY OF LAKE CITY
**EXPANSION
 90 & I-75 FUEL**

**TRUCK TURNING
 MOVEMENTS**

14859040
 05/04/2023
 SCALE AS SHOWN
 DRAWN BY: J.F.
 CHECKED BY: J.F.
 PROJECT: INTERSTATE 75 OFF-RAMP

Kimley-Horn
 1815 S GRANGE AVENUE, SUITE 1000, OAKWOOD, FL 32069
 PHONE: 907-888-1511
 WWW.KIMLEY-HORN.COM

DATE	DESCRIPTION

2022

ASPRI INVESTMENTS LLC
PROPERTY TAX DC17, P O BOX 52085
PHOENIX, AZ 85072-2085

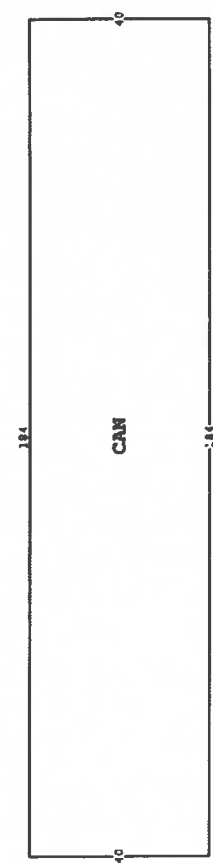
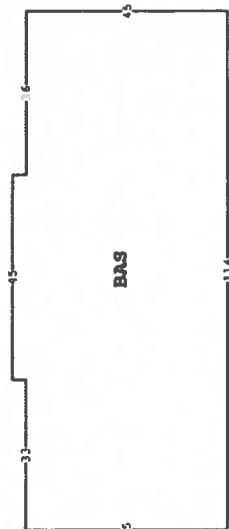
LOT 1 GATEWAY CROSSING S/D.
WD 1339-654,

COLUMBIA COUNTY PROPERTY VALUATION SUMMARY PAGE 1 of 1

VALUATION BY	STANDARD
Tax Group: 1	
BUILDING MARKET VALUE	706,759
TOTAL LAND VALUE - MARKET	103,200
TOTAL MARKET VALUE	1,239,211
SOH/AGL Deduction	2,049,170
ASSESSED VALUE	0
TOTAL EXEMPTION VALUE	2,049,170
BASE TAXABLE VALUE	0
TOTAL JUST VALUE	2,049,170
INCOME VALUE	2,049,170
PREVIOUS YEAR MKT VALUE	2,056,437

MARKET ADJUSTMENTS

TYPE	MDL	EFF. AREA	TOT ADJPTS	EFF. BASE RATE	REFL. COST NEW	AVG.	EYS	ECON' FRCT	NOOM	% COND
4300	04	7,473	163,1610	97.50	728,618	2017	2017	0	0	3.00
HX Base Yr										



QUALITY	DOR CODE	DOR CODE	STOR. STORE/GAS
08	08	08	06
1126	CONV	STORE/GAS	06
RHOOD: 35316.040			
TYPE	TOTAL GROSS AREA	PCT OF BASE	TOT ADJ MARKET VALUE
BAS	5,265	100	5,265
CAN	7,360	30	2,208

SALES DATA

OFF RECORD Number	DATE	TYPE	Q	V	RM	SALE PRICE
1339/0654	6/20/2017	WD	Q	I	01	2,487,200

GRANTOR: GWC DEVELOPMENT PARTY
GRANTEE: ASPRI INVESTMENTS L

BUILDING NOTES

BAS= W36 N3 W45 S3 W33 S45 E114 PFR-SSO E35 CAN - W184 S40
E114 N40S W35 N:05 N45S.

BLD DATE	SP DATE	INC DATE	GRD COND	YEAR ON	% COND	ADJ UNIT PRICE	UNIT PRICE	TOT ADJ	TOT ADJ	TOT ADJ	ADJ UNIT PRICE	LAND VALUE	NOTES
				100	2017	100	58,240						
				100	2017	100	25,425						
				100	2017	100	15,000						
				100	2017	100	3,388						
				100	2017	100	1,147						
TOTAL OBX/F												103,200	

LAND DESCRIPTION

L I N	USE CODE	LAND USE DESCRIPTION	CAP	R D	LOC ZONE	TOT LND UTS	DEPTH	FRONT	REAR	ADJ UNIT PRICE	UNIT PRICE	LAND VALUE
1	1410	CONV STORE	0			0.00	0.00	0.00	0.00	11.50	14.38	1,239,211

TOTAL ACRES: 1.98 **Total Land Value: 1,239,211** **Market: 0** **Agricultural: 0**

NOTICE OF APPEAL 013

EXHIBIT

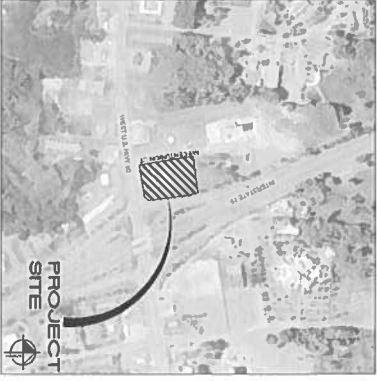
A-1

This document, together with the concepts and designs presented herein, is an instrument of service, to be used only for the specific purpose and client for which it was prepared. Plans and engineer's reliance on this document without written authorization and adoption by Force-Main and Associates, Inc. shall be without liability to Force-Main and Associates, Inc.

LEGAL DESCRIPTION
 LOT 7 AND 10 OF THE 144-1111-00-00-11 (OR 144-1111-00-00-11) SUBDIVISION, BEING 12.50 ACRES, ACCORDING TO P.L. 2000-20 (AS AMENDED) RECORDING BOOK 5, PAGE 174, PUBLIC RECORDS OF DADE COUNTY, FLORIDA.

CONSTRUCTION PLANS FOR CIRCLE K - US HWY 90 & I-75 FUEL EXPANSION

143 NW CENTURION COURT
 LAKE CITY, FLORIDA 32055
 MAY 4, 2022
 PARCEL IDS: 35-3S-16-02524-001,
 35-3S-16-02524-102 AND 35-3S-16-02524-111



UTILITY PROVIDERS

WATERSEWER:
 7800 POWER & LIGHT
 4400 N. WALKER BLVD
 LAKE CITY, FL 32055
 PHONE: (407) 388-2222

ELECTRIC:
 7800 POWER & LIGHT
 4400 N. WALKER BLVD
 LAKE CITY, FL 32055
 PHONE: (407) 388-2222

CABLE:
 5001 BIRCHWOOD STREET
 LAKE CITY, FL 32055
 PHONE: (407) 388-2222

TELEPHONE:
 5001 BIRCHWOOD STREET
 LAKE CITY, FL 32055
 PHONE: (407) 388-2222

GAS:
 1401 W. GULF BLVD
 LAKE CITY, FL 32055
 PHONE: (407) 388-2222

OWNER:
 GWC DEVELOPMENT PARTNERS LLC
 2882 W. HODGEL ROAD
 LAKE CITY, FL 32055
 CONTACT: DAVID BERRY
 PHONE: (407) 388-2222
 EMAIL: DBERRY@GWCDEVELOPMENT.COM

DEVELOPER:
 CIRCLE K STORES, INC.
 3882 CORPorex PARK DRIVE, SUITE 413
 TAMPA, FL 33619
 CONTACT: EDUARDO GUANTA
 PHONE: (407) 588-5115

VICINITY MAP
PROJECT TEAM

CIVIL ENGINEER:
 KIMLEY-HORN AND ASSOCIATES, INC.
 189 SOUTH ORANGE AVENUE, SUITE 1000
 ORLANDO, FL 32801
 CONTACT: JAROD C. STUBBS, P.E.
 PHONE: (352) 375-9999
 EMAIL: JAROD.STUBBS@KIMLEY-HORN.COM

ARCHITECT:
 ROC COLLABORATIVE
 11921 FREEDOM DRIVE, SUITE #1110
 RESTON, VA 20190
 CONTACT: MEGAN LARGENT
 PHONE: (703) 506-0286
 FAX: (703) 506-0285

SURVEYOR:
 JBPPO
 3630 NW 49th STREET
 GAINESVILLE, FL 32606
 CONTACT: TROY V. WRIGHT
 PHONE: (352) 375-9999

LANDSCAPE ARCHITECT:
 KIMLEY-HORN AND ASSOCIATES, INC.
 189 SOUTH ORANGE AVENUE, SUITE 1000
 ORLANDO, FL 32801
 CONTACT: MATTHEW FRANKO
 PHONE: (352) 375-9999
 EMAIL: MATT.FRANKO@KIMLEY-HORN.COM

PREPARED BY



SHEET INDEX

000	COVER SHEET
C1.0-C1.1	GENERAL NOTES
C2.0	STORMWATER POLLUTION PREVENTION PLAN
C3.0-C3.1	EXISTING CONDITIONS & DEMOLITION PLAN
C4.0	OVERALL SITE PLAN
C4.1	SITE PLAN
C4.2	INTERSECTION MODIFICATION PLAN
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L1.00	LANDSCAPE PLAN
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L2.50	IRRIGATION DETAILS
L2.51	IRRIGATION NOTES



CIRCLE K - US HWY 90 & I-75 HIGH
 SPEED FUEL EXPANSION
 MAY 4, 2022
 ENGINEER'S PROJECT No. 149880040

DATE	DESCRIPTION

SANITARY SYSTEM

- 1. ALL RIGID PIPE SHALL BE SOUL FULL POLYMER DUCTILE IRON PIPE WITH ASTM B 208 AND ALL APPLICABLE ASTM SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE THE POLYMER DUCTILE IRON PIPE IN A MANNER OF 3' LENGTHS AND LAID IN STRAIGHT LINES TO MINIMIZE JOINTS.
- 2. ALL DUCTILE IRON PIPE SHALL BE MANUFACTURED TO THE LATEST EDITION OF THE ASTM B 208 AND SHALL COMPLY WITH ASTM A 153. JOINTS SHALL BE LIMITED TO THE PERMITS AND SHALL BE LIMITED TO THE PERMITS.
- 3. ALL JOINTS SHALL BE LIMITED TO THE PERMITS AND SHALL BE LIMITED TO THE PERMITS.
- 4. ALL SANITARY SEWER SHALL COMPLY WITH APPLICABLE CITY OF LAKE CITY WATER UTILITIES DEPARTMENT STANDARDS AND SPECIFICATIONS.
- 5. PERMIT TO CONDUCT WORK WHICH REQUIRES CONDUCTING APPROVED TOLERANCE TO EXISTING LINES OR APPROVED, THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH(S) OF EXISTING CONNECTION POINTS AND NOTIFY THE OWNER'S DEPARTMENT OF WATER UTILITIES OF ANY DISCREPANCIES.

SANITARY TESTING AND INSPECTION

- 1. ALL DUCTILE IRON PIPE SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER AND APPLICABLE LOCAL/AUTHORITY JURISDICTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN ADVANCE TO SCHEDULE INSPECTIONS. INSPECTIONS SHALL BE CONDUCTED AT THE PROJECT LOCATION. THE CONTRACTOR SHALL PROVIDE ACCESS TO THE PROJECT LOCATION AND THE APPLICABLE JURISDICTION.
- 2. THE INSPECTIONS SHALL BE CONDUCTED AT THE PROJECT LOCATION. THE CONTRACTOR SHALL PROVIDE ACCESS TO THE PROJECT LOCATION AND THE APPLICABLE JURISDICTION.
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- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF LAKE CITY WATER UTILITIES DEPARTMENT FOR CONDUCTING TESTING AND INSPECTION.
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- 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF LAKE CITY WATER UTILITIES DEPARTMENT FOR CONDUCTING TESTING AND INSPECTION.

POTABLE WATER SYSTEM

- 1. ALL RIGID PIPE SHALL BE SOUL FULL POLYMER DUCTILE IRON PIPE WITH ASTM B 208 AND ALL APPLICABLE ASTM SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE THE POLYMER DUCTILE IRON PIPE IN A MANNER OF 3' LENGTHS AND LAID IN STRAIGHT LINES TO MINIMIZE JOINTS.
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FDOT GENERAL NOTES

- 1. MAINTENANCE OR TRAINING TO BE SUPERVISED BY A CERTIFIED PERSON.
- 2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT A MINIMUM OF TWO BUSINESS DAYS PRIOR TO ANY LAKE CITIES OR BROWARD COUNTY CONSTRUCTION WITHIN THE FOOT RIGHT-OF-WAY.
- 3. ALL WORK PERFORMED WITHIN THE FOOT RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE FDOT-22 OR CLEARBIT COPY OF FDOT STANDARD SPECIFICATIONS.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF LAKE CITY WATER UTILITIES DEPARTMENT FOR CONDUCTING TESTING AND INSPECTION.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF LAKE CITY WATER UTILITIES DEPARTMENT FOR CONDUCTING TESTING AND INSPECTION.
- 6. TEST RESULTS OF ANY TESTS TAKEN FOR OR DURING CONSTRUCTION OF THE PERMITTED WORK SHALL BE PROVIDED TO THE OWNER AND THE CITY OF LAKE CITY WATER UTILITIES DEPARTMENT.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF LAKE CITY WATER UTILITIES DEPARTMENT FOR CONDUCTING TESTING AND INSPECTION.
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Project Information Table

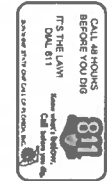
PROJECT	149880004
DATE	05/04/2022
SCALE	AS SHOWN
DRAWN BY	LJM
CHECKED BY	JCS

Kimley Horn
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
185 S. GRANGE AVENUE, SUITE 100, OAKLAND, FL 32068
PHONE: 407-888-1511
WWW.KIMLEY-HORN.COM REGISTRY NO. 35108

GENERAL NOTES

CIRCLE K - US HWY 90 & I-75 FUEL EXPANSION
FLORIDA
CITY OF LAKE CITY

C1.1



CALL 811 HOURS BEFORE YOU DIG
IT'S THE LAW
STATE OF FLORIDA
FLORIDA DEPARTMENT OF TRANSPORTATION

STORMWATER POLLUTION PREVENTION PLAN

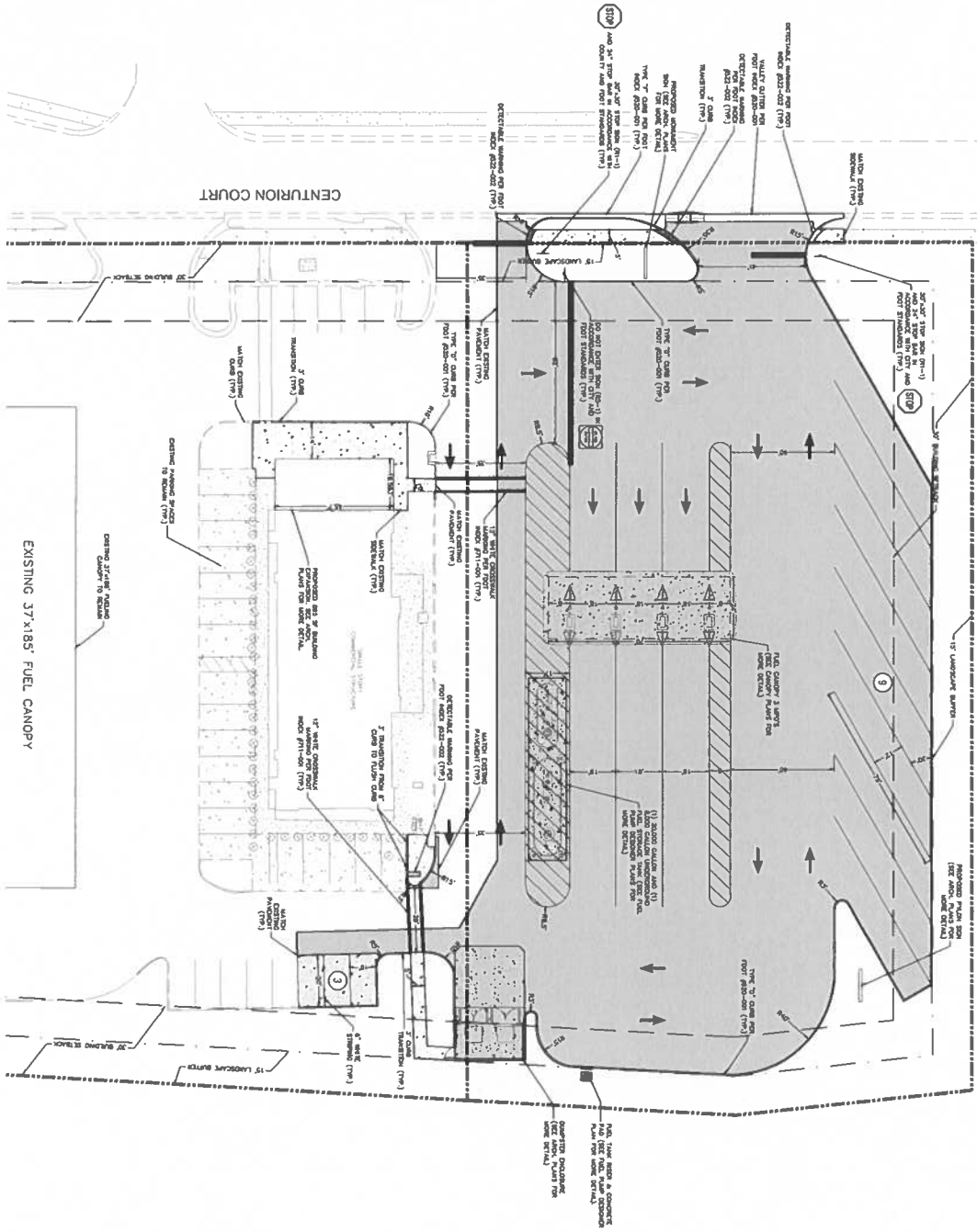
<p>NOTE DESCRIPTION:</p> <p>PROJECT NAME AND LOCATION: CIRCLE K - US HWY 90 & I-75 FUEL EXPANSION 2000 WEST 24TH AVENUE, LAKESIDE ORLANDO, FL 32808 CONTRACT NO. 2019-027-10-00000 CONTRACT DATE: 10/11/2019 ISSUE NO. 1 DATE: 10/11/2019 PROJECT SHEET FOR LOCATION MAP</p> <p>SOILS: UNCLASSIFIED AND ADDRESS: 2000 WEST 24TH AVENUE, LAKESIDE ORLANDO, FL 32808 CONTRACT NO. 2019-027-10-00000 CONTRACT DATE: 10/11/2019 ISSUE NO. 1 DATE: 10/11/2019 PROJECT SHEET FOR LOCATION MAP</p> <p>COORDINATE SYSTEM: UTM EPOCH: 2011 DATUM: NAD 83 PROJECTION: UTM ZONE: 18N SCALE FACTOR: 0.999 999 990 994 3 FALSE EASTING: 500000 FALSE NORTHING: 6319963.0 EARTH TYPICALLY 11.1573007 LONGITUDE: W. BY: 81.927° LATITUDE: N. BY: 28.511°</p> <p>PROJECT DESCRIPTION: THE PROJECT WILL CONSIST OF CONSTRUCTING A CONCRETE COMPLEMENTARY STONE BALDING EXPANSION WITH HIGH-SPEED DIESEL FUELING STATIONS AND STORAGE TANKS ON A PREVIOUSLY GRADED SITE. THE PROJECT IS SCHEDULED TO BEGIN CONSTRUCTION IN LATE 2022 AND IS ANTICIPATED TO BE COMPLETED BY LATE 2023. THE PROJECT IS SCHEDULED TO BEGIN CONSTRUCTION IN LATE 2022 AND IS ANTICIPATED TO BE COMPLETED BY LATE 2023.</p>	
<p>EROSION AND SEDIMENT CONTROL:</p> <p>BEFORE CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.</p> <p>THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.</p> <p>THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.</p>	
<p>DESIGNATION OF POLLUTION PREVENTION PRACTICES:</p> <p>THE FOLLOWING PRACTICES ARE SPECIFIED TO BE PRESENT ON THE PROJECT SITE DURING CONSTRUCTION:</p> <ul style="list-style-type: none"> CONCRETE: CLEANING SUPPLIES ASPHALT: IDENTIFIERS GRAVEL: IDENTIFIERS STREET LIGHTS: IDENTIFIERS UNPAVED AREAS: IDENTIFIERS UNPAVED AREAS: IDENTIFIERS UNPAVED AREAS: IDENTIFIERS UNPAVED AREAS: IDENTIFIERS UNPAVED AREAS: IDENTIFIERS <p>THE FOLLOWING ARE NON-STORED MATERIALS THAT WILL BE STORED ON THE PROJECT SITE:</p> <ul style="list-style-type: none"> CONCRETE GRAVEL STREET LIGHTS UNPAVED AREAS UNPAVED AREAS UNPAVED AREAS UNPAVED AREAS UNPAVED AREAS UNPAVED AREAS 	
<p>MAINTENANCE AND INSPECTION PRACTICES:</p> <p>THE FOLLOWING ARE MAINTENANCE AND INSPECTION PRACTICES THAT SHALL BE PERFORMED DURING CONSTRUCTION:</p> <ul style="list-style-type: none"> CONCRETE: CLEANING SUPPLIES ASPHALT: IDENTIFIERS GRAVEL: IDENTIFIERS STREET LIGHTS: IDENTIFIERS UNPAVED AREAS: IDENTIFIERS UNPAVED AREAS: IDENTIFIERS UNPAVED AREAS: IDENTIFIERS UNPAVED AREAS: IDENTIFIERS UNPAVED AREAS: IDENTIFIERS 	<p>CONTRACTOR INFORMATION:</p> <p>THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.</p> <p>THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.</p> <p>THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.</p> <p>THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.</p> <p>THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.</p>

CIRCLE K - US HWY 90 & I-75 FUEL EXPANSION
FLORIDA
SHEET NUMBER: C2.0

STORMWATER POLLUTION PREVENTION PLAN
NO. PROJECT: 19880040
DATE: 05/04/2022
SCALE: AS SHOWN
DESIGNED BY: J.E.C.
DRAWN BY: J.E.C.
CHECKED BY: J.E.C.

Kimley-Horn
© 2022 KIMLEY-HORN AND ASSOCIATES, P.C.
2025 S. ORANGE AVENUE, SUITE 1000, ORLANDO, FL 32801
PHONE: 407-859-1511
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

NO.	REVISIONS	DATE	BY



INTERSTATE 75 OFF-RAMP

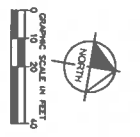
REVISIONS:
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 2. REVISED PER COMMENTS FROM CLIENT.
 3. REVISED PER COMMENTS FROM CLIENT.
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 9. REVISED PER COMMENTS FROM CLIENT.
 10. REVISED PER COMMENTS FROM CLIENT.

811
 CALL 811 BEFORE YOU DIG
 117 S. FIRST LANE
 DALLAS, TX 75201
 214.742.8111

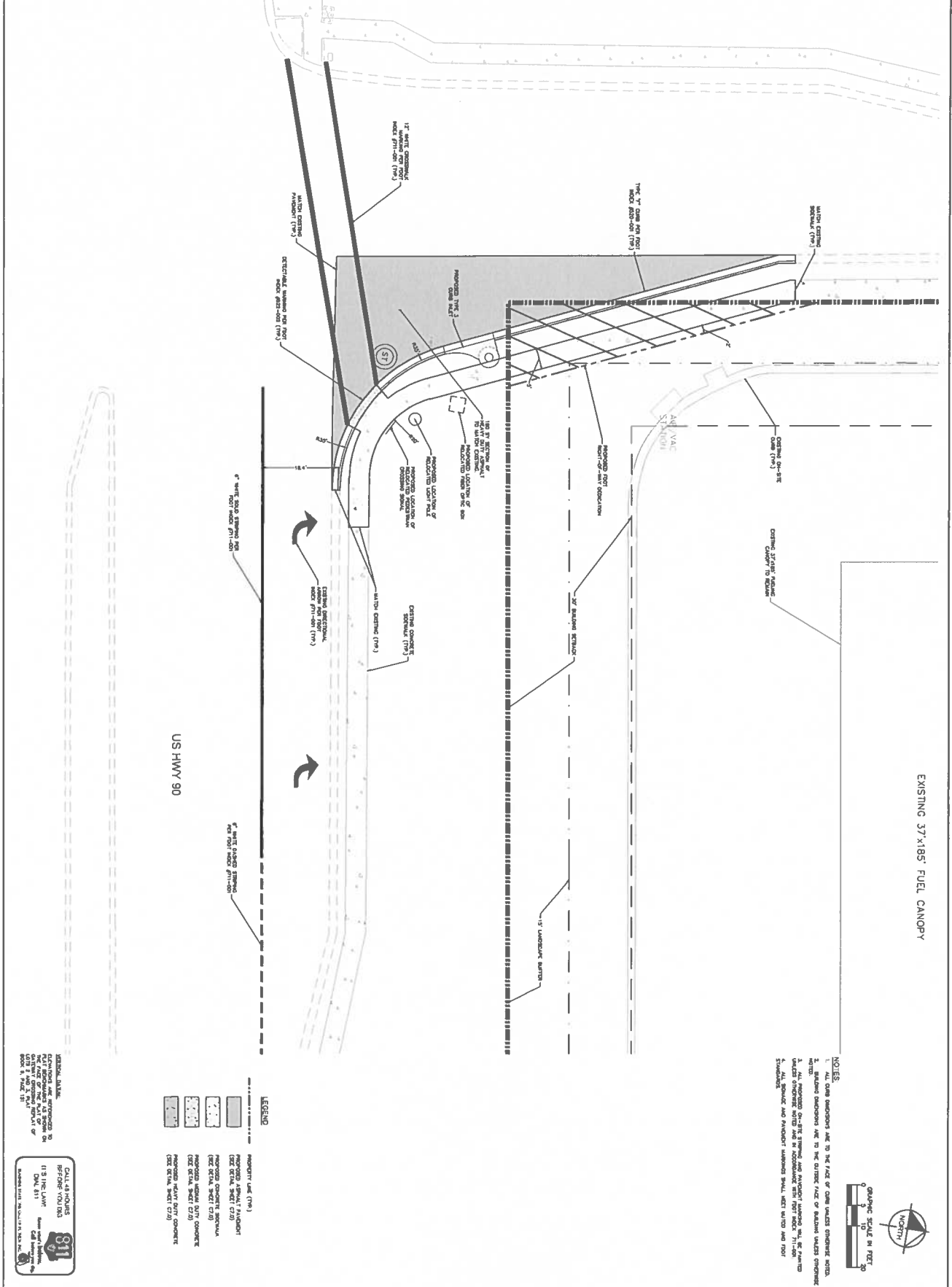
LEGEND

[Symbol]	PROPOSED LIGHT (TYP)
[Symbol]	PROPOSED ASPHALT PAVEMENT (SEE DETAIL SHEET C7A)
[Symbol]	PROPOSED CONCRETE DRIVEWAY (SEE DETAIL SHEET C7B)
[Symbol]	PROPOSED ASPHALT DRIVEWAY (SEE DETAIL SHEET C7C)
[Symbol]	PROPOSED ASPHALT DRIVEWAY (SEE DETAIL SHEET C7D)
[Symbol]	PROPOSED ASPHALT DRIVEWAY (SEE DETAIL SHEET C7E)
[Symbol]	PROPOSED ASPHALT DRIVEWAY (SEE DETAIL SHEET C7F)
[Symbol]	PROPOSED ASPHALT DRIVEWAY (SEE DETAIL SHEET C7G)
[Symbol]	PROPOSED ASPHALT DRIVEWAY (SEE DETAIL SHEET C7H)
[Symbol]	PROPOSED ASPHALT DRIVEWAY (SEE DETAIL SHEET C7I)
[Symbol]	PROPOSED ASPHALT DRIVEWAY (SEE DETAIL SHEET C7J)

- NOTES:**
1. ALL CURB CONDITIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE SPECIFIED.
 2. ALL CURB CONDITIONS ARE TO THE TOP OF CURB UNLESS OTHERWISE SPECIFIED.
 3. ALL CURB CONDITIONS ARE TO THE TOP OF CURB UNLESS OTHERWISE SPECIFIED.
 4. ALL CURB CONDITIONS ARE TO THE TOP OF CURB UNLESS OTHERWISE SPECIFIED.
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 11. ALL CURB CONDITIONS ARE TO THE TOP OF CURB UNLESS OTHERWISE SPECIFIED.
 12. ALL CURB CONDITIONS ARE TO THE TOP OF CURB UNLESS OTHERWISE SPECIFIED.



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LEGEND

- PROPERTY LINE (TYP.)
- PROPOSED ASPHALT PAVEMENT (SEE DETAIL SHEET C7.20)
- PROPOSED ASPHALT DRIVEWAY (SEE DETAIL SHEET C7.20)
- PROPOSED ASPHALT DRIVEWAY CONCOURSE (SEE DETAIL SHEET C7.20)
- PROPOSED ASPHALT DRIVE CONCOURSE (SEE DETAIL SHEET C7.20)

NOTES

1. CURB DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
2. BALCONY DIMENSIONS ARE TO THE OUTSIDE FACE OF BALCONY UNLESS OTHERWISE NOTED.
3. ALL SPACING AND REINFORCEMENT SHALL MEET AIA/CES AND AIA/CES REQUIREMENTS.
4. ALL SPACING AND REINFORCEMENT SHALL MEET AIA/CES AND AIA/CES REQUIREMENTS.

811

CALL 811 BEFORE YOU DIG

11 811 LINE

OR 1-800-4-A-SHIELD

811 SERVICE CENTER

CIRCLE K - US HWY 90 & I-75 FUEL EXPANSION

CITY OF LAKE CITY FLORIDA

SHEET NUMBER **CA.2**

INTERSECTION MODIFICATION PLAN

Kimley-Horn

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183 S. ORANGE AVENUE, SUITE 1000, ORLANDO, FL 32801

PHONE: 407-895-1511

WWW.KIMLEY-HORN.COM REGISTERED No. 35106

KIM PROJECT 14988800-0

DATE 05/04/2022

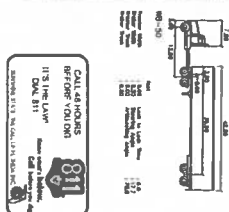
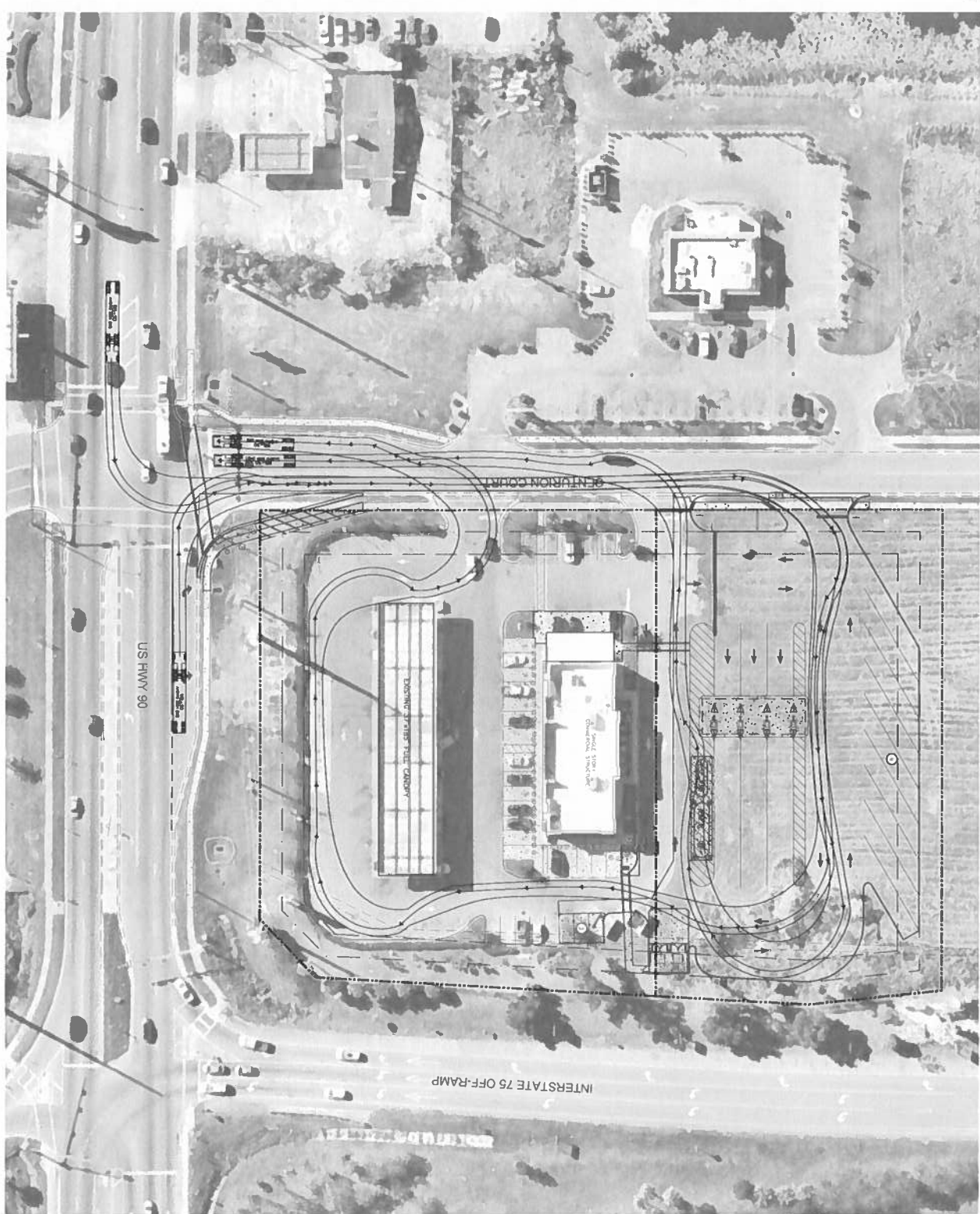
SCALE AS SHOWN

DESIGNED BY J.F.

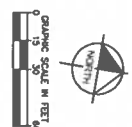
DRAWN BY J.F.

CHECKED BY J.C.F.

No.	REVISIONS	DATE	BY



CALL PLANNING
 BEFORE YOU GO
 1155 Lake Lake
 DALLAS, TX 75241
 811
 1-800-368-5848



CIRCLE K - US HWY 90 & I-75 FUEL TRUCK EXPANSION
 CITY OF LAKE CITY FLORIDA
 SHEET NUMBER C4.3

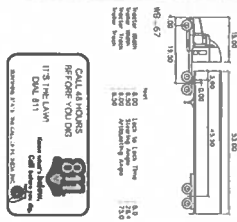
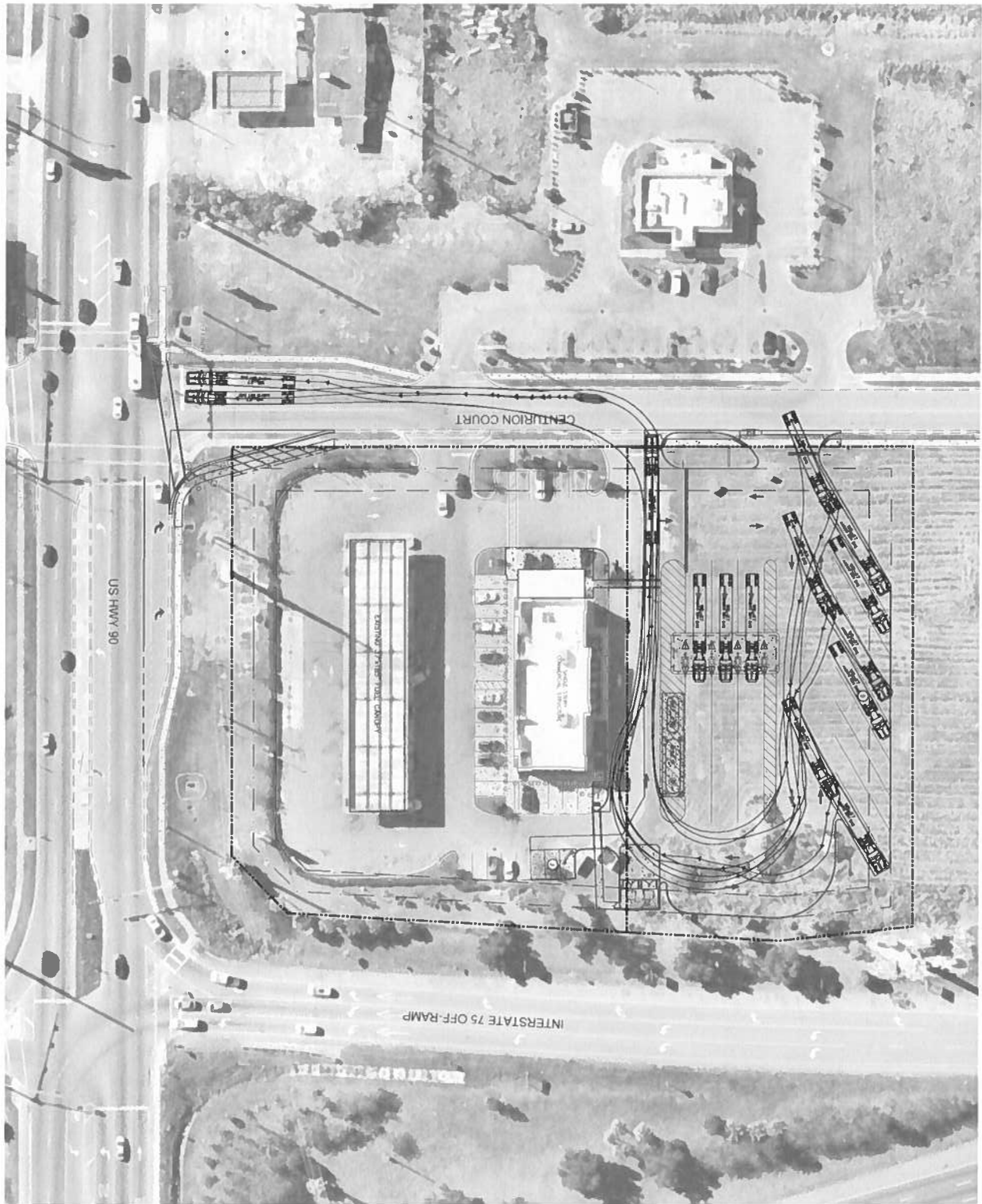
TRUCK TURNING MOVEMENTS

PROJECT 148880040
 DATE 05/04/2022
 SCALE AS SHOWN
 DESIGNED BY C.F.
 DRAWN BY C.F.
 CHECKED BY JCS
 DATE 05/04/2022

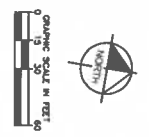
Kimley-Horn
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No.	REVISIONS	DATE	BY

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 1115 INDIAN LANE
 ORLANDO, FL 32801
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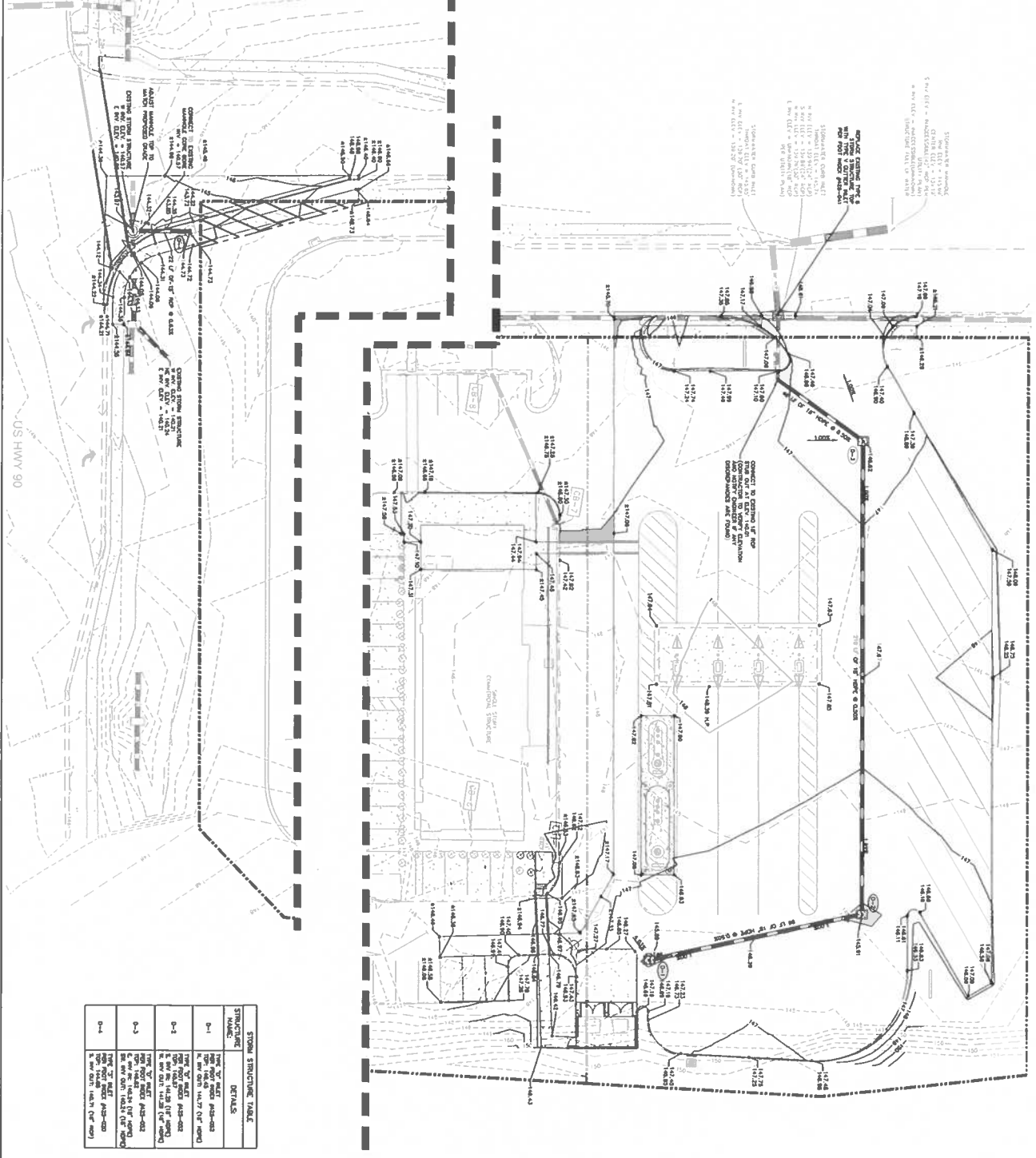
CIRCLE K - US HWY 90 & I-75 FUEL EXPANSION
 CITY OF LAKE CITY FLORIDA

C4.5 - TRUCK TURNING MOVEMENTS

KHA PROJECT	148880040
DATE	05/04/2022
SCALE	AS SHOWN
DESIGNED BY	E.F.
DRAWN BY	E.F.
CHECKED BY	JCS

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No.	REVISIONS	DATE	BY



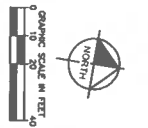
STORM STRUCTURE TABLE	
STRUCTURE NUMBER	DETAILS
D-1	18" W/ 18" MANHOLE 18" INLET 18" OUTLET 18" DIA. CONCRETE CONCRETE
D-2	18" W/ 18" MANHOLE 18" INLET 18" OUTLET 18" DIA. CONCRETE CONCRETE
D-3	18" W/ 18" MANHOLE 18" INLET 18" OUTLET 18" DIA. CONCRETE CONCRETE
D-4	18" W/ 18" MANHOLE 18" INLET 18" OUTLET 18" DIA. CONCRETE CONCRETE

LEGEND

PROPOSED PAVING
 PROPOSED GRADING
 PROPOSED DRAINAGE
 PROPOSED STORM MANHOLE
 PROPOSED STORM STRUCTURE
 PROPOSED 18" DIA. CONCRETE MANHOLE
 PROPOSED 18" DIA. CONCRETE STRUCTURE
 PROPOSED 18" DIA. CONCRETE POND
 PROPOSED 18" DIA. CONCRETE POND WALL
 PROPOSED 18" DIA. CONCRETE POND FLOOR

NOTES:

1. ALL STORM POND TANKS SHALL BE CONSTRUCTED WITH 18" DIA. CONCRETE WALLS AND 18" DIA. CONCRETE FLOORS. THE POND WALLS SHALL BE 12" THICK AND SHALL BE REINFORCED WITH #4 BARS @ 18" ON CENTER. THE POND FLOORS SHALL BE 6" THICK AND SHALL BE REINFORCED WITH #4 BARS @ 18" ON CENTER.
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CIRCLE K - US HWY 90
 & I-75 FUEL
 EXPANSION
 CITY OF LAKE CITY FLORIDA

