

Property Information	TownePlace Suites Gateway Application		
Address	South Wilcox Dr.		
Tax Map, Group, Parcel	Tax Map 076 Parcel 006.20		
Civil District	13 th Civil District		
Overlay District	Gateway District		
Land Use Designation	Retail/ Commercial		
Acres	+/- 2.71		
Existing Use	Vacant	Existing Zoning	B-3
Proposed Use	Hotel	Proposed Zoning	B-3
Owner/ Applicant Information		Intent	
Name: Sandip Patel Address: 2365 Benjamin Ct. City: Morristown State: TN Zip Code: 37814 Email: sandip@devicapital.com Phone Number: (865)-406-5847		Intent: <i>To receive gateway approval for a B-3 zone development of a new TownePlace Suites by Marriott.</i>	
Planning Department Recommendation			
(Approve, Deny, or Defer) The Kingsport Planning Division recommends contingent approval for the following reasons: <ul style="list-style-type: none"> • PC approval for this site is scheduled for July 17, 2025. • The development has not received Civil approval yet, therefore the plans are subject to change. Staff Field Notes and General Comments: <ul style="list-style-type: none"> • Civil approval is still needed for the development plans. Therefore, staff recommends granting contingent gateway approval based on the civil plans being approved later on. 			
Planner: Samuel Cooper		Date: 6/20/2025	
Planning Commission Action		Meeting Date	6/20/2025
Approval:			
Denial:		Reason for Denial:	
Deferred:		Reason for Deferral:	

TownePlace Suites Site Map

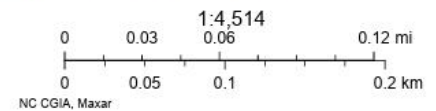


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Sullivan County Parcels Jan 2023

Parcels
Streets
Interstate

Expressway
Collector Street
Major Arterial
Minor Arterial
Local Street
Private Street
Ramp
Urban Growth Boundary
Kpt 911 Address



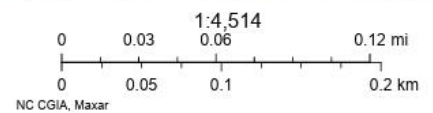
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TownePlace Suites Zoning - B-3, Highway Oriented Business District



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Sullivan County Parcels Jan 2023	GC	B-2	BC	P-1	PMD-2	R-1C	Split
Parcels	B-2E	B-3	GC	P-D	PUD	R-2	TA
City Zoning	A-1	B-3	M-1	PBD-3	PVD	R-3	TA-C
<Null>	A-2	B-4	M-1R	PBDI*	R-1	R-3A	UAE
TA/C	AR	B-4P	M-2	PD	R-1A	R-3B	Urban Growth Boundary
R-5	B-1	B-4P	MX	PMD-1	R-1B	R-4	Kpt 911 Address



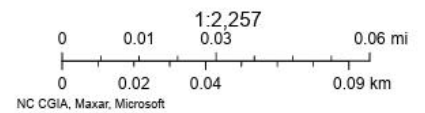
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TownePlace Suites Existing Utilities



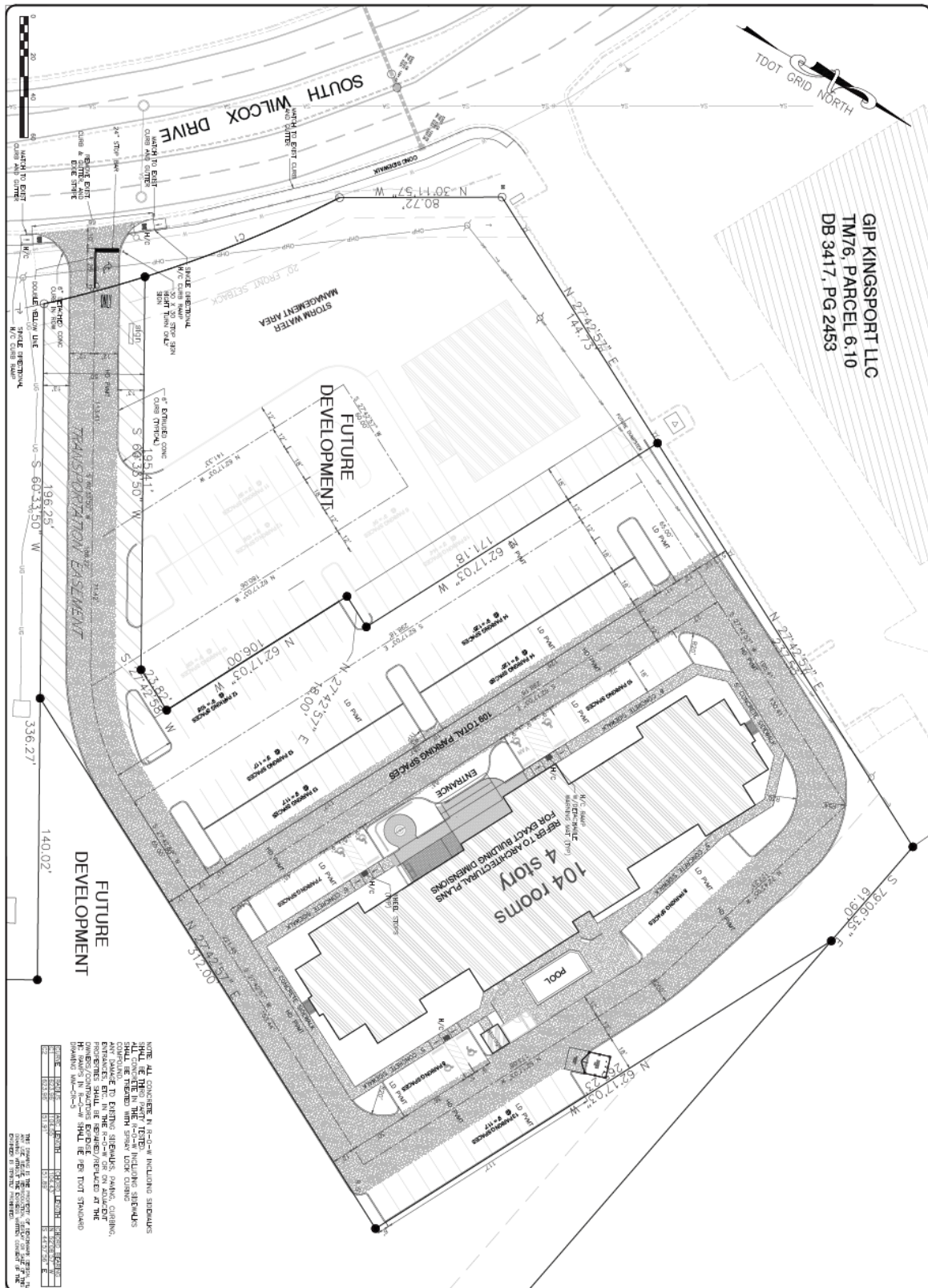
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- Sewer Mains
- Water Lines
- ★ Sewer Manholes
- Urban Growth Boundary
- Kpt 911 Address