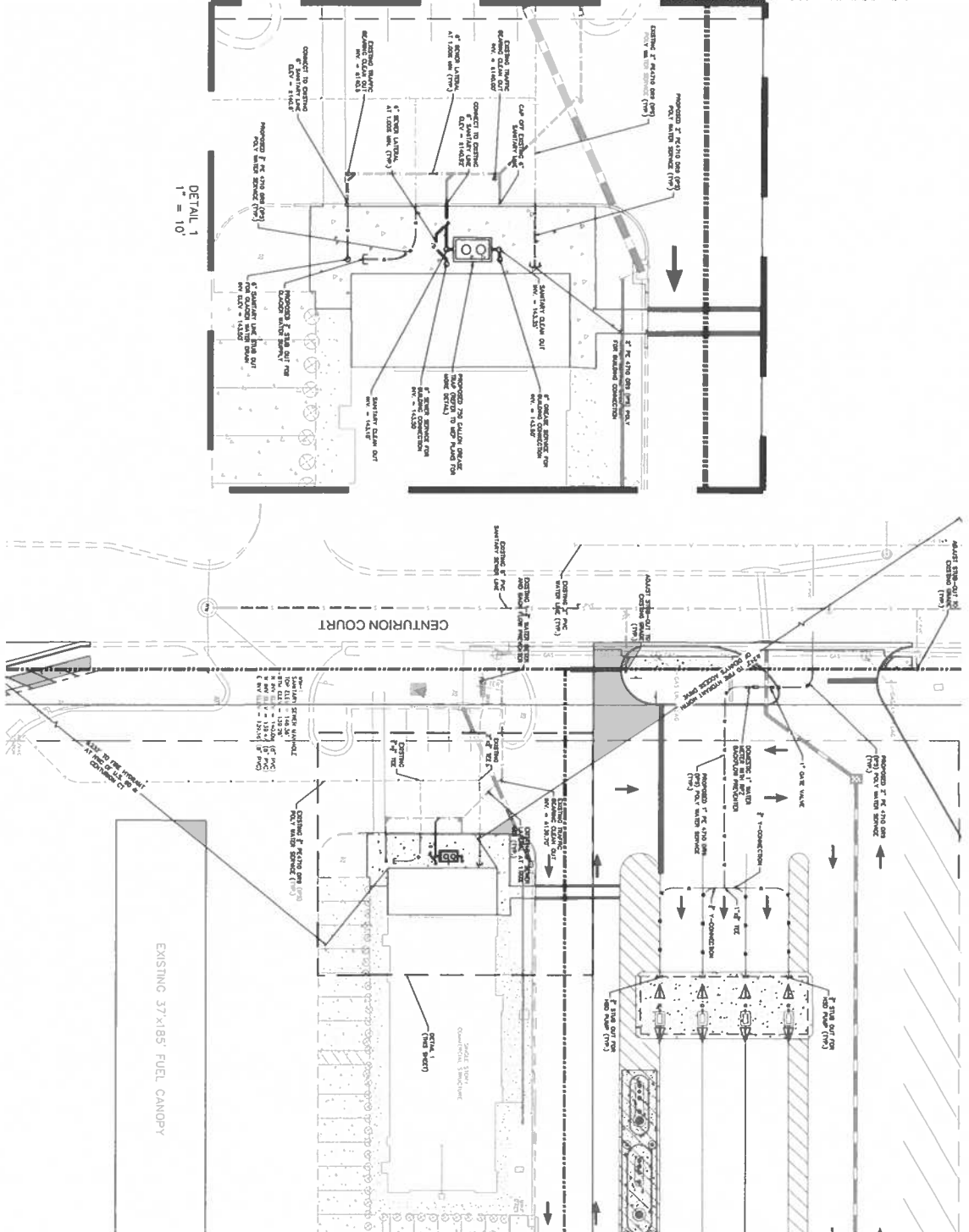
PAVING, GRADING
 AND DRAINAGE PLAN

KHA PROJECT 149880040
 DATE 05/04/2022
 SCALE AS SHOWN
 DESIGNED BY E.F.
 DRAWN BY J.F.
 CHECKED BY JCS
 DATE

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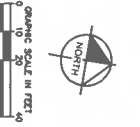
No.	REVISIONS	DATE	BY



DETAIL 1
1" = 10'

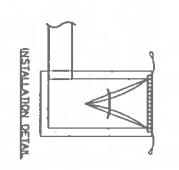
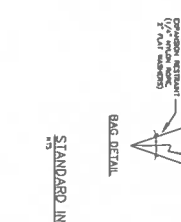
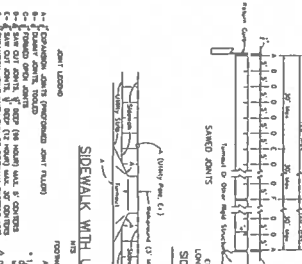
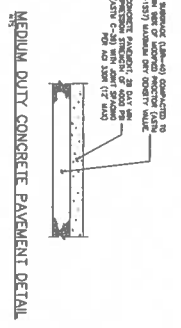
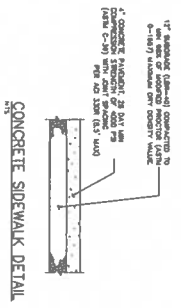
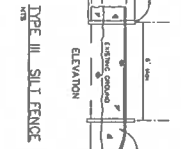
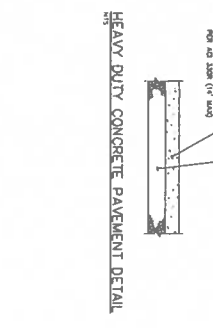
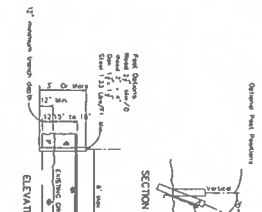
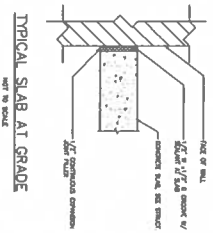
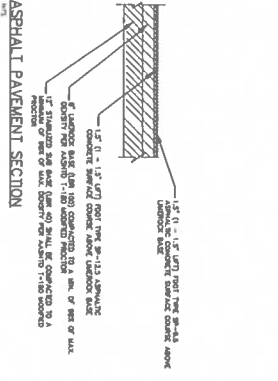
- NOTES:**
1. ALL EXISTING UTILITIES SHALL BE IDENTIFIED AND LOCATED.
 2. MAINTAIN A MINIMUM 3'-0" CLEARANCE FROM ALL PROPOSED UTILITIES AND 4'-0" CLEARANCE FROM EXISTING UTILITIES.
 3. REFER TO LOCAL UTILITY RECORDS AND RECORDS ON FILE WITH THE CITY AND CDA.
 4. ALL UTILITY LINES AND CONNECTIONS SHALL BE IDENTIFIED BY THE CONTRACTOR.
 5. RECORD AND LOCATE ALL UTILITIES AND RECORDS ON FILE WITH THE CITY, CDA/CDA/LOCAL RECORDS AND RECORDS ON FILE WITH THE CITY, CDA/CDA/LOCAL RECORDS.
 6. ALL EXISTING UTILITIES SHALL BE IDENTIFIED AND LOCATED BY THE CONTRACTOR.
 7. CONNECTIONS TO EXISTING UTILITIES SHALL BE IDENTIFIED AND LOCATED BY THE CONTRACTOR.
 8. ALL EXISTING UTILITIES SHALL BE IDENTIFIED AND LOCATED BY THE CONTRACTOR.
 9. CONNECTIONS TO EXISTING UTILITIES SHALL BE IDENTIFIED AND LOCATED BY THE CONTRACTOR.
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 19. CONNECTIONS TO EXISTING UTILITIES SHALL BE IDENTIFIED AND LOCATED BY THE CONTRACTOR.
 20. CONNECTIONS TO EXISTING UTILITIES SHALL BE IDENTIFIED AND LOCATED BY THE CONTRACTOR.

- LEGEND:**
- PROPOSED BOUNDARY
 - PROPOSED STORM LINE
 - PROPOSED SANITARY STORM LINE
 - EXISTING WATER LINE
 - EXISTING SANITARY STORM LINE
 - EXISTING STORM PIPE
 - EXISTING OVERHEAD ELECTRICAL LINE
 - EXISTING POWER LINE
 - EXISTING STORM MAIN
 - EXISTING SANITARY STORM MAIN
 - PROPOSED PNE HYDRANT

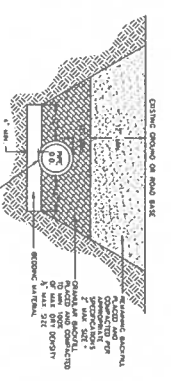
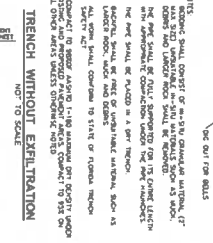


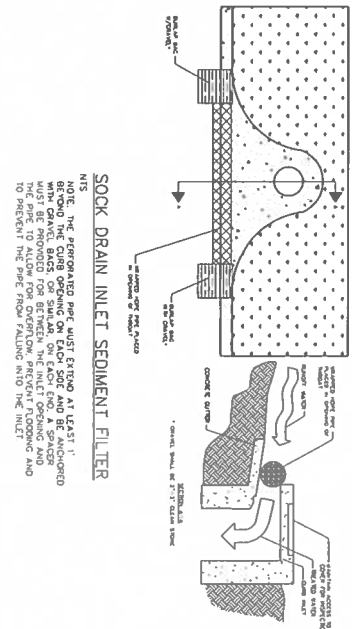
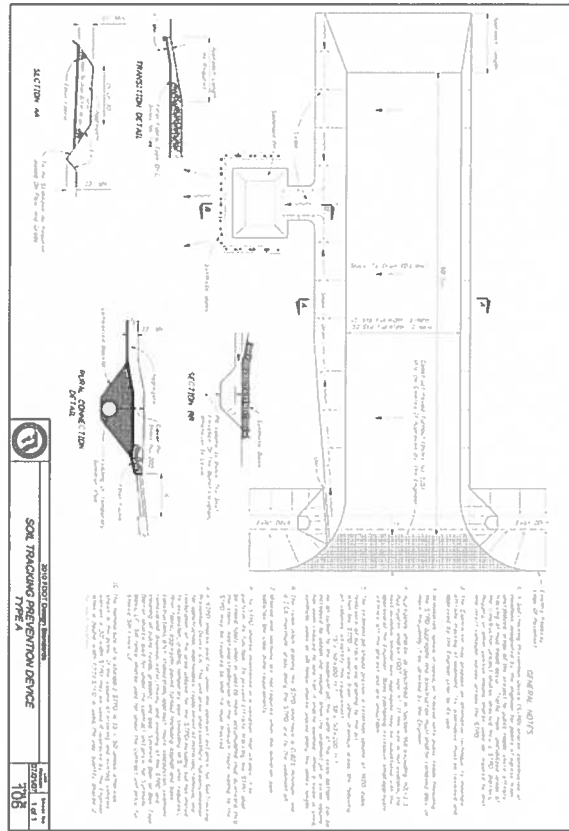
REVISIONS:

DATE: 05/04/2022
BY: JCS
CHECKED BY: JCS



- CONCRETE SIDEWALK DETAIL**
1. CONCRETE SIDEWALK SHALL BE CONSTRUCTED WITH REINFORCED JOINT PULDS.
 2. CONCRETE SIDEWALK SHALL BE 12" THICK.
 3. CONCRETE SIDEWALK SHALL BE 12" WIDE.
 4. CONCRETE SIDEWALK SHALL BE 12" HIGH.
 5. CONCRETE SIDEWALK SHALL BE 12" DEEP.
 6. CONCRETE SIDEWALK SHALL BE 12" LONG.
 7. CONCRETE SIDEWALK SHALL BE 12" WIDE.
 8. CONCRETE SIDEWALK SHALL BE 12" HIGH.
 9. CONCRETE SIDEWALK SHALL BE 12" DEEP.
 10. CONCRETE SIDEWALK SHALL BE 12" LONG.





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SHEET NUMBER C&O	CIRCLE K - US HWY 90 & I-75 FUEL EXPANSION	CITY OF LAKE CITY STANDARD DETAILS	JOB PROJECT 148880040	LICENSED PROFESSIONAL						
	CITY OF LAKE CITY FLORIDA		DATE 05/04/2022			SCALE AS SHOWN	DESIGNED BY E.F.	DRAWN BY E.F.	CHECKED BY JCS	DATE

Kimley»Horn
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 PHONE: 407-882-1511
 WWW.KIMLEY-HORN.COM REGISTRY No 35108

EXHIBIT

B



DEPARTMENT OF GROWTH MANAGEMENT

205 North Marion Avenue

Lake City, FL 32055

Telephone: (386) 719-5750

growthmanagement@lcfla.com

July 7, 2022

Circle K - US 90 & I-75
143 NW Centurion Ct
Lake City FL 32055

To Whom it May Concern

This is to inform you that Petition # SPR22-15 requesting a Site Plan Review on parcel 35-3S-16-02524-001, 102, and 111 which is in a Commercial Highway Interchange (CHI) zoning district was approved by the Planning and Zoning/Board of Adjustment on July 6, 2022.

If I can be of further assistance to you, please feel free to contact me at 386-752-2031 ext 820 or email at angelor@lcfla.com.

Sincerely,

Robert Angelo

Planning and Zoning Tech.

EXHIBIT

C



DEPARTMENT OF GROWTH MANAGEMENT
205 North Marion Avenue
Lake City, Florida 32055
Telephone: (386) 719-5750
growthmanagement@lcfla.com

REVIEW REPORT TO PLANNING AND ZONING, BOARD OF ADJUSTMENT AND
HISTORICAL COMMITTEES' BY STAFF
FOR SITE PLAN REVIEW, SPECIAL EXCEPTIONS, VARIANCES, COMPREHENSIVE
PLAN AMENDMENTS/ ZONING AND CERTIFICATE OF APPROPRIATENESS

Date: 6/15/22

Request Type: Site Plan Review (SPR) Special Exception (SE) Variances (V)

Comprehensive Plan Amendment/Zoning (CPA/Z) Certificate of Appropriateness (COA)

Project Number: SPR22-15

Project Name: Circle K-US 90 and I75 (Gateway Crossings)

Project Address: 143 NW Centurion CT, Lake City FL

Project Parcel Number: 35-3S-16-02524-001, 102, and 111

Owner Name: Daniel Hotte of GWC Development Partners, LLC

Owner Address: 2682 W Noegel RD

Owner Contact Information: telephone number 407-580-5173 e-mail dberry@shafferconst.com

Owner Agent Name: Jarod Stubbs P.E.

Owner Agent Address: 180 S. Orange Ave, Suite 1000 Orlando FL 32801

Owner Agent Contact Information: telephone 407-409-7002 e-mail jarod.stubbs@kimley-horne.com

The City of Lake City staff has reviewed the application and documents provided for the above request and have determined the following:

Growth Management – Building Department, Planning and Zoning, Code Enforcement, Permitting

Building Department: Approved Disapproved Reviewed by: _____

Comments: N/A

Planning and Zoning: Approve Disapprove Reviewed by: Robert Angelo

Comments: No Concerns at this time

No Concerns at this time

Business License: Approve Disapprove Reviewed by: Marshall Sova

Comments: No Concerns at this time

Code Enforcement: Approve Disapprove Reviewed by: Marshall Sova

Comments: No Concerns at this time

Permitting: Approve Disapprove Reviewed by: Ann Jones

Comments: No Concerns at this time

No Concerns at this time

Utilities – Water, Sewer, Gas, Water Distribution/Collections, Customer Service

Water Department: Approved Disapproved Reviewed by: _____

Comments: N/A

Sewer Department: Approved Disapproved Reviewed by: _____

Comments: N/A

Gas Department: Approved Disapproved Reviewed by: Steve Brown

Comments: No Concerns at this time

Water Distribution/Collection: Approved Disapproved Reviewed by: Brian Scott

Comments: _____

If they do not use the taps in place they will be required to make new ones and cut and cap sewer and dig to water main and shut off before construction.

Customer Service: Approved Disapproved Reviewed by: Shasta Pelham

Comments: Utility Plan 6.0 dated 05/04/22 references a 1" water meter and an existing 6" sewer tap. A tap application would be required to access city utilities.

The tap fees, impact fees and utility deposits will be calculated upon approval of the tap application. A floor plan with detailed fixture units of the restroom addition is required. City utilities border the property; locates must be obtained to ensure that the utility infrastructure is not damaged or obstructed.

Public Safety – Public Works, Fire Department, Police Department

Public Works: Approved Disapproved Reviewed by: Steve Brown

Comments: No Concerns at this time

Fire Department: Approve Disapprove Reviewed by: Assistant Chief Boozer

Comments: No Concerns at this time

Police Department: Approve Disapprove Reviewed by: Assistant Chief Andy

Comments: No Concerns at this time

Please provide separate pages for comments that will not fit in provided spaces and please label the pages for your department and for the project.

EXHIBIT

D



City of Lake City, FL.
New Commercial Construction Permit #000046609
Issued February 28, 2023



* Request inspections by calling 386-719-2023 or visiting <https://www.columbiacountyfla.com/PermitSearch/InspectionCalendar.aspx>

OWNER: GWC DEVELOPMENT PARTNERS LLC **PHONE:** 800-280-0780 **ADDRESS:** ,

PARCEL: 35-3S-16-02524-102 **ZONING:** **FLOOD ZONE:** X **Coords:** 30.18,-82.69

SUBDIVISION: GATEWAY CROSSING A REPLAT OF LOTS 2,3 & 11 **LOT:** 2 **BLK:** **PHASE:** **UNIT:**
ACRES: 1.03

CONTRACTORS

ADDRESS: 11245 OLD ROSWELL RD **PHONE:** 770-595-4317

NAME: CHRISTOPHER PEDEN **ALPHARETTA, GA 30009** **LICENSE:** CBC1265254 -

BUSINESS: US GENERAL CONSTRUCTION INC

License	License Title	Contractor	Business
EC0001861	CERT. ELECTRICAL	BILLY J PARMER	K & D ELECTRIC
CFC1427145	PLUMBING CONTRACTOR	CODY BARRS	BARRS PLUMBING INC
CCC1333195	CERT. ROOFING	JAMES M HORSLEY	HORSLEY CONSTRUCTION GROUP INC

PROJECT DETAILS

THIS IS THE CONSTRUCTION OF A:: Diesel Canopy and Underground Storage Tanks

DESCRIBE COMMERCIAL USE:: Convenience Store with Fuel & Diesel

HEATED AREA (SQFT): 0

TOTAL AREA (SQFT): 1680

STORIES: 0

BUILDING HEIGHT: 20

DRIVEWAY ACCESS TO PROPERTY: D.O.T. Permit

IS THERE A FIRE SPRINKLER SYSTEM?: No

DEV PERMIT #: F023-

SERVICE AMPS: 800

BUILDING CODE EDITION: 2020 Florida Building Code 7th Edition and 2017 National Electrical Code

FEMA MAP NUMBER : 12023C0290D

SEALED ROOF DECKING OPTIONS. (MUST SELECT ONE.): Other (explain)

NOTICE: Addition to the requirements of this permit, there may be restrictions applicable to this property that may be found in the public records of this county and there may be additional permits required from other governmental entities such as water management districts, state or federal agencies.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

NOTICE: All work is to be completed in accordance with the permitted plans and applicable codes of Columbia County, Florida. In order to maintain a valid permit the work authorized must commence within 180 days of issuance and have an approved inspection within every 180 days thereafter.

MUST POST ON THE JOBSITE: Copies of the Permit and Recorded Notice of Commencement for inspection.

2/28/2023 11:53 AM



City of Lake City, FL.
Additions Permit #000046606
Issued February 28, 2023



* Request inspections by calling 386-719-2023 or visiting <https://www.columbiacountyfla.com/PermitSearch/InspectionCalendar.aspx>

OWNER: ASPRI INVESTMENTS LLC **PHONE:** 800-280-0780 **ADDRESS:** 143 NW CENTURION CT LAKE CITY, FL 32055

PARCEL: 35-3S-16-02524-001 **ZONING:** **FLOOD ZONE:** X **Coords:** 30.18,-82.69

SUBDIVISION: GATEWAY CROSSING **LOT:** 1 **BLK:** **PHASE:** **UNIT:** **ACRES:** 1.97

CONTRACTORS

NAME: CHRISTOPHER PEDEN

ADDRESS:
11245 OLD ROSWELL RD
ALPHARETTA, GA 30009

PHONE: 770-595-4317

LICENSE: CBC1265254 -

BUSINESS: US GENERAL CONSTRUCTION INC

License	License Title	Contractor	Business
EC0001861	CERT. ELECTRICAL	BILLY J PARMER	K & D ELECTRIC
CFC1427145	PLUMBING CONTRACTOR	CODY BARRS	BARRS PLUMBING INC
CCC1333195	CERT. ROOFING	JAMES M HORSLEY	HORSLEY CONSTRUCTION GROUP INC

PROJECT DETAILS

IS THIS AN ADDITION FOR COMMERCIAL OR RESIDENTIAL USE?:	Commercial
DESCRIPTION OF ADDITION::	Restroom expansion & dumpster enclosure
TOTAL ESTIMATED COST:	344500
HEATED AREA (SQFT):	6327
TOTAL AREA (SQFT):	6327
STORIES:	1
BUILDING HEIGHT:	10
SELECT DRIVEWAY ACCESS TO PROPERTY:	D.O.T. Permit
FIRE SPRINKLERS?:	No
SETBACKS FRONT:	30'
SETBACK SIDE 1:	30'
SETBACK SIDE 2:	30'
SETBACK REAR:	30'
SERVICE AMPS:	800
DEV PERMIT #:	F023-
BUILDING CODE EDITION:	2020 Florida Building Code 7th Edition and 2017 National Electrical Code
FEMA MAP NUMBER :	12023C0290D

NOTICE: Addition to the requirements of this permit, there may be restrictions applicable to this property that may be found in the public records of this county and there may be additional permits required from other governmental entities such as water management districts, state or federal agencies.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

NOTICE: All work is to be completed in accordance with the permitted plans and applicable codes of Columbia County, Florida. In order to maintain a valid permit the work authorized must commence within 180 days of issuance and have an approved inspection within every 180 days thereafter.

MUST POST ON THE JOBSITE: Copies of the Permit and Recorded Notice of Commencement for inspection.

2/28/2023 11:41 AM

EXHIBIT

E

**Meeting Minutes
Planning and Zoning**

Date: 07/06/2022

Roll Call:

Mr. Lydick-Present
Mr. Cooper-Present
Mr. Nelson-Present
Ms. Georgalis-Present

Mr. Carter-Present
Mrs. McKellum-Present
Mr. McMahon-Not Present

Approval of Past Minutes-Approve the minutes of the 07/06/2022 Meeting.

Motion By: Mr. Carter

Seconded By: Mr. Lydick

Comments or Revisions:

Move approval tally to after the motion to approve. Fix Mr. McMahon attendance from not present to present.

Old Business: None

New Business:

Petition # SPR22-15 Presented By: Theodore Martell

As owner or agent and gives address of: Kimley Horne of Orlando

Petitioner is Sworn in by: Ms.Georgalis

Discussion:

Robert introduced the project at the request of Ms. Georgalis. Robert stated that the project was to add high flow diesel pumps behind Circle K on Hwy 90 and I-75. Robert stated that all the director and staff were ok with the project at the current time. Robert stated that is met the requirements of the LDR section 4.15.2.1. Theodore presented the project to the board. He stated that the project was to add high flow diesel pumps to the rear of the building.

Motion to close Public Hearing: Mr. Lydick

Motion Seconded By: Mr. Carter

Motion to Approve/Deny By: Mr. Carter

Motion Seconded By: Mr. Nelson

Voted Approved/Denied: Approved unanimously

EXHIBIT

F

EXHIBIT

G

TRAFFIC IMPACT ANALYSIS

Circle K – US 90 & Centurion Court

Lake City, FL

Prepared for:

Circle K

Prepared by:

Kimley-Horn and Associates, Inc.

October 2023

VINCENT E. SPAHR, P.E.

STATE OF FLORIDA,
PROFESSIONAL ENGINEER,
LICENSE NO. 88747

THIS ITEM HAS BEEN DIGITALLY SIGNED
AND SEALED BY VINCENT E. SPAHR, P.E.
ON THE DATE INDICATED HERE.

PRINTED COPIES OF THIS DOCUMENT ARE
NOT CONSIDERED SIGNED AND SEALED
AND THE SIGNATURE MUST BE VERIFIED
ON ANY ELECTRONIC COPIES.

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Appendix A: Conceptual Site Plan

Appendix B: Traffic Data

Appendix C: Intersection Volume Development Worksheets

Appendix D: Synchro Output Reports

Appendix E: Trip Generation Calculations

Appendix F: FDOT *Trend* Worksheet

1.0 INTRODUCTION

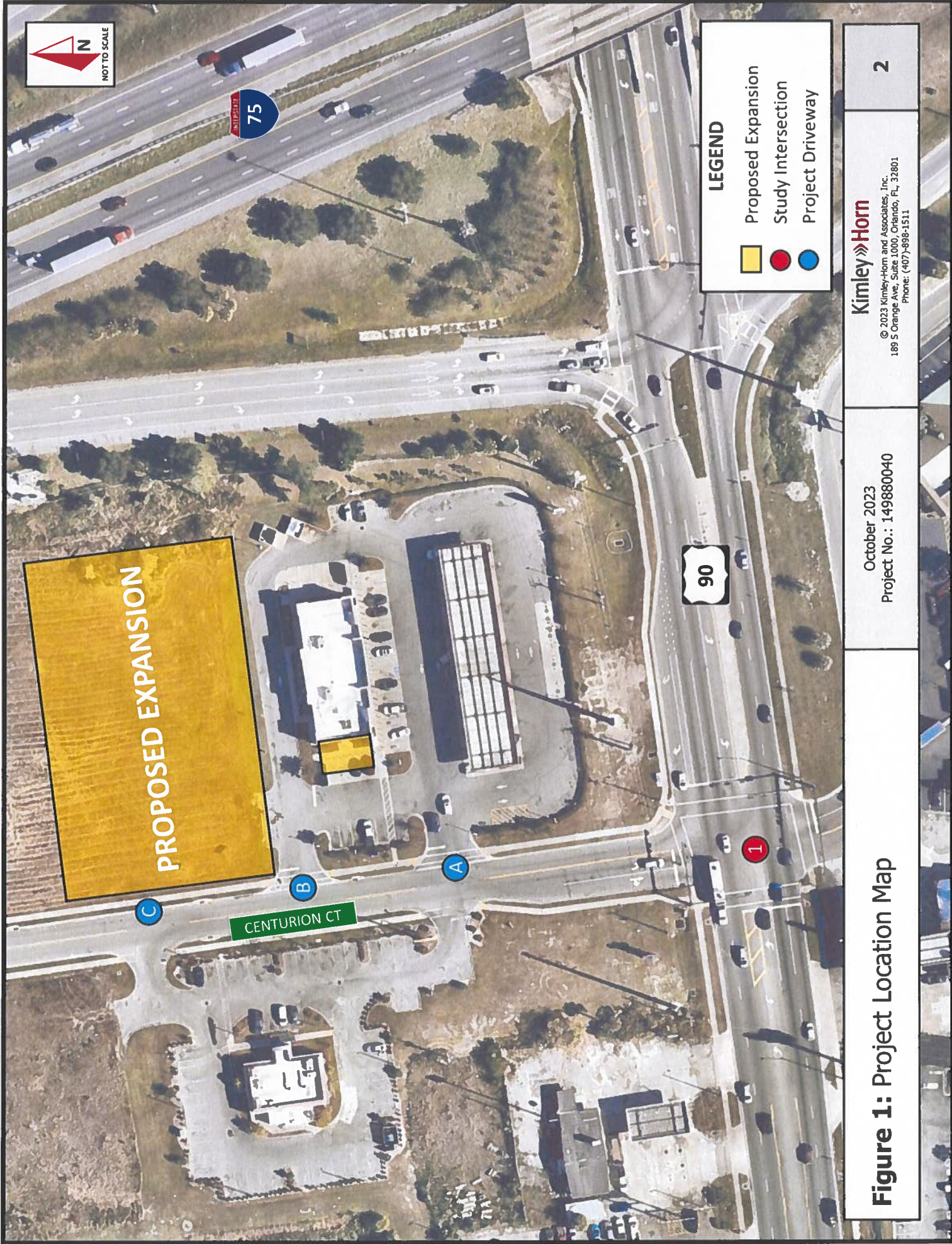
Kimley-Horn has been retained by Circle K to analyze and document the traffic impacts associated with the expansion of a gas station and Circle K convenience market on the northeast quadrant of the intersection of US Highway 90 (US 90) and Centurion Court/SW Florida Gateway Drive in Lake City, Florida.

This Traffic Impact Analysis (TIA) was originally submitted in March 2022 and approved in September 2022. At the request of Lake City staff, the TIA has been updated to reflect existing (2023) conditions and a revised buildout year 2024.

There is an existing 4,968 square foot convenience market with 24 vehicle fueling positions (VFP) on the site. The project location is shown in **Figure 1**.

The applicant is proposing to add a 900 square foot expansion to the convenience market and 3 vehicle fueling positions designed for diesel trucks. The conceptual site plan is provided in **Appendix A**.

The study area for this traffic impact analysis includes the project driveways and the signalized intersection of US 90 and Centurion Court/SW Florida Gateway Drive, as shown in **Figure 1**.



LEGEND

- Proposed Expansion
- Study Intersection
- Project Driveway

PROPOSED EXPANSION

CENTURION CT

90

75

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--	--	-----------------

Figure 1: Project Location Map

2.0 EXISTING CONDITIONS ANALYSIS

2.1 EXISTING TRAFFIC DATA

Turning movement counts (TMCs) were collected at the study intersection on Thursday, October 5, 2023, during the AM (7:00 AM – 9:00 AM) and PM (4:00 PM – 6:00 PM) peak periods. Raw turning movement counts are provided in **Appendix B**.

Turning movement volumes were adjusted using the peak season conversion factor (PSCF) from the Florida Department of Transportation (FDOT) Florida Traffic Online (FTO). Seasonal factor data is included in **Appendix B**. Existing signal timings were provided by Lake City staff for use in the analysis. Signal timing worksheets are included in **Appendix B**.

Figure 2 illustrates turning movement volumes for existing peak season conditions at the study intersection. The intersection volume development worksheet can be found in **Appendix C**.

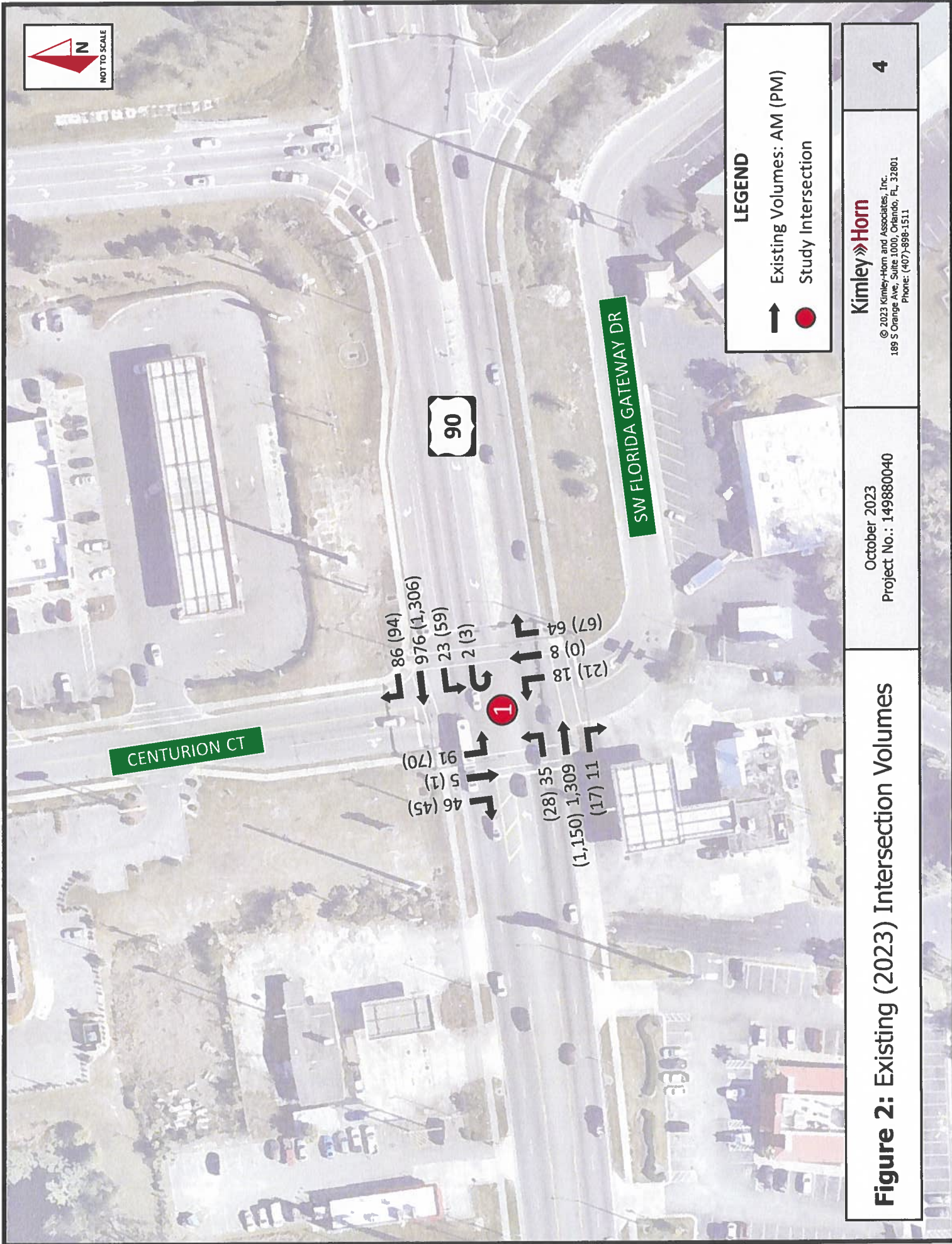
2.2 EXISTING INTERSECTION CONDITIONS

Intersection capacity analyses were performed for existing (2023) conditions using the operational analysis procedures outlined in the latest *Highway Capacity Manual, 6th Edition* (HCM 6). Specifically, *Synchro* (v11) software was used to evaluate existing operational conditions at the study area intersection by reporting delay, level of service (LOS), volume-to-capacity (v/c) ratios, and the 95th percentile queue for each movement. **Table 1** summarizes the operational analyses for the existing AM and PM peak hour conditions at the study intersection. Synchro outputs are provided in **Appendix D**.

Table 1: Existing Intersection Conditions

		AM Peak Hour				PM Peak Hour			
		Delay (sec/veh)	LOS	v/c Ratio	95th percentile queue (veh)	Delay (sec/veh)	LOS	v/c Ratio	95th percentile queue (veh)
US 90 & Centurion Court	Overall Intersection	14.4	B	-	-	10.6	B	-	-
	Eastbound	13.1	B	-	-	8.0	A	-	-
	EBL	6.8	A	0.11	0.5	5.6	A	0.1	0.3
	EBT	13.3	B	0.61	16.1	8.1	A	0.45	10.9
	EBT/R	13.2	B	0.61	16.7	8.0	A	0.45	11.3
	Westbound	9.3	A	-	-	7.4	A	-	-
	WBL	8.8	A	0.10	0.4	5.2	A	0.17	0.7
	WBT	9.5	A	0.46	10.5	7.6	A	0.51	11.9
	WBR	6.5	A	0.07	1.0	4.6	A	0.07	1.1
	Northbound	52.1	D	-	-	65.4	E	-	-
	NBL	51.9	D	0.10	1.1	66.0	E	0.15	1.5
	NBT/R	52.2	D	0.27	2.9	64.8	E	0.2	1.8
	Southbound	59.8	E	-	-	70.3	E	-	-
	SBL	61.4	E	0.58	6.4	71.8	E	0.52	5.3
	SBT/R	50.5	D	0.09	1.0	64.2	E	0.14	1.3

The intersection of US 90 and Centurion Court operates with LOS B during existing (2023) AM peak hour and PM peak hour conditions. All movements operate with v/c ratios less than 1.00 under existing (2023) AM and PM peak hour conditions. The northbound approach operates with LOS D during the AM peak hour and LOS E during the PM peak hour. The southbound approach operates with LOS E during the AM and PM peak hours. The higher delay on the northbound and southbound approaches is due to the prioritization of green time for the mainline US 90 movements.



LEGEND

↑ Existing Volumes: AM (PM)

● Study Intersection

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October 2023
 Project No.: 149880040

Figure 2: Existing (2023) Intersection Volumes

3.0 PROJECT DEVELOPMENT

The existing site currently has 24 VFPs and a 4,968 square foot Circle K convenience store. The proposed expansion will add approximately 900 square feet to the existing convenience market and 3 VFPs north of the existing site. The latest industry standards were referenced to evaluate the amount of new external trips to be generated by the site at buildout.

3.1 SITE ACCESS

Access to the site is proposed via two existing driveways and one new driveway along Centurion Court, as shown in the site plan provided in **Appendix A**.

3.2 TRIP GENERATION

Trip generation and pass-by rates for the proposed development were calculated using the 11th Edition of the Institute of Transportation Engineers' (ITE) *Trip Generation Manual*. Land Use Code (LUC) 945 (Gas Station with Convenience Market) was used to calculate the trip generation potential for the existing and proposed development.

The trip generation potential of the existing Circle K convenience store and gas station was compared to observed traffic volumes on Centurion Court north of US 90 in the reviewed and approved TIA dated March 2022. **Table 2** summarizes the comparison of the calculated trip generation potential of the existing development and the observed peak hour volumes on Centurion Court.

Table 2: Existing Site Trip Generation Comparison

	AM Peak Hour			PM Peak Hour		
	Total	In (NB)	Out (SB)	Total	In (NB)	Out (SB)
ITE <i>Trip Generation Manual</i>	649	325	324	546	273	273
Observed Peak Season Traffic	201	106	95	220	115	105

Since the existing AM and PM peak hour traffic volumes were significantly less than the trip generation potential of the existing development, the trip generation calculations for the proposed expansion to the convenience store and gas station were adjusted proportionately to reflect actual conditions anticipated at the site under buildout conditions.

Table 3 provides the AM peak hour and PM peak hour trip generation calculations for the proposed expansion and the adjustment applied based on the existing trip generation comparison. A factor of 0.31 (201/649) was applied to the AM peak hour trip generation calculations, and a factor of 0.40 (220/546) was applied to the PM peak hour trip generation calculations in accordance with the comparison illustrated in **Table 2**.

As summarized in **Table 3**, the proposed expansion is anticipated to generate 16 net new AM peak hour trips (8 inbound and 8 outbound) and 18 net new PM peak hour trips (9 inbound and 9 outbound) to the external roadway network at buildout. In addition, the proposed expansion is anticipated to generate 48 AM peak hour pass-by trips (24 inbound and 24 outbound) and 54 PM peak hour pass-by trips (27 inbound and 27 outbound). A detailed table, including all trip generation calculations and adjustments, is provided in **Appendix E**.

Table 3: Trip Generation Summary

	AM Peak Hour			PM Peak Hour		
	Total	In (NB)	Out (SB)	Total	In (NB)	Out (SB)
ITE <i>Trip Generation Manual</i> (Net New)	50	25	25	46	23	23
ITE <i>Trip Generation Manual</i> (Pass-by)	204	102	102	180	90	90
Adjustment Factor	0.31			0.40		
Adjusted Net New Trips	16	8	8	18	9	9
Adjusted Pass-by Trips	48	24	24	54	27	27

3.3 TRIP DISTRIBUTION

The project’s trip distribution was developed based on observed traffic patterns within the study area roadway network and engineering judgment. **Figure 3** displays the anticipated trip distribution for the proposed Circle K gas station expansion at buildout.

3.4 TRIP ASSIGNMENT

Site distribution percentages were used to assign anticipated project trips to the study area intersection and driveways. **Figure 4** shows the anticipated AM and PM peak hour project movements at the study area intersection and project driveways.



INTERSTATE
75

90

CENTURION CT

SW FLORIDA GATEWAY DR



LEGEND

- Blue arrow: % Trips In <% Pass-By In>
- Red arrow: % Trips Out <% Pass-By Out>
- Red circle with #: Study Intersection
- Blue circle with #: Project Driveway

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Figure 3: Project Trip Distribution



LEGEND

- ➔ Project Trips In: Net New + *Pass-By*: AM (PM)
- ➔ Project Trips Out: Net New + *Pass-By*: AM (PM)
- # Study Intersection
- # Project Driveway

CENTURION CT

SW FLORIDA GATEWAY DR

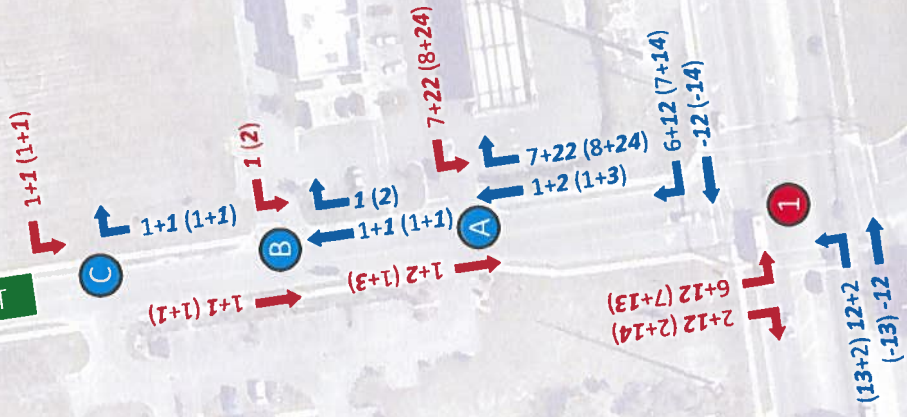


Figure 4: Project Trip Assignment

October 2023
Project No.: 149880040

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Phone: (407)898-1511

4.0 BACKGROUND CONDITIONS ANALYSIS – YEAR 2024

4.1 HISTORICAL TRAFFIC GROWTH

A historical traffic growth rate was calculated based upon the nearest historical Annual Average Daily Traffic (AADT) data available from FTO. A 3.61% annual historical growth rate was calculated based on the average traffic growth exhibited over the past five (5) years from an FDOT count station located east of the project site on US 90; 2020 and 2021 AADT data were removed from the calculation due to the COVID-19 pandemic effect on travel patterns. The growth trend worksheet can be found in **Appendix F**.

4.2 BACKGROUND TRAFFIC

Traffic conditions were evaluated for the year 2024 background conditions prior to the addition of project traffic. Background volumes at the study area intersection were derived by applying 3.61% annual growth to existing (2023) traffic counts. **Figure 5** illustrates AM peak hour and PM peak hour turning movement volumes for background conditions at the study intersection. The intersection volume development worksheet can be found in **Appendix C**.