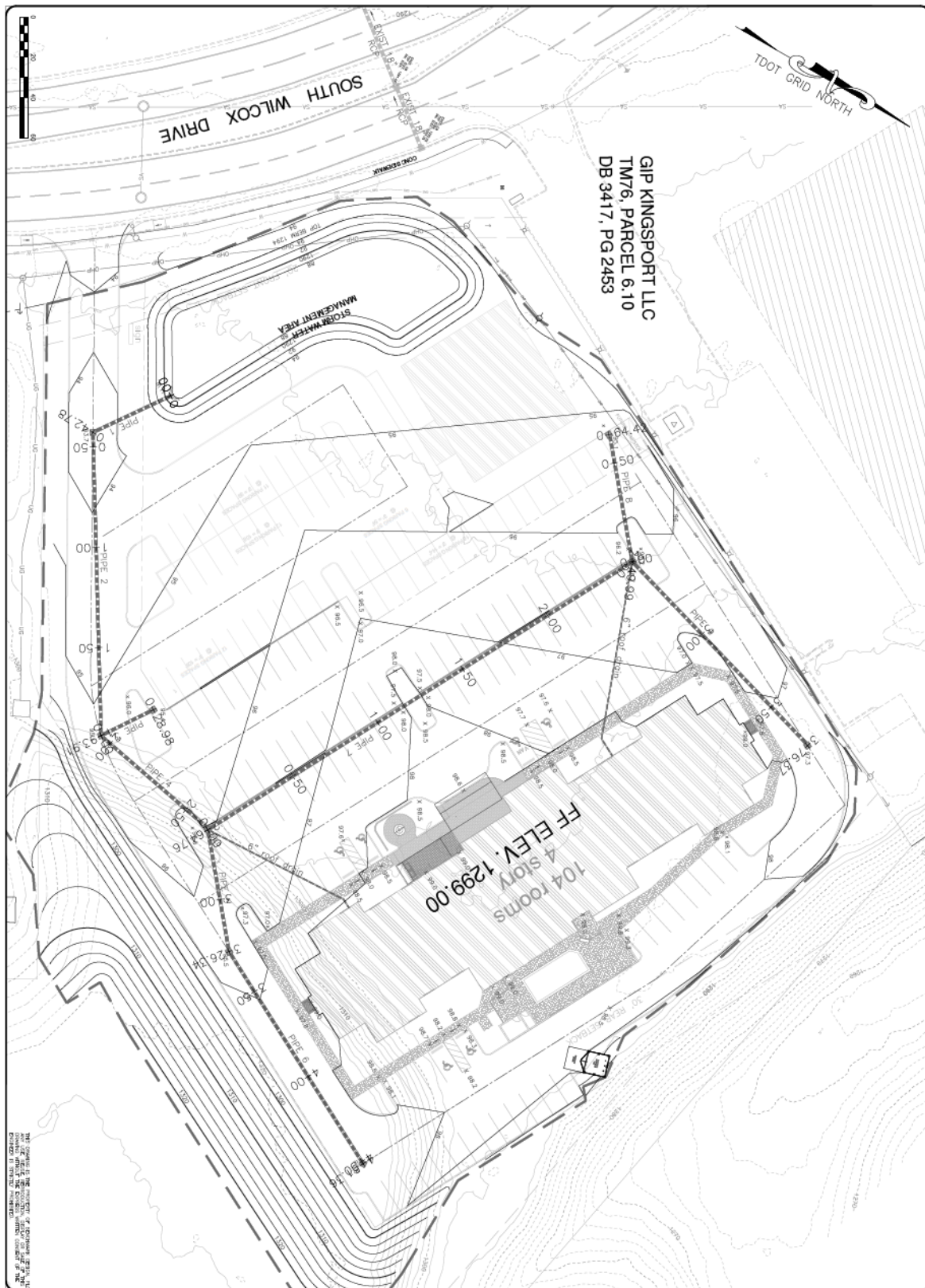


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Site Map



Grading/Drainage Plan

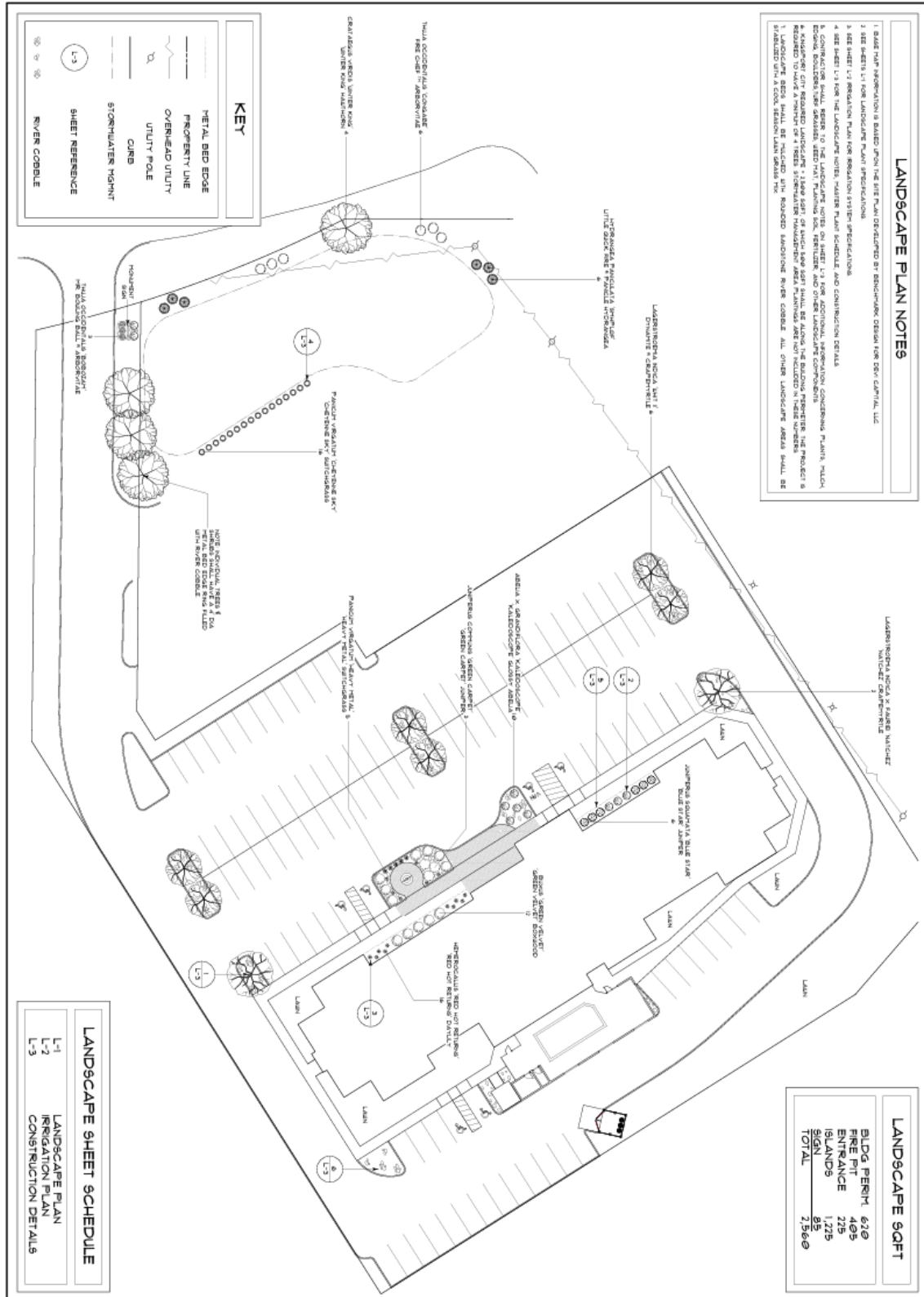


DEVELOPMENT PLANS FOR
SOUTHGATE PLAZA
KINGSFORT, TENNESSEE

GRADING/DRAINAGE PLAN



Landscape Plan



THE SOUTHGATE PLAZA MARRIOTT TOWN PLACE SUITES HOTEL

LANDSCAPE PLAN

Kingsport, Tennessee

DATE: _____

BY: _____

DATE: _____

DATE: _____

BY: _____

DATE: _____

L-1

LANDSCAPE PLAN

L-2

IRIGATION PLAN

L-3

CONSTRUCTION DETAILS

Architectural Plans

Front Elevation



Rear Elevation (No rear wall signage will be located on the actual building)





	EIFS 1
	EIFS 2
	EIFS 3
	FIBER CEMENT SIDING PANEL
	FIBER CEMENT SIDING PANEL
	METAL SOFFIT PANEL @ PORTE COCHERE
	ALUMINUM COPING
	ALUMINUM COPING - COLOR TO MATCH ADJACENT SURFACE
	ALUMINUM COPING
	MEMBRANE ROOFING - SLOPED
	MEMBRANE ROOFING
	PAINTED SURFACE @ EXTERIOR HM DOORS & FRAMES
	PAINTED SURFACE @ PORTE COCHERE COLUMNS
	METAL FENCE @ FIREPIT
	PERGOLA

The following graphics below correspond with the Left and Right Side elevation drawings above. For EEF-001, EEF-002, and EEF-003 the manufacturer is not guaranteed, but the color scheme shown is guaranteed.



TownePlace Suites New Build Gen 5 112-Key Building Site &
Exterior Building Product Manual
US & Canada

EEF-001-BF_GREY

EXTERIOR INSULATION FINISHING SYSTEM (EIFS)

Non-structural, insulated composite c...

Manufacturer: BASF (Senergy)
Style/Series: Senturion II

Sales Rep

Primary

Customer Service
Email: No.Email.382