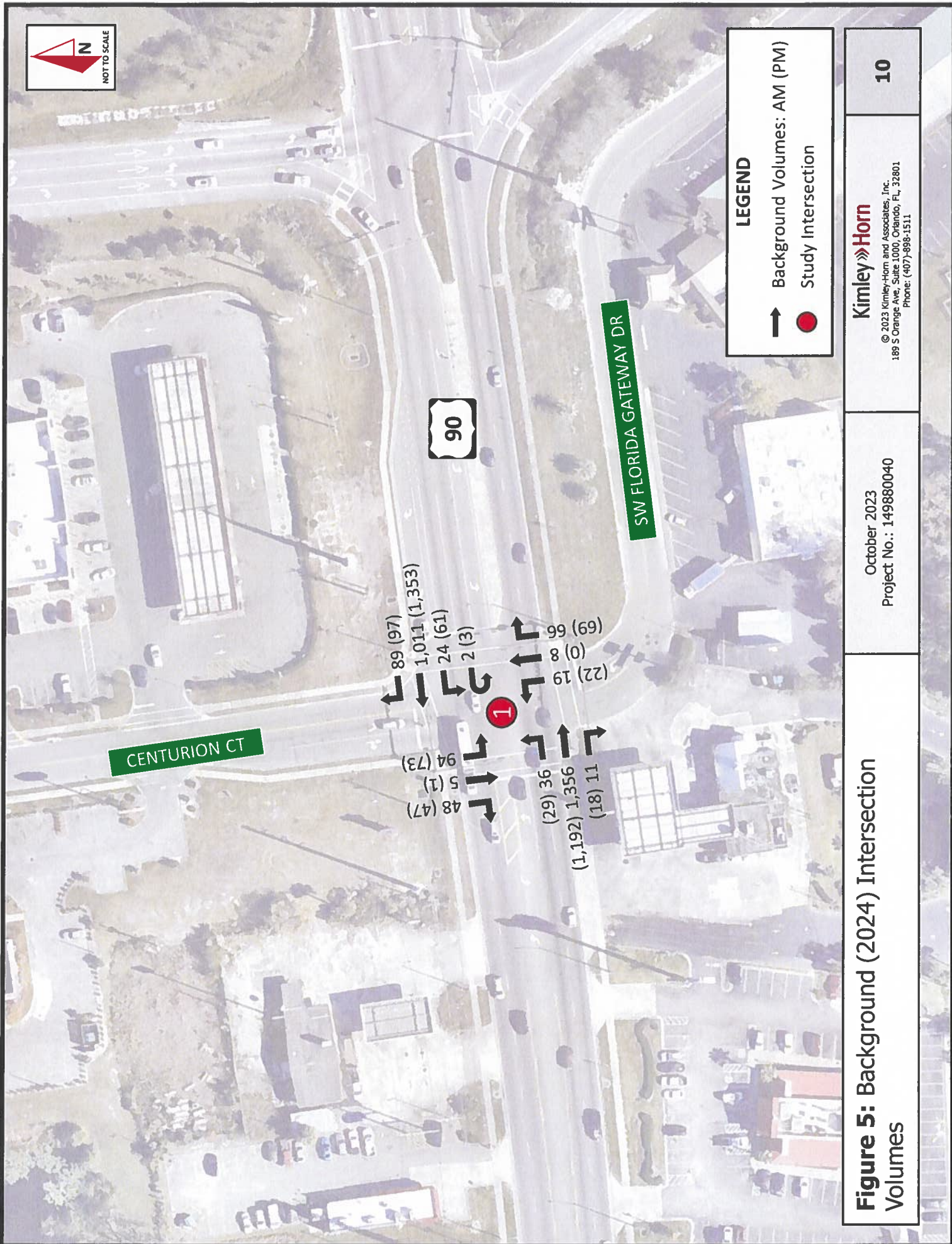
4.3 BACKGROUND INTERSECTION ANALYSIS

Intersection operational analyses were performed for 2024 background conditions in the AM and PM peak hours using procedures outlined in the *Highway Capacity Manual 6* with *Synchro* (v11) software. **Table 4** summarizes the operational analyses for the 2024 background AM and PM peak hour conditions at the study intersection. Synchro outputs are provided in **Appendix D**.

Table 4: Background Intersection Conditions

		AM Peak Hour				PM Peak Hour			
		Delay (sec/veh)	LOS	v/c Ratio	95th percentile queue (veh)	Delay (sec/veh)	LOS	v/c Ratio	95th percentile queue (veh)
US 90 & Centurion Court	Overall Intersection	15.0	B	-	-	11.1	B	-	-
	Eastbound	13.9	B	-	-	8.5	A	-	-
	EBL	7.1	A	0.12	0.5	6.1	A	0.11	0.4
	EBT	14.1	B	0.63	17.1	8.6	A	0.47	11.6
	EBT/R	14.0	B	0.63	17.8	8.5	A	0.47	12.0
	Westbound	9.7	A	-	-	7.9	A	-	-
	WBL	9.6	A	0.11	0.4	5.7	A	0.18	0.7
	WBT	9.9	A	0.48	11.1	8.1	A	0.53	12.8
	WBR	6.6	A	0.07	1.1	4.8	A	0.07	1.1
	Northbound	51.8	D	-	-	64.9	E	-	-
	NBL	51.7	D	0.11	1.2	65.6	E	0.15	1.5
	NBT/R	51.9	D	0.28	3.0	64.3	E	0.21	1.9
	Southbound	59.9	E	-	-	70.0	E	-	-
	SBL	61.8	E	0.59	6.7	71.7	E	0.54	5.6
SBT/R	50.2	D	0.1	1.1	63.7	E	0.15	1.4	

The intersection of US 90 and Centurion Court is expected to operate with LOS B during background (2024) AM peak hour and PM peak hour conditions. All movements are expected to operate with v/c ratios less than 1.00 under background (2024) AM and PM peak hour conditions. The northbound and southbound approaches are expected to continue to operate with LOS E or better during the AM and PM peak hours due to the prioritization of green time for the mainline US 90 movements.



89 (97) ←
 1,011 (1,353) ←
 24 (61) ←
 2 (3) ←
 94 (73) →
 5 (1) →
 48 (47) →
 (29) 36 →
 (1,192) 1,356 →
 (18) 11 →
 (69) 66 →
 (0) 8 →
 (22) 19 →

LEGEND

- ↑ Background Volumes: AM (PM)
- Study Intersection

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---	---	--

5.0 BUILDOUT CONDITIONS ANALYSIS – YEAR 2024

5.1 BUILDOUT TRAFFIC

Future traffic conditions for the proposed development were evaluated for the year 2024 conditions with the inclusion of project traffic. Buildout volumes were developed by adding anticipated project trips to background (2024) volumes. **Figure 6** illustrates the projected turning movement volumes under buildout AM and PM peak hour conditions at the study intersection. The intersection volume development worksheet can be found in **Appendix C**.

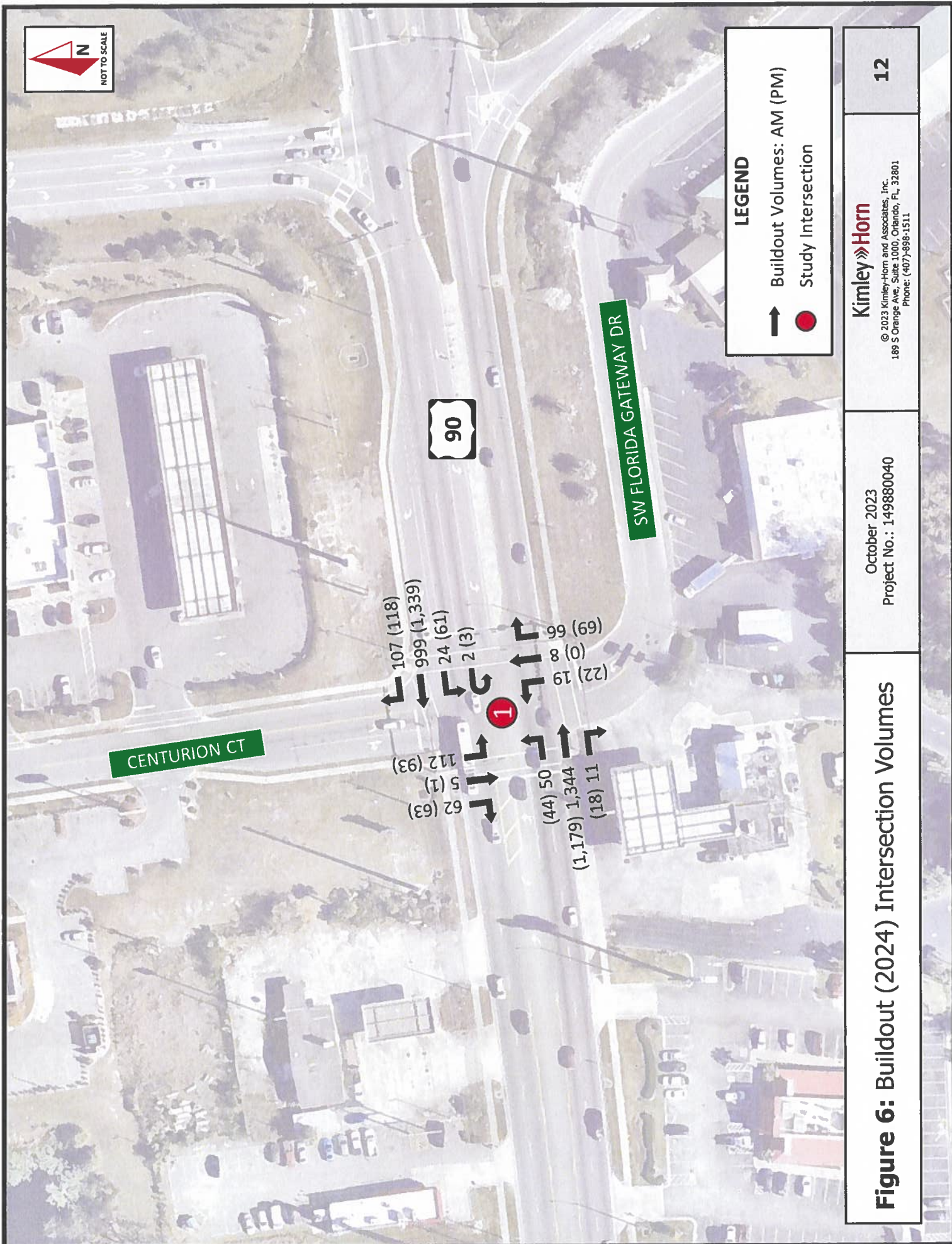
5.2 BUILDOUT INTERSECTION ANALYSIS

Intersection operational analyses were performed for 2024 buildout conditions in the AM and PM peak hour conditions using procedures outlined in the *Highway Capacity Manual 6* with *Synchro* (v11) software. **Table 5** summarizes the operational analyses for the 2024 buildout AM and PM peak hour conditions at the study intersection. Synchro outputs are provided in **Appendix D**.

Table 5: Buildout Intersection Conditions

		AM Peak Hour				PM Peak Hour			
		Delay (sec/veh)	LOS	v/c Ratio	95th percentile queue (veh)	Delay (sec/veh)	LOS	v/c Ratio	95th percentile queue (veh)
US 90 & Centurion Court	Overall Intersection	16.3	B	-	-	12.7	B	-	-
	Eastbound	14.6	B	-	-	9.4	A	-	-
	EBL	7.8	A	0.16	0.8	7.2	A	0.16	0.6
	EBT	14.9	B	0.64	17.6	9.5	A	0.48	12.3
	EBT/R	14.8	B	0.64	18.3	9.5	A	0.48	12.7
	Westbound	10.5	B	-	-	9.0	A	-	-
	WBL	10.1	B	0.11	0.4	6.4	A	0.19	0.8
	WBT	10.8	B	0.48	11.5	9.4	A	0.54	14.0
	WBR	7.4	A	0.09	1.6	5.7	A	0.10	1.7
	Northbound	50.8	D	-	-	63.2	E	-	-
	NBL	51.5	D	0.11	1.2	64.7	E	0.14	1.5
	NBT/R	50.5	D	0.25	2.9	61.9	E	0.18	1.9
	Southbound	61.3	E	-	-	68.4	E	-	-
	SBL	64.7	E	0.65	8.1	70.6	E	0.59	7.0
SBT/R	49.6	D	0.17	2.0	62.4	E	0.23	2.5	

The intersection of US 90 and Centurion Court is expected to operate with LOS B during buildout (2024) AM peak hour and PM peak hour conditions. All movements are expected to operate with v/c ratios less than 1.00 under buildout (2024) AM and PM peak hour conditions. The northbound and southbound approaches are expected to continue to operate with LOS E or better during the AM and PM peak hour due to the prioritization of green time for the mainline US 90 movements.



107 (118)
999 (1,339)
24 (61)
2 (3)
62 (63)
5 (1)
112 (93)
(44) 50
(1,179) 1,344
(18) 11
(22) 19
(0) 8
(69) 66

LEGEND

↑ Buildout Volumes: AM (PM)

● Study Intersection

6.0 CONCLUSION

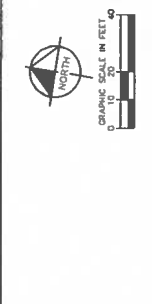
This traffic impact analysis was performed to assess the transportation impacts of the proposed expansion of a gas station and Circle K convenience market located in the northwest quadrant of the intersection of US Highway 90 (SR 10) and Centurion Court/SW Florida Gateway Drive. The expansion, proposed for buildout in year 2024, will include the addition of 3 vehicle fueling positions designed for diesel trucks and a 900 square foot expansion to the existing Circle K convenience market. Access to the site will be provided via two existing driveways and one new driveway to the north on Centurion Court.

Accounting for the observed trip generation of the existing site, the proposed expansion is anticipated to generate 16 net new AM peak hour trips and 18 net new PM peak hour trips at buildout. An additional 48 new AM peak hour pass-by trips and 54 new PM peak hour pass-by trips are expected at the site as well.

Operational analyses were performed utilizing *Synchro* software for the existing (2023), background (2024), and buildout (2024) conditions at the study intersection of US 90 and Centurion Court/SW Florida Gateway Drive during the AM peak hour and the PM peak hour. Results indicated that the study intersection is expected to operate at LOS B through the buildout year. No operational deficiencies are expected at the study intersection with the inclusion of project traffic under buildout (2024) conditions.

APPENDIX A
Conceptual Site Plan

NO.	REVISIONS	DATE
1	ADDED SITE PLAN FOR THE PROJECT	08/29/23
2		



- NOTES:**
1. ALL CURB INDICATORS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 2. DIMENSIONS AND LOCATIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
 3. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS AND LOCATIONS.
 4. REFER TO SPACE PLANS FOR MONUMENT SIGN DETAILS.
 5. SEE MEP PLANS FOR ELECTRICAL DETAILS.
 6. ALL PROPOSED ON-SITE SIGNING AND PAYMENT MARKINGS SHALL BE PLANTED UNLESS OTHERWISE NOTED AND IN ACCORDANCE WITH DOT ROAD 711-000 AND SECTION 305.
 7. REFER TO ARCHITECTURAL PLANS FOR PROPOSED TRAMP CAN LOCATIONS AND SECTION.
 8. DETAILS AT SIGNING ADJACENT TO BUILDING SHALL BE COORDINATED WITH ARCHITECTURAL PLANS AND SHALL BE CHECKED WITH ARCHITECT FOR ALL DETAILS TO BE SUPPLIED BY CONTRACTOR (SEE PLAN DEVELOPMENT PLANS FOR WORK IN PLACE).
 9. REFER TO ARCHITECTURAL PLANS FOR THE LANDING AND ELECTRICAL PLANS.
 10. ALL SIGNAGE AND PAYMENT MARKINGS SHALL MEET INDOT AND TxDOT DEVELOPMENT CODE CHAPTER 7, SEC. 700.
 11. ALL SIGNAGE SHALL MEET THE REQUIREMENTS OF CITY OF LAKE CITY LAND DEVELOPMENT CODE CHAPTER 7, SEC. 700.

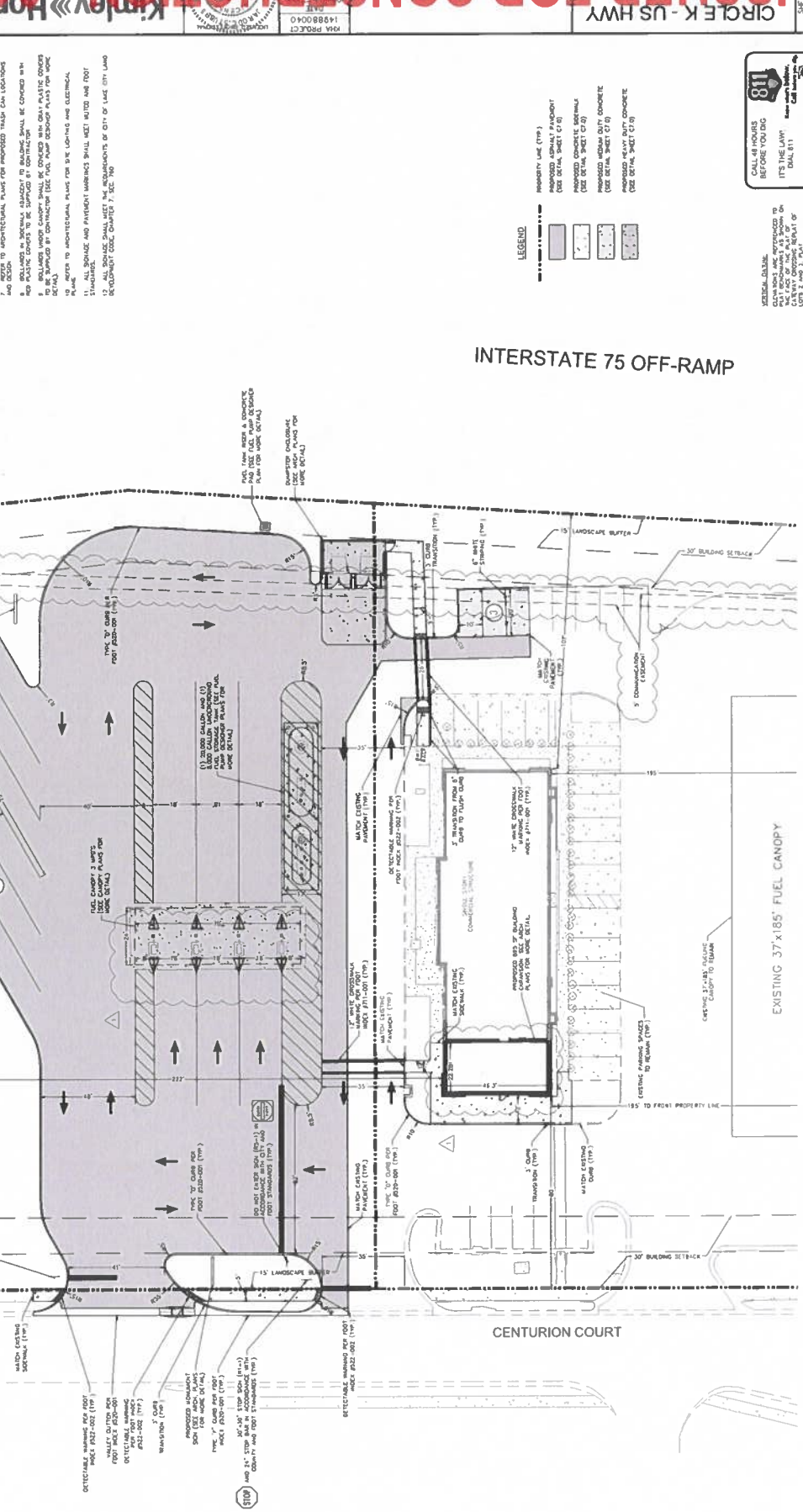
LEGEND
PROPERTY LINE (TP)
PROPOSED CONCRETE SIDEWALK (SEE DETAIL SHEET C1.0)
PROPOSED MEDIUM DUTY CONCRETE (SEE DETAIL SHEET C1.0)
PROPOSED HEAVY DUTY CONCRETE (SEE DETAIL SHEET C1.0)

811 CALL BEFORE YOU DIG
IT'S THE LAW!
DATE 8/11/2023
CALL 811 FOR UTILITY INFORMATION

UTILITY DETAIL:
CONDUCTOR LINE EXTENDED TO THE PROPERTY LINE FOR ALL SIGNAGE OR OTHER FEATURES TO BE PLANTED OR PLACED AT PROPERTY LINE OR BEYOND. SEE PLAN DEVELOPMENT CODE CHAPTER 7, PAGE 1, SECTION 7.01.

5100
30" x 60" SIGN (SEE 711-000) AND 24" x 36" SIGN (SEE 711-000) FOR 31' MINIMUM HEIGHT (SEE DETAIL)

5100
30" x 60" SIGN (SEE 711-000) AND 24" x 36" SIGN (SEE 711-000) FOR 31' MINIMUM HEIGHT (SEE DETAIL)



INTERSTATE 75 OFF-RAMP
CENTURY COURT

SHEET NUMBER: C4.1
PROJECT: 198 & 78th STREET
DATE: 08/29/23
DRAWN BY: [Name]
CHECKED BY: [Name]
DATE: [Date]

Appendix A: Conceptual Site Plan
Page 1 of 1

APPENDIX B
Traffic Data

All Traffic Data Services

1 FLORIDA GATEWAY DRIVE & US 90 AM
Thursday, October 5, 2023

Peak Hour
07:15 AM - 08:15 AM
Peak 15-Minutes
07:45 AM - 08:00 AM

Traffic Counts - All Vehicles

Time	US 90 Eastbound				US 90 Westbound				FLORIDA GATEWAY DRIVE Northbound				CENTURION COURT Southbound				Total	Rolling Hour				
	U-Turn	Left	Thru	Right	RTOR	U-Turn	Left	Thru	Right	RTOR	U-Turn	Left	Thru	Right	RTOR	U-Turn			Left	Thru	Right	RTOR
	7:00 AM	0	10	272	1	0	0	6	143	11	9	0	3	3	10	9			0	17	2	2
7:15 AM	0	8	307	1	0	1	5	191	15	12	0	5	3	7	4	0	30	1	3	8	601	2,674
7:30 AM	0	12	380	0	0	0	2	234	14	8	0	3	2	8	2	0	18	0	3	9	695	2,888
7:45 AM	0	6	353	6	0	1	11	306	18	4	0	6	3	14	10	0	20	4	4	5	770	2,530
8:00 AM	0	9	269	5	0	0	5	245	14	1	0	4	0	8	11	0	23	0	1	13	608	2,328
8:15 AM	0	5	274	3	0	0	14	235	9	5	0	5	0	8	7	0	17	2	3	8	595	0
8:30 AM	0	6	255	1	0	0	21	210	12	4	0	4	1	6	11	0	14	2	3	7	557	0
8:45 AM	0	6	271	10	0	1	15	208	19	2	0	3	1	3	11	0	12	1	0	5	568	0

Peak Rolling Hour Flow Rates

Vehicle Type	Eastbound					Westbound					Northbound					Southbound					Total	
	U-Turn	Left	Thru	Right	RTOR	U-Turn	Left	Thru	Right	RTOR	U-Turn	Left	Thru	Right	RTOR	U-Turn	Left	Thru	Right	RTOR		
Articulated Trucks	0	0	8	0	0	0	0	9	0	0	0	0	0	0	0	0	2	0	0	0	0	19
Lights	0	34	1,281	11	0	2	22	944	58	25	0	15	6	35	25	0	87	5	11	32	2,593	
Mediums	0	1	20	0	0	0	1	23	3	0	0	3	2	2	2	0	2	0	0	3	62	
Total	0	35	1,309	11	0	2	23	976	61	25	0	18	8	37	27	0	91	5	11	35	2,674	
Bicycles on Road	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Bicycles on Crosswalk																						
Heavy Vehicle Percentage			2.1%					3.3%						10.0%					4.9%		3.0%	
Peak Hour Factor (PHF)	0.00	0.75	0.86	0.48	0.00	0.50	0.65	0.83	0.85	0.69	0.00	0.79	0.92	0.70	0.91	0.00	0.76	0.50	0.75	0.67	0.87	

Traffic Counts by Vehicle Type

Time	Eastbound					Westbound					Northbound					Southbound					Total
	U-Turn	Left	Thru	Right	RTOR	U-Turn	Left	Thru	Right	RTOR	U-Turn	Left	Thru	Right	RTOR	U-Turn	Left	Thru	Right	RTOR	
Articulated Trucks	0	0	2	0	0	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	3
Lights	0	9	262	1	0	0	5	137	11	8	0	1	2	10	9	0	14	2	2	3	476
Mediums	0	1	8	0	0	0	1	5	0	1	0	2	1	0	0	0	3	0	0	0	22
Bicycles on Road	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0

Bicycles on Crosswalk

Time	Eastbound			Westbound			Northbound			Southbound		
	CCW	CW	Total	CCW	CW	Total	CCW	CW	Total	CCW	CW	Total
7:00 AM	0	0	0	0	0	0	0	0	0	1	0	1
7:15 AM	0	0	0	0	0	0	0	0	0	0	0	0
7:30 AM	0	0	0	0	0	0	0	0	0	0	0	0
7:45 AM	0	0	0	0	0	0	0	0	0	0	0	0
8:00 AM	0	0	0	0	0	0	0	0	0	0	0	0
8:15 AM	0	0	0	0	0	0	0	0	0	0	0	0
8:30 AM	0	0	0	1	0	1	0	0	0	0	0	0
8:45 AM	0	0	0	0	0	0	0	0	0	0	0	0

Pedestrians

Time	Eastbound			Westbound			Northbound			Southbound		
	CCW	CW	Total	CCW	CW	Total	CCW	CW	Total	CCW	CW	Total
7:00 AM	0	0	0	0	0	0	1	0	1	0	1	1
7:15 AM	0	0	0	0	0	0	0	0	0	0	0	0
7:30 AM	0	0	0	1	1	0	0	0	0	1	1	1
7:45 AM	0	0	0	0	0	0	0	0	0	0	0	0
8:00 AM	0	0	0	0	0	0	2	0	2	0	0	0
8:15 AM	0	0	0	0	0	0	1	0	1	0	0	0
8:30 AM	0	0	0	0	0	0	0	0	0	0	0	0
8:45 AM	0	0	0	0	0	0	0	0	0	0	0	0

All Traffic Data Services

1 FLORIDA GATEWAY DRIVE & US 90 PM
Thursday, October 5, 2023

Peak Hour
04:30 PM - 05:30 PM
Peak 15-Minutes
05:00 PM - 05:15 PM

Traffic Counts - All Vehicles

Time	US 90 Eastbound				US 90 Westbound				FLORIDA GATEWAY DRIVE Northbound				CENTURION COURT Southbound				Total	Rolling Hour				
	U-Turn	Left	Thru	Right	RTOR	U-Turn	Left	Thru	Right	RTOR	U-Turn	Left	Thru	Right	RTOR	U-Turn			Left	Thru	Right	RTOR
	4:00 PM	2	6	247	7	0	3	19	347	17	5	0	9	1	5	11			0	27	1	4
4:15 PM	0	14	251	10	0	1	30	366	18	6	0	1	0	4	8	0	19	3	2	5	738	2,850
4:30 PM	0	8	278	6	0	1	14	308	22	3	0	8	0	4	6	0	21	0	5	7	687	2,861
4:45 PM	0	7	270	5	0	0	17	307	15	2	0	8	0	7	8	0	12	1	2	7	668	2,831
5:00 PM	0	4	306	1	0	0	11	351	20	5	0	4	0	9	14	0	20	0	5	7	757	2,737
5:15 PM	0	9	296	5	0	2	17	342	22	5	0	3	0	8	13	0	17	0	5	7	749	0
5:30 PM	0	3	261	1	0	2	19	301	14	4	0	2	1	4	10	0	17	3	8	7	657	0
5:45 PM	0	4	247	4	1	5	10	245	13	4	0	1	9	7	0	12	2	1	5	574	0	

Peak Rolling Hour Flow Rates

Vehicle Type	Eastbound					Westbound					Northbound					Southbound					Total	
	U-Turn	Left	Thru	Right	RTOR	U-Turn	Left	Thru	Right	RTOR	U-Turn	Left	Thru	Right	RTOR	U-Turn	Left	Thru	Right	RTOR		
Articulated Trucks	0	0	9	0	0	0	0	8	0	0	0	0	0	0	1	0	0	0	0	0	0	3
Lights	0	28	1,126	17	0	3	59	1,279	77	15	0	21	0	26	40	0	70	1	17	28	2,807	
Mediums	0	0	15	0	0	0	0	19	2	0	0	0	0	0	0	0	0	0	0	0	36	
Total	0	28	1,150	17	0	3	59	1,306	79	15	0	21	0	26	41	0	70	1	17	28	2,861	
Bicycles on Road	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Bicycles on Crosswalk	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Heavy Vehicle Percentage	2.0%					2.0%					1.1%					0.0%					1.9%	
Peak Hour Factor (PHF)	0.0%	0.0%	2.1%	0.0%	0.0%	0.0%	0.0%	2.1%	2.5%	0.0%	0.0%	0.0%	0.0%	0.0%	2.4%	0.0%	0.0%	0.0%	0.0%	0.0%	1.9%	
Peak Hour Factor (PHF)	0.25	0.63	0.94	0.70	0.25	0.45	0.67	0.91	0.90	0.90	0.00	0.67	0.50	0.78	0.80	0.00	0.73	0.42	0.63	1.00	0.94	

Traffic Counts by Vehicle Type

Time	Eastbound					Westbound					Northbound					Southbound					Total
	U-Turn	Left	Thru	Right	RTOR	U-Turn	Left	Thru	Right	RTOR	U-Turn	Left	Thru	Right	RTOR	U-Turn	Left	Thru	Right	RTOR	
Articulated Trucks	0	0	3	0	0	0	0	7	1	0	0	0	0	1	0	0	0	0	0	0	12
Lights	2	6	240	7	0	3	19	332	16	5	0	9	1	4	10	0	26	1	4	4	689
Mediums	0	0	4	0	0	0	0	8	0	0	0	0	0	0	1	0	1	0	0	0	14
Bicycles on Road	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0

Bicycles on Crosswalk

Time	Eastbound			Westbound			Northbound			Southbound		
	CCW	CW	Total	CCW	CW	Total	CCW	CW	Total	CCW	CW	Total
4:00 PM	1	0	1	0	0	0	0	0	0	1	0	1
4:15 PM	0	0	0	0	0	0	0	0	0	0	0	0
4:30 PM	0	0	0	0	0	0	0	0	0	1	0	1
4:45 PM	0	0	0	0	0	0	0	0	0	1	1	2
5:00 PM	0	0	0	0	0	0	1	0	1	0	0	1
5:15 PM	0	0	0	0	0	0	0	0	0	0	0	0
5:30 PM	0	0	0	0	0	0	0	0	0	0	0	0
5:45 PM	0	0	0	0	0	0	0	0	0	0	0	0

Pedestrians

Time	Eastbound			Westbound			Northbound			Southbound		
	CCW	CW	Total	CCW	CW	Total	CCW	CW	Total	CCW	CW	Total
4:00 PM	1	0	1	0	0	0	0	1	1	1	0	1
4:15 PM	0	0	0	0	0	0	0	0	0	0	0	0
4:30 PM	0	0	0	0	0	0	0	0	0	1	1	2
4:45 PM	0	0	0	0	0	0	0	0	0	0	0	0
5:00 PM	0	0	0	0	0	0	1	3	4	0	0	4
5:15 PM	0	0	0	0	0	0	0	0	0	3	3	6
5:30 PM	0	0	0	0	0	0	0	0	0	0	0	0
5:45 PM	0	0	0	1	0	1	0	0	0	2	0	2

2022 PEAK SEASON FACTOR CATEGORY REPORT - REPORT TYPE: ALL
 CATEGORY: 2900 COLUMBIA COUNTYWIDE

MOCF: 0.98
 PSCF

WEEK	DATES	SF	PSCF
1	01/01/2022 - 01/01/2022	1.02	1.04
2	01/02/2022 - 01/08/2022	1.05	1.07
3	01/09/2022 - 01/15/2022	1.08	1.10
4	01/16/2022 - 01/22/2022	1.07	1.09
5	01/23/2022 - 01/29/2022	1.05	1.07
6	01/30/2022 - 02/05/2022	1.03	1.05
7	02/06/2022 - 02/12/2022	1.02	1.04
8	02/13/2022 - 02/19/2022	1.00	1.02
9	02/20/2022 - 02/26/2022	1.00	1.02
10	02/27/2022 - 03/05/2022	0.99	1.01
11	03/06/2022 - 03/12/2022	0.99	1.01
*12	03/13/2022 - 03/19/2022	0.98	1.00
*13	03/20/2022 - 03/26/2022	0.98	1.00
*14	03/27/2022 - 04/02/2022	0.98	1.00
*15	04/03/2022 - 04/09/2022	0.97	0.99
*16	04/10/2022 - 04/16/2022	0.97	0.99
*17	04/17/2022 - 04/23/2022	0.97	0.99
*18	04/24/2022 - 04/30/2022	0.97	0.99
*19	05/01/2022 - 05/07/2022	0.97	0.99
*20	05/08/2022 - 05/14/2022	0.97	0.99
*21	05/15/2022 - 05/21/2022	0.98	1.00
*22	05/22/2022 - 05/28/2022	0.98	1.00
*23	05/29/2022 - 06/04/2022	0.99	1.01
*24	06/05/2022 - 06/11/2022	0.99	1.01
25	06/12/2022 - 06/18/2022	1.00	1.02
26	06/19/2022 - 06/25/2022	1.00	1.02
27	06/26/2022 - 07/02/2022	1.01	1.03
28	07/03/2022 - 07/09/2022	1.02	1.04
29	07/10/2022 - 07/16/2022	1.03	1.05
30	07/17/2022 - 07/23/2022	1.02	1.04
31	07/24/2022 - 07/30/2022	1.01	1.03
32	07/31/2022 - 08/06/2022	1.01	1.03
33	08/07/2022 - 08/13/2022	1.00	1.02
34	08/14/2022 - 08/20/2022	0.99	1.01
35	08/21/2022 - 08/27/2022	1.00	1.02
36	08/28/2022 - 09/03/2022	1.00	1.02
37	09/04/2022 - 09/10/2022	1.01	1.03
38	09/11/2022 - 09/17/2022	1.01	1.03
39	09/18/2022 - 09/24/2022	1.00	1.02
40	09/25/2022 - 10/01/2022	0.99	1.01
41	10/02/2022 - 10/08/2022	0.98	1.00
42	10/09/2022 - 10/15/2022	0.97	0.99
43	10/16/2022 - 10/22/2022	0.98	1.00
44	10/23/2022 - 10/29/2022	0.99	1.01
45	10/30/2022 - 11/05/2022	1.00	1.02
46	11/06/2022 - 11/12/2022	1.01	1.03
47	11/13/2022 - 11/19/2022	1.02	1.04
48	11/20/2022 - 11/26/2022	1.02	1.04
49	11/27/2022 - 12/03/2022	1.02	1.04
50	12/04/2022 - 12/10/2022	1.02	1.04
51	12/11/2022 - 12/17/2022	1.02	1.04
52	12/18/2022 - 12/24/2022	1.05	1.07
53	12/25/2022 - 12/31/2022	1.08	1.10

* PEAK SEASON

23-FEB-2023 09:11:19

830UPD

2_2900_PKSEASON.TXT

Location Details			
Signal ID:	1002	Date:	November 20, 2021
Major Street:	US 90	Orientation:	E-W
Minor Street:	FL Gateway Dr	Orientation:	N-S

Controller Timings (seconds)

Movement # (Controller Phase Ø)	Ø1	Ø2	Ø3	Ø4	Ø5	Ø6	Ø7	Ø8	Ø9	Ø10	Ø11	Ø12	Ø13	Ø14	Ø15	Ø16	Notes
Direction	EBLT	WB		NB	WBLT	EB		SB									
Turn Type	Prot Perm				Prot Perm												
Min Green	5	15		7	5	15		7									
Ext	3.0	4.0		3.0	3.0	4.0		3.0									
Yellow	4.8	4.9		3.8	4.9	4.9		3.8									
All Red	2.0	2.0		2.0	2.0	2.0		2.0									
Max I	15	75		20	15	75		20									
Max II																	
Walk		7		7		7		7									
Flashing Don't Walk		18		29		18		22									
Detector Memory																	
Det. Switching to:	Ø6				Ø2												
Recall		MIN				MIN											
CNA																	

Coordination Timings (seconds)

Pattern	C-S-O	Cycle Length	Splits														Offset	Seq	Coord Ø	
			Ø1	Ø2	Ø3	Ø4	Ø5	Ø6	Ø7	Ø8	Ø9	Ø10	Ø11	Ø12	Ø13	Ø14				Ø15
1		130	15	91 MAX		24	16	90 MAX		24								24	1	2
2		130	15	70 MAX		45	20	65 MAX		45								15	1	2
3		150	15	88 MAX		47	25	78 MAX		47								20	1	2
4		110	16	64 MAX		30	23	57 MAX		30								18	1	2
5		100	15	59 MAX		26	17	57 MAX		26								22	1	2
6		140	15	75 MAX		50	23	67 MAX		50								7	1	2
7		110	17	58 MAX		35	18	57 MAX		35								63	1	2
8		100	15	59 MAX		26	17	57 MAX		26								22	1	2
9		140	15	75 MAX		50	23	67 MAX		50								7	1	2
10		110	17	58 MAX		35	18	57 MAX		35								63	1	2

Offset Reference Point	Phase Mode
End of Green of first through movement	STD8

SEQ 1			
Ring - 1	1	2	4
Ring - 2	5	6	8

Notes:

- 1) Use 'Max I' during FREE Operation.
- 2) Program phase restriction to omit Ø1 during Ø2 green and omit Ø5 during Ø6 green.

APPENDIX C
Intersection Volume Development Worksheets

TRAFFIC VOLUMES AT STUDY INTERSECTIONS

INTERSECTION: US 90/SR 10 & Centurion C/SW Florida Gateway Dr
COUNT DATE: October 5, 2023
AM PEAK HOUR FACTOR: 0.87
PM PEAK HOUR FACTOR: 0.94

"AM EXISTING TRAFFIC"																	
	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR	
AM Raw Turning Movements	0	35	1,309	11	2	23	976	86	0	18	8	64	0	91	5	46	
Peak Season Conversion Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	
AM EXISTING CONDITIONS																	
	0	35	1,309	11	2	23	976	86	0	18	8	64	0	91	5	46	
"PM EXISTING TRAFFIC"																	
	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR	
PM Raw Turning Movements	0	28	1,150	17	3	59	1,306	94	0	21	0	67	0	70	1	45	
Peak Season Conversion Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	
PM EXISTING CONDITIONS																	
	0	28	1,150	17	3	59	1,306	94	0	21	0	67	0	70	1	45	
"AM BACKGROUND TRAFFIC"																	
	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR	
Years To Buildout	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
Yearly Growth Rate	3.6%	3.6%	3.6%	3.6%	3.6%	3.6%	3.6%	3.6%	3.6%	3.6%	3.6%	3.6%	3.6%	3.6%	3.6%	3.6%	
AM BACKGROUND TRAFFIC GROWTH	0	1	47	0	0	1	35	3	0	1	0	2	0	3	0	2	
AM NON-PROJECT TRAFFIC																	
	0	36	1,356	11	2	24	1,011	89	0	19	8	66	0	94	5	48	
"PM BACKGROUND TRAFFIC"																	
	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR	
Years To Buildout	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
Yearly Growth Rate	3.6%	3.6%	3.6%	3.6%	3.6%	3.6%	3.6%	3.6%	3.6%	3.6%	3.6%	3.6%	3.6%	3.6%	3.6%	3.6%	
PM BACKGROUND TRAFFIC GROWTH	0	1	42	1	0	2	47	3	0	1	0	2	0	3	0	2	
PM NON-PROJECT TRAFFIC																	
	0	29	1,192	18	3	61	1,353	97	0	22	0	69	0	73	1	47	
"AM PROJECT DISTRIBUTION"																	
LAND USE	TYPE	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR
Pass-By Distribution	Entering		50.0%	-50.0%				-50.0%	50.0%								
	Exiting														50.0%		50.0%
Net New Distribution	Entering		25.0%						75.0%								
	Exiting														75.0%		25.0%
"PM PROJECT DISTRIBUTION"																	
LAND USE	TYPE	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR
Pass-By Distribution	Entering		50.0%	-50.0%				-50.0%	50.0%								
	Exiting														50.0%		50.0%
Net New Distribution	Entering		25.0%						75.0%								
	Exiting														75.0%		25.0%
"AM PROJECT TRAFFIC"																	
LAND USE	TYPE	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR
Project Trips	Pass - By		12	-12				-12	12						12		12
	Net New		2						6						6		2
AM TOTAL PROJECT TRAFFIC		0	14	-12	0	0	0	-12	18	0	0	0	0	0	18	0	14
AM TOTAL TRAFFIC																	
	0	50	1,344	11	2	24	999	107	0	19	8	66	0	112	5	62	
"PM PROJECT TRAFFIC"																	
LAND USE	TYPE	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR
Project Trips	Pass - By		13	-13				-14	14						13		14
	Net New		2						7						7		2
PM TOTAL PROJECT TRAFFIC		0	15	-13	0	0	0	-14	21	0	0	0	0	0	20	0	16
PM TOTAL TRAFFIC																	
	0	44	1,179	18	3	61	1,339	118	0	22	0	69	0	93	1	63	

APPENDIX D
Synchro Output Reports

Timings
1: SW Florida Gateway Dr/Centurion Ct & US 90/SR 10

Circle K - I-75 & US 90
Existing (2023) Conditions, AM Peak Hour



Lane Group	EBL	EBT	WBL	WBT	WBR	NBL	NBT	SBL	SBT
Lane Configurations	↖	↗	↖	↗	↗	↖	↗	↖	↗
Traffic Volume (vph)	35	1309	25	976	86	18	8	91	5
Future Volume (vph)	35	1309	25	976	86	18	8	91	5
Turn Type	pm+pt	NA	pm+pt	NA	Perm	Perm	NA	Perm	NA
Protected Phases	1	6	5	2			4		8
Permitted Phases	6		2		2	4		8	
Detector Phase	1	6	5	2	2	4	4	8	8
Switch Phase									
Minimum Initial (s)	5.0	15.0	5.0	15.0	15.0	7.0	7.0	7.0	7.0
Minimum Split (s)	11.8	31.9	11.9	31.9	31.9	41.8	41.8	34.8	34.8
Total Split (s)	15.0	90.0	16.0	91.0	91.0	24.0	24.0	24.0	24.0
Total Split (%)	11.5%	69.2%	12.3%	70.0%	70.0%	18.5%	18.5%	18.5%	18.5%
Yellow Time (s)	4.8	4.9	4.9	4.9	4.9	3.8	3.8	3.8	3.8
All-Red Time (s)	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	6.8	6.9	6.9	6.9	6.9	5.8	5.8	5.8	5.8
Lead/Lag	Lead	Lag	Lead	Lag	Lag				
Lead-Lag Optimize?	Yes	Yes	Yes	Yes	Yes				
Recall Mode	None	C-Min	None	C-Min	C-Min	None	None	None	None
Act Effct Green (s)	97.5	93.4	95.7	90.8	90.8	15.9	15.9	15.9	15.9
Actuated g/C Ratio	0.75	0.72	0.74	0.70	0.70	0.12	0.12	0.12	0.12
v/c Ratio	0.11	0.60	0.12	0.46	0.09	0.14	0.34	0.68	0.25
Control Delay	4.9	12.0	5.4	10.7	2.8	50.2	16.6	74.7	17.0
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	4.9	12.0	5.4	10.7	2.8	50.2	16.6	74.7	17.0
LOS	A	B	A	B	A	D	B	E	B
Approach Delay		11.9		9.9			23.4		53.9
Approach LOS		B		A			C		D

Intersection Summary

Cycle Length: 130
 Actuated Cycle Length: 130
 Offset: 24 (18%), Referenced to phase 2:WBTL and 6:EBTL, Start of Yellow
 Natural Cycle: 100
 Control Type: Actuated-Coordinated
 Maximum v/c Ratio: 0.68
 Intersection Signal Delay: 13.7
 Intersection Capacity Utilization 58.8%
 Analysis Period (min) 15
 Intersection LOS: B
 ICU Level of Service B

Splits and Phases: 1: SW Florida Gateway Dr/Centurion Ct & US 90/SR 10



HCM 6th Signalized Intersection Summary
 1: SW Florida Gateway Dr/Centurion Ct & US 90/SR 10

Circle K - I-75 & US 90
 Existing (2023) Conditions, AM Peak Hour



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↖	↕		↖	↕	↗	↖	↗		↖	↗	
Traffic Volume (veh/h)	35	1309	11	25	976	86	18	8	64	91	5	46
Future Volume (veh/h)	35	1309	11	25	976	86	18	8	64	91	5	46
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		0.98	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1870	1870	1870	1856	1856	1856	1752	1752	1752	1826	1826	1826
Adj Flow Rate, veh/h	40	1505	13	29	1122	70	21	9	43	105	6	13
Peak Hour Factor	0.87	0.87	0.87	0.87	0.87	0.87	0.87	0.87	0.87	0.87	0.87	0.87
Percent Heavy Veh, %	2	2	2	3	3	3	10	10	10	5	5	5
Cap, veh/h	367	2474	21	280	2450	1069	205	33	158	180	64	139
Arrive On Green	0.03	0.69	0.69	0.04	0.69	0.69	0.13	0.13	0.13	0.13	0.13	0.13
Sat Flow, veh/h	1781	3610	31	1767	3526	1538	1302	263	1258	1318	512	1110
Grp Volume(v), veh/h	40	740	778	29	1122	70	21	0	52	105	0	19
Grp Sat Flow(s),veh/h/ln	1781	1777	1865	1767	1763	1538	1302	0	1522	1318	0	1623
Q Serve(g_s), s	0.9	29.2	29.3	0.6	18.5	1.9	1.9	0.0	4.0	10.2	0.0	1.3
Cycle Q Clear(g_c), s	0.9	29.2	29.3	0.6	18.5	1.9	3.2	0.0	4.0	14.2	0.0	1.3
Prop In Lane	1.00		0.02	1.00		1.00	1.00		0.83	1.00		0.68
Lane Grp Cap(c), veh/h	367	1217	1278	280	2450	1069	205	0	191	180	0	204
V/C Ratio(X)	0.11	0.61	0.61	0.10	0.46	0.07	0.10	0.00	0.27	0.58	0.00	0.09
Avail Cap(c_a), veh/h	427	1217	1278	336	2450	1069	224	0	213	199	0	227
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	1.00	1.00	1.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00
Uniform Delay (d), s/veh	6.7	11.0	11.1	8.7	8.9	6.3	51.7	0.0	51.5	57.9	0.0	50.3
Incr Delay (d2), s/veh	0.1	2.3	2.2	0.2	0.6	0.1	0.2	0.0	0.8	3.5	0.0	0.2
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(95%),veh/ln	0.5	16.1	16.7	0.4	10.5	1.0	1.1	0.0	2.9	6.4	0.0	1.0
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	6.8	13.3	13.2	8.8	9.5	6.5	51.9	0.0	52.2	61.4	0.0	50.5
LnGrp LOS	A	B	B	A	A	A	D	A	D	E	A	D
Approach Vol, veh/h		1558			1221			73				124
Approach Delay, s/veh		13.1			9.3			52.1				59.8
Approach LOS		B			A			D				E
Timer - Assigned Phs	1	2		4	5	6		8				
Phs Duration (G+Y+Rc), s	10.6	97.2		22.1	11.9	96.0		22.1				
Change Period (Y+Rc), s	6.8	6.9		* 5.8	6.9	6.9		* 5.8				
Max Green Setting (Gmax), s	8.2	84.1		* 18	9.1	83.1		* 18				
Max Q Clear Time (g_c+1), s	2.9	20.5		6.0	2.6	31.3		16.2				
Green Ext Time (p_c), s	0.0	10.1		0.2	0.0	14.3		0.1				

Intersection Summary		
HCM 6th Ctrl Delay		14.4
HCM 6th LOS		B

Notes
 User approved pedestrian interval to be less than phase max green.
 * HCM 6th computational engine requires equal clearance times for the phases crossing the barrier.

Timings
1: SW Florida Gateway Dr/Centurion Ct & US 90/SR 10

Circle K - I-75 & US 90
Existing (2023) Conditions, PM Peak Hour

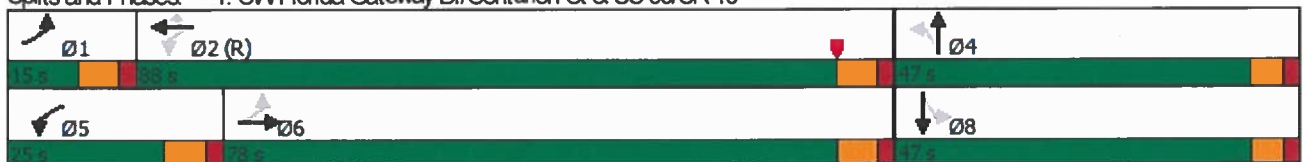


Lane Group	EBL	EBT	WBL	WBT	WBR	NBL	NBT	SBL	SBT
Lane Configurations	↖	↕	↖	↕	↗	↖	↕	↖	↕
Traffic Volume (vph)	28	1150	62	1306	94	21	0	70	1
Future Volume (vph)	28	1150	62	1306	94	21	0	70	1
Turn Type	pm+pt	NA	pm+pt	NA	Perm	Perm	NA	Perm	NA
Protected Phases	1	6	5	2			4		8
Permitted Phases	6		2		2	4		8	
Detector Phase	1	6	5	2	2	4	4	8	8
Switch Phase									
Minimum Initial (s)	5.0	15.0	5.0	15.0	15.0	7.0	7.0	7.0	7.0
Minimum Split (s)	11.8	31.9	11.9	31.9	31.9	41.8	41.8	34.8	34.8
Total Split (s)	15.0	78.0	25.0	88.0	88.0	47.0	47.0	47.0	47.0
Total Split (%)	10.0%	52.0%	16.7%	58.7%	58.7%	31.3%	31.3%	31.3%	31.3%
Yellow Time (s)	4.8	4.9	4.9	4.9	4.9	3.8	3.8	3.8	3.8
All-Red Time (s)	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	6.8	6.9	6.9	6.9	6.9	5.8	5.8	5.8	5.8
Lead/Lag	Lead	Lag	Lead	Lag	Lag				
Lead-Lag Optimize?	Yes	Yes	Yes	Yes	Yes				
Recall Mode	None	Max	None	C-Max	C-Max	None	None	None	None
Act Effct Green (s)	117.5	112.5	119.9	115.7	115.7	13.8	13.8	13.8	13.8
Actuated g/C Ratio	0.78	0.75	0.80	0.77	0.77	0.09	0.09	0.09	0.09
v/c Ratio	0.10	0.47	0.19	0.51	0.08	0.18	0.23	0.61	0.26
Control Delay	3.9	8.9	4.3	8.5	2.6	63.8	1.8	85.4	18.9
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	3.9	8.9	4.3	8.5	2.6	63.8	1.8	85.4	18.9
LOS	A	A	A	A	A	E	A	F	B
Approach Delay		8.8		7.9			16.4		58.9
Approach LOS		A		A			B		E

Intersection Summary

Cycle Length: 150
 Actuated Cycle Length: 150
 Offset: 20 (13%), Referenced to phase 2:WBTL, Start of Yellow
 Natural Cycle: 100
 Control Type: Actuated-Coordinated
 Maximum v/c Ratio: 0.61
 Intersection Signal Delay: 10.6
 Intersection Capacity Utilization 67.1%
 Analysis Period (min) 15
 Intersection LOS: B
 ICU Level of Service C

Splits and Phases: 1: SW Florida Gateway Dr/Centurion Ct & US 90/SR 10



HCM 6th Signalized Intersection Summary
 1: SW Florida Gateway Dr/Centurion Ct & US 90/SR 10

Circle K - I-75 & US 90
 Existing (2023) Conditions, PM Peak Hour



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↖	↕		↖	↕	↗	↖	↗		↖	↗	
Traffic Volume (veh/h)	28	1150	17	62	1306	94	21	0	67	70	1	45
Future Volume (veh/h)	28	1150	17	62	1306	94	21	0	67	70	1	45
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		0.98	1.00		0.98	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870
Adj Flow Rate, veh/h	30	1223	18	66	1389	84	22	0	27	74	1	18
Peak Hour Factor	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	310	2696	40	387	2710	1180	149	0	132	142	7	126
Arrive On Green	0.02	0.75	0.75	0.03	0.76	0.76	0.08	0.00	0.08	0.08	0.08	0.08
Sat Flow, veh/h	1781	3584	53	1781	3554	1548	1393	0	1585	1383	84	1514
Grp Volume(v), veh/h	30	606	635	66	1389	84	22	0	27	74	0	19
Grp Sat Flow(s),veh/h/ln	1781	1777	1859	1781	1777	1548	1393	0	1585	1383	0	1598
Q Serve(g_s), s	0.6	19.2	19.2	1.2	22.8	2.0	2.2	0.0	2.4	7.9	0.0	1.7
Cycle Q Clear(g_c), s	0.6	19.2	19.2	1.2	22.8	2.0	3.9	0.0	2.4	10.3	0.0	1.7
Prop In Lane	1.00		0.03	1.00		1.00	1.00		1.00	1.00		0.95
Lane Grp Cap(c), veh/h	310	1337	1399	387	2710	1180	149	0	132	142	0	133
V/C Ratio(X)	0.10	0.45	0.45	0.17	0.51	0.07	0.15	0.00	0.20	0.52	0.00	0.14
Avail Cap(c_a), veh/h	365	1337	1399	543	2710	1180	415	0	435	406	0	439
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	1.00	1.00	1.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00
Uniform Delay (d), s/veh	5.5	7.0	7.0	5.0	6.9	4.5	65.6	0.0	64.1	68.9	0.0	63.7
Incr Delay (d2), s/veh	0.1	1.1	1.1	0.2	0.7	0.1	0.5	0.0	0.8	3.0	0.0	0.5
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(95%),veh/ln	0.3	10.9	11.3	0.7	11.9	1.1	1.5	0.0	1.8	5.3	0.0	1.3
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	5.6	8.1	8.0	5.2	7.6	4.6	66.0	0.0	64.8	71.8	0.0	64.2
LnGrp LOS	A	A	A	A	A	A	E	A	E	E	A	E
Approach Vol, veh/h		1271			1539			49				93
Approach Delay, s/veh		8.0			7.4			65.4				70.3
Approach LOS		A			A			E				E
Timer - Assigned Phs	1	2		4	5	6		8				
Phs Duration (G+Y+Rc), s	10.4	121.3		18.3	11.9	119.8		18.3				
Change Period (Y+Rc), s	6.8	6.9		*5.8	6.9	6.9		*5.8				
Max Green Setting (Gmax), s	8.2	81.1		*41	18.1	71.1		*41				
Max Q Clear Time (g_c+I1), s	2.6	24.8		5.9	3.2	21.2		12.3				
Green Ext Time (p_c), s	0.0	14.4		0.2	0.1	9.8		0.3				

Intersection Summary		
HCM 6th Ctrl Delay		10.6
HCM 6th LOS		B

Notes
 User approved pedestrian interval to be less than phase max green.
 * HCM 6th computational engine requires equal clearance times for the phases crossing the barrier.

Timings
1: SW Florida Gateway Dr/Centurion Ct & US 90/SR 10

Circle K - I-75 & US 90
Background (2024) Conditions, AM Peak Hour

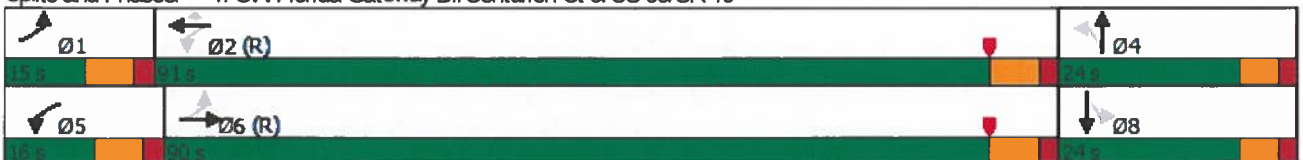


Lane Group	EBL	EBT	WBL	WBT	WBR	NBL	NBT	SBL	SBT
Lane Configurations	↖	↕	↖	↕	↗	↖	↗	↖	↗
Traffic Volume (vph)	36	1356	26	1011	89	19	8	94	5
Future Volume (vph)	36	1356	26	1011	89	19	8	94	5
Turn Type	pm+pt	NA	pm+pt	NA	Perm	Perm	NA	Perm	NA
Protected Phases	1	6	5	2			4		8
Permitted Phases	6		2		2	4		8	
Detector Phase	1	6	5	2	2	4	4	8	8
Switch Phase									
Minimum Initial (s)	5.0	15.0	5.0	15.0	15.0	7.0	7.0	7.0	7.0
Minimum Split (s)	11.8	31.9	11.9	31.9	31.9	41.8	41.8	34.8	34.8
Total Split (s)	15.0	90.0	16.0	91.0	91.0	24.0	24.0	24.0	24.0
Total Split (%)	11.5%	69.2%	12.3%	70.0%	70.0%	18.5%	18.5%	18.5%	18.5%
Yellow Time (s)	4.8	4.9	4.9	4.9	4.9	3.8	3.8	3.8	3.8
All-Red Time (s)	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	6.8	6.9	6.9	6.9	6.9	5.8	5.8	5.8	5.8
Lead/Lag	Lead	Lag	Lead	Lag	Lag				
Lead-Lag Optimize?	Yes	Yes	Yes	Yes	Yes				
Recall Mode	None	C-Min	None	C-Min	C-Min	None	None	None	None
Act Effct Green (s)	97.1	93.1	95.5	90.5	90.5	16.3	16.3	16.3	16.3
Actuated g/C Ratio	0.75	0.72	0.73	0.70	0.70	0.13	0.13	0.13	0.13
v/c Ratio	0.12	0.62	0.13	0.48	0.09	0.14	0.34	0.68	0.25
Control Delay	5.1	12.7	5.7	11.1	3.0	50.0	16.3	74.7	16.7
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	5.1	12.7	5.7	11.1	3.0	50.0	16.3	74.7	16.7
LOS	A	B	A	B	A	D	B	E	B
Approach Delay		12.5		10.3			23.2		53.7
Approach LOS		B		B			C		D

Intersection Summary

Cycle Length: 130
 Actuated Cycle Length: 130
 Offset: 24 (18%), Referenced to phase 2:WBTL and 6:EBTL, Start of Yellow
 Natural Cycle: 110
 Control Type: Actuated-Coordinated
 Maximum v/c Ratio: 0.68
 Intersection Signal Delay: 14.2
 Intersection Capacity Utilization 60.3%
 Analysis Period (min) 15
 Intersection LOS: B
 ICU Level of Service B

Splits and Phases: 1: SW Florida Gateway Dr/Centurion Ct & US 90/SR 10



Timings

1: SW Florida Gateway Dr/Centurion Ct & US 90/SR 10

Circle K - I-75 & US 90

Background (2024) Conditions, PM Peak Hour

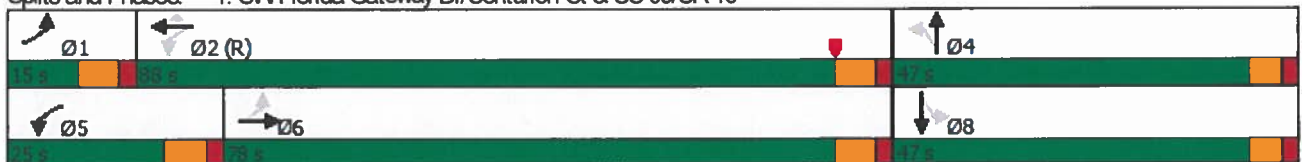


Lane Group	EBL	EBT	WBL	WBT	WBR	NBL	NBT	SBL	SBT
Lane Configurations	↖	↕	↖	↕	↗	↖	↗	↖	↗
Traffic Volume (vph)	29	1192	64	1353	97	22	0	73	1
Future Volume (vph)	29	1192	64	1353	97	22	0	73	1
Turn Type	pr+pt	NA	pr+pt	NA	Perm	Perm	NA	Perm	NA
Protected Phases	1	6	5	2			4		8
Permitted Phases	6		2		2	4		8	
Detector Phase	1	6	5	2	2	4	4	8	8
Switch Phase									
Minimum Initial (s)	5.0	15.0	5.0	15.0	15.0	7.0	7.0	7.0	7.0
Minimum Split (s)	11.8	31.9	11.9	31.9	31.9	41.8	41.8	34.8	34.8
Total Split (s)	15.0	78.0	25.0	88.0	88.0	47.0	47.0	47.0	47.0
Total Split (%)	10.0%	52.0%	16.7%	58.7%	58.7%	31.3%	31.3%	31.3%	31.3%
Yellow Time (s)	4.8	4.9	4.9	4.9	4.9	3.8	3.8	3.8	3.8
All-Red Time (s)	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	6.8	6.9	6.9	6.9	6.9	5.8	5.8	5.8	5.8
Lead/Lag	Lead	Lag	Lead	Lag	Lag				
Lead-Lag Optimize?	Yes	Yes	Yes	Yes	Yes				
Recall Mode	None	Max	None	C-Max	C-Max	None	None	None	None
Act Effct Green (s)	117.0	112.0	119.5	115.2	115.2	14.2	14.2	14.2	14.2
Actuated g/C Ratio	0.78	0.75	0.80	0.77	0.77	0.09	0.09	0.09	0.09
v/c Ratio	0.11	0.49	0.21	0.53	0.09	0.18	0.24	0.62	0.26
Control Delay	4.1	9.4	4.6	9.0	2.7	63.3	1.8	85.5	18.3
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	4.1	9.4	4.6	9.0	2.7	63.3	1.8	85.5	18.3
LOS	A	A	A	A	A	E	A	F	B
Approach Delay		9.2		8.4			16.5		58.9
Approach LOS		A		A			B		E

Intersection Summary

Cycle Length: 150
 Actuated Cycle Length: 150
 Offset: 20 (13%), Referenced to phase 2:WBT, Start of Yellow
 Natural Cycle: 100
 Control Type: Actuated-Coordinated
 Maximum v/c Ratio: 0.62
 Intersection Signal Delay: 11.0
 Intersection LOS: B
 Intersection Capacity Utilization 68.5%
 ICU Level of Service C
 Analysis Period (min) 15

Splits and Phases: 1: SWFlorida Gateway Dr/Centurion Ct & US 90/SR 10



Timings
1: SW Florida Gateway Dr/Centurion Ct & US 90/SR 10

Circle K - I-75 & US 90
Buildout (2024) Conditions, AM Peak Hour



Lane Group	EBL	EBT	WBL	WBT	WBR	NBL	NBT	SBL	SBT
Lane Configurations	↶	↶↷	↶	↶↷	↶	↶	↷	↶	↷
Traffic Volume (vph)	50	1344	26	999	107	19	8	112	5
Future Volume (vph)	50	1344	26	999	107	19	8	112	5
Turn Type	pm+pt	NA	pm+pt	NA	Perm	Perm	NA	Perm	NA
Protected Phases	1	6	5	2			4		8
Permitted Phases	6		2		2	4		8	
Detector Phase	1	6	5	2	2	4	4	8	8
Switch Phase									
Minimum Initial (s)	5.0	15.0	5.0	15.0	15.0	7.0	7.0	7.0	7.0
Minimum Split (s)	11.8	31.9	11.9	31.9	31.9	41.8	41.8	34.8	34.8
Total Split (s)	15.0	90.0	16.0	91.0	91.0	24.0	24.0	24.0	24.0
Total Split (%)	11.5%	69.2%	12.3%	70.0%	70.0%	18.5%	18.5%	18.5%	18.5%
Yellow Time (s)	4.8	4.9	4.9	4.9	4.9	3.8	3.8	3.8	3.8
All-Red Time (s)	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	6.8	6.9	6.9	6.9	6.9	5.8	5.8	5.8	5.8
Lead/Lag	Lead	Lag	Lead	Lag	Lag				
Lead-Lag Optimize?	Yes	Yes	Yes	Yes	Yes				
Recall Mode	None	C-Min	None	C-Min	C-Min	None	None	None	None
Act Effct Green (s)	95.4	91.0	93.1	88.1	88.1	18.3	18.3	18.3	18.3
Actuated g/C Ratio	0.73	0.70	0.72	0.68	0.68	0.14	0.14	0.14	0.14
v/c Ratio	0.17	0.63	0.14	0.48	0.12	0.13	0.31	0.72	0.28
Control Delay	5.7	13.7	6.2	12.1	3.2	48.3	15.4	75.2	14.5
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	5.7	13.7	6.2	12.1	3.2	48.3	15.4	75.2	14.5
LOS	A	B	A	B	A	D	B	E	B
Approach Delay		13.4		11.1			22.2		52.5
Approach LOS		B		B			C		D

Intersection Summary

Cycle Length: 130
 Actuated Cycle Length: 130
 Offset: 24 (18%), Referenced to phase 2:WBTL and 6:EBTL, Start of Yellow
 Natural Cycle: 100
 Control Type: Actuated-Coordinated
 Maximum v/c Ratio: 0.72
 Intersection Signal Delay: 15.3
 Intersection LOS: B
 Intersection Capacity Utilization 65.0%
 ICU Level of Service C
 Analysis Period (min) 15

Splits and Phases: 1: SW Florida Gateway Dr/Centurion Ct & US 90/SR 10



Timings
1: SW Florida Gateway Dr/Centurion Ct & US 90/SR 10

Circle K - I-75 & US 90
Buildout (2024) Conditions, PM Peak Hour



Lane Group	EBL	EBT	WBL	WBT	WBR	NBL	NBT	SBL	SBT
Lane Configurations	↖	↕	↖	↕	↗	↖	↗	↖	↗
Traffic Volume (vph)	44	1179	64	1339	118	22	0	93	1
Future Volume (vph)	44	1179	64	1339	118	22	0	93	1
Turn Type	pm+pt	NA	pm+pt	NA	Perm	Perm	NA	Perm	NA
Protected Phases	1	6	5	2			4		8
Permitted Phases	6		2		2	4		8	
Detector Phase	1	6	5	2	2	4	4	8	8
Switch Phase									
Minimum Initial (s)	5.0	15.0	5.0	15.0	15.0	7.0	7.0	7.0	7.0
Minimum Split (s)	11.8	31.9	11.9	31.9	31.9	41.8	41.8	34.8	34.8
Total Split (s)	15.0	78.0	25.0	88.0	88.0	47.0	47.0	47.0	47.0
Total Split (%)	10.0%	52.0%	16.7%	58.7%	58.7%	31.3%	31.3%	31.3%	31.3%
Yellow Time (s)	4.8	4.9	4.9	4.9	4.9	3.8	3.8	3.8	3.8
All-Red Time (s)	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	6.8	6.9	6.9	6.9	6.9	5.8	5.8	5.8	5.8
Lead/Lag	Lead	Lag	Lead	Lag	Lag				
Lead-Lag Optimize?	Yes	Yes	Yes	Yes	Yes				
Recall Mode	None	Max	None	C-Max	C-Max	None	None	None	None
Act Effct Green (s)	114.9	109.5	115.6	110.0	110.0	16.6	16.6	16.6	16.6
Actuated g/C Ratio	0.77	0.73	0.77	0.73	0.73	0.11	0.11	0.11	0.11
v/c Ratio	0.17	0.49	0.21	0.55	0.11	0.16	0.22	0.68	0.29
Control Delay	5.2	10.5	5.3	11.1	3.8	60.0	1.5	85.5	15.6
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	5.2	10.5	5.3	11.1	3.8	60.0	1.5	85.5	15.6
LOS	A	B	A	B	A	E	A	F	B
Approach Delay		10.3		10.3			15.6		57.0
Approach LOS		B		B			B		E

Intersection Summary

Cycle Length: 150
 Actuated Cycle Length: 150
 Offset: 20 (13%), Referenced to phase 2:WBTL, Start of Yellow
 Natural Cycle: 100
 Control Type: Actuated-Coordinated
 Maximum v/c Ratio: 0.68
 Intersection Signal Delay: 12.9
 Intersection LOS: B
 Intersection Capacity Utilization 69.2%
 ICU Level of Service C
 Analysis Period (min) 15

Splits and Phases: 1: SW Florida Gateway Dr/Centurion Ct & US 90/SR 10



APPENDIX E
Trip Generation Calculations

Table 1: Trip Generation

Land Use	Intensity	AM Peak Hour of Adjacent Street			PM Peak Hour of Adjacent Street		
		Total	In	Out	Total	In	Out
Existing Development Convenience Store/Gas Station (4-5.5k)	24 VFP	649	325	324	546	273	273
Existing Development Pass-By Convenience Store/Gas Station (4-5.5k)	Daily 75% AM 76% PM 75%	494	247	247	410	205	205
EXISTING SITE - POTENTIAL TOTAL DRIVEWAY VOLUMES		649	325	324	546	273	273
EXISTING SITE - POTENTIAL PASS-BY TRIPS		494	247	247	410	205	205
EXISTING SITE - POTENTIAL NEW EXTERNAL TRIPS		155	78	77	136	68	68
OBSERVED DRIVEWAY VOLUMES		201	106	95	220	115	105
ACTUAL/POTENTIAL DRIVEWAY VOLUMES ADJUSTMENT FACTOR		0.31			0.40		
Proposed Development Convenience Store/Gas Station (5.5-10k)	27 VFP	853	427	426	726	363	363
Proposed Development Pass-By Convenience Store/Gas Station (5.5-10k)	Daily 75% AM 76% PM 75%	648	324	324	544	272	272
PROPOSED SITE - POTENTIAL TOTAL DRIVEWAY VOLUMES		853	427	426	726	363	363
PROPOSED SITE - POTENTIAL TOTAL PASS-BY TRIPS		648	324	324	544	272	272
PROPOSED SITE - POTENTIAL TOTAL NEW EXTERNAL TRIPS		205	103	102	182	91	91
POTENTIAL NET NEW TOTAL DRIVEWAY VOLUMES (PROPOSED - EXISTING)		204	102	102	180	90	90
POTENTIAL NET NEW PASS-BY TRIPS (PROPOSED - EXISTING)		154	77	77	134	67	67
POTENTIAL NET NEW EXTERNAL TRIPS (PROPOSED - EXISTING)		50	25	25	46	23	23
ADJUSTED NET NEW TOTAL DRIVEWAY VOLUMES		64	32	32	72	36	36
ADJUSTED NET NEW PASS-BY TRIPS		48	24	24	54	27	27
ADJUSTED NET NEW EXTERNAL TRIPS		16	8	8	18	9	9

Trip generation and pass-by reductions were calculated using the following data from ITE's Trip Generation Manual, 11th Edition.

Convenience Store/ Gas Station (4-5.5k) [ITE 945]

Daily: $T = 257.13 \cdot (X)$; X is vehicle fueling positions
 AM Peak Hour of Adjacent Street: $T = 27.04 \cdot (X)$; X is vehicle fueling positions; (50% in, 50% out)
 PM Peak Hour of Adjacent Street: $T = 22.76 \cdot (X)$; X is vehicle fueling positions; (50% in, 50% out)

Convenience Store/ Gas Station (5.5-10k) [ITE 945]

Daily: $T = 345.75 \cdot (X)$; X is vehicle fueling positions
 AM Peak Hour of Adjacent Street: $T = 31.60 \cdot (X)$; X is vehicle fueling positions; (50% in, 50% out)
 PM Peak Hour of Adjacent Street: $T = 26.90 \cdot (X)$; X is vehicle fueling positions; (50% in, 50% out)



APPENDIX F
FDOT *Trend* Worksheet

FLORIDA DEPARTMENT OF TRANSPORTATION
 TRANSPORTATION STATISTICS OFFICE
 2022 HISTORICAL AADT REPORT

COUNTY: 29 - COLUMBIA

SITE: 0278 - SR 10 400' W. OF I-75

YEAR	AADT	DIRECTION 1	DIRECTION 2	*K FACTOR	D FACTOR	T FACTOR
2022	32500 C	E 16500	W 16000	9.00	54.70	6.10
2021	28000 F	E 14000	W 14000	9.00	54.20	5.90
2020	27000 C	E 13500	W 13500	9.00	54.80	6.80
2019	30000 C	E 15000	W 15000	9.00	54.80	6.20
2018	28000 C	E 14000	W 14000	9.00	54.70	6.20
2017	27500 C	E 14000	W 13500	9.00	55.50	5.80
2016	27000 C	E 13500	W 13500	9.00	53.90	5.40
2015	27500 C	E 14000	W 13500	9.00	54.50	5.70
2014	27000 C	E 13500	W 13500	9.00	54.40	5.90
2013	25000 C	E 12500	W 12500	9.00	55.30	6.40
2012	26000 C	E 13000	W 13000	9.00	54.70	5.50
2011	26000 C	E 13000	W 13000	9.00	53.70	5.30
2010	25500 C	E 12500	W 13000	9.94	54.40	4.90
2009	25000 C	E 12500	W 12500	9.78	54.18	5.30
2008	27000 C	E 13500	W 13500	9.82	54.63	6.20
2007	27500 C	E 13500	W 14000	9.99	54.46	6.40

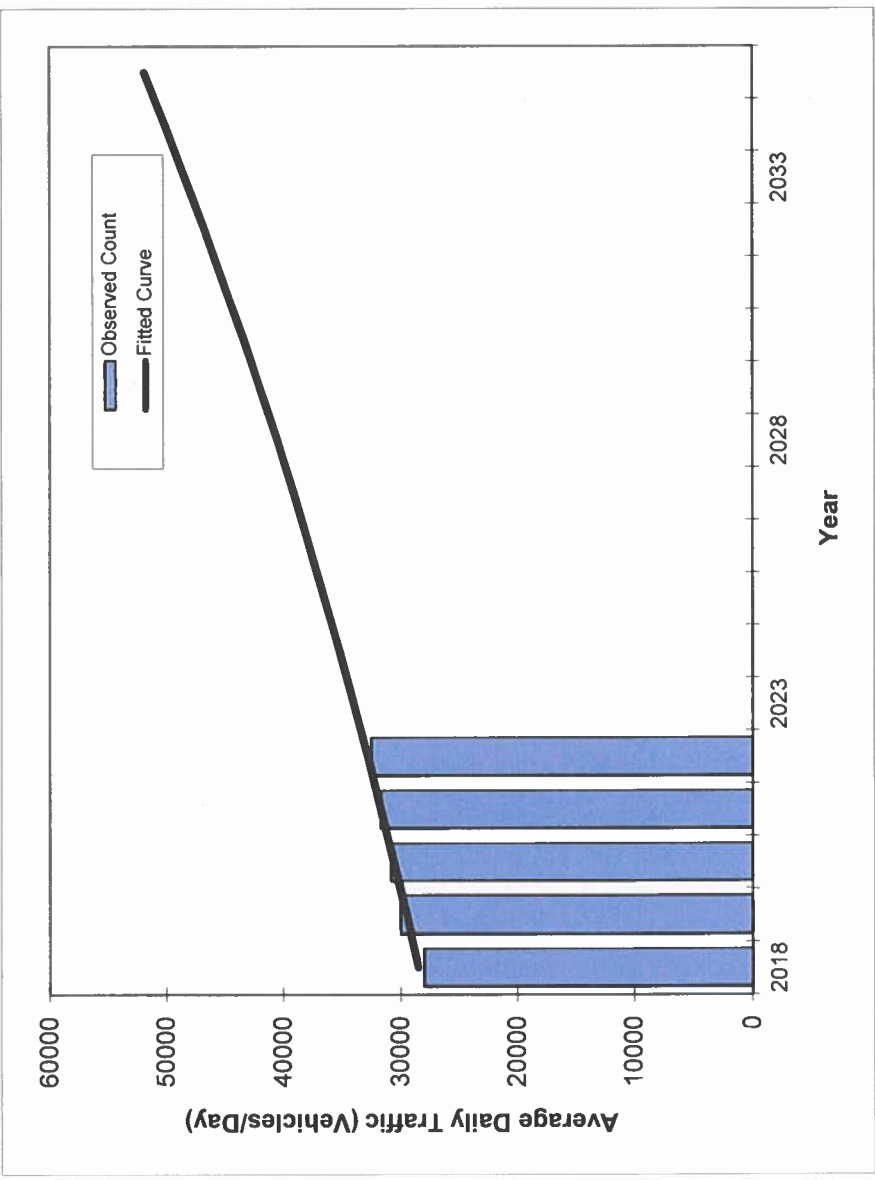
AADT FLAGS: C = COMPUTED; E = MANUAL ESTIMATE; F = FIRST YEAR ESTIMATE
 S = SECOND YEAR ESTIMATE; T = THIRD YEAR ESTIMATE; R = FOURTH YEAR ESTIMATE
 V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN
 *K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES

Traffic Trends - V03.a

US 90/SR 10 -- 400' W. OF I-75

County:	Columbia (29)
Station #:	0278
Highway:	US 90/SR 10

FIN#	0
Location	1



Trend R-squared:	94.60%
Compounded Annual Historic Growth Rate:	3.58%
Compounded Growth Rate (2022 to Design Year):	3.61%
Printed:	12-Oct-23
Exponential Growth Option	

Year	Traffic (ADT/AADT)	
	Count*	Trend**
2018	28000	28500
2019	30000	29500
2020	30800	30600
2021	31700	31700
2022	32500	32800
2024 Opening Year Trend		
2024	N/A	35200
2025 Mid-Year Trend		
2025	N/A	36500
2026 Design Year Trend		
2026	N/A	37800
TRANPLAN Forecasts/Trends		

*Axle-Adjusted

COMPOSITE

EXHIBIT

H



Gateway Crossing Lot 6 U-Haul Storage Facility Site Plan Application

April 6, 2023
First Submittal

Logan B. Peters, PE
3530 NW 43rd Street
Gainesville, FL 32606
(352) 375-8999
www.jbpro.com

JBPro

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- IV. Conclusions10

I. Statement of Proposed Change

The proposed project is a site plan application for new construction to be located on Lot 6 of Gateway Crossing commercial subdivision, on 5.96 acres near the intersection of I-75 and US90. The proposed site plan proposes a three story 39,000 SF footprint primary U-Haul storage facility and a single story 13,700 SF footprint U-Box storage facility along with associated parking and utilities.

Parcel:

35-3S-16-02524-006

As shown on Tables 1 and 2 and Maps 1 and 2, the site plan is consistent with the execution of the established land use and zoning designations and is consistent with surrounding uses. The Commercial land use category has an intensity of ≤ 1 FAR and the proposed FAR of 0.20 meets this standard. The proposed storage facility is a permitted use in the property's Commercial future land use designation and Commercial Highway Interchange (CHI) zoning district.

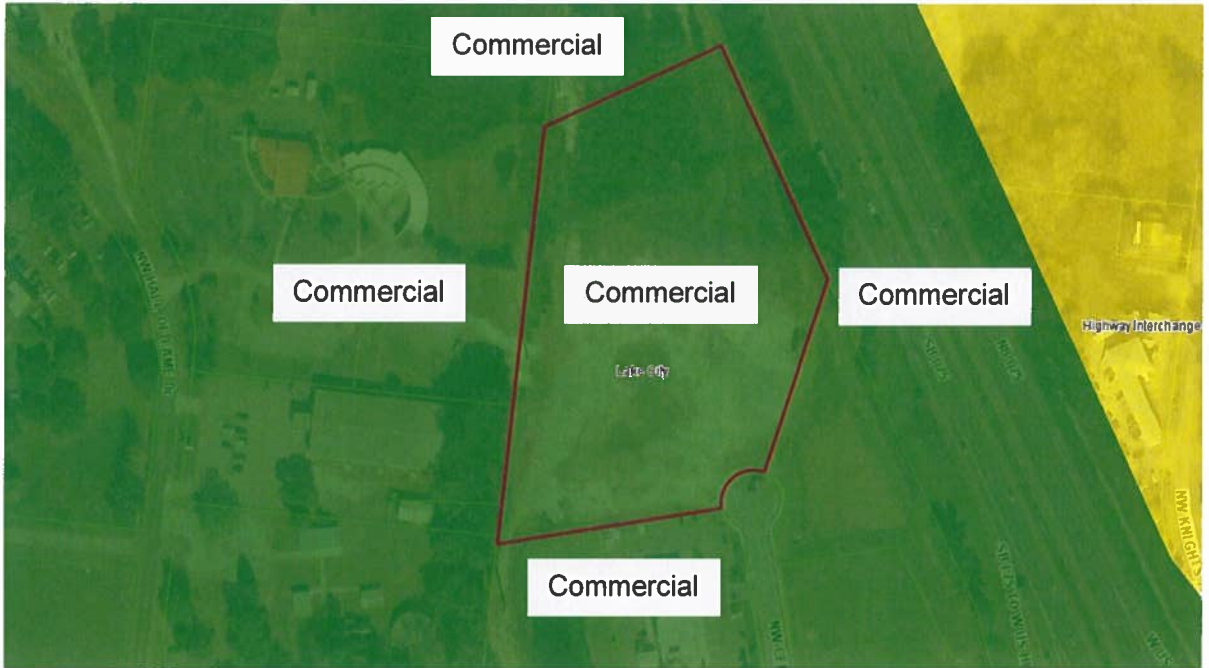
Table 1: Land Use and Zoning

Location	Land Use	Zoning
Proposed Property	Commercial	Commercial Highway Interchange
North	Commercial	General
South	Commercial	Commercial Highway Interchange
East	Commercial	Commercial Highway Interchange
West	Commercial	General

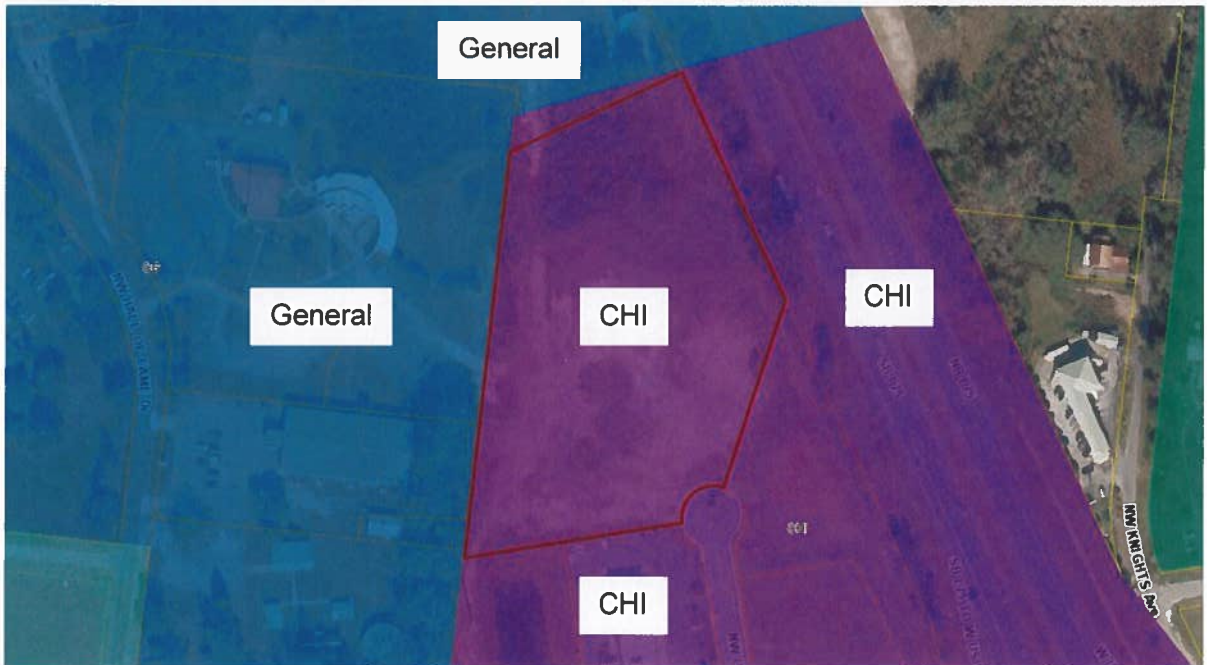
Table 2: Allowable – Proposed Dwelling Units

	Land Use	Zoning
Intensity Standard	1 FAR	1 FAR
Maximum Units Allowed	1 FAR	1 FAR
Proposed Project	0.20 FAR	0.20 FAR

Map 1: Existing Land Use Designations



Map 2: Zoning Designations



II. Concurrency Impact Analysis

The State of Florida growth management legislation establishes concurrency standards that ensure that local governments can adequately provide public facilities without constraining adopted local levels of service. In the following paragraphs, the proposed Comprehensive Plan Amendment will discuss how the proposed comprehensive plan amendment application impacts public service demands related to transportation, potable water, sanitary sewage, solid waste, stormwater, open space, recreation, and public school facilities.

Transportation Mobility

The Lake City Comprehensive Plan Capital Improvements Element Policy VIII.1.1 establishes level of service standards (LOS) for Motor Vehicle Transportation at a LOS A. Table 3 shows the impact 52,700 square feet of office space has on motor vehicle transportation. The total trips per day generated by this development is 207.

Table 3 – Motor Vehicle Transportation ¹		
Roadway Segment	Level of Service	
US 90/ Duval St From I-75 to SW Bascom	D	
Daily Trip Generation ²	Square Footage	Total Development
Weekday Trips Per 1,000 square feet = 3.93	52,700	207 Trips Per Day
AM Peak Hour Per 1,000 square feet = 0.62	52,700	33 Trips Per Day
PM Peak Hour Per 1,000 square feet = 0.67	52,700	35 Trips Per Day

Source:

- 1) Lake City Comprehensive Plan
- 2) ITE Trip Generation, Manual 10th Edition

Potable Water

The Lake City Comprehensive Plan Capital Improvements Element Policy VIII.1.1 establishes level of service standards (LOS) for Potable Water. Table 4 shows the total gallons per day of potable water is 662.

Table 4 - Potable Water	Units	Gallons Per Day
Warehouse Use	1,124	662
Based off a LOS standard established by Lake City and Florida Department of Health.		

Note: Calculation based on formula for mini warehouse units established by Florida Department of Health Standards of 1 gallon per unit up to 200 units + 1 gallon per unit for each unit over 200.

Sanitary Sewer

The Lake City Comprehensive Plan Capital Improvements Element Policy VIII.1.1 establishes level of service standards (LOS) for Sanitary Sewer. Table 5 shows the total gallons per day of sanitary sewer is 662.

Table 5- Sanitary Sewer	Units	Gallons Per Day
Mini Warehouse Use	1,124	662
Based off a LOS standard established by Lake City and Florida Department of Health.		

Note: Calculation based on formula for mini warehouse units established by Florida Department of Health Standards of 1 gallon per unit up to 200 units + 1 gallon per unit for each unit over 200.

Solid Waste

The Lake City Comprehensive Plan Capital Improvements Element Policy VIII.1.1 establishes level of service standards (LOS) for Sanitary Sewer. Table 4 shows the total tons of solid waste per year is 955.4 for 1,124 units.

Table 6 – Solid Waste	Units	Tons Per Year
Mini Warehouse Use	1,124	955.4
Based off a LOS of .85 tons per year per unit for residential.		

Note: Calculation based on formula for mini warehouse units established by Florida Department of Health Standards

Stormwater

The Lake City Comprehensive Plan Capital Improvements Element Policy VIII.1.1 establishes a level of service standards (LOS) for stormwater not within a stream or open lake watershed. The LOS standard states that such developments shall adhere to the standards as specified in Chapter 62-330(4)(b)2, Florida Administrative Code (Rules of the Florida Department of Environmental Regulation) and Chapter 40B-4, Florida Administrative Code (Rules of the Suwannee River Water Management District).

Recreation

The Lake City Comprehensive Plan Improvements Element Policy VIII.1.1 establishes a level of service standards (LOS) for recreation. As the subject property is part of a nonresidential development with existing facilities, this proposed CPA application does not impact the recreation LOS.

Public School Facilities

The Lake City Comprehensive Plan Improvements Element Policy VIII.1.1 establishes a level of service standards (LOS) for public school facilities. As the subject property is part of a nonresidential development with existing facilities, this proposed CPA application does not impact the public school facilities LOS.

III. Comprehensive Plan Consistency

The proposed project is located within the Commercial Land Use Category (FLU). Developments within this FLU are limited to a density of 1 FAR. As shown on Map 3 below, the adjoining land use categories are Commercial to the north, east, south, and west. The following comprehensive plan consistency assessment shows how this proposed project is consistent with Lake City's adopted comprehensive plan goals, objectives, and policies.

Map 3: Future Land Use Designations



A. Future Land Use Element

Policy I.1.2: The land development regulations of the City shall be based on and be consistent with the following land use classifications and corresponding standards for densities and intensities and shall establish the following floor area ratio(s) to be applied to each classification of land use: ...

COMMERCIAL

Lands classified as commercial use consist of areas used for the sale, rental, and distribution of products or performance of services, as well as public, charter and private elementary, middle and high schools. In addition, off-site signs, churches and other houses of worship, private clubs and lodges, residential dwelling units, which existed within this category on the date of adoption of this objective, and other similar uses compatible with commercial uses may be approved as special exceptions and be subject to an intensity of less than or equal to 0.25 floor area ratio except within the (CG) Commercial, General, (CI) Commercial, Intensive, (C-CBD) Commercial-Central Business District and (CHI) Commercial, Highway Interchange districts being subject to an intensity of less than or equal to 1.0 floor area ratio.

(CN) Commercial, Neighborhood uses shall be limited to an intensity of less than or equal to 0.25 floor area ratio. (CG) Commercial, General, (CI) Commercial, Intensive, (C-CBD) Commercial-Central Business District and (CHI) Commercial, Highway Interchange districts shall be limited to an intensity of less than or equal to 1.0 floor area ratio....

- **Comprehensive Plan Consistency: The proposed use is consistent with the standards established for the Commercial future land use designation.**

Policy I.1.3: The City shall continue to allocate amounts and types of land uses for residential, commercial, industrial, public, and recreation to meet the needs of the existing and projected future populations and to locate urban land uses in a manner where public facilities may be provided to serve such urban land uses. (Urban land uses shall be herein defined as residential, commercial and industrial land use categories).

- **Comprehensive Plan Consistency: The proposed property has available public facilities.**

Objective 1.3: The City shall require that all proposed development be approved only where the public facilities meet or exceed the adopted level of service standard.

- **Comprehensive Plan Consistency: The proposed property has available public facilities.**

Policy I.3.1 The City shall limit the issuance of development orders and permits to areas where the adopted level of service standards for the provision of public facilities found within the Comprehensive Plan are maintained. This provision also includes areas where development orders were issued prior to the adoption of the Comprehensive Plan.

- **Comprehensive Plan Consistency: The proposed property has available public facilities.**

B. Transportation Element

Policy II.1.1 Establish the Service Standards as noted below at peak hour for the following roadway segments within the City as defined within the most recent version of the Florida Department of Transportation Quality/Level of Service Handbook.