Office Phone: 800-221-9255

Attributes

Non-structural, insulated composite cladding system

Type: Water-drainage, hydrophobic

MATERIAL/FINISH

Material Composition: Silicone-based finish coat, polymermodified basecoat, polymer reinforcing mesh, polystyrene insulation board.
Color: Benjamin Moore "Manor Blue" No. 1627 (CLR13414)
Finish: Hydrophobic (HDP)

PERFORMANCE

Accessories: Per manufacturer. Refer to Special Instructions. 3/4" PB Control Joint; 1-1/4" Reveal Expansion Joint
Best Practices: ASHRAE 90.1 compliance for continuous insulation.
Fire/Smoke Rating: NFPA 285: Passes
Quality Standards: ANSI/EIMA American National Standard for Exterior Insulation & Finish Systems (EIFS)
Thermal Performance: R-10 continuous insulation

MISCELLANEOUS

Warranty: Manufacturer System Warranty: 10 years. High-Performance Color Warranty: 6 years. Installer Warranty: 3 years.

CUSTOM FIELDS

Eco-Feature(s) *as per manufacturer: NA
Texture: Fine

Notes

Acceptable Manufacturers:
Senergy div. of BASF Wall Systems; Customer Service; 800-221-9255;
<https://www.basf.com/us/en/products/General-Business-Topics/senergy-wall-systems-home/senergy-stucco-eifs-ci-wall-systems.html>
Dryvit Systems; Bob Dazel; bob.dazel@dryvit.com; (734) 276-0404;
www.dryvit.com
Master Wall Incorporated; Grant Smithwick; 800-755-0825;





TownePlace Suites New Build Gen 5 112-Key Building Site &
Exterior Building Product Manual
US & Canada

EEF-002-PA_GREY

EXTERIOR INSULATION FINISHING SYSTEM (EIFS)

Non-structural, insulated composite c...