- **Comprehensive Plan Consistency: The proposed property meets adopted LOS standards for transportation.**

C. Sanitary Sewer, Solid Waste, Drainage, Potable Water, and Natural Groundwater Aquifer Recharge Element

Goal IV-1 Sanitary Sewer, Solid Waste, Drainage, Potable Water, and Natural Groundwater Aquifer Recharge Goals, Objectives, and Policies. Ensure the provision of public facilities in a timely, orderly, efficient, and environmentally sound manner at an acceptable level of service for the population of the county.

- **Comprehensive Plan Consistency: The provision of public facilities and infrastructure systems for sanitary sewer, solid waste, drainage, potable water, and natural groundwater aquifer recharge is provided according to the adopted comprehensive plan LOS standards for such services and infrastructure systems.**

D. Conservation Element

Policy V.2.5 The County shall, through the development review process, require that post-development runoff rates and pollutant loads do not exceed pre-development conditions.

- **Comprehensive Plan Consistency: As a result of the execution of this site plan and the development of this project, the development will provide for the runoff rates and pollutant loads that are consistent with this comprehensive plan policy.**

IV. Conclusions

The site plan application request is consistent with and serves to implement the Goals, Objectives, and Policies of the Lake City Comprehensive Plan. The request meets all the review criteria and standards for rezoning applications found in the Lake City Land Development Code, including consistency, compatibility, similarity of development patterns in the area of the subject property, suitability, adequacy of public services, access, and promotion of the public health, safety and welfare. The applicant would request approval of the application based upon the demonstrated consistency and implementation of the applicable Plan Goals, Objectives, and Policies as well as the conformance to all applicable provisions of the land development code.

Sonic Drive-In

Site Plan Application

City of Lake City

June 23, 2022

Kathie Ebaugh, AICP
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Gainesville, FL 32606
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I. Statement of Proposed Change:

The proposed project is a site plan application for new construction to be located on 1.2 acres near I-75 exit 427. The proposed site plan proposes to build an 1,226 SF restaurant building with associated parking on the following parcel

Parcels:

35-3S-at-02524-103

As shown on Tables 1 and 2 and Maps 1 and 2, the site plan is consistent with the execution of the established land use and zoning designations and is consistent with surrounding uses. The Commercial land use category has an intensity of ≤ 1 FAR and the proposed FAR of .023 meets this standard. The Commercial Highway Interchange (CHI) zoning category is intended to provide for developments that primarily serve the traveling public including fast food restaurants as proposed by this site development plan.

Table 1: Land Use and Zoning

Location	Land Use	Zoning
Proposed Property	Commercial	Commercial Highway Interchange
North	Commercial	Commercial Highway Interchange
South	Commercial	Commercial Highway Interchange
East	Commercial	Commercial Highway Interchange
West	Commercial	Commercial Highway Interchange

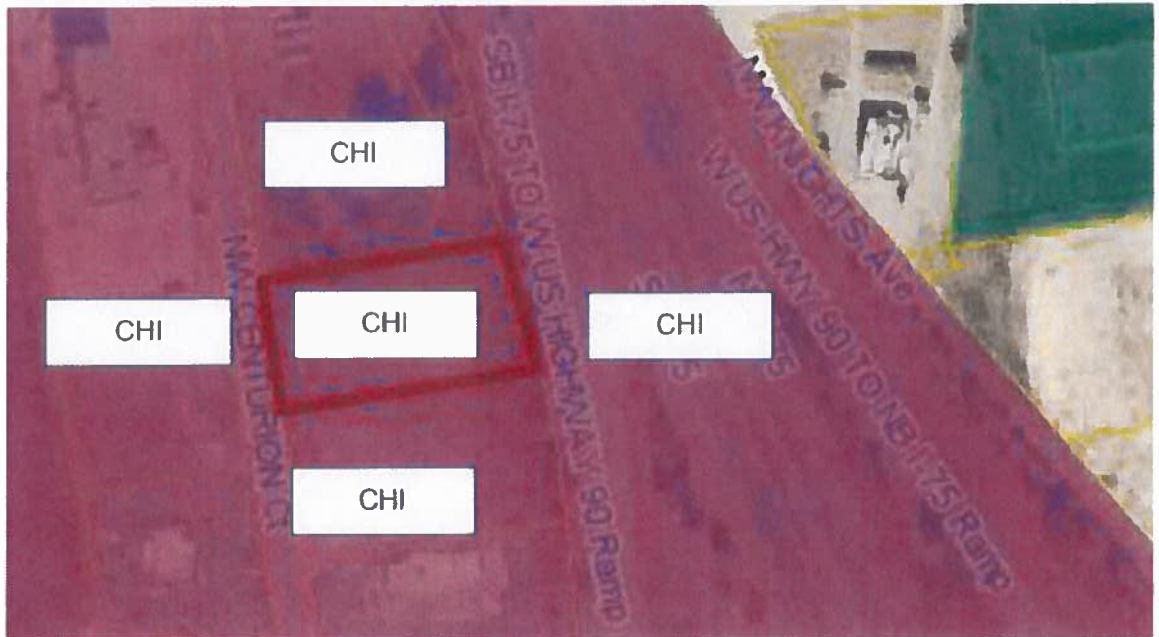
Table 2: Allowable—Proposed Dwelling Units

	Land Use	Zoning
Intensity Standard	1 FAR	1 FAR
Maximum Units Allowed	1 FAR	1 FAR
Proposed Project	.023 FAR	.023 FAR

Map 1: Existing Land Use Designation



Table 3: Zoning Designations





II. Concurrency Impact Analysis

The State of Florida growth management legislation establishes concurrency standards that ensure that local governments adequately provide public facilities to new developments without constraining adopted local levels of service. The following assessment examines how this proposed rezone application impacts public service demands related to transportation, potable water, sanitary sewage, solid waste, stormwater, open space, recreation, and public school facilities.

Transportation Mobility

The Columbia County Comprehensive Plan Transportation Element Objective II.1 establishes level of service standards (LOS) for all roadways.

Table 4: Transportation LOS Impact

Land Use Code	Land Use	SF. GFA	AADT		AM Peak				PM Peak			
			Rate ⁽¹⁾	Trips	Rate ⁽¹⁾	Trips	In	Out	Rate ⁽¹⁾	Trips	In	Out
935	Fast-Food Restaurant with Drive-Through Window and No Indoor Seating	1226	459.2	563	65.81	81	42	39	67.44	83	42	41

(1) - Rate of Vehicle Trip per 1000 Square Feet of Gross Floor Area based on the ITE Trip Generation Manual, 10th Edition, Volume 2

Concurrency Assessment: As shown on Table 4 above the proposed project will generate 65.81 trips per day AM Peak and 67.44 PM Peak. As such it will not place undue demand on the roadway and will maintain its current LOS.

Potable Water

The Columbia County Comprehensive Plan Sanitary Sewer, Solid Waste, Drainage, Portable Water, and Natural Groundwater Aquifer Recharge Element Objective IV.5 establishes LOS for Potable Water. Table 5 below shows that the impact the proposed will have on potable water.

Table 5: Potable Water Impact

System Category	Gallons Per Day
Current Permitted Capacity ⁽¹⁾	4,192,000
Less actual Potable Water Flows ⁽¹⁾	3,400,000
Reserved Capacity	0
Residual Capacity	792,000
Projected Potable Water Demand from Proposed Project ⁽²⁾	1,950
Percentage Utilization Including Proposed Project	81%

(1) Source: City of Lake City Public Services Department; FDEP Permitted Capacity is 9 MGPD, Current SRWMD Capacity is 4.192 MGPD

(2) Source: F.A.C. 64E-6.008, Table 1, Food Operations (f) "Drive-In restaurant car space". 50 GPD per car space. 39 spaces x 50 GPD/space = 1950 GPD

Concurrency Assessment: As shown on Table 5 above the proposed project will generate demand for 1,950 gallons per day. The remaining capacity will be 81%. As such, the County LOS will be maintained so to that it will be able to continue providing for the potable water demands of the community.



Sanitary Sewage

The Columbia County Comprehensive Plan Sanitary Sewer, Solid Waste, Drainage, Portable Water, and Natural Groundwater Aquifer Recharge Element Objective IV.2 LOS for Sanitary Sewage. Table 6 shows that the impact the proposed 1,226 square foot commercial restaurant building will have on sanitary sewerage.

Table 6: Sanitary Sewer Impact

System Category	Gallons Per Day
Current Permitted Capacity ⁽¹⁾	3,000,000
Less actual Treatment Plant Flows ⁽¹⁾	2,530,000
Reserved Capacity	0
Residual Capacity	470,000
Projected Sanitary Sewer Demand from Proposed Project ⁽²⁾	1,950
Percentage Utilization Including Proposed Project	84%

Concurrency Assessment: As shown on Table 6 above the proposed project will generate 1,950 gallons per day. The remaining capacity will be 84%. As such, the County LOS will be maintained so to that it will be able to continue providing for the sanitary sewer demands of the community.

The Columbia County Comprehensive Plan Sanitary Sewer, Solid Waste, Drainage, Portable Water, and Natural Groundwater Aquifer Recharge Element Objective IV.4 establishes LOS for Stormwater. The policy establishes the standard as follows: for all projects which fall totally within a stream, or open lake watershed, detention systems must be installed such that the peak rate of post-development runoff will not exceed the peak-rate of pre-development runoff for storm events up through and including either:

1. A design storm with a 10-year, 24-hour rainfall depth with Soil Conservation Service type II distribution falling on average antecedent moisture conditions for projects serving exclusively agricultural, forest, conservation, or recreational uses; or
2. A design storm with 100-year critical duration rainfall depth for projects serving any land use other than agricultural, silvicultural, conservation, or recreational uses.

Concurrency Assessment: This project has been designed as part of a master stormwater system that was designed to meet a 10-year, 24-hour rainfall depth. As such, the County LOS will be maintained so to that it will be able to continue providing for the stormwater demands the community.



Open Space

The Columbia County Comprehensive Plan Recreation and Open Space Element Objective 5.2 establishes LOS for open space. The standard directs that as applicable and appropriate, open space standards shall be established in the implementing land development code.

Concurrency Assessment: This land development regulations for the CHI zoning classification does not included standards for specific open space aside from the established FAR, buffering standards, and building setbacks. The proposed site plan meets these standards. As such, this concurrency standard is not applicable to this proposed project as there is no impact.

Recreation

The Columbia County Comprehensive Plan Recreation and Open Space Element Objective 1.1 establishes LOS for recreation based on residents to be served. Additionally, Objective VI.3 states this LOS requirements is for new subdivisions or re-subdivisions of land.

Concurrency Assessment: This site plan application is for the development of a commercial property that does not generate new residents. As such, this concurrency standard is not applicable to this proposed project as there is no impact.

Public School Facilities

The Columbia County Comprehensive Plan Recreation and Open Space Element Objective XI.1 establishes LOS for recreation based on number of students and available capacity for educational facilities. Additionally, Objective IX.3 states this LOS requirements is to be applied concurrent with the development of new residential projects.

Concurrency Assessment: This site plan application is for the development of a commercial property that does not generate new student populations. As such, this concurrency standard is not applicable to this proposed project as there is no impact.

III. Comprehensive Plan Consistency

The proposed project is located within the Commercial Land Use Category (FLU). Developments within this FLU are limited to a density of 1 FAR. As shown on Map 4 below, the adjoining land use categories are Commercial to the north, east, south, and west. The following comprehensive plan consistency



assessment shows how this proposed project is consistent with Columbia County's adopted comprehensive plan goals, objectives, and policies.

Map 4: Future Land Use Map



Future Land Use Element

Goal 1: Future Land Use. In recognition of the importance of conserving the natural resources and enhancing the quality of life, the county shall direct development to those areas which have in place, or have agreements to prove, the land and water resources, fiscal abilities, and service capacity to accommodate growth in an environmentally acceptable manner.

Comprehensive Plan Consistency: The location of this proposed site plan application is within an established development area where there is the funding and infrastructure capacity to provide for the demands of the proposed development.

Objective 1.2: Urban Development Areas. The County shall continue to direct future population growth and associated urban development to urban development areas as established within this Comprehensive Plan.

Comprehensive Plan Consistency: The location of this proposed site plan is consistent with the County's urban development areas.



Policy I.1.1: Public Facility Availability. The County shall limit the location of higher density residential and high intensity commercial and industrial uses to areas adjacent to arterial or collector roads where public facilities are available to support such higher density or intensity

Comprehensive Plan Consistency: The location of this proposed development with an I75 Interchange area is consistent with the policy to locate new development in areas that have the public facilities and infrastructure needed to support higher intensities.

Policy I.1.5 Development—Public Facility Coordinated Locations. The County shall continue to regulate govern future urban development within designated urban development areas in conformance with the land topography and soil conditions, and within an area which is or will be served by public facilities and services.

Comprehensive Plan Consistency: The location of this proposed site plan is able to be served by public facilities and services consistent with this policy.

Policy I.1.6 Land Use Classifications. The County's land development regulations shall be based on and be consistent with the following land use classifications and corresponding standards for densities and intensities within the designated urban development areas of the County. For the purpose of this policy and Comprehensive Plan, the phrase "other similar uses compatible with" shall mean land uses that can co-exist in relative proximity to other uses in a stable fashion over time such that no other uses within the same land use classification are negatively impacted directly or indirectly by the use....

COMMERCIAL LAND USE

Highway interchange uses shall be permitted within the urban and rural area of the County.

Highway interchange uses shall be permitted within areas surrounding Interstates 75 and 10, which shall be limited to the following:

1. Tourist oriented facilities, such as restaurants, automotive service stations, motels and campgrounds;
2. Retail outlets;
3. Truck stops;
4. Light manufacturing, assembling, processing, packaging or fabricating in completely enclosed building; and
5. Facilities for the storage and distribution of foods and products including wholesale activity.

Commercial uses shall be limited to an intensity of 1.0 floor area ratio.

Comprehensive Plan Consistency: The development of this property is consistent with the future land use requires for the development of residential properties in general and the Commercial FLU category in specific.

Objective I.3 Compatibility of Adjacent Land Uses: The County shall include within the site plan review process to be adopted as part of the land development regulations, that adjacent land uses shall not be adversely impacted by any change in land use.



Comprehensive Plan Consistency: The proposed site plan is located in an area that is compatible with highway interchange commercial uses consistent with this policy.

OBJECTIVE I.11 Public Facilities and Developable Land: The County shall require that proposed development be approved only where the public facilities meet or exceed the adopted level of service standard.

Comprehensive Plan Consistency: The location of this proposed development is an area the County is able to provide public services consistent with this policy.

Policy I.11.1 Level of Service Standards The County shall establish procedures for the review of proposed development to determine its impact on level of service standards for public facilities so that such public facilities will meet the County's level of service standards and are available concurrently with the impacts of development.

Comprehensive Plan Consistency: As proven by the Concurrence Analysis, the development of this property is consistent with established LOS standards and the proposed impacts do not unduly impact the ability for the County to provide public infrastructure facilities and services.

Policy I.12.1 Land Development Standards and Regulations. The County's land development regulations shall contain specific and detailed provisions to manage future growth and development to implement the Comprehensive Plan which shall contain at a minimum the following provisions to:

1. Regulate the subdivision of land;
2. Regulate the use of land and water consistent with this Element and ensure the compatibility of adjacent land uses and provide for open space;
3. Protect environmentally sensitive lands identified within the Conservation Element;
4. Regulate areas subject to seasonal and periodic flooding and provide for drainage and stormwater management;
5. Protect potable water wellfields and aquifer recharge areas;
6. Regulate signage;
7. Ensure safe and convenient onsite traffic flow and vehicle parking needs; and
8. Provide that development orders and permits shall not be issued which result in a reduction of the level of service standards adopted in this Comprehensive Plan

Comprehensive Plan Consistency: As shown through this application and attached proposed site development plan, the proposal to develop this site is consistent with the County's adopted land development standards and regulations.

Transportation Element

Policy II.1.1 Establish the Service. Standards as noted below at peak hour for the following roadway segments within the County as defined within the most recent version of the Florida Department of Transportation Quality/Level of Service Handbook.



Comprehensive Plan Consistency: The provision of roadway services is provided according to the adopted comprehensive plan LOS standards for such services and infrastructure systems.

OBJECTIVE II.2 Traffic Circulation System. The County shall require that all traffic circulation system improvements be consistent with the land uses shown on the future land use plan map by limiting higher density and higher intensity land use locations to be adjacent to collector or arterial roads.

Comprehensive Plan Consistency: The location of this development in a highway interchange area near I75 is consistent with the County policy to provide for higher intensity development areas adjacent to major roadways.

Sanitary Sewer, Solid Waste, Drainage, Potable Water, and Natural Groundwater Aquifer Recharge Element

Goal IV-1 Sanitary Sewer, Solid Waste, Drainage, Potable Water, and Natural Groundwater Aquifer Recharge Goals, Objectives, and Policies. Ensure the provision of public facilities in a timely, orderly, efficient, and environmentally sound manner at an acceptable level of service for the population of the county.

Comprehensive Plan Consistency: The provision of public facilities and infrastructure systems for sanitary sewer, solid waste, drainage, potable water, and natural groundwater aquifer recharge is provided according to the adopted comprehensive plan LOS standards for such services and infrastructure systems.

Conservation Element

Policy V.2.5 Runoff Standards. The County shall, through the development review process, require that post-development runoff rates and pollutant loads do not exceed pre-development conditions.

Comprehensive Plan Consistency: As a result of the execution of this site plan and the development of this project, the development will provide for the runoff rates and pollutant loads that are consistent with this comprehensive plan policy.

IV. Conclusions:

The site plan application request is consistent with and serves to implement the Goals, Objectives and Policies of the Columbia County Comprehensive Plan. The request meets all of the review criteria and standards for rezoning applications found in the Columbia County Land Development Code, including consistency, compatibility, similarity of development patterns in the area of the subject property, suitability, adequacy of public services, access, and promotion of the public health, safety and welfare. The applicant would request approval of the application based upon the demonstrated consistency and



implementation of the applicable Plan Goals, Objectives and Policies as well as the conformance to all applicable provisions of the land development code.



Rib City

Site Plan Application

City of Lake City

June 28, 2022

Kathie Ebaugh, AICP
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I. **Statement of Proposed Change:**

The proposed project is a site plan application for new construction to be located on 1.064 acres near I-75 exit 427. The proposed site plan proposes to build a 3,428 SF restaurant building with associated parking and utilities on the following parcel

Parcels:

35-3S-16-02524-008

As shown on Tables 1 and 2 and Maps 1 and 2, the site plan is consistent with the execution of the established land use and zoning designations and is consistent with surrounding uses. The Commercial land use category has an intensity of ≤ 1 FAR and the proposed FAR of .07 meets this standard. The Commercial Highway Interchange (CHI) zoning category is intended to provide for developments that primarily serve the traveling public including fast food restaurants as proposed by this site development plan.

Table 1: Land Use and Zoning

Location	Land Use	Zoning
Proposed Property	Commercial	Commercial Highway Interchange
North	Commercial	Commercial Highway Interchange
South	Commercial	Commercial Highway Interchange
East	Commercial	Commercial Highway Interchange
West	Commercial	Commercial Highway Interchange

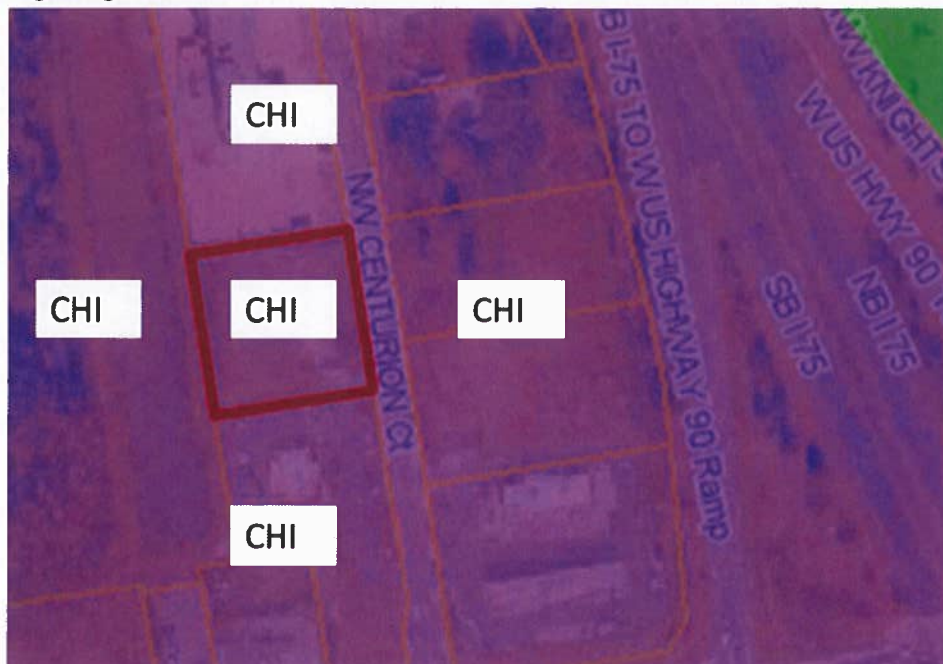
Table 2: Allowable—Proposed Dwelling Units

	Land Use	Zoning
Intensity Standard	1 FAR	1 FAR
Maximum Units Allowed	1 FAR	1 FAR
Proposed Project	.07 FAR	.07 FAR

Map 1: Existing Land Use Designation



Map 2: Zoning Designations





II. Concurrency Impact Analysis

The State of Florida growth management legislation establishes concurrency standards that ensure that local governments adequately provide public facilities to new developments without constraining adopted local levels of service. The following assessment examines how this proposed rezone application impacts public service demands related to transportation, potable water, sanitary sewage, solid waste, stormwater, open space, recreation, and public school facilities.

Transportation Mobility

The Columbia County Comprehensive Plan Transportation Element Objective II.1 establishes level of service standards (LOS) for all roadways.

Table 4: Transportation LOS Impact

Land Use Code	Land Use	SF GFA	AADT		AM Peak			PM Peak				
			Rate ⁽¹⁾	Trips	Rate ⁽¹⁾	Trips	In	Out	Rate ⁽¹⁾	Trips	In	Out
930	Fast Casual	3428	315.17	1080	36.21	124	77	47	43.79	150	69	81

(1) - Rate of Vehicle Trip per 1000 Square Feet of Gross Floor Area based on the ITE Trip Generation Manual, 10th Edition, Volume 2

Concurrency Assessment: As shown on Table 4 above the proposed project will generate 1080 trips per day including 124 trips per day AM Peak and 150 PM Peak. As such it will not place undue demand on the roadway and will maintain its current LOS.

Potable Water

The Columbia County Comprehensive Plan Sanitary Sewer, Solid Waste, Drainage, Potable Water, and Natural Groundwater Aquifer Recharge Element Objective IV.5 establishes LOS for Potable Water. Table 5 below shows that the impact the proposed will have on potable water.

Table 5: Potable Water Impact

System Category	Gallons Per Day
Current Permitted Capacity ⁽¹⁾	4,192,000
Less actual Potable Water Flows ⁽¹⁾	3,400,000
Reserved Capacity	0
Residual Capacity	792,000
Projected Potable Water Demand from Proposed Project ⁽²⁾	3,560
Percentage Utilization Including Proposed Project	81%

(1) Source: City of Lake City Public Services Department; FDEP Permitted Capacity is 9 MGD, Current SRWMD Capacity is 4.192 MGD

(2) Source: F.A.C. 64E-6.008, Table 1, Food Operations (a) "Restaurant operating 16 hours or less per day per seat". 89 Seats x 40 GPD/seat = 3560 GPD

Concurrency Assessment: As shown on Table 5 above the proposed project will generate demand for 3,560 gallons per day. The remaining capacity will be 19%. As such, the County LOS will be maintained so to that it will be able to continue providing for the potable water demands of the community.



Sanitary Sewage

The Columbia County Comprehensive Plan Sanitary Sewer, Solid Waste, Drainage, Portable Water, and Natural Groundwater Aquifer Recharge Element Objective IV.2 LOS for Sanitary Sewage. Table 6 shows that the impact the proposed 1,226 square foot commercial restaurant building will have on sanitary sewerage.

Table 6: Sanitary Sewer Impact

System Category	Gallons Per Day
Current Permitted Capacity ⁽¹⁾	3,000,000
Less actual Treatment Plant Flows ⁽¹⁾	2,530,000
Reserved Capacity	0
Residual Capacity	470,000
Projected Sanitary Sewer Demand from Proposed Project ⁽²⁾	1,950
Percentage Utilization Including Proposed Project	84%

(1) Source: City of Lake City Public Services Department; FDEP Permitted Capacity is 9 MGD, Current SRWMD Capacity is 4.192 MGD

(2) Source: F.A.C. 64E-6.008, Table 1, Food Operations (a) "Restaurant operating 16 hours or less per day per seat". 89 Seats x 40 GPD/seat = 3560 GPD

Concurrency Assessment: As shown on Table 6 above the proposed project will generate 1,950 gallons per day. The remaining capacity will be 16%. As such, the County LOS will be maintained so to that it will be able to continue providing for the sanitary sewer demands of the community.

The Columbia County Comprehensive Plan Sanitary Sewer, Solid Waste, Drainage, Portable Water, and Natural Groundwater Aquifer Recharge Element Objective IV.4 establishes LOS for Stormwater. The policy establishes the standard as follows: for all projects which fall totally within a stream, or open lake watershed, detention systems must be installed such that the peak rate of post-development runoff will not exceed the peak-rate of pre-development runoff for storm events up through and including either:

1. A design storm with a 10-year, 24-hour rainfall depth with Soil Conservation Service type II distribution falling on average antecedent moisture conditions for projects serving exclusively agricultural, forest, conservation, or recreational uses; or
2. A design storm with 100-year critical duration rainfall depth for projects serving any land use other than agricultural, silvicultural, conservation, or recreational uses.

Concurrency Assessment: This project has been designed as part of a master stormwater system that was designed to meet a 10-year, 24-hour rainfall depth. As such, the County LOS will be maintained so to that it will be able to continue providing for the stormwater demands the community.



Open Space

The Columbia County Comprehensive Plan Recreation and Open Space Element Objective 5.2 establishes LOS for open space. The standard directs that as applicable and appropriate, open space standards shall be established in the implementing land development code.

Concurrency Assessment: This land development regulations for the CHI zoning classification does not included standards for specific open space aside from the established FAR, buffering standards, and building setbacks. The proposed site plan meets these standards. As such, this concurrency standard is not applicable to this proposed project as there is no impact.

Recreation

The Columbia County Comprehensive Plan Recreation and Open Space Element Objective 1.1 establishes LOS for recreation based on residents to be served. Additionally, Objective VI.3 states this LOS requirements is for new subdivisions or re-subdivisions of land.

Concurrency Assessment: This site plan application is for the development of a commercial property that does not generate new residents. As such, this concurrency standard is not applicable to this proposed project as there is no impact.

Public School Facilities

The Columbia County Comprehensive Plan Recreation and Open Space Element Objective XI.1 establishes LOS for recreation based on number of students and available capacity for educational facilities. Additionally, Objective IX.3 states this LOS requirements is to be applied concurrent with the development of new residential projects.

Concurrency Assessment: This site plan application is for the development of a commercial property that does not generate new student populations. As such, this concurrency standard is not applicable to this proposed project as there is no impact.

III. Comprehensive Plan Consistency

The proposed project is located within the Commercial Land Use Category (FLU). Developments within this FLU are limited to a density of 1 FAR. As shown on Map 4 below, the adjoining land use categories are Commercial to the north, east, south, and west. The following comprehensive plan consistency assessment shows how this proposed project is consistent with Columbia County's adopted comprehensive plan goals, objectives, and policies.

Map 4: Future Land Use Map



Future Land Use Element

Goal 1: Future Land Use. In recognition of the importance of conserving the natural resources and enhancing the quality of life, the county shall direct development to those areas which have in place, or have agreements to prove, the land and water resources, fiscal abilities, and service capacity to accommodate growth in an environmentally acceptable manner.

Comprehensive Plan Consistency: The location of this proposed site plan application is within an established development area where there is the funding and infrastructure capacity to provide for the demands of the proposed development.

Objective 1.2: Urban Development Areas. The County shall continue to direct future population growth and associated urban development to urban development areas as established within this Comprehensive Plan.

Comprehensive Plan Consistency: The location of this proposed site plan is consistent with the County's urban development areas.

Policy I.1.1: Public Facility Availability. The County shall limit the location of higher density residential and high intensity commercial and industrial uses to areas adjacent to arterial or collector roads where public facilities are available to support such higher density or intensity



Comprehensive Plan Consistency: The location of this proposed development with an I75 Interchange area is consistent with the policy to locate new development in areas that have the public facilities and infrastructure needed to support higher intensities.

Policy I.1.5 Development—Public Facility Coordinated Locations. The County shall continue to regulate govern future urban development within designated urban development areas in conformance with the land topography and soil conditions, and within an area which is or will be served by public facilities and services.

Comprehensive Plan Consistency: The location of this proposed site plan is able to be served by public facilities and services consistent with this policy.

Policy I.1.6 Land Use Classifications. The County's land development regulations shall be based on and be consistent with the following land use classifications and corresponding standards for densities and intensities within the designated urban development areas of the County. For the purpose of this policy and Comprehensive Plan, the phrase "other similar uses compatible with" shall mean land uses that can co-exist in relative proximity to other uses in a stable fashion over time such that no other uses within the same land use classification are negatively impacted directly or indirectly by the use...

COMMERCIAL LAND USE

Highway interchange uses shall be permitted within the urban and rural area of the County.

Highway interchange uses shall be permitted within areas surrounding Interstates 75 and 10, which shall be limited to the following:

1. Tourist oriented facilities, such as restaurants, automotive service stations, motels and campgrounds;
2. Retail outlets;
3. Truck stops;
4. Light manufacturing, assembling, processing, packaging or fabricating in completely enclosed building; and
5. Facilities for the storage and distribution of foods and products including wholesale activity.

Commercial uses shall be limited to an intensity of 1.0 floor area ratio.

Comprehensive Plan Consistency: The development of this property is consistent with the future land use requires for the development of residential properties in general and the Commercial FLU category in specific.

Objective I.3 Compatibility of Adjacent Land Uses: The County shall include within the site plan review process to be adopted as part of the land development regulations, that adjacent land uses shall not be adversely impacted by any change in land use.

Comprehensive Plan Consistency: The proposed site plan is located in an area that is compatible with highway interchange commercial uses consistent with this policy.



OBJECTIVE I.11 Public Facilities and Developable Land: The County shall require that proposed development be approved only where the public facilities meet or exceed the adopted level of service standard.

Comprehensive Plan Consistency: The location of this proposed development is an area the County is able to provide public services consistent with this policy.

Policy I.11.1 Level of Service Standards The County shall establish procedures for the review of proposed development to determine its impact on level of service standards for public facilities so that such public facilities will meet the County's level of service standards and are available concurrently with the impacts of development.

Comprehensive Plan Consistency: As proven by the Concurrency Analysis, the development of this property is consistent with establish LOS standards and the proposed impacts do not unduly impact the ability for the County to provide public infrastructure facilities and services.

Policy I.12.1 Land Development Standards and Regulations. The County's land development regulations shall contain specific and detailed provisions to manage future growth and development to implement the Comprehensive Plan which shall contain at a minimum the following provisions to:

1. Regulate the subdivision of land;
2. Regulate the use of land and water consistent with this Element and ensure the compatibility of adjacent land uses and provide for open space;
3. Protect environmentally sensitive lands identified within the Conservation Element;
4. Regulate areas subject to seasonal and periodic flooding and provide for drainage and stormwater management;
5. Protect potable water wellfields and aquifer recharge areas;
6. Regulate signage;
7. Ensure safe and convenient onsite traffic flow and vehicle parking needs; and
8. Provide that development orders and permits shall not be issued which result in a reduction of the level of service standards adopted in this Comprehensive Plan

Comprehensive Plan Consistency: As shown through this application and attached proposed site development plan, the proposal to development this site is consistent with the County's adopted land development standards and regulations.

Transportation Element

Policy II.1.1 Establish the Service. Standards as noted below at peak hour for the following roadway segments within the County as defined within the most recent version of the Florida Department of Transportation Quality/Level of Service Handbook.

Comprehensive Plan Consistency: The provision of roadway services is provided according to the adopted comprehensive plan LOS standards for such services and infrastructure systems.



OBJECTIVE II.2 Traffic Circulation System. The County shall require that all traffic circulation system improvements be consistent with the land uses shown on the future land use plan map by limiting higher density and higher intensity land use locations to be adjacent to collector or arterial roads.

Comprehensive Plan Consistency: The location of this development in a highway interchange area near I75 is consistent with the County policy to provide for higher intensity development areas adjacent to major roadways.

Sanitary Sewer, Solid Waste, Drainage, Potable Water, and Natural Groundwater Aquifer Recharge Element

Goal IV-1 Sanitary Sewer, Solid Waste, Drainage, Potable Water, and Natural Groundwater Aquifer Recharge Goals, Objectives, and Policies. Ensure the provision of public facilities in a timely, orderly, efficient, and environmentally sound manner at an acceptable level of service for the population of the county.

Comprehensive Plan Consistency: The provision of public facilities and infrastructure systems for sanitary sewer, solid waste, drainage, potable water, and natural groundwater aquifer recharge is provided according to the adopted comprehensive plan LOS standards for such services and infrastructure systems.

Conservation Element

Policy V.2.5 Runoff Standards. The County shall, through the development review process, require that post-development runoff rates and pollutant loads do not exceed pre-development conditions.

Comprehensive Plan Consistency: As a result of the execution of this site plan and the development of this project, the development will provide for the runoff rates and pollutant loads that are consistent with this comprehensive plan policy.

IV. Conclusions:

The site plan application request is consistent with and serves to implement the Goals, Objectives and Policies of the Columbia County Comprehensive Plan. The request meets all of the review criteria and standards for rezoning applications found in the Columbia County Land Development Code, including consistency, compatibility, similarity of development patterns in the area of the subject property, suitability, adequacy of public services, access, and promotion of the public health, safety and welfare. The applicant would request approval of the application based upon the demonstrated consistency and implementation of the applicable Plan Goals, Objectives and Policies as well as the conformance to all applicable provisions of the land development code.

COMPOSITE EXHIBIT

I

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
**DRIVEWAY CONNECTION PERMIT
FOR ALL CATEGORIES**

PART 1: PERMIT INFORMATION

APPLICATION NUMBER: 2022-A-292-00008

Permit Category: H - Safety Upgrade Access Classification: _____

Project: Circle K expansion

Permittee: JAROD STUBBS

Section/Mile Post: / State Road: _____

Section/Mile Post: / State Road: _____

PART 2: PERMITTEE INFORMATION

Permittee Name: JAROD STUBBS

Permittee Mailing Address: 189 South Orange Ave, Suite 1000

City, State, Zip: Orlando, Florida 32801

Telephone: (407) 409-7002 ext. _____

Engineer/Consultant/or Project Manager: _____

Engineer responsible for construction inspection: _____
NAME P.E. #

Mailing Address: _____

City, State, Zip: _____

Telephone: _____ FAX, Mobile Phone, etc. Fax: / Mobile: _____

PART 3: PERMIT APPROVAL

The above application has been reviewed and is hereby approved subject to all Provisions as attached.

Permit Number: 2022-A-292-00008
Department of Transportation

Signature: Troy Register Title: MAINTENANCE MANAGER/PERMITS

Department Representative's Printed Name Troy Register

Temporary Permit YES NO (If temporary, this permit is only valid for 6 months)

Special provisions attached YES NO

Date of Issuance: 5/18/2022

If this is a normal (non-temporary) permit it authorizes construction for one year from the date of issuance. This can only be extended by the Department as specified in 14-96.007(6).

See following pages for General and Special Provisions

Approved
2022-A-292-00008
Troy Register
5/18/2022

PART 4: GENERAL PROVISIONS

1. Notify the Department of Transportation Maintenance Office at least 48 hours in advance of starting proposed work.
Phone: 3869617153 , Attention: Troy Register
2. A copy of the approved permit must be displayed in a prominent location in the immediate vicinity of the connection construction.
3. Comply with Rule 14-96.008(1), F.A.C., Disruption of Traffic.
4. Comply with Rule 14-96.008(7), F.A.C., on Utility Notification Requirements.
5. All work performed in the Department's right of way shall be done in accordance with the most current Department standards, specifications and the permit provisions.
6. The permittee shall not commence use of the connection prior to a final inspection and acceptance by the Department.
7. Comply with Rule 14-96.003(3)(a), F.A.C., Cost of Construction.
8. If a Significant Change of the permittee's land use, as defined in Section 335.182, Florida Statutes, occurs, the Permittee must contact the Department.
9. Medians may be added and median openings may be changed by the Department as part of a Construction Project or Safety Project. The provision for a median might change the operation of the connection to be for right turns only.
10. All conditions in NOTICE OF INTENT WILL APPLY unless specifically changed by the Department.
11. All approved connection(s) and turning movements are subject to the Department's continuing authority to modify such connection(s) or turning movements in order to protect safety and traffic operations on the state highway or State Highway System.
12. **Transportation Control Features and Devices in the State Right of Way.** Transportation control features and devices in the Department's right of way, including, but not limited to, traffic signals, medians, median openings, or any other transportation control features or devices in the state right of way, are operational and safety characteristics of the State Highway and are not means of access. The Department may install, remove or modify any present or future transportation control feature or device in the state right of way to make changes to promote safety in the right of way or efficient traffic operations on the highway.
13. The Permittee for him/herself, his/her heirs, his/her assigns and successors in interest, binds and is bound and obligated to save and hold the State of Florida, and the Department, its agents and employees harmless from any and all damages, claims, expense, or injuries arising out of any act, neglect, or omission by the applicant, his/her heirs, assigns and successors in interest that may occur by reason of this facility design, construction, maintenance, or continuing existence of the connection facility, except that the applicant shall not be liable under this provision for damages arising from the sole negligence of the Department.
14. The Permittee shall be responsible for determining and notify all other users of the right of way.
15. Starting work on the State Right of Way means that I am accepting all conditions on the Permit.

Approved
2022-A-292-00008
Troy Register
5/18/2022

PART 5: SPECIAL PROVISIONSNON-CONFORMING CONNECTIONS: YES NO

If this is a non-conforming connection permit, as defined in Rule Chapters 14-96 and 14-97, then the following shall be a part of this permit.

1. The non-conforming connection(s) described in this permit is (are) not permitted for traffic volumes exceeding the Permit Category on page 1 of this permit, or as specified in "Other Special Provisions" below.
2. All non-conforming connections will be subject to closure or relocation when reasonable access becomes available in the future.

OTHER SPECIAL PROVISIONS:

Pre construction meeting requested. 48hr notification required before work in FDOT R/W begins.

PART 6: APPEAL PROCEDURES

You may petition for an administrative hearing pursuant to sections 120.569 and 120.57, Florida Statutes. If you dispute the facts stated in the foregoing Notice of Intended Department Action (hereinafter Notice), you may petition for a formal administrative hearing pursuant to section 120.57 (1), Florida Statutes. If you agree with the facts stated in the Notice, you may petition for an informal administrative hearing pursuant to section 120.57(2), Florida Statutes. You must file the petition with:

Clerk of Agency Proceedings
Department of Transportation
Haydon Burns Building
605 Suwannee Street, M.S. 58
Tallahassee, Florida 32399-0458

The petition for an administrative hearing must conform to the requirements of Rule 28-106.201(2) or Rule 28-106.301(2), Florida Administrative Code, and be filed with the Clerk of Agency Proceedings by 5:00 p.m. no later than 21 days after you received the Notice. The petition must include a copy of the Notice, be legible, on 8 1/2 by 11 inch white paper, and contain:

1. Your name, address, telephone number, any Department of Transportation identifying number on the Notice, if known, the name and identification number of each agency affected, if known, and the name, address, and telephone number of your representative, if any, which shall be the address for service purposes during the course of the proceeding.
2. An explanation of how your substantial interests will be affected by the action described in the Notice;
3. A statement of when and how you received the Notice;
4. A statement of all disputed issues of material fact. If there are none, you must so indicate;
5. A concise statement of the ultimate facts alleged, including the specific facts you contend warrant reversal or modification of the agency's proposed action, as well as an explanation of how the alleged facts relate to the specific rules and statutes you contend require reversal or modification of the agency's proposed action;
6. A statement of the relief sought, stating precisely the desired action you wish the agency to take in respect to the agency's proposed action.

If there are disputed issues of material fact a formal hearing will be held, where you may present evidence and argument on all issues involved and conduct cross-examination. If there are no disputed issues of material fact an informal hearing will be held, where you may present evidence or a written statement for consideration by the Department.

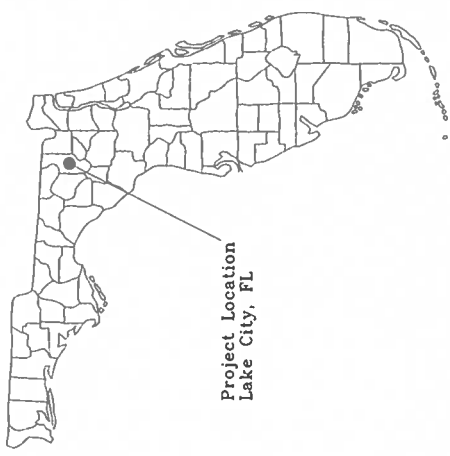
Mediation, pursuant to section 120.573, Florida Statutes, may be available if agreed to by all parties, and on such terms as may be agreed upon by all parties. The right to an administrative hearing is not affected when mediation does not result in a settlement.

Your petition for an administrative hearing shall be dismissed if it is not in substantial compliance with the above requirements of Rule 28-106.201(2) or Rule 28-106.301(2), Florida Administrative Code. If you fail to timely file your petition in accordance with the above requirements, you will have waived your right to have the intended action reviewed pursuant to chapter 120, Florida Statutes, and the action set forth in the Notice shall be conclusive and final.

Approved
00008
Troy Register
5/18/2022

CONSTRUCTION PLANS FOR CIRCLE K - US HWY 90 & I-75 FUEL EXPANSION

143 NW CENTURION COURT
LAKE CITY, FLORIDA 32055
MAY 4, 2022
PARCEL IDS: 35-3S-16-02524-001,
35-3S-16-02524-102 AND 35-3S-16-02524-111



SHEET INDEX

- C0.0 COVER SHEET
- C1.0-C1.1 GENERAL NOTES
- C2.0 STORMWATER POLLUTION PREVENTION PLAN
- C3.0-C3.1 EXISTING CONDITIONS & DEMOLITION PLAN
- C4.0 OVERALL SITE PLAN
- C4.1 SITE PLAN
- C4.2 INTERSECTION MODIFICATION PLAN
- C4.3-C4.5 TRUCK TURNING MOVEMENTS
- C5.0 PAVING, GRADING AND DRAINAGE PLAN
- C6.0 UTILITY PLAN
- C7.0-C7.1 GENERAL CONSTRUCTION DETAILS
- L1.00 LANDSCAPE PLAN
- L1.50 LANDSCAPE DETAILS
- L1.51 LANDSCAPE SPECIFICATIONS
- L2.00 SCHEMATIC IRRIGATION PLAN
- L2.50 IRRIGATION DETAILS
- L2.51 IRRIGATION NOTES

LEGAL DESCRIPTION

LOT 1 AND 2, TRACT 133, BEING 66.15 AC OF LAND WITHIN TOWNSHIP 20N, RANGE 12E, COUNTY OF LAKE COUNTY, FLORIDA, ACCORDING TO PLAT NUMBER RECORDED IN PLAT BOOK 7, PAGE 111, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.

UTILITY PROVIDERS

WATERSEWER:
CITY OF LAKE CITY UTILITIES
143 NW CENTURION COURT
LAKE CITY, FL 32055
CONTACT: ANDREW BWEENEY
PHONE: (813) 763-1234

ELECTRIC:
CITY OF LAKE CITY LIGHT
2818 NE LINDSON HOPKINS DRIVE
LAKE CITY, FL 32055
CONTACT: JIMMY HUBBARD
PHONE: (813) 763-1234

FIBER OPTIC:
HIGHWAY OF FLORIDA, INC.
10000 W. U.S. HWY 90, SUITE 100
LAKE CITY, FL 32055
CONTACT: EDWARD HARRING
PHONE: (813) 763-1234

CABLE:
COMCAST CABLE
143 NW CENTURION COURT
LAKE CITY, FL 32055
CONTACT: ANDREW BWEENEY
PHONE: (813) 763-1234

TELEPHONE:
813 LAKEVIEW ROAD
LAKE CITY, FL 32055
CONTACT: ANDREW BWEENEY
PHONE: (813) 763-1234

GAS:
CITY OF LAKE CITY GAS/PUBLIC WORKS
143 NW CENTURION COURT
LAKE CITY, FL 32055
CONTACT: EDWARD HARRING
PHONE: (813) 763-1234

OWNER:

GWC DEVELOPMENT PARTNERS LLC
5822 WYNGEBEL ROAD
LAKE CITY, FL 32055
CONTACT: DIANE BERRY
PHONE: (407) 569-5173
EMAIL: DBERRY@SCHAFERCONSTR.COM

DEVELOPER:

CIRCLE K STORES, INC
3802 CONFOREX PARK DRIVE, SUITE 413
TAMPA, FL 33611
CONTACT: EDWARD OLUNTA
PHONE: (407) 569-5173

VICINITY MAP

PROJECT TEAM

CIVIL ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
188 SOUTH ORANGE AVENUE, SUITE 1000
ORLANDO, FL 32801
CONTACT: JAROD C. STUBBS, P.E.
PHONE: (407) 409-7002
EMAIL: JAROD.STUBBS@KIMLEY-HORN.COM

ARCHITECT:

RDC COLLABORATIVE
11821 FREEDOM DRIVE, SUITE #1110
RESTON, VA 20190
CONTACT: MATT FRANKO
PHONE: (703) 668-0096
FAX: (703) 668-0085

SURVEYOR:

JBRPO
2530 HWY 43RD STREET
LAKE CITY, FL 32055
CONTACT: TROY V. WRIGHT
PHONE: (352) 375-8999

LANDSCAPE ARCHITECT:

KIMLEY-HORN AND ASSOCIATES, INC.
188 SOUTH ORANGE AVENUE, SUITE 1000
ORLANDO, FL 32801
CONTACT: MATT FRANKO
PHONE: (407) 427-1629
EMAIL: MATT.FRANKO@KIMLEY-HORN.COM



JAROD C. STUBBS, P.E.
FL P.E. # 10814
05/24/2022

Digitally signed
by Jarod C. Stubbs
Date: 2022.05.04
08:52:04-0700

PREPARED BY
Kimley»Horn
180 S. COLLEGE AVE., SUITE 1000, TAMPA, FL 33604
PHONE: 407-698-1311
WWW.KIMLEY-HORN.COM REGISTRY NO. 33198

DATE	REVISION
MAY 4, 2022	ISSUE FOR PERMIT
KIMLEY-HORN AND ASSOCIATES, INC.	
PROJECT NO. 14300010	
CIRCLE K - US HWY 90 & I-75 FUEL EXPANSION	

FDOT GENERAL NOTES

1. MAINTENANCE OF TRAFFIC TO BE SUPERVISED BY A CERTIFIED PERSON.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT A MINIMUM OF TWO BUSINESS DAYS PRIOR TO ANY LAKE CLOSURES OR BECOMING ANY CONSTRUCTION WITHIN THE FOOT RIGHT-OF-WAY.
3. ALL WORK PERFORMED WITHIN THE FOOT RIGHT OF WAY SHALL BE IN ACCORDANCE WITH THE 172001-22 OR CURRENT EDITION OF FOOT STANDARD PRACTICE.
4. CONTRACTOR DETERMINES THAT AS-BUILT CONDITIONS VARY SIGNIFICANTLY FROM THE APPROVED PLANS, THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT WITHIN 24 HOURS OF THE DISCOVERY OF SUCH A VARIATION. THE CONTRACTOR SHALL PROVIDE FOR THE REPAIR OF ANY DAMAGE TO FOOT FACILITIES CAUSED BY CONSTRUCTION OF THE PROJECT.
5. IT WILL BE THE RESPONSIBILITY OF THE PERMITTEE TO REPAIR ANY DAMAGE TO FOOT FACILITIES CAUSED BY CONSTRUCTION OF THE PROJECT.
6. TEST RESULTS OF ANY TESTS TAKEN FOR OR DURING CONSTRUCTION OF THE PERMITTED WORK SHALL BE PROVIDED TO THE FOOT UTILITIES DEPARTMENT.
7. ALL CONSTRUCTION SHALL BE COMPLETED AT THE EARLIEST TIME IN GOOD WEATHER, SO AS TO PRODUCE A SURFACE FINISH THAT IS FREE OF SURFACES, DISCREPANCIES, UNEVENNESS, POLES, SURFACE IRREGULARITIES, AND OTHER DEFECTS.
8. ALL CONCRETE SHALL BE AN APPROVED FOOT MIX DESIGN OF 3000 PSI MINIMUM.
9. ALL MATERIALS INSTALLED WITHIN FOOT RIGHT-OF-WAY SHALL BE LIMITED TO THOSE ON THE FOOT'S QUALIFIED PRODUCTS LIST OR APPROVED PRODUCT LIST OF TRAFFIC CONTROL SIGNALS AND DEVICES.
10. THE PERMITTEE SHALL CONTACT THE CITY OF LAKE CITY TRAFFIC DEPT. (386) 748-5400.
11. ALL CONSTRUCTION IN THE FOOT ROW SHALL CONFORM TO THE LATEST EDITIONS OF THE FOOT DESIGN STANDARDS, THE FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE FOOT UTILITY ACCOMMODATION MANUAL.
12. ALL DISTURBED AREAS IN FOOT ROW SHALL BE RESTORED.
13. ALL WORK PERFORMED WITHIN THE FOOT RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOOT DESIGN STANDARDS, THE LATEST EDITION OF THE SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE FOOT UTILITY ACCOMMODATION MANUAL.
14. PLEASE NOTIFY JACKSONVILLE OPERATIONS TWO BUSINESS DAYS BEFORE BECOMING WORK @ (904) 308-7500.

SANITARY SYSTEM

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF LAKE CITY STANDARDS AND ALL APPLICABLE FLORIDA AND FEDERAL REGULATIONS AND SPECIFICATIONS. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CITY OF LAKE CITY STANDARDS AND ALL APPLICABLE FLORIDA AND FEDERAL REGULATIONS AND SPECIFICATIONS.
2. ALL GRANTY SERVICES MUST BE DONE IN ACCORDANCE WITH THE CITY OF LAKE CITY STANDARDS AND ALL APPLICABLE FLORIDA AND FEDERAL REGULATIONS AND SPECIFICATIONS.
3. ALL GRAVITY SERVICES SHALL BE DONE IN ACCORDANCE WITH THE CITY OF LAKE CITY STANDARDS AND ALL APPLICABLE FLORIDA AND FEDERAL REGULATIONS AND SPECIFICATIONS.
4. ALL GRAVITY SERVICES SHALL BE DONE IN ACCORDANCE WITH THE CITY OF LAKE CITY STANDARDS AND ALL APPLICABLE FLORIDA AND FEDERAL REGULATIONS AND SPECIFICATIONS.
5. WORK TO COMBATING WORK WHICH REQUIRES CONNECTING PROPOSED FACILITIES TO EXISTING LINES OR APPURTENANCES. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATIONS OF EXISTING CONNECTION POINT(S) AND NOTIFY THE OWNER'S ENGINEER OF ANY CONTACTS OR INTERFERENCES.

SANITARY TESTING AND INSPECTION

1. ALL GRAVITY SEWER PIPING SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER AND APPLICABLE MUNICIPALITY/AGENCY. THE CONTRACTOR SHALL NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTIONS. THE CONTRACTOR SHALL PROVIDE ACCESS TO ALL CONNECTIONS OF THE PIPING TO THE ENGINEER, THE OWNER AND THE APPLICABLE MUNICIPALITY/AGENCY.
2. THE CONTRACTOR SHALL PERFORM AN INFLATION/DEFINITION TEST OF ALL GRAVITY SEWERS IN ACCORDANCE WITH THE CITY OF LAKE CITY STANDARDS AND ALL APPLICABLE FLORIDA AND FEDERAL REGULATIONS AND SPECIFICATIONS.
3. ALL GRAVITY SEWERS SHALL BE INSTALLED TO A MINIMUM OF 12" DRAINAGE WITHIN THE CITY OF LAKE CITY STANDARDS AND ALL APPLICABLE FLORIDA AND FEDERAL REGULATIONS AND SPECIFICATIONS.
4. ALL GRAVITY SEWERS SHALL BE INSTALLED TO A MINIMUM OF 12" DRAINAGE WITHIN THE CITY OF LAKE CITY STANDARDS AND ALL APPLICABLE FLORIDA AND FEDERAL REGULATIONS AND SPECIFICATIONS.
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POTABLE WATER SYSTEM

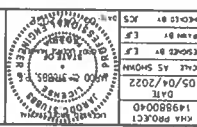
1. ALL POTABLE WATER PIPING SHALL BE CLASS 50 OR HIGHER, PER THE CITY OF LAKE CITY STANDARDS AND ALL APPLICABLE FLORIDA AND FEDERAL REGULATIONS AND SPECIFICATIONS.
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POTABLE WATER TESTING AND INSPECTION

1. ALL COMPONENTS OF THE WATER SYSTEM INCLUDING FITTINGS, HYDRAULIC CONNECTIONS, AND VALVES SHALL BE PROPERLY TESTED AND ACCEPTED BY THE OWNER'S ENGINEER. PRESSURE TESTS TO BE IN ACCORDANCE WITH POLK COUNTY STANDARDS AND ALL APPLICABLE FLORIDA AND FEDERAL REGULATIONS AND SPECIFICATIONS.
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NO.	REVISIONS	DATE

Kimley-Horn
 181 E. CHANCE AVENUE, SUITE 1000, GAINESVILLE, FL 32601
 WWW.KIMLEY-HORN.COM REGISTERED PROFESSIONAL ENGINEERS



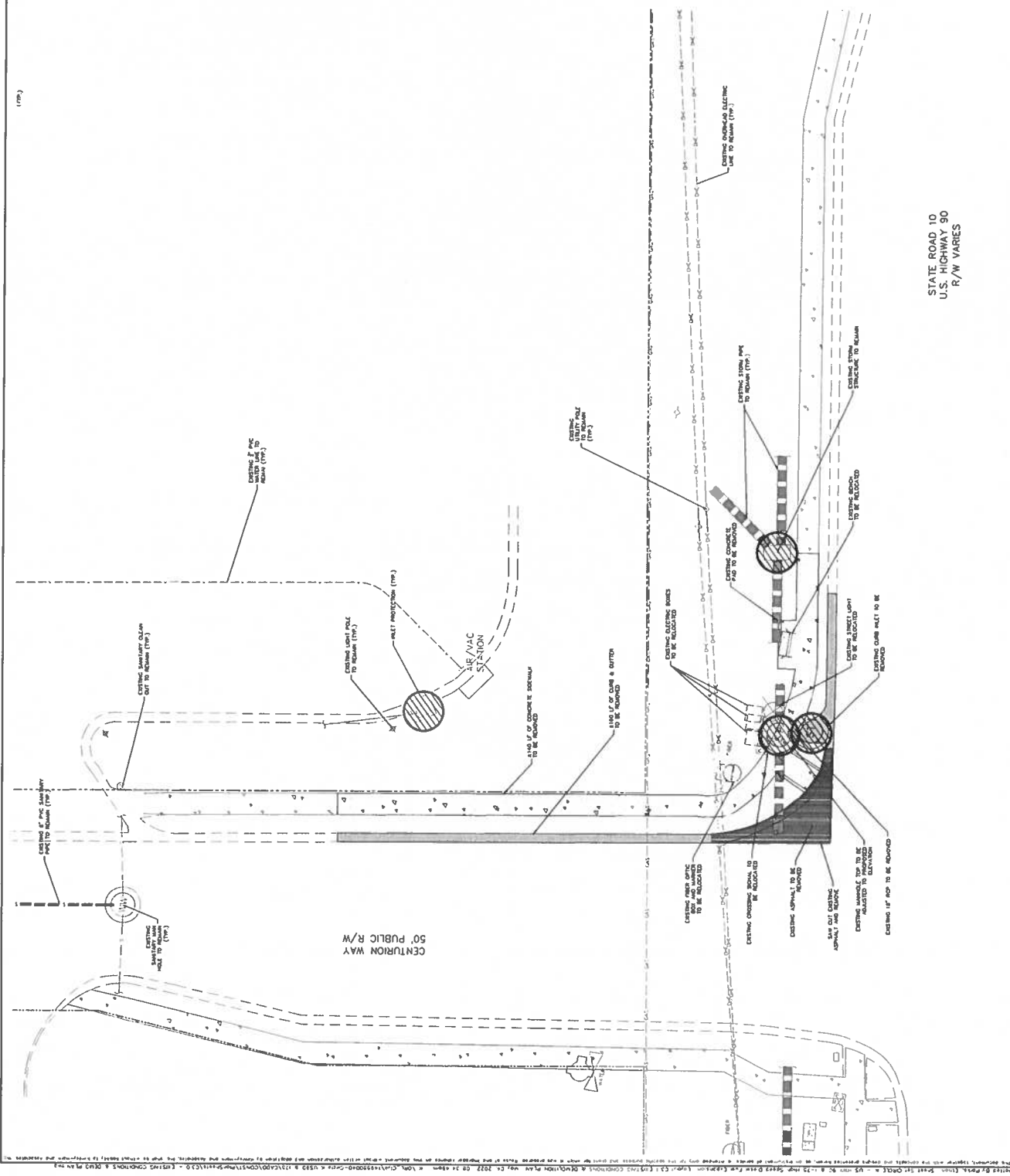
EXISTING CONDITIONS & DEMOLITION PLAN

DATE: 05/04/2022
 SCALE: AS SHOWN
 SHEET: 98 OF 100
 PROJECT: 2022-0001

CIRCLE K - US HWY EXPANSION
 90 & I-75 FUEL
 CITY OF LAKE CITY, FLORIDA



- NOTES:**
1. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DEMOLITION REQUIREMENTS OF ELECTRICAL SYSTEMS.
 2. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DEMOLITION REQUIREMENTS OF ELECTRICAL SYSTEMS.
 3. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DEMOLITION REQUIREMENTS OF ELECTRICAL SYSTEMS.
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 9. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DEMOLITION REQUIREMENTS OF ELECTRICAL SYSTEMS.
 10. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DEMOLITION REQUIREMENTS OF ELECTRICAL SYSTEMS.
 11. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DEMOLITION REQUIREMENTS OF ELECTRICAL SYSTEMS.
 12. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DEMOLITION REQUIREMENTS OF ELECTRICAL SYSTEMS.
 13. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DEMOLITION REQUIREMENTS OF ELECTRICAL SYSTEMS.



GRAPHIC SCALE IN FEET: 0, 5, 10, 20

STATE ROAD 10 U.S. HIGHWAY 90 R/W VARIES

NO	REVISIONS	DATE

Kimley»Horn
 183 S GARDNER STREET, SUITE 1000, ORLANDO, FL 32801
 PH: 407-248-1511 FAX: 407-248-1512
 www.kimley-horn.com REGISTRATION NO. 20108



OVERALL SITE PLAN
 DATE: 05/04/2022
 SHEET: AS 5/04/2022
 DESIGNED BY: JF
 DRAWN BY: JF
 CHECKED BY: JF
 PLOT SCALE: 1/8" = 1'-0"

**CIRCLE K - US HWY
 90 & I-75 FUEL
 EXPANSION**
 CITY OF LAKE CITY
 FLORIDA

SCALE: 1/8" = 1'-0"
 SHEET NUMBER: **C4.0**

NOTES:

- ALL CURB DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
- REFER TO ARCHITECTURAL PLANS FOR PROPOSED SIGN CAN LOCATIONS AND DIMENSIONS.
- SEE SIGN CAN FOR SIGN DIMENSIONS.
- ALL PROPOSED SIGN CAN DIMENSIONS SHALL BE APPROVED BY THE CITY ENGINEER BEFORE CONSTRUCTION.
- REFER TO ARCHITECTURAL PLANS FOR PROPOSED SIGN CAN LOCATIONS AND DIMENSIONS.
- ALL PROPOSED SIGN CAN DIMENSIONS SHALL BE APPROVED BY THE CITY ENGINEER BEFORE CONSTRUCTION.
- REFER TO ARCHITECTURAL PLANS FOR LIGHTING AND ELECTRICAL PLANS.
- ALL SIGNAGE AND PAVEMENT MARKINGS SHALL MEET STATE AND FEDERAL REQUIREMENTS.
- ALL SIGNAGE SHALL MEET THE REQUIREMENTS OF CITY OF LAKE CITY LAND DEVELOPMENT CODE, CHAPTER 7, SEC. 700.

PROPERTY USE (TYPE)

PROPOSED ADJACENT PAVEMENT (SEE DETAIL SHEET C2.0)	15 FT
PROPOSED ASPHALT PAVEMENT (SEE DETAIL SHEET C2.0)	15 FT
PROPOSED CONCRETE SIDEWALK (SEE DETAIL SHEET C2.0)	15 FT
PROPOSED MEDIAN DUTY CONCRETE (SEE DETAIL SHEET C2.0)	15 FT
PROPOSED ASPHALT PAVEMENT (SEE DETAIL SHEET C2.0)	15 FT

LANDSCAPE SETTINGS

PROPOSED	30 FT
REQUIRED	30 FT
PROPOSED	30 FT
REQUIRED	30 FT
PROPOSED	30 FT
REQUIRED	30 FT

LEGEND

- PROPOSED ADJACENT PAVEMENT (SEE DETAIL SHEET C2.0)
- PROPOSED ASPHALT PAVEMENT (SEE DETAIL SHEET C2.0)
- PROPOSED CONCRETE SIDEWALK (SEE DETAIL SHEET C2.0)
- PROPOSED MEDIAN DUTY CONCRETE (SEE DETAIL SHEET C2.0)
- PROPOSED ASPHALT PAVEMENT (SEE DETAIL SHEET C2.0)

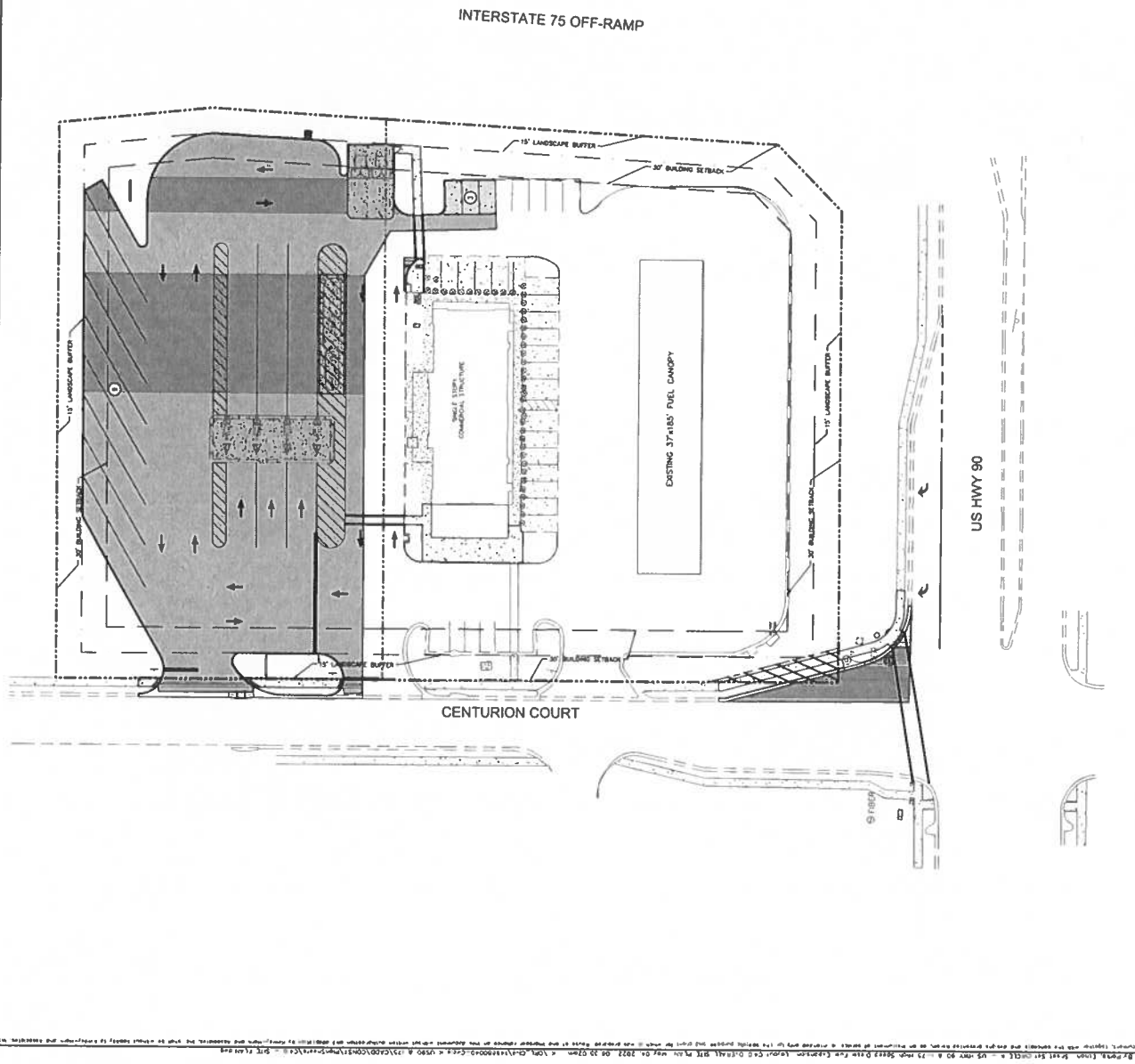
EXISTING 37'x185' FUEL CANOPY

CENTURION COURT

US HWY 90

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VERTICAL ALIGNMENT AND GRADE ARE APPROVED TO THE FACE OF THE CURB OF THE ROADWAY. THE RESULT OF THIS REVIEW IS THE RESULT OF THE DESIGN AND CONSTRUCTION OF THE ROADWAY. THE CITY OF LAKE CITY IS NOT RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE ROADWAY.

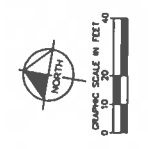


SITE PLAN

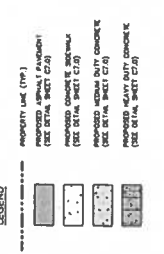


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 189 S ORANGE AVENUE, SUITE 1000, ORLANDO, FL 32801
 PHONE: 407-885-1511
 WWW.KIMLEY-HORN.COM REGISTRATION NO. 33106

NO.	REVISIONS	DATE

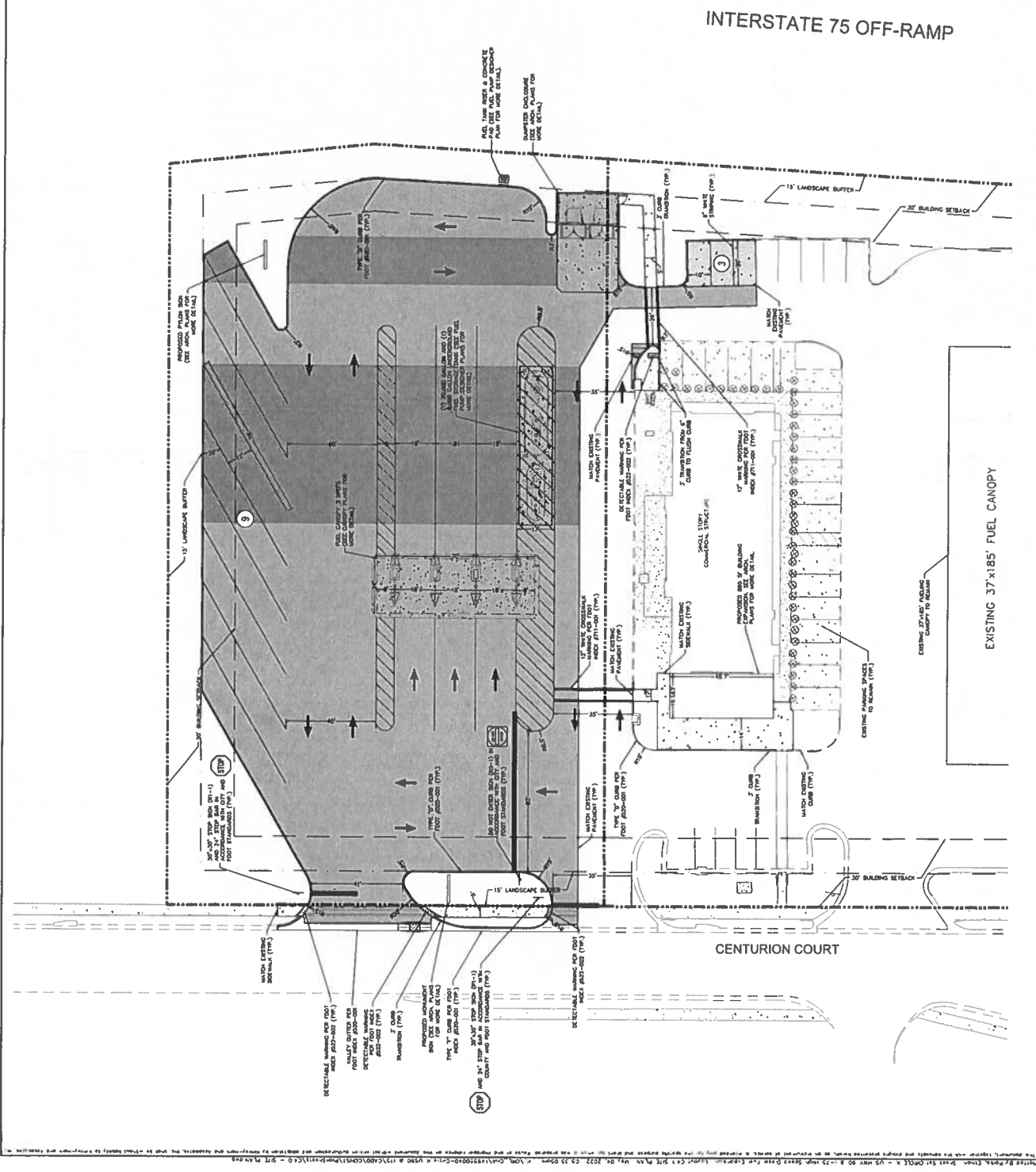


- NOTES:**
- ALL CURB DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
 - REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
 - SEE ALL PLANS FOR FINISHES AND DETAILS.
 - SEE ALL PLANS FOR ELECTRICAL FINISHES.
 - ALL PROPOSED DRIVE STRINGS AND PARALLEL MARKINGS SHALL BE AWAY FROM EXISTING DRIVE STRINGS AND PARALLEL MARKINGS TO MAINTAIN CLEAR WIDTH TO ARCHITECTURAL PLANS FOR PROPOSED DRIVE CURB LOCATIONS AND WIDTH.
 - ALL DIMENSIONS TO ARCHITECTURAL PLANS SHALL BE CONSIDERED UNLESS OTHERWISE NOTED AND IN ACCORDANCE WITH FOOT SHEET 711-001.
 - ALL DIMENSIONS TO ARCHITECTURAL PLANS SHALL BE CONSIDERED UNLESS OTHERWISE NOTED AND IN ACCORDANCE WITH FOOT SHEET 711-001.
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 1-800-4-2267
 1-800-4-2267

MEDICAL DURING CONSTRUCTION:
 ALL MEDICAL OFFICES ARE REQUESTED TO ADVISE THE CITY OF LAKE CITY OF ANY CHANGES TO THEIR OPERATING HOURS DURING CONSTRUCTION OF THIS PROJECT.



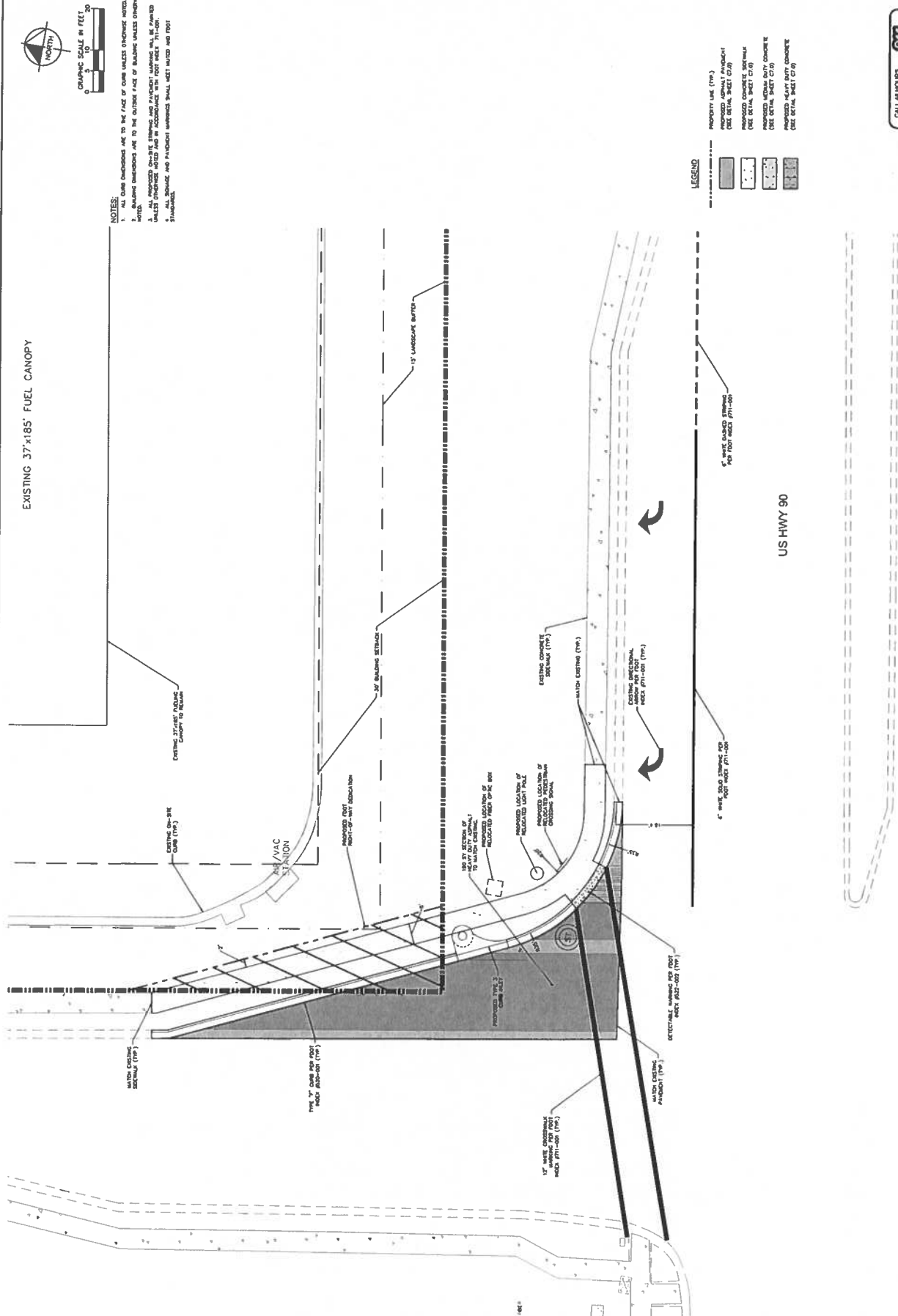
CIRCLE K - US HWY
90 & I-75 FUEL
EXPANSION

INTERSECTION
MODIFICATION PLAN

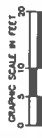
PLAN PROJECT
14890040
DATE: 05/04/2022
DESIGNED BY: E.S.
CHECKED BY: E.S.
SCALE: AS SHOWN
PROJECT NO: 2020-001

Kimley»Horn
180 S GRACE AVENUE, SUITE 1000, ORLANDO, FL 32801
PHONE: (407) 223-1511
WWW.KIMLEY-HORN.COM REGISTERED PROFESSIONAL ENGINEERS

NO.	REVISIONS	DATE



NOTES:
1. ALL CURB DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
3. ALL PROPOSED DRIVE DRIVEWAYS AND DRIVEWAYS SHALL BE PAVED WITH ASPHALT.
4. ALL DRIVEWAYS AND DRIVEWAYS SHALL BE SET BACK AND SET BACK DIMENSIONS SHALL BE AS SHOWN.



CALL ALL WORKERS BEFORE YOU DIG
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LEGEND
PROPERTY LINE (TYP.)
PROPOSED DRIVEWAY (TYP.)
PROPOSED CONCRETE DRIVEWAY (SEE DETAIL SHEET C1.2)
PROPOSED ASPHALT DRIVEWAY (SEE DETAIL SHEET C1.2)
EXISTING CONCRETE DRIVEWAY (TYP.)
EXISTING ASPHALT DRIVEWAY (TYP.)

LEGEND
PROPOSED DRIVEWAY (TYP.)
PROPOSED CONCRETE DRIVEWAY (SEE DETAIL SHEET C1.2)
PROPOSED ASPHALT DRIVEWAY (SEE DETAIL SHEET C1.2)
EXISTING CONCRETE DRIVEWAY (TYP.)
EXISTING ASPHALT DRIVEWAY (TYP.)

LEGEND
PROPOSED DRIVEWAY (TYP.)
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LEGEND
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LEGEND
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LEGEND
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LEGEND
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PROPOSED CONCRETE DRIVEWAY (SEE DETAIL SHEET C1.2)
PROPOSED ASPHALT DRIVEWAY (SEE DETAIL SHEET C1.2)
EXISTING CONCRETE DRIVEWAY (TYP.)
EXISTING ASPHALT DRIVEWAY (TYP.)

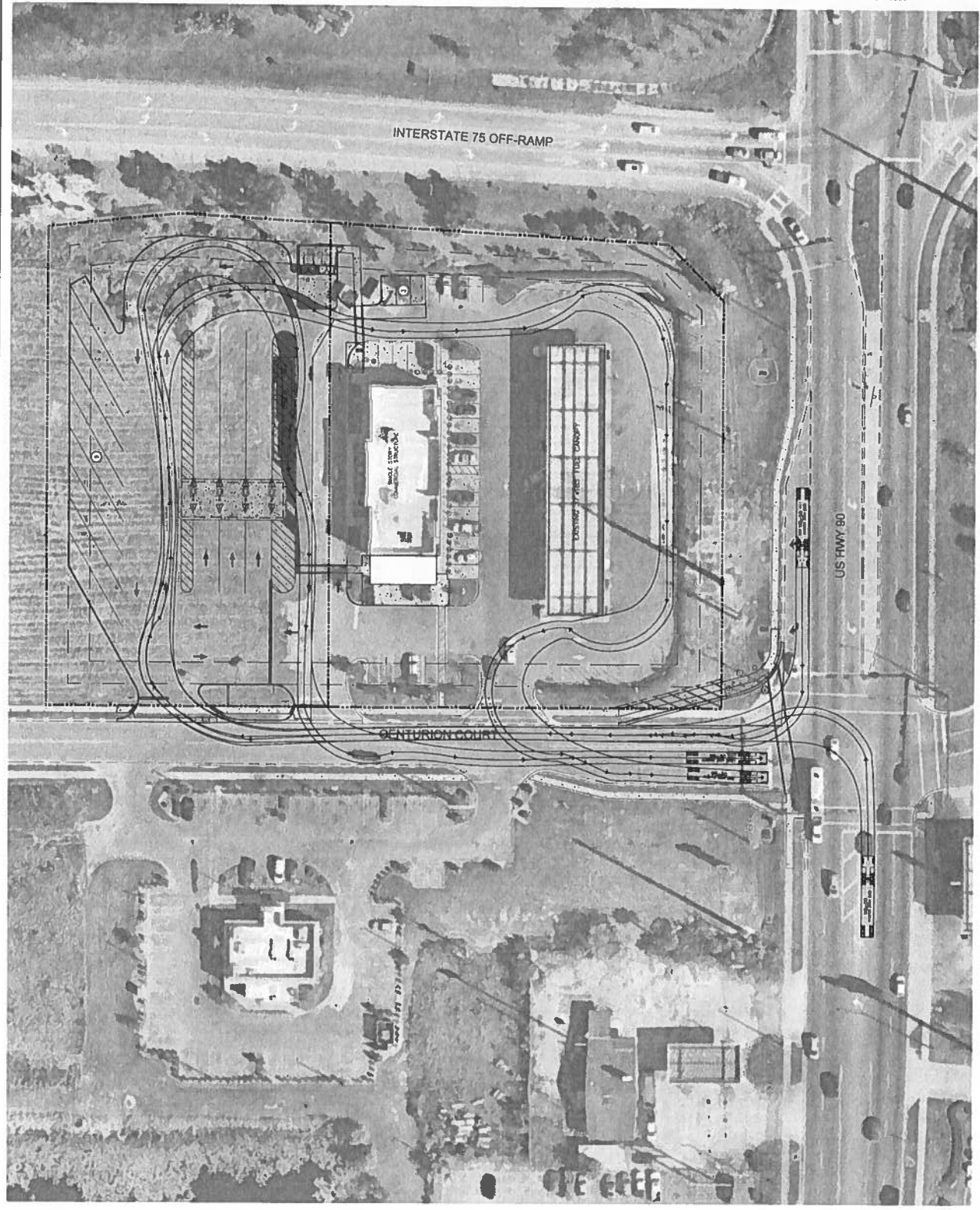
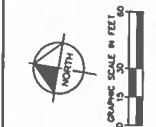
NO.	REVISIONS	DATE

Kimley»Horn
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 185 S ORANGE AVENUE, SUITE 1100, ORLANDO, FL 32801
 PHONE: 407-888-1319
 WWW.KIMLEY-HORN.COM REC-5119 FL 35104

PROJECT NUMBER: 149880040
 DATE: 05/04/2022
 SCALE AS SHOWN
 DESIGNED BY: EJP
 DRAWN BY: EJP
 CHECKED BY: JCS

TRUCK TURNING MOVEMENTS

CITY OF LAKE CITY
 EXPANSION
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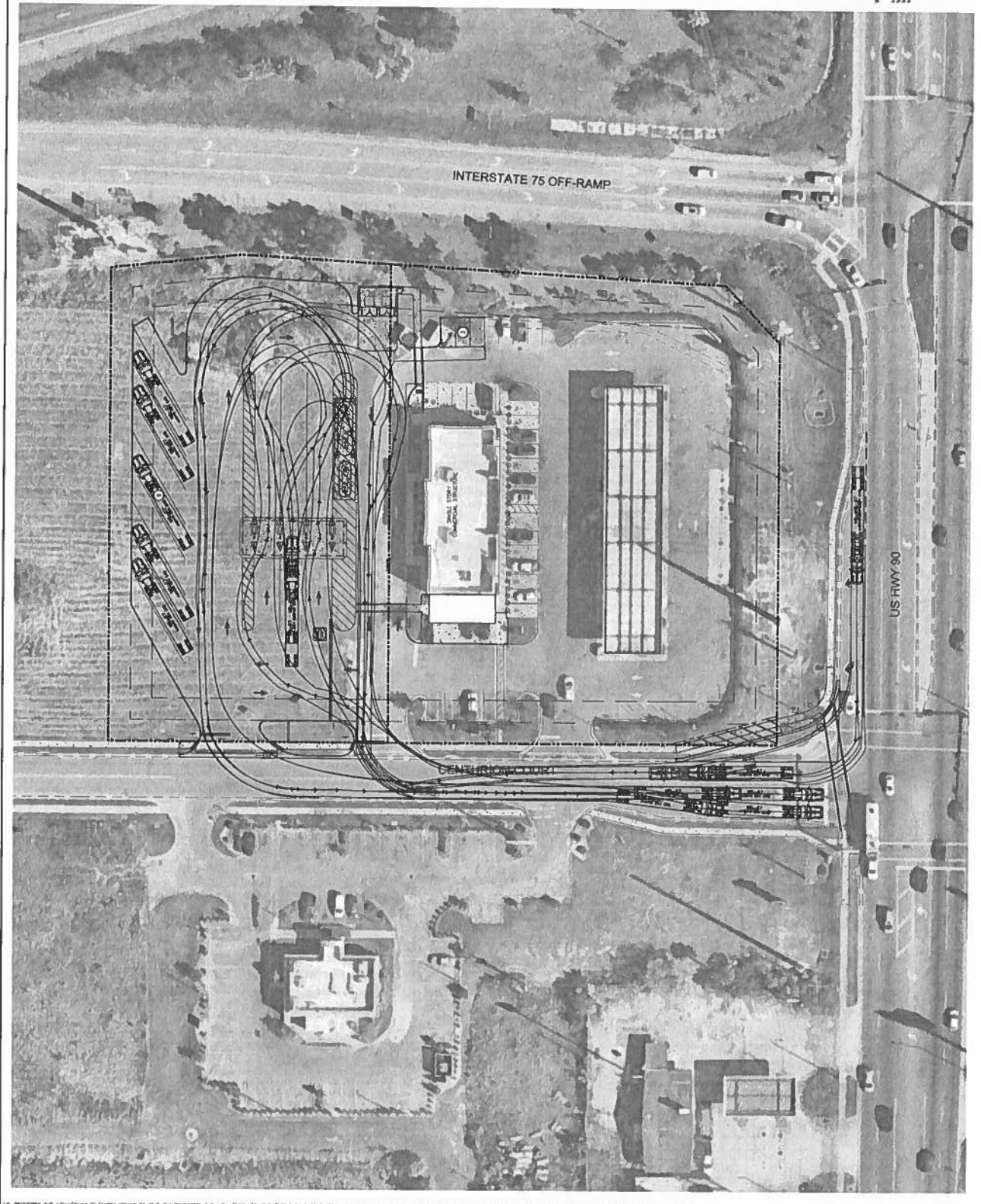
**TRUCK TURNING
MOVEMENTS**

Kimley»Horn
180 S. ORANGE AVENUE, SUITE 1000, ORLANDO, FL 32801
PH: 407-881-1111
WWW.KIMLEY-HORN.COM REGISTERED PROFESSIONAL ENGINEERS

NO.	REVISIONS	DATE

GRAPHIC SCALE IN FEET
0 10 20 30 40

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811-44-1111
WWW.CITYOFLAKECITY.COM



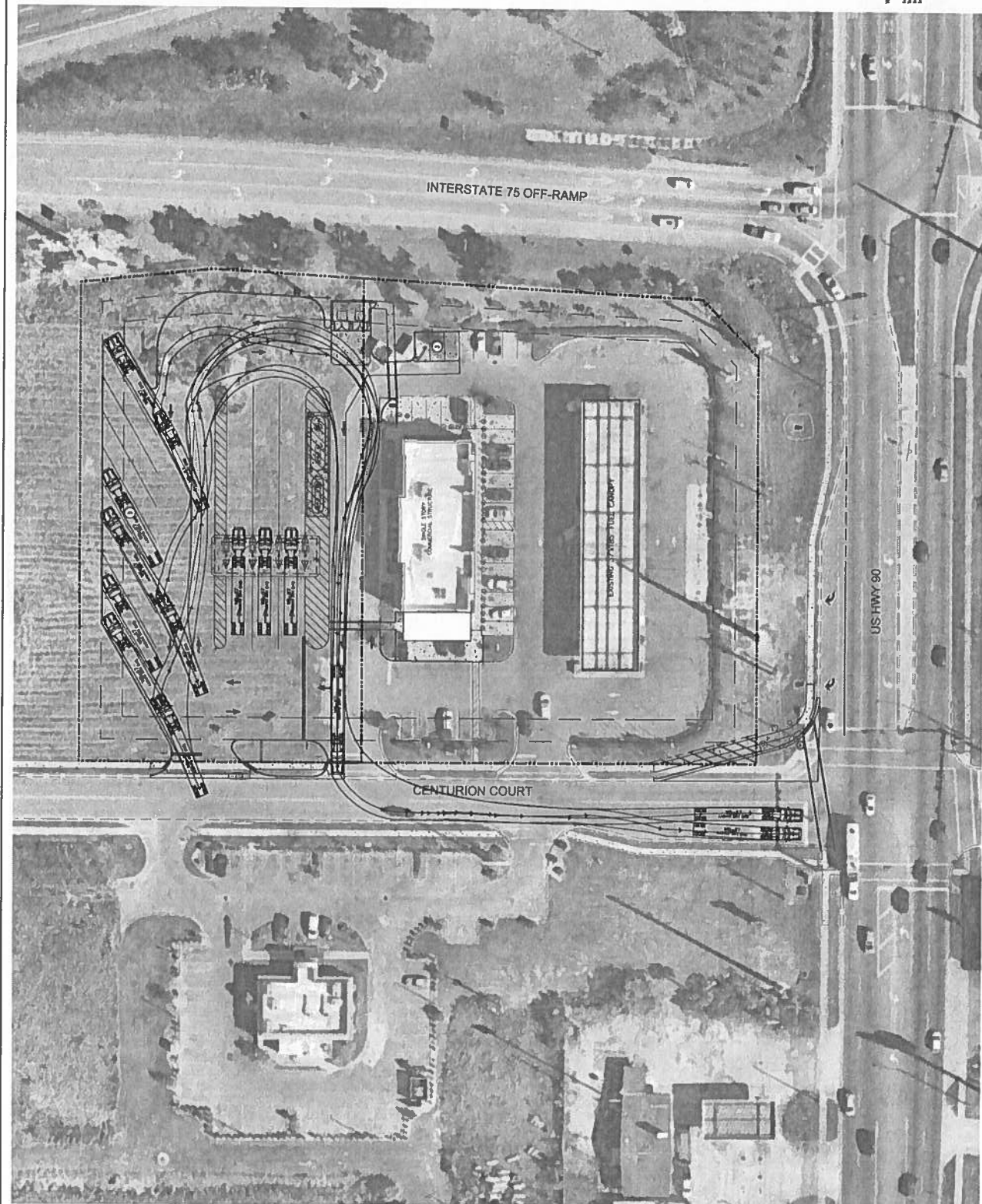
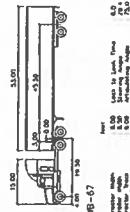
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DATE: 05/04/2022
 SCALE: AS SHOWN
 DESIGNED BY: [Signature]
 CHECKED BY: [Signature]