Manufacturer: Parex USA
Style/Series: Standard Watermaster CI

Sales Rep

Primary

Julie Montrose
Email: julie.montrose@parexusa.com
Office Phone: 630-453-3475

Attributes

Non-structural, insulated composite cladding system

Type: Water-drainage, hydrophobic

MATERIAL/FINISH

Material Composition: Silicone-based finish coat, polymermodified basecoat, polymer reinforcing mesh, polystyrene insulation board.
Color: 31193; Benjamin Moore "November Rain" No. 2142-60 (CLR13415)
Finish: Hydrophobic (HDP)

PERFORMANCE

Accessories: Per manufacturer. Refer to Special Instructions. 3/4" PB Control Joint; 1-1/4" Reveal Expansion Joint
Best Practices: ASHRAE 90.1 compliance for continuous insulation.
Fire/Smoke Rating: NFPA 285: Passes
Quality Standards: ANSI/EIMA American National Standard for Exterior Insulation & Finish Systems (EIFS)
Thermal Performance: R-10 continuous insulation

MISCELLANEOUS

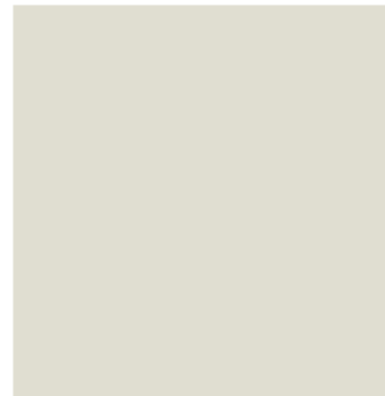
Warranty: Manufacturer System Warranty: 10 years. High-Performance Color Warranty: 6 years. Installer Warranty: 3 years.

CUSTOM FIELDS

Eco-Feature(s) *as per manufacturer: NA
Texture: Sand Fine

Notes

Acceptable Manufacturers:
Senergy div. of BASF Wall Systems; Customer Service; 800-221-9255;
<https://www.basf.com/us/en/products/General-Business-Topics/senergy-wall-systems-home/senergy-stucco-eifs-ci-wall-systems.html>
Dryvit Systems; Bob Dazel; bob.dazel@dryvit.com; (734) 276-0404;
www.dryvit.com





TownePlace Suites New Build Gen 5 112-Key Building Site &
Exterior Building Product Manual
US & Canada

EEF-003-STO_GREY

EXTERIOR INSULATION FINISHING SYSTEM (EIFS)

Non-structural, insulated composite c...

Manufacturer: Sto Corp
Style/Series: StoTherm CI

Sales Rep

Primary

Ray Redmond
Email: rredmond@stocorp.com
Office Phone: 616-437-2230

Attributes

Non-structural, insulated composite cladding system

Type: Building Exterior Envelope Solution

MATERIAL/FINISH

Color: NA17-0037 White Diamond
Finish: StoEssence DPR (Dirt Pickup Resistant), Stolit Lotusan
Limestone

PERFORMANCE

Accessories: Per manufacturer. Refer to Special Instructions. 3/4" PB
Control Joint; 1-1/4" Reveal Expansion Joint.

CUSTOM FIELDS

Eco-Feature(s) *as per manufacturer: NA
Texture: Stolit Lotusan Limestone

Notes

Marriott Minimum Design Guidelines:
Coordinate EIFS manufacturer's system, products, finishes and
warranty criteria in accordance with requirements outlined in
Marriott Supplemental Product Information document, current
Prototype Drawings, Design Guidelines, and this Building Product
Manual (BPM).
Provide high performance colorant for all non-EIFS manufacturer /
special colors as required to comply with 6-year min. UV fade
resistance warranty.
Coordinate for minimum exterior continuous insulation thickness /
R-value criteria in accordance with local adopted energy code
requirements and/or energy efficiency design objectives.
Product Data Web link: <https://tinyurl.com/y3vap638>

Special Instructions

Based on Color, Finish and Textured referenced above, specify and
install in strict accordance with EIFS manufacturer's current





TownePlace Suites New Build Gen 5 112-Key Building Site &
Exterior Building Product Manual
US & Canada

EWP-001-NI_BEIGE

EXTERIOR WALL PANEL

Non-combustible fiber cement, exterio...

Manufacturer: Nichiha
Style/Series: Illumination Designer Series AWP 1818

Sales Rep

Primary

Chris Tate
Email: marriott@nichiha.com
Office Phone: (770) 805-9466

Attributes

Non-combustible fiber cement, exterior grade siding and soffit board complying with ASTM C1186, Grade II, Type A

Type: Fiber cement board siding

DIMENSIONS

Length: 60"
Height: 17"
Thickness: 5/8"
Dimension Explanation: without score. Horizontal installation.