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 183 S ORANGE AVENUE, SUITE 1000, ORLANDO, FL 32801
 PHONE: 407-888-1211
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NO.	REVISIONS	DATE	BY

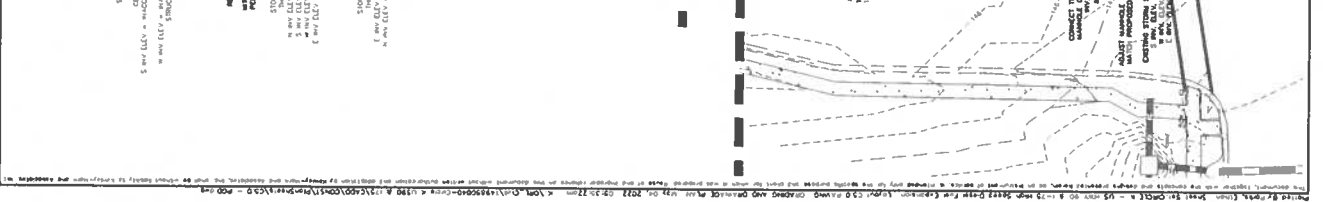
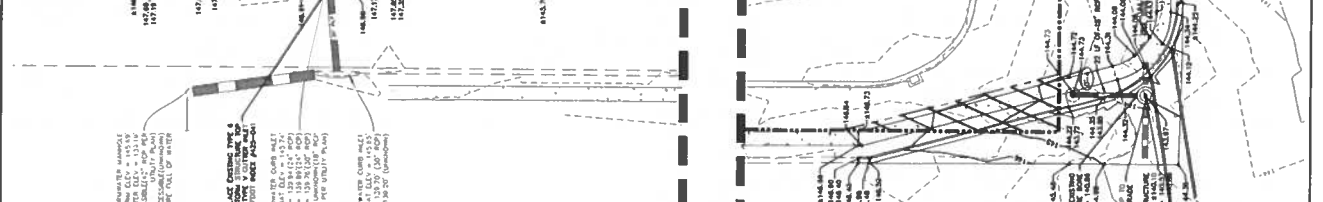
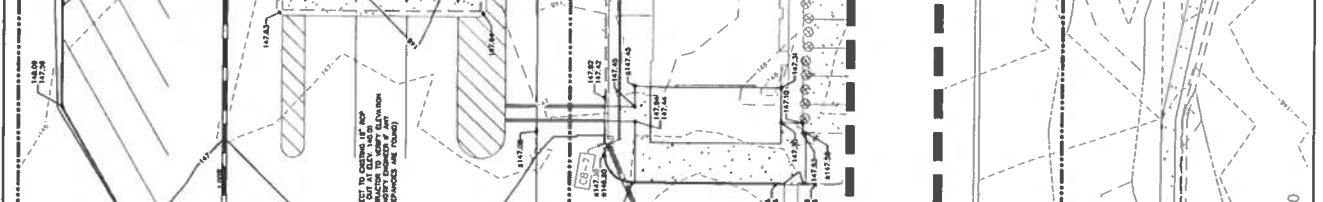
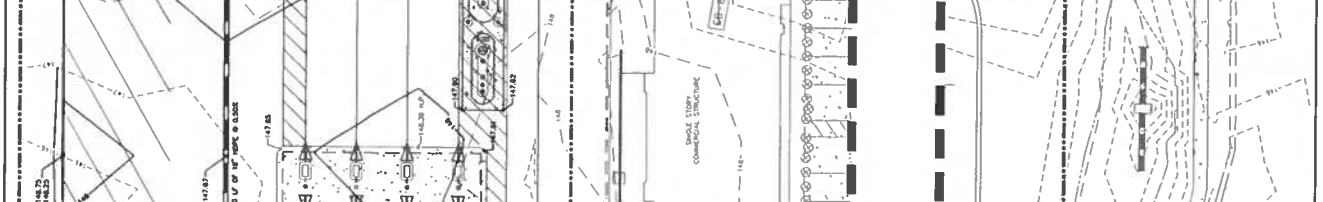
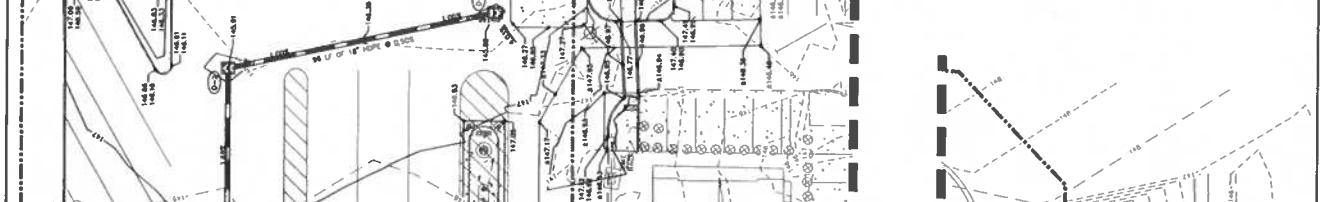
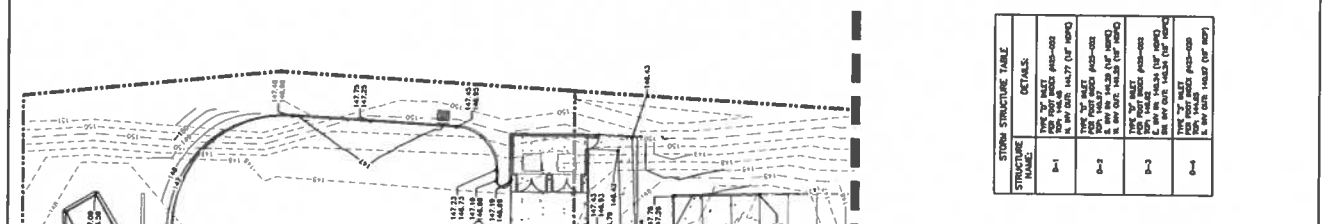
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NOTES:

- ALL STORM PIPES LABELED "NEW" SHALL BE 48" DIA. UNLESS OTHERWISE SPECIFIED.
- ALL STORM PIPES LABELED "EXISTING" SHALL BE 48" DIA. UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS AND DEPTHS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL MAINTAIN ALL EXISTING CURBS AND GUTTERS UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL MAINTAIN ALL EXISTING DRIVEWAYS UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL MAINTAIN ALL EXISTING SIDEWALKS UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL MAINTAIN ALL EXISTING BIKEWAYS UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL MAINTAIN ALL EXISTING LANDSCAPE UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL MAINTAIN ALL EXISTING TREES UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL MAINTAIN ALL EXISTING LIGHT FIXTURES UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL MAINTAIN ALL EXISTING SIGNAGE UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL MAINTAIN ALL EXISTING FENCES UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL MAINTAIN ALL EXISTING WALLS UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL MAINTAIN ALL EXISTING ROOFS UNLESS OTHERWISE SPECIFIED.



STORM STRUCTURE NAME	DETAILS
S-1	1. 48" DIA. 12' LONG 2. 18" DIA. 12' LONG 3. 12" DIA. 12' LONG 4. 6" DIA. 12' LONG
S-2	1. 48" DIA. 12' LONG 2. 18" DIA. 12' LONG 3. 12" DIA. 12' LONG 4. 6" DIA. 12' LONG
S-3	1. 48" DIA. 12' LONG 2. 18" DIA. 12' LONG 3. 12" DIA. 12' LONG 4. 6" DIA. 12' LONG
S-4	1. 48" DIA. 12' LONG 2. 18" DIA. 12' LONG 3. 12" DIA. 12' LONG 4. 6" DIA. 12' LONG

PROPERTY LINE	DETAILS
PROPOSED STORM PIPES	48" DIA. 12' LONG
PROPOSED STORM MANHOLE	18" DIA. 12' LONG
PROPOSED STORM PAVEMENT	12" DIA. 12' LONG
PROPOSED STORM CURB	6" DIA. 12' LONG
PROPOSED STORM SIDEWALK	6" DIA. 12' LONG
PROPOSED STORM DRIVEWAY	6" DIA. 12' LONG
PROPOSED STORM BIWAY	6" DIA. 12' LONG
PROPOSED STORM FENCE	6" DIA. 12' LONG
PROPOSED STORM WALL	6" DIA. 12' LONG
PROPOSED STORM ROOF	6" DIA. 12' LONG
PROPOSED STORM SIGNAGE	6" DIA. 12' LONG
PROPOSED STORM FURNITURE	6" DIA. 12' LONG
PROPOSED STORM LANDSCAPE	6" DIA. 12' LONG
PROPOSED STORM TREES	6" DIA. 12' LONG
PROPOSED STORM LIGHT FIXTURES	6" DIA. 12' LONG
PROPOSED STORM SIGNAGE	6" DIA. 12' LONG
PROPOSED STORM FENCES	6" DIA. 12' LONG
PROPOSED STORM WALLS	6" DIA. 12' LONG
PROPOSED STORM ROOFS	6" DIA. 12' LONG
PROPOSED STORM SIGNAGE	6" DIA. 12' LONG
PROPOSED STORM FURNITURE	6" DIA. 12' LONG
PROPOSED STORM LANDSCAPE	6" DIA. 12' LONG
PROPOSED STORM TREES	6" DIA. 12' LONG
PROPOSED STORM LIGHT FIXTURES	6" DIA. 12' LONG

PROPERTY LINE	DETAILS
PROPOSED STORM PIPES	48" DIA. 12' LONG
PROPOSED STORM MANHOLE	18" DIA. 12' LONG
PROPOSED STORM PAVEMENT	12" DIA. 12' LONG
PROPOSED STORM CURB	6" DIA. 12' LONG
PROPOSED STORM SIDEWALK	6" DIA. 12' LONG
PROPOSED STORM DRIVEWAY	6" DIA. 12' LONG
PROPOSED STORM BIWAY	6" DIA. 12' LONG
PROPOSED STORM FENCE	6" DIA. 12' LONG
PROPOSED STORM WALL	6" DIA. 12' LONG
PROPOSED STORM ROOF	6" DIA. 12' LONG
PROPOSED STORM SIGNAGE	6" DIA. 12' LONG
PROPOSED STORM FURNITURE	6" DIA. 12' LONG
PROPOSED STORM LANDSCAPE	6" DIA. 12' LONG
PROPOSED STORM TREES	6" DIA. 12' LONG
PROPOSED STORM LIGHT FIXTURES	6" DIA. 12' LONG

PROPERTY LINE	DETAILS
PROPOSED STORM PIPES	48" DIA. 12' LONG
PROPOSED STORM MANHOLE	18" DIA. 12' LONG
PROPOSED STORM PAVEMENT	12" DIA. 12' LONG
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PROPOSED STORM BIWAY	6" DIA. 12' LONG
PROPOSED STORM FENCE	6" DIA. 12' LONG
PROPOSED STORM WALL	6" DIA. 12' LONG
PROPOSED STORM ROOF	6" DIA. 12' LONG
PROPOSED STORM SIGNAGE	6" DIA. 12' LONG
PROPOSED STORM FURNITURE	6" DIA. 12' LONG
PROPOSED STORM LANDSCAPE	6" DIA. 12' LONG
PROPOSED STORM TREES	6" DIA. 12' LONG
PROPOSED STORM LIGHT FIXTURES	6" DIA. 12' LONG

PROPERTY LINE	DETAILS
PROPOSED STORM PIPES	48" DIA. 12' LONG
PROPOSED STORM MANHOLE	18" DIA. 12' LONG
PROPOSED STORM PAVEMENT	12" DIA. 12' LONG
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PROPOSED STORM DRIVEWAY	6" DIA. 12' LONG
PROPOSED STORM BIWAY	6" DIA. 12' LONG
PROPOSED STORM FENCE	6" DIA. 12' LONG
PROPOSED STORM WALL	6" DIA. 12' LONG
PROPOSED STORM ROOF	6" DIA. 12' LONG
PROPOSED STORM SIGNAGE	6" DIA. 12' LONG
PROPOSED STORM FURNITURE	6" DIA. 12' LONG
PROPOSED STORM LANDSCAPE	6" DIA. 12' LONG
PROPOSED STORM TREES	6" DIA. 12' LONG
PROPOSED STORM LIGHT FIXTURES	6" DIA. 12' LONG

PROPERTY LINE	DETAILS
PROPOSED STORM PIPES	48" DIA. 12' LONG
PROPOSED STORM MANHOLE	18" DIA. 12' LONG
PROPOSED STORM PAVEMENT	12" DIA. 12' LONG
PROPOSED STORM CURB	6" DIA. 12' LONG
PROPOSED STORM SIDEWALK	6" DIA. 12' LONG
PROPOSED STORM DRIVEWAY	6" DIA. 12' LONG
PROPOSED STORM BIWAY	6" DIA. 12' LONG
PROPOSED STORM FENCE	6" DIA. 12' LONG
PROPOSED STORM WALL	6" DIA. 12' LONG
PROPOSED STORM ROOF	6" DIA. 12' LONG
PROPOSED STORM SIGNAGE	6" DIA. 12' LONG
PROPOSED STORM FURNITURE	6" DIA. 12' LONG
PROPOSED STORM LANDSCAPE	6" DIA. 12' LONG
PROPOSED STORM TREES	6" DIA. 12' LONG
PROPOSED STORM LIGHT FIXTURES	6" DIA. 12' LONG

PROPERTY LINE	DETAILS
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PROPOSED STORM DRIVEWAY	6" DIA. 12' LONG
PROPOSED STORM BIWAY	6" DIA. 12' LONG
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PROPOSED STORM SIGNAGE	6" DIA. 12' LONG
PROPOSED STORM FURNITURE	6" DIA. 12' LONG
PROPOSED STORM LANDSCAPE	6" DIA. 12' LONG
PROPOSED STORM TREES	6" DIA. 12' LONG
PROPOSED STORM LIGHT FIXTURES	6" DIA. 12' LONG

811
 CALL BEFORE YOU DIG
 (813) 811-1111
 WWW.811FLORIDA.COM

VERTICAL CURVE
 ELEVATIONS ARE APPROXIMATE TO
 BE USED FOR THE LAYOUT OF
 THE CURVE.
 SEE SHEET C5.1 FOR
 THE LAYOUT OF
 THE CURVE.
 SEE SHEET C5.1 FOR
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 THE CURVE.

US HWY 90

US HWY 90

US HWY 90

US HWY 90

US HWY 90

US HWY 90

CIRCLE K - US HWY
90 & I-75 FUEL
EXPANSION
FLORIDA

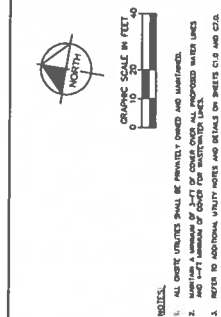
UTILITY PLAN

CITY OF LAKE CITY
SHEET NUMBER
C9.0

Kimley **Horn**
183 S Orange Avenue, Suite 1000, Orlando, FL 32801
www.kimley-horn.com
P: 407.226.1100
F: 407.226.1111
E: info@kimley-horn.com

DATE: 05/04/2022
SCALE: AS SHOWN
DESIGNED BY: EJP
CHECKED BY: EJP
PROJECT NO: 14960040
KHA PROJECT

NO.	REVISIONS	DATE

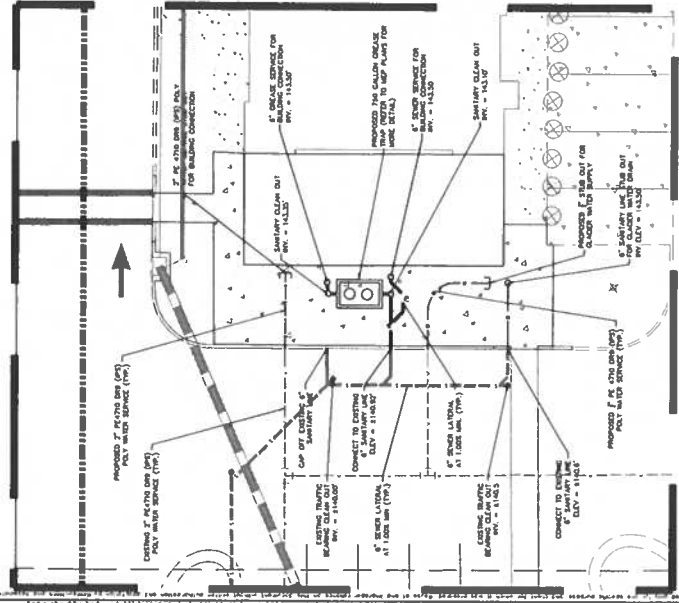
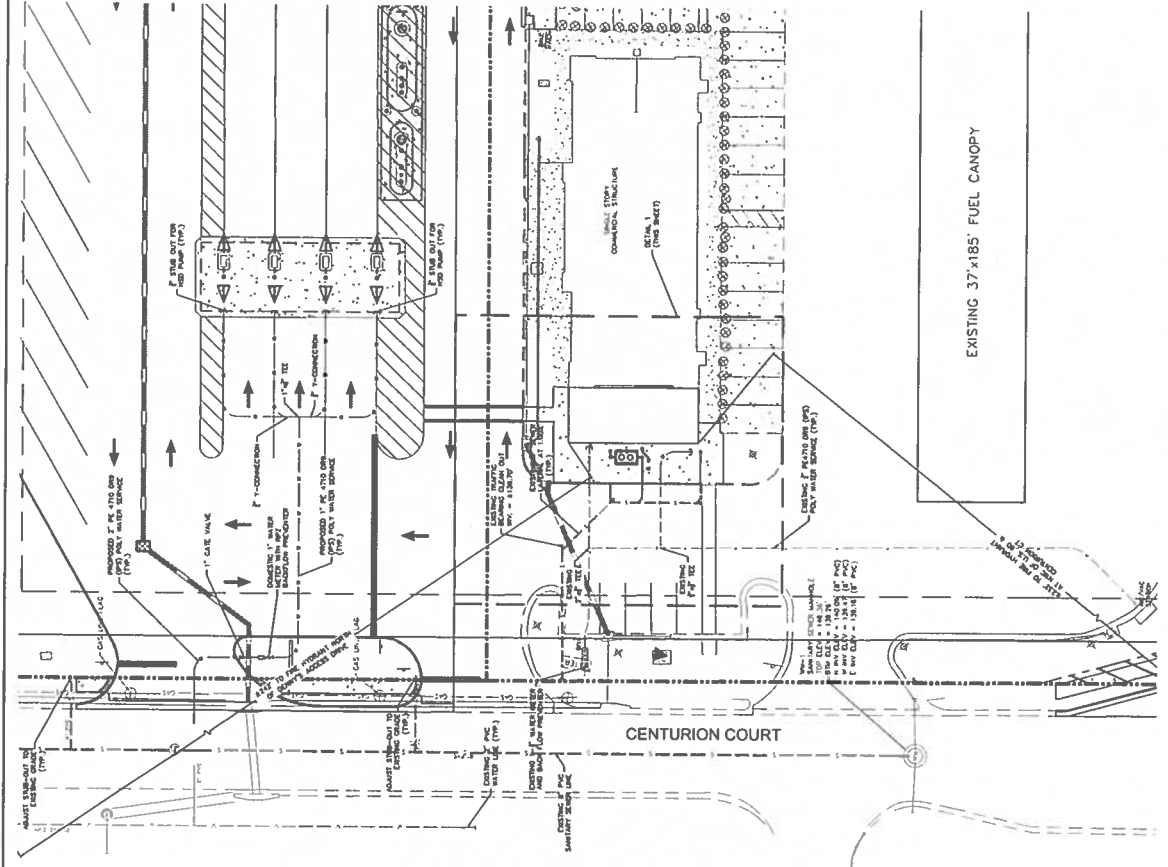


- NOTES:**
1. ALL EXIST UTILITIES SHALL BE MANUALLY OWNED AND MAINTAINED.
 2. ALL EXIST UTILITIES SHALL BE MANUALLY OWNED AND MAINTAINED.
 3. REFER TO ADDITIONAL UTILITY NOTES AND DETAILS ON SHEETS C1.6 AND C2.6.
 4. ALL WATER MAINS AND SANITARY LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FLORIDA PLUMBING AND MECHANICAL CODES AND THE CITY OF LAKE CITY ORDINANCES.
 5. EXISTING AND PROPOSED UTILITIES SHALL BE SHOWN ON THIS PLAN. THE LOCATION OF EXISTING UTILITIES SHALL BE DETERMINED BY FIELD SURVEY AND RECORD DRAWINGS. THE LOCATION OF PROPOSED UTILITIES SHALL BE DETERMINED BY FIELD SURVEY AND RECORD DRAWINGS.
 6. CONTRACTOR SHALL COORDINATE ANY CONFLICTS TO EXISTING UTILITY LOCATIONS WITH ADJACENT PROPERTY OWNERS.
 7. CONTRACTOR SHALL COORDINATE ANY CONFLICTS TO EXISTING UTILITY LOCATIONS WITH ADJACENT PROPERTY OWNERS.
 8. CONTRACTOR SHALL COORDINATE ANY CONFLICTS TO EXISTING UTILITY LOCATIONS WITH ADJACENT PROPERTY OWNERS.
 9. CONTRACTOR SHALL COORDINATE ANY CONFLICTS TO EXISTING UTILITY LOCATIONS WITH ADJACENT PROPERTY OWNERS.
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 11. CONTRACTOR SHALL COORDINATE ANY CONFLICTS TO EXISTING UTILITY LOCATIONS WITH ADJACENT PROPERTY OWNERS.
 12. CONTRACTOR SHALL COORDINATE ANY CONFLICTS TO EXISTING UTILITY LOCATIONS WITH ADJACENT PROPERTY OWNERS.
 13. CONTRACTOR SHALL COORDINATE ANY CONFLICTS TO EXISTING UTILITY LOCATIONS WITH ADJACENT PROPERTY OWNERS.
 14. SEE PLUMBING PLANS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING.
 15. CONTRACTOR SHALL COORDINATE ANY CONFLICTS TO EXISTING UTILITY LOCATIONS WITH ADJACENT PROPERTY OWNERS.
 16. CONTRACTOR SHALL COORDINATE ANY CONFLICTS TO EXISTING UTILITY LOCATIONS WITH ADJACENT PROPERTY OWNERS.
 17. CONTRACTOR SHALL COORDINATE ANY CONFLICTS TO EXISTING UTILITY LOCATIONS WITH ADJACENT PROPERTY OWNERS.
 18. CONTRACTOR SHALL COORDINATE ANY CONFLICTS TO EXISTING UTILITY LOCATIONS WITH ADJACENT PROPERTY OWNERS.
 19. CONTRACTOR SHALL COORDINATE ANY CONFLICTS TO EXISTING UTILITY LOCATIONS WITH ADJACENT PROPERTY OWNERS.
 20. CONTRACTOR SHALL COORDINATE ANY CONFLICTS TO EXISTING UTILITY LOCATIONS WITH ADJACENT PROPERTY OWNERS.

- LEGEND**
- PROPERTY BOUNDARY
 - PROPOSED STORM PIPE
 - PROPOSED SANITARY SEWER PIPE
 - EXISTING STORM PIPE
 - EXISTING SANITARY SEWER PIPE
 - EXISTING WATER PIPE
 - EXISTING GAS PIPE
 - EXISTING ELECTRICAL LINE
 - EXISTING FORCE MAIN
 - EXISTING STORM MANHOLE
 - EXISTING SANITARY SEWER MANHOLE
 - PROPOSED PIPE VERTICAL

CALL FOR UTILITY INFORMATION BEFORE YOU DIG
IT'S THE LAW
CALL 811
www.811.com

GENERAL NOTE:
DIMENSIONS ARE REFERENCED TO THE FACE OF THE WALL OF THE UTILITY UNLESS NOTED OTHERWISE.
PAGE 1 OF 3



DETAIL 1
1" = 10'

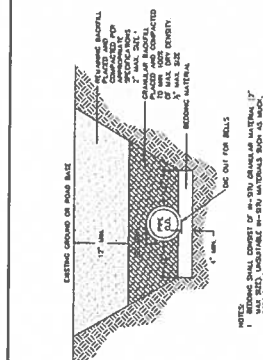
NO.	REVISIONS	DATE

Kimley»Horn
 185 S ORANGE AVENUE, SUITE 1000, ORLANDO, FL 32801
 WWW.KIMLEY-HORN.COM ESCOVER No. 33188



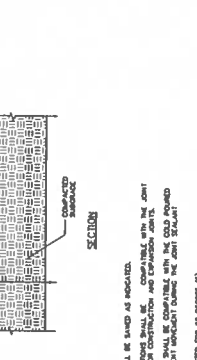
GENERAL CONSTRUCTION DETAILS

CIRCLE K - US HWY 90 & I-75 FUEL EXPANSION
 CITY OF LAKE CITY, FLORIDA
 PROJECT NUMBER: 14989040
 SHEET NUMBER: 17.0



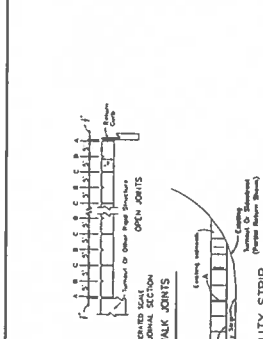
TRENCH WITHOUT INFILTRATION
 NOT TO SCALE

1. THE TRENCH SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" DIA. CONCRETE CURB ON ONE SIDE.
2. THE TRENCH SHALL BE FULLY SUPPORTED FOR ITS ENTIRE LENGTH WITH APPROPRIATE CONSTRUCTION METHODS THE PERMANENT.
3. THE PIPE SHALL BE PLACED IN A DIRT BEDDING.
4. ALL WORK SHALL CONFORM TO STATE OF FLORIDA REVISION 15-1.
5. CONTACT TO BE MADE TO THE LOCAL UTILITY AGENCIES TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES.



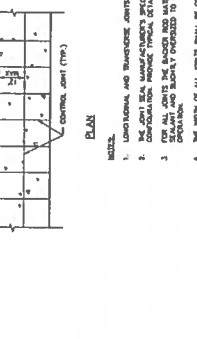
TRENCH WITH INFILTRATION
 NOT TO SCALE

1. THE TRENCH SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" DIA. CONCRETE CURB ON ONE SIDE.
2. THE TRENCH SHALL BE FULLY SUPPORTED FOR ITS ENTIRE LENGTH WITH APPROPRIATE CONSTRUCTION METHODS THE PERMANENT.
3. THE PIPE SHALL BE PLACED IN A DIRT BEDDING.
4. ALL WORK SHALL CONFORM TO STATE OF FLORIDA REVISION 15-1.
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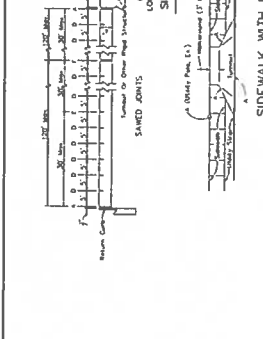
JOINT DETAIL
 ALL JOINTS SHALL BE CONSTRUCTED WITH REINFORCED JOINT PALLETS.

1. JOINT PALLETS SHALL BE CONSTRUCTED WITH REINFORCED JOINT PALLETS.
2. JOINT PALLETS SHALL BE CONSTRUCTED WITH REINFORCED JOINT PALLETS.
3. JOINT PALLETS SHALL BE CONSTRUCTED WITH REINFORCED JOINT PALLETS.
4. JOINT PALLETS SHALL BE CONSTRUCTED WITH REINFORCED JOINT PALLETS.
5. JOINT PALLETS SHALL BE CONSTRUCTED WITH REINFORCED JOINT PALLETS.



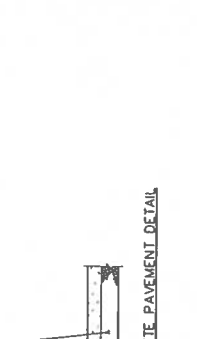
CONCRETE SIDEWALK DETAIL
 NOT TO SCALE

1. THE SIDEWALK SHALL BE CONSTRUCTED WITH A MINIMUM OF 4" THICK CONCRETE.
2. THE SIDEWALK SHALL BE CONSTRUCTED WITH A MINIMUM OF 4" THICK CONCRETE.
3. THE SIDEWALK SHALL BE CONSTRUCTED WITH A MINIMUM OF 4" THICK CONCRETE.
4. THE SIDEWALK SHALL BE CONSTRUCTED WITH A MINIMUM OF 4" THICK CONCRETE.
5. THE SIDEWALK SHALL BE CONSTRUCTED WITH A MINIMUM OF 4" THICK CONCRETE.



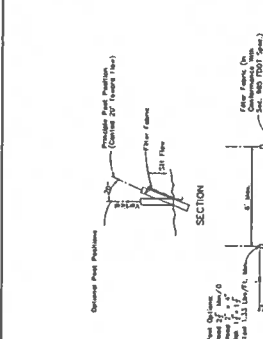
STANDARD INLET SEDIMENT CONTROL DEVICE
 NOT TO SCALE

1. THE STANDARD INLET SEDIMENT CONTROL DEVICE SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" DIA. CONCRETE CURB ON ONE SIDE.
2. THE STANDARD INLET SEDIMENT CONTROL DEVICE SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" DIA. CONCRETE CURB ON ONE SIDE.
3. THE STANDARD INLET SEDIMENT CONTROL DEVICE SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" DIA. CONCRETE CURB ON ONE SIDE.
4. THE STANDARD INLET SEDIMENT CONTROL DEVICE SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" DIA. CONCRETE CURB ON ONE SIDE.
5. THE STANDARD INLET SEDIMENT CONTROL DEVICE SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" DIA. CONCRETE CURB ON ONE SIDE.



CONCRETE JOINTING DETAIL
 NOT TO SCALE

1. THE CONCRETE JOINTING DETAIL SHALL BE CONSTRUCTED WITH A MINIMUM OF 1/2" THICK CONCRETE.
2. THE CONCRETE JOINTING DETAIL SHALL BE CONSTRUCTED WITH A MINIMUM OF 1/2" THICK CONCRETE.
3. THE CONCRETE JOINTING DETAIL SHALL BE CONSTRUCTED WITH A MINIMUM OF 1/2" THICK CONCRETE.
4. THE CONCRETE JOINTING DETAIL SHALL BE CONSTRUCTED WITH A MINIMUM OF 1/2" THICK CONCRETE.
5. THE CONCRETE JOINTING DETAIL SHALL BE CONSTRUCTED WITH A MINIMUM OF 1/2" THICK CONCRETE.



HEAVY DUTY CONCRETE PAVEMENT DETAIL
 NOT TO SCALE

1. THE HEAVY DUTY CONCRETE PAVEMENT SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" THICK CONCRETE.
2. THE HEAVY DUTY CONCRETE PAVEMENT SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" THICK CONCRETE.
3. THE HEAVY DUTY CONCRETE PAVEMENT SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" THICK CONCRETE.
4. THE HEAVY DUTY CONCRETE PAVEMENT SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" THICK CONCRETE.
5. THE HEAVY DUTY CONCRETE PAVEMENT SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" THICK CONCRETE.



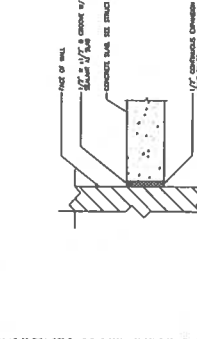
MEDIUM DUTY CONCRETE PAVEMENT DETAIL
 NOT TO SCALE

1. THE MEDIUM DUTY CONCRETE PAVEMENT SHALL BE CONSTRUCTED WITH A MINIMUM OF 8" THICK CONCRETE.
2. THE MEDIUM DUTY CONCRETE PAVEMENT SHALL BE CONSTRUCTED WITH A MINIMUM OF 8" THICK CONCRETE.
3. THE MEDIUM DUTY CONCRETE PAVEMENT SHALL BE CONSTRUCTED WITH A MINIMUM OF 8" THICK CONCRETE.
4. THE MEDIUM DUTY CONCRETE PAVEMENT SHALL BE CONSTRUCTED WITH A MINIMUM OF 8" THICK CONCRETE.
5. THE MEDIUM DUTY CONCRETE PAVEMENT SHALL BE CONSTRUCTED WITH A MINIMUM OF 8" THICK CONCRETE.



CONCRETE SIDEWALK DETAIL
 NOT TO SCALE

1. THE CONCRETE SIDEWALK SHALL BE CONSTRUCTED WITH A MINIMUM OF 4" THICK CONCRETE.
2. THE CONCRETE SIDEWALK SHALL BE CONSTRUCTED WITH A MINIMUM OF 4" THICK CONCRETE.
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4. THE CONCRETE SIDEWALK SHALL BE CONSTRUCTED WITH A MINIMUM OF 4" THICK CONCRETE.
5. THE CONCRETE SIDEWALK SHALL BE CONSTRUCTED WITH A MINIMUM OF 4" THICK CONCRETE.



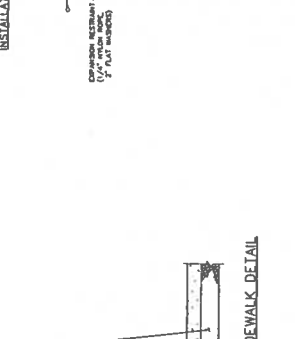
ASPHALT PAVEMENT SECTION
 NOT TO SCALE

1. THE ASPHALT PAVEMENT SHALL BE CONSTRUCTED WITH A MINIMUM OF 1.5" THICK ASPHALT.
2. THE ASPHALT PAVEMENT SHALL BE CONSTRUCTED WITH A MINIMUM OF 1.5" THICK ASPHALT.
3. THE ASPHALT PAVEMENT SHALL BE CONSTRUCTED WITH A MINIMUM OF 1.5" THICK ASPHALT.
4. THE ASPHALT PAVEMENT SHALL BE CONSTRUCTED WITH A MINIMUM OF 1.5" THICK ASPHALT.
5. THE ASPHALT PAVEMENT SHALL BE CONSTRUCTED WITH A MINIMUM OF 1.5" THICK ASPHALT.



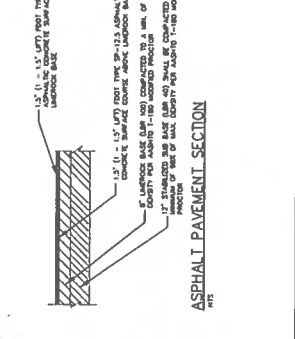
TYPICAL SLAB AT GRADE
 NOT TO SCALE

1. THE TYPICAL SLAB AT GRADE SHALL BE CONSTRUCTED WITH A MINIMUM OF 4" THICK CONCRETE.
2. THE TYPICAL SLAB AT GRADE SHALL BE CONSTRUCTED WITH A MINIMUM OF 4" THICK CONCRETE.
3. THE TYPICAL SLAB AT GRADE SHALL BE CONSTRUCTED WITH A MINIMUM OF 4" THICK CONCRETE.
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TYPICAL SLAB AT GRADE
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TYPICAL SLAB AT GRADE
 NOT TO SCALE

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3. THE TYPICAL SLAB AT GRADE SHALL BE CONSTRUCTED WITH A MINIMUM OF 4" THICK CONCRETE.
4. THE TYPICAL SLAB AT GRADE SHALL BE CONSTRUCTED WITH A MINIMUM OF 4" THICK CONCRETE.
5. THE TYPICAL SLAB AT GRADE SHALL BE CONSTRUCTED WITH A MINIMUM OF 4" THICK CONCRETE.

No.	REVISIONS	DATE

Kimley»Horn
 189 S GRACE AVENUE, SUITE 1000, ORLANDO, FL 32801
 PHONE: (407) 858-1511
 WWW.KIMLEY-HORN.COM E-MAIL: INFO@KH.COM

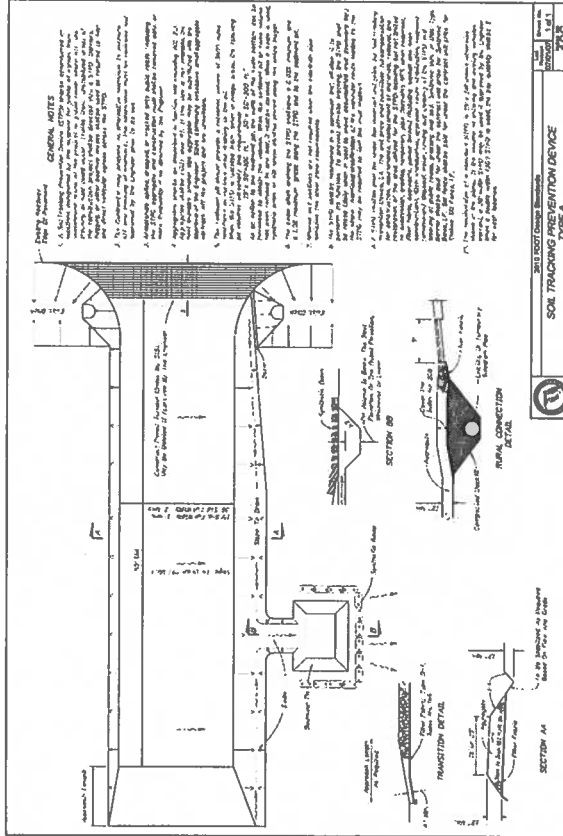


PROJECT NO. 14980040
 DATE 05/04/2023
 SCALE AS SHOWN
 DESIGNED BY E.F.
 DRAWN BY E.F.
 CHECKED BY J.S.

GENERAL CONSTRUCTION DETAILS

CIRCLE K - US HWY 90 & I-75 FUEL EXPANSION
 CITY OF LAKE CITY, FLORIDA

PROJECT NUMBER: 14980040
 SHEET NUMBER: 106
 DATE: 05/04/23



GENERAL NOTES

1. The Contractor shall provide a minimum of 12 inches of concrete for the curb and sidewalk.
2. The curb and sidewalk shall be finished with a broom texture.
3. The curb and sidewalk shall be finished with a broom texture.
4. The curb and sidewalk shall be finished with a broom texture.
5. The curb and sidewalk shall be finished with a broom texture.
6. The curb and sidewalk shall be finished with a broom texture.
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14. The curb and sidewalk shall be finished with a broom texture.
15. The curb and sidewalk shall be finished with a broom texture.
16. The curb and sidewalk shall be finished with a broom texture.
17. The curb and sidewalk shall be finished with a broom texture.
18. The curb and sidewalk shall be finished with a broom texture.
19. The curb and sidewalk shall be finished with a broom texture.
20. The curb and sidewalk shall be finished with a broom texture.

SOCK DRAIN INLET SEDIMENT FILTER TYPE A

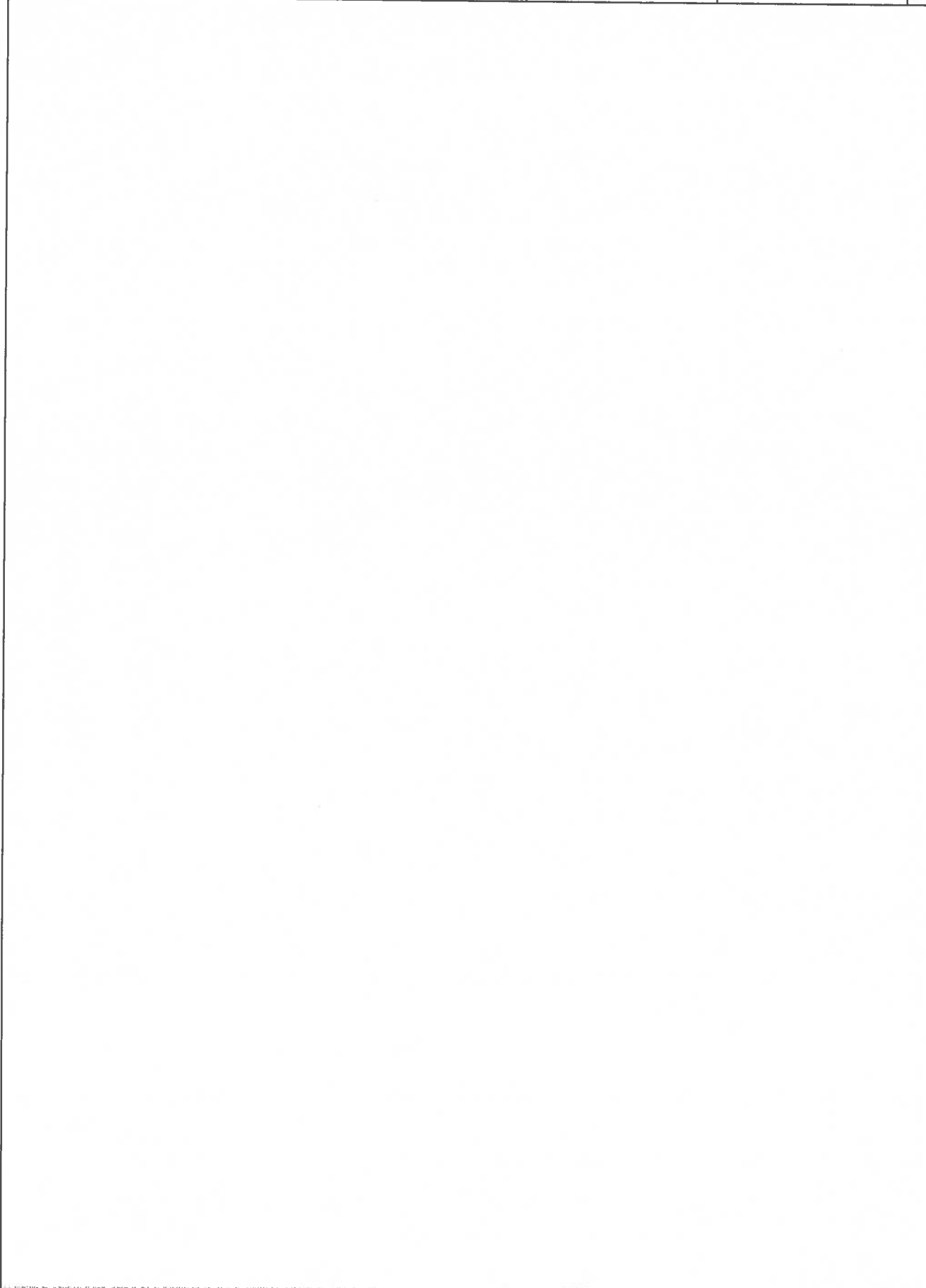
CITY OF LAKE CITY
FLORIDA
CIRCLE K - US HWY
90 & I-75 FUEL
EXPANSION

CITY OF LAKE CITY
STANDARD DETAILS

MARK PROJECT
14980040
DATE
05/04/2022
SCALE AS SHOWN
PROJECT BY: CF
DRAWN BY: CF
CHECKED BY: JCS
DATE

LEWIS HOFFSHAW
Kimley»Horn
0 2022 KIMLEY-HORN AND ASSOCIATES, INC.
189 S ORANGE AVENUE, SUITE 1000, ORLANDO, FL 32801
PHONE: 407-828-1511
WWW.KIMLEY-HORN.COM REGISTER #12,3108

No	REVISIONS	DATE	BY



STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
DRAINAGE CONNECTION PERMIT

To be completed by DOT

Drainage Connection Permit No. 2022-D-292-00004 Date 4/1/2022

Received By One-Stop Permitting System Maintenance Unit _____

State Road No. _____ Work Program Project No. _____

Section No. _____ Construction Project No. _____

Milepost _____ Station _____

Instructions for Drainage Connection Permit

Pursuant to 14-86.004(6), F.A.C. "The Drainage Connection Permit form serves as the application. Once approved by the Department, the form and supporting documents become the Drainage Connection Permit."

The applicant shall submit four completed permit packages with original signatures. Each package shall include all required attachments. All required signed and sealed plans and supporting documentation shall be submitted on no larger than (11" X 17") multipurpose paper, unless larger plan sheets are requested by the reviewer. The package will include the following items. If an item does not apply to your project, indicate "Not Applicable" or "N/A."

Included	Part	Title	Completed by:	Special Instructions
	1	Permit Information Sheet	Applicant	
	2	Certification by a Licensed Professional	Licensed Professional	Signed and Sealed
	3	Certification	Applicant	Signature
	4	Owner's Authorization of a Representative	Owner	Signature
	5	Affidavit of Ownership or Control and Statement of Contiguous Interest	Owner	Signature
	6	Permit General Conditions	FDOT	
	7	Permit Special Conditions	FDOT	
	8	As-Built Certification	Licensed Professional	Signed and Sealed – Submit within 15 working days of completion of construction
	Attachment	Legal Description		
	Attachment	Photographs of Existing Conditions		
	Attachment	Location Map		
	Attachment	Grading Plan	Licensed Professional	Signed and Sealed
	Attachment	Soil Borings		
	Attachment	Water Table / Percolation		
	Attachment	Calculations		
	Attachment	CD with Electronic Files of all Submittal Items		Scanned Images in pdf format

Note: Different Licensed Professionals may complete parts of the permit package. For example the Licensed Professional signing and sealing the as-built certification may be different from the Licensed Professional who signed and sealed the calculations for the permit package.

EXCEPTIONS: Activities that qualify for an Exception are listed in Rule 14-86, F.A.C. A permit application to the Department is NOT required. However, if you desire verification whether the work qualifies for an exception, send a completed copy of this permit package with its requested information to the applicable FDOT District Office.

Approved
 2022-D-292-00004
 Troy Register
 5/18/2022

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
DRAINAGE CONNECTION PERMIT

PART 1 – Permit Information Sheet

Select one: **Permit** **Exception**

Pursuant to 14-86.002(2), F.A.C. “Applicant means the owner of the adjacent property or the owner’s authorized representative.”

Applicant

Select one: Property Owner Owner’s Representative (Complete Part 4)

Name: JAROD STUBBS

Title and Company: Civil Engineer, KIMLEY-HORN

Address: 189 South Orange Ave Suite 1000

City: Orlando State: Florida Zip: 32801

Telephone: (407) 409-7002 ext. _____ FAX: _____ Email: jarod.stubbs@kimley-horn.com

Property Owner (If not applicant)

Name: Sammy Virani

Title and Company: N/A, Aspri Investments, LLC

Address: P.O. Box 1206

City: Kemah State: Texas Zip: 77565

Telephone: (407) 580-5173 ext. _____ FAX: _____ Email: dberry@shafferconst.com

Applicant’s Licensed Professional

Name: Jarod Stubbs Florida License Number: 89387

Title and Company: Civil Engineer, Kimley-Horn

Address: 189 South Orange Ave, Suite 1000

City: Orlando State: Florida Zip: 32801

Telephone: (407) 409-7002 ext. _____ FAX: _____ Email: jarod.stubbs@kimley-horn.com

Project Information:

Project Name: Circle K expansion

Location: SR 10

 STREET SR. NO. US HWY NO. CITY

Columbia 010

 COUNTY SECTION(S) TOWNSHIP(S) RANGE(S)

*Geographic Coordinates: Latitude (DMS.SSS): 30.1795326958566 Longitude (DMS.SSS): -82.6916771395945

Horizontal Datum: (NAD 83 / _____ Adj.)

* State Plane Coordinates: Northing 0 Easting: 0

Projection Zone: Florida North Florida East Florida West

Coordinate shall be the center of the driveway intersection with FDOT R/W, or, if there is no driveway connection, near the center of the property line nearest the state highway.

*Check with the FDOT Office for requirement.

Approved
2022-D-292-00004
Troy Register
5/18/2022

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
DRAINAGE CONNECTION PERMIT

Brief description of facility and proposed connection:

We are proposing modifications to an existing curb inlet and storm manhole located at the northeast corner of US 90 & Centurion Ct.

Briefly describe why this activity requires a Drainage Connection Permit (Include where the stormwater will discharge to FDOT right of way):

These modifications will be necessary as part of the proposed modification to the curb line and road expansion of the same location to accommodate for truck turning footprints of trucks up to WB-67.

Approved
2022-D-292-00004
Troy Register
5/18/2022

PART 2 – Certification by a Licensed Professional

In accordance with Rule 14-86, Florida Administrative Code (F.A.C.), I hereby certify that the following requirements are and/or will be met.

This project has been designed in compliance with all applicable water quality design standards as required by state governmental agencies.

14-86.004(3)(f) (F.A.C.): Certification by a Licensed Professional that the complete set of plans and computations complies with one of the following Rules Sections:

14-86.003(2)(a) (F.A.C.), or 14-86.003(2)(b) (F.A.C). (check one)

I further certify that a National Pollutant Discharge Elimination System (NPDES) permit for stormwater discharges associated with industrial activity from construction sites

is required is not required. (check one)

I am aware that there are significant penalties for submitting false information, including the possibility of fines and imprisonment.

This certification shall remain valid for any subsequent revision or submittal of plans, computation or other project documents by me.

Name of Licensed Professional: Jarod Stubbs

Florida License Number: 89387

Company Name (if applicable): Kimley-Horn

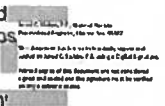
Certificate of Authorization Number (if applicable): _____

Address: 189 South Orange Ave, Suite 1000

City: Orlando State: Florida Zip: 32801

Telephone: (407) 409-7002 ext. _____ Fax: _____ Email: jarod.stubbs@kimley-horn.com

Digitally signed
by Jarod Stubbs
Date:
2022.04.01
13:41:41-04'00'



Signature of Licensed Professional

Date

(Affix Seal)

Approved
2022-D-292-00004
Troy Register
5/18/2022

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
DRAINAGE CONNECTION PERMIT

PART 3 – Certification by Applicant

I hereby certify that the information in this permit is complete and accurate to the best of my knowledge.

Digitally signed by Jarod Stubbs
Date: 2022.04.01 13:42:07-04'00'

Applicant's Signature: _____ Date: 04/01/2022

Name (Printed): JAROD STUBBS

Title and Company: Civil Engineer, KIMLEY-HORN

Address: 189 South Orange Ave, Suite 1000 Orlando, Florida 32801

Phone Number: (407) 409-7002 ext. _____ E-mail address: jarod.stubbs@kimley-horn.com

PART 4 – Owner's Authorization of a Representative

I (we), the owner, Sammy Virani, do hereby authorize the following person, or entity, as my representative:

Name (Printed): JAROD STUBBS

Title and Company: Civil Engineer, KIMLEY-HORN

Address: 189 South Orange Ave, Suite 1000 Orlando, Florida 32801

Phone Number: (407) 409-7002 ext. _____ E-mail address: jarod.stubbs@kimley-horn.com

Part 5 – Affidavit of Property Ownership or Control and Statement of Contiguous Interest

I, Sammy Virani, certify that I own or lawfully control the following described property:

The property is located on the Northeast corner of the US 90 & Centurion Ct intersection. Parcel #35-3S-16-02524-001

Does the property owner own or have any interests in any adjacent property?

No Yes If yes, please describe. _____

Owner's Signature required for Parts 4 and/or 5

We will not begin on the drainage connection until I receive the Permit and I understand all the conditions of the Permit. When work begins on the connection, I am accepting all conditions listed in the Permit.

Name (Printed): Sammy Virani

Address: P.O. Box 1206, Kemah, Texas 77565

Phone Number: (407) 580-5173 ext. _____

Signature: [Signature] Date: March 31st, 2022

Approved
2022-D-292-00004
Troy Register
5/18/2022

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
DRAINAGE CONNECTION PERMIT**PART 6 – Permit General Conditions**

1. This permit is a license for permissive use only and does not convey any property rights either in real estate or material, or any exclusive privilege and it does not authorize any injury to private property or invasion of private rights, or any infringement of Federal, State or local laws, rules or regulations; nor does it obviate the necessity of obtaining any required state or local approvals.
2. The drainage connection as authorized herein shall be constructed and thereafter maintained in accordance with the documents attached hereto and incorporated by reference herein. All work performed in the Department's right of way shall be done in accordance with the most current Department standards, specifications and the permit provisions. Such construction shall be subject to the inspection and approval of the Department, and the Department may at any time make such inspections as it deems necessary to assure that the drainage connection is in compliance with this permit.
3. The entire expense of construction within the Department right of way, including replacement of existing pavement or other existing features, shall be borne by the permittee.
4. The permittee shall maintain that portion of the drainage connection authorized herein located on permittee's property in good condition. The Department shall maintain that portion of the drainage connection authorized herein located within its right of way.
5. If the drainage connection is not constructed, operated or maintained in accordance with this permit, the permit may be suspended or revoked. In this event modification or removal of any portion of the drainage connection from the Department's right of way shall be at the permittee's expense.
6. The Department reserves the right to modify or remove the drainage connection to prevent damage or in conjunction with road improvements.
7. It is understood and agreed that the rights and privileges herein set out are granted only to the extent of the Department's right, title, and interest in the land to be entered upon and used by the permittee, and the permittee will, at all times, assume all risk of and indemnify, defend and save harmless the Department from and against any and all loss, damage, cost or expense arising in any manner on account of the exercise or attempted exercises by said permittee of these rights and privileges, regardless of the respective degrees of fault of the parties.
8. Utilities, including gas lines, may exist within the right of way. Prior to beginning work the permittee shall contact Sunshine State One Call of Florida, Inc at 811 or 800-432-4770, who will notify all utility owners near the scheduled project. The utility owners have two (2) full business days to provide locations of their respective facilities. The permittee shall be solely responsible for any damage to or conflicts with gas lines, utilities and/or third persons.
9. The permittee shall notify the Department of Transportation Maintenance Office located at _____ Phone _____ 48 hours in advance of starting any work on the drainage connection authorized by this permit and also 24 hours prior to any work within the Department's right of way. Construction of any work on the right of way shall be completed within _____ days after such notification. If such construction is not completed within _____ days after such notification, the permittee shall notify the Department of the anticipated completion date.
10. This permit shall expire if construction on the drainage connection is not begun within one year from the date of approval and if construction on the drainage connection is not completed by (Date) 5/18/2023.
11. A permittee may request an extension of the Drainage Connection Permit expiration date by filing a written request for a permit time extension. All requests for time extensions must be received by the Department 15 working days prior to the expiration date.
12. All the provisions of this permit shall be binding on any assignee or successor in interest of the permittee.

Approved
2022-D-292-00004
Troy Register
5/18/2022

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
DRAINAGE CONNECTION PERMIT

PART 7 – Permit Special Conditions – To be completed by FDOT

The above request has been reviewed and has been found to meet the regulations as prescribed in Rule 14-86, F.A.C., and is hereby approved, subject to the following special conditions:

Department of Transportation:

Signature Troy Register

Title MAINTENANCE MANAGER/PERMITS

Date 5/18/2022

Approved
2022-D-292-00004
Troy Register
5/18/2022

PART 8 – As-Built Certification

Within 15 working days of completion of construction, you must send this certification to the Department office in which you filed your DOT Drainage Permit.

1. STORM WATER FACILITY INFORMATION

Permit No.: _____

Source (Project) Name: _____

Source Location: Street _____

City: _____ County: _____

Source Owner: _____

Owner Address: _____

2. AS-BUILT CERTIFICATION

I hereby certify that this storm water facility has been built substantially in accordance with the certified design plans, and that any substantial deviations (noted below) will not prevent the facility from functioning in compliance with the requirements of Chapter 14-86 F.A.C. when properly maintained and operated. These determinations have been based upon on-site observation of construction, scheduled and conducted by me or by a project representative under my direct supervision.

Name of Licensed Professional: _____

Florida License Number: _____

Company Name (if applicable): _____

Certificate of Authorization Number (if applicable): _____

Address: _____

City: _____ State: _____ Zip: _____

Telephone: _____ Fax: _____ Email: _____

Signature of Licensed Professional

Date

(Affix Seal)

Substantial deviations from the approved plans and specifications (attach additional sheets if required).

04
Troy Register
5/18/2022

PART 2 – Certification by a Licensed Professional

In accordance with Rule 14-86, Florida Administrative Code (F.A.C.), I hereby certify that the following requirements are and/or will be met.

This project has been designed in compliance with all applicable water quality design standards as required by state governmental agencies.

14-86.004(3)(f) (F.A.C.): Certification by a Licensed Professional that the complete set of plans and computations complies with one of the following Rules Sections:

14-86.003(2)(a) (F.A.C.), or 14-86.003(2)(b) (F.A.C). (check one)

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This certification shall remain valid for any subsequent revision or submittal of plans, computation or other project documents by me.

Name of Licensed Professional: Jarod Stubbs

Florida License Number: 89387

Company Name (if applicable): Kimley-Horn

Certificate of Authorization Number (if applicable): _____

Address: 189 South Orange Ave, Suite 1000

City: Orlando State: Florida Zip: 32801

Telephone: (407) 409-7002 ext. _____ Fax: _____ Email: jarod.stubbs@kimley-horn.com

Digitally signed
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Signature of Licensed Professional

Date

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STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
DRAINAGE CONNECTION PERMIT

PART 3 – Certification by Applicant

I hereby certify that the information in this permit is complete and accurate to the best of my knowledge.

Digitally signed by Jarod Stubbs
Date: 2022.04.01
13:42:07-04'00'

Jarod S. Stubbs, P.E., State of Florida
Professional Engineer, License No. 52827
This e-signature has been electronically signed and
certified by Jarod S. Stubbs, P.E., using a digital signature
method compliant with Florida law and the federal
signed and sealed and the signature's true identity
is associated with it.

Applicant's Signature: _____ Date: 04/01/2022

Name (Printed): JAROD STUBBS

Title and Company: Civil Engineer, KIMLEY-HORN

Address: 189 South Orange Ave, Suite 1000 Orlando, Florida 32801

Phone Number: (407) 409-7002 ext. _____ E-mail address: jarod.stubbs@kimley-horn.com

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Title and Company: Civil Engineer, KIMLEY-HORN

Address: 189 South Orange Ave, Suite 1000 Orlando, Florida 32801

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Part 5 – Affidavit of Property Ownership or Control and Statement of Contiguous Interest

I, Sammy Virani, certify that I own or lawfully control the following described property:

The property is located on the Northeast corner of the US 90 & Centurion Ct intersection. Parcel #35-3S-16-02524-001

Does the property owner own or have any interests in any adjacent property?
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Owner's Signature required for Parts 4 and/or 5

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Name (Printed): Sammy Virani

Address: P.O. Box 1206, Kemah, Texas 77565

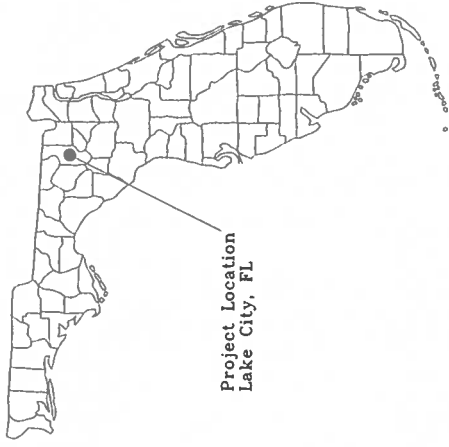
Phone Number: (407) 580-5173 ext. _____

Signature: [Signature] Date: March 31st 2022

Approved
2022-D-292-00004
Troy Register
5/18/2022

CONSTRUCTION PLANS FOR CIRCLE K - US HWY 90 & I-75 FUEL EXPANSION

143 NW CENTURION COURT
LAKE CITY, FLORIDA 32055
MAY 4, 2022
PARCEL IDS: 35-3S-16-02524-001,
35-3S-16-02524-102 AND 35-3S-16-02524-111



LEGAL DESCRIPTION

LOT 1 AND THE SOUTH 1/4 OF LOT 11 OF LAKESHORE CHURCH TRACT OF CITY, U.S. 90 & I-75 FUEL EXPANSION PROJECT, PARCELS 35-3S-16-02524-001, 35-3S-16-02524-102 AND 35-3S-16-02524-111, LAKE COUNTY, FLORIDA.



CABLE:
CONTACT: GABE
CITY OF LAKE CITY UTILITIES
LAKE CITY, FL 32055
PHONE: (813) 758-6000

TELEPHONE:
1414
823 LANSING ROAD
LAKE CITY, FL 32055
CONTACT: DIANE BERRY
PHONE: (407) 580-5173
EMAIL: DBERRY@SCHAFFERCONST.COM

GAS:
CITY OF LAKE CITY GAS/PUBLIC WORKS
1414 LANSING ROAD
LAKE CITY, FL 32055
CONTACT: DIANE BERRY
PHONE: (813) 758-6000

OWNER:
DEVELOPMENT PARTNERS LLC
2422 W. HOEGEL BOULEVARD
LAKE CITY, FL 32055
CONTACT: DIANE BERRY
PHONE: (407) 580-5173
EMAIL: DBERRY@SCHAFFERCONST.COM

DEVELOPER:
CIRCLE STORES, INC.
10000 W. WINDY HILL DRIVE
TAMPA, FL 33619
CONTACT: EDWARD GUNTA
PHONE: (407) 580-5173

CIVIL ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
143 NW CENTURION COURT
LAKE CITY, FL 32055
CONTACT: JARROD C. STUBBS, P.E.
PHONE: (407) 409-7002
EMAIL: JARROD.STUBBS@KIMLEY-HORN.COM

ARCHITECT:
ROC COLLABORATIVE
1800 W. WINDY HILL DRIVE, SUITE #110
RESTON, VA 20190
CONTACT: MEGAN LARGENT
PHONE: (703) 668-0086
FAX: (703) 668-0085

SURVEYOR:
JERRY W. GIBSON, P.E.
143 NW CENTURION COURT
LAKE CITY, FL 32055
CONTACT: TROY V. WRIGHT
PHONE: (352) 375-8899

LANDSCAPE ARCHITECT:
KIMLEY-HORN AND ASSOCIATES, INC.
143 NW CENTURION COURT, SUITE 1000
LAKE CITY, FL 32055
CONTACT: MATTHEW FRANKO
PHONE: (407) 427-1029
EMAIL: MATT.FRANKO@KIMLEY-HORN.COM

UTILITY PROVIDERS

WATERSEWER:
CITY OF LAKE CITY UTILITIES
1414 LANSING ROAD
LAKE CITY, FL 32055
CONTACT: DIANE BERRY
PHONE: (407) 580-5173

ELECTRIC:
FLORIDA POWER & LIGHT
3915 NE BARON WARRIOR DRIVE
LAKE CITY, FL 32055
CONTACT: SHANE ENBANK
PHONE: (813) 754-3020

FIBER OPTIC:
AT&T
1414 LANSING ROAD
LAKE CITY, FL 32055
CONTACT: DIANE BERRY
PHONE: (813) 758-6000

SHEET INDEX

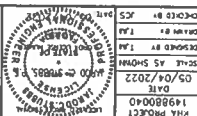
C0.0	COVER SHEET
C1.0-C1.1	GENERAL NOTES
C2.0	STORMWATER POLLUTION PREVENTION PLAN
C3.0-C3.1	EXISTING CONDITIONS & DEMOLITION PLAN
C4.0	OVERALL SITE PLAN
C4.1	SITE PLAN
C4.2	INTERSECTION MODIFICATION PLAN
C4.3-C4.5	TRUCK TURNING MOVEMENTS
C5.0	PAVING, GRADING AND DRAINAGE PLAN
C6.0	UTILITY PLAN
C7.0-C7.1	GENERAL CONSTRUCTION DETAILS
L1.00	LANDSCAPE PLAN
L1.51	LANDSCAPE DETAILS
L1.51	LANDSCAPE SPECIFICATIONS
L2.00	SCHEMATIC IRRIGATION PLAN
L2.50	IRRIGATION DETAILS
L2.51	IRRIGATION NOTES

Professional Engineer Seal for James C. Stubbs, P.E., State of Florida, License No. 14884.040. The seal includes the text 'JAMES C. STUBBS, P.E.', 'STATE OF FLORIDA', and 'LICENSE NO. 14884.040'.

Copyrighted by Jarrod Stubbs, 2022.05.04. Includes a large 'CS' logo.

PREPARED BY
Kimley»Horn
1875 S. DANFORD AVE., SUITE 1000, ORLANDO, FL 32801
PHONE: (407) 899-1311
WWW.KIMLEY-HORN.COM

GENERAL NOTES



Kimley-Horn & Associates, Inc. 115 S Orange Ave., Suite 1000, Orlando, FL 32801

Table with columns: REVISIONS, NO., DATE

DEWATERING NOTES

- 1. DURING THE DEWATERING PHASES... THE CONTRACTOR SHALL... ADVISE SPACED TO THE EXISTING WATER QUALITY.

DEMOLITION

- 1. CONTRACTOR SHALL SUBMIT DEMOLITION SCHEDULE TO OWNER PRIOR TO PROCEEDING WITH DEMOLITION ACTIVITIES.

TREES AND VEGETATION

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE AND VEGETATION AND RETENTION AND PROTECTION OF ALL TREES AND VEGETATION.

PAVEMENT MARKING AND SIGNAGE

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE AND VEGETATION AND RETENTION AND PROTECTION OF ALL TREES AND VEGETATION.

DRAINAGE SYSTEM TESTING AND INSPECTION

- 1. THE CONTRACTOR SHALL MAINTAIN AND PROTECT FROM ALL DEVICES... THE STORM DRAINAGE SYSTEM SHALL BE PROTECTED FROM ALL DEVICES...

PAVING, GRADING AND DRAINAGE

- 1. ALL PAVING SHALL BE PERFORMED IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

PAVING/GRADING TESTING AND INSPECTION

- 1. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL TESTING... THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE AND VEGETATION...

EARTHWORK/DEMOLITION PROCEDURES

- 1. A GEOTECHNICAL ENGINEERING INVESTIGATION REPORT HAS BEEN PREPARED FOR PURPOSES OF SETTING A BENCH MARK... THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE AND VEGETATION...

GENERAL

- 1. LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN... THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE AND VEGETATION...

STORM DRAINAGE SYSTEM

- 1. STORMWATER DRAINAGE SHALL BE PROVIDED IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS... THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE AND VEGETATION...

811 logo: CALL 8 HOURS BEFORE YOU DIG (727) 364-8111

STORMWATER POLLUTION PREVENTION PLAN

WTL DESCRIPTION:

PROJECT NAME AND LOCATION:
 CIRCLE K - US HWY 90 & I-75 FUEL EXPANSION
 26291-13201040000
 CITY OF LAKE CITY, FLORIDA
 *SEE COVER SHEET FOR LOCATION MAP

DEVELOPER NAME AND ADDRESS:
 SCHAFER CONSTRUCTION, LLC
 2801 NETWORK BLVD., SUITE 413
 LAKE CITY, FLORIDA 32113
 CONTACT: DAVID BERRY
 PHONE: (407) 566-5179
 EMAIL: DBERRY@SCHAFERCON.COM

PROJECT DESCRIPTION:
 THE PROJECT WILL CONSIST OF CONSTRUCTING A CIRCLE K CONVENIENCE STORE BUILDING EXPANSION WITH HIGH SPEED DIESEL FUELING STATIONS AND SEMI-TRUCK PARKING ON A PREVIOUSLY MAINTAINED SITE. THE PROJECT IS LOCATED AT THE CORNER OF US HIGHWAY 90 AND CENTENNIAL COURT IN LAKE CITY, FLORIDA.

PROJECT AREA: 3.46 ACRES
CONTRIBUTING DRAINAGE AREA: 3.46 ACRES
COORDINATES: W 87° 47' 28.7" LATITUDE N 30° 19' 51.1"

ACTIVITIES THAT REQUIRE EROSION CONTROL:

PROVIDING A STABILIZED CONSTRUCTION ENTRANCE, PERMETER, AND OTHER EROSION AND SEDIMENT CONTROL, DEMOLITION, SITE GRADING, INSTALLATION OF STORM WATER CURBS, DRIVEWAYS, AND ROADWAY FACILITIES.

*SEE PLANS FOR THE LOCATION OF TEMPORARY SEDIMENT BARRIERS AND OTHER EROSION CONTROL METHODS.

SOIL PARAMETERS:

SOIL TYPES

SOIL TYPE	PERCENTAGE	PERCENTAGE
TYPE 1	100%	100%

SEQUENCE OF MAJOR ACTIVITIES:

THE ORDER OF CONSTRUCTION IS AS FOLLOWS:

1. PROVIDE STABILIZED CONSTRUCTION ENTRANCE
2. INSTALL SIX FEET HIGH AND OTHER EROSION CONTROL METHODS
3. DEMOLITION
4. CONSTRUCTION OF PERMETER FOR SEDIMENT BASIN AND EARTH DIRT
5. CONSTRUCT EARTH DIRT AND SEDIMENT BASIN
6. FRESH GRADING AND GRUBBING
7. PROVIDE PATH GRADINGS AS REQUIRED
8. STABILIZE ALL DISTURBED AREAS AS SOON AS POSSIBLE
9. INSTALL BASE TO ROAD AND DRIVEWAY AREA
10. FRESH GRADING ENTIRE SITE
11. REMOVE ACCUMULATED SEDIMENT
12. REMOVE ANY ITEMS THAT ARE NOT REQUIRED
13. REMOVE ACCUMULATED SEDIMENT
14. REMOVE ANY ITEMS THAT ARE NOT REQUIRED

TIMING OF CONTROL MEASURES:

THE INSTALLATION OF ALL EROSION CONTROL MEASURES, INCLUDING A STABILIZED ENTRANCE AND SEDIMENT BASIN SHALL OCCUR PRIOR TO CLEARING AND GRUBBING ACTIVITY. AFTER CONSTRUCTION IS COMPLETE, THE EROSION CONTROL MEASURES SHALL BE MAINTAINED AND THE AREAS SHALL BE REGRADDED AND PERMANENTLY STABILIZED AS SHOWN ON THE PLANS.

EROSION AND SEDIMENT CONTROLS:

BEST MANAGEMENT PRACTICES SHALL BE USED FOR THIS PROJECT TO CONTROL EROSION AND SEDIMENT. THE LOCATION OF THE EROSION CONTROL MEASURES SHALL BE SHOWN ON THE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR STAKING AND MAINTAINING THESE CONTROLS THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL ALSO PROVIDE THE FOLLOWING EROSION PROTECTION AS REQUIRED BY LOCAL, STATE AND FEDERAL LAW.

STORM WATER MANAGEMENT:

THE PROJECT SHALL BE DESIGNED TO COLLECT AND STORE RUNOFF FROM THE DISTURBED AREAS. THE PROJECT SHALL BE DESIGNED TO COLLECT AND STORE RUNOFF FROM THE DISTURBED AREAS. THE PROJECT SHALL BE DESIGNED TO COLLECT AND STORE RUNOFF FROM THE DISTURBED AREAS. THE PROJECT SHALL BE DESIGNED TO COLLECT AND STORE RUNOFF FROM THE DISTURBED AREAS.

TEMPORARY STABILIZATION - TOPSOIL STOCK PILES AND DISTURBED PORTIONS OF THE SITE: THE CONTRACTOR SHALL MAINTAIN THE STOCK PILES AND DISTURBED PORTIONS OF THE SITE. THE CONTRACTOR SHALL MAINTAIN THE STOCK PILES AND DISTURBED PORTIONS OF THE SITE. THE CONTRACTOR SHALL MAINTAIN THE STOCK PILES AND DISTURBED PORTIONS OF THE SITE.

PERMANENT STABILIZATION - DISTURBED PORTIONS OF THE SITE: THE CONTRACTOR SHALL MAINTAIN THE PERMANENT STABILIZATION OF THE SITE. THE CONTRACTOR SHALL MAINTAIN THE PERMANENT STABILIZATION OF THE SITE. THE CONTRACTOR SHALL MAINTAIN THE PERMANENT STABILIZATION OF THE SITE.

STRUCTURAL OBJECTIVES:

THE CONTRACTOR SHALL MAINTAIN THE STRUCTURAL OBJECTIVES OF THE PROJECT. THE CONTRACTOR SHALL MAINTAIN THE STRUCTURAL OBJECTIVES OF THE PROJECT. THE CONTRACTOR SHALL MAINTAIN THE STRUCTURAL OBJECTIVES OF THE PROJECT.

SEDIMENT BASIN - A SEDIMENT BASIN SHALL BE CONSTRUCTED IN THE COMMON AREA OF THE PROJECT. THE SEDIMENT BASIN SHALL BE CONSTRUCTED IN THE COMMON AREA OF THE PROJECT. THE SEDIMENT BASIN SHALL BE CONSTRUCTED IN THE COMMON AREA OF THE PROJECT.

WASTE DISPOSAL: ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN A METAL DRUMMER WITH A SECURE LID IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS. THE CONTRACTOR SHALL MAINTAIN THE WASTE DISPOSAL AREA. THE CONTRACTOR SHALL MAINTAIN THE WASTE DISPOSAL AREA. THE CONTRACTOR SHALL MAINTAIN THE WASTE DISPOSAL AREA.

HAZARDOUS WASTE: HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS OR AS DIRECTED BY THE MANUFACTURER. THE SUPERINTENDENT SHALL ORGANIZE THE PROPER DISPOSAL OF HAZARDOUS WASTE MATERIALS. THESE PROCEDURES SHALL BE POSTED ON THE SITE. THE PERSON WHO MANAGES THE SITE SHALL BE RESPONSIBLE FOR ENFORCING THE PROCEDURES.

SANITARY WASTE: SANITARY WASTE SHALL BE COLLECTED AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS OR AS DIRECTED BY THE MANUFACTURER. THE SUPERINTENDENT SHALL ORGANIZE THE PROPER DISPOSAL OF SANITARY WASTE. THESE PROCEDURES SHALL BE POSTED ON THE SITE. THE PERSON WHO MANAGES THE SITE SHALL BE RESPONSIBLE FOR ENFORCING THE PROCEDURES.

OFF-SITE TRACKING:

ALL TRUCKS SHALL BE TRACKED OFF-SITE. THE CONTRACTOR SHALL MAINTAIN THE OFF-SITE TRACKING. THE CONTRACTOR SHALL MAINTAIN THE OFF-SITE TRACKING. THE CONTRACTOR SHALL MAINTAIN THE OFF-SITE TRACKING.

ITEMS REQUIRING POLLUTION PREVENTION:

THE FOLLOWING ITEMS ARE EXPECTED TO BE PRESENT ON THE PROJECT SITE:
 - ASPHALT
 - CONCRETE
 - FERTILIZERS
 - PETROLEUM BASED PRODUCTS
 - PAINT

THE FOLLOWING ARE NON-STORM WATER SOURCES THAT WILL BE ENCOURAGED AT THE SITE AND SHOULD BE DIRECTED TO THE SEDIMENT BASIN PRIOR TO DISCHARGE:
 - UNCONTAMINATED GROUNDWATER EXPOSED DURING EXCAVATION
 - PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED).

SPILL PREVENTION AND CONTROL:
 THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

GOOD HOUSEKEEPING:
 SUPERINTENDENT SHALL INSPECT PROJECT AREA DAILY FOR PROPER STORAGE, USE, AND DISPOSAL OF CONSTRUCTION MATERIALS.

STORE ONLY ENOUGH MATERIAL ON SITE FOR PROJECT COMPLETION.
 ALL SUBSTANCES SHOULD BE USED BEFORE DISPOSAL OF CONTAINER.
 ALL CONSTRUCTION MATERIALS STORED SHALL BE ORGANIZED AND IN THE PROPER CONTAINER AND IF POSSIBLE, STORED UNDER A ROOF OR PROTECTIVE COVER.

ALL PRODUCTS SHALL NOT BE MIXED UNLESS DIRECTED BY THE MANUFACTURER. ALL PRODUCTS SHALL BE USED AND DISPOSED OF ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
HAZARDOUS PRODUCTS:
 MATERIALS SHOULD BE KEPT IN ORIGINAL CONTAINERS WITH LABELS UNLESS THE ORIGINAL CONTAINERS CANNOT BE REUSED. IF ORIGINAL CONTAINERS CANNOT BE REUSED, LABELS AND PRODUCT INFORMATION SHALL BE SAVED.

PROPER DISPOSAL PRACTICES SHALL ALWAYS BE FOLLOWED IN ACCORDANCE WITH MANUFACTURER AND LOCAL/STATE REGULATIONS.
PRODUCT SPECIFIC PRACTICES:
 ALL CHEMICAL PRODUCTS MUST BE STORED IN PROPER CONTAINERS AND BE PERIODICALLY INSPECTED FOR LEAKS. PRECAUTIONS SHALL BE TAKEN TO AVOID LEAKAGE OF PETROLEUM PRODUCTS ON SITE.

THE MINIMUM AMOUNT OF FERTILIZER SHALL BE USED AND MIXED INTO THE SOIL IN ORDER TO LIMIT EXPOSURE TO STORM WATER. FERTILIZERS SHALL BE STORED IN ORIGINAL CONTAINERS OR IN A SECURE LID IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS. FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.
 PAINT CONTAINERS SHALL BE SEALED AND STORED WHEN NOT IN USE. EXCESS PAINT MUST BE DISPOSED OF IN AN APPROVED MANNER.
 CONCRETE TRUCKS SHALL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.

SPILL CONTROL PRACTICES:

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING SPILL CONTROL PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:
 - ALL EMPLOYEES MUST BE TRAINED IN SPILL PREVENTION AND CLEANUP PROCEDURES.
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ALL SPILLS SHALL BE CLEANED UP AS SOON AS POSSIBLE.
 WHEN CLEANING A SPILL, THE AREA SHOULD BE WELL VENTILATED AND THE EMPLOYEES SHOULD WEAR PROTECTIVE CLOTHING TO PREVENT INJURY. TOXIC SPILLS MUST BE REPORTED TO THE PROPER AUTHORITY REGARDLESS OF THE SIZE OF THE SPILL.
 AFTER A SPILL, THE PREVENTION PLAN SHALL BE REVIEWED AND CHANGED TO PREVENT REOCCURRENCE OF THE SPILL.
 THE SUPERINTENDENT SHALL BE RESPONSIBLE FOR THE DAY TO DAY OPERATIONS AND IS RESPONSIBLE FOR THE SPILL PREVENTION AND CLEANUP PROCEDURES. THE SUPERINTENDENT SHALL BE RESPONSIBLE FOR THE SPILL PREVENTION AND CLEANUP PROCEDURES. THE SUPERINTENDENT SHALL BE RESPONSIBLE FOR THE SPILL PREVENTION AND CLEANUP PROCEDURES.

MAINTENANCE AND INSPECTION PRACTICES:

THE FOLLOWING ARE MAINTENANCE AND INSPECTION PRACTICES THAT SHALL BE COMPLETED BY THE CONTRACTOR:
 - ALL SEDIMENT AND EROSION CONTROL METHODS SHALL BE INSPECTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER BY A QUALIFIED INSPECTOR.
 - ALL SEDIMENT AND EROSION CONTROL METHODS SHALL BE KEPT IN GOOD CONDITION. REPAIRS MUST BE MADE WITHIN 7 CALENDAR DAYS OF INSPECTION.
 - THE SIX (6) FEET FENCE SHALL BE INSPECTED PERIODICALLY FOR HEIGHT OF SEDIMENT AND CONDITION OF FENCE.
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POLLUTION PREVENTION PLAN CERTIFICATION:
 I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH THE REQUIREMENTS OF THE STATE OF FLORIDA. I AM AWARE THAT I AM RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THE INFORMATION SUBMITTED. BASED ON MY KNOWLEDGE AND BELIEF, I AM AWARE THAT THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE AND COMPLETE. I AM AWARE THAT I AM RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THE INFORMATION SUBMITTED, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR VIOLATIONS.

CONTRACTOR'S CERTIFICATION:
 I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND, SHALL COMPLY WITH, AND SHALL ENFORCE THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERAL PERMIT FOR STORMWATER DISCHARGE FOR LARGE AND SMALL CONSTRUCTION ACTIVITIES. I AM AWARE THAT I AM RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THE INFORMATION SUBMITTED, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR VIOLATIONS.

DATE: 09/04/2022
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DATE: 09/04/2022

NAME AND TITLE: JAROD C. STUBBS, P.E.
COMPANY ADDRESS AND TELEPHONE NUMBER: FARMER ENGINEERING, INC.
RESPONSIBILITY: PROFESSIONAL ENGINEER

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No.	REVISIONS	DATE

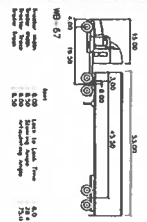
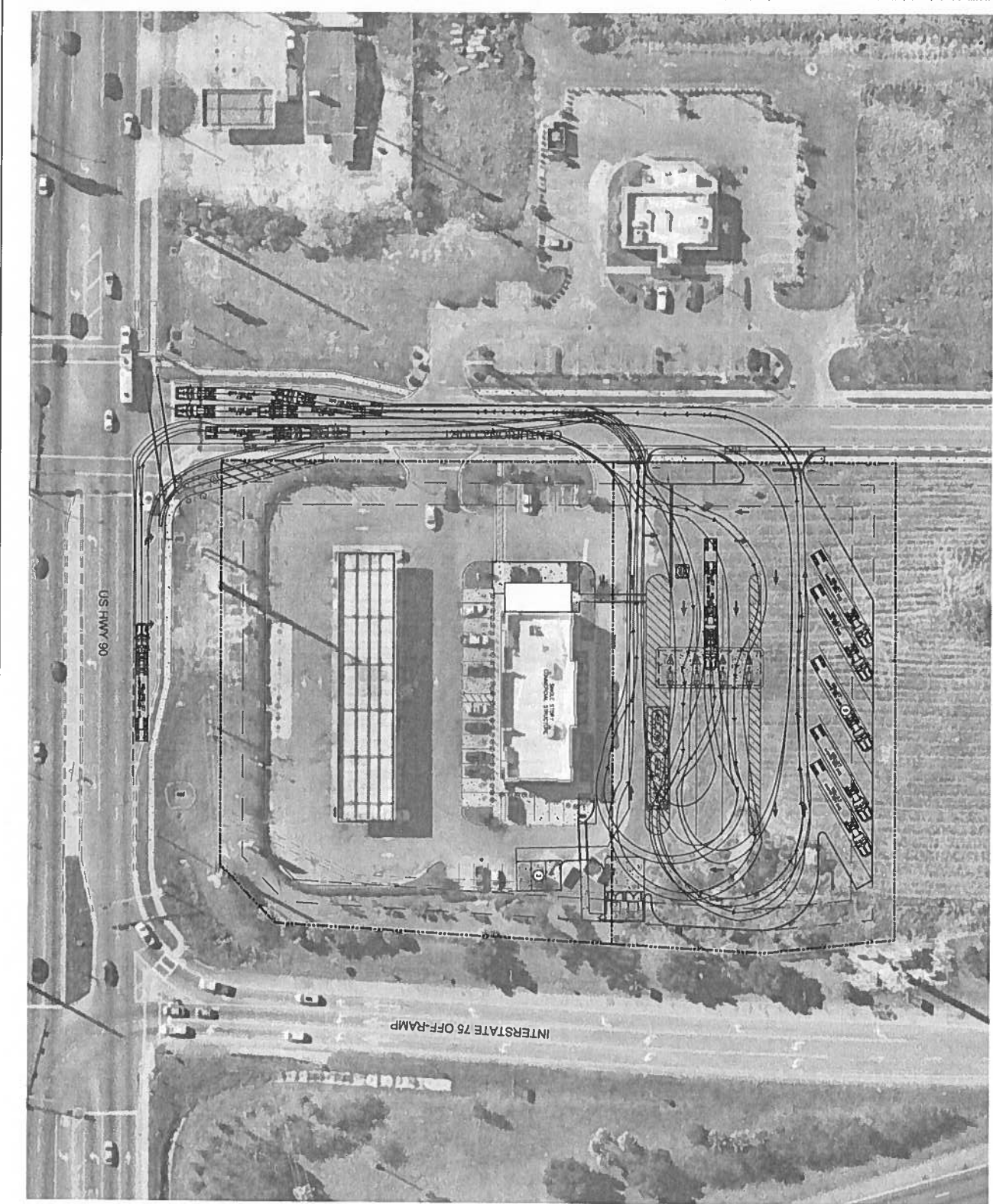
Kimley»Horn
 180 S. ORANGE AVE. SUITE 1000, ORLANDO, FL 32801
 P: 407.321.1111
 F: 407.321.1111
 WWW.KIMLEY-HORN.COM



DATE	DATE
09/04/2022	

STORMWATER POLLUTION PREVENTION PLAN

CIRCLE K - US HWY 90 & I-75 FUEL EXPANSION
 CITY OF LAKE CITY, FLORIDA



SCALE
 1" = 30'-0"
 1/8" = 3'-0"

DATE
 05/04/2022

PROJECT
 CIRCLE K - US HWY 90 & I-75 FUEL STATION EXPANSION

DRAWN BY
 E.J.P.

CHECKED BY
 J.C.S.

GRAPHIC SCALE IN FEET
 0 15 30 45

NORTH

CIRCLE K - US HWY 90 & I-75 FUEL STATION EXPANSION

CITY OF LAKE CITY FLORIDA

TRUCK TURNING MOVEMENTS

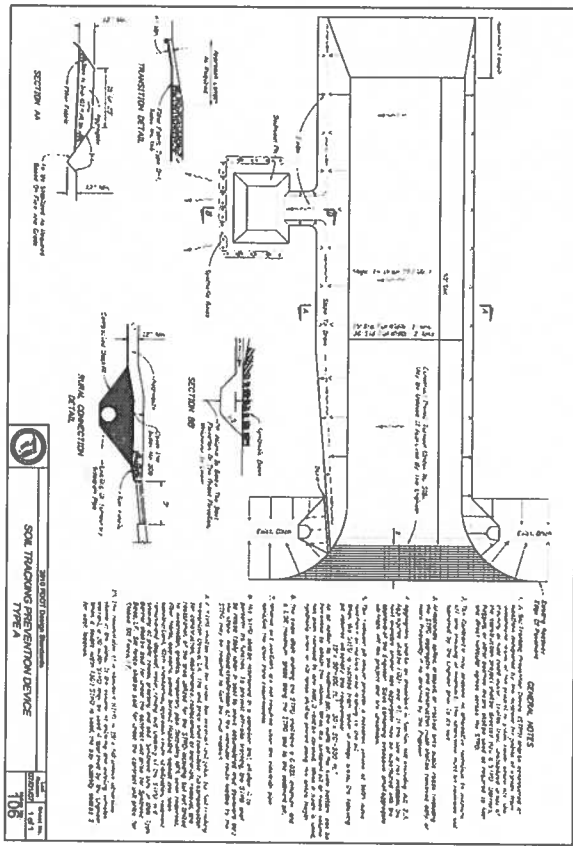
PROJECT NUMBER	149880040
DATE	05/04/2022
SCALE	AS SHOWN
DRAWN BY	E.J.P.
CHECKED BY	J.C.S.
DATE	

Kimley»Horn

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 189 S. ORANGE AVENUE, SUITE 1000, ORLANDO, FL 32801
 PHONE: 407-698-1551
 WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

NO.	REVISIONS	DATE	BY

2/15/2022



SOCK DRAINAGE PREVENTION DEVICE
TYPE A

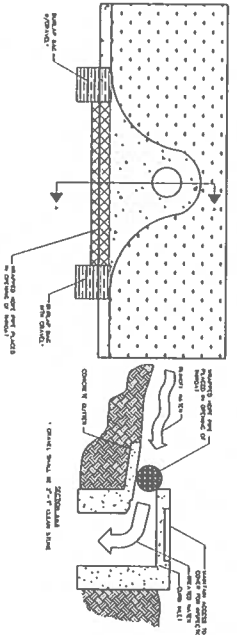
GENERAL NOTES

1. See Schedule for quantity of material and other notes.
2. The contractor shall provide all materials and labor for the installation of this device.
3. The device shall be installed in accordance with the manufacturer's instructions.
4. The device shall be installed in a concrete slab.
5. The device shall be installed in a concrete slab.
6. The device shall be installed in a concrete slab.
7. The device shall be installed in a concrete slab.
8. The device shall be installed in a concrete slab.
9. The device shall be installed in a concrete slab.
10. The device shall be installed in a concrete slab.

SOCK DRAIN INLET SEDIMENT FILTER

NOTES:

- 1. THE PREPARED PAPER MUST BE AT LEAST 1/8" BEYOND THE CURB OPENING ON EACH END AND A SPACER WITH GRANULAR BAGS OR SAND, ON EACH END, A SPACER MUST BE INSTALLED TO PREVENT THE PAPER FROM MOVING AND TO PREVENT THE PAPER FROM FALLING INTO THE INLET.



CIRCLE K - US HWY 90 & I-75 FUEL EXPANSION
CITY OF LAKE CITY FLORIDA

GENERAL CONSTRUCTION DETAILS

KIM PROJECT: 149880040
DATE: 05/04/2022
SCALE: AS SHOWN
DESIGNED BY: EJP
DRAWN BY: EJP
CHECKED BY: JCS



Kimley»Horn
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181 S ORANGE AVENUE, SUITE 1000, ORLANDO, FL 32801
407-888-1511
WWW.KIMLEY-HORN.COM REGISTERED NO. 35106

No.	REVISIONS	DATE	BY