MATERIAL/FINISH

Material Composition: Fiberglass reinforced concrete panels, through-colored with UV-stable pigments.
Color: Carriage Red (BMCW 250)
Finish: Smooth

PERFORMANCE

Accessories: 1) Manufactured Corners with 3-1/2" returns in matching colors. 2) Aluminum trim to be painted per finish schedule to match adjacent color(s): Outside corners (Corner Key, Open Outside Corner), vertical joints (Bead Reveal, H-Mold), terminations (J-Mold, L-Mold). 3) Flashing System: Manufacturers Starter, Compression joint, Overhang. 4) Panels profiled along all four edges, such that both horizontal and vertical joints between the installed panels are ship-lapped. 5) Factory-applied sealant gasket added to top and right panel edges; all joints contain a factory sealant.
Best Practices: Recycled content
Fire/Smoke Rating: ASTM E 84, Class A
Quality Standards: ASTM C1186 "Standard Specification for Flat Non-Asbestos Fiber-Cement Sheets"
Structural Performance: Flexural Strength (ASTM C1185) : 1850 length direction; 2500 transverse direction of sheet.
Thermal Performance: Wall system u-factor shall comply with requirements of authorities having jurisdiction.





TownePlace Suites New Build Gen 5 112-Key Building Site &
Exterior Building Product Manual
US & Canada

EWP-002-NI_BEIGE

EXTERIOR WALL PANEL

Non-combustible fiber cement, exterior...

Manufacturer: Nichiha
Style/Series: Rough Sawn Series AWP 3030

Sales Rep

Primary

Chris Tate
Email: marriott@nichiha.com
Office Phone: (770) 805-9466

Attributes

Non-combustible fiber cement, exterior grade siding and soffit board complying with ASTM C1186, Grade II, Type A

Type: Fiber cement board siding

DIMENSIONS

Length: 18"
Height: 10"
Thickness: 5/8"

MATERIAL/FINISH

Material Composition: Fiberglass reinforced concrete panels, through-colored with UV-stable pigments.
Color: Tobacco EPC247N

PERFORMANCE

Accessories: 1) Manufactured Corners with 3-1/2" returns in matching colors. 2) Aluminum trim to be painted per finish schedule to match adjacent color(s): Outside corners (Corner Key, Open Outside Corner), vertical joints (Bead Reveal, H-Mold), terminations (J-Mold, L-Mold). 3) Flashing System: Manufacturers Starter, Compression Joint, Overhang. 4) Panels profiled along all four edges, such that both horizontal and vertical joints between the installed panels are ship-lapped. 5) Factory-applied sealant gasket added to top and right panel edges; all joints contain a factory sealant.
Best Practices: Recycled content
Fire/Smoke Rating: ASTM E 84, Class A
Quality Standards: ASTM C1186 "Standard Specification for Flat Non-Asbestos Fiber-Cement Sheets"
Structural Performance: Flexural Strength (ASTM C1185) : 1850 length direction; 2500 transverse direction of sheet.
Thermal Performance: Wall system u-factor shall comply with requirements of authorities having jurisdiction.

MISCELLANEOUS

Lead Time: 10 weeks +



Building Entry Letters

Channel Letter Specifications:

Construction:
.040" aluminum channel letter with .063" aluminum backs/
1.5-2.0mm aluminum channel letter cases

Face Material:
3/16" 2447 white acrylic or 3/16" Plaskolite 2406 white acrylic/
3-4mm 30% translucent opal acrylic

Trim Cap:
1" black/ factory painted black trim cap

Illumination:
GE Red LED's as required
or Sloan Prism 24 6500K White LED's as required

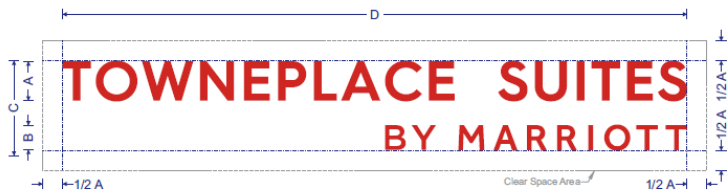
Exterior Finish:
Pre-finished black

Interior Finish:
Paint reflective white

Channel Letter Face Specifications:

Face Material:
3/16" 2447 white acrylic or 3/16" Plaskolite 2406 white acrylic/
1.5-2.0mm aluminum channel letter cases

Decoration:
3M 3630-2528 red translucent film applied to 1st surface



Model #	A	B	C	D
TPS CL 24	24"	15"	4'-6 15/16"	31'-9 5/8"
TPS CL 30	30"	18 3/4"	5'-8 11/16"	39'-9 1/16"
TPS CL 36	36"	22 1/2"	6'-10 7/16"	47'-8 7/16"
TPS CL 48	48"	30 1/16"	9'-1 15/16"	63'-7 1/4"

Model #	A	B	C	D
TPS CL 600	610	381	1396	9693
TPS CL 750	762	477	1745	12117
TPS CL 900	914	572	2094	14540
TPS CL 1200	1219	763	2792	19387

Metric dimensions are in mm.



Daytime Appearance



Nighttime Appearance



Side Profile

For Light Colored Building Backgrounds | Letters to appear red during the day and illuminate red at night.

Monument Signs

Monument Specifications:

Construction:
Aluminum angle frame with .125" aluminum shoe-box style faces

Face Construction:
Routed aluminum with backer panel/ fret-cut (routed) logo with acrylic back panel

Retainer:
Bleed face

Illumination:
GE 7100K White LED's as required
or Sloan PrismBeam 24V 6500K White LED's as required

Exterior Finish:
Paint Matthews MAP-LVS929 Carbon Black, satin finish
(or Pantone® 1795 C red, satin finish for red option)

Interior Finish:
Paint reflective white/ powder coating RAL9003, glossy finish

Monument Face Specifications:

Face Construction:
Routed aluminum with backer panel/ fret-cut (routed) logo with acrylic back panel

Face Decoration:
Paint Matthews MAP-LVS929 Carbon Black, satin finish
(or Pantone® 1795 C red, satin finish for red option)

Backer Panel:
.118" white solar grade polycarbonate/ 3mm 30% translucent opal acrylic

* "Towneplace Suites" and "By Marriott" to appear white during the day and illuminate white at night (background does not illuminate)

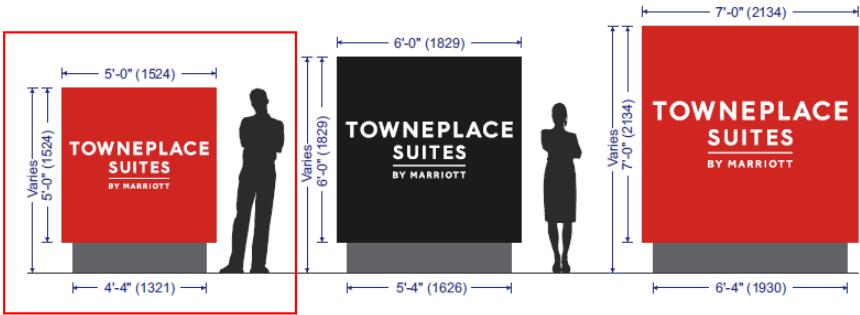
Pole Cover Specifications:

* Preferred method to have monument base match building hard scape (stone, brick, etc., provided by general contractor)

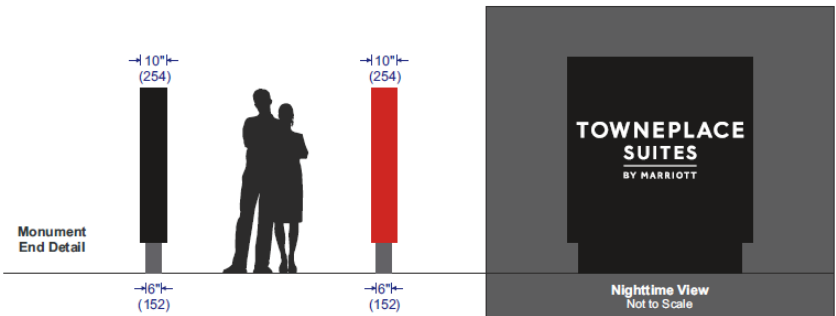
Construction:
Aluminum angle frame with .080" aluminum skins

Exterior Finish:
Paint Pantone® Cool Gray 11 C, satin finish/ powder coating RAL9007, satin finish

** If brand color is used, all other freestanding signs must be the brand color as well. This includes mid-rise signs, hi-rise signs and directional signs.

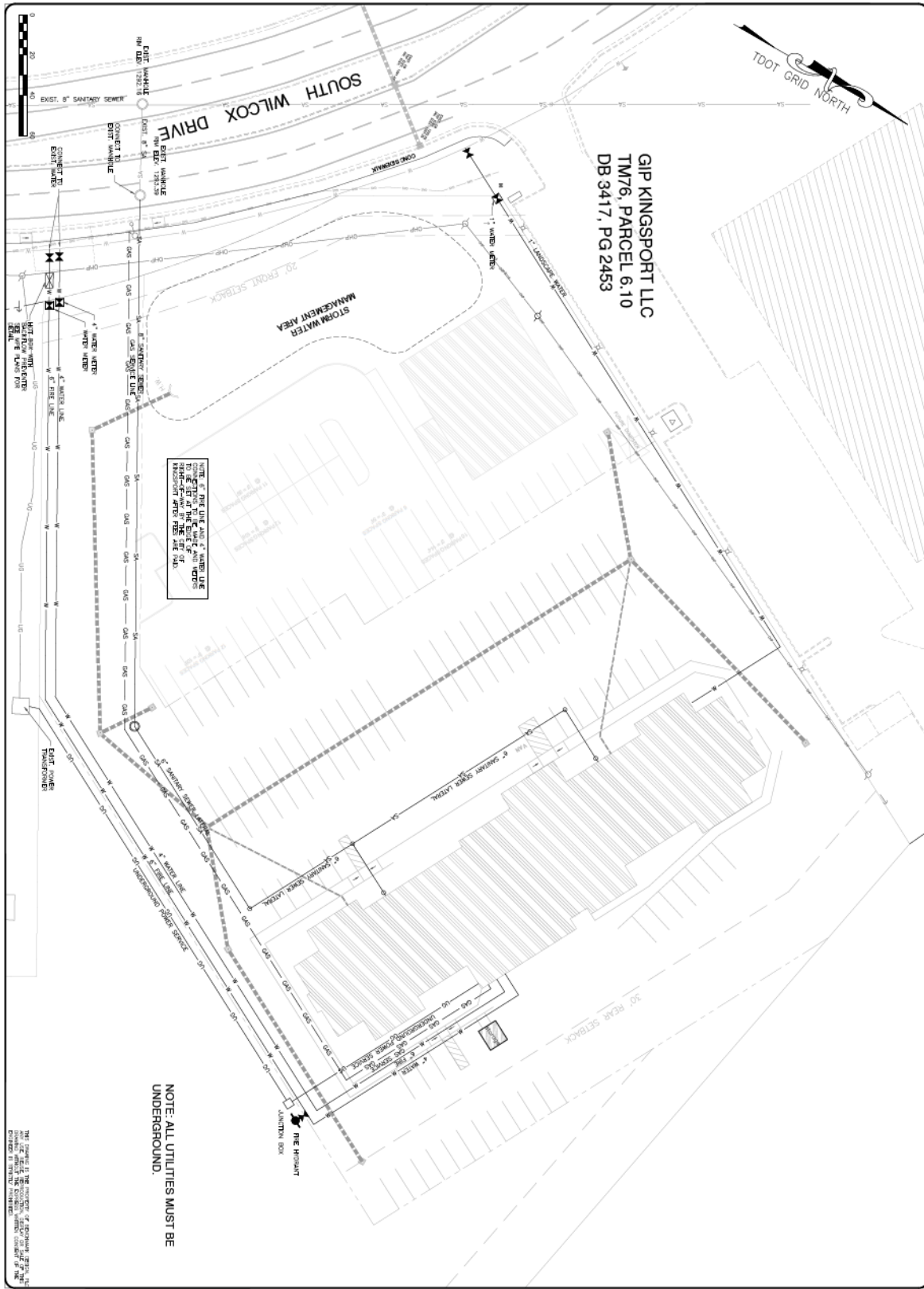


Monument Elevations



Nighttime View
Not to Scale

Utility Plan



C5

DEVELOPMENT PLANS FOR
SOUTHGATE PLAZA
KINGSPORT, TENNESSEE

SITE UTILITY
PLAN

Benchmark
Design, P.C.
ENGINEERING & SURVEYING

3547 W. Market Street
Johnsboro, TN 37050
Phone: 423-723-1105
Fax: 423-723-1107

Northern Property View



Southern Property View



Site Analysis*

1. Site Plan:

- a. The site plan is spacious and there is ample room to abide by the B-3 zoning standards, including building setbacks, 20'-front yard & 30'-rear yard, and providing at least 50 feet of street frontage.

2. Grading Plan

- a. The grading plan demonstrates minimal disturbance to the area, conforming to the gateway standard.

3. Landscape Plan

- a. The landscape plan has been approved by the landscape specialist and conforms to the gateway standard by creating visual buffers to soften the appearance of the proposed building and its parking lot.

4. The Architectural Design

- a. The Architects are using a "...grey color scheme [,]" for this project. The colors are neutral in tone and of a natural representation of nature and thus conform to the gateway standards. The materials proposed consist of EIFS and Fiber Cement Side Paneling in a grey color scheme, which is in line with the gateway district's permitted materials.
- b. The proposed 5' x 5' monument signage meets the required B-3 Gateway design strategies and square foot allotment.
- c. Gateway standards permit 74.255 sq. ft. of wall signage for this development. However, the proposed wall signage for this development, TPS CL 24, totals 83.469 sq. ft. but, it is the smallest wall signage package TownePlace Suites offers. The proposed 83.469 sq. ft. of wall signage is well below the permitted base-zoning allotment of 148.51 sq. ft. of wall signage. Therefore, staff can justify granting the additional 9.214 sq. ft. of wall signage requested for this development, based upon conformance to the base zoning standard and to similar allowances by the commission for other developments in the area.

5. The Lighting Plan

- a. The lighting plan displays very minimal light pollution on neighboring parcels which is in line with the gateway standards.

6. The Utility Plan

- a. The utility plan notes that all the utilities must be located underground.

*Civil approval has not yet been obtained. Plans may be subject to change.

Recommendation

Staff recommends granting contingent gateway approval for the TownePlace Suites development based on the civil plans being approved later on.